

























FG	GROUND FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FL	GARAGE SLAB ELEVATION
	GAS LINE
GM	GAS METER
HP	HIGH POINT
INV	INVERT
LIP	LIP OF GUTTER
LS	LANDSCAPED AREA
LT	LEFT
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
NTS	NOT TO SCALE
OH	OVERHEAD
OG	ORIGINAL
PAD	PAYMENT FINISH GRADE
P	PAD ELEVATION
PG	PAGE
P	PROPERTY LINE
PP	POWER POLE PROP PROPOSED
PSE	PUBLIC SERVICE EASEMENT

 CABLE ROCK ENERGY DISSIPATOR  
 CONCRETE  
 CONTOUR: EXISTING  
 CONTOUR: PROPOSED OR NEW  
 DESIGN GRADE  
 DOWNSPOUT WITH SPLASHBLOCK  
 DIVERSION VALVE  
 BACKWATER VALVE (SEE PROJECT NOTES)  
 DRAINAGE SWALE  
 EASEMENT LINE  
 EXISTING ELEVATION  
 EXISTING FENCE  
 EXISTING TREE TO BE REMOVED

	SANITARY SEWER CLEAN OUT MANHOLE
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	UTILITY: EXISTING
	UTILITY: PROPOSED
	WATER METER
	WATER VALVE
	WELL
	TREE PROTECTION FENCE
	ABANDON UTILITY LINE
	RIPARIAN

007  
MARTIN AVENUE, SAN MARTIN, CA 9  
SQ. FT. / 20.3 ACRES  
(100%)  
SOUTH SANTA CLARA COUNTY  
FIRE PROTECTION DISTRICT  
LANDSLIDE HAZARD ZONE  
LIQUEFACTION HAZARD ZONE  
(93.5%), AE (5.8%)  
CENTRAL COAST  
8 INCHES  
4,993 SF  
704 SF

A map showing the intersection of Santa Teresa Blvd and East St. The building is located on Santa Teresa Blvd, near the intersection with East St. The map also shows other streets like Santa Teresa Blvd, East St, and Santa Teresa Blvd. A north arrow is present in the top right corner.

## DISTURBED AREAS

## BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF W SAN MARTIN AVE AS FOUND MONUMENTED AS N31°00'00"E SHOWN ON PARCEL MAP, RECORDED IN BOOK 510 OF MAPS, AT PAGE 54, SANTA CLARA COUNTY RECORDS.

PARCEL 22  
PN 779-47-006

VICINITY MAPON-SITE EARTHWORK QUANTITY

NOTE : FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

## FIRE PROTECTION NOTES:

1. ALL DRIVEWAYS AND ACCESS ROADS TO MEET COUNTY STANDARD SD1.
2. DRIVEWAYS TO BE MADE OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS AND HAVE A MAXIMUM SLOPE 16%.
3. WATER TANKS TO HAVE A MAXIMUM HEIGHT OF 12 FEET AND MEET STANDARDS SET IN CFMO W2 & W5. TANKS GREATER THAN 12 FEET IN HEIGHT WILL REQUIRE A SEPARATE BUILDING PERMIT.
4. FIRE HYDRANT SHALL MEET STANDARDS SET IN CFMO-W2.
5. WATER TANK SHALL BE SIZED PER NFPA 1142 TO INCLUDE SPRINKLER DEMAND AND HYDRANT DEMAND.
6. ALL STRUCTURES SHALL MEET MIDLAND URBAN INTERFACE (WUI) REQUIREMENTS AT BUILDING PERMIT SUBMITTAL.
7. NFPA 13 FIRE SPRINKLERS SHALL BE INSTALLED IN ALL BUILDINGS AND WILL BE A DEFERRED SUBMITTAL.
8. ALL DEFERRED SUBMITTALS FOR FIRE PROTECTION UNDERGROUND, FIRE HYDRANTS, WATER TANKS, & FIRE PUMP.
9. PROPERTY TO MAINTAIN 100 FEET DEFENSIBLE SPACE AT ALL TIMES.
10. STRUCTURES SHALL CONFORM TO WUI BUILDING REQUIREMENTS.

## CAL FIRE NOTES:

1. DRIVEWAYS AND ROAD AND DRIVEWAY STRUCTURES SHALL BE DESIGNED AND MAINTAINED TO SUPPORT AT LEAST 40,000 POUNDS. (C) PROJECT PROPONENT SHALL PROVIDE ENGINEERING SPECIFICATIONS TO SUPPORT DESIGN, IF REQUESTED BY THE LOCAL AUTHORITY HAVING JURISDICTION.
2. (A) GATE ENTRANCES SHALL BE AT LEAST TWO (2) FEET WIDER THAN THE WIDTH OF THE TRAFFIC LANE(S) SERVING THAT GATE AND A MINIMUM WIDTH OF FOURTEEN (14) FEET UNOBSTRUCTED HORIZONTAL CLEARANCE AND UNOBSTRUCTED VERTICAL CLEARANCE OF THIRTEEN FEET, SIX INCHES (13' 6"). (B) ALL GATES PROVIDING ACCESS FROM A ROAD TO A DRIVEWAY SHALL BE LOCATED AT LEAST THIRTY (30) FEET FROM THE ROADWAY AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THAT ROAD. (C) WHERE A ONE-WAY ROAD WITH A SINGLE TRAFFIC LANE PROVIDES ACCESS TO A GATED ENTRANCE, A FORTY (40) FOOT TURNING RADIUS SHALL BE USED. (D) SECURITY GATES SHALL NOT BE INSTALLED WITHOUT APPROVAL. WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. APPROVAL SHALL BE BY THE LOCAL AUTHORITY HAVING JURISDICTION. THE SECURITY GATES AND THE EMERGENCY OPERATION SHALL BE MAINTAINED IN OPERATION AT ALL TIMES.
3. STRUCTURES CONSTRUCTED IN THE SRA ARE REQUIRED TO COMPLY WITH THE DEFENSIBLE SPACE REGULATIONS, TITLE 14, NATURAL RESOURCES DIVISION 15, DEPARTMENT OF FORESTRY AND FIRE PROTECTION CHAPTER 7, FIRE PROTECTION SUBCHAPTER 3, FIRE HAZARD.

1ST FL MAIN HOUSE FLOOR AREA

DIMENSIONS			AREA	DIMENSIONS			AREA
A	21'-10 1/2" X 42'-6"		930 SF	H	21'-10 1/2" X 42'-6"		930 SF
B	19'-6" X 34'-10 1/2"		681 SF	J	23'-6 1/2" X 36'-0"		847 SF
C	14'-0" X 22'-0"		308 SF	I	19'-6" X 34'-10 1/2"		681 SF
D	20'-5" X 24'-0"		490 SF	K	14'-0" X 21'-11 1/2"		308 SF
E	7'-3 3/4" X 7'-3"		26 SF	L	20'-7 1/2" X 23'-9 1/2"		491 SF
F*	7'-8 1/2" X 7'-8 3/4"		30 SF	M	3'-7 3/4" X 20'-0"		72 SF
G	3'-7 3/4" X 20'-0"		72 SF	N*	7'-8" X 7'-8"		29 SF
TOTAL		2,537 SQ.FT.		TOTAL		3,359 SQ.FT.	

2ND FL. MAIN HOUSE FLOOR AREA

DIMENSIONS		AREA
H	21'-10 $\frac{1}{2}$ " X 42'-6"	930 SF
I	23'-6 $\frac{1}{2}$ " X 36'-0"	847 SF
J	19'-6" X 34'-10 $\frac{1}{2}$ "	681 SF
K	14'-0 $\frac{1}{2}$ " X 21'-11"	308 SF
L	20'-7 $\frac{1}{2}$ " X 23'-9 $\frac{1}{2}$ "	491 SF
M	3'-7 $\frac{1}{2}$ " X 20'-0"	72 SF
N*	7'-8" X 7'-8"	29 SF
TOTAL		3,359 SQ.FT.

ADU FLOOR AREA

POLYGON	DIMENSIONS	AREA
A	16'-0" x 30'-11"	493 SF
B	12'-5" x 29'-10"	371 SF
C	16'-0" x 20'-3"	324 SF
TOTAL		1,188 SF

D	13'-10" x 20'-3"	280 SF
E	5'-11" x 20'-6"	120 SF
	TOTAL	400 SQ.FT.

NOTES:

1. THICKNESS OF DRIVEWAY WILL BE DETERMINED BY GEOTECHNICAL ENGINEER
2. DRIVEWAY WILL BE MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 POUNDS

TREE TO BE REMOVED

NO.	TREE DIAMETER	QUANTITY
1.	35" OAK	1
	TOTAL	1

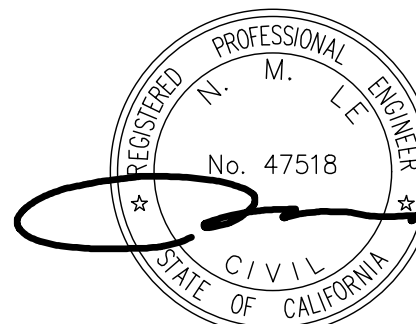
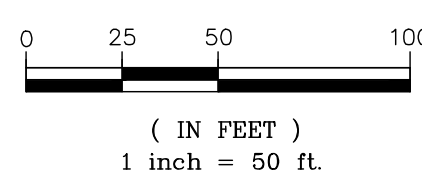
## TURNOUT DETAIL

NTS

SHEET INDEX

SHEET C1: OVERALL SITE PLAN  
SHEET C2: SITE GRADING & DRAINAGE PLAN  
SHEET C3: DRIVEWAY GRADING & DRAINAGE PLAN  
SHEET C4: DRIVEWAY PROFILE & SECTIONS

GRAPHIC SCALE



# ENGINEERING

598 E Santa Clara St #270  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 583-4006

OVERALL SITE PLAN  
LAND OF JHA  
W SAN MARTIN AVE  
APN 779-47-007

California

## San Martin

FILE NO.

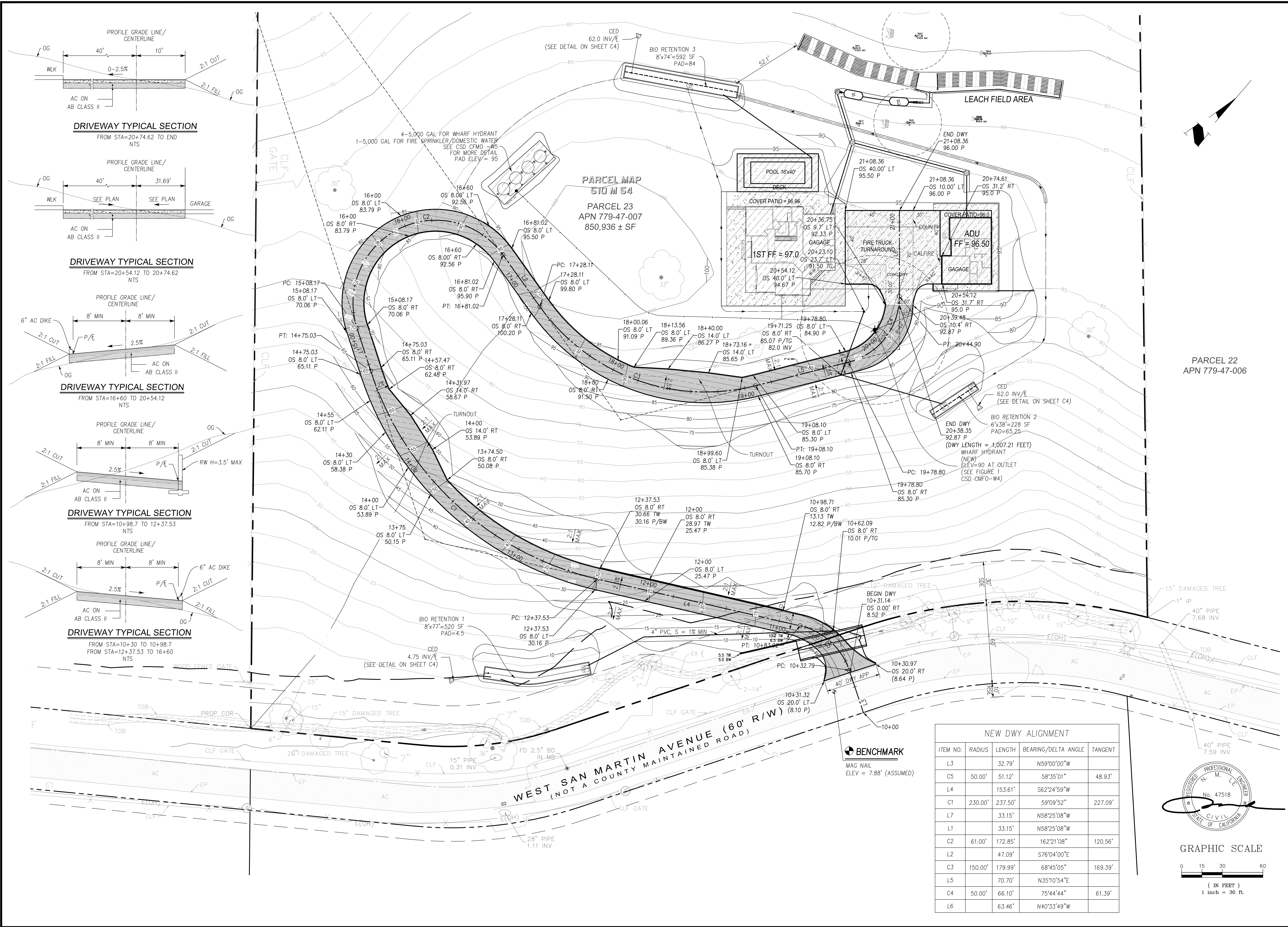
PROJECT NO.

RECEIVED	DATE
L	02/15/21

REVISIONS

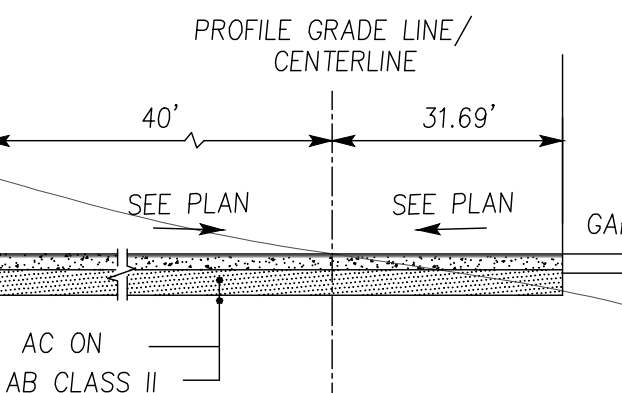
10





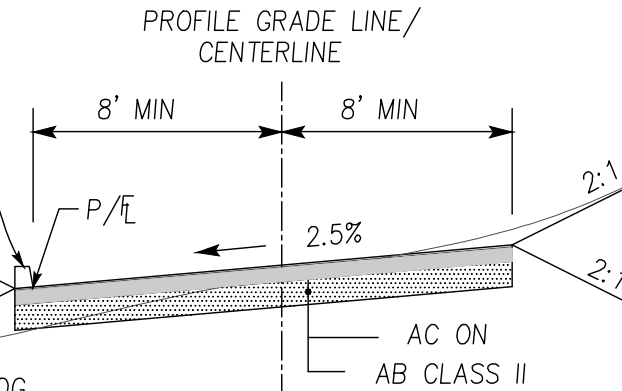
DRIVEWAY TYPICAL SECTION

FROM STA=20+74.62 TO END NTS



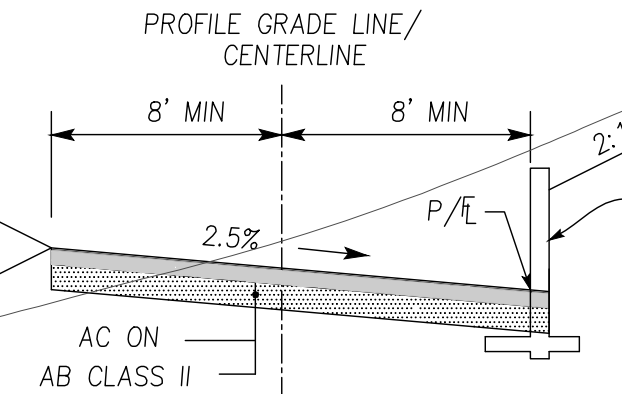
DRIVEWAY TYPICAL SECTION

FROM STA=20+54.12 TO 20+74.62 NTS



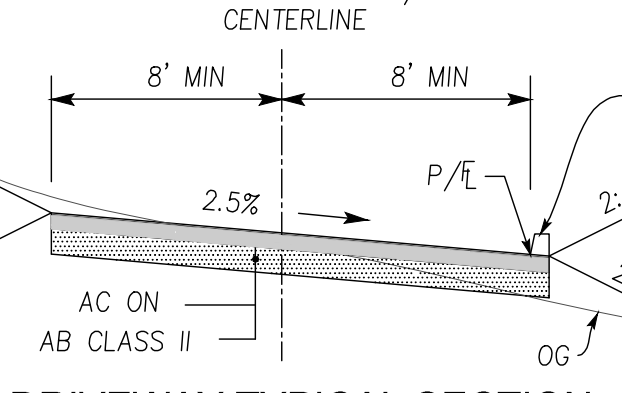
DRIVEWAY TYPICAL SECTION

FROM STA=16+60 TO 20+54.12 NTS



DRIVEWAY TYPICAL SECTION

FROM STA=10+98.7 TO 12+37.53 NTS

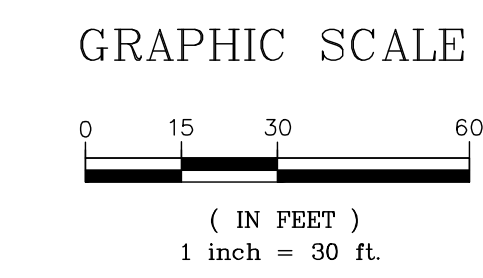


DRIVEWAY TYPICAL SECTION

FROM STA=10+30 TO 10+98.7 FROM STA=12+37.53 TO 16+60 NTS



NEW DWY ALIGNMENT				
ITEM NO.	RADIUS	LENGTH	BEARING/DELTA ANGLE	TANGENT
L3		32.79'	N59°00'00"W	
C5	50.00'	51.12'	S8°35'01"	48.93'
L4		153.61'	S62°24'59"W	
C1	230.00'	237.50'	S9°09'52"	227.09'
L7		33.15'	N58°25'08"W	
L1		33.15'	N58°25'08"W	
C2	61.00'	172.85'	162°21'08"	120.56'
L2		47.09'	S76°04'00"E	
C3	150.00'	179.99'	68°45'05"	169.39'
L5		70.70'	N35°10'54"E	
C4	50.00'	66.10'	75°44'44"	61.39'
L6		63.46'	N40°33'49"W	



ENGINEERING

598 E Santa Clara St #270  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 583-4006

DRIVEWAY GRADING & DRAINAGE PLAN

LAND OF JHA  
W SAN MARTIN AVE  
APN 779-47-007

San Martin

C2

2 OF 6

REVISIONS

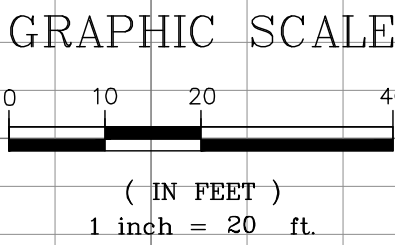
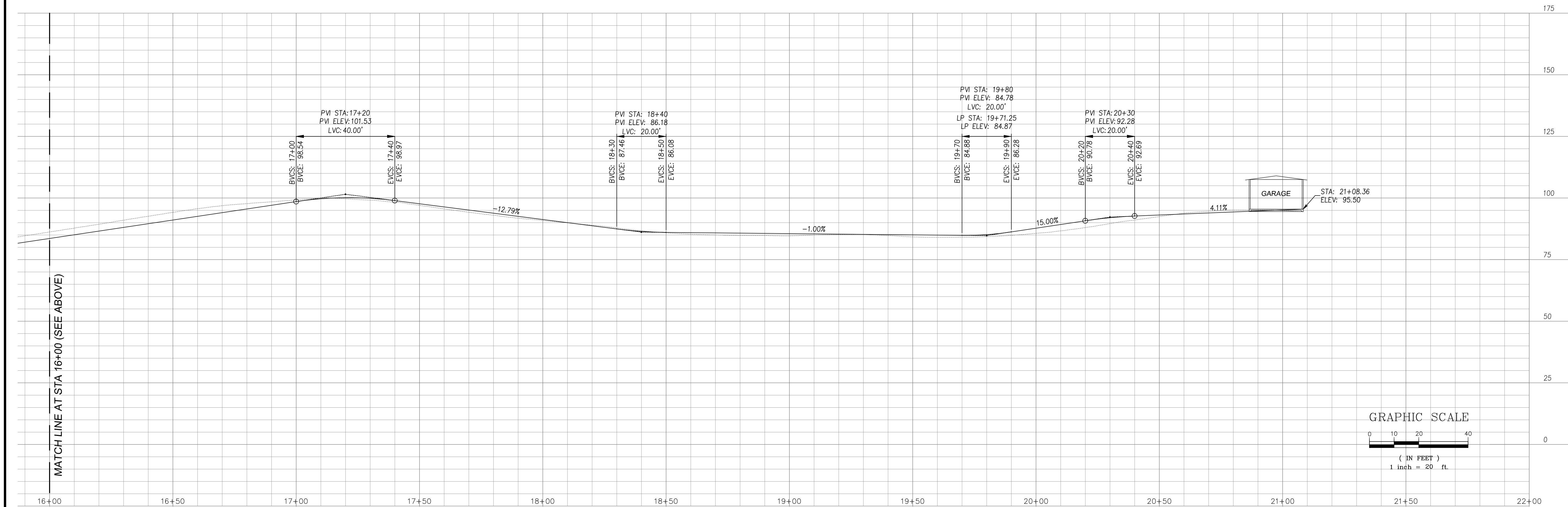
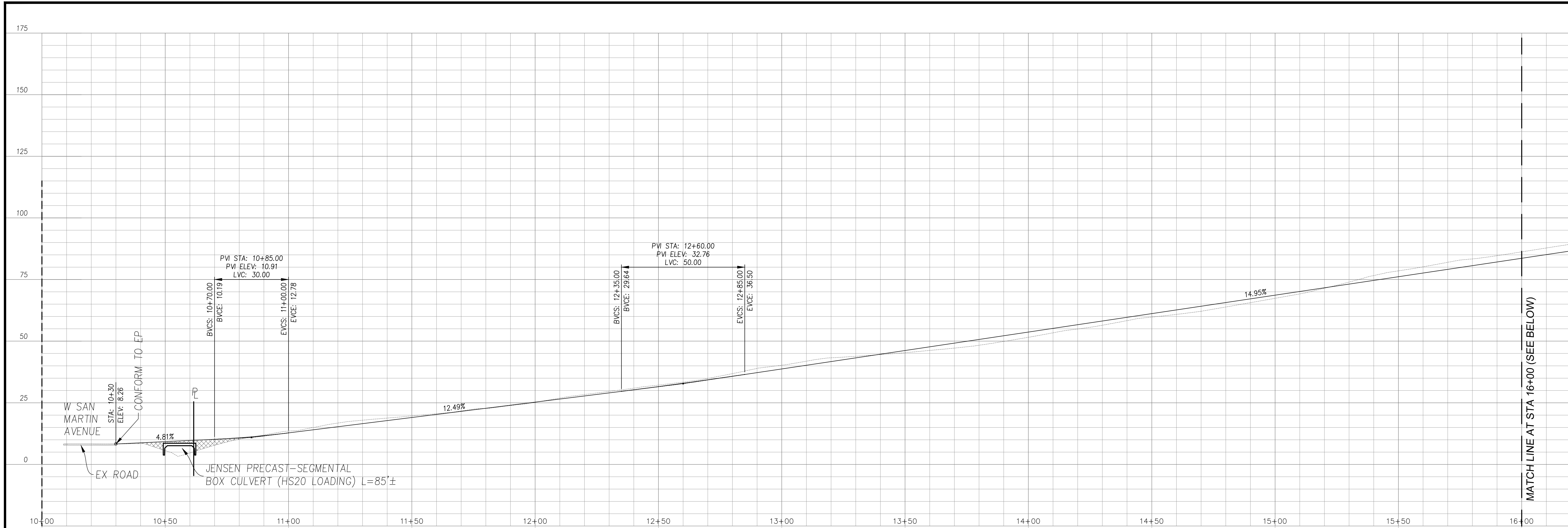
NO.	DATE	BY	APP'D	REVISIONS

PROJECT NO.

CONTRACT NO.

APPLICANT : JHA

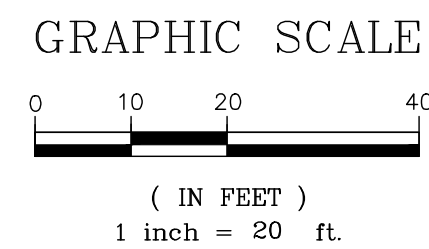
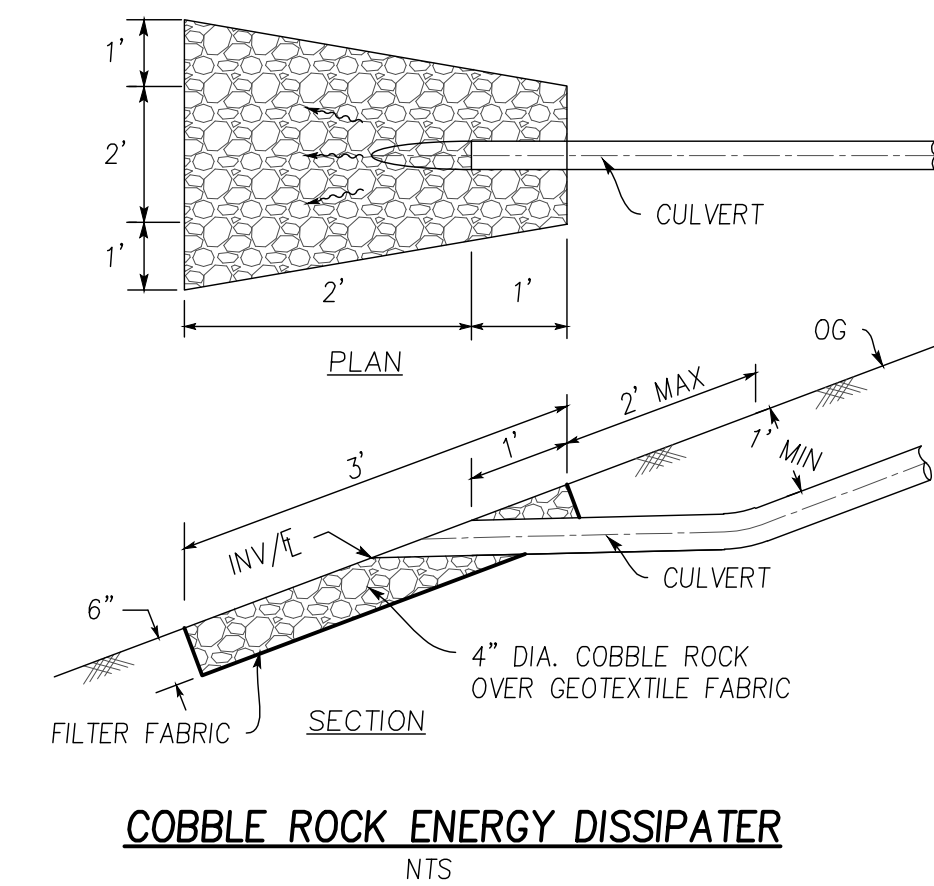
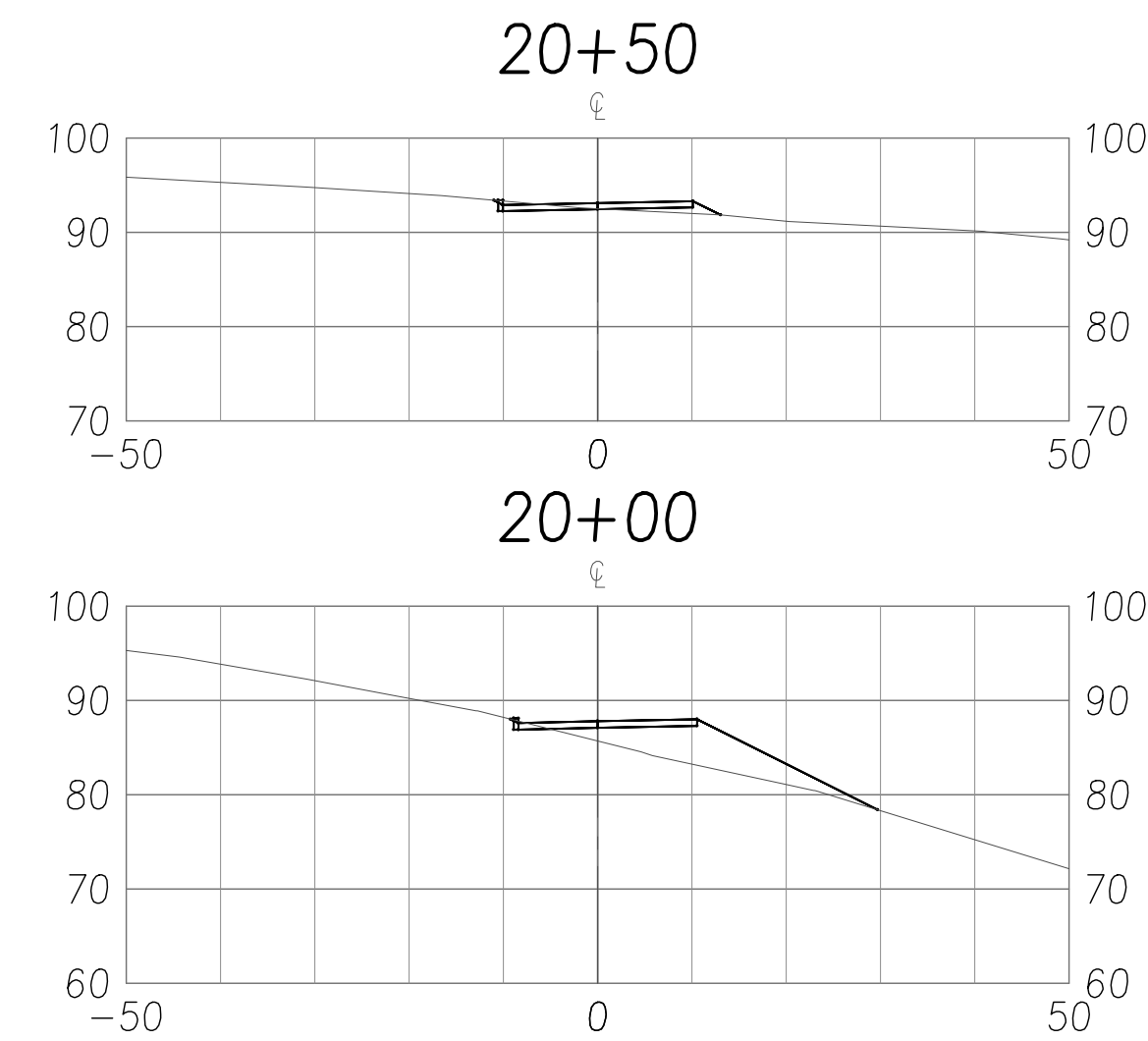
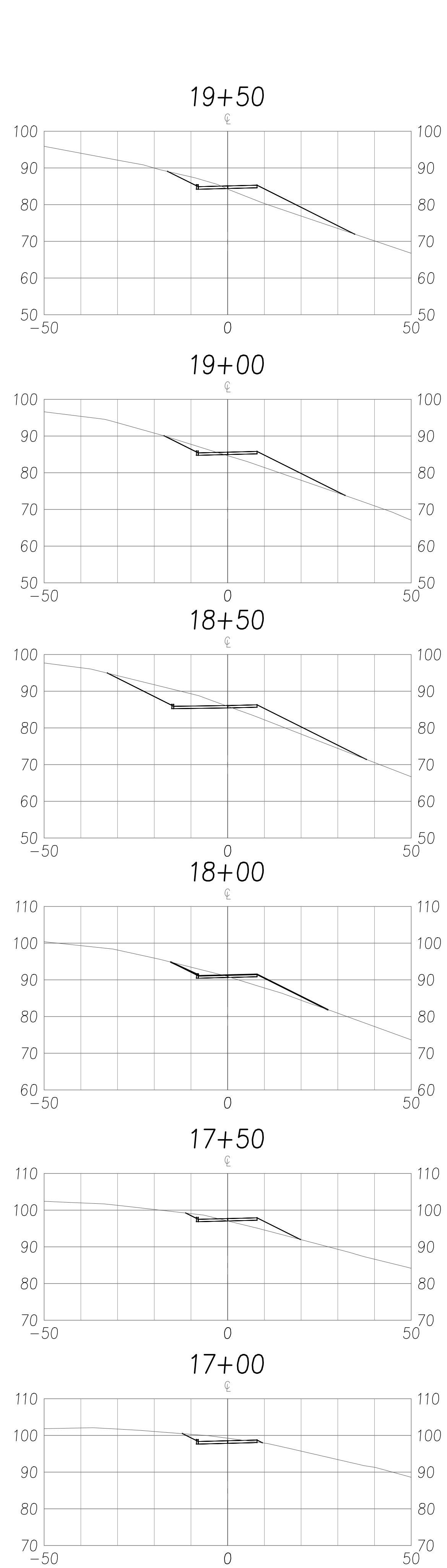
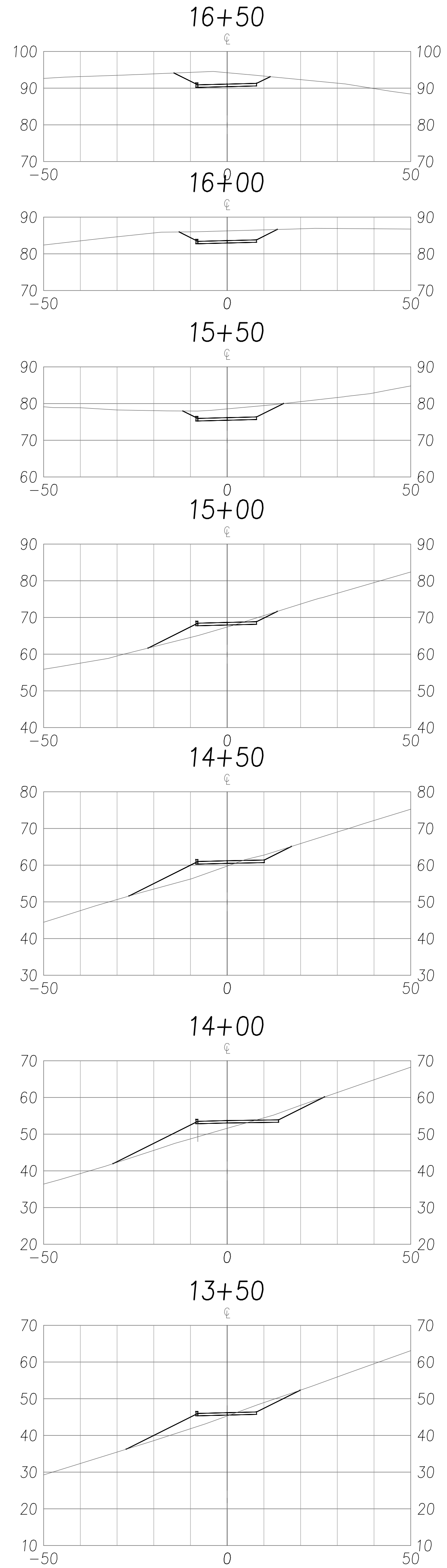
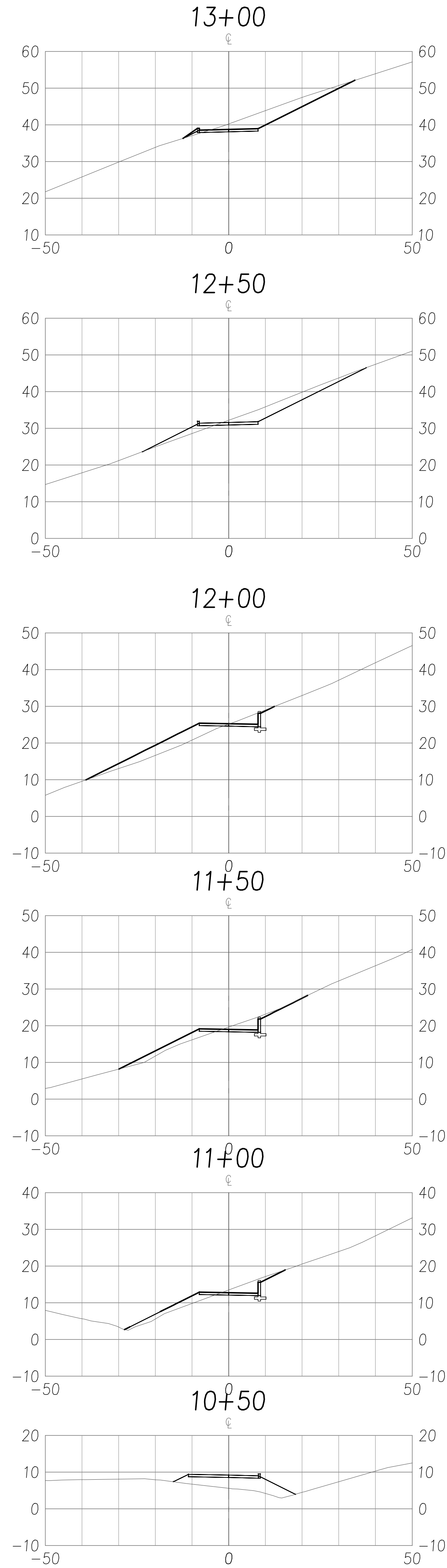
ROAD NAME : W SAN MARTIN AVE



DRAWING NO. <b>C3</b>	DRIVEWAY PROFILE LAND OF JHA W SAN MARTIN AVE APN 779-47-007		PROJECT NO. <b>San Martin</b>	CONTRACT NO. <b>California</b>	DESIGNED PT DATE 02/15/21		DRAWN PT DATE 02/15/21		CHECKED NL DATE 02/15/21		BY DATE		REVISIONS		NO.
	SHEET NO. <b>3</b>	OF <b>6</b>			FILE NO.	APP'D	DATE	DATE	DATE						

**JF ENGINEERING**

598 E Santa Clara St #270  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 583-4006

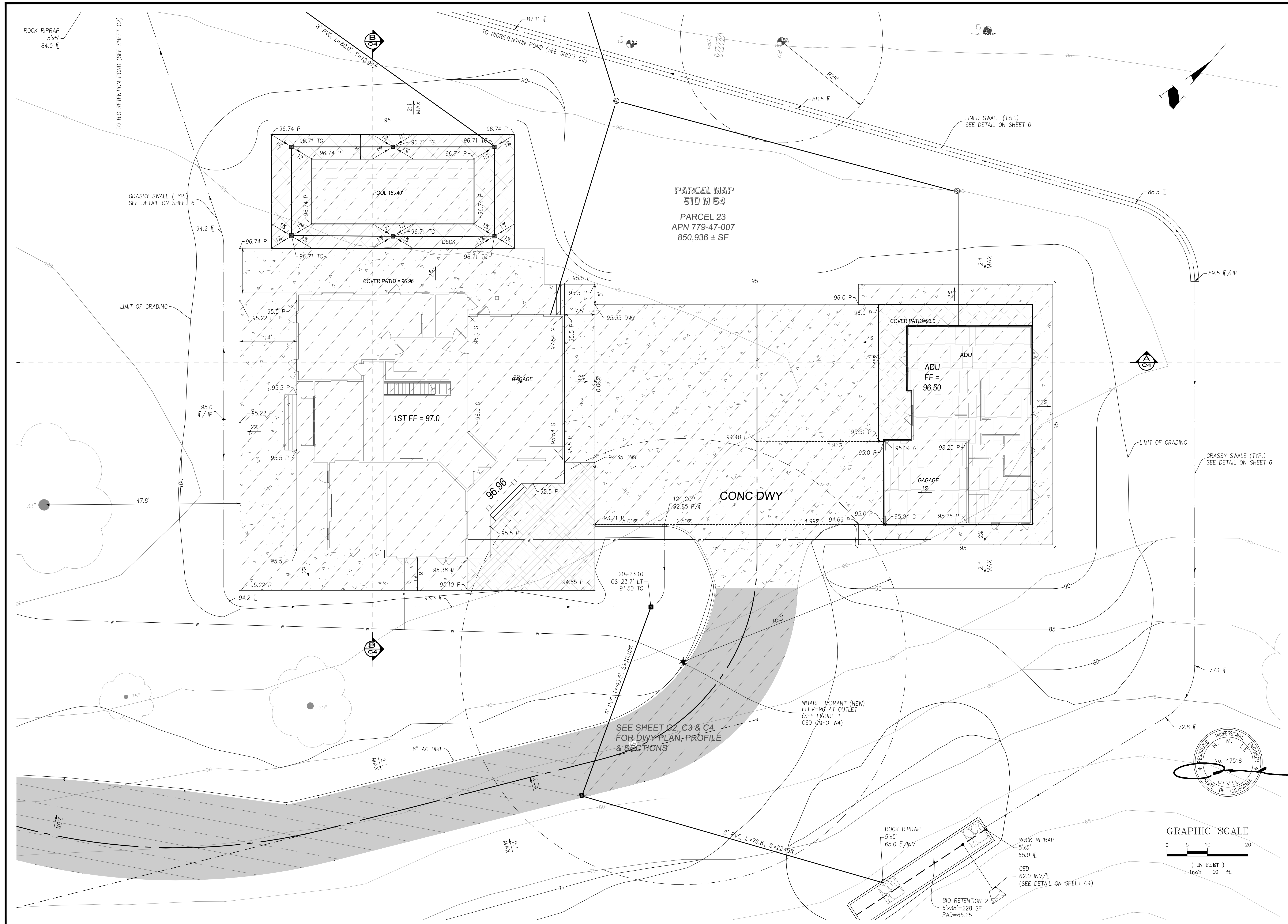


APPLICANT : JHA

ROAD NAME : W SAN MARTIN AVE

DRAWING NO. <b>C4</b>	SHEET NO. <b>4</b> OF <b>6</b>	FILE NO.	CONTRACT NO.		PROJECT NO.		California	
			DRIVEWAY CROSS SECTIONS LAND OF JHA W SAN MARTIN AVE APN 779-47-007					
598 E Santa Clara St #270 San Jose, CA 95112 Phone: (408) 806-7187 Fax: (408) 583-4006		<b>ENGINEERING</b>		DESIGNED PT 02/15/21		DATE 02/15/21		
		DRAWN PT 02/15/21		DATE 02/15/21		SCALE 1" = 20'		
		CHECKED NL 02/15/21		BY		DATE		
		APP'D		REVISIONS		NO.		





APPLICANT : JHA

ROAD NAME : W SAN MARTIN AVE

C5

SHT NO. 5 OF 6

FILE NO.	CONTRACT NO.
----------	--------------

HOUSE SITE GRADING & DRAINAGE PLAN

LAND OF JHA

W SAN MARTIN AVE

APN 779-47-007

California

**CF ENGINEERING**  
598 E. Santa Clara St. #270

598 E Santa Clara St #270

San Jose, CA 95112  
Phone: (408) 806 7187

FIIUlle: (408) 800-7187  
Fax: (408) 583-4006

PT	DESIGNED	02/15/21
	DATE	
PT		02/15/21
	DATE	
DRAWN		
" " = 10'		
SCALE		
NL		02/15/21

PT	02/15/21
DESIGNED	DATE

PT	02/15/21
DRAWN	02/15/21

DRAWN 1" = 10'

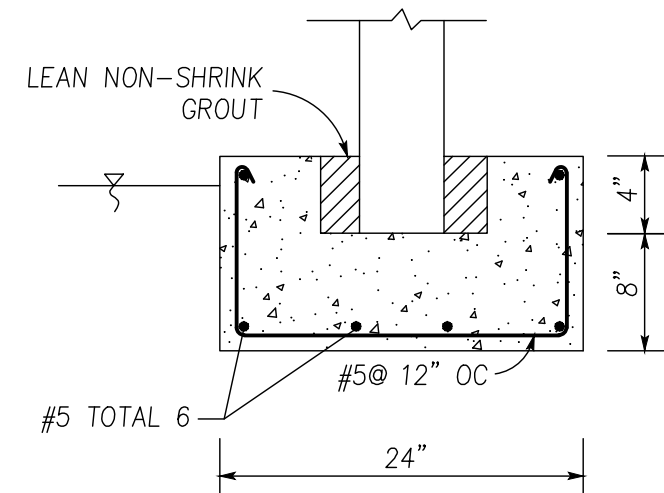
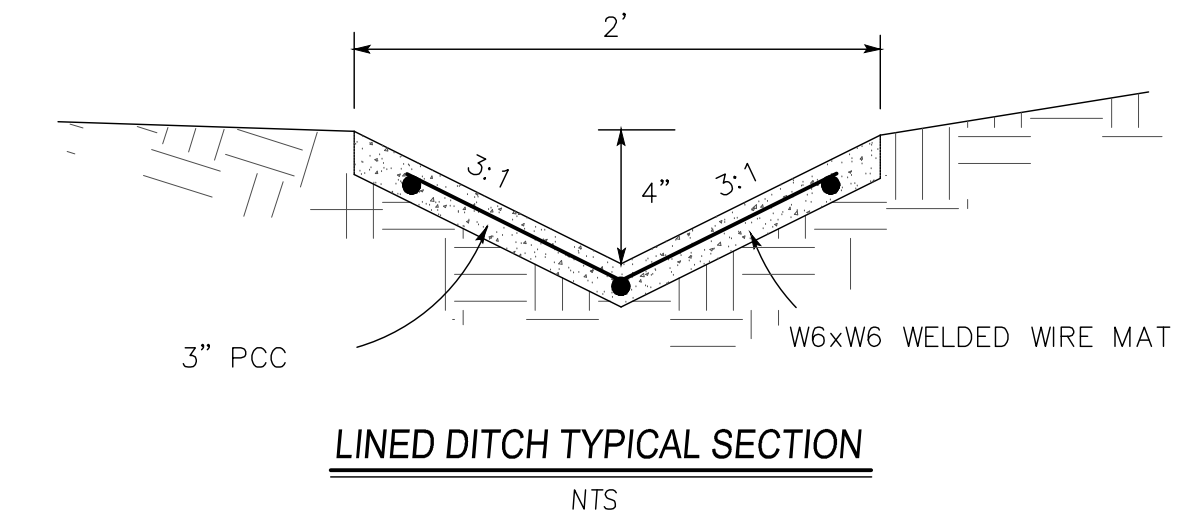
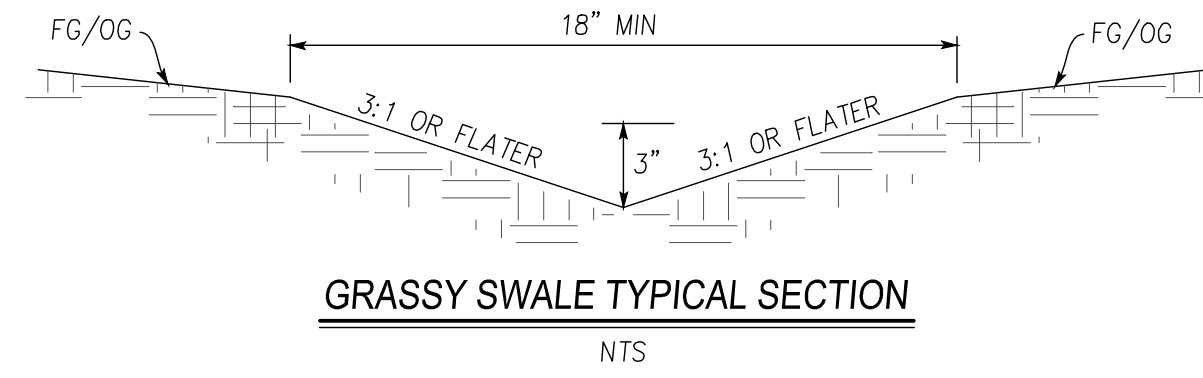
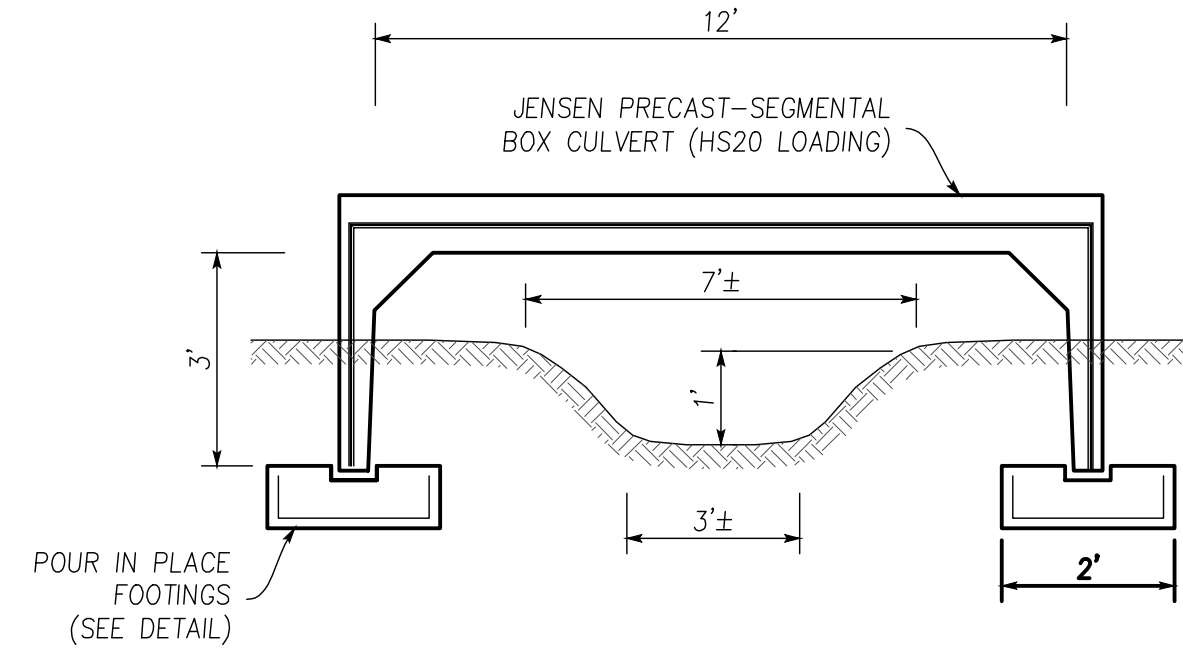
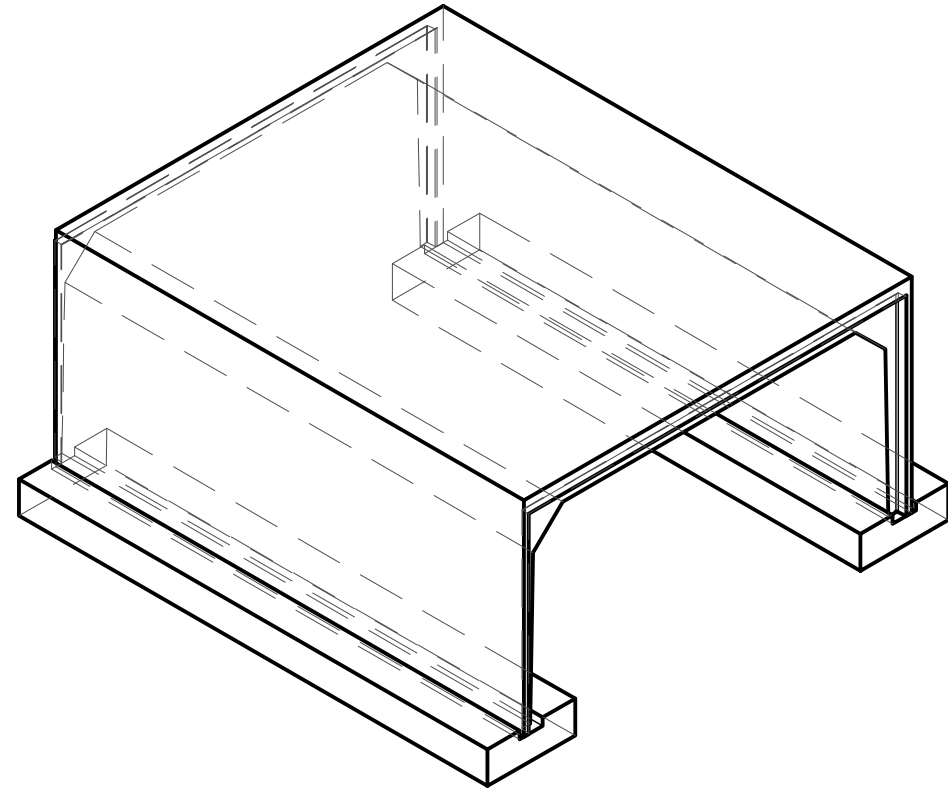
SCALE  
1 = 10

NL 02/15/21

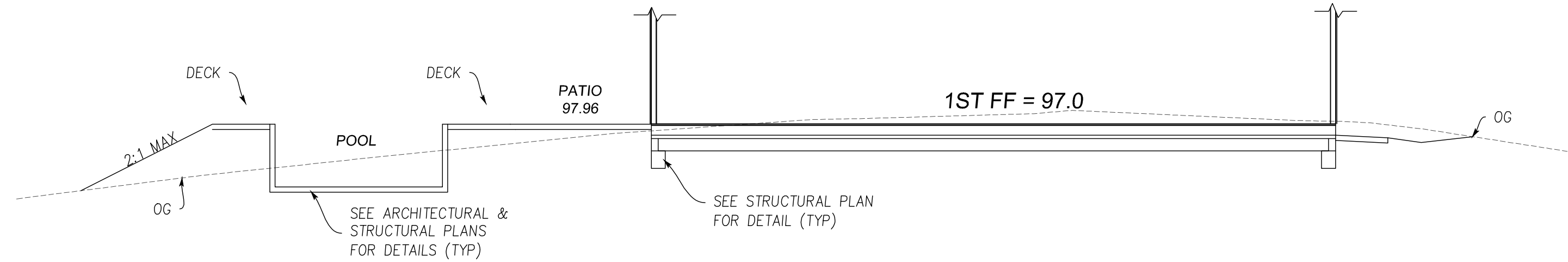




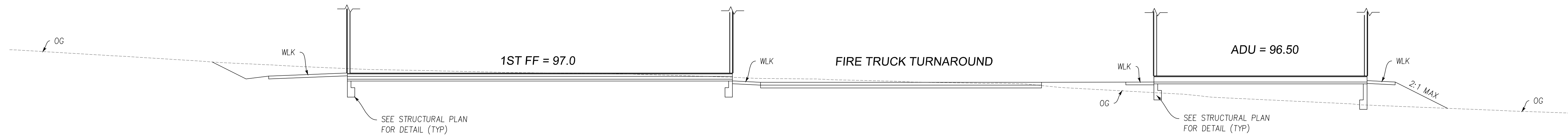

[illegible]



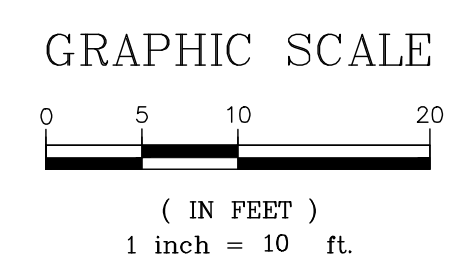
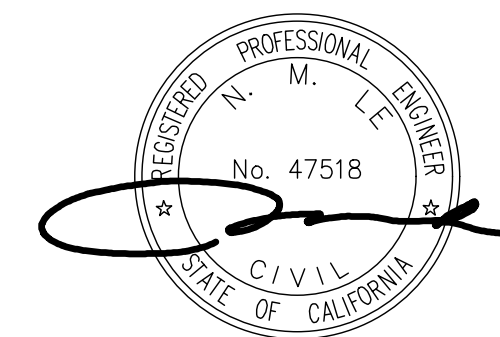
BOX CULVERT FOOTING DETAIL  
NO SCALE



SECTION B-B



SECTION A-A



**JH ENGINEERING**  
598 E Santa Clara St #270  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 583-4006

BUILDING CROSS SECTIONS  
LAND OF JHA  
W SAN MARTIN AVE  
APN 779-47-007  
California

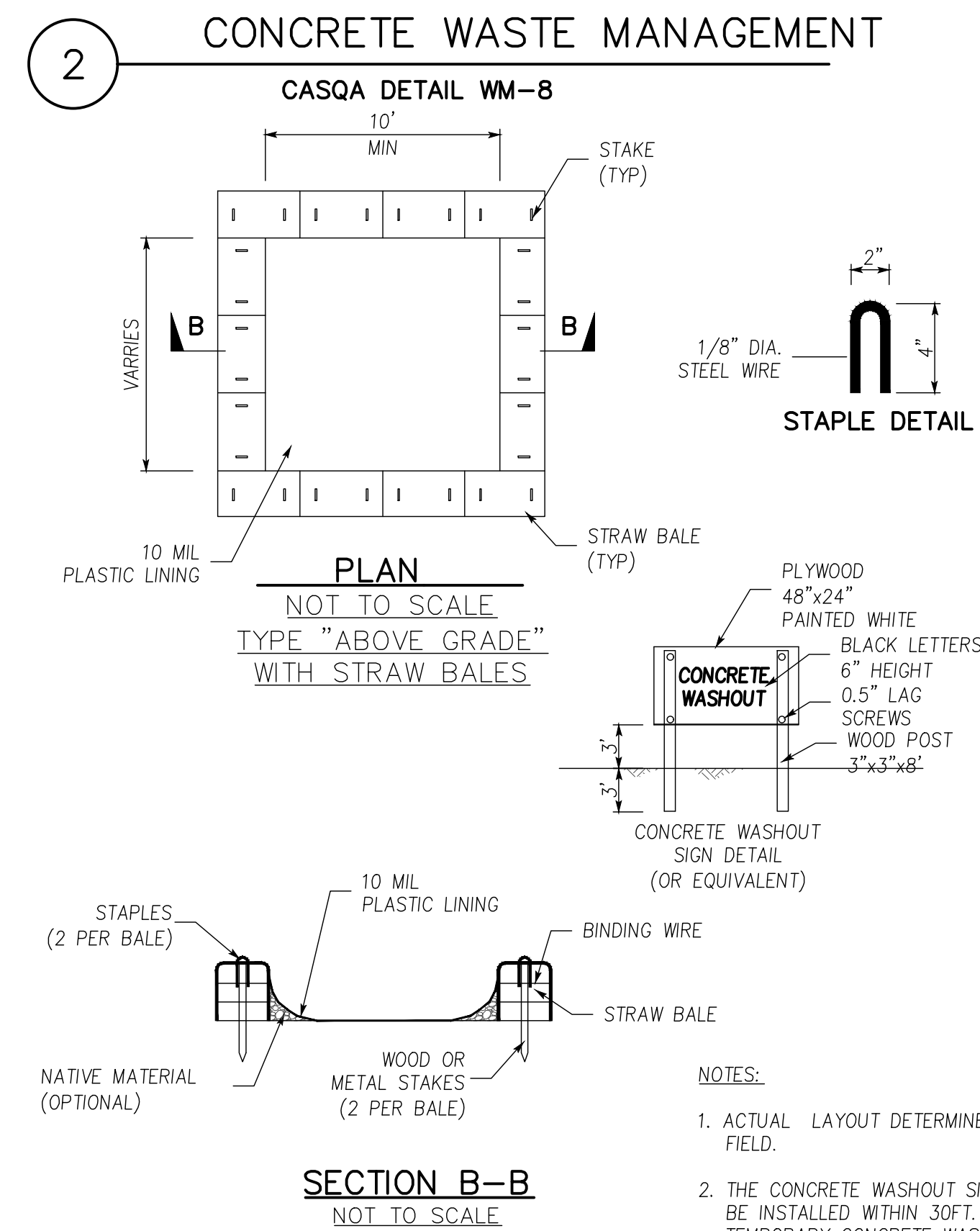
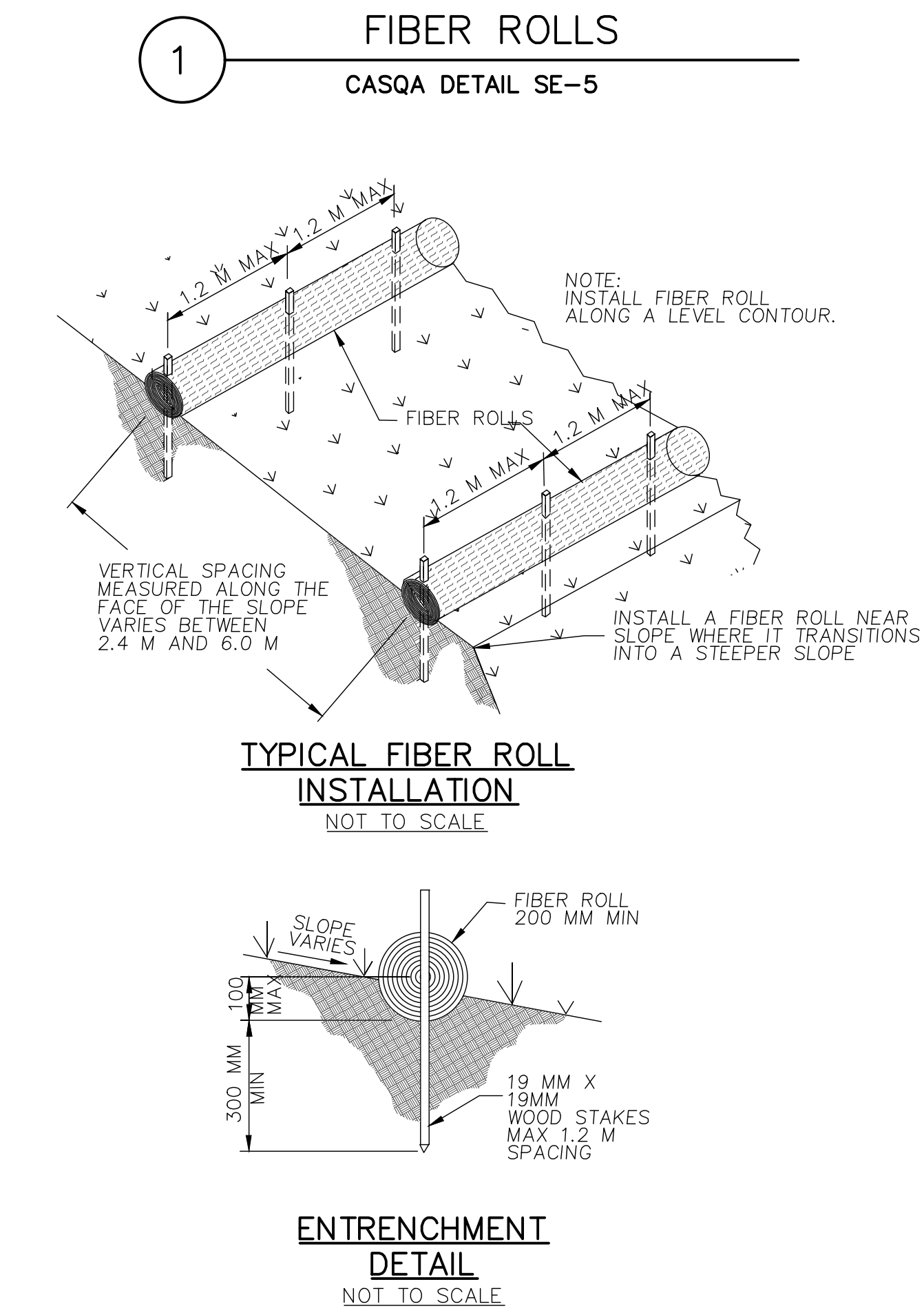
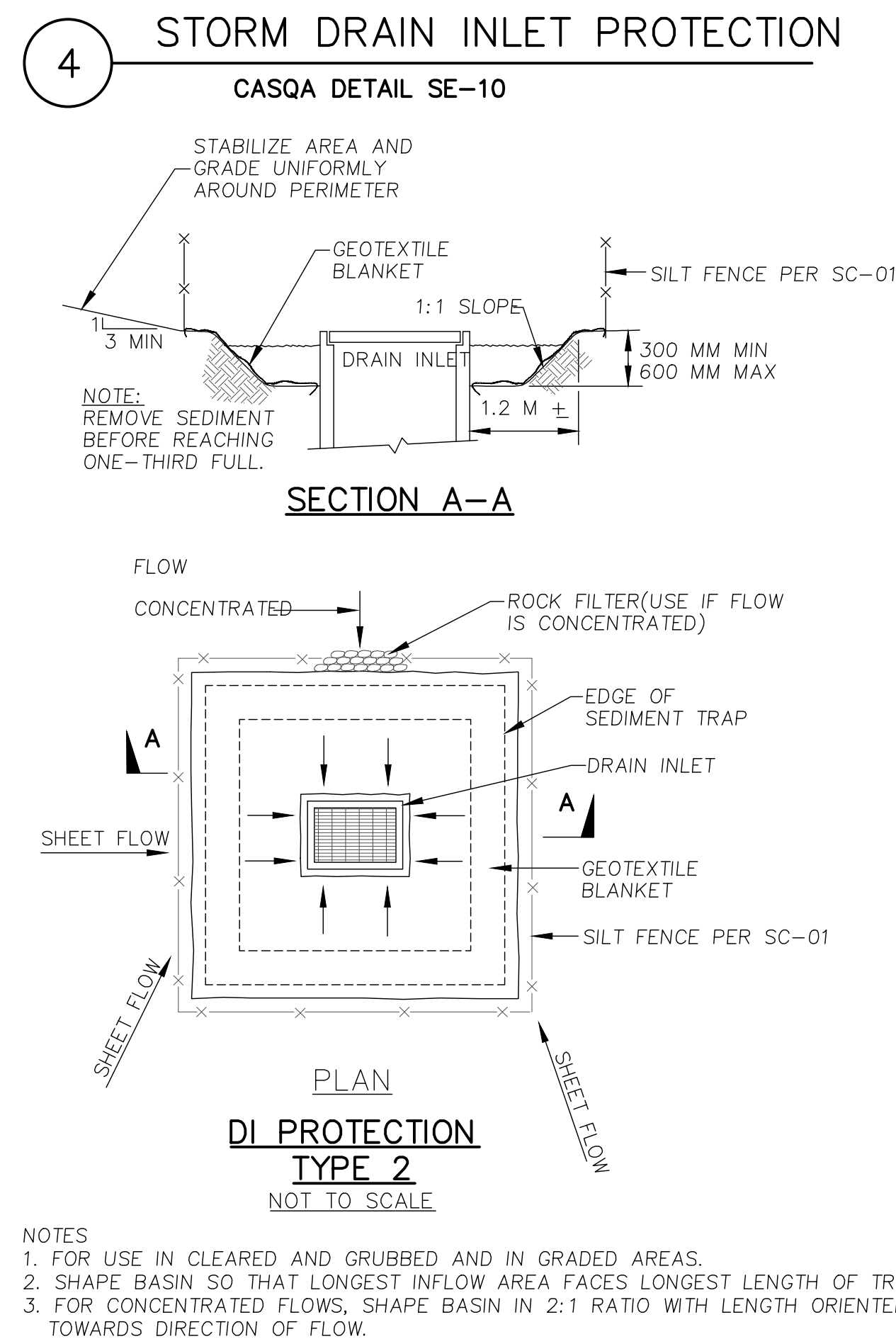
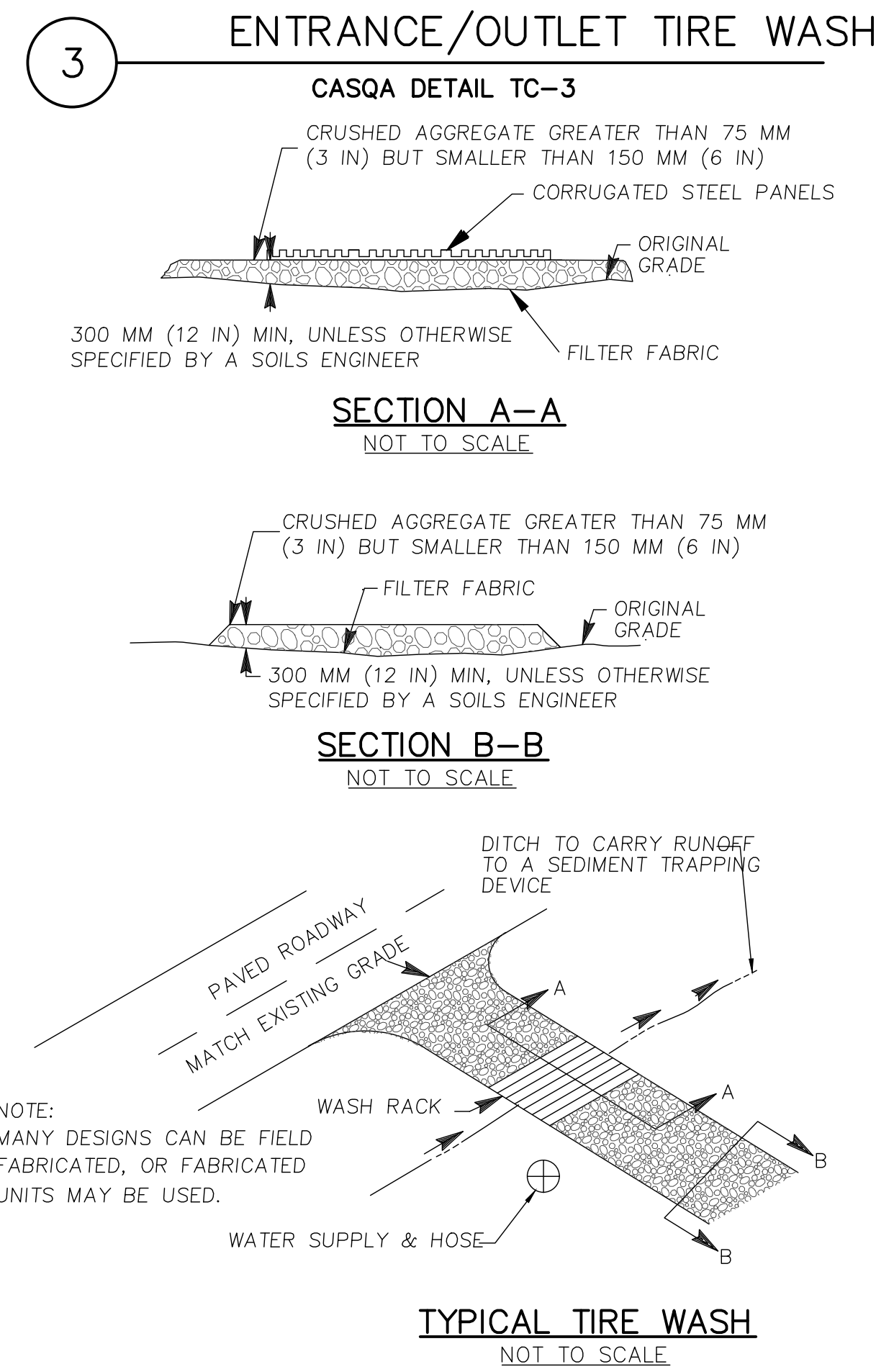
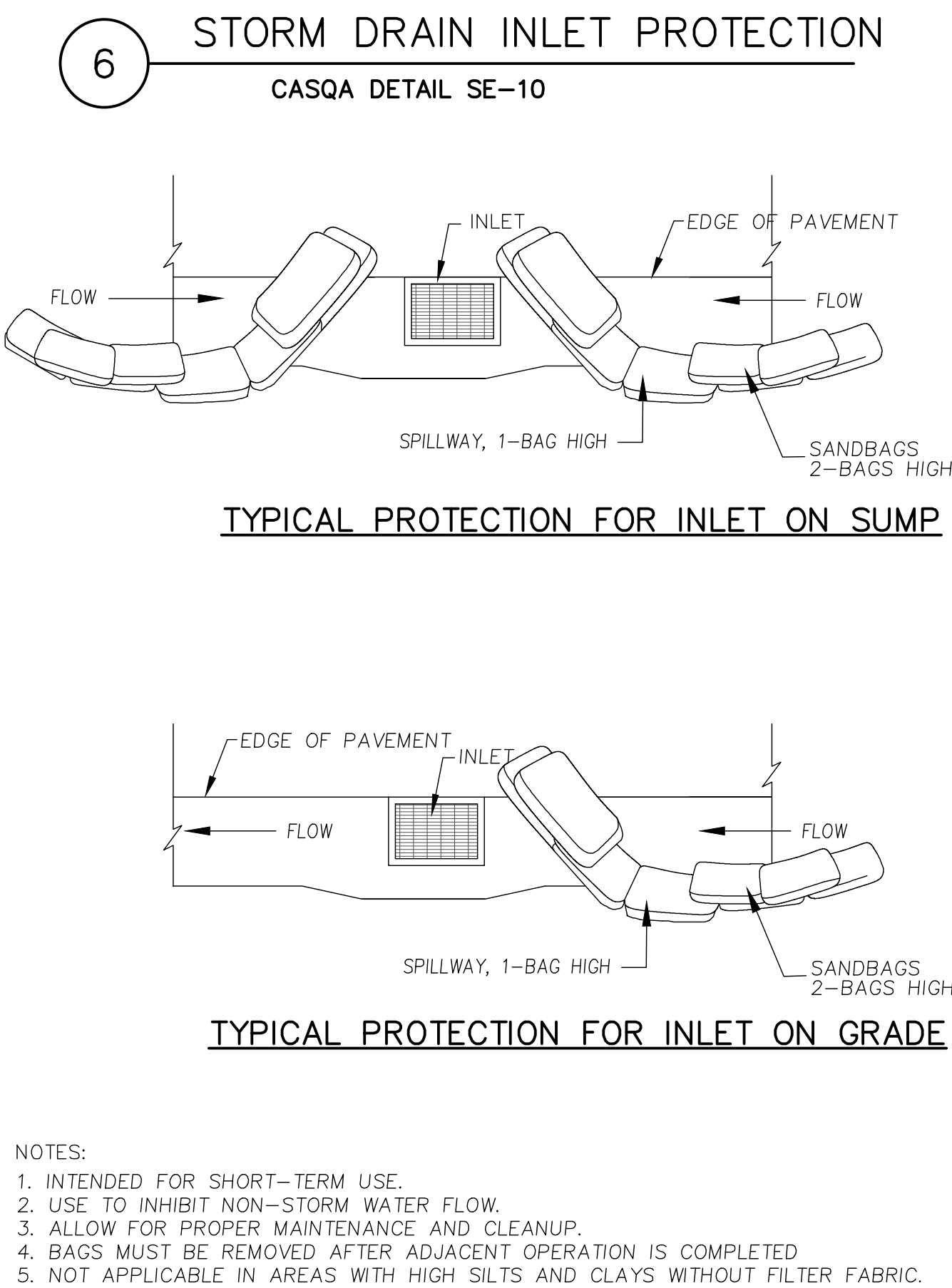
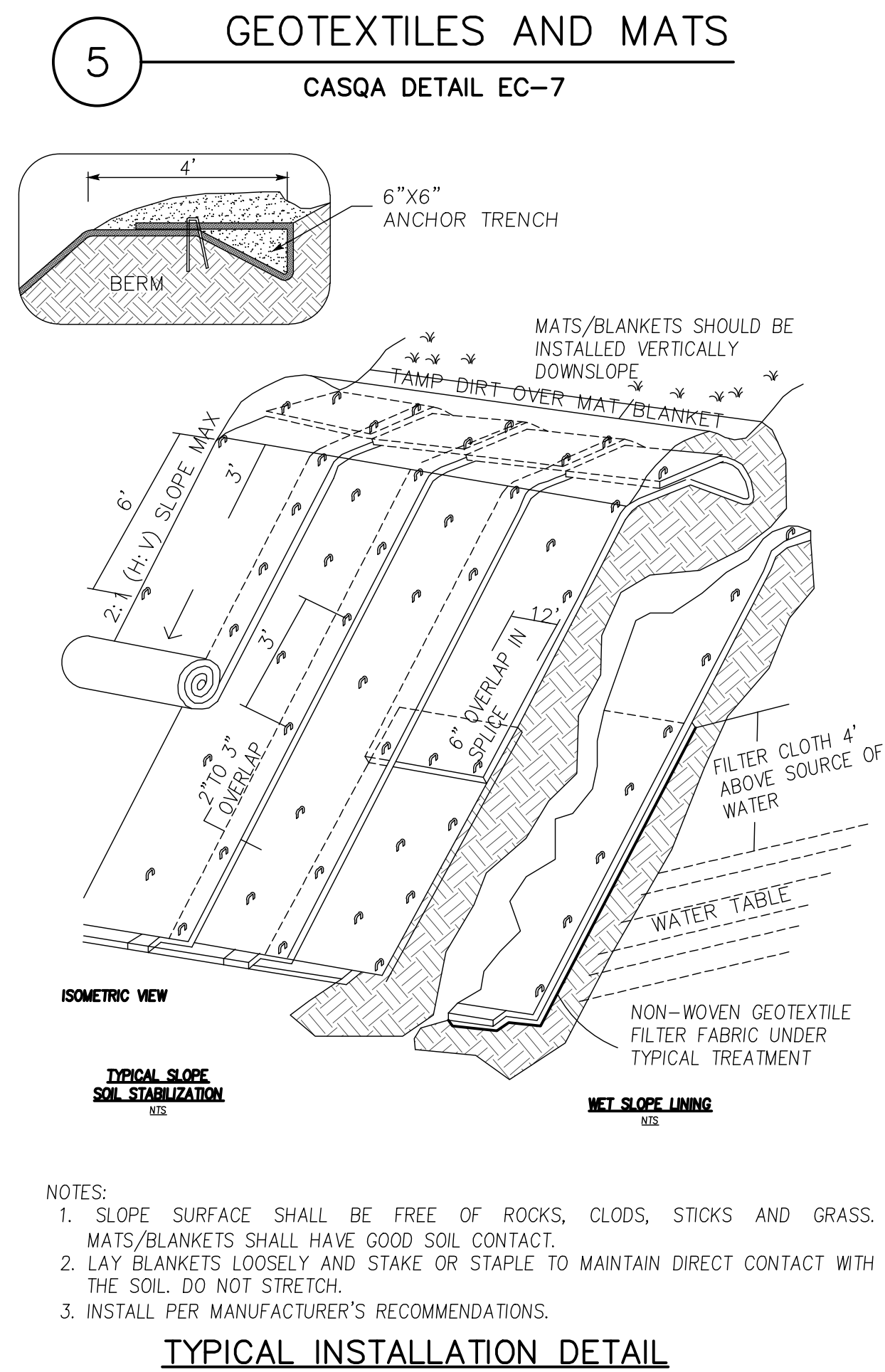
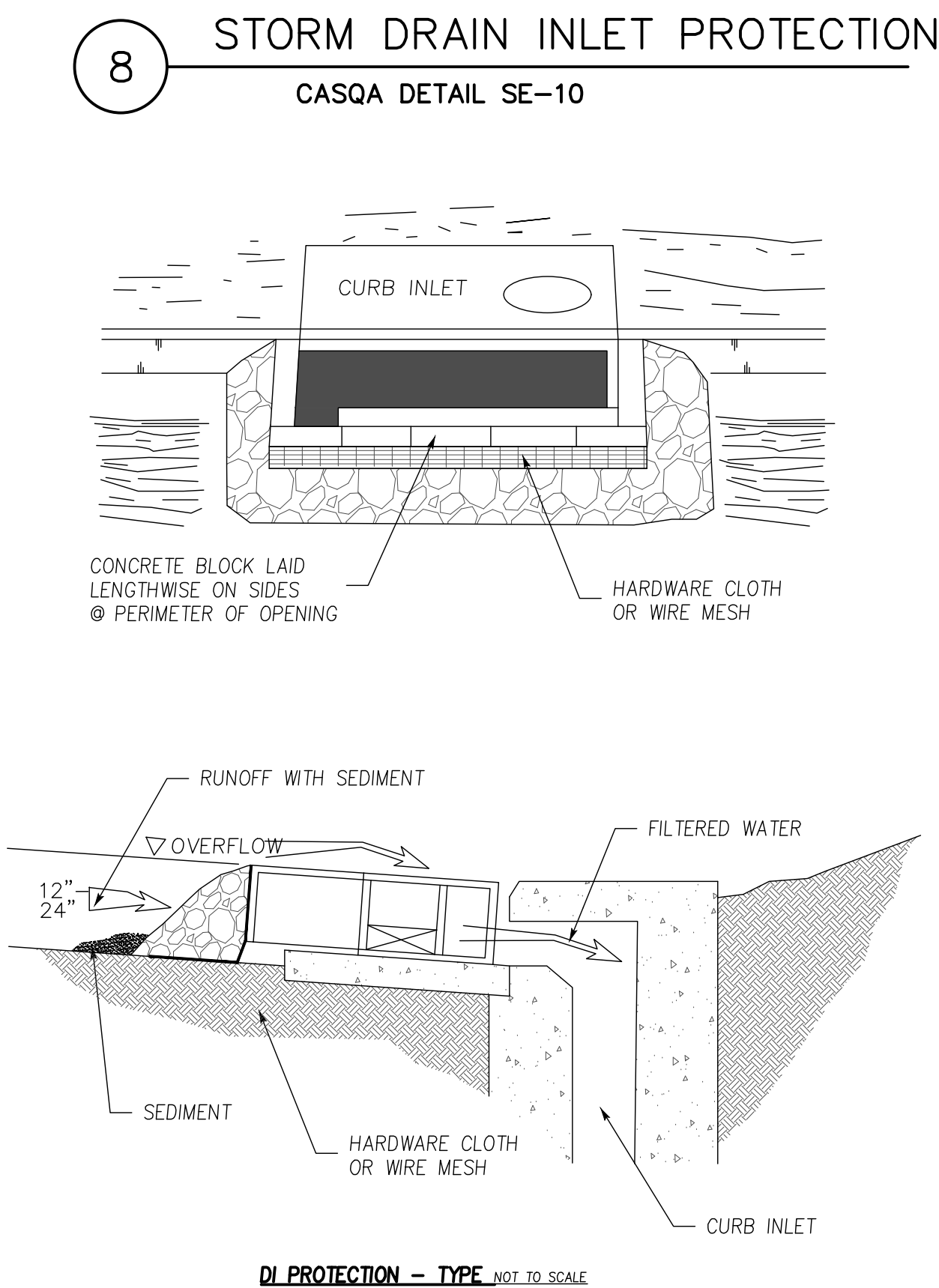
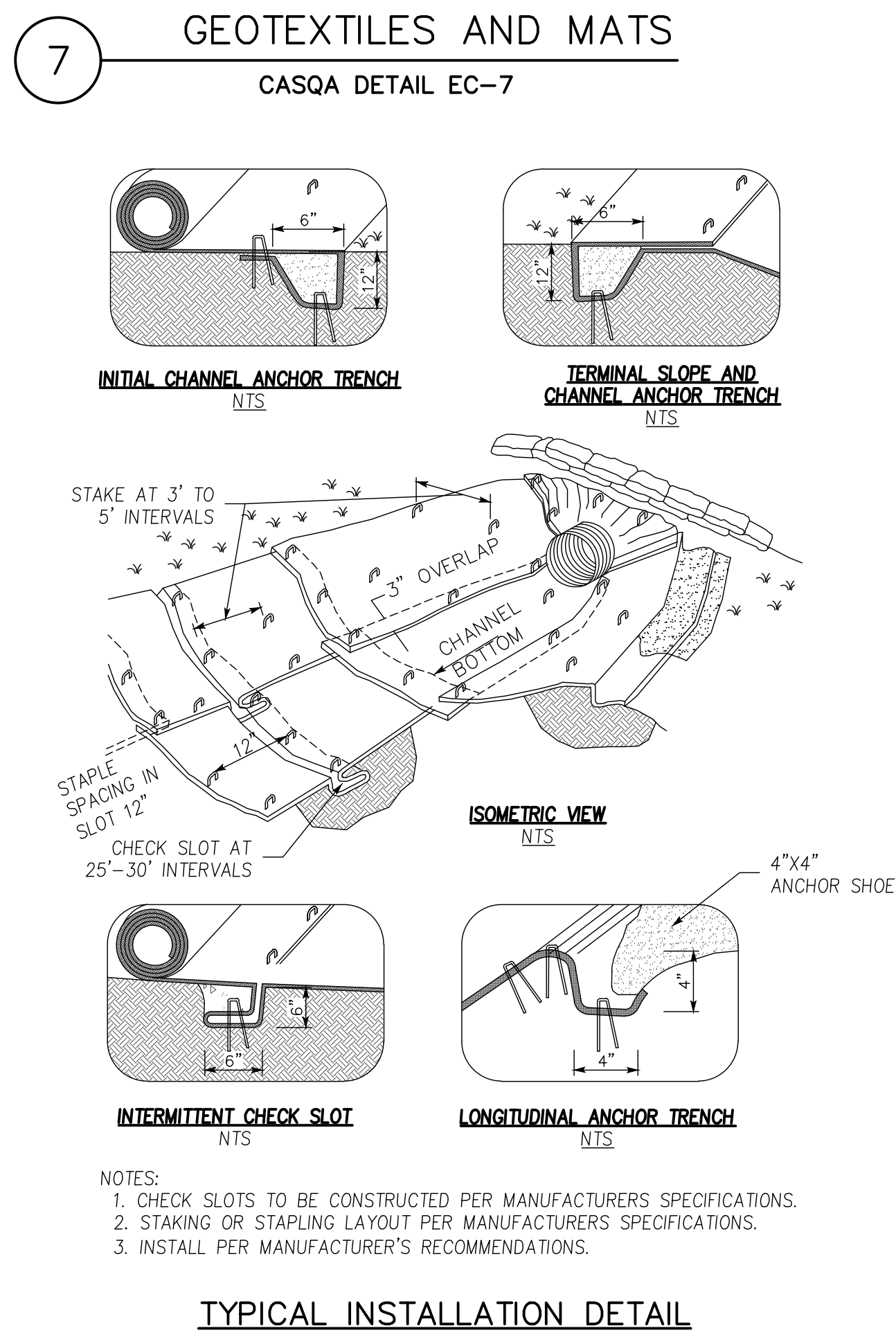
San Martin  
CONTRACT NO.

DRAWING NO. C6  
SHEET NO. 6 OF 6  
FILE NO.

PT	DESIGNED	DATE	PT	DRAWN	DATE	SCALE	CHECKED	DATE	BY	DATE	APPRO'D	REVISIONS	NO.
		02/15/21			02/15/21	1" = 10'		02/15/21					







SOURCE FOR GRAPHICS: CALIFORNIA STORMWATER BMP HANDBOOK, CALIFORNIA STORMWATER QUALITY ASSOCIATION, JANUARY 2003.  
AVAILABLE FROM WWW.CABMPHANDBOOKS.COM.

# Best Management Practices and Erosion Control Details Sheet 2

## County of Santa Clara

APPLICANT : JHA

ROAD NAME : W SAN MARTIN AVE

DRAWING NO.	EROSION CONTROL DETAILS				PROJECT NO.	CONTRACT NO.	FILE NO.	NO.
	LAND OF JHA W SAN MARTIN AVE APN 779-47-007							
SHT NO.	EC2				DATE	BY	APP'D	REVISIONS
	2 OF 2							
JHA ENGINEERING				598 E Santa Clara St #270 San Jose, CA 95112 Phone: (408) 806-7187 Fax: (408) 583-4006				NO.
California				San Martin				
LAND OF JHA				APN 779-47-007				NO.
W SAN MARTIN AVE				APN 779-47-007				
APN 779-47-007				San Martin				NO.
San Martin				San Martin				

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

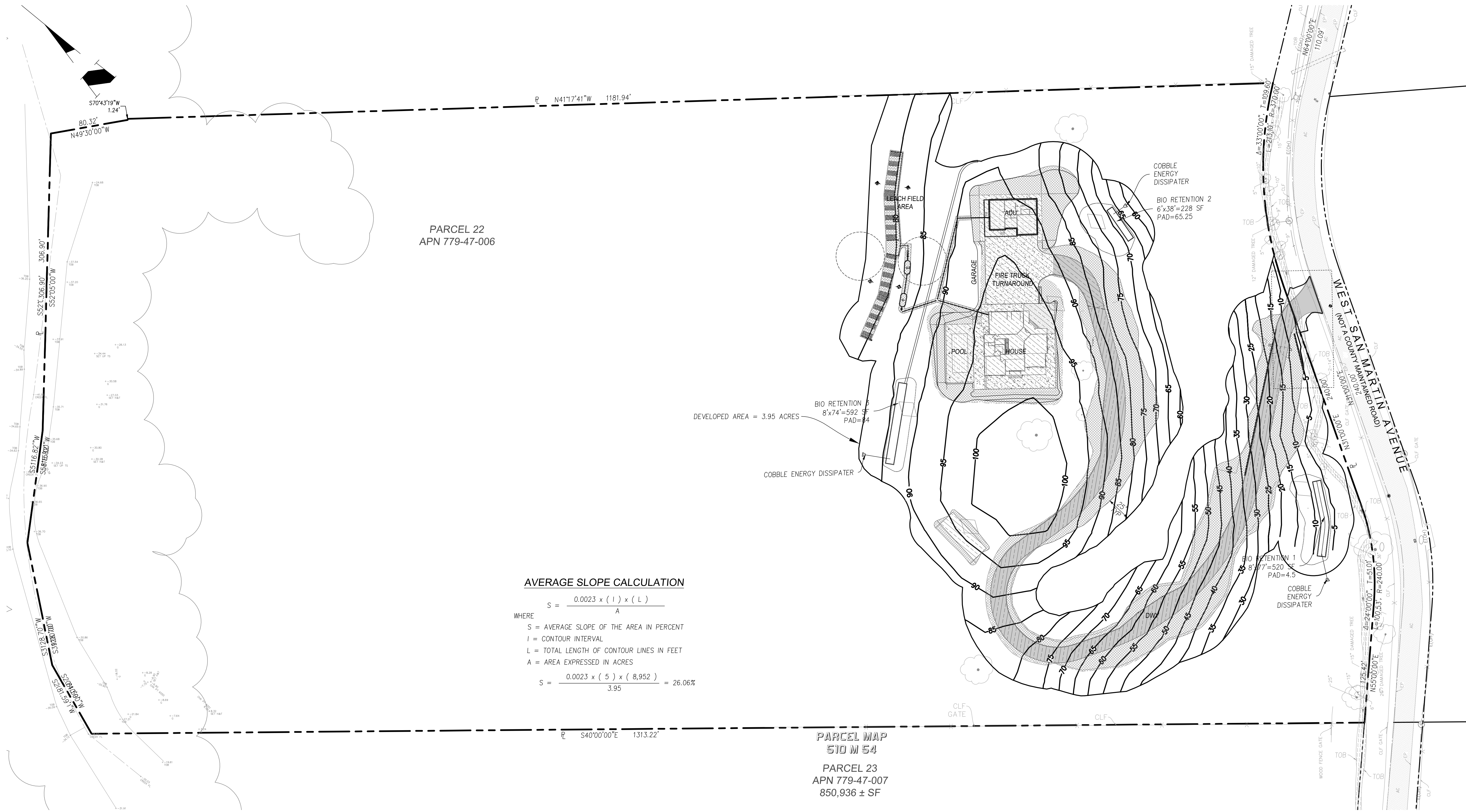
PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE

PT	02/15/21
DESIGNED	DATE
PT	02/15/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	02/15/21
CHECKED	DATE



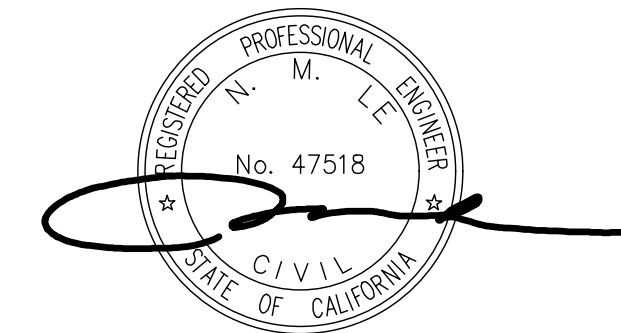
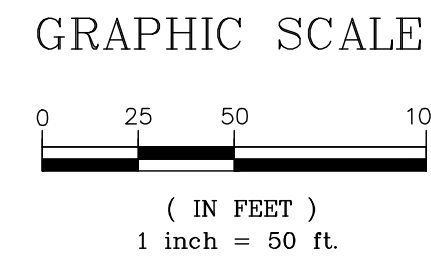


AVERAGE SLOPE CALCULATION

$$S = \frac{0.0023 \times (I) \times (L)}{A}$$

WHERE  
S = AVERAGE SLOPE OF THE AREA IN PERCENT  
I = CONTOUR INTERVAL  
L = TOTAL LENGTH OF CONTOUR LINES IN FEET  
A = AREA EXPRESSED IN ACRES  
$$S = \frac{0.0023 \times (5) \times (8,952)}{3.95} = 26.06\%$$

PARCEL MAP  
510 M 54  
PARCEL 23  
APN 779-47-007  
850,936 ± SF



DRAWING NO.		SLOPE CALCULATION EXHIBIT										PROJECT NO.		CONTRACT NO.		FILE NO.							
C0		LAND OF JHA W SAN MARTIN AVE APN 779-47-007										San Martin		California		1 OF 1							
SHT NO.		1		OF		1		DATE		02/15/21		BY		DATE		APP'D		REVISIONS		NO.			
DESIGNED		PT		02/15/21		DATE		DESIGNED		PT		02/15/21		DATE		DESIGNED		PT		02/15/21		DATE	
DRAWN		PT		02/15/21		DATE		DRAWN		PT		02/15/21		DATE		DRAWN		PT		02/15/21		DATE	
SCALE		1" = 50'		SCALE		1" = 50'		SCALE		1" = 50'		SCALE		1" = 50'		SCALE		1" = 50'		SCALE		1" = 50'	
NL		CHECKED		02/15/21		DATE		NL		CHECKED		02/15/21		DATE		NL		CHECKED		02/15/21		DATE	
BY								BY								BY							
APP'D								APP'D								APP'D							
REVISIONS								REVISIONS								REVISIONS							
NO.								NO.								NO.							

ENGINEERING

598 E Santa Clara St #270  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 583-4006

FILE NO.

1

OF

1

CONTRACT NO.

PROJECT NO.

San Martin

California

APPLICANT : JHA

ROAD NAME : W SAN MARTIN AVE

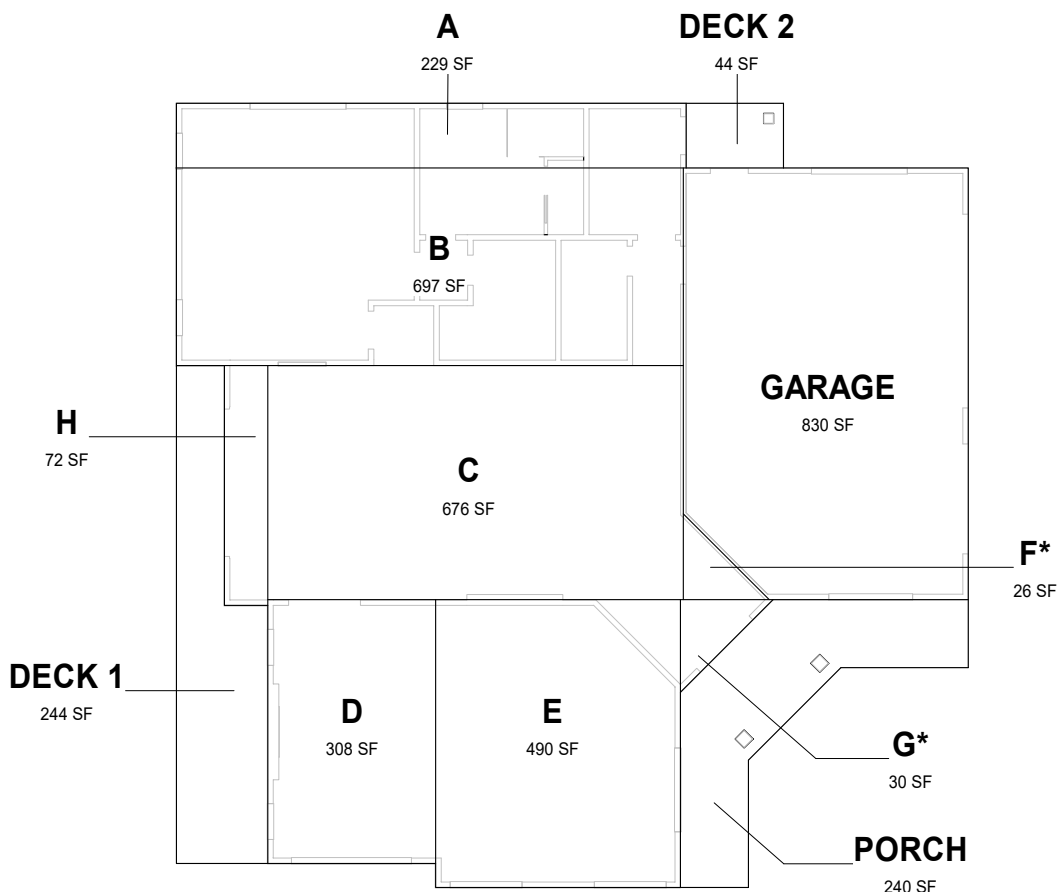
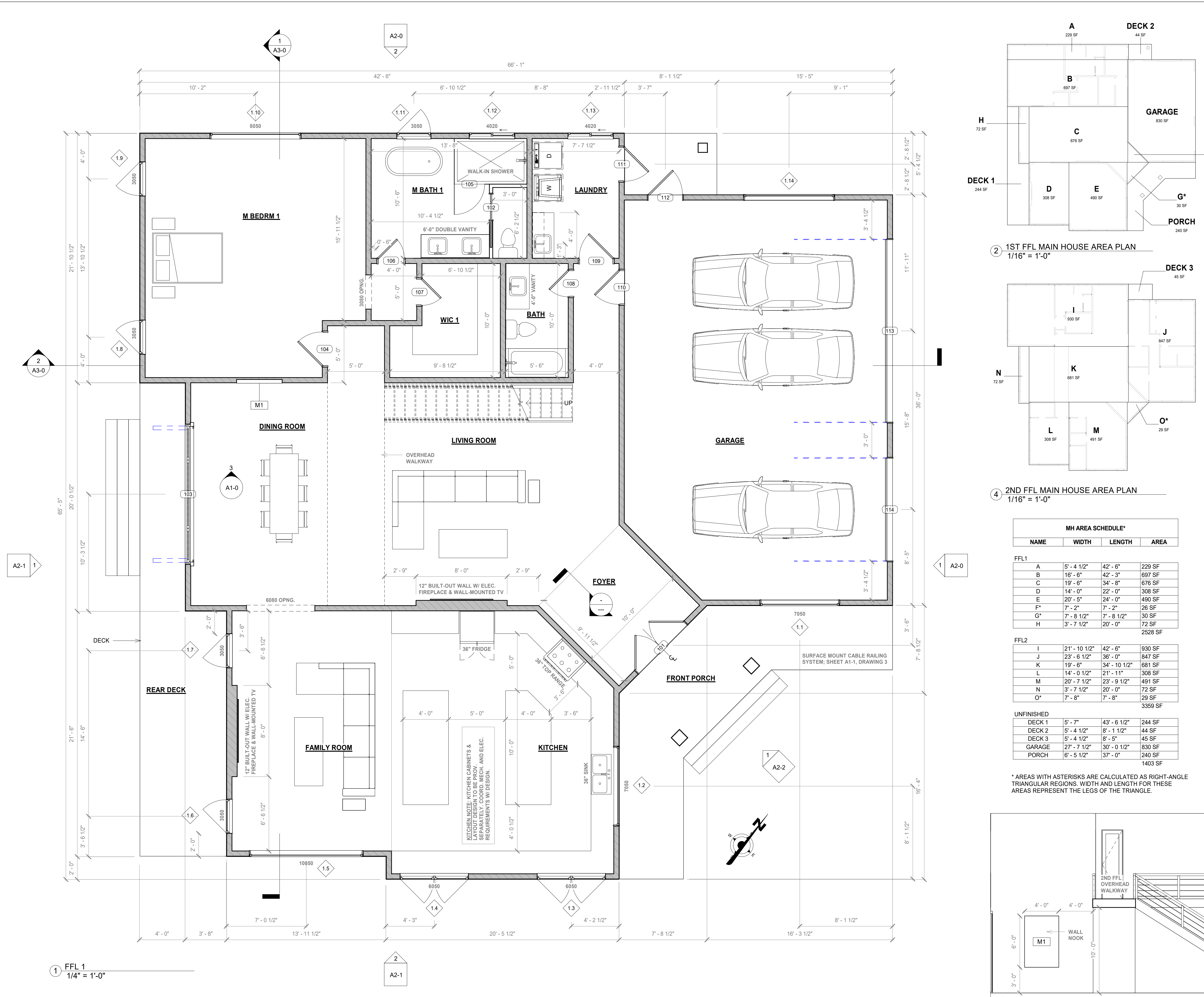


[illegible]

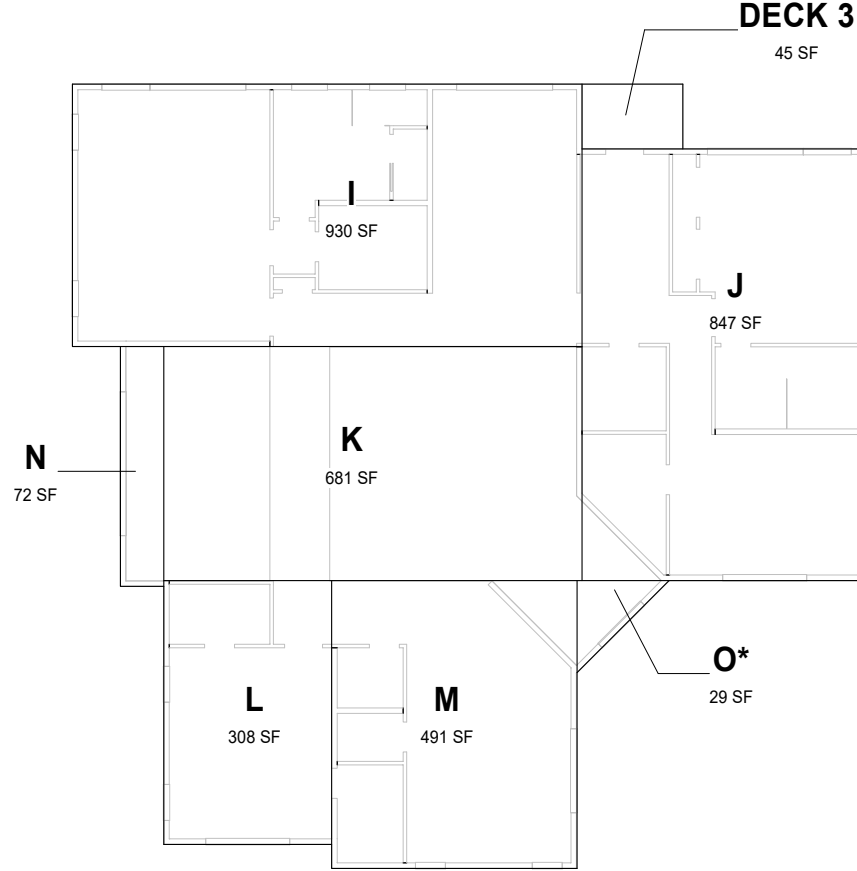








1 1ST FFL MAIN HOUSE AREA PLAN  
1/16" = 1'-0"



4 2ND FFL MAIN HOUSE AREA PLAN  
1/16" = 1'-0"

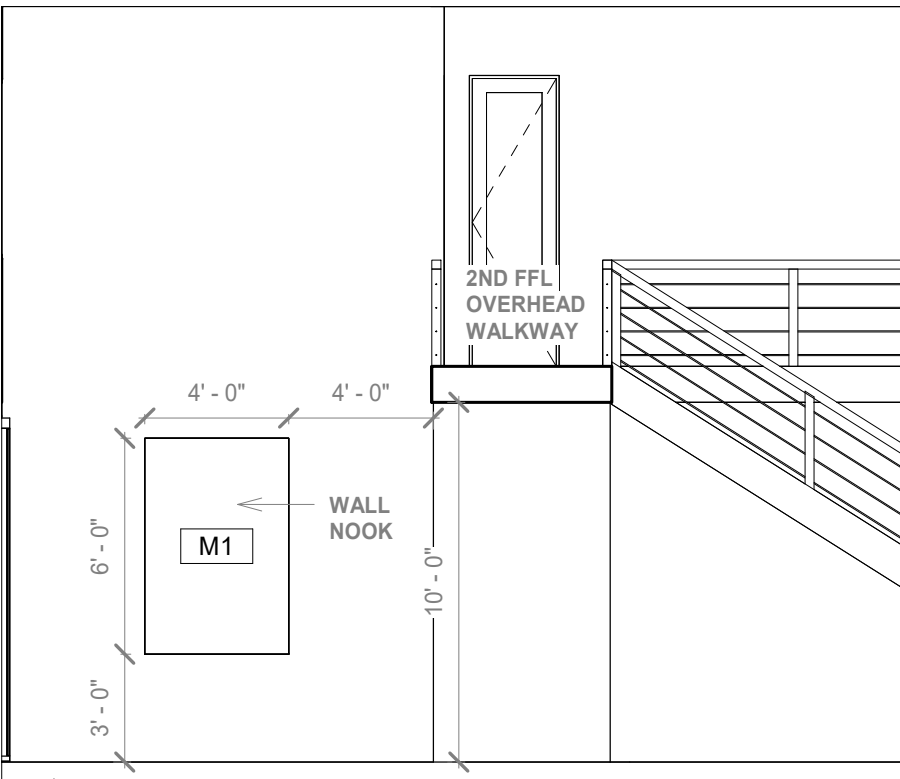
MH AREA SCHEDULE*			
NAME	WIDTH	LENGTH	AREA

FFL1			
A	5' - 4 1/2"	42' - 6"	229 SF
B	16' - 6"	42' - 3"	697 SF
C	19' - 6"	34' - 8"	676 SF
D	14' - 0"	22' - 0"	308 SF
E	20' - 5"	24' - 0"	490 SF
F*	7' - 2"	7' - 2"	26 SF
G*	7' - 8 1/2"	7' - 8 1/2"	30 SF
H	3' - 7 1/2"	20' - 0"	72 SF
2528 SF			

FFL2			
I	21' - 10 1/2"	42' - 6"	930 SF
J	23' - 6 1/2"	36' - 0"	847 SF
K	19' - 6"	34' - 10 1/2"	681 SF
L	14' - 0 1/2"	21' - 11"	308 SF
M	20' - 7 1/2"	23' - 9 1/2"	491 SF
N	3' - 7 1/2"	20' - 0"	72 SF
O*	7' - 8"	7' - 8"	29 SF
3359 SF			

UNFINISHED			
DECK 1	5' - 7"	43' - 6 1/2"	244 SF
DECK 2	5' - 4 1/2"	8' - 1 1/2"	44 SF
DECK 3	5' - 4 1/2"	8' - 5"	45 SF
GARAGE	27' - 7 1/2"	30' - 0 1/2"	830 SF
PORCH	6' - 5 1/2"	37' - 0"	240 SF
1403 SF			

\* AREAS WITH ASTERISKS ARE CALCULATED AS RIGHT-ANGLE TRIANGULAR REGIONS. WIDTH AND LENGTH FOR THESE AREAS REPRESENT THE LEGS OF THE TRIANGLE.



3 INTERIOR ELEVATION 1  
3/16" = 1'-0"

FLOOR PLAN NOTES

1. ALL WALLS DIMENSIONED TO FACE OF STUD.

- (P) 5 1/2" STUD WALL
- (P) 3 1/2" STUD WALL

TYPICAL EXTERIOR WALLS WITH STUCCO FINISH: (6" WALLS) TO BE 2X6 STUDS @ 16" O.C. W/ DBL SILL PLATE AND DBL 2X6 TOP PLATES AS INDICATED ON STRUCTURAL PLANS, TYP., W/ 3-LAYER STUCCO FINISH, TYP.

TYPICAL INTERIOR WALLS: TO BE 2 X 4 STUDS @ 16" O.C. TYP., U.N.O. WITH 5/8" GYP. BD., EACH SIDE, PLASTER FINISH TYPICAL U.N.O.

PROVIDE 2X6 PLUMBING WET WALLS AS REQUIRED.

GARAGE / RESIDENCE COMMON WALL AND CEILING - PROVIDE A 5/8" GYPSUM BOARD FROM FLOOR TO UNDERSIDE OF ROOF SHEATHING (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) PROVIDE 5/8" TYPE 'X' GYPSUM BOARD AT ENTIRE GARAGE CEILINGS WITH HABITABLE ROOMS ABOVE AND 5/8" GYPSUM BOARD AT WALLS SUPPORTING THIS FLOOR/CEILING. FIRE SEPARATION PER CRC SEC 302.6. AND TABLE R302.6.

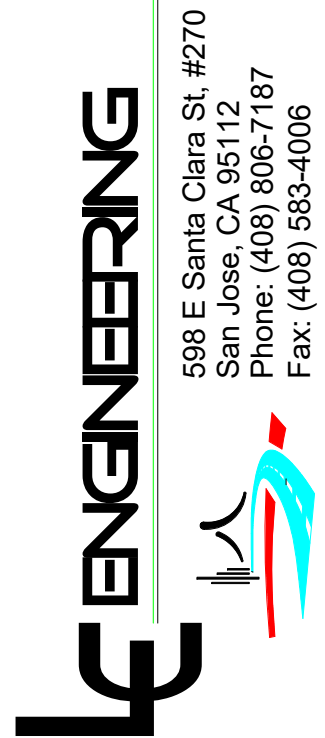
2. ALL TOILETS SHALL HAVE A MINIMUM CLEAR WIDTH OF 34".

EGRESS WINDOW REQ.:

- AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7 SF IN OPENING AREA
- MINIMUM OPENING SIZE IS 20" WIDTH X 24" HIGH
- HAVE EGRESS OPENING NO MORE THAN 44" A.F.F.
- IN ORDER TO MEET THE REQUIRED 5.7 SF TOTAL, EITHER THE WIDTH OR HEIGHT, OR BOTH MUST EXCEED THE MINIMUM DIMENSION.



Ashutosh Jha  
W SAN MARTIN AVE, SAN  
MARTIN, CA, 95046-9444



PROPOSED HOUSE AND  
DETACHED GARAGE  
APN: 779 -47 - 007

FIRST FLOOR  
PLAN

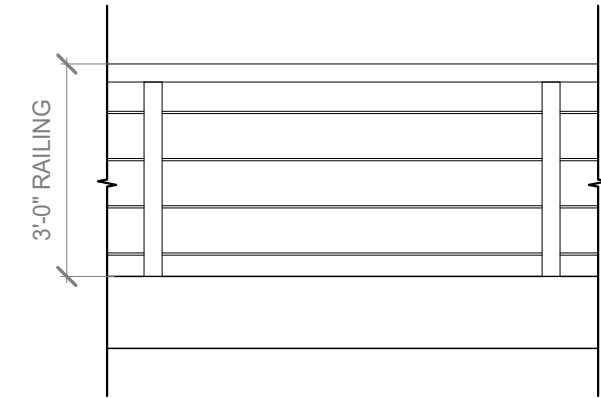
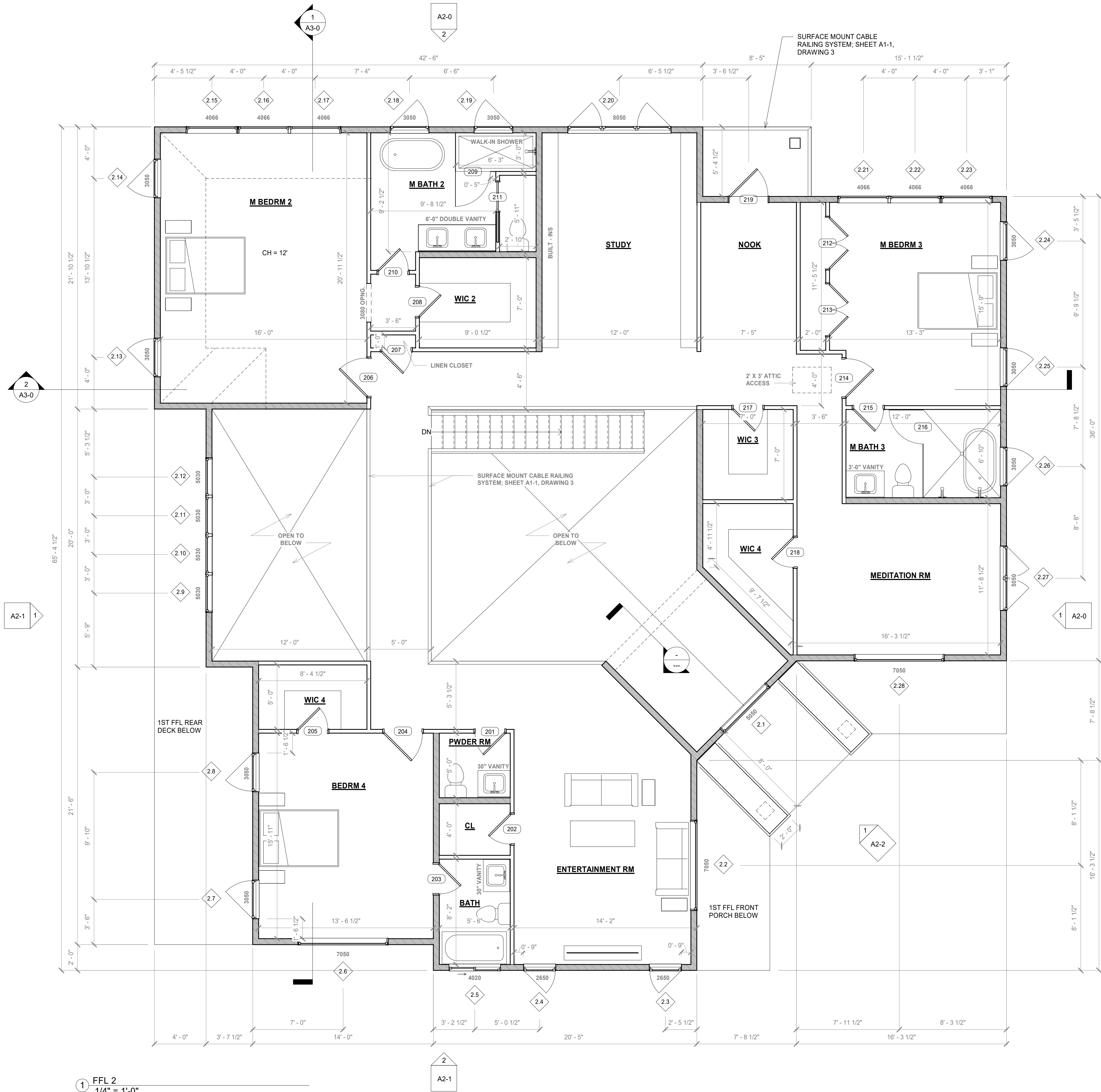
A1-0

1/20/2023 2:38:26 PM

PRELIMINARY

Project No: SAN MARTIN  
Designed: KL  
Checked: NL  
Date: 8 / 30 / 2021  
CALIFORNIA





NOTE: SURFACE MOUNT CABLE RAILING SYSTEM, INSTALLED TO MANU. SPEC.

RAILING DETAIL  
3/8" = 1'-0"

FLOOR PLAN NOTES

- ALL WALLS DIMENSIONED TO FACE OF STUD.  
(P) 5 1/2" STUD WALL  
(P) 3 1/2" STUD WALL  
**TYPICAL EXTERIOR WALLS WITH STUCCO FINISH:** (6" WALLS) TO BE 2X6 STUDS @ 16" O.C. W/ DBL SILL PLATE AND DBL 2X6 TOP PLATES AS INDICATED ON STRUCTURAL PLANS, TYP., W/ 3-LAYER STUCCO FINISH, TYP.  
**TYPICAL INTERIOR WALLS:** TO BE 2 X 4 STUDS @ 16" O.C. TYP., U.N.O. WITH 5/8" GYP. BD., EACH SIDE, PLASTER FINISH TYPICAL U.N.O.  
**PROVIDE 2X6 PLUMBING WET WALLS AS REQUIRED.**  
**GARAGE / RESIDENCE COMMON WALL AND CEILING -** PROVIDE A 5/8" GYPSUM BOARD FROM FLOOR TO UNDERSIDE OF ROOF SHEATHING (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) PROVIDE 5/8" TYPE 'X' GYPSUM BOARD AT ENTIRE GARAGE CEILINGS WITH HABITABLE ROOMS ABOVE AND 5/8" GYPSUM BOARD AT WALLS SUPPORTING THIS FLOOR/CEILING. FIRE SEPARATION PER CRC SEC 302.6. AND TABLE R302.6.  
**2. ALL TOILETS SHALL HAVE A MINIMUM CLEAR WIDTH OF 34".**  
**EGRESS WINDOW REQ.:**
  - AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7 SF IN OPENING AREA
  - MINIMUM OPENING SIZE IS 20" WIDTH X 24" HIGH
  - HAVE EGRESS OPENING NO MORE THAN 44" A.F.F.
  - IN ORDER TO MEET THE REQUIRED 5.7 SF TOTAL, EITHER THE WIDTH OR HEIGHT, OR BOTH MUST EXCEED THE MINIMUM DIMENSION.



**Ashutosh Jha**  
W SAN MARTIN AVE, SAN  
MARTIN, CA, 95046-9444



598 E Santa Clara St. #270  
San Jose, CA 95112  
Phone: (408) 806-7167  
Fax: (408) 653-4006

PROPOSED HOUSE AND  
DETACHED GARAGE  
APN: 779 -47 - 007

SECOND FLOOR  
PLAN

A1-1

1/20/2023 2:38:28 PM

PRELIMINARY

Project No: SAN MARTIN  
Designed: KL  
Checked: NL  
Date: 8 / 30 / 2021  
CALIFORNIA

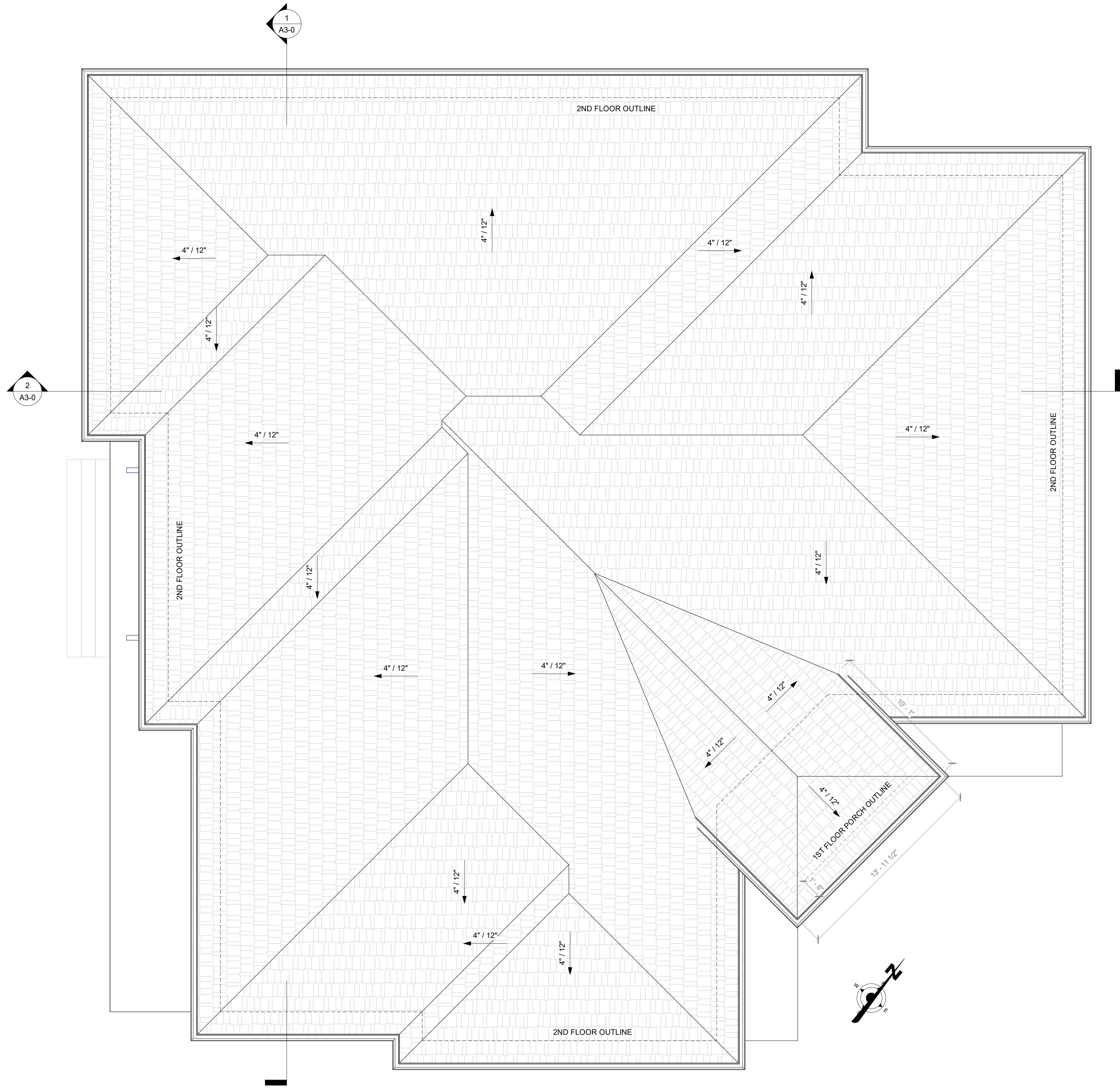
REVISIONS

DATE

BY



1 W. PLATE 2  
1/4" = 1'-0"



ROOF PLAN NOTES

1. ROOF TO BE BUILT TO "CLASS A" FIRE RESISTANCE STANDARDS
2. ROOF COMPOSED OF ASPHALT SHINGLE OVER TWO LAYERS OF #30 FELT OVER PLYWOOD SHEATHING
3. ROOF OVERHANG 1' - 6" U.N.O.



Ashutosh Jha  
W SAN MARTIN AVE, SAN  
MARTIN, CA, 95046-9444



PROPOSED HOUSE AND  
DETACHED GARAGE  
APN: 779 -47 - 007

SAN MARTIN  
Project No:  
Designed: KL  
Checked: NL  
Date: 8 / 30 / 2021  
CALIFORNIA

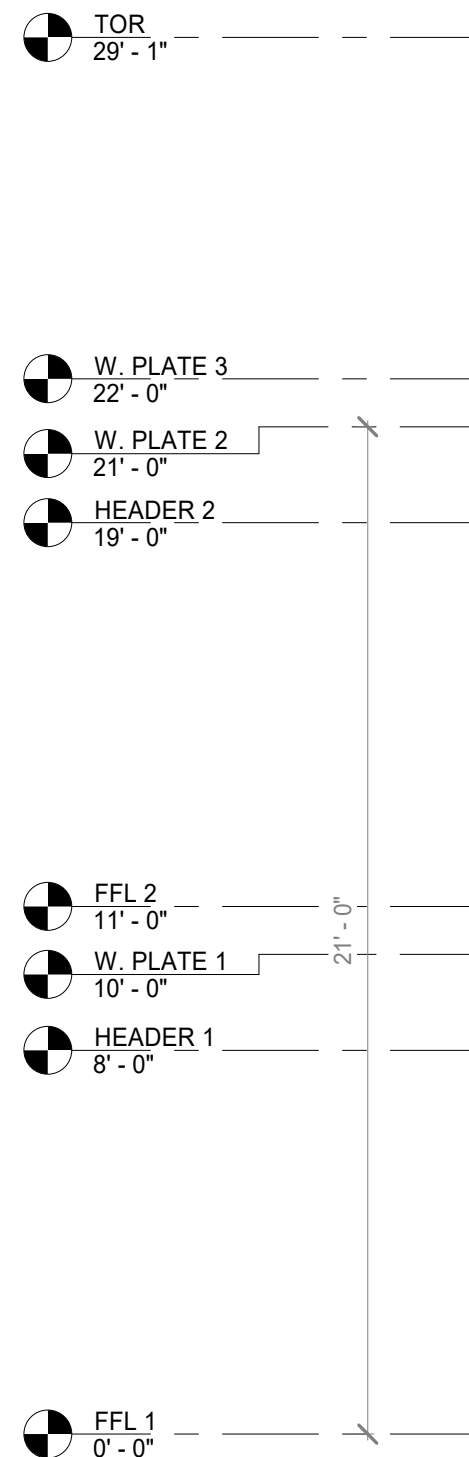
ROOF PLAN

A1-2

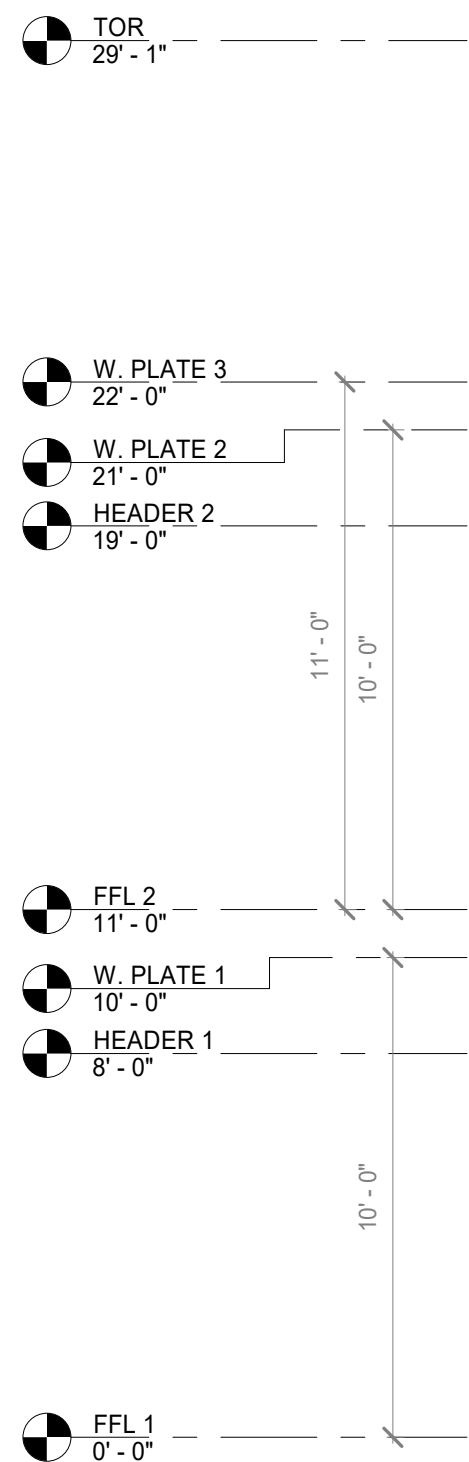
1/20/2023 2:38:30 PM

PRELIMINARY





① MH FRONT ELEVATION  
1/4" = 1'-0"



② MH RIGHT ELEVATION  
1/4" = 1'-0"

COLORS & MATERIALS

- 1

STUCCO, TO BE PAINTED WITH KELLY-MOORE 4628 FRENCH OAK OR SIM. LRV 39.
- 2

TRIM - KERRY MORGAN 4518 WILD CATTAIL OR SIM. LRV 20.
- 3

ASPHALT SHINGLE - CERTAINTED FIBERGLASS REINFORCED, LAMINATED ASPHALT ROOF SHINGLE, CARRIAGE HOUSE STYLE IN GEORGIAN BRICK
- 4

MILGARD WINDOWS, WHITE FRAMES OR SIM.
- 5

FRONT DOOR - I WANT THAT DOOR, REFLECTION SQUARE TOP DOUBLE ENTRY IRON DOORS OR SIM.



**Ashutosh Jha**  
W SAN MARTIN AVE, SAN MARTIN, CA, 95046-9444



PROPOSED HOUSE AND  
DETACHED GARAGE  
APN: 779 -47 - 007

FRONT & RIGHT  
ELEVATIONS

A2-0

1/20/2023 2:38:31 PM



TOR  
29' - 1"

W. PLATE 3  
22' - 0"

W. PLATE 2  
21' - 0"

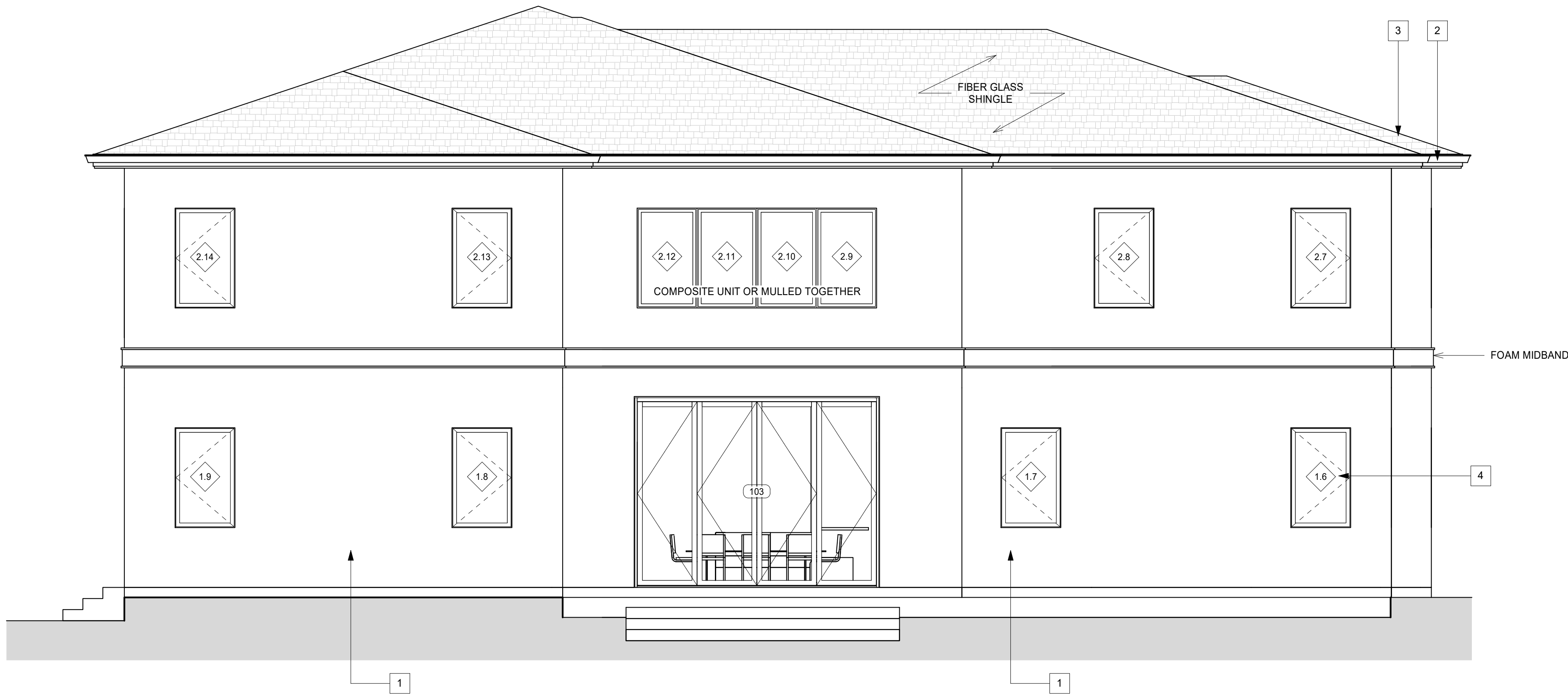
HEADER 2  
19' - 0"

FFL 2  
11' - 0"

W. PLATE 1  
10' - 0"

HEADER 1  
8' - 0"

FFL 1  
0' - 0"



① MH REAR ELEVATION  
1/4" = 1'-0"

TOR  
29' - 1"

W. PLATE 3  
22' - 0"

W. PLATE 2  
21' - 0"

HEADER 2  
19' - 0"

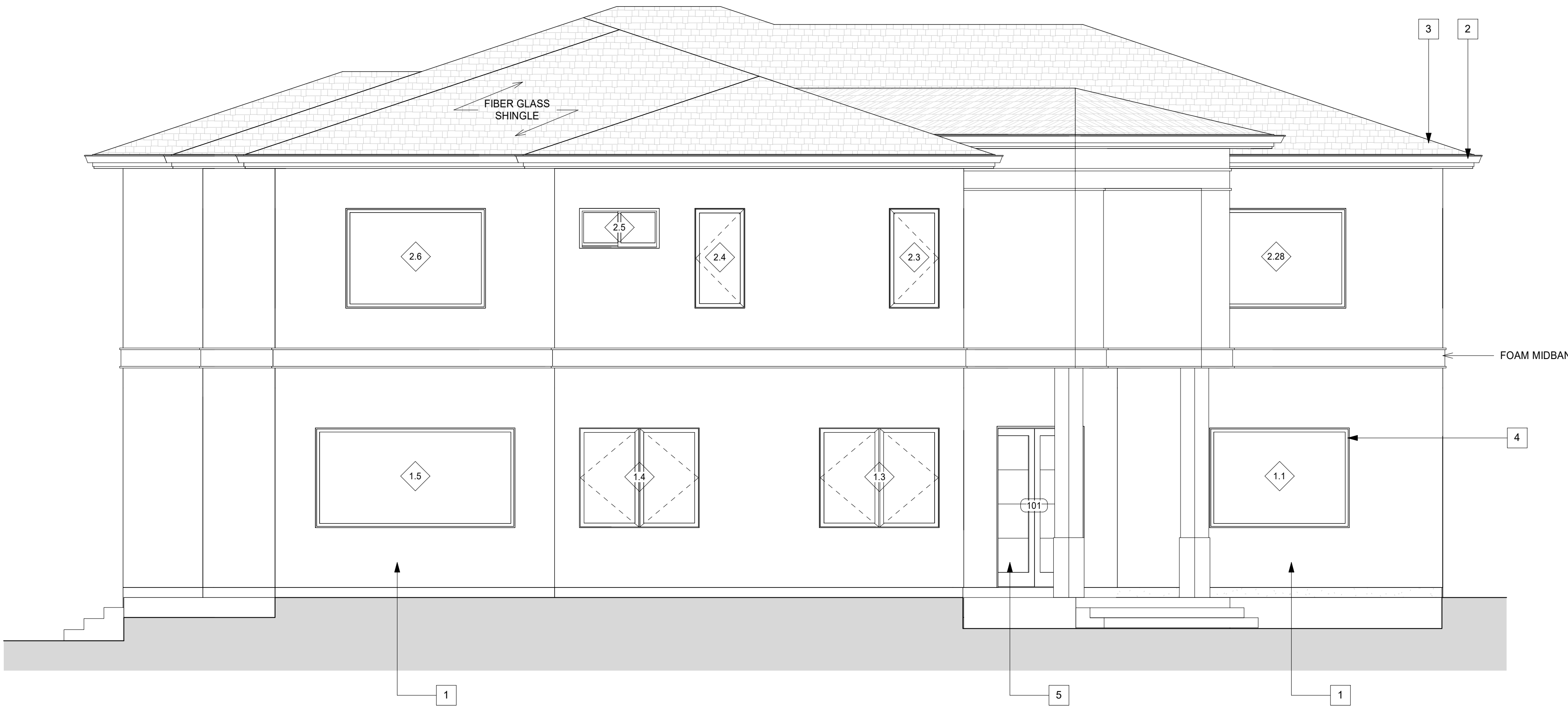
FFL 2  
11' - 0"

W. PLATE 1  
10' - 0"

HEADER 1  
8' - 0"

FFL 1  
0' - 0"


GRADE  
-1' - 8"



② MH LEFT ELEVATION  
1/4" = 1'-0"

## COLORS & MATERIALS

- 1 STUCCO, TO BE PAINTED WITH KELLY-MOORE 4628 FRENCH OAK OR SIM. LRV 39.
- 2 TRIM - KERRY MORGAN 4518 WILD CATTAIL OR SIM. LRV 20.
- 3 ASPHALT SHINGLE - CERTAINTED FIBERGLASS REINFORCED, LAMINATED ASPHALT ROOF SHINGLE, CARRIAGE HOUSE STYLE IN GEORGIAN BRICK
- 4 MILGARD WINDOWS, WHITE FRAMES OR SIM.
- 5 FRONT DOOR - I WANT THAT DOOR, REFLECTION SQUARE TOP DOUBLE ENTRY IRON DOORS OR SIM.

REVISIONS		DATE		BY	
					
<b>Ashutosh Jha</b> W SAN MARTIN AVE, SAN MARTIN, CA, 95046-9444					
					
PROPOSED HOUSE AND DETACHED GARAGE APN: 779 -47 - 007					
REAR & LEFT ELEVATIONS					
A2-1					

PRELIMINARY

1/20/2023 2:38:32 PM



TOR  
29' - 1"

W. PLATE 3  
22' - 0"

W. PLATE 2  
21' - 0"

HEADER 2  
19' - 0"

8' - 0"

FFL 2  
11' - 0"

W. PLATE 1  
10' - 0"

HEADER 1  
8' - 0"

FFL 1  
0' - 0"



1 ENTRANCE ELEVATION  
1/4" = 1'-0"

#### COLORS & MATERIALS



1 STUCCO, TO BE PAINTED WITH KELLY-MOORE 4628 FRENCH OAK OR SIM. LRV 39.



2 TRIM - KERRY MORGAN 4518 WILD CATTAIL OR SIM. LRV 20.



3 ASPHALT SHINGLE - CERTAINTED FIBERGLASS REINFORCED, LAMINATED ASPHALT ROOF SHINGLE, CARRIAGE HOUSE STYLE IN GEORGIAN BRICK



4 MILGARD WINDOWS, WHITE FRAMES OR SIM.



5 FRONT DOOR - I WANT THAT DOOR, REFLECTION SQUARE TOP DOUBLE ENTRY IRON DOORS OR SIM.

PRELIMINARY

ELEVATIONS

A2-2

1/20/2023 2:38:33 PM

**Ashutosh Jha**  
W SAN MARTIN AVE, SAN  
MARTIN, CA, 95046-9444

**ENGINEERING**  
598 E Santa Clara St, #270  
San Jose, CA 95112  
Phone: (408) 806-7167  
Fax: (408) 553-4006

PROPOSED HOUSE AND  
DETACHED GARAGE  
APN: 779 -47 - 007

SAN MARTIN  
Project No:  
Designed: K.L.  
Checked: N.L.  
Date: 8 / 30 / 2021  
CALIFORNIA



REVISIONS

DATE

BY



TOR  
29' - 1"

W. PLATE 3  
22' - 0"  
W. PLATE 2  
21' - 0"  
HEADER 2  
19' - 0"

FFL 2  
11' - 0"  
W. PLATE 1  
10' - 0"  
HEADER 1  
8' - 0"

FFL 1  
0' - 0"

SECTION 1  
1/4" = 1'-0"



TOR  
29' - 1"

W. PLATE 3  
22' - 0"  
W. PLATE 2  
21' - 0"  
HEADER 2  
19' - 0"

FFL 2  
11' - 0"  
W. PLATE 1  
10' - 0"  
HEADER 1  
8' - 0"

FFL 1  
0' - 0"

SECTION 2  
1/4" = 1'-0"



## SECTION NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION
- SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION
- SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION

**FIRE BLOCKING:** PROVIDE FIREBLOCKING PER C.R.C. SECTION R301.11 AT THE FOLLOWING COMBUSTIBLE CONSTRUCTION LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS, OR STAGGERED STUDS PER C.R.C. SECTION R302.11 AS FOLLOWS:
    - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
    - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.
  - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES THAT OCCUR, SUCH AS AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS PER C.R.C. SECTION R302.11.
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN PER C.R.C. SECTION R302.11.
  - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
  - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES SEE C.R.C. SECTION R1003.19.
  - FACTORY BUILT FIREPLACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 127 PER C.C. SECTION 717.2.5.1.
  - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
  - WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE PERMITTED TO BE COMBUSTIBLE CONSTRUCTION PER C.B.C. SECTION 1406, OR WHERE ERECTED WITH COMBUSTIBLE FRAMES AT MAXIMUM INTERVALS OF 20 FEET, SO THAT THERE WILL BE NO OPEN SPACE EXCEEDING 100 SQUARE FEET PER C.B.C. SECTION 717.2.6.
  - WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE ON AN APPROVED WOOD OF NATURAL DECAY RESISTANCE OR PRESERVATIVE-TREATED WOOD. IF CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH 4-INCH MINIMUM SEPARATION BETWEEN SECTIONS PER C.B.C. SECTION 717.2.6.
- EXCEPTIONS: (PER C.B.C. 717.2.6)**
- ALUMINUM HAVING A MINIMUM THICKNESS OF 0.019 INCH.
  - CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS NOT LESS THAN 0.016 INCH AT ANY POINT.
  - OTHER APPROVED NONCOMBUSTIBLE MATERIALS.



**Ashutosh Jha**  
W SAN MARTIN AVE, SAN  
MARTIN, CA, 95046-9444



PROPOSED HOUSE AND  
DETACHED GARAGE  
APN: 779 -47 - 007

SECTIONS

A3-0

PRELIMINARY

1/20/2023 2:38:36 PM



MAIN HOUSE WINDOW SCHEDULE							
MARK	TYPE	DESCRIPTION	LOCATION	WIDTH	HEIGHT	HEAD	REMARKS

FFL 1							
1.1	A	Fixed	GARAGE	7' - 0"	5' - 0"	8' - 0"	
1.2	A	Fixed	FRONT PORCH	7' - 0"	5' - 0"	7' - 11"	
1.3	B	Window-Casement-Double	KITCHEN	6' - 0"	5' - 0"	8' - 0"	
1.4	B	Window-Casement-Double	KITCHEN	6' - 0"	5' - 0"	8' - 0"	
1.5	A	Fixed	FAMILY ROOM	10' - 0"	5' - 0"	8' - 0"	
1.6	C	Window-Casement-Single_Right	FAMILY ROOM	3' - 0"	5' - 0"	8' - 0"	
1.7	D	Window-Casement-Single_Left	FAMILY ROOM	3' - 0"	5' - 0"	8' - 0"	
1.8	C	Window-Casement-Single_Right	M BEDRM 1	3' - 0"	5' - 0"	8' - 0"	EGRESS
1.9	D	Window-Casement-Single_Left	M BEDRM 1	3' - 0"	5' - 0"	8' - 0"	EGRESS
1.10	A	Fixed	M BEDRM 1	8' - 0"	5' - 0"	8' - 0"	
1.11	C	Window-Casement-Single_Right	M BATH 1	3' - 0"	5' - 0"	8' - 0"	
1.12	E	Window-Sliding-Double		4' - 0"	2' - 0"	8' - 0"	
1.13	E	Window-Sliding-Double	LAUNDRY	4' - 0"	2' - 0"	8' - 0"	
1.14	A	Fixed	GARAGE	8' - 0"	5' - 0"	8' - 0"	

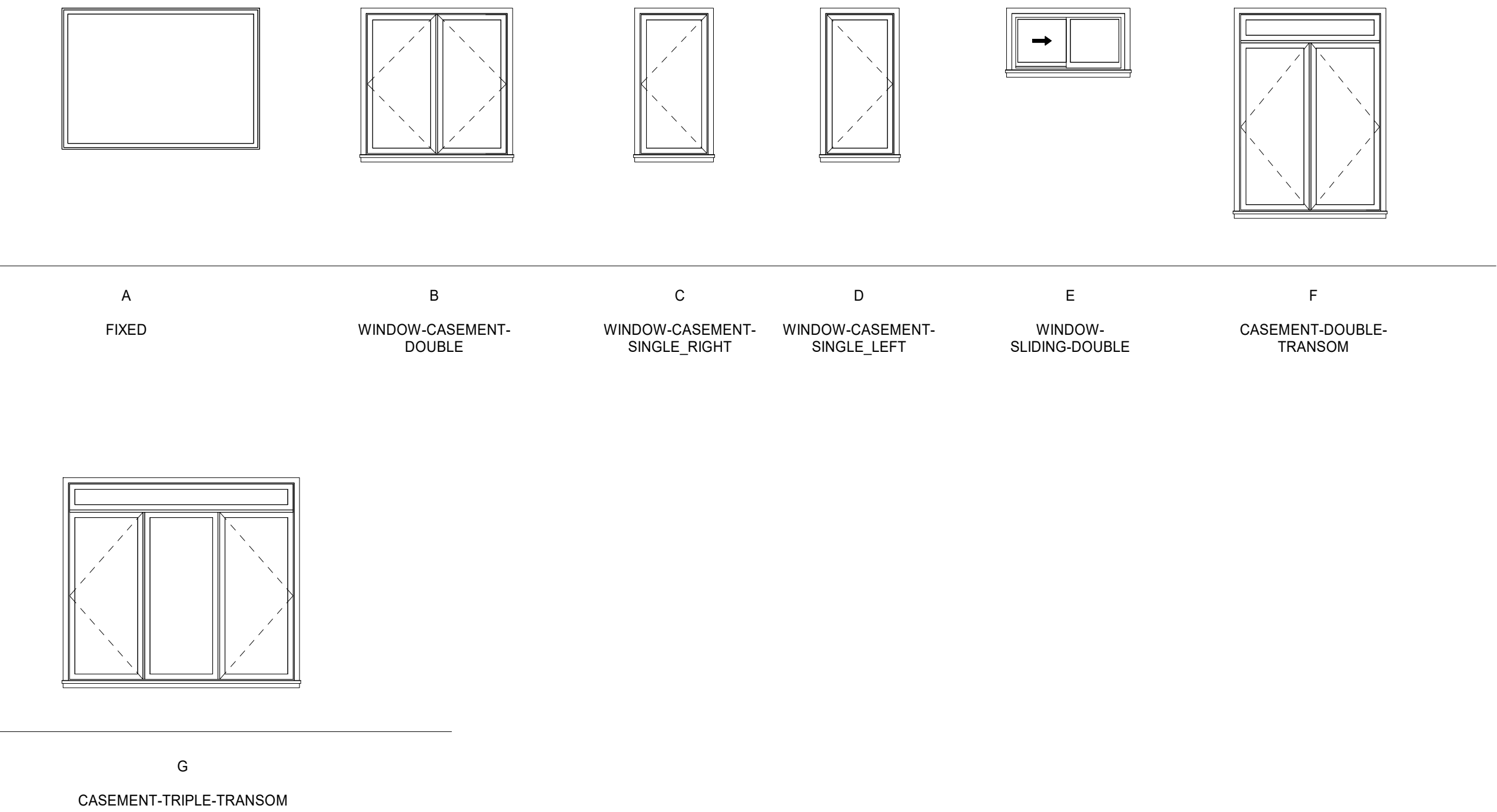
FFL 2							
2.1	A	Fixed	FOYER	5' - 0"	5' - 0"	8' - 0"	
2.2	A	Fixed	ENTERTAINMENT RM	7' - 0"	5' - 0"	8' - 0"	
2.3	D	Window-Casement-Single_Right	ENTERTAINMENT RM	2' - 6"	5' - 0"	8' - 0"	
2.4	E	Window-Casement-Single_Left	ENTERTAINMENT RM	2' - 6"	5' - 0"	8' - 0"	
2.5	E	Window-Sliding-Double	BATH	4' - 0"	2' - 0"	8' - 0"	
2.6	A	Fixed	BEDRM 4	7' - 0"	5' - 0"	8' - 0"	
2.7	C	Window-Casement-Single_Right	BEDRM 4	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.8	D	Window-Casement-Single_Left	BEDRM 4	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.9	A	Fixed	DINING ROOM	3' - 0"	5' - 0"	8' - 0"	PART OF COMPOSITE UNIT OR MULLED TOGETHER
2.10	A	Fixed	DINING ROOM	3' - 0"	5' - 0"	8' - 0"	PART OF COMPOSITE UNIT OR MULLED TOGETHER
2.11	A	Fixed	DINING ROOM	3' - 0"	5' - 0"	8' - 0"	PART OF COMPOSITE UNIT OR MULLED TOGETHER
2.12	A	Fixed	DINING ROOM	3' - 0"	5' - 0"	8' - 0"	PART OF COMPOSITE UNIT OR MULLED TOGETHER
2.13	C	Window-Casement-Single_Right	M BEDRM 2	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.14	D	Window-Casement-Single_Left	M BEDRM 2	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.15	A	Fixed	M BEDRM 2	4' - 0"	6' - 6"	8' - 0"	
2.16	A	Fixed	M BEDRM 2	4' - 0"	6' - 6"	8' - 0"	
2.17	A	Fixed	M BEDRM 2	4' - 0"	6' - 6"	8' - 0"	
2.18	C	Window-Casement-Single_Right	M BATH 2	3' - 0"	5' - 0"	8' - 0"	
2.19	D	Window-Casement-Single_Left		3' - 0"	5' - 0"	8' - 0"	
2.20		Window-Casement-Triple	STUDY	8' - 0"	5' - 0"	8' - 0"	
2.21	A	Fixed	M BEDRM 3	4' - 0"	6' - 6"	8' - 0"	
2.22	A	Fixed	M BEDRM 3	4' - 0"	6' - 6"	8' - 0"	
2.23	A	Fixed	M BEDRM 3	4' - 0"	6' - 6"	8' - 0"	
2.24	C	Window-Casement-Single_Right	M BEDRM 3	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.25	D	Window-Casement-Single_Left	M BEDRM 3	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.26	D	Window-Casement-Single_Left		3' - 0"	5' - 0"	8' - 0"	
2.27	B	Window-Casement-Double	MEDITATION RM	5' - 0"	5' - 0"	8' - 0"	
2.28	A	Fixed	MEDITATION RM	7' - 0"	5' - 0"	8' - 0"	

Grand total: 42

ADU WINDOW SCHEDULE							
MARK	TYPE	DESCRIPTION	LOCATION	WIDTH	HEIGHT	HEAD	REMARKS

ADU FFL							
A.1	B	Window-Casement-Double	M BEDRM 1	5' - 0"	6' - 0"	9' - 0"	EGRESS
A.2	B	Window-Casement-Double	BATH	3' - 0"	5' - 0"	9' - 0"	
A.3	F	Window-Casement-Double-Transom	BEDRM 3	5' - 0"	6' - 0"	9' - 6"	EGRESS
A.4	B	Window-Casement-Double	GREAT ROOM	5' - 0"	6' - 0"	9' - 0"	
A.5	B	Window-Casement-Double	M BEDRM 2	4' - 0"	5' - 0"	9' - 0"	EGRESS
A.6	G	Window-Casement-Triple-Transom	GREAT ROOM	8' - 0"	7' - 0"	9' - 6"	
A.7	G	Window-Casement-Triple-Transom	GREAT ROOM	8' - 0"	7' - 0"	9' - 6"	
A.8	D	Window-Casement-Single_Left	M BEDRM 2	2' - 0"	5' - 0"	9' - 6"	
A.9	C	Window-Casement-Single_Right	M BEDRM 2	2' - 0"	5' - 0"	9' - 6"	

Grand total: 9



MAIN HOUSE DOOR SCHEDULE							
MARK	TYPE	DESCRIPTION	LOCATION	WIDTH	HEIGHT	REMARKS	

FFL 1							
101	A	Exterior French Door	FOYER	6' - 0"	8' - 0"		
102	G	Pocket-Single	M BATH 1	2' - 4"	8' - 0"		
103	C	Door_Folding_LaCantina_Aluminum-Thermal-Series (2)	DINING ROOM	12' - 0"	9' - 6"		
104	D	Hinged-Single	DINING ROOM	3' - 0"	8' - 0"		
105	H	FRAMED GLASS DOOR		2' - 8"	5' - 2"	GLASS SHOWER DOOR	
106	D	Hinged-Single	WIC 1	2' - 4"	8' - 0"		
107	D	Hinged-Single	WIC 1	2' - 4"	8' - 0"		
108	D	Hinged-Single	LIVING ROOM	2' - 4"	8' - 0"		
109	D	Hinged-Single	LAUNDRY	3' - 0"	8' - 0"		
110	D	Hinged-Single	GARAGE	3' - 0"	8' - 0"		
111	D	Hinged-Single	LAUNDRY	3' - 0"	8' - 0"		
112	E	Hinged-Single-Exterior	GARAGE	3' - 0"	8' - 0"		
113	F	Door-Garage-Embossed_Panel	GARAGE	16' - 0"	8' - 0"		
114	F	Door-Garage-Embossed_Panel	GARAGE	9' - 0"	8' - 0"		

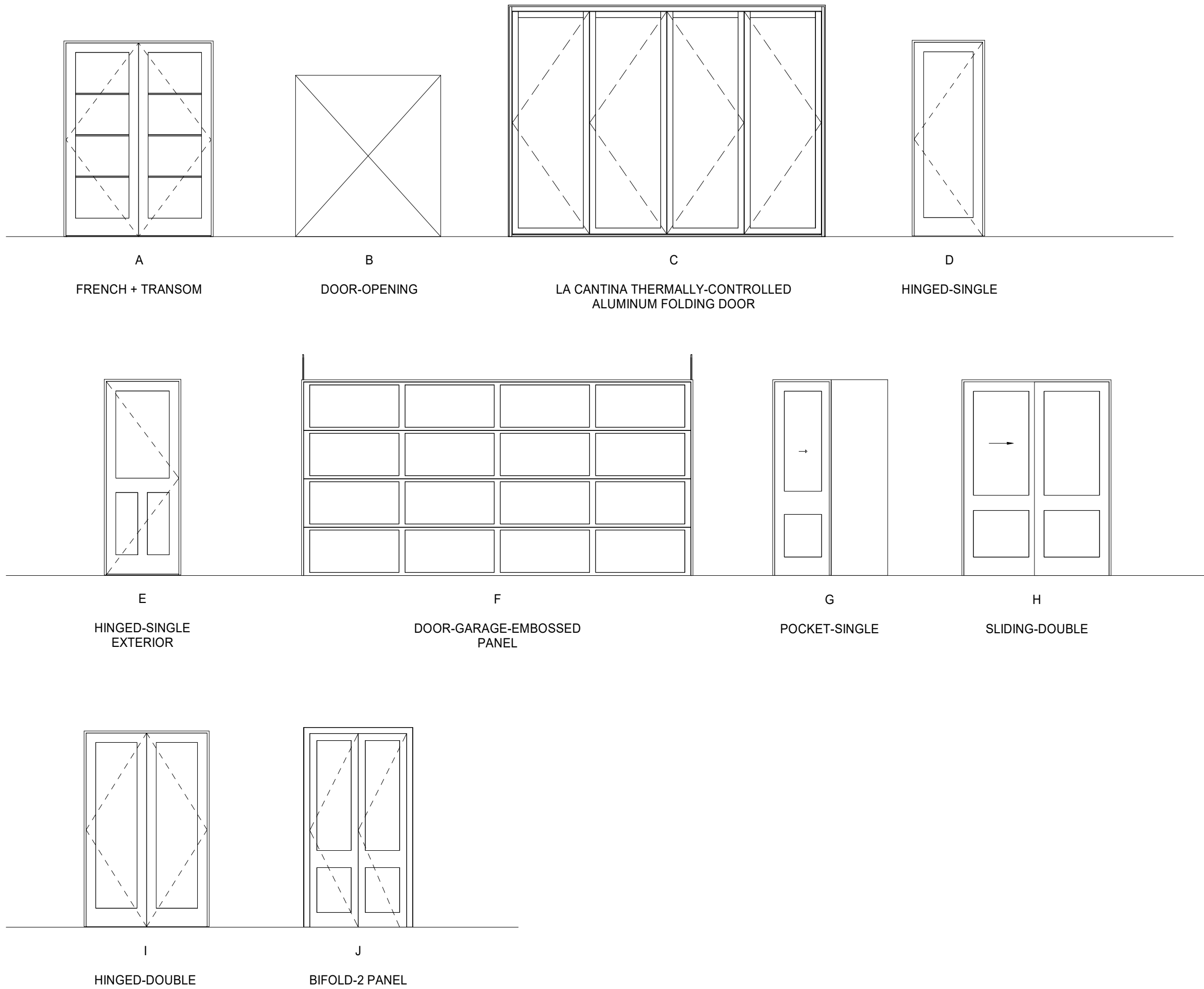
FFL 2							
201	D	Hinged-Single	ENTERTAINMENT RM	2' - 4"	8' - 0"		
202	D	Hinged-Single	ENTERTAINMENT RM	2' - 4"	8' - 0"		
203	D	Hinged-Single	BEDRM 4	2' - 4"	8' - 0"		
204	D	Hinged-Single	ENTERTAINMENT RM	3' - 0"	8' - 0"		
205	D	Hinged-Single	BEDRM 4	2' - 4"	8' - 0"		
206	D	Hinged-Single	DINING ROOM	3' - 0"	8' - 0"		
207	D	Hinged-Single	WIC 2	2' - 4"	8' - 0"		
208	D	Hinged-Single	WIC 2	2' - 4"	8' - 0"		
209	H	FRAMED GLASS DOOR	M BATH 2	2' - 9"	5' - 2"	GLASS SHOWER DOOR	
210	D	Hinged-Single	WIC 2	2' - 4"	8' - 0"		
211	G	Pocket-Single	M BATH 2	2' - 4"	8' - 0"		
212	I	Hinged-Double	M BEDRM 3	4' - 0"	8' - 0"		
213	I	Hinged-Double	M BEDRM 3	4' - 0"	8' - 0"		
214	D	Hinged-Single	NOOK	3' - 0"	8' - 0"		
215	D	Hinged-Single	M BEDRM 3	2' - 4"	8' - 0"		
216	H	FRAMED GLASS DOOR	M BATH 3	2' - 8"	5' - 2"		
217	D	Hinged-Single	NOOK	2' - 4"	8' - 0"		
218	D	Hinged-Single	MEDITATION RM	2' - 4"	8' - 0"		
219	E	Hinged-Single-Exterior	NOOK	3' - 0"	8' - 0"		

Grand total: 33

ADU DOOR SCHEDULE							
MARK	TYPE	DESCRIPTION	LOCATION	WIDTH	HEIGHT	REMARKS	

ADU FFL							
A01	E	Hinged-Single-Exterior	GREAT ROOM	3' - 0"	8' - 0"		
A02	E	Hinged-Single-Exterior	GREAT ROOM	3' - 0"	8' - 0"		
A03	D	Hinged-Single	BEDRM 3	3' - 0"	8' - 0"		
A04	D	Hinged-Single	M BEDRM 1	3' - 0"	8' - 0"		
A05	H	Sliding-Double	M BEDRM 1	6' - 0"	8' - 0"		
A06	D	Hinged-Single	BATH	2' - 4"	8' - 0"		
A07	I	Hinged-Double	LAUNDRY	5' - 0"	8' - 0"		
A08	E	Hinged-Single-Exterior	GARAGE	3' - 0"	8' - 0"		
A09	F	Door-Garage-Embossed_Panel	GARAGE	16' - 0"	8' - 0"		
A10	J	Bifold-2 Panel	GREAT ROOM	4' - 0"	8' - 0"		
A11	G	Pocket-Single	BATH	2' - 4"	8' - 0"		
A12	D	Hinged-Single	M BEDRM 2	2' - 8"	8' - 0"		
A13	D	Hinged-Single	M BATH 2	2' - 4"	8' - 0"		
A14	D	Hinged-Single	WIC	2' - 4"	8' - 0"		
A15	H	Sliding-Double	BEDRM 3	8' - 0"	8' - 0"		

Grand total: 15



## DOOR SCHEDULE NOTES

- PRIOR TO ORDER, MODEL AND SIZE SHALL BE FIELD VERIFIED AND CONFIRMED BY OWNER AND ARCHITECT.
- PER CRC R302.5.1, DOORS INSTALLED BETWEEN THE DWELLING AN ATTACHED GARAGE SHALL BE SELF-CLOSING AND SELF-LATCHING. ADDITIONALLY, THEY SHOULD BE ONE OF THE FOLLOWING:
  - SOLID WOOD DOORS NOT LESS THAN 1-3/8" THICK
  - SOLID OR HONEYCOMBED CORE STEEL DOORS NOT LESS THAN 1-3/8" THICK
  - A 20-MINUTE FIRE RATED DOOR
- ALL GLASS IN EXTERIOR DOORS MUST HAVE TEMPERED GLASS, AND IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS.
- HEADER HT. @ 8' - 0", TYPICAL U.O.N. SEE EXTERIOR ELEVATIONS.

## WINDOW SCHEDULE NOTES

- PRIOR TO ORDER, MODEL AND SIZE SHALL BE FIELD VERIFIED AND CONFIRMED BY OWNER AND ARCHITECT.
- ALL GLASS IN EXTERIOR WINDOWS MUST BE TEMPERED GLASS.
- ALL SKYLIGHT UNITS SHALL BE TESTED AND LABELED IN COMPLIANCE WITH AAMA / WDMA / CSA 101 / 1.S.2 / A440 PER CRC SECTION R308.6.9.
- ALL SKYLIGHT UNITS LOCATED ON A ROOF WITH SLOPE LESS THAN 3' / 12" MUST BE INSTALLED ON A 4" MINIMUM HIGH CURB.
- HEADER HT. @ 8' - 0", TYPICAL U.O.N. SEE EXTERIOR ELEVATIONS.



**Ashutosh Jha**  
W SAN MARTIN AVE, SAN  
MARTIN, CA, 95046-9444



PROPOSED HOUSE AND  
DETACHED GARAGE  
APN: 779 -47 - 007

DOOR &  
WINDOW  
SCHEDULE

A4-0

1/20/2023 2:38:38 PM

PRELIMINARY

Project No: SAN MARTIN

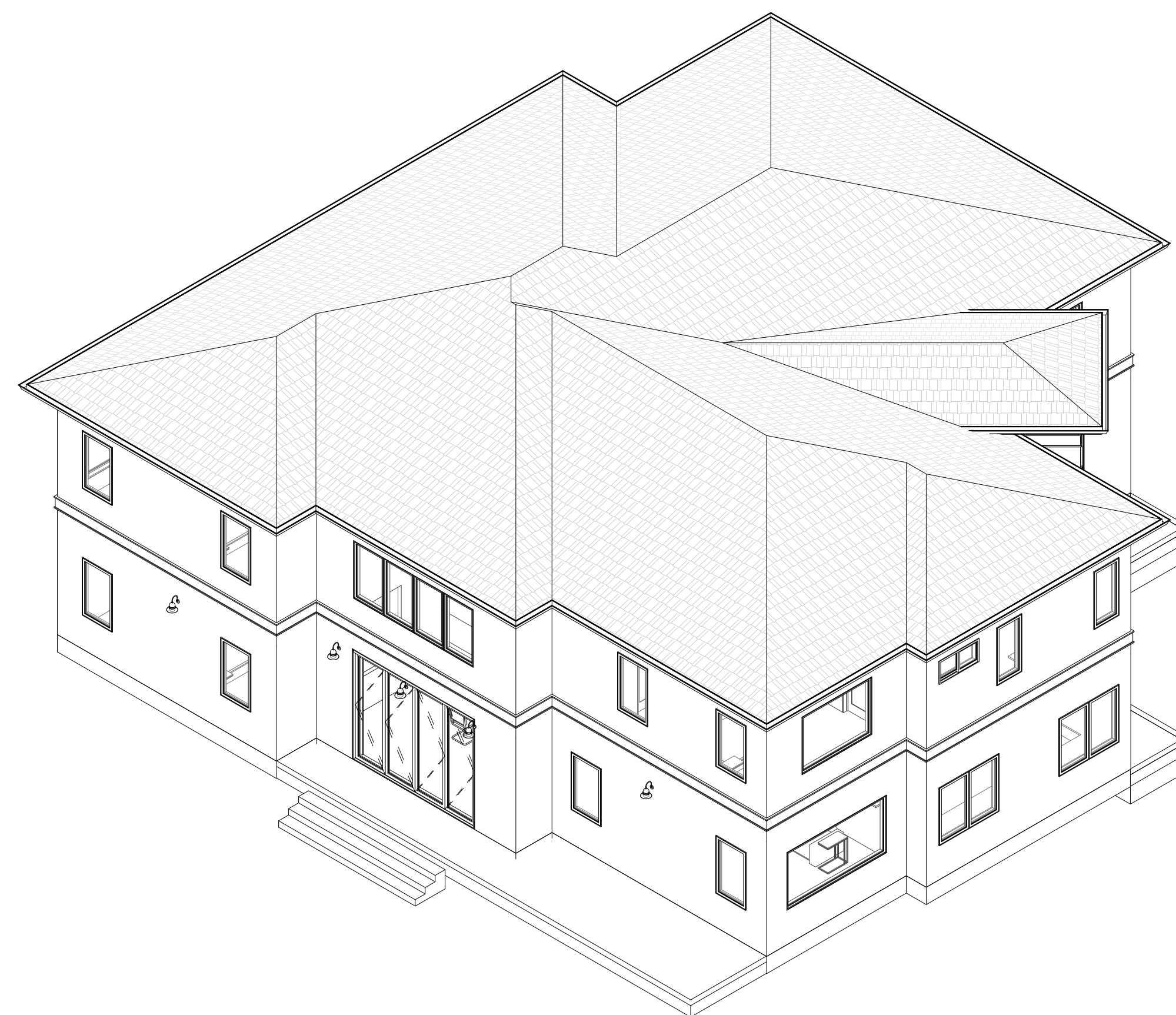
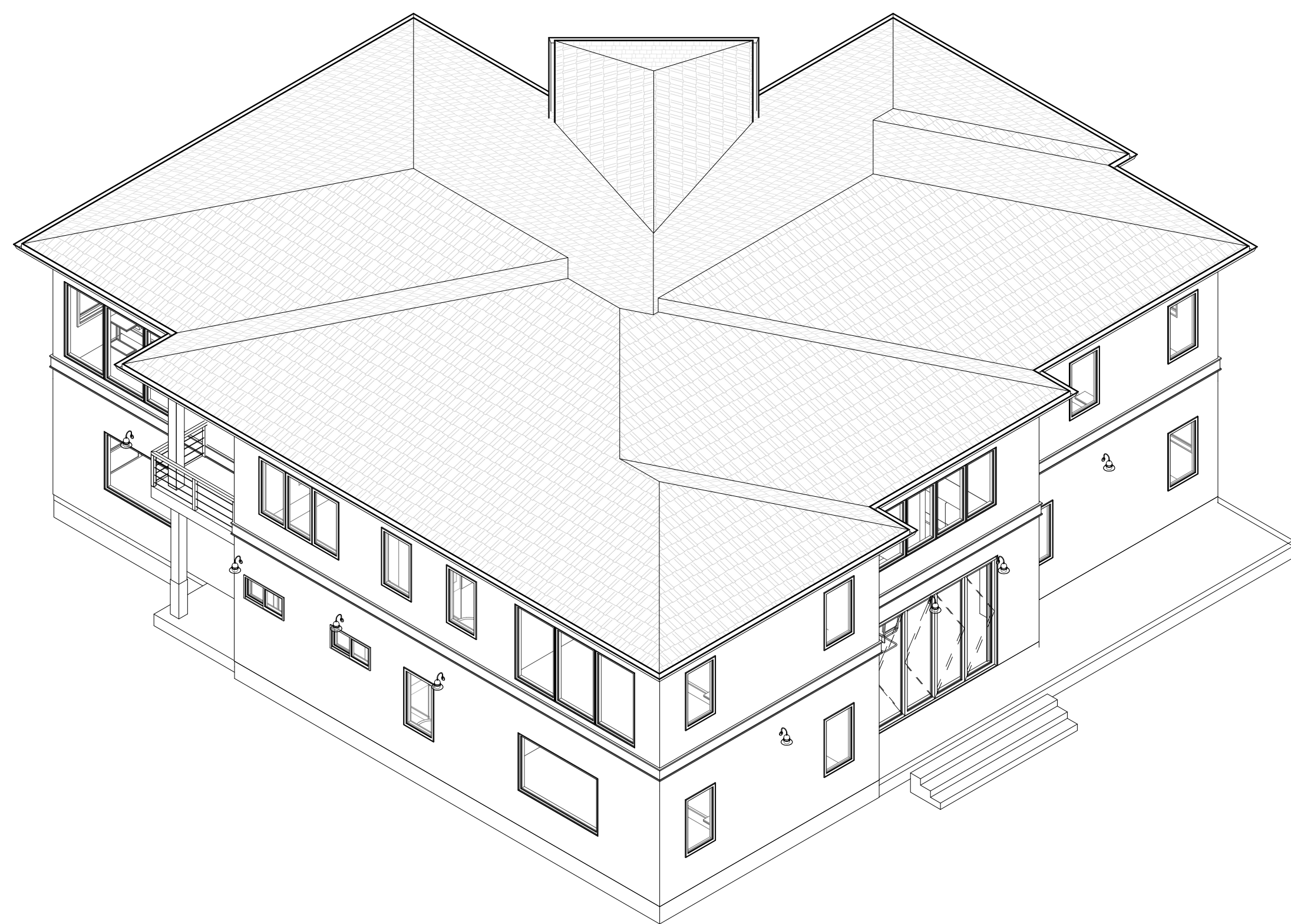
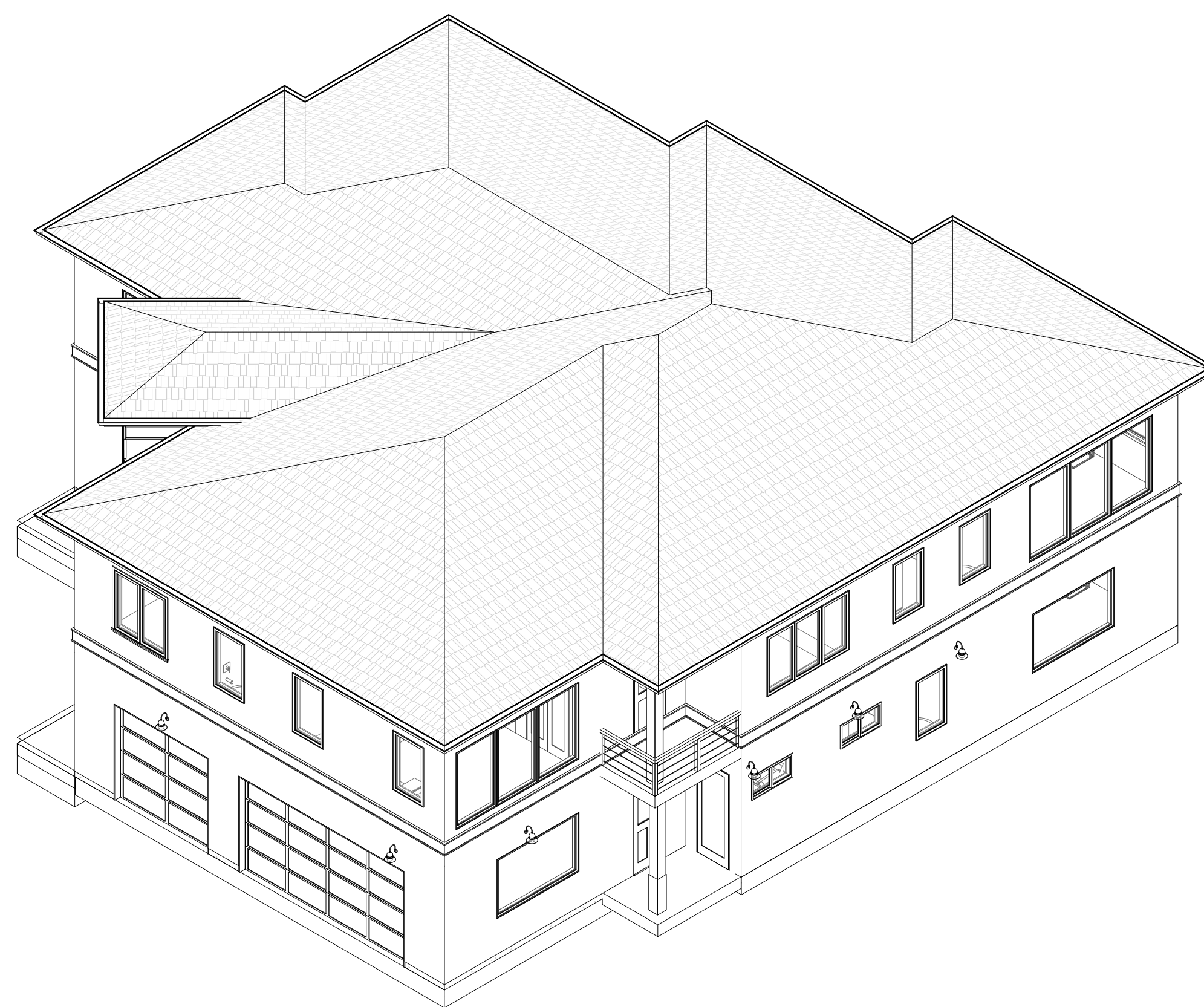
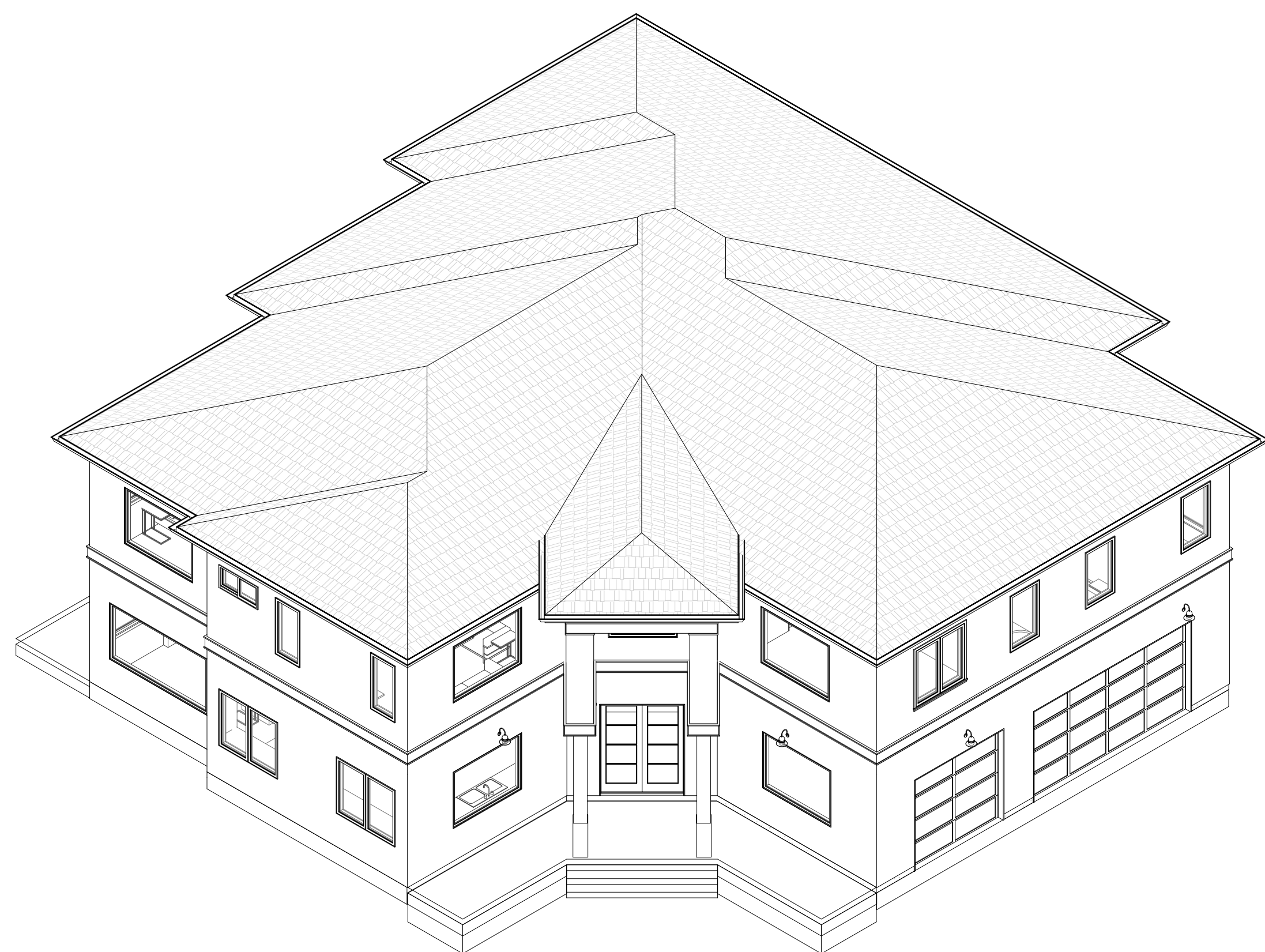
Designed: KL

Checked: NL

Date: 8 / 30 / 2021

CALIFORNIA





PRELIMINARY

## MAIN HOUSE AXON VIEWS

A6-0

PROPOSED HOUSE AND  
DETACHED GARAGE  
APN: 779 -47 - 007

APN: 779-47-007

SAN MARTIN

Project No.:

CALIFORNIA

9/30/2021



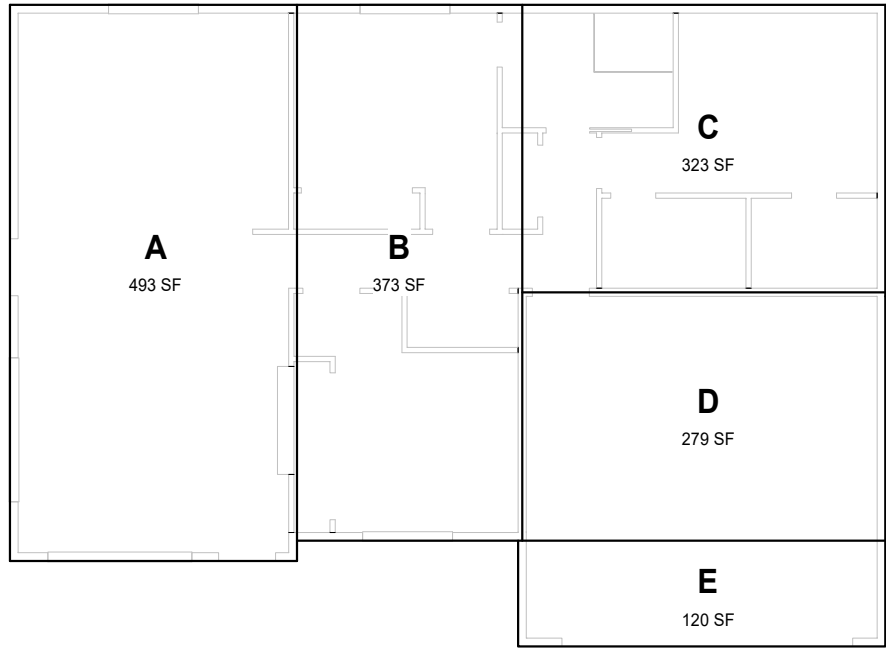
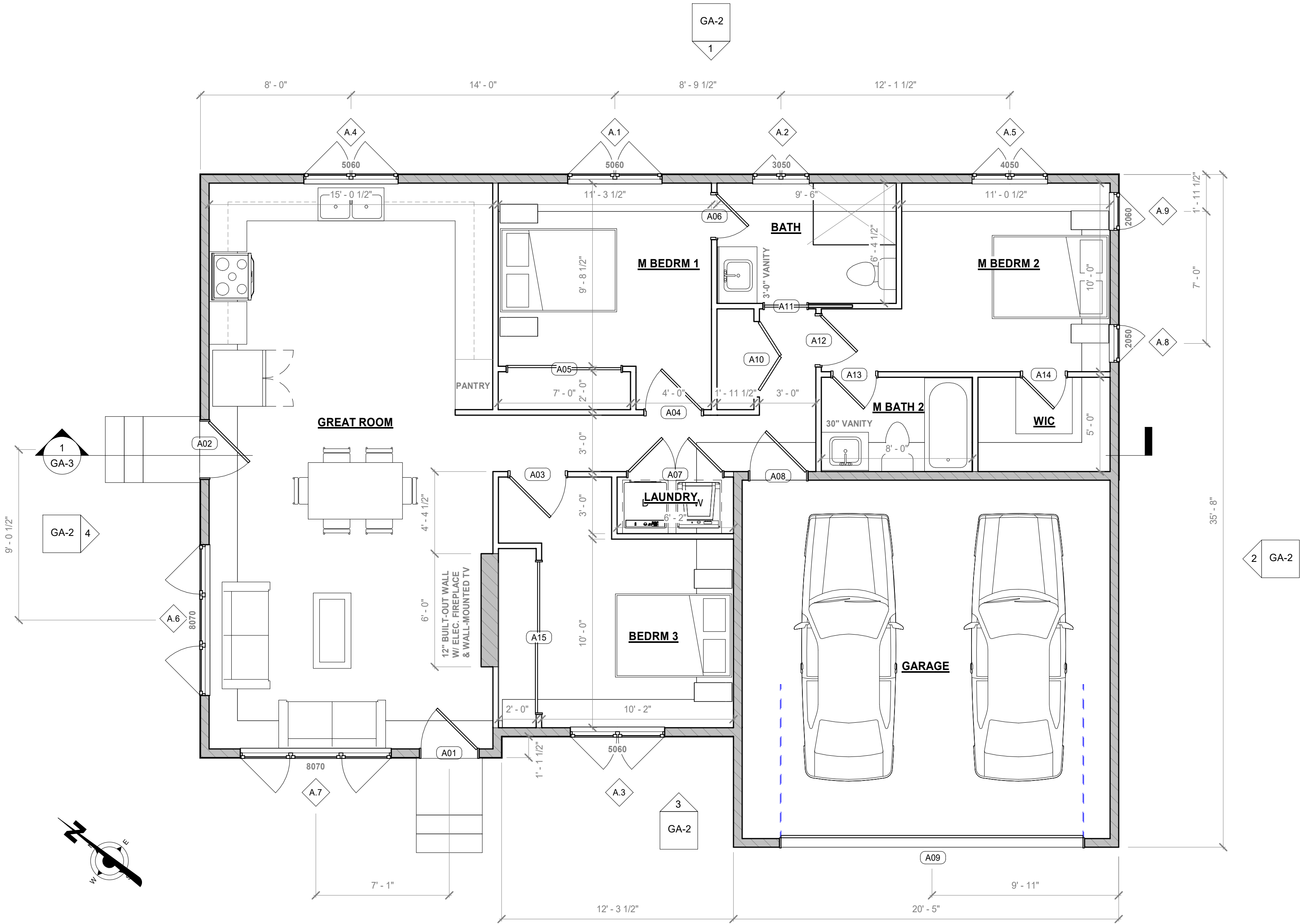
598 E Santa Clara St, #270  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 583-4006

# Ashutosh Jha

W SAN MARTIN AVE, SAN  
MARTIN, CA, 95046-9444

[illegible]





2 ADU AREA PLAN  
3/32" = 1'-0"

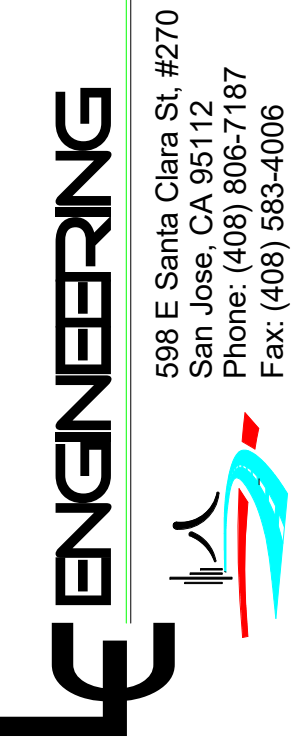
ADU AREA SCHEDULE			
NAME	WIDTH	LENGTH	AREA
FINISHED			
A	15' - 11 1/2"	30' - 11"	493 SF
B	12' - 6 1/2"	29' - 9 1/2"	373 SF
C	16' - 0"	20' - 2 1/2"	323 SF
1189 SF			
GARAGE			
D	13' - 10"	20' - 2 1/2"	279 SF
E	5' - 10 1/2"	20' - 5"	120 SF
399 SF			

FLOOR PLAN NOTES

1. SEE NOTES ON SHEET A1-0.

PRELIMINARY

PROPOSED HOUSE AND  
DETACHED GARAGE  
APN: 779 -47 - 007



Ashutosh Jha  
W SAN MARTIN AVE, SAN  
MARTIN, CA, 95046-9444

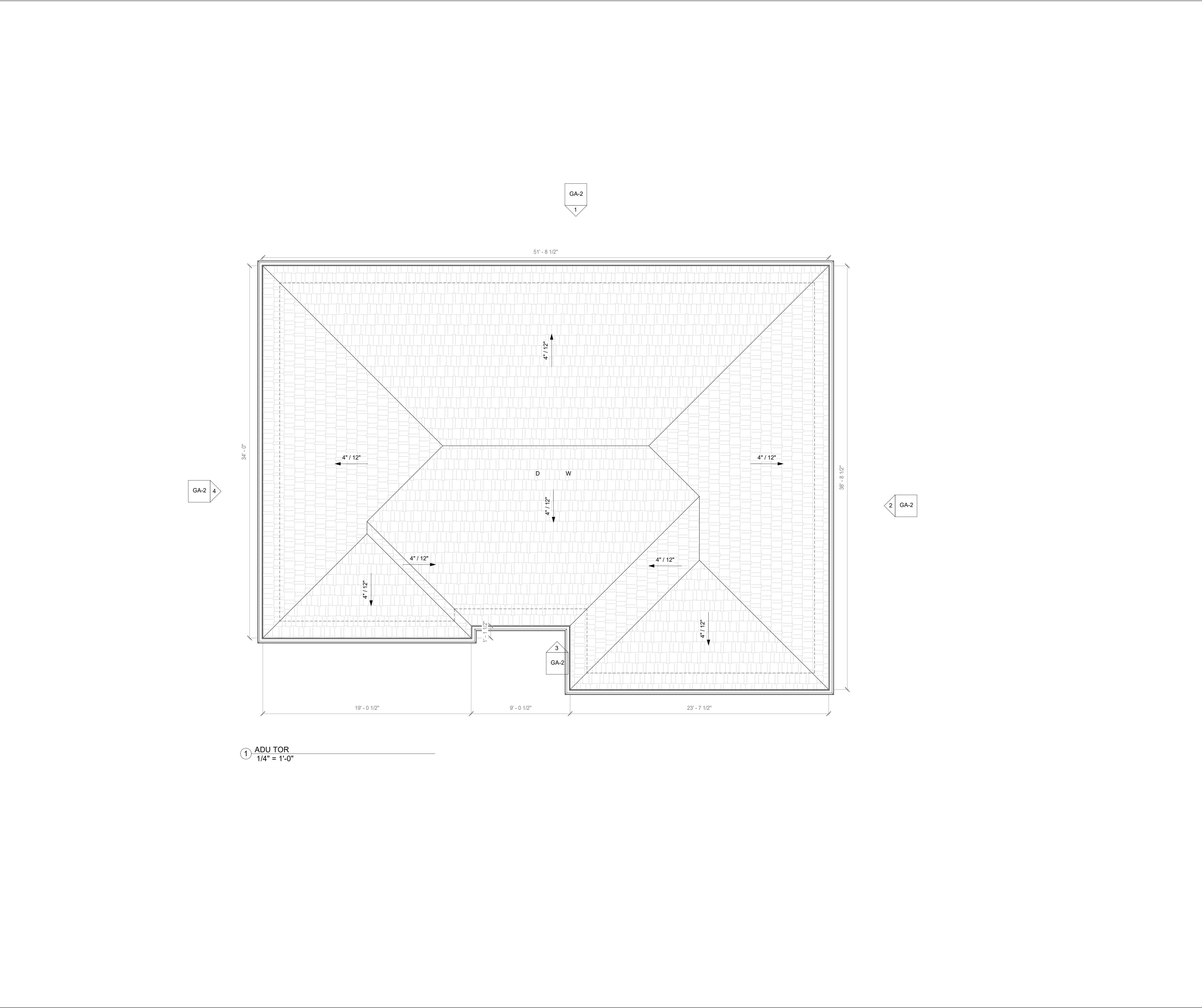


REVISIONS	DATE	BY

ADU FLOOR  
PLAN

GA-0





1 ADU TOR  
1/4" = 1'-0"

PRELIMINARY

GA-1

1/20/2023 2:38:45 PM

ADU ROOF PLAN

PROPOSED HOUSE AND DETACHED GARAGE

APN: 779 -47 - 007

SAN MARTIN

Project No:

Designed: KL

Checked: NL

Date: 8 / 30 / 2021

CALIFORNIA

598 E Santa Clara St, #270

San Jose, CA 95112

Phone: (408) 806-7167

Fax: (408) 553-4006

**Jha Engineering**

598 E Santa Clara St, #270  
San Jose, CA 95112  
Phone: (408) 806-7167  
Fax: (408) 553-4006

Ashutosh Jha

W SAN MARTIN AVE, SAN MARTIN, CA, 95046-9444

REQUIRED

REGISTERED

PROFESSIONAL

ENGINEER

No. 47518

STATE OF CALIFORNIA

CIVIL

BY

DATE

REVISIONS

ROOF PLAN NOTES

1.

ROOF TO BE BUILT TO "CLASS A" FIRE RESISTANCE STANDARDS

2.

ROOF COMPOSED OF ASPHALT SHINGLE OVER TWO LAYERS OF #30 FELT OVER PLYWOOD SHEATHING

3.

ROOF OVERHANG 1' U.N.O.



ADU TOR  
17' - 1"

ADU TOP  
11' - 0"

ADU FFL  
0' - 0"

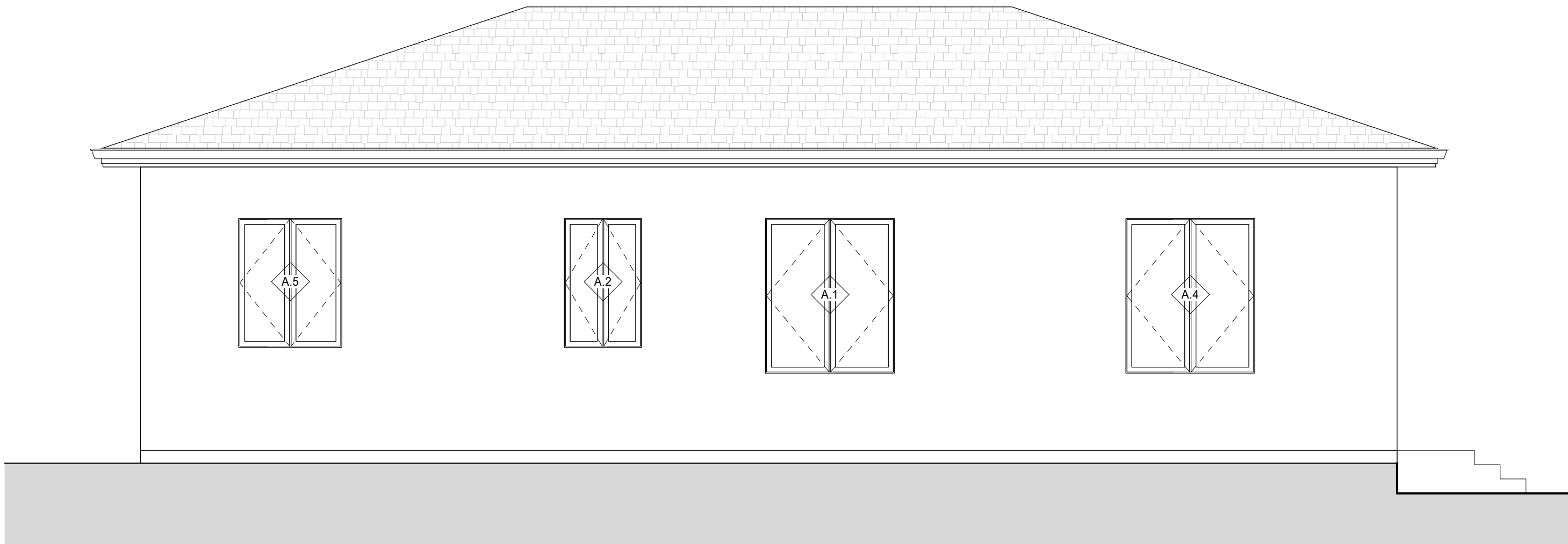


3 FRONT ELEVATION - ADU  
1/4" = 1'-0"

ADU TOR  
17' - 1"

ADU TOP  
11' - 0"

ADU FFL  
0' - 0"



1 REAR ELEVATION - ADU  
1/4" = 1'-0"

ADU TOR  
17' - 1"

ADU TOP  
11' - 0"

ADU FFL  
0' - 0"

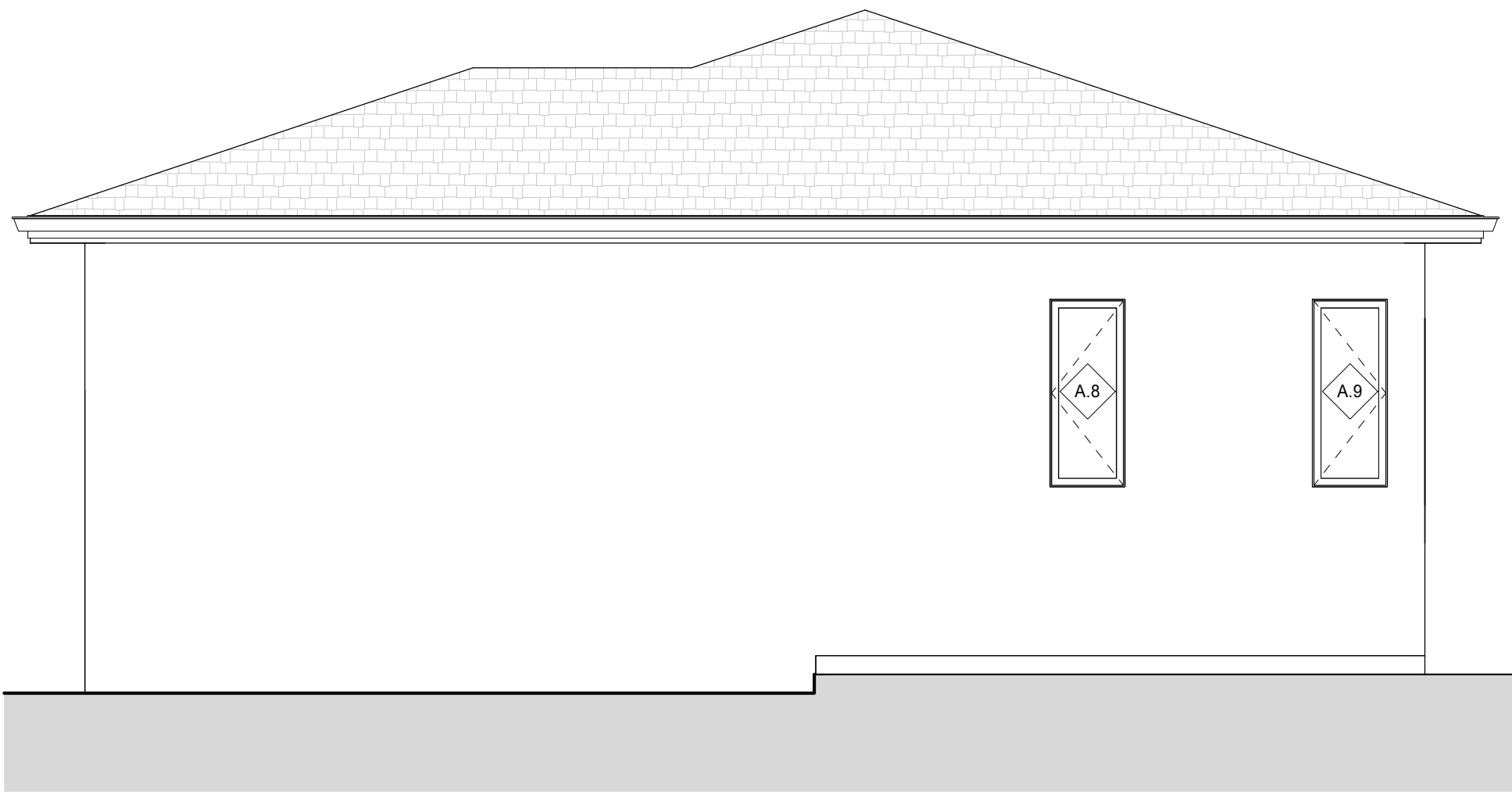


4 LEFT ELEVATION - ADU  
1/4" = 1'-0"

ADU TOR  
17' - 1"

ADU TOP  
11' - 0"

ADU FFL  
0' - 0"



2 RIGHT ELEVATION - ADU  
1/4" = 1'-0"

ADU ELEVATIONS

REVISIONS


DATE

BY

PROJECT NO.

PROPOSED HOUSE AND DETACHED GARAGE

APN: 779 -47 - 007

ADU ELEVATIONS

GA-2

1/20/2023 2:38:46 PM

ASHUTOSH JHA

W SAN MARTIN AVE, SAN MARTIN, CA, 95046-9444

ENGINEERING

598 E Santa Clara St. #270  
San Jose, CA 95112  
Phone: (408) 806-7167  
Fax: (408) 653-4006

SAN MARTIN

Project No.

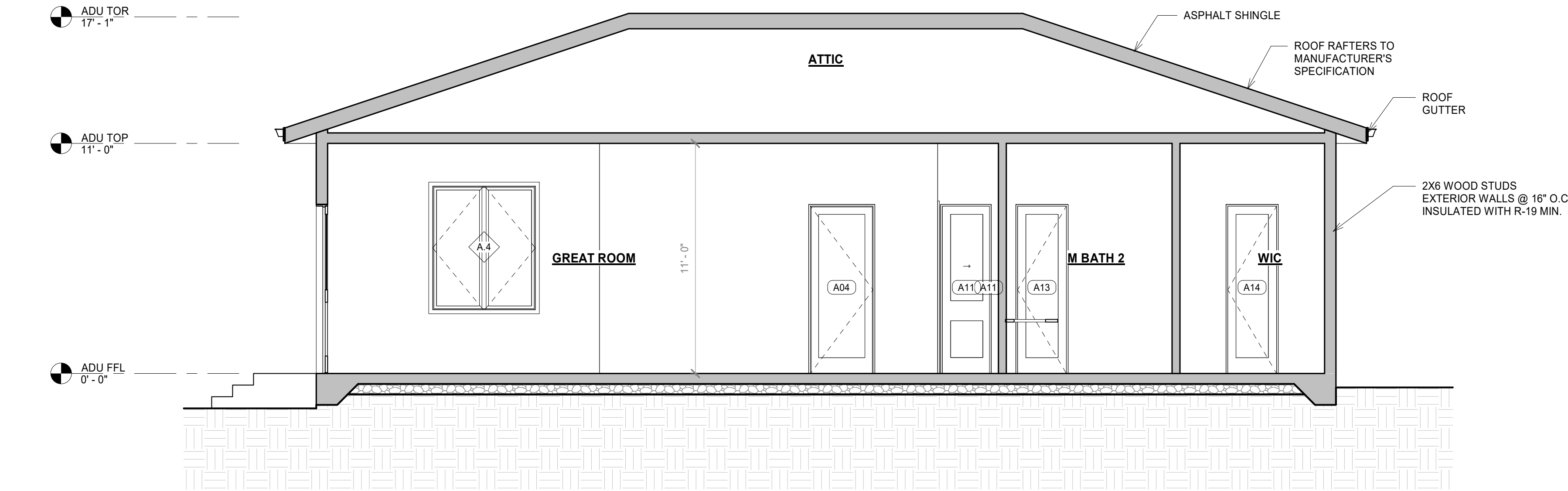
DESIGNED: K.L.

CHECKED: N.L.

CALIFORNIA

Date: 8 / 30 / 2021





1 ADU SECTION  
1/4" = 1'-0"

ADU SECTION NOTES

1. SEE NOTES ON SHEET A3-1



Ashutosh Jha  
W SAN MARTIN AVE, SAN  
MARTIN, CA, 95046-9444



PROPOSED HOUSE AND  
DETACHED GARAGE  
APN: 779 -47 - 007

SAN MARTIN  
Project No:  
Designed: KL  
Checked: NL  
Date: 8 / 30 / 2021  
CALIFORNIA

ADU SECTIONS

GA-3

1/20/2023 2:38:47 PM