

W. SAN MARTIN AVE.,
SAN MARTIN, CA, 95046-9444

PROJECT DIRECTORY

PROJECT DATA

VICINITY MAP



- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL, COUNTY, STATE AND FEDERAL CODES, LOCAL ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS:
- CALIFORNIA BUILDING CODE, 2019 EDITION (CBC)
 - CALIFORNIA PLUMBING CODE, 2019 EDITION
 - CALIFORNIA MECHANICAL CODE, 2019 EDITION
 - CALIFORNIA ELECTRICAL CODE, 2019 EDITION
 - CALIFORNIA EXISTING BUILDING CODE 2019 EDITION
 - CALIFORNIA FIRE CODE 2019 EDITION
 - INTERNATIONAL EXISTING BUILDING CODE 2019 EDITION
 - CALIFORNIA RESIDENTIAL CODE, 2019 EDITION
 - CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) 2019 EDITION
 - 2019 CALIFORNIA ENERGY CODE, PART 6, TITLE 24
 - PRC-4290 REQUIREMENTS

- ## ABBREVIATIONS

W	WASHER
W/	WITH
W/O	WITHOUT
WD	WOOD
WH	WATER HEATER

SHEET INDEX



A diagram of a triangular elevation symbol. The symbol is an inverted triangle with a horizontal top edge. Inside the triangle, the number '1' is centered. Above the triangle, the text 'C1.0' is written. To the right of the triangle, the word 'ELEVATION' is written. Two arrows point from the text 'SHEET' and 'NUMBER' to the top and bottom vertices of the triangle, respectively.

01 DOOR TAG

1 WINDOW TAG

 BREAK LINE

Diagram illustrating the step symbol. It shows a horizontal line with a vertical step down. A leader line points to the vertical step with the label "HEIGHT OF STEP". The entire symbol is labeled "STEP SYMBOL".

 DATUM LEVEL

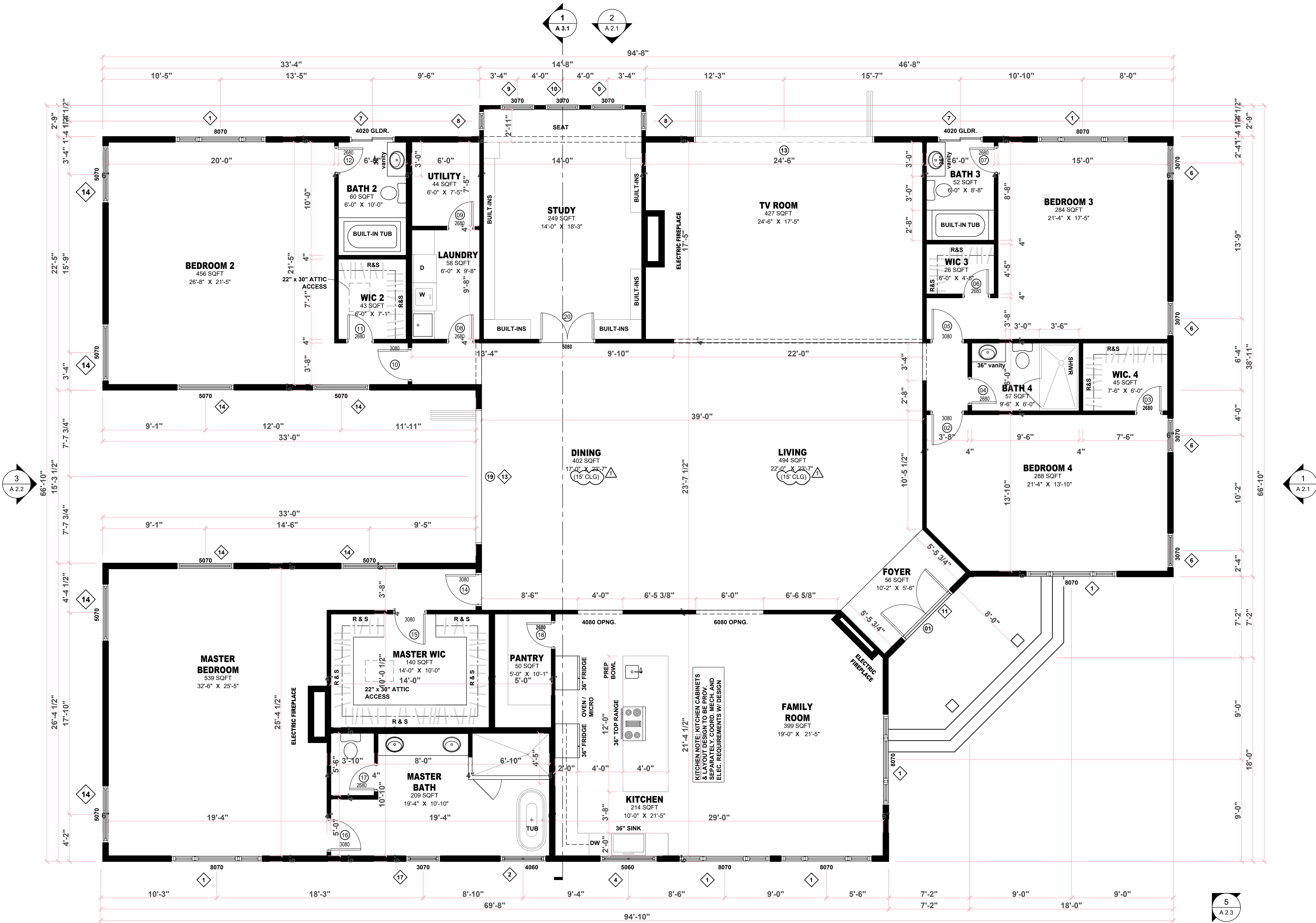
A diagram showing a detail circle. The circle is divided horizontally. The top half contains the number '1', with a label 'NUMBER' and an arrow pointing to it. The bottom half contains the text 'C1.0', with a label 'DETAIL' and an arrow pointing to it. A label 'SHEET' has an arrow pointing to the circle's boundary. To the left of the circle is a dashed circle, with a line connecting it to the main circle.

SYMBOLS

[illegible]

FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



General Notes

- All exterior walls to be 2x6 wood studs @16" O.C. U.N.O.
- All interior walls to be 2x4 wood studs @16" O.C. U.N.O.
- Plumbing walls to be 2x6 wood studs
- Insulate interior walls with R-13 min.
- Insulate exterior walls with R-19 min.
- Dimensions are to face of stud or centerline of columns U.N.O. & to centerline of R.O. at windows and doors.
- All wood in contact with concrete to be pressure treated
- Bathtub and shower floors and walls above bathtubs with showers and shower compartments shall be finished with a nonabsorbent surface to a height of 6" above finished floor
- Water closet and bidet shall have 15" to any wall or obstruction on each side of its centerline and 24" clear space in front.
- Verify all information shown with Civil, Structural, MEP and other drawings prior to construction. If discrepancies exist, consult Architect and Engineer.
- Provide Safety or tempered glazing in all fixed and operable panels of swinging, sliding and bi-fold doors.
- All interior doors to be 1-3/4" thk, Solid Core wood door. U.N.O.
- All exterior windows shall be dual-pane tempered glass.

AREA SCHEDULE

(E) STRUCTURES	AREA
(E) STRUCTURES	0 SQ. FT.
(P) HOUSE	4993 SQ. FT.
(P) DETACHED GARAGE	1320 SQ. FT.
TOTAL	6311 SQ.FT.

Project Description:
PROPOSED NEW HOME & DETACHED GARAGE

Owner Details:
Ashutosh Jha

Drawn By:
KRISTEN LE

Date: 11/11/2021

Paper size:
ARCH D (24"x36")

Scale: AS NOTED

0 2' 4' 8'
SCALE: 1/4" = 1'-0"

Drawing Description:
FIRST FLOOR PLAN

Drawing Number:

A1.1

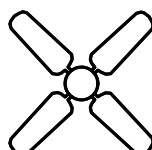


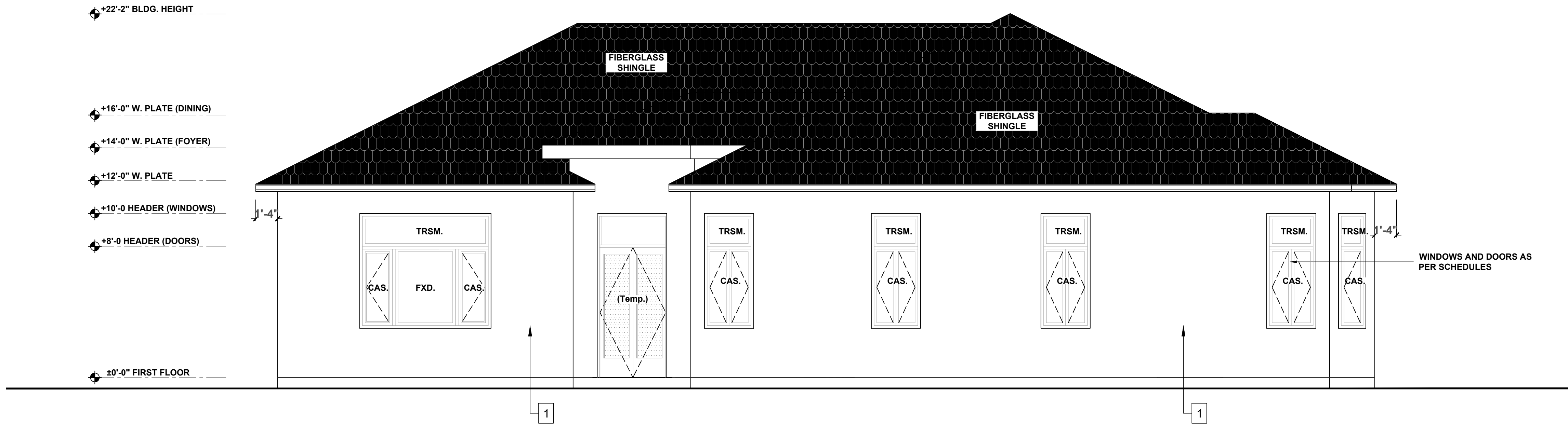
Project Description:
PROPOSED NEW HOME & DETACHED GARAGE

Project Address:
W. San Martin Ave., San Martin, CA, 95046-9444

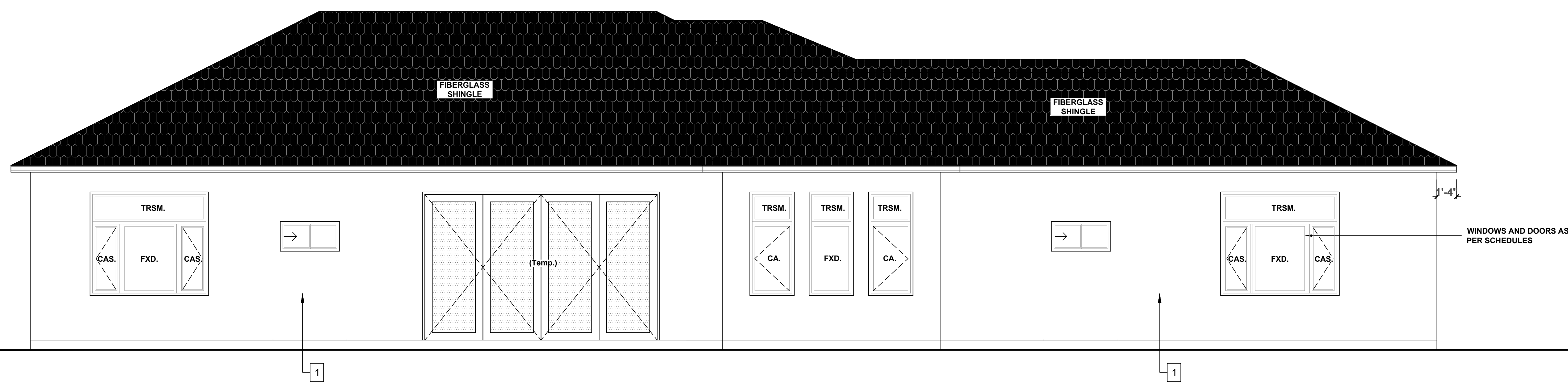
Drawing Number:

A1.2

General Notes	Legend
All exterior walls to be 2x6 wood studs @16" O.C. U.N.O.	 READING LIGHT IN CEILING
All interior walls to be 2x4 wood studs @16" O.C. U.N.O.	 RECESSED CEILING DOWNLIGHT LED
Plumbing walls to be 2x6 wood studs	 WALL SCONCE / WALL MOUNTED LED FIXTURE
Insulate interior walls with R-19 min.	 CEILING PENDANT LIGHT LED
Insulate exterior walls with R-19 min.	WL FIXTURE IN WET LOCATIONS
Dimensions are to face of stud or centerline of columns U.N.O. & to centerline of R.O. at windows and doors.	WP FIXTURE TO BE WEATHER PROOF
All wood in contact with concrete to be pressure treated	F 50 CFM INTERMITTENT VENTILATION EXHAUSTED DIRECTLY TO THE OUTSIDE
Bathtub and shower floors and walls above bathtubs with showers and shower compartments shall be finished with a nonabsorbent surface to a height of 6" above finished floor	 DUPLEX RECEPTACLE
Water closet and bidet shall have 15" to any wall or obstruction on each side of its centerline and 24" clear space in front.	 DUPLEX RECEPTACLE ABOVE COUNTER TOPS
Verify all information shown with Civil, Structural, MEP and other drawings prior to construction. If discrepancies exist, consult Architect and Engineer.	 SMOKE DETECTOR
All interior doors to be 1-3/4" thk, Solid Core wood door. U.N.O.	GFCI DUPLEX RECEPTACLE, GROUND-FAULT CIRCUIT INTERRUPTER
Provide Safety or tempered glazing in all fixed and operable panels of swinging, sliding and bi-fold doors.	OGFCI OUTDOOR GROUND-FAULT CIRCUIT INTERRUPTER OUTLET NEAR GROUND
Notes	 2x4 GARAGE LED LIGHT
Provide smoke alarms - hard wired, interconnected, battery backup, at each sleeping room and immediate common area outside of sleeping rooms, and located at not less than 3 ft from a door to a bathroom with tub or shower except when this requirement will prevent the installation of a smoke alarm in a required location	 FAN WITH LIGHT FIXTURE
All receptacle in bedrooms to be ACFI protected.	 UNDER COUNTER STRIP LED LIGHT
All receptacles in bathrooms and kitchens to be GFCI protected	 SINGLE SWITCH



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

General Notes

1 Smooth stucco exterior finish with color Key to the City, by Behr. LRV = 35.

REVISIONS	BY
△	KL

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PROPOSED NEW HOME & DETACHED GARAGE

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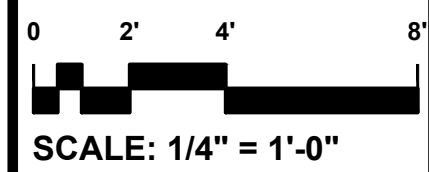
Owner Details:
Ashutosh Jha

Drawn By:
KRISTEN LE

Date: 11/11/2021

Paper size:
ARCH D (24"X36")

Scale: AS NOTED



SCALE: 1/4" = 1'-0"

Drawing Description:
ELEVATIONS

Drawing Number:

A2.1

General Notes

1

Smooth stucco exterior finish with color Key to the City, by Behr. LRV = 35.

REVISIONS	BY
	KL

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Project Address:
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Owner Details:
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Drawn By:
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Date: 11/11/2021

Paper size:
ARCH D (24"x36")

Scale: AS NOTED

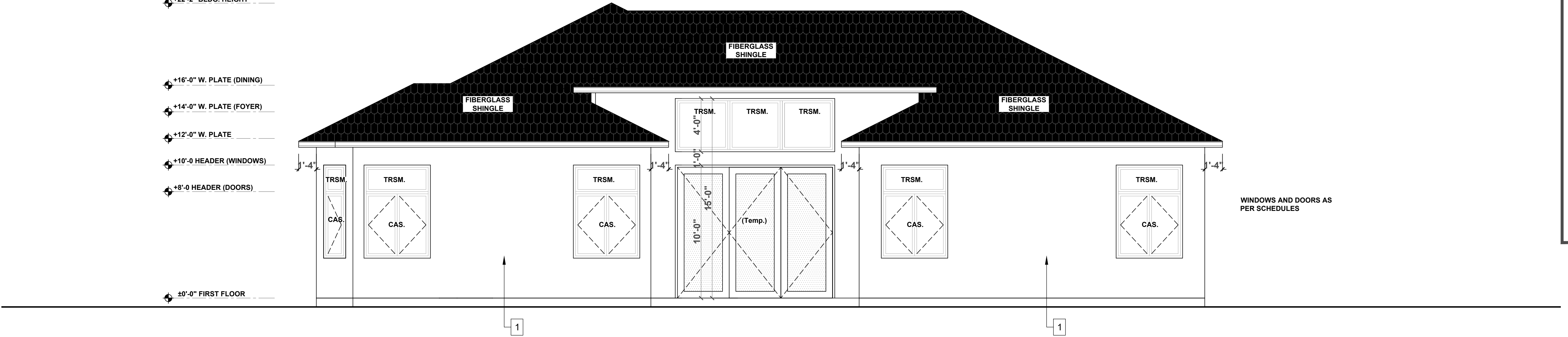
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Drawing Description:
ELEVATIONS

Drawing Number:

A2.2

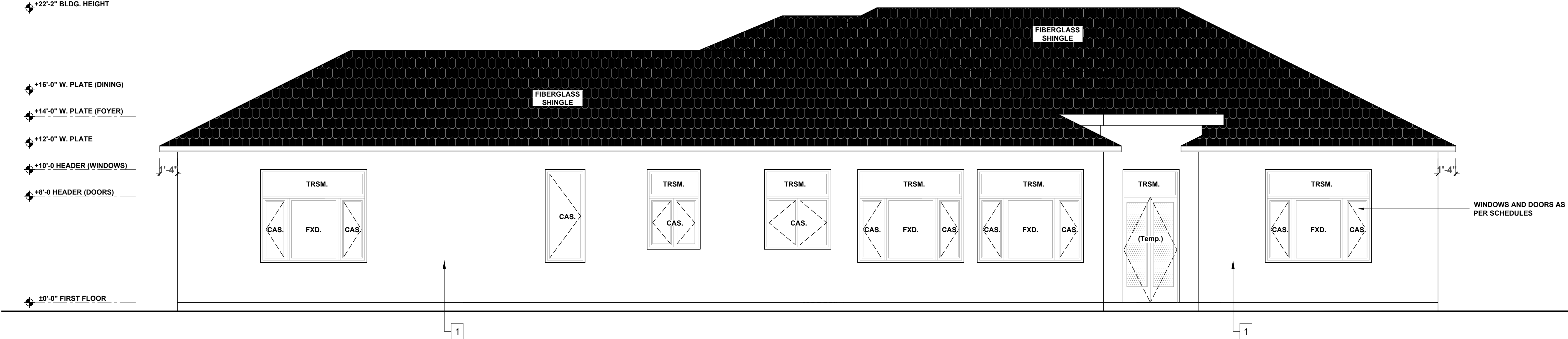
Page 5 of 11



3

REAR ELEVATION

SCALE: 1/4" = 1'-0"



4

LEFT ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS	BY
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Scale: AS NOTED

0 2' 4' 8'

SCALE: 1/4" = 1'-0"

Drawing Description:
ELEVATIONS

Drawing Number:

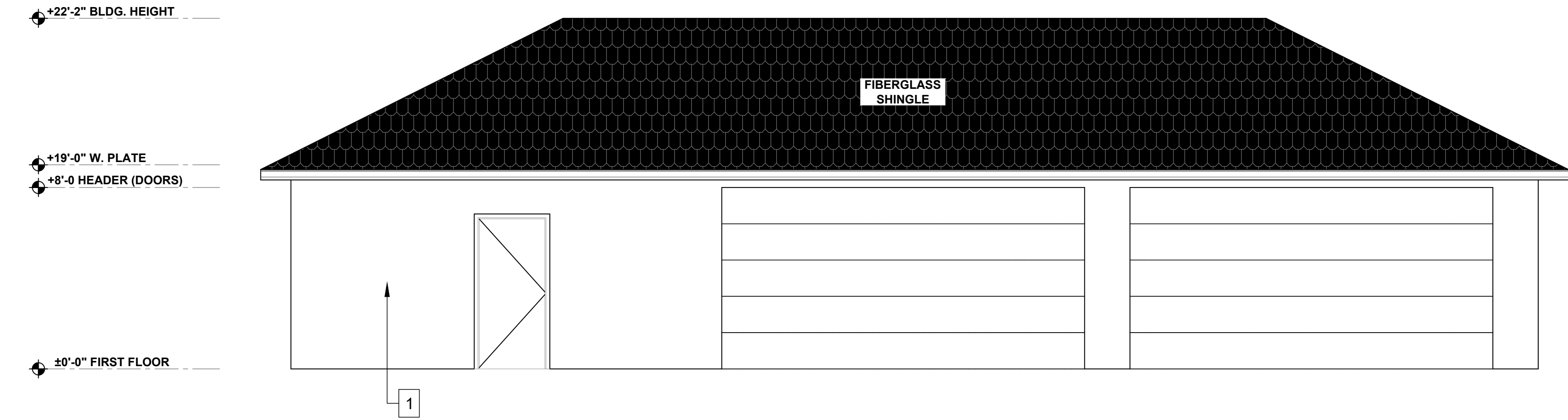
A2.3



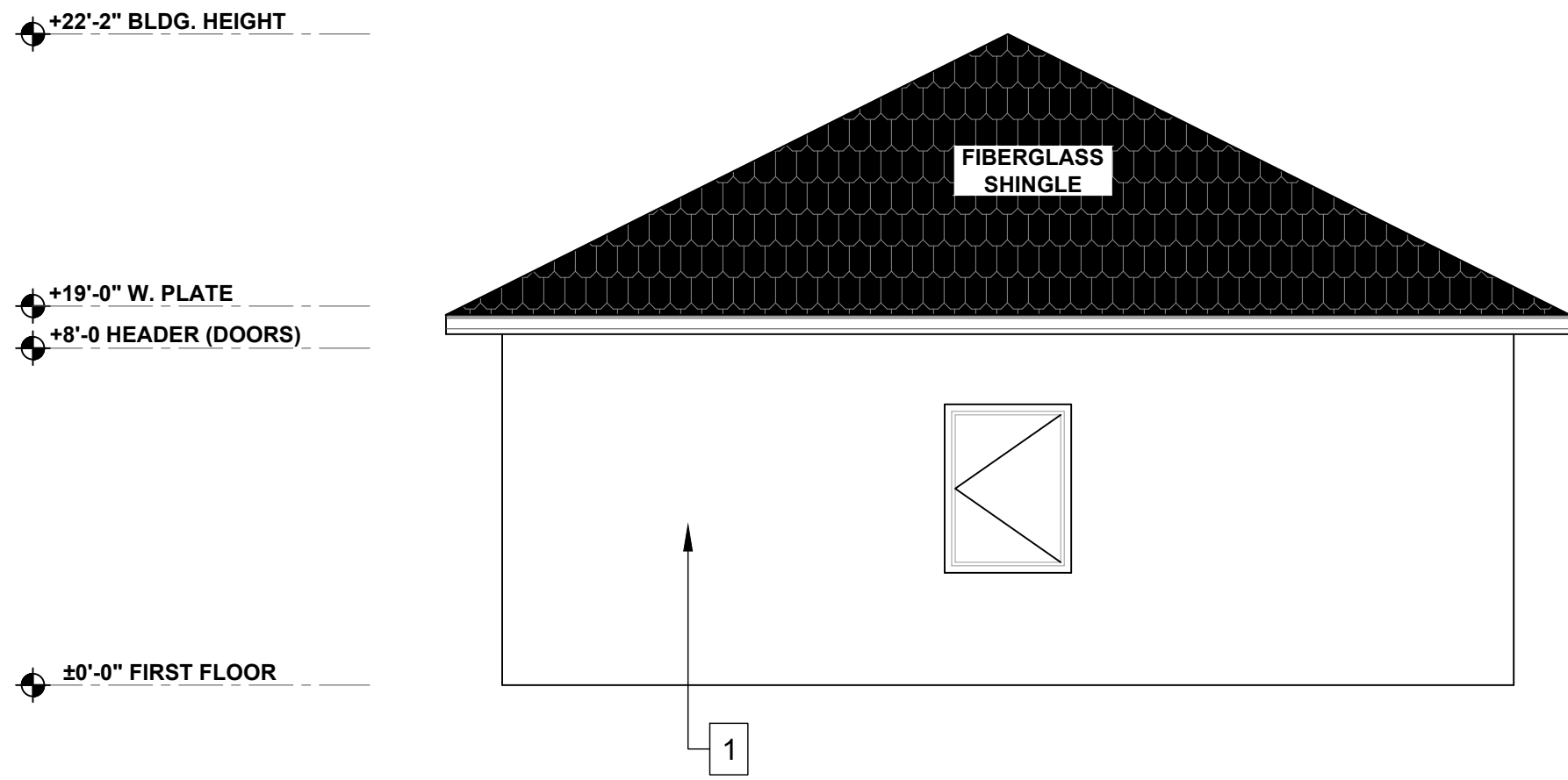
5 **FRONT ELEVATION**
SCALE: 1/4" = 1'-0"

General Notes

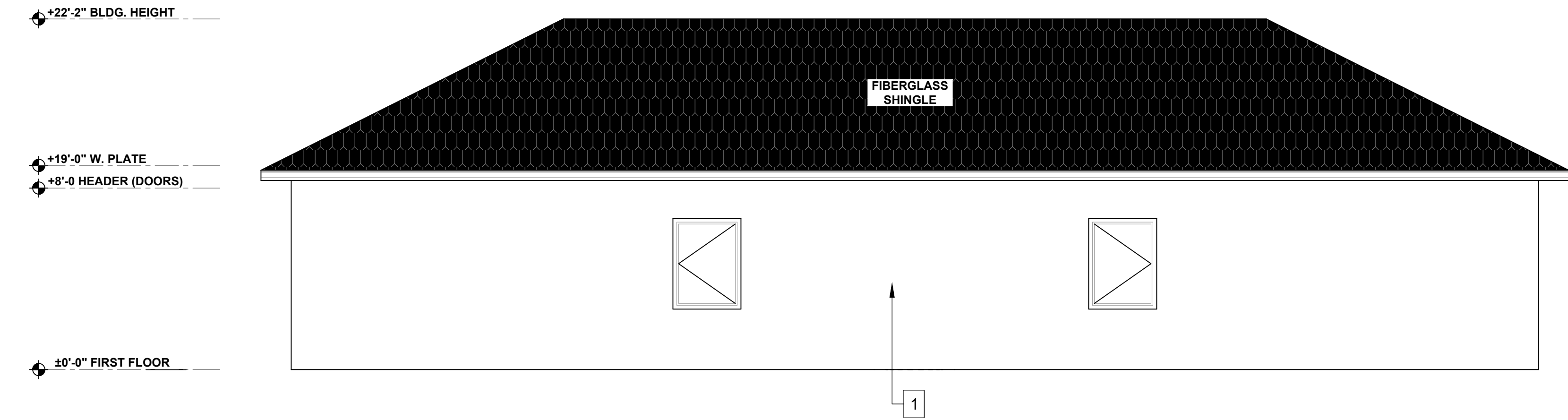
1 Smooth stucco exterior finish with color Key to the City, by Behr. LRV = 35.



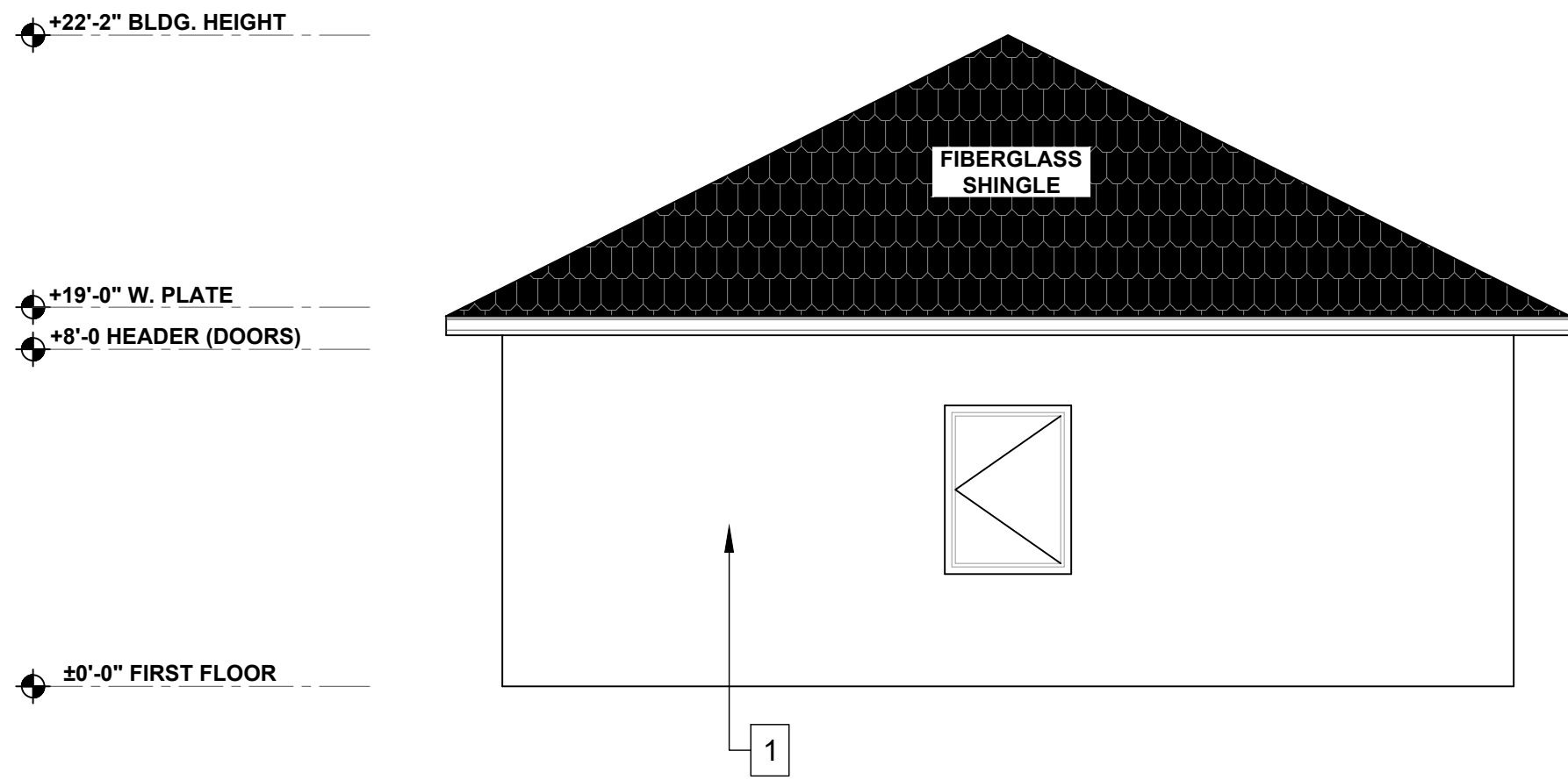
6 **FRONT ELEVATION - GARAGE**
SCALE: 1/4" = 1'-0"



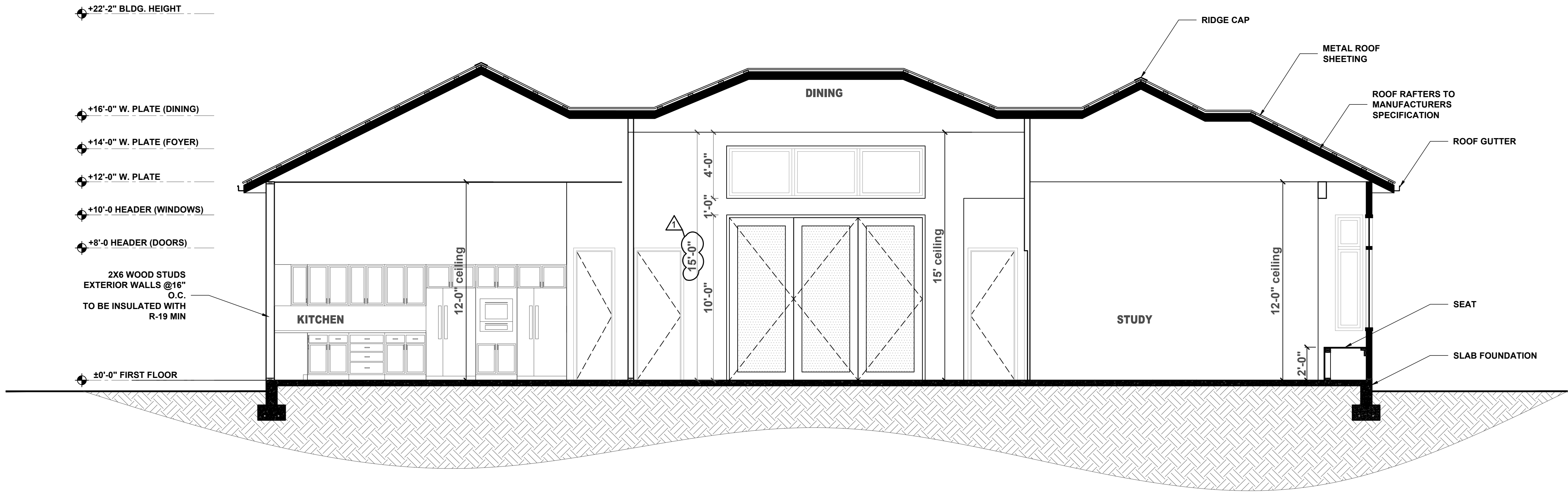
7 **RIGHT ELEVATION - GARAGE**
SCALE: 1/4" = 1'-0"



8 **REAR ELEVATION - GARAGE**
SCALE: 1/4" = 1'-0"



9 **LEFT ELEVATION - GARAGE**
SCALE: 1/4" = 1'-0"



1 SECTION 1
SCALE: 1/4" = 1'-0"

REVISIONS	BY
△	KL
Project Description: PROPOSED NEW HOME & DETACHED GARAGE	
Project Address: W. San Martin Ave., San Martin, CA, 95046-9444	
Owner Details: Ashutosh Jha	
Drawn By: KRISTEN LE	
Date: 11/11/2021	
Paper size: ARCH D (24"X36")	
Scale: AS NOTED	
02'4'8' SCALE: 1/4" = 1'-0"	
Drawing Description: SECTION	
Drawing Number: A3.1	
Page 7 of 11	

ROOM FINISH SCHEDULE

ROOM NAME	Area	WALLS		FLOOR		CEILING				NOTES
		MATL	FINISH	MATL	FINISH	MATL	HEIGHT	FINISH	COLOR	
UTILITY	44 SQFT	1/2" DRYWALL	SKIM COAT	--	TILE	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
LAUNDRY	58 SQFT	1/2" DRYWALL	SKIM COAT	--	TILE	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
WIC 3	26 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
BEDROOM 3	284 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
WIC 2	43 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
PANTRY	50 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
MASTER BATH	209 SQFT	1/2" DRYWALL, CERAMIC TILES	SKIM COAT	--	TILE	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
MASTER WIC	140 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
KITCHEN	214 SQFT	1/2" DRYWALL	SKIM COAT	--	TILE	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
FAMILY ROOM	399 SQFT	1/2" DRYWALL	SKIM COAT	--	TILE	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
DINING	402 SQFT	1/2" DRYWALL	SKIM COAT	--	TILE	1/2" DRYWALL	VAULTED	SMOOTH	WHITE	--
LIVING	494 SQFT	1/2" DRYWALL	SKIM COAT	--	TILE	1/2" DRYWALL	VAULTED	SMOOTH	WHITE	--
MASTER BEDROOM	539 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
BATH 4	57 SQFT	1/2" DRYWALL, CERAMIC TILES	SKIM COAT	--	TILE	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
BATH 3	52 SQFT	1/2" DRYWALL, CERAMIC TILES	SKIM COAT	--	TILE	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
BATH 2	60 SQFT	1/2" DRYWALL, CERAMIC TILES	SKIM COAT	--	TILE	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
BEDROOM 2	456 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
STUDY	249 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
BEDROOM 4	288 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
WIC. 4	45 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
TV ROOM	427 SQFT	1/2" DRYWALL	SKIM COAT	--	HARDWOOD	1/2" DRYWALL	12'-0"	SMOOTH	WHITE	--
FOYER	56 SQFT	1/2" DRYWALL	SKIMCOAT	--	TILE	1/2" DRYWALL	14'-0"	SMOOTH	WHITE	--
4- CAR GARAGAGE	1242 SQFT	1/2" DRYWALL	SKIM COAT	--	CONCRETE	1/2" DRYWALL	9'-0"	SMOOTH	WHITE	--

WINDOW SCHEDULE

Mark	Quantity	Style	SIZE		Head Height	Sill Height	Location	Remarks
			Width	Height				
1	1	8070 Composite Unit 5	8'-0"	7'-0"	10'-0"	3'-0"	BEDROOM 4	EGRESS
	1	8070 Composite Unit 5	8'-0"	7'-0"	10'-0"	3'-0"	BEDROOM 2	EGRESS
	1	8070 Composite Unit 5	8'-0"	7'-0"	10'-0"	3'-0"	MASTER BEDROOM	EGRESS
	1	8070 Composite Unit 5	8'-0"	7'-0"	10'-0"	3'-0"	BEDROOM 3	EGRESS
	3	8070 Composite Unit 5	8'-0"	7'-0"	10'-0"	3'-0"	FAMILY ROOM	EGRESS
2	1	4060 Double Casement & Transom	4'-0"	6'-0"	10'-0"	4'-0"	MASTER BATH	--
4	1	5060 Double Casement & Transom	5'-0"	6'-0"	10'-0"	4'-0"	KITCHEN	--
6	2	3070 Double Casement & Transom	3'-0"	7'-0"	10'-0"	3'-0"	BEDROOM 4	--
	2	3070 Double Casement & Transom	3'-0"	7'-0"	10'-0"	3'-0"	BEDROOM 3	--
7	1	Glider	4'-0"	2'-0"	8'-0"	6'-0"	BATH 2	--
	1	Glider	4'-0"	2'-0"	8'-0"	6'-0"	BATH 3	--
8	2	1870 Casement	1'-8"	7'-0"	10'-0"	3'-0"	STUDY	--
9	2	3070 Casement	3'-0"	7'-0"	10'-0"	3'-0"	STUDY	--
10	1	3070 Fixed	3'-0"	7'-0"	10'-0"	3'-0"	STUDY	--
12	5	Casement	3'-0"	4'-0"	6'-8"	2'-8"	4- CAR GARAGAGE	--
13	1	12' x 4' Composite Unit 13	12'-0"	4'-0"	15'-0"	11'-0"	DINING	--
14	4	5070 Double Casement & Transom	5'-0"	7'-0"	10'-0"	3'-0"	BEDROOM 2	--
	4	5070 Double Casement & Transom	5'-0"	7'-0"	10'-0"	3'-0"	MASTER BEDROOM	--
17	1	3070 Single Full Casement	3'-0"	7'-0"	10'-0"	3'-0"	MASTER BATH	--

- Notes:
- All exterior windows shall be dual-pane tempered glass according to Ch 7A of the California Building Code regarding Wildlife Urban Interface regulations.
 - All windows are fiberglass unless otherwise noted.
 - Prior to order, model and size shall be field verified and confirmed by owner and architect.

DOOR SCHEDULE

MARK	Quantity	Style	LOCATION	WD	HGT	THK	Swing Direction	FIRE RATING LABEL	NOTES
1	1	French + Transom	FOYER	6'-0"	8'-0"	1 3/4"	N/A	--	6'-0" X 2'-0" TRANSOM ABOVE
2	1	Hinged - Single	BEDROOM 4	3'-0"	8'-0"	1 3/4"	Right	--	--
3	1	Hinged - Single	WIC. 4	2'-6"	8'-0"	1 3/4"	Right	--	--
4	1	Hinged - Single	BATH 4	2'-6"	8'-0"	1 3/4"	Right	--	--
5	1	Hinged - Single	BEDROOM 3	3'-0"	8'-0"	1 3/4"	Left	--	--
6	1	Hinged - Single	WIC 3	2'-6"	8'-0"	1 3/4"	Right	--	--
7	1	Hinged - Single	BATH 3	2'-6"	8'-0"	1 3/4"	Right	--	--
8	1	Hinged - Single	LAUNDRY	2'-6"	8'-0"	1 3/4"	Right	--	--
9	1	Hinged - Single	UTILITY	2'-6"	8'-0"	1 3/4"	Right	--	--
10	1	Hinged - Single	BEDROOM 2	3'-0"	8'-0"	1 3/4"	Right	--	--
11	1	Hinged - Single	WIC 2	2'-6"	8'-0"	1 3/4"	Left	--	--
12	1	Hinged - Single	BATH 2	2'-6"	8'-0"	1 3/4"	Left	--	--
13	1	FOLDING	TV ROOM	16'-0"	10'-0"	NA	NA	--	--
14	1	Hinged - Single	MASTER BEDROOM	3'-0"	8'-0"	1 3/4"	Right	--	--
15	1	Hinged - Single	MASTER WIC	3'-0"	8'-0"	1 3/4"	Left	--	--
16	1	Hinged - Single	MASTER BATH	3'-0"	8'-0"	1 3/4"	Right	--	--
17	1	Hinged - Single	MASTER BATH	2'-6"	8'-0"	1 3/4"	Left	--	--
18	1	Hinged - Single	PANTRY	2'-6"	8'-0"	1 3/4"	Right	--	--
19	1	FOLDING	DINING	12'-0"	10'-0"	NA	NA	--	--
20	1	Hinged - Double	STUDY	5'-0"	8'-0"	1 3/4"	NA	--	--
21	1	Hinged - Single - Exterior	4- CAR GARAGAGE	3'-0"	6'-8"	1 3/4"	Right	--	--
22	2	Overhead - Sectional	4- CAR GARAGAGE	16'-0"	8'-0"	1 3/4"	NA	--	--

- Notes:
- All exterior doors with glass panel shall have dual-pane tempered glass according to Ch 7A of the California Building Code regarding Wildlife Urban Interface regulations.
 - prior to order, model and size shall be field verified and confirmed by owner and architect.

REVISIONS	BY
△	KL

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PROPOSED NEW HOME & DETACHED GARAGE

Project Address:
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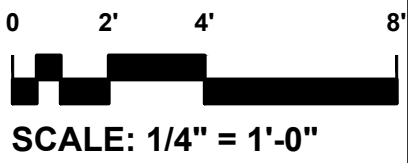
Owner Details:
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Drawn By:
KRISTEN LE

Date: 11/11/2021

Paper size:
ARCH D (24"X36")

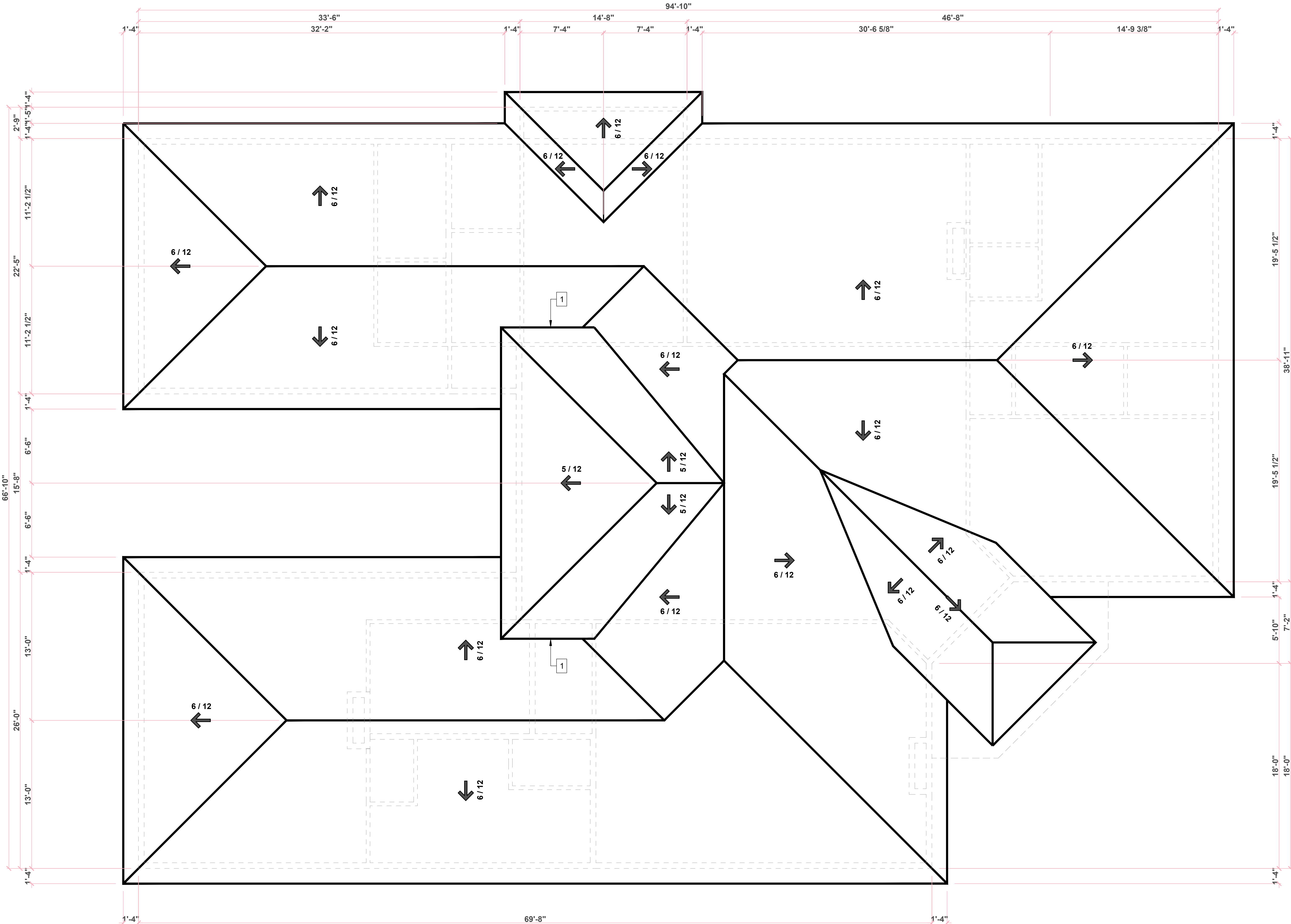
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Drawing Description:
DOOR, WINDOW AND
ROOM FINISH
SCHEDULES

Drawing Number:

A4.1



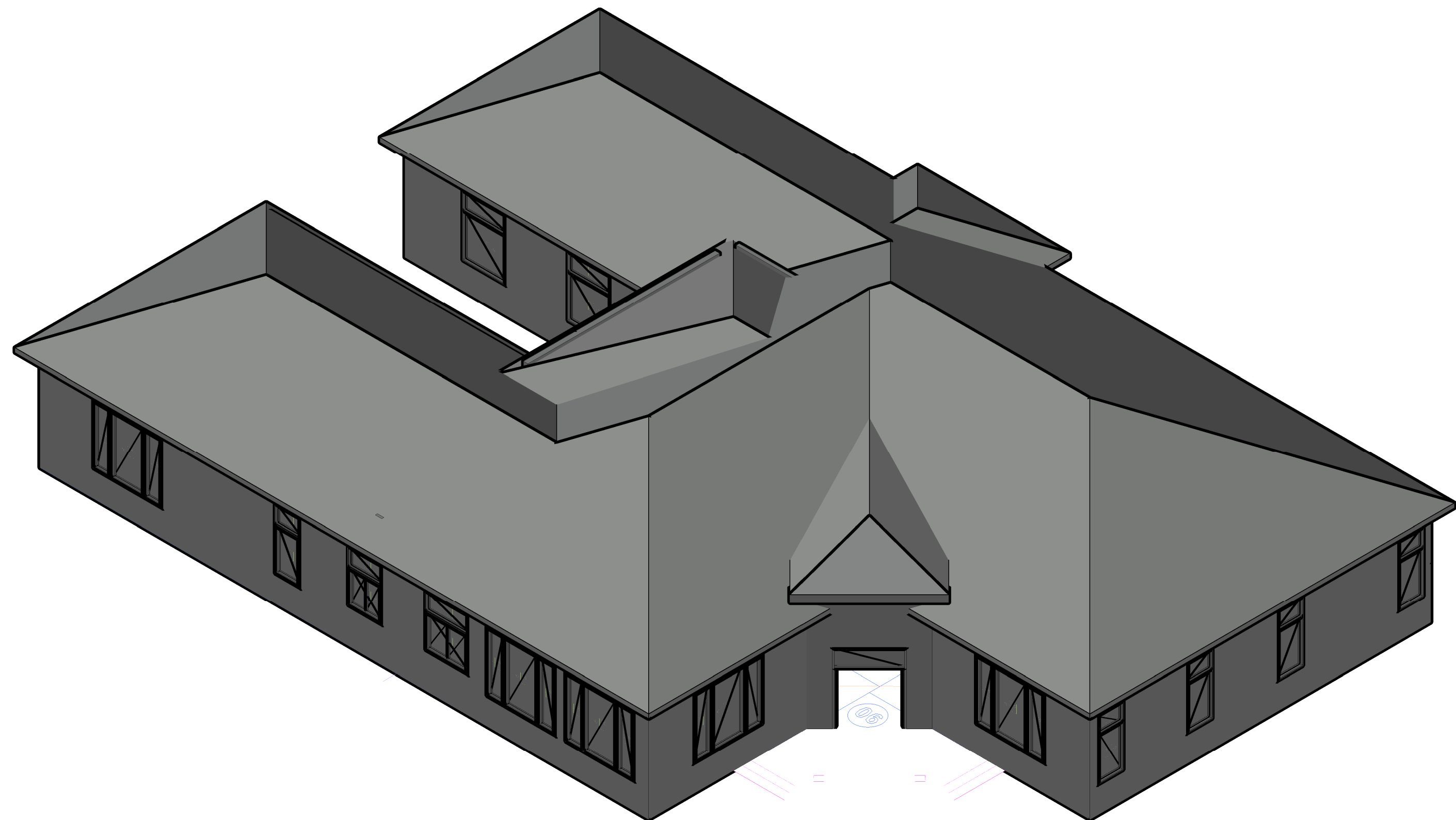
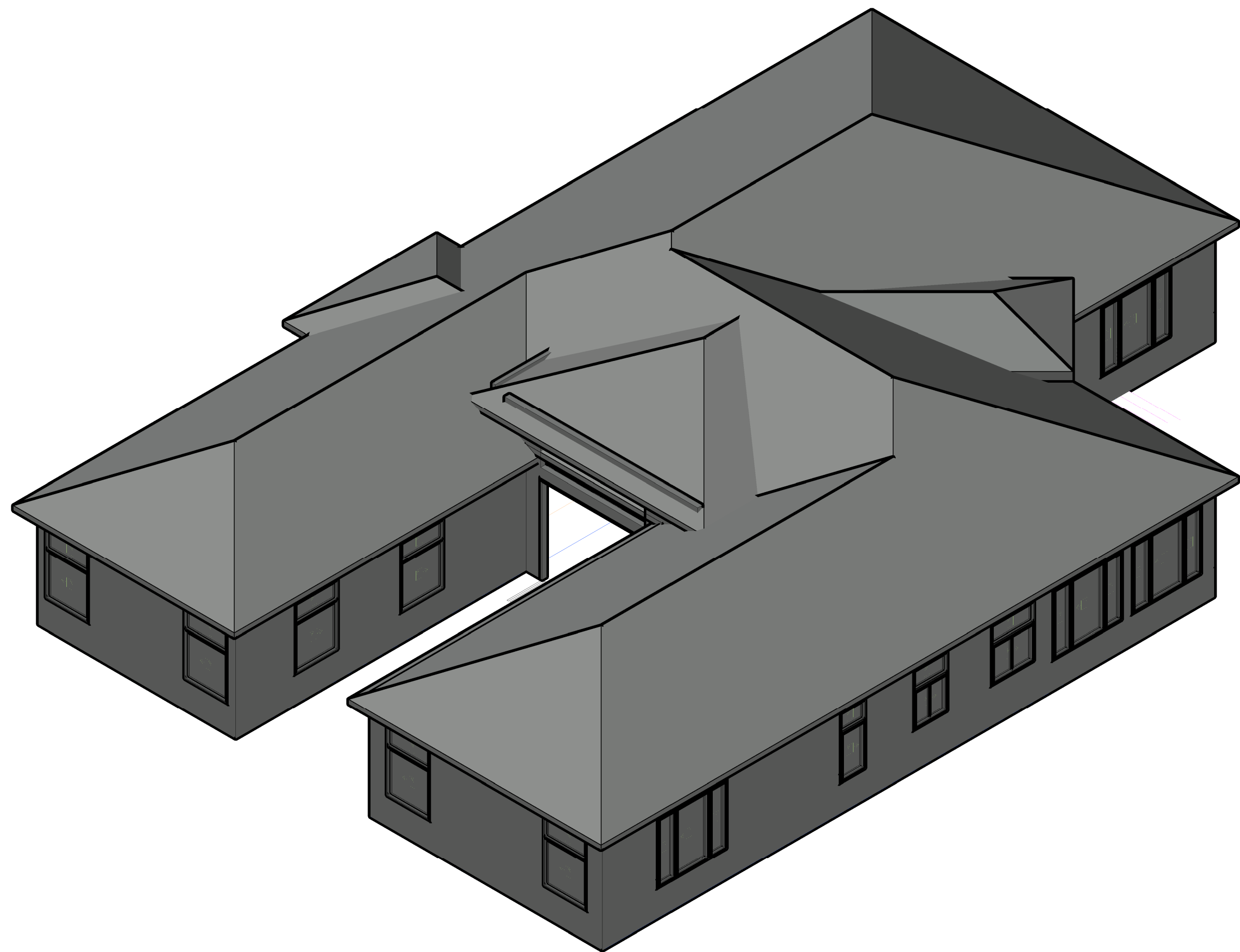
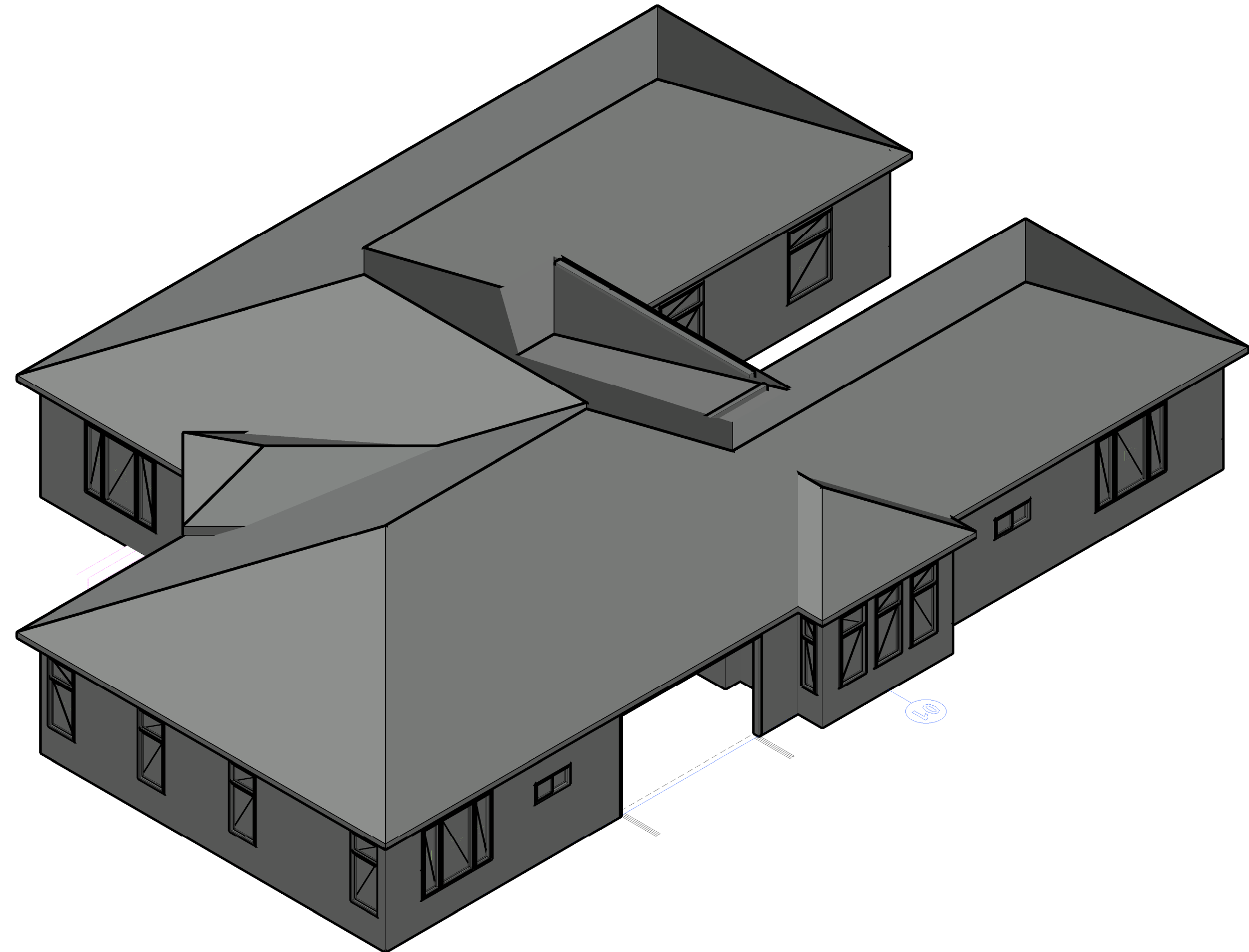
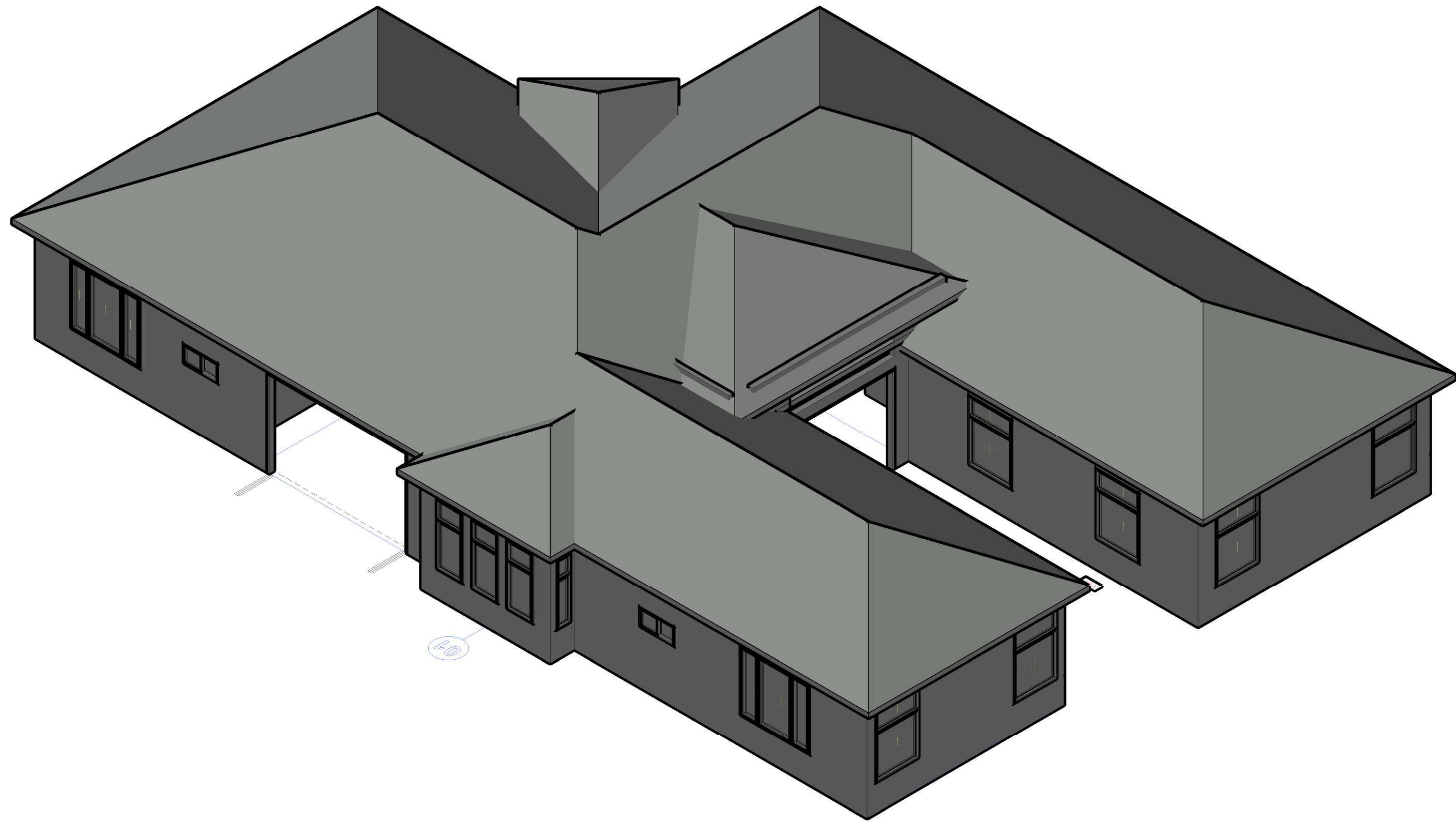
ROOF PLAN
SCALE: 1/4" = 1'-0"

General Notes

Roof composed of asphalt shingle over two layers of #30 felt over plywood sheathing.

1 Roof cricket to be built in specified roof valleys with slope away from house.

REVISIONS	BY
△	KL
Project Description: PROPOSED NEW HOME & DETACHED GARAGE Owner Details: Ashutosh Jha Drawn By: KRISTEN LE Date: 11/11/2021 Paper size: ARCH D (24"X36") Scale: AS NOTED 0 2' 4' 8' SCALE: 1/4" = 1'-0" Drawing Description: ROOF PLAN Drawing Number: A5.1 Page 6 of 6	



REVISIONS	BY
△	KL

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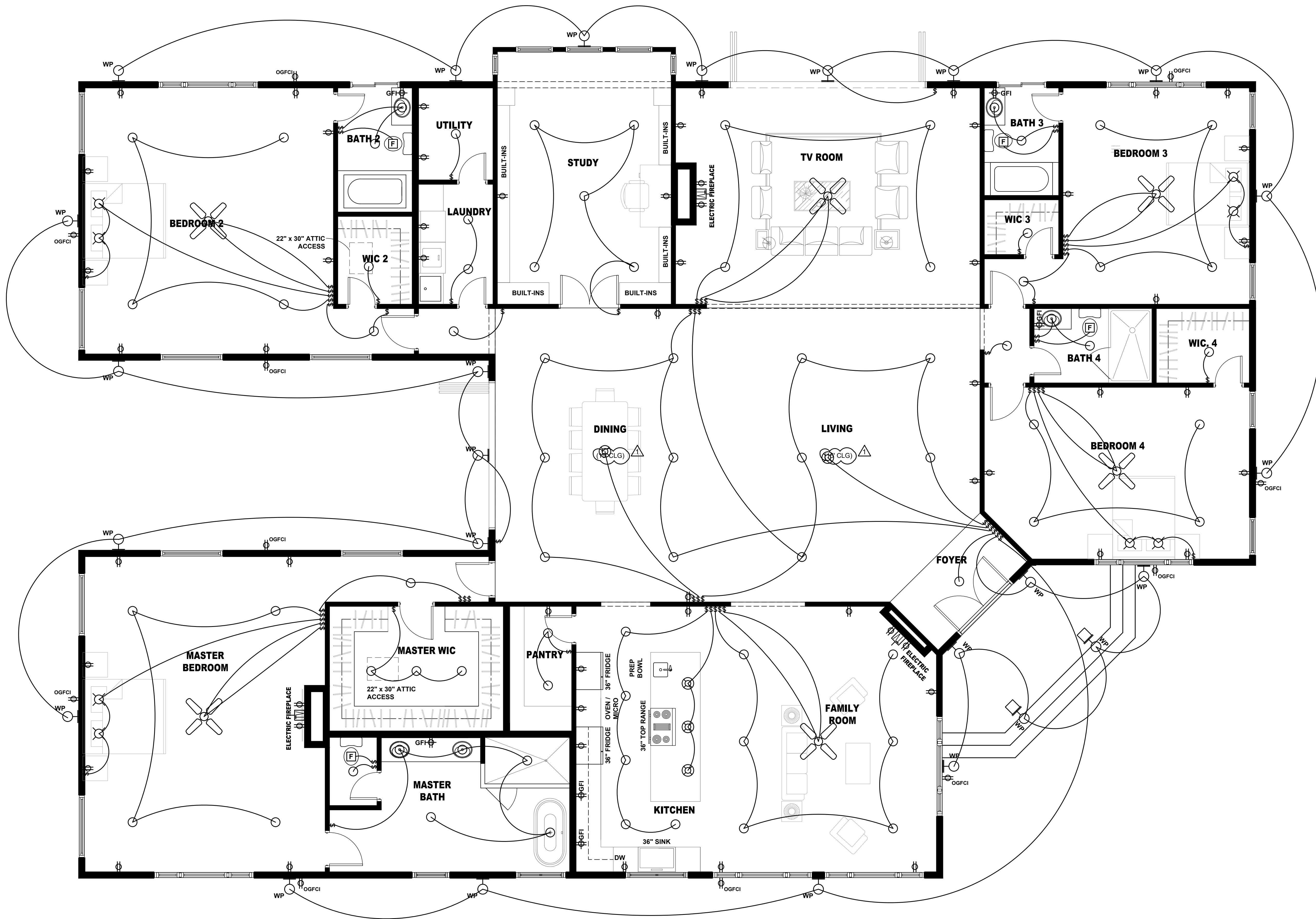


SCALE: 1/4" = 1'-0"

Drawing Description:
ISOMETRIC VIEWS

Drawing Number:

A7.1



ELECTRICAL PLAN- F.F.
SCALE: 1/4" = 1'-0"

Notes

Provide smoke alarms - hard wired, interconnected, battery backup, at each sleeping room and immediate common area outside of sleeping rooms and located at not less than 3 ft from a door to a bathroom with tub or shower except when this requirement will prevent the installation of a smoke alarm in a required location

All receptacle in bedrooms to be ACFI protected.

All receptacles in bathrooms and kitchens to be GFCI protected

Legend

- READING LIGHT IN CEILING
- RECESSED CEILING DOWNLIGHT LED
- WALL SCONCE / WALL MOUNTED LED FIXTURE
- CEILING PENDANT LIGHT LED
- WL FIXTURE IN WET LOCATIONS
- WP FIXTURE TO BE WEATHER PROOF
- F 50 CFM INTERMITTENT VENTILATION EXHAUSTED DIRECTLY TO THE OUTSIDE
- ⌀ DUPLEX RECEPTACLE
- ⌀ DUPLEX RECEPTACLE ABOVE COUNTER TOPS
- S SMOKE DETECTOR
- GFCI DUPLEX RECEPTACLE, GROUND-FAULT CIRCUIT INTERRUPTER
- OGFCI OUTDOOR GROUND-FAULT CIRCUIT INTERRUPTER OUTLET NEAR GROUND
- 2x4 GARAGE LED LIGHT
- FAN WITH LIGHT FIXTURE
- UNDER COUNTER STRIP LED LIGHT
- \$ SINGLE SWITCH

REVISIONS	BY
△	KL

Project Description:
PROPOSED NEW HOME & DETACHED GARAGE

Project Address:
W. San Martin Ave., San Martin, CA, 95046-9444

Owner Details:
Ashutosh Jha

Drawn By:
KRISTEN LE

Date: 11/11/2021

Paper size:
ARCH D (24"x36")

Scale: AS NOTED

0 2' 4' 8'

SCALE: 1/4" = 1'-0"

Drawing Description:
ELECTRICAL PLAN

Drawing Number:
E1.1

Page 11 of 11