

### STANDARD EROSION CONTROL NOTES

UP: ACTIVITIES SHALL BE ORGANIZED AND MEASURES TAKEN AS NEEDED TO PREVENT OR MINIMIZE TRACKING OF SOIL ONTO THE PUBLIC STREET SYSTEM. A GRAVEL OR PROPRIETARY DEVICE CONSTRUCTION ENTRANCE/EXIT IS REQUIRED FOR ALL SITES. CLEAN UP OF TRACKED MATERIAL SHALL BE PROVIDED BY MEANS OF A STREET SWEEPER PRIOR TO AN APPROACHING RAIN EVENT, OR AT LEAST ONCE AT THE END OF EACH WORKDAY THAT MATERIAL IS TRACKED, OR, MORE FREQUENTLY AS DETERMINED BY THE COUNTY INSPECTOR. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-31 TO B-33) OR LATEST.

INLETS WITHIN THE VICINITY OF THE PROJECT AND WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH GRAVEL BAGS PLACED AROUND INLETS OR OTHER INLET PROTECTION. AT LOCATIONS WHERE EXPOSED SOILS ARE PRESENT, STAKED FIBER ROLES OR STAKED SILT FENCES CAN BE USED. INLET FILTERS ARE NOT ALLOWED DUE TO CLOGGING AND SUBSEQUENT FLOODING. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-49 TO B-51) OR LATEST. STORM WATER RUNOFF: NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN IN TO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURES ARE FULLY INSTALLED. DUST CONTROL: THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED BY PROVIDING WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN UP OF SEDIMENTS DEPOSITED ON PAVED ROADS, FURNISHING CONSTRUCTION ROAD ENTRANCES AND VEHICLE WASH DOWN AREAS, AND LIMITING THE AMOUNT OF AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES. STOCKPILING: EXCAVATED SOILS SHALL NOT BE PLACED IN STREETS OR ON PAVED AREAS. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES(TARPS, STRAW BALES, SILT FENCES, ECT.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM OR NEIGHBORING WATERCOURSE.

EROSION CONTROL: DURING THE RAINY SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAINY SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.

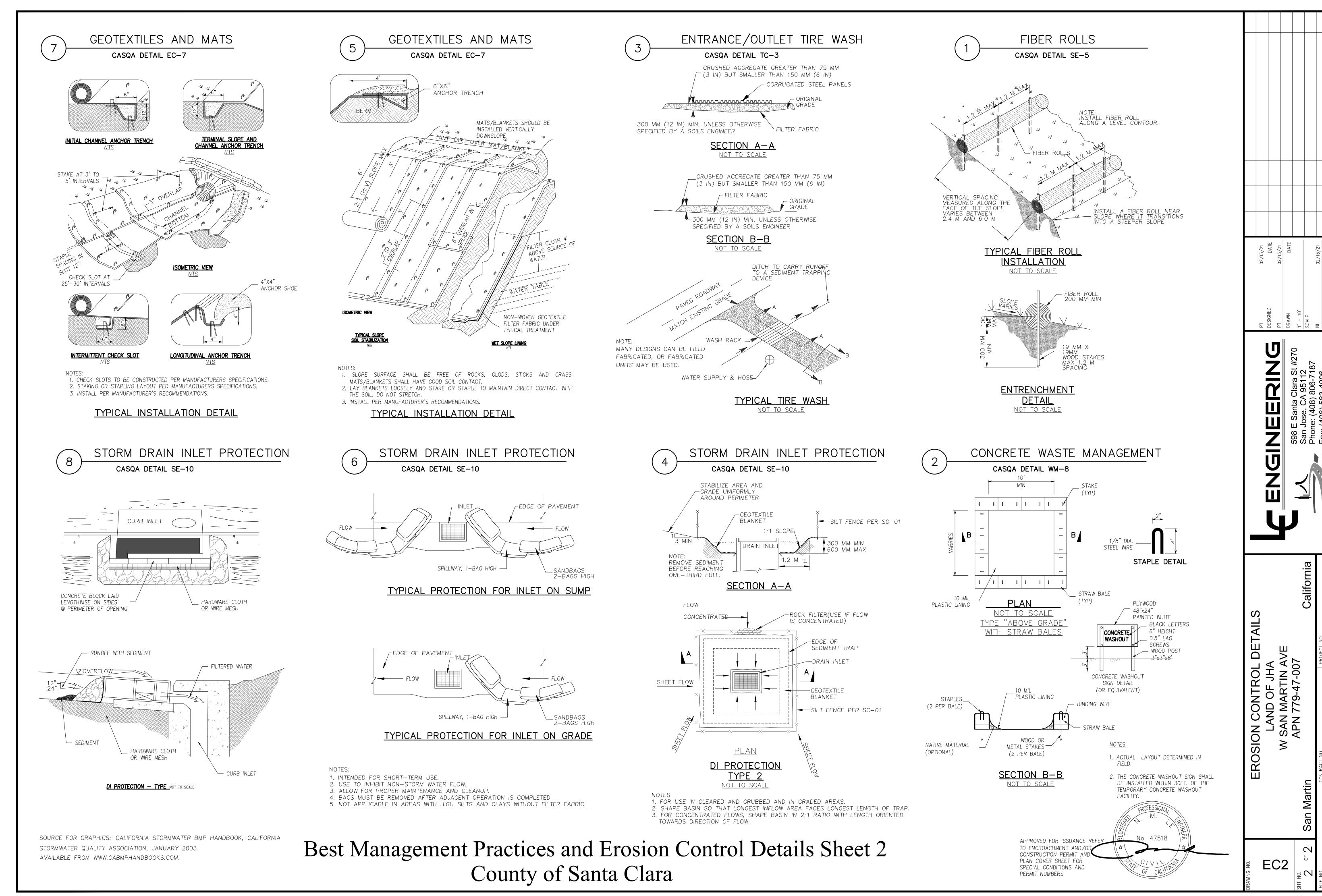
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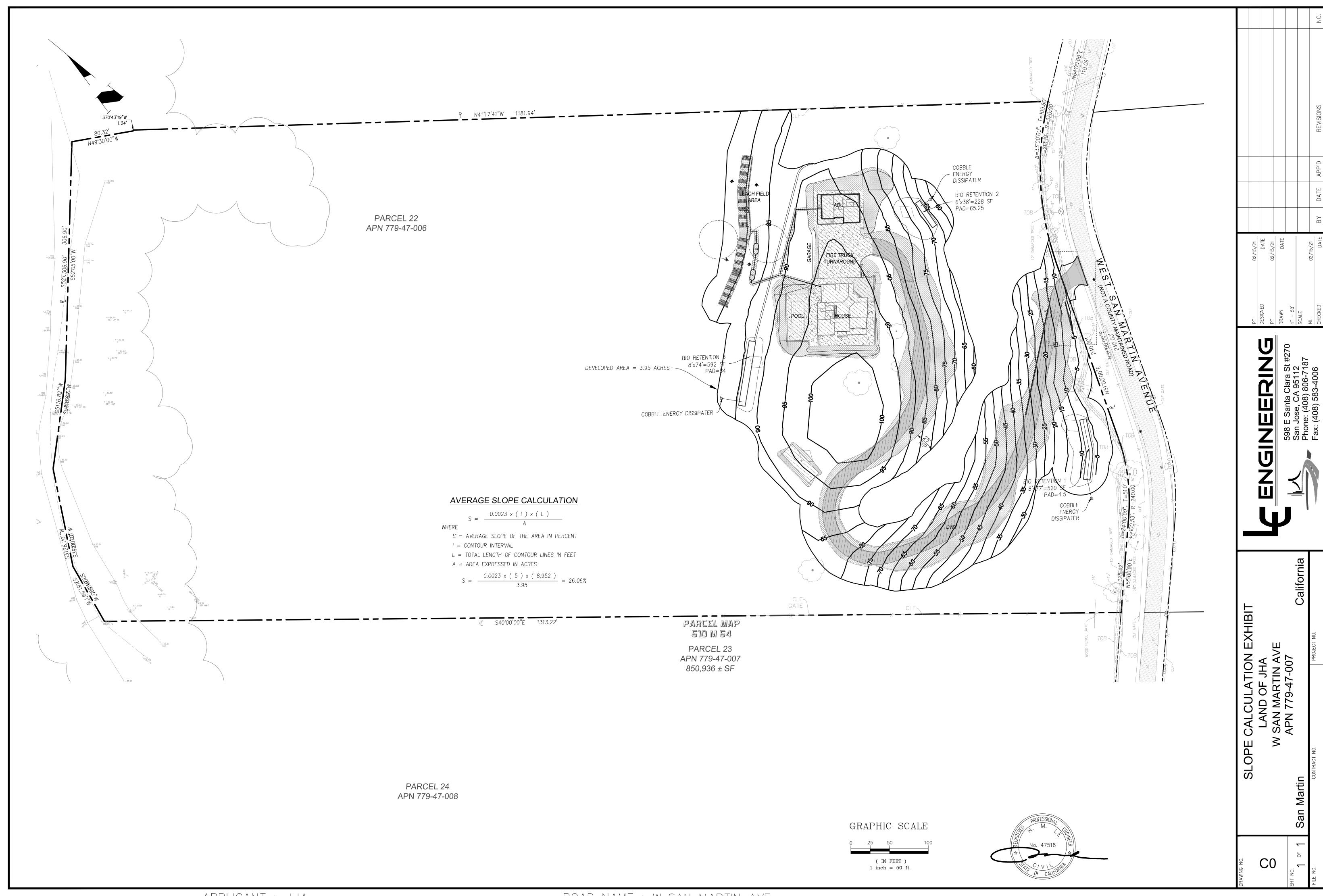
EROSION CONTROL DET LAND OF JHA W SAN MARTIN AVE APN 779-47-007

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- INSPECTION & MAINTENANCE: DISTURBED AREAS OF THE PROJECT'S SITE, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THE EROSION CONTROL PLANS MUST BE INSPECTED BY THE CONTRACTOR BEFORE, DURING, AND AFTER STORM EVENTS, AND AT LEAST WEEKLY DURING SEASONAL WET PERIODS. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/ OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.
- SIGNOFF BY THE COUNTY INSPECTOR, ALL DISTURBED AREAS SHALL BE RESEEDED, PLANTED, OR LANDSCAPED TO MINIMIZE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
- 5. IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE EROSION
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR ROUND OR UNTIL VEGETATION IS FULLY
- GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE
- EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOILS FOR EACH 100 GALLONS OF WATER.

APPROVED FOR ISSUANCE REFER, CONSTRUCTION PERMIT AND PLANS





PROJECT DIRECTORY	PROJECT DATA		SHEET INDEX	
R: ASHUTOSH JHA  163 CROMART COURT SUNNYVALE, CA, 94087 (408) 316-3530 ASHUTOSHJHAJI@GMAIL.COM  NER: KRISTEN LE 598 EAST SANTA CLARA ST, #270 SAN JOSE, CA, 95112 KLE@LCENGINEERING.NET  EER: NAME ADDRESS PHONE #: EMAIL  LYOR / LCENGINEERING 598 E SANTA CLARA ST, #270 SAN JOSE, CA, 95112 (408) 806-7187 NLE@LCENGINEERING.NET  SOILS ENGINEER GEOTECHNICAL CONSULTANTS 42329 OSGOOD RD, UNIT A FREMONT, CA 94539 (510) 623-7768 WAYNE@WAYNETING.NET  ENERGY CONSULTANT: CONSULTANT: CONSULTANT: ENERGY CONSULTANT: ENERGY CONSULTANT: ENERGY CONSULTANT: ENERGY SANJUSE ADDRESS PHONE #: EMAIL	PROJECT ADDRESS & ZONING: ADDRESS: ON MARTIN AVE., SAN MARTIN, CA. 95046-9444 APHE, 779-47-070 ZONING: HS-d1 LAND USE P LAN DESIGNATION: RURAL RESIDENTIAL  PROJECT DESCRIPTION:  1. CONSTRUCTION OF A NEW 5,896 SF ONE-STORY RESIDENCE W/ ATTACHED 8.21 SF GARAGE: 2. CONSTRUCTION OF A NEW 1189 SF DETACHED ADU & ATTACHED SG. SE SITE PLAN FOR ADDITIONAL INFORMATION.  OTHER INFO: HCP PAREA: FIRE RESPONSIBILITY AREA: WILDLAND URBAN INTERFACE (WUI): GOLDPAN DE COUNTY LIQUEFACTION ZONE HISTORIC PARCEL: H	FIRE SPRINKLERS REQUIRED: SPRINKLER SYSTEM DESIGN AND ENGINEERING SHALL BE SUBMITTED FOR APPROVALS PRIOR TO INSTALLATION. OBTAIN SEPARATE FIRE PERMIT.  DESIGN AND INSTALL IN ACCORDANCE WITH CRC AND COUNTY OF SANTA CLARA RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIREMENTS. COORDINATE WATER METER AND WATER MAIN SIZES WITH APPROVED FIRE SPRINKLER SHOP DRAWINGS.  AS PROPERTY IS LOCATED WITHIN STATE RESPONSIBILITY AREA (SRA) AND WILDLAND URBAN INTERFACE (WUI), DEFENSIBLE SPACE ON PROPERTY MUST BE MAINTAINED.	A0-0 PROJECT INFORMATION A0-1 GENERAL NOTES  A1-0 FIRST FLOOR PLAN A1-1 SECOND FLOOR PLAN A1-2 ROOF PLAN A2-0 FRONT & RIGHT ELEVATIONS A2-1 REAR & LEFT ELEVATIONS A2-2 ELEVATIONS A3-0 SECTIONS A4-0 DOOR & WINDOW SCHEDULE A6-0 MAIN HOUSE AXON VIEWS  GA-0 ADU FLOOR PLAN GA-1 ADU ROOF PLAN GA-2 ADU ELEVATIONS GA-3 ADU SECTIONS	PROFESSIONAL M.  No. 47518
LEGEND	ABBREVIATIONS	STAMPS - APPROVALS	GENERAL NOTES	OF CAME
(P) 5 1/2 STUD WALL  (P) 3 1/2 STUD WALL  (E) WALL TO REMAN  (E) WALL TO REMOVED  DOOR SYMBOL, SEE SCHEDULE  WINDOWS ASYLICHT SYMBOL, SEE  SCHEDULE  1 DETAL NUMBER SHEET NUMBER  SECTION NUMBER SHEET NUMBER  SECTION NUMBER SHEET NUMBER  ROOM NAME SU SF  ROOM AREA  X SPECIFIC OR KEY NOTE  REVISION  C CENTER LINE DATUM LINE  VICINITY MAP	AB ARCHOR BOLT  FER. PLOGRAPH  ADUS MASSERMA  ADUS	CERTIFICATIONS  1. "HERS" VERIFICATION REQUIRED FOR THE HVAC HEATING & COOLINS, DISTRIBUTION, AND VAN SYSTEM, PROVIDE EVIDENCE OF SRD PARTY VERIFICATION (VERS) TO BUILDING INSPECTIOR PRIOR TO FINAL INSPECTION.  2. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REVIEW SAY SPECTIFICATION OF REPLACEMENT OF ALL EXISTING TO REVIEW SAY SPECTIFICED IN CIVIL COORS SECTION 1401-14148 SHALL BE PROVIDED TO THE CITY BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENT APPLIES TO ALL EXISTING TO REMAIN PULMISING FATURES LOCATE WITH THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.  3. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTION.  4. PRIOR TO FINAL INSPECTION. A LETTER SCONED BY THE GENERAL CONTRACTOR OF THE OWNER BUILDING MUST SITE PROVIDED TO THE CTY BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS AND AEROSOL CONTRACTOR.  5. PROPERTY OF THE THE SECRET OF THE CONTRACT OF THE OWNER BUILDING MUST SITE FOR SITE OF THE SECRET OF THE PROVIDENCE TO THE CONTRACT.  4. PROPERTY OF THE THE SECRET ON THIS SPECIFIC ON CORSES SECTION 4.594.	1. ELECTRICAL MECHANICAL PLUMBING, STRUCTURAL STEEL FRAMING AND SUB-CONTRACTORS SHALL ACT IN DESIGN / BUILD CAPACITY. THEY SHALL PROVIDE SEPARATELY, ANY DRAWINGS, SPECIFICATIONS, OR INFORMATION REQUIRED BY BUILDING REPRATEENTS.  2. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL COUNTY, STATE AND PEDERAL CODES, LOCAL ORDINANCES AND REGULATIONS APPLICABLE AS FOLLOWS.  3. CALFORNIA PLUMBING CODE 2022 EDITION  4. CALFORNIA PLUMBING CODE 2022 EDITION  5. CALFORNIA PLUMBING CODE 2022 EDITION  6. CALFORNIA RESIDENTIAL CODE 2022 EDITION  7. CALFORNIA RESIDENTIAL CODE 2022 EDITION  8. CALFORNIA RESIDENTIAL CODE 2022 EDITION  8. CALFORNIA RESIDENTIAL CODE 2022 EDITION  9. CALFORNIA RESIDENTIAL CODE 2022 EDITION  9. CALFORNIA RESIDENTIAL CODE 2022 EDITION  19. CALFORNIA RESIDENTIAL CODE 2022 EDITION  10. CALFORNIA RESIDENTIAL SELECTION RESIDENTIAL CODE 2022 EDITION (REFERRED TO AS CALFORNIA RESIDENTIAL CODE 2022 EDITION)  10. CALFORNIA RESIDENTIAL CODE 2022 EDITION  10. CALFORNIA RESIDENTIAL SELECTION RESIDENTIAL SELECTION RESIDENTIAL	PROPOSED HOUSE AND OBTACHED GARAGE APN: 779-47 - 007 ASAN MARTIN AVE

### SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

- IN EACH SLEEPING ROOM
- OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE
- ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

### CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

- OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE
- VICINITY OF THE BEDROOM(S). ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

### **POWER AND INTERCONNECTION:**

INTERCONNECTED

INTERCONNECTION EXISTED.

- POWER MUST BE SUPPLIED BY THE BUILDINGS PRIMARY POWER SOURCE FOR BOTH SMOKE AND CARBON MONOXIDE DETECTORS AND THEY MUST HAVE A BATTERY BACK-
- FOR EXISTING BUILDINGS WHERE WALLS ARE NOT BEING OPENED A BATTERY ONLY
- **DEVICE MAY BE USED** WHERE MORE THAN ONE SMOKE DETECTOR IS INSTALLED THEY MUST BE
- INTERCONNECTED WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS INSTALLED THEY MUST BE
- INTERCONNECTION IS NOT REQUIRED IN EXISTING DWELLING UNITS WHERE REPAIRS DO NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWLSPACE, AND NO PREVIOUS METHOD FOR

### FIRE DEPARTMENT REQUIREMENTS:

- THE APPLICANT SHALL MEET ALL REQUIREMENTS IN THE 2019 FIRE CODE AND CITY/COUNTY FIRE DEPARTMENT DISTRICT.
- THE APPLICANT SHALL INSTALL AN APPROVED AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D COMPLYING WITH LOCAL AMENDMENTS. RESIDENCE SPRIKLER HEADS SHALL BE USED IN THE DWELLING / GUEST PORTIONS OF THE BUILDING. THE SPRINKLER SYSTEM SHALL PROVIDE PROTECTION TO AT LEAST ALL OF THE FOLLOWING AREAS: GARAGES, CARPORTS, BATHROOMS, CONCEALED SPACES, WATER HEATER / FURNACE ROOMS, CLOSETS, LAUNDRY ROOMS, ATTIC SPACES, UNDER WALKS, OR OVERHANGS, BALCONIES OR DECKS GREATER THAN FOUR FEET IN DEPTH, FLOOR LANDINGS IF WHOLLY OR PARTIALLY ENCLOSED, COVERED GUEST CARPORTS OR OTHER AREAS AS REQUIRED. FIRE SPRINKLER TEST WATER MUST DRAIN TO AN APPROPRIATELY-SIZED LANDSCAPED AREA. PLANS SHOWING PIPING OF AFES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
- A SEPARATE PERMIT IS REQUIRED FOR THE FIRE SPRINKLER SYSTEM. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE SAN JOSE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. A COPY OF THE PLAN CHECK COMMENTS SHALL BE REQUIRED AT THE TIME OF THE PERMIT APPLICATION. THIS WILL BE A DEFERRED SUBMITTAL (AFTER BUILDING PERMIT IS ISSUED).
- THE INSPECTION, HYDROSTATIC TEST, AND FLUSHING OF THE AFES SHALL BE WITNESS BY THE BUILDING INSPECTOR FIRE SPECIALIST, AND NO PIPING SHALL BE COVERED OR HIDDEN FROM VIEW UNTIL AN INSPECTION HAS BEEN COMPLETED. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY SMC.
- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUB-CONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.
- THE MINIMUM SIZE WATER METER WHICH CAN BE USED WITH A SPRINKLER SYSTEM IS 3/4 INCH. LARGER WATER METERS MAY BE REQUIRED.
- WATER SUPPLIES AND FIRE HYDRANTS THE REQUIRED FIRE FLOW SHALL BE NOT LESS THAN 1,000 GALLONS PER MINUTE AT 20 PSI. THE FIRE FLOW SHALL BE AVAILABLE FROM ONE (1) FIRE HYDRANT. THE MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT IS 250 FEET.
  - PLEASE OBTAIN FIRE FLOW INFORMATION FROM THE WATER COMPANY. FIRE FLOW INFORMATION FOR THE SITE IS REQUIRED AT TIME OF SUBMITTING YOUR
- FIRE HYDRANT LOCATION WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE
  - THE NEW STRUCTURE MUST COMPLY WITH DISTANCE TO FH REQUIREMENT PER
- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP.33.
- ADDRESS IDENTIFICATION APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. SUBUNITS OF ANY BUILDING OR COMPLEX, NOT HAVING INDIVIDUAL ADDRESSES, SHALL BE IDENTIFIED IN A CONSISTENT MANNER, EITHER NUMERICALLY OR ALPHABETICALLY, USING A LOGICAL SEQUENCE. UNIT NUMBERS OR LETTER SHALL BE AFFIXED NEAR THE MAIN ENTRANCE OF EACH OCCUPANCY IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE.
- FIRE ACCESS THE FIRE ACCESS ROAD SHALL EXTEND TO WITHIN 200 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- THE APPLICANT MUST IMMEDIATELY NOTIFY THE FIRE DEPARTMENT, HAZARDOUS MATERIALS UNIT OF ANY UNDERGROUND PIPES, TANKS OR STRUCTURES; ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS; OR OTHER ENVIRONMENTAL ANOMALIES ENCOUNTERED DURING SITE DEVELOPMENT ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIED PRIOR TO PROCEEDING WITH SITE DEVELOPMENT.

### **PLUMBING NOTES:**

- **GENERAL:** ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2016 CALIFORNIA PLUMBING CODE. (CGBSC **SECTION 4.303.3.2)**
- SHOWER & SHOWER / TUB COMBINATIONS: SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR THE COMBINATION OF THE TWO TYPES, TO PROVIDE SCALD AND THERMAL SHOCK PROTECTION (CPC 418.0).
  - MINIMUM INTERIOR DIMENTION = 30"
  - MINIMUM INTERIOR AREA = 1,024 SQUARE INCHES
  - WATERPROOF WALL FINISHES MUST EXTEND A MINIMUM 70" ABOVE SHOWER SHOWER HEADS MUST DISCHARGE BELOW THE TOP EDGE OF WATERPROOF
- WALL FINISH. HINGED SHOWER DOORS MUST SWING OUTWARD WITH 22 INCH NET OPENING
- HOWERS AND TUBS WITH SHOWERS: REQUIRE A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A HEIGHT OF 72-INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB
- WATER CLOSETS: TO BE A MAX. 1.28 GAL. PER FLUSH (CPC 402.2.2), PROVIDE A CLEAR WIDTH OF 30" MIN. PREFERABLY 36" WITH A FRONTAL CLEAR ACCESS OF 24" MIN. (CPC

COMPARTMENTS. (CRC SECTIONS R307.2 AND R702.3.8)

- PIPING: PROVIDE R-3 INSULATION ON ALL HOT WATER PIPES IN UNCONDITIONED SPACES & ON ALL HOT WATER RE-CIRCULATING PIPES. DOMESTIC WATER LINES WITHIN BUILDING SHALL BE COPPER. NATURAL GAS PIPING, EXPOSED TO WEATHER SHALL BE GALVANIZED. PROVIDE "DIELECTRIC" UNIONS "FPCO" @ ALL DISSIMILAR MATERIAL CONNECTIONS. PROVIDE A SOFT WATER LOOP WITH (2) GATE VALVES AS APPLICABLE. HEATED WATER SHALL HAVE A CONTINUOUS LOOP SYSTEM. ALL HOSE BIBS & LAWN SPRINKLER SYSTEMS SHALL HAVE AN APPROVED BACK-FLOW PREVENTION DEVICE.
- WHIRLPOOL TUBS: A REMOVABLE PANEL SHALL BE INSTALLED FOR SERVICE ACCESS TO THE MOTOR / PUMP. THE CIRCULATION PUMP SHALL BE LOCATED ABOVE THE WIRE OF THE TRAP. THE PUMP FITTINGS ON WHIRLPOOL TUBS SHALL COMPLY WITH THE LISTED STANDARDS. RECEPTACLES THAT PROVIDE POWER FOR THE WHIRLPOOL TUBS SHALL BE GFCI PROTECTED. WHIRLPOOL BATHTUBS SHALL BE "HARD-WIRED" WITH A DISCONNECT SWITCH WITHIN SIGHT OF THE APPLIANCE. WIRING SHALL COMPLY WITH THE LISTING ON THE FIXTURE.
  - ALL ELECTRIC SPA OR HOT TUB HEATERS SHALL BE LISTED (NEC 680-41-h). PROVIDE ACCESS TO HYDRO-MASSAGE TUB MOTOR AND JUNCTION BOX BY AN
  - ACCESS PANEL (UPC 413.0). ALL RECEPTACLES LOCATED WITHIN 10 FEET OF THE INSIDE WALLS OF A SPA / HOT TUB SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT-INTERRUPTER (NEC 680-41-B-1).
  - ALL LIGHTING FÍXTURES AND LIGHTING OUTLETS OVER THE SPA OR WITHIN 5 FEET OF THE INSIDE WALLS SHALL BE A MIN. OF 7'-6" ABOVE THE MAXIMUM WATER LEVEL AND SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT-
  - INTERRUPTER (NEC 680-41-a-2). HYDRO-MASSAGE TUB CONTRULS AND WALL SWITCHES SHALL BE LOCATED A MIN. OF 5 FT. FROM THE TUB (NEC 680-41-c).
  - RECEPTACLES THAT PROFIDE POWER FOR A SPA OR HOT TUB SHALL BE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTED (NEC 680-41-a-3).
- WATER HEATER: ALL WATER HEATER APPLIANCES SHALL BE DETERMINED BY THE PLUMBING CONTRACTOR AND / OR T24 REQUIREMENTS. SEE PLAN FOR LOCATION OF APPLICANCES. PROVIDE A MIN. (2) SEISMIC STRAPS @ THE UPPER 1/2 OF ITS DIMENSION. PROVIDE R-12 INSULATION BLANKET @ WATER HEATER. HOT WATER INLET & OUTLET PIPES SHALL BE INSULATED WITH R-3 INSULATION MIN. STEEL OR HARD DRAWN COPPER TO THE EXTERIOR OF THE BUILDING WITH THE END OF THE PIPE PROTRUDING 6" MIN. @ 24" ABOVE THE GRADE POINTED DOWNWARD TO THE TERMINATION - UNTHREADED. PROVIDE RE-CIRCULATION SYSTEM LOOP FOR THE HOT WATER SIDE. PROVIDE 24" MIN. ACCESS DOOR.
- A. PROVIDE WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVE AT TERMINATION TO OUTSIDE OF BUILDING (CPC 608, SOP P10.008).
- PROVIDE A WATER HEATER AS SPECIFIED IN THE ELECTRICAL, MECHANICAL, AND PLUMBING PLANS FOR THIS PROJECT IN COMPLIANCE WITH THE TITLE 24 SHEETS, CEC APPROVED.
- PROVIDE "EARTHQUAKE" STRAPPING: 1 1/2" X 16 GAUGE STRAPS AT TOP &
- BOTTOM WITH 3/8" Ø. X 3" LONG LAG BOLT AT EACH END. (CPC 308.2). PROVIDE AN 120V ELECTRICAL RECEPTACLE LOCATED WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO OBSTRUCTIONS.
- PROVIDE A CATEGORY II OR IV VENT. OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED
- PROVIDE A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER AND ALLOWS NATURAL DRAINING WITHOUT PUMPS ASSISTANCE.
- PROVIDE A GAS SUPPLY LINE WITH A MINIMUM CAPACITY OF AT LEAST 200,000 BUT/HR FOR EACH NEW WATER HEATER DESIGN GAS INPUT. CEC SECTION
- PROVIDE DOCUMENTATION TO SHOW THAT THE GAS PIPING IS ADEQUATE IN SIZE FOR THE LOADING PROVIDED. INCLUDE APPLICANCE BTU RATING AND LENGTHS OF PIPING FROM THE METER TO THE MOST REMOTE OUTLET (CPC
- PLUMBING VENT TERMINATION: EACH VENT SHALL TERMINATE NOT LESS THAN 10 FEET HORIZONTALLY FROM, AND 3 FEET ABOVE ANY OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT OR NOT LESS THAN 3 FEET IN EVERY DIRECTION FROM ANY LOT LINE, ALLEY OR STREET. (CPC 906.2).
- DISHWASHER: NO DISWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIRGAP FITTING ON THE DISCHARGE SIDE OF THE DISWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK OR DRAIN BOARD, WHICHEVER IS HIGHER.
- 10. PROVIDE ANTI-SIPHON VALVES ON LL HOSE BIBS (CPC 603.4.7).

# **MECHANICAL NOTES:**

<u>APPLIANCES</u> DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLICANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL & HORIZONTAL LOADS WITHIN THE STRESS LIMITATIONS SPECIFIED IN THE BUIDLING CODE, CMC 303.4.

LISTED HEATING & COOLING EQUPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S

COMPLIANCE DOCUMENTATION AND MANDATORY FEATURES. BATHROOMS: ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED. ROOMS CONTAINING A WATER CLOSET

DWELLINGS ARE TO MEET CALIFORNIA ENERGY COMMISSION (CEC) STANDARDS. PROVIDE

SHALL HAVE AN EXHAUST FAN WITH A MINIMUM RATING OF 50 CFM. (CMC TABLE 4-4). PROVIDE VENTILATION FOR PRODUCTS OF COMBUSTION TO OUTSIDE AIR (CMC 801.1)

BATHROOM EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY

WITH CGBS 4.506 AND SHALL COMPLY WITH THE FOLLOWING: **ENERGY STAR** UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE

READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF

ADJUSTMENT BETWEEN A RELATIVE HUMIDTY OF 50% TO 80%. ENVIRONMENTAL COMFORT: HEATING SYS. IS REQUIRED TO MAINTAIN 68 DEGREES AT 3 FT ABOVE FLOOR LEVEL IN ALL HABITABLE ROOMS. (R303.8)

DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS (SECTION CGBS 4.507):

- ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO AIR CONDITIONING CONTRACTOS OF AMERICA (ACCA) MANUAL J OR
- SIZE DUCT SYSTEMS ACCORDING TO ACCA 29-3 (MANUAL D) OR EQUIVALENT. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-2 (MANUAL S) OR EQUIVALENT.

WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2. (SECTION CGBS 4.507)

HVAC SYSTEM INSTALLERS: ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. (SECTION CGBS 702)

ALL RESIDENTIAL PROJECTS CURRENTLY SUBJECT TO CAL GREEN REGULATIONS TO TEST HEATING AND COOLING DUCTS FOR LEAKAGE. DUCT LEAKAGE TESTING IS NOT REQUIRED IF THE DUCTS ARE INSTALLED WITHIN THE CONDITIONED ENVELOPE OF THE BUILDING.

VERIFICATIONS: VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE. (SECTION CGBS 703)

<u>HEATING EQUIPMENT</u> THAT MAY GENERATE A GLOW, SPARK OR FLAME SHALL HAVE BURNERS OR PILOTS 18" ABOVE THE GARAGE FLOOR (CMC 308.1).

SUFFICIENT ACCESS SHALL BE PROVIDED TO ALL MECHANICAL EQUIPMENT FOR SERVICING

RANGES SHALL HAVE A VERTICAL CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30" TO UNPROTECTED COMBUSTIBLE MATERIAL (CMC 916.2).

ATTICS CONTAINING EQUIPMENT REQUIRING ACCESS SHALL PROVIDE AN ACCESS OPENING LARGE ENOUGH FOR THE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30" X 22": HAS CONTINUOUS SOLID FLOORING 24" WIDE; AND A LEVEL SERVICE SPACE 30" X 30" IN FRONT OF EQUIPMENT.

### PROVIDE ADEQUATE AIR FOR COMBUSTION, VENTILATION, AND DILUTION OF FLUE GASES

PROVIDE CLOTHES DRYER VENT TO OUTSIDE OF BUILDING (NOT TO UNDERFLOOR AREA) WITH A MAXIMUM LENGTH OF 14 FEET. EQUIPPED WITH A BACK-DRAFT DAMPER INCLUDING TWO 90-DETREE ELBOWS AND A MINIMUM DIAMETER OF 4-INCHES (CMC 405.3.2.2).

CHANICAL DUCTS: TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC. MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS), CMC 504.45.

FLEXIBLE DUCTWORK: IN ATTICS OR UNDER-FLOOR AREAS SHALL BE SUPPORTED AT MANUFACTURER'S RECOMMENDED INTERVALS, BUT NO GREATER THAN 4 FEET ON CENTER.

ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS: SHALL PROTECT AGAINST THE PASSAGE OF RODENCE BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD PER SECTION CGBS 4.406.

AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER SECTION CGBS 4.410.

INSTALLED GAS FIREPLACE(S) SHALL BE A DIRECT-VENT SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS WHERE APPLICABLE PER CGBS 4.503. a. A MASONRY OR FACTORY-BUILT FIREPLACE SHALL HAVE A CLOSABLE METAL

ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH 'VOC" AND OTHER TOXIC COMPOUND LIMITS PER CGBS SECTION 4.504:

PAINT, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC

OR GLASS COVERING THE ENTIRE OPENING OF THE FIREBOX (CEC 150 (e)).

- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
- DOCUMENTATION SHALL BE PROFIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THTE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM.
- PARTICLEBOARD, MEDIUM DENSITY FIRBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

### INTERIOR MOISTURE CONTROL ELEMENTS PER CGBS SECTION 4.505

VAPOR RETARDER AND CAPILLAR BREAK IS REQUIRED TO BE INSTALLED AT THE SLAB ON GRADE FOUNDATIONS MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALLS AND FLOOR FRAMING IS TO BE CHECKED FOR THE MINIMUM REQUIREMENTS BEFORE

## **ELECTRICAL NOTES:**

<u>GENERAL:</u> CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT AND PROVIDE ALL LABOR REQUIRED FOR A COMPLETE INSTALLATION READY FOR

MAIN PANEL SIZE: MAINTAIN EXISTING ELECTRICAL SERVICE. (PANEL MUST BE MINIMUM SIZE 3-WIRE, 100-AMP, PANEL. CEC 230-70(a) AND 230-79(c).) SEE SITE AND ELECTRIC PLANS FOR LOCATION.

VERIFY WITH LOCAL SERVICE PROVIDER AS REQUIRED. DO NOT INSTALL ELECTRICAL PANELS LARGER THAN 100 SQ. IN. IN FIRE WALLS. NEVER INSTALL ELECTRICAL PANELS IN CLOSETS. MAINTAIN A CLEARANCE OF 36 IN. IN FRONT OF THE PANELS (CEC 110.26).

ARC-FAULT CIRCUIT INTERRUPTERS REQUIRED: ALL NEW BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER. (CEC 210.12.(B)).

<u>ALL 15 AMP & 20 AMP DWELLING UNIT RECEPTACLE OUTLETS:</u> SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC ARTICLE 406.12 CEC 2016)

<u>KITCHEN:</u> TWO SMALL BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE HOODS, DISPOSALS, DISHWASHERS OR MICROWAVES - ONLY THE REQUIRED COUNTERTOP / WALL OUTLETS INCLUDING THE REFRIGERATOR. CEC 210-11 (c) 1) AND 210-52 (b).

BATHROOMS: PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION: WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) (CEC 210.11 (C) (3) AND 210.52 (D).)

LAUNDRY: PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE LAUNDRY ROOM OUTLET. (CEC 210-11 (c) (2) AND 210-52 (f).)

BATHROOMS: ALL RECEPTACLES SHALL HAVE GFCI PROTECTION WITH AT LEAST ONE RECEPTACLE WITHIN 36" OF EACH SINK. (CEC SECTION 210.8 & 210.52 (D))

OUTLETS, TYPICAL: UNLESS OTHERWISE NOTED, HEIGHT OF OUTLETS AND SWITCHES WILL

- BE AS FOLLOWS: OUTLETS: CENTER 12: A.F.F.
  - SWITCHES: CENTER 48: A.F.F. ABOVE COUNTER OUTLETS SHALL BE CENTERED 6" ABOVE COUNTER, BUT NOT MORE THAN 20" ABOVE THE COUNTERTOP (CEC SECTION 210.52(C)(5).

## **LIGHTING NOTES:**

### KEY TERMS PERTAINING TO T24 LIGHTING COMPLIANCE INCLUDE:

- ADDITIONS: INCLUDES ANY ADDITION OF NEW SQUARE FOOTAGE, WHERE NEW LUMINAIRES ARE INSTALLED.
- ALTERATIONS: INCLUDES MODIFICATIONS WHERE EXISTING LUMINAIRES
- PERMANENTLY INSTALLED LIGHTING: INCLUDES CEILING LUMINAIRES, CHANDELIERS, VANITY LAMPS, WALL SCONCES, UNDER-CABINET LUMINAIRES, AND ANY OTHER TYPE OF LUMINAIRE THAT IS ATTACHED TO THE DWELLING.

<u>LIGHTING PER TITLE 24:</u> ALL NEW OR ALTERED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.

### RECESSED DOWNLIGHT LUMINAIRE REQUIREMENTS;

- MUST BE LISTED, AS DEFINED IN SECTION 100.1 FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY UL O ROTHER NATIONALLY RECOGNIZED LAB.
- HAVE A LABEL THAT CERTIFIES THE LUMINAIR IS AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283 BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK
- SHALL NOT CONTAIN SCREW BASE SOCKETS. SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT

## SCREW BASED LUMINAIRE REQUIREMENTS:

- SHALL NOT BE RECESSED DOWNLIGHT IN CEILINGS. SHALL CONTAIN LAMPS THAT COMPLY W/ REFERENCE JOINT APPENDIX
- SHALL BE MARKED WITH JA8-2016 OR JA8-2016-E AS SPECIFIED IN REFERENCE JOINT APPENDIX JA8.

### SWITCHING CONTROL REQUIREMENTS:

- EXHAUST FANS SHALL BE SWITCHED SEPARATELY, EXCEPT WHEN LIGHTING INTEGRAL TO THE FAN MAY BE ON THE SAME SWITCH AS THE FAN PROVIDED. THE LIGHTING CAN BE SWITCHED OFF IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150.0 (K)2 WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.
- LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT
- PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF. LIGHTING CONTROLS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH
- THE MANUFACTURER'S INSTRUCTIONS. IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY
- DIMMERS OR VACANCY SENSORS SHALL CONTROLL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8.
  - CEILING RECESSED DOWNLIGHT LUMINAIRES LED LUMINAIRES WITH INTEGRAL SOURCES
- PIN-BASED LED LAMPS

ASTRONOMICAL TIME CLOCK

**ENERGY MANAGEMENT CONTROL SYSTEM** 

- GU-24 BASED LED LIGHT SOURCES LUMINAIRES IN CLOSETS LESS THAN 70 SF AND HALLWAY LUMINAIRES NEED NOT
- HAVE DIMMERS OR VACANCY SENSORS. UNDERCABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHITNG SYSTEMS.

BATHROOM LIGHTING: LIGHTS OVER TUB ANS SHOWER SHALL BE LISTED FOR WET OR DAMP LOCATION. (CEC SECTION 410.4)

<u>ELECTRICAL BOXES:</u> LIMIT THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET

CLOSET LIGHTING: ALL FIXTURES SHALL HAVE A COMPLETELY ENCLOSED LAMP OR BE

ABOVE THE FINISHED FLOOR TO NOT GREATER THAN THE NUMBER OF BEDROOMS. ALL SUCH ELECTRICAL BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR FAN SPEED CONTROL.

EXTERIOR LIGHTING: MUST MEET THE CRITERIA OF SECTION 150.0 (K)A CONTROLLED BY A

MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO "ON" THE AUTOMATIC ACTIONS OF ONE OF THE FOLLOWING: PHOTOCELL AND MOTION SENSOR PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL

<u>UNDERFLOOR VENTS (AS APPLICABLE):</u> MINIMUM 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA. LOCATE 1-VENT WITHIN 3 FEET OF EACH CORNER. COVER OPENINGS WITH CORROSION RESISTANT WIRE MESH WITH AN OPENING SIZE NOT EXCEEDING 1/2 INCH (CERE

AREA UNDER STAIRWAY AND COMMON WALL BETWEEN GARAGE AND HOUSE SHALL HAVE 5/8" TYPE "X" GYPSUM BOARD AND SOLID CORE TIGHT FIGHTING AND SELF-CLOSING DOOR.

**GENERAL BUILDING CODE NOTES:** 

DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED WITH A MINIMUM NO. 26 GAGE (0.48mm) SHEET STEEL OR OTHER APPROVED MATERIAL AND HAVE NO OPENINGS INTO THE GARATE

ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA FOR LIGHT NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED; THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED (CRC R303.1).

BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AN AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQUARE FEET, ONE-HALF MUST BE OPENABLE.

EXCEPTION: WHEN ARTIFICIAL LIGHT AND MECHANICAL VENTILATION SYSTEM IS PROVIDED AT 50 CFM INTERMITTENT OR 25 CFM CONTINUOUSLY. VENTILATION AIR SHALL BE EXHAUSTED

### INTERIOR SPACE DIMENSIONS (CRC SECTIONS 304 & 305):

- PLAN DIMENSION. KITCHENS SHALL HAVE A CLEAR PASSAGEWAY OF NOT LESS THAN 3 FEET BETWEEN COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS. OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET, 6 INCHES. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE & LAUNDRY ROOMS SHALL BE PERMITTED TO HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET.
- MINIMUM OF ONE 120 SF ROOM IN EACH DWELLING 7 FEET WIDTH FOR HABITABLE ROOMS OTHER THAN KITCHENS.
- WINDOWS GREATER THAN 9 SQ. FT. WITHIN 18" OR LESS OF A FLOOR AND 30" WITHIN A
- WINDOWS AT MID-LANDING OF STAIRS.
- ALL GLASS SHOWER ENCLOSURES. SEE LOCATIONS ON PLAN

PERMITTED MATERIALS FOR UNIT SKYLIGHTS (CRC 308.6.2): LAMINATED GLASS WITH A MIN. 0.015 INCH POLYVINYL BUTYRAL INTERLATER FOR GLASS PANES 16 SQ. FT. OR LESS IN AN AREA LOCATED SUCH THAT THE HIGHEST POINT IS NOT MORE THAN 12 FT. ABOVE WALKING SURFACE.

- HEAT STRENGTHED GLASS
- WIRED GLASS APPROVED RIGID PLASTIC

EVERY SLEEPING ROOM AND EVERY BASEMENT MUST HAVE AT LEAST ONE OPENABLE WINDOW OR DOOR APPROVED FOR EMERGENCY RESCUE WITH THESE MINIMUM DIMENSIONS (CRC

- MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., AND MINIMUM 5 SQ. FT. AT GRADE.
- MINIMUM NET CLEAR WIDTH OPENING OF 24 INCHES. THE BOTTOM OF THE CLEAR WINDOW OPENING SHALL BE NO MORE THAN 44 INCHES

R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS. THERE SHALL BE A LANDING OR FLOOR ON EACH OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36 INCHES MINIMUM MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE A SLOPE NOT EXCEEDING 1/4" PER FOOT SLOPE OR 2%.

R311.3.1 LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN

1-1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7-3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHEN EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE

R311.3.2 DOORS OTHER THAN THE REQUIRED EGRESS DORRS SHALL BE PROVIDED WITH

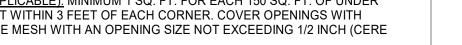
- STAIRWAYS (CRC 311.7) RISER SHALL BE 4" MIN. & 7-3/4" MAX. TREAD SHALL BE 10" MIN.' WINDER TREAD 6" MIN. AND 10" MIN. AT WALK LINE.
- VARIATION BETWEEN RISER HEIGHTS AT 3/8" MAX. HEADROOM SHALL BE 80" MIN.
- GYPSUM BOARD (CRC 302.7) THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. WIDTH AND LENGTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF THE

- CLEARANCE BETWEEN HANDRAIL AND ADJACENT WALL IS 1-1/2"/ GUARD SHALL BE 42" MIN. HEIGHT WITH OPENINGS LESS THAN 4" CLEAR.
- GUARDS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT: SEE STRUCTURAL

GUARDS ARE REQUIED IF EXTERIOR DECK OR FLOOR IS OVER 30" ABOVE GRADE.

# TUB / SHOWER WALLS: (SECTION CRC R702.4.2)

FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER REINFORCED GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1288, C 1325, C1178 OR C 1278 RESPECTIVELY AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS SHALL BE USED AAS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.



DIRECTLY TO THE OUTSIDE. (CRC303.3).

## HABITABLE SPACES, OTHER THAN A KITCHEN, SHALL NOT BE LESS THAN 7 FEET IN ANY

- MINIMUM WIDTH OF HALLWAY IS 3 FEET. MINIMUM ROOM SIZES:
- 70 SF FOR HABITABLE ROOMS
- PROVIDE TEMPERED SAFETY GLAZING AT THE FOLLOWING LOCATIONS (CRC 308.4): WINDOWS LOCATED WITHIN 24" ARC OF THE VERTICAL EDGE OF DOORS.
- ALL GLAZED DOORS WITH SIDELIGHTS WALKING SURFACE.
- WINDOWS OVER A TUB OR SHOWER.
- FULLY TEMPERED GLASS

- MINIMUM NET CLEAR HEIGHT OPENING OF 20 INCHES.

### FROM THE FLOOR.

MEANS OF EGRESS (SECTION R311):

NOT AT GRADE. THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.

### LANDINGS OR FLOORS NOT MORE THAN 7-3/4 INCHES BELOW THE TOP OF THE THRESHOLD.

- WIDTH SHALL BE 36" MIN., AND 36" x 36" LANDING REQUIRED. FIREBLOCKING IS REQUIRED IN CONCEALED SPACES BETWEEN STAIR STRINGS AT THE TOP AND BOTTOM OF THE RUN (CRC 302.11)
- ENCLOSED USEABLE SPACE UNDER INTERIOR STAIRS SHALL BE FINISHED WITH 1/2" STAIRWAY. INTERIOR STAIRS FROM HOSUE TO GARAGE NEED NOT HAVE A LANDING

# PROVIDED DOOR DOES NOT SWING OVER STAIRS.

**HANDRAILS & GUARDS (SECTION CRC 313)** HANDRAILS SHALL HAVE A 1-1/2" TO 2" GRIPPABLE CROSS-SECTION WITH NO SHARP

HEIGHT SHALL BE 34" TO 38" ABOVE NOSING.

**GENERAL** 

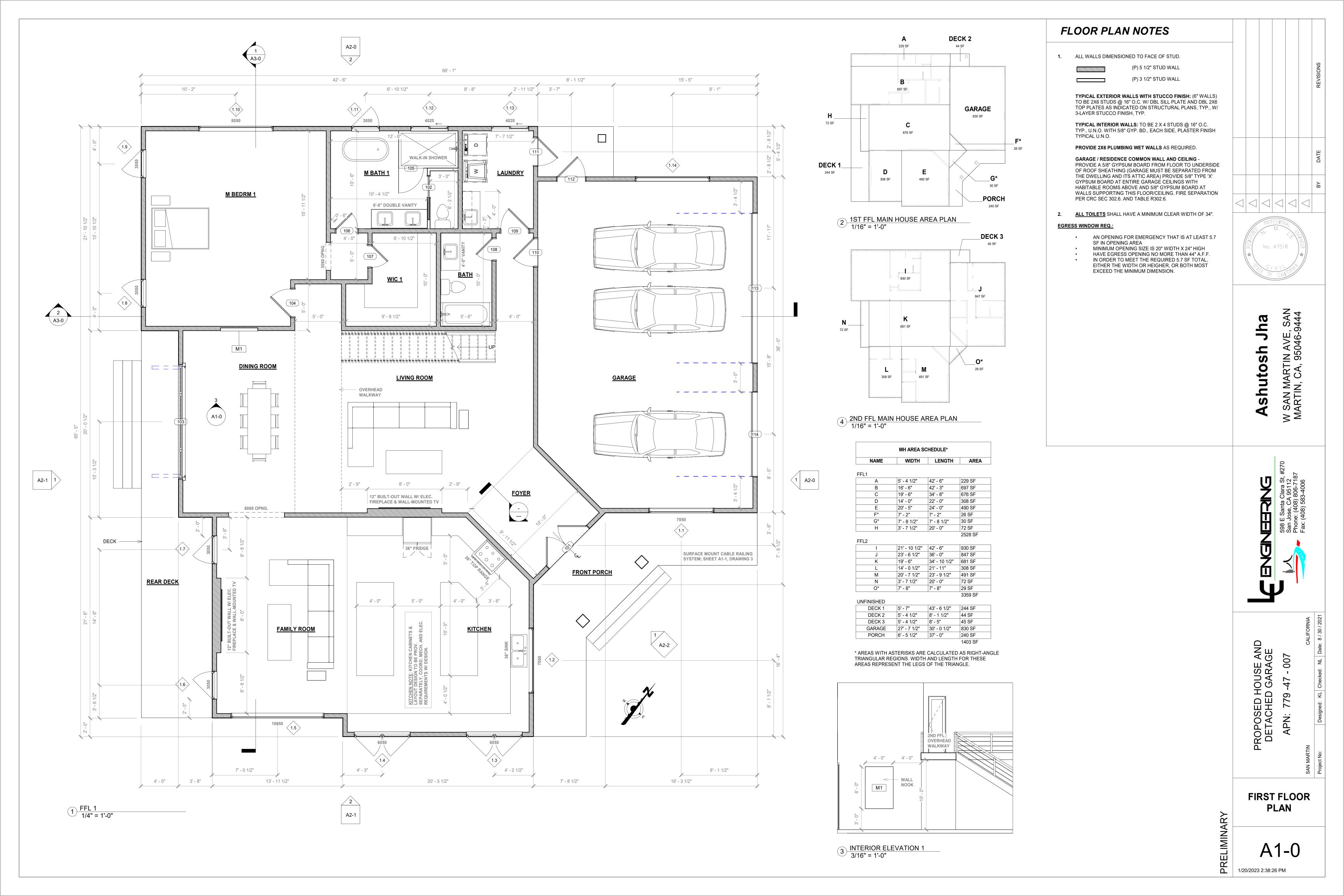
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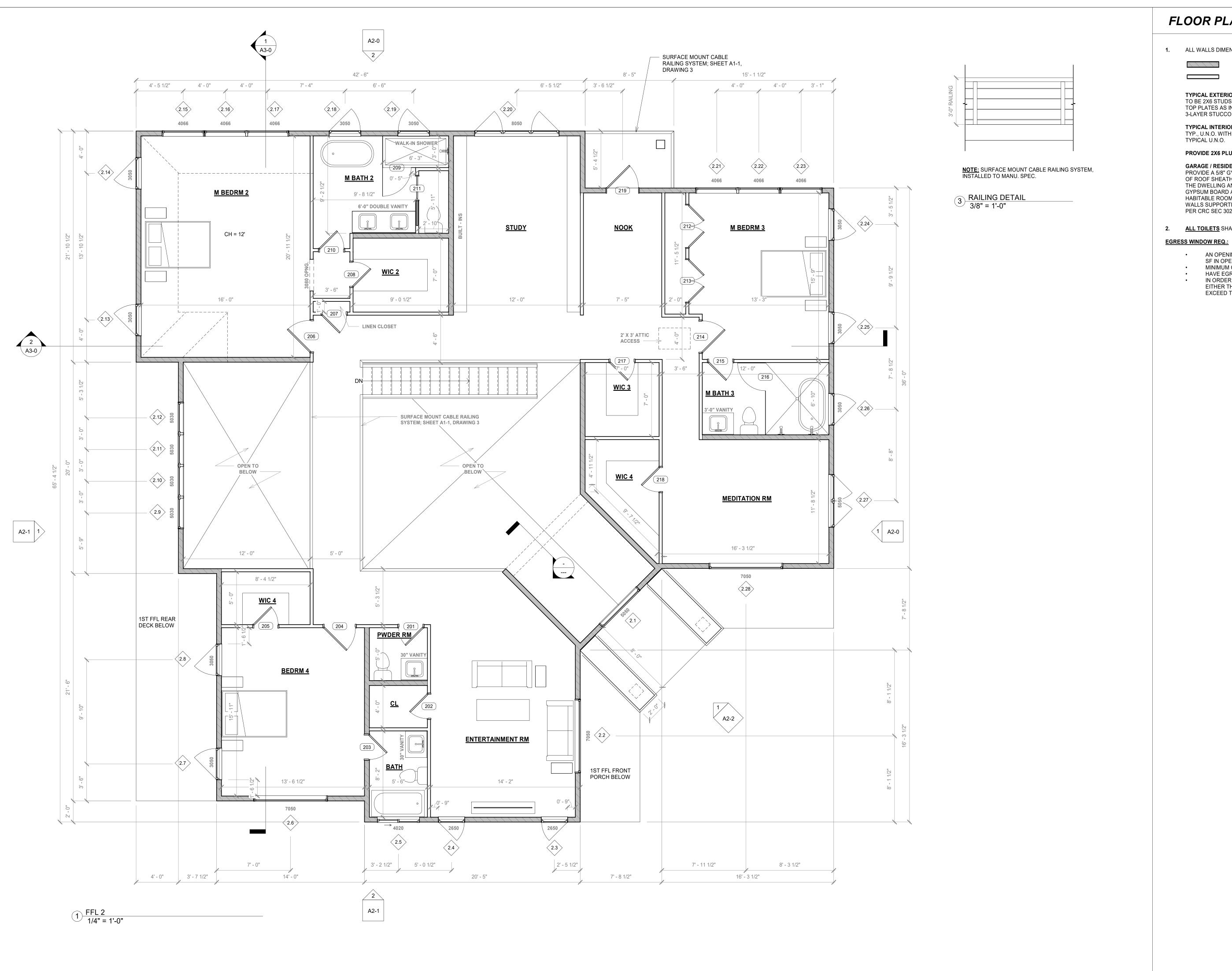
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FLOOR PLAN NOTES

1. ALL WALLS DIMENSIONED TO FACE OF STUD.

(P) 5 1/2" STUD WALL (P) 3 1/2" STUD WALL

TYPICAL EXTERIOR WALLS WITH STUCCO FINISH: (6" WALLS) TO BE 2X6 STUDS @ 16" O.C. W/ DBL SILL PLATE AND DBL 2X6 TOP PLATES AS INDICATED ON STRUCTURAL PLANS, TYP., W/ 3-LAYER STUCCO FINISH, TYP.

TYPICAL INTERIOR WALLS: TO BE 2 X 4 STUDS @ 16" O.C. TYP., U.N.O. WITH 5/8" GYP. BD., EACH SIDE, PLASTER FINISH TYPICAL U.N.O.

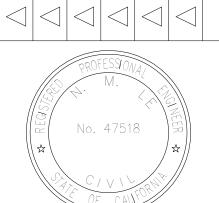
PROVIDE 2X6 PLUMBING WET WALLS AS REQUIRED.

GARAGE / RESIDENCE COMMON WALL AND CEILING -PROVIDE A 5/8" GYPSUM BOARD FROM FLOOR TO UNDERSIDE OF ROOF SHEATHING (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) PROVIDE 5/8" TYPE 'X' GYPSUM BOARD AT ENTIRE GARAGE CEILINGS WITH HABITABLE ROOMS ABOVE AND 5/8" GYPSUM BOARD AT WALLS SUPPORTING THIS FLOOR/CEILING. FIRE SEPARATION PER CRC SEC 302.6. AND TABLE R302.6.

# 2. <u>ALL TOILETS</u> SHALL HAVE A MINIMUM CLEAR WIDTH OF 34".

- AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7
- SF IN OPENING AREA MINIMUM OPENING SIZE IS 20" WIDTH X 24" HIGH HAVE EGRESS OPENING NO MORE THAN 44" A.F.F. IN ORDER TO MEET THE REQUIRED 5.7 SF TOTAL, EITHER THE WIDTH OR HEIGHER, OR BOTH MOST

EXCEED THE MINIMUM DIMENSION.



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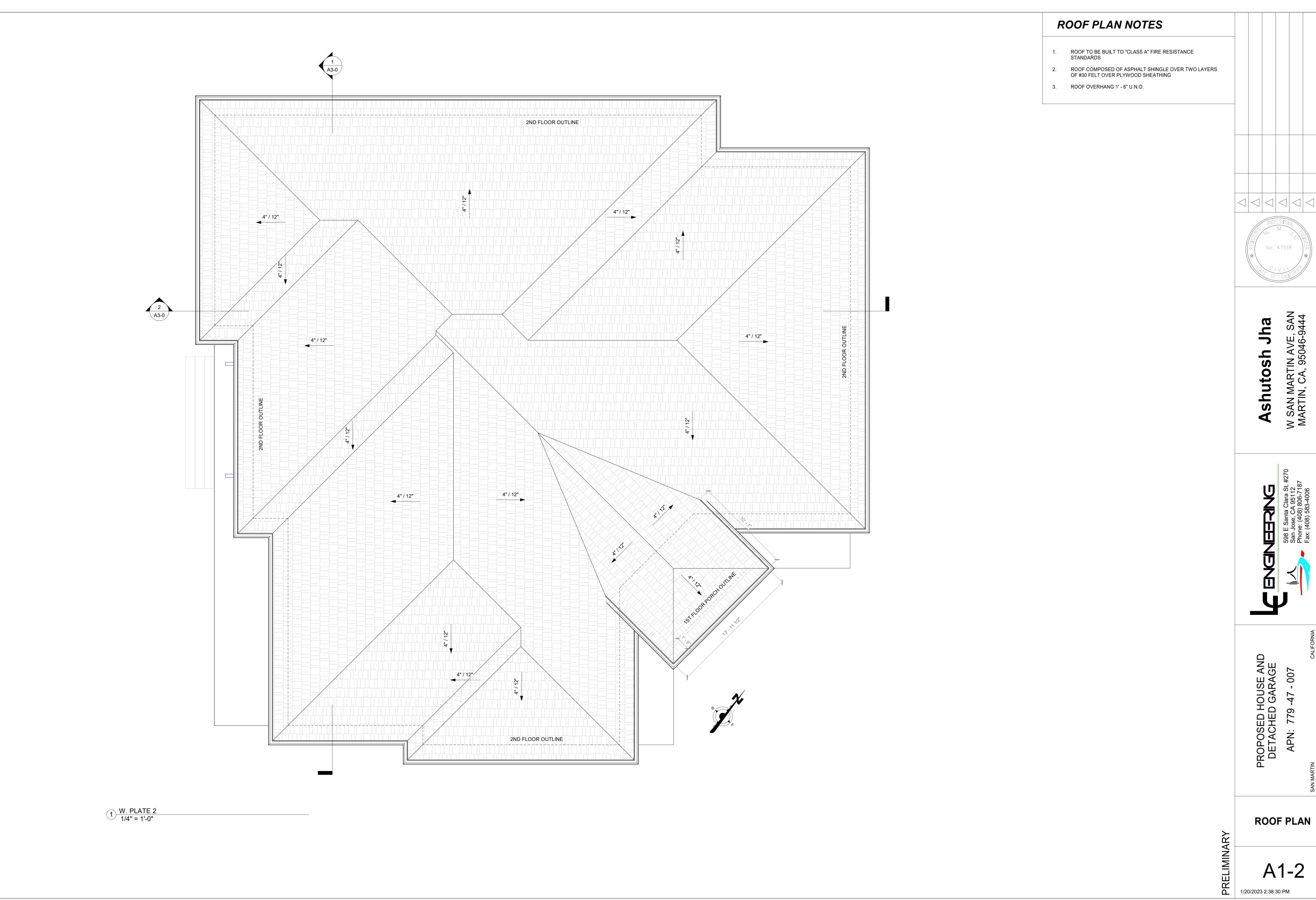


SECOND FLOOR **PLAN** 

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**PRELIMINARY** 

PROPOSED HOUSE AND DETACHED GARAGE





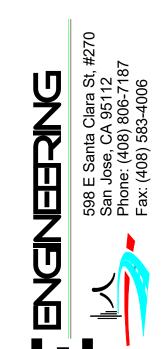




1) ENTRANCE ELEVATION 1/4" = 1'-0"









PROPOSED HOUSE AND DETACHED GARAGE

**ELEVATIONS** 

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**PRELIMINARY** 





2 SECTION 2 1/4" = 1'-0"

# **SECTION NOTES**

- . THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION
- 2. SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION
- 3. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION

FIRE BLOCKING: PROVIDE FIREBLOCKING PER C.R.C. SECTION R301.11

AT THE FOLLOWING COMBUSTIBLE CONSTRUCTION LOCATIONS:

- 1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS, OR STAGGERED STUDS PER C.R.C. SECTION R302.11 AS FOLLOWS:
- A. VERTICALLY AT THE CEILING AND FLOOR LEVELS.B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.
- 2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES THAT OCCUR, SUCH AS AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS PER C.R.C. SECTION R302.11.
- 3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN PER C.R.C. SECTION R302.11.
- 4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- 5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES SEE C.R.C. SECTION R1003.19.
- . FACTORY BUILT FIREPLACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 127 PERCC.B.C. SECTION
- 7. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
- 8. WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE PERMITTED TO BE COMBUSTIBLE CONSTRUCTION PER C.B.C. SECTION 1406, OR WHERE ERECTED WITH COMBUSTIBLE FRAMES AT MAXIMUM INTERVALS OF 20 FEET, SO THAT THERE WILL BE NO OPEN SPACE EXCEEDING 100 SQUARE FEET PER C.B.C. SECTION 717.26
- 9. WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE ON AN APPROVED WOOD OF NATURAL DECAY RESISTANCE OR PRESERVATIVE-TREATED WOOD. IF CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH 4-INCH MINIMUM SEPARATION BETWEEN SECTIONS PER C.B.C. SECTION 717.2.6.

### EXCEPTIONS: (PER C.B.C. 717.2.6)

- 10. FIREBLOCKING SHALL NOT BE REQUIRED WHERE INSTALLED ON NONCOMBUSTIBLE FRAMING AND THE FACE OF THE EXTERIOR WALL FINISH EXPOSED TO THE CONCEALED SPACE IS COVERED BY ONE OF THE FOLLOWING MATERIALS:
  - A. ALUMINUM HAVING A MINIMUM THICKNESS OF 0.019
  - INCH.

    CORROSION-RESISTANT STEEL HAVING A BASE METAL.

THICKNESS NOT LESS THAN 0.016 INCH AT ANY POINT. OTHER APPROVED NONCOMBUSTIBLE MATERIALS.

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CALIFORNIA

APN: 779 -47 -

PROPOSED HOUSE AND DETACHED GARAGE

SAN MAR

**SECTIONS** 

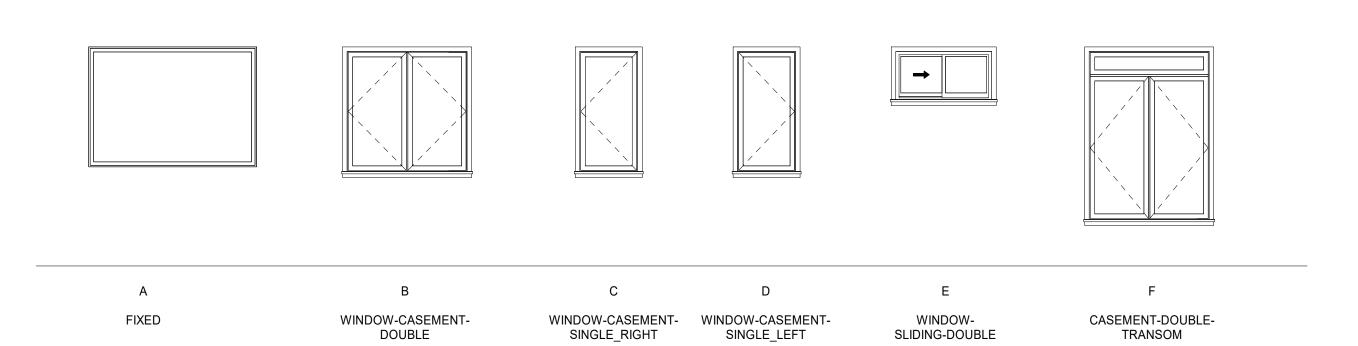
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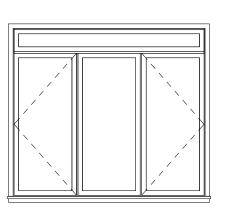
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ELIMINARY

MARK	TYPE	DESCRIPTION	LOCATION	WIDTH	HEIGHT	HEAD	REMARKS
MARK	IIFE	DESCRIPTION	LOCATION	VVIDIA	псівні	ПЕАО	KEWAKKS
. 1							
1.1	Α	Fixed	GARAGE	7' - 0"	5' - 0"	8' - 0"	
1.2	Α	Fixed	FRONT PORCH	7' - 0"	5' - 0"	7' - 11"	
1.3	В	Window-Casement-Double	KITCHEN	6' - 0"	5' - 0"	8' - 0"	
1.4	В	Window-Casement-Double	KITCHEN	6' - 0"	5' - 0"	8' - 0"	
1.5	Α	Fixed	FAMILY ROOM	10' - 0"	5' - 0"	8' - 0"	
1.6	С	Window-Casement-Single_Right	FAMILY ROOM	3' - 0"	5' - 0"	8' - 0"	
1.7	D	Window-Casement-Single_Left	FAMILY ROOM	3' - 0"	5' - 0"	8' - 0"	
1.8	С	Window-Casement-Single_Right	M BEDRM 1	3' - 0"	5' - 0"	8' - 0"	EGRESS
1.9	D	Window-Casement-Single_Left	M BEDRM 1	3' - 0"	5' - 0"	8' - 0"	EGRESS
1.10	Α	Fixed	M BEDRM 1	8' - 0"	5' - 0"	8' - 0"	
1.11	С	Window-Casement-Single_Right	M BATH 1	3' - 0"	5' - 0"	8' - 0"	
1.12	Е	Window-Sliding-Double		4' - 0"	2' - 0"	8' - 0"	
1.13	Е	Window-Sliding-Double	LAUNDRY	4' - 0"	2' - 0"	8' - 0"	
1.14	Α	Fixed	GARAGE	8' - 0"	5' - 0"	8' - 0"	
			·	•			
L 2							
2.1	Α	Fixed	FOYER	5' - 0"	5' - 0"	8' - 0"	
2.2	Α	Fixed	ENTERTAINMENT RM	7' - 0"	5' - 0"	8' - 0"	
2.3	D	Window-Casement-Single_Right	ENTERTAINMENT RM	2' - 6"	5' - 0"	8' - 0"	
2.4	Е	Window-Casement-Single_Left	ENTERTAINMENT RM	2' - 6"	5' - 0"	8' - 0"	
2.5	Е	Window-Sliding-Double	BATH	4' - 0"	2' - 0"	8' - 0"	
2.6	Α	Fixed	BEDRM 4	7' - 0"	5' - 0"	8' - 0"	
2.7	С	Window-Casement-Single_Right	BEDRM 4	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.8	D	Window-Casement-Single_Left	BEDRM 4	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.9	Α	Fixed	DINING ROOM	3' - 0"	5' - 0"	8' - 0"	PART OF COMPOSITE UNIT OR MULLED TOGETHER
2.10	Α	Fixed	DINING ROOM	3' - 0"	5' - 0"	8' - 0"	PART OF COMPOSITE UNIT OR MULLED TOGETHER
2.11	Α	Fixed	DINING ROOM	3' - 0"	5' - 0"	8' - 0"	PART OF COMPOSITE UNIT OR MULLED TOGETHER
2.12	Α	Fixed	DINING ROOM	3' - 0"	5' - 0"	8' - 0"	PART OF COMPOSITE UNIT OR MULLED TOGETHER
2.13	С	Window-Casement-Single_Right	M BEDRM 2	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.14	D	Window-Casement-Single_Left	M BEDRM 2	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.15	Α	Fixed	M BEDRM 2	4' - 0"	6' - 6"	8' - 0"	
2.16	Α	Fixed	M BEDRM 2	4' - 0"	6' - 6"	8' - 0"	
2.17	Α	Fixed	M BEDRM 2	4' - 0"	6' - 6"	8' - 0"	
2.18	С	Window-Casement-Single_Right	M BATH 2	3' - 0"	5' - 0"	8' - 0"	
2.19	D	Window-Casement-Single_Left		3' - 0"	5' - 0"	8' - 0"	
2.20		Window-Casement-Triple	STUDY	8' - 0"	5' - 0"	8' - 0"	
2.21	Α	Fixed	M BEDRM 3	4' - 0"	6' - 6"	8' - 0"	
2.22	Α	Fixed	M BEDRM 3	4' - 0"	6' - 6"	8' - 0"	
2.23	Α	Fixed	M BEDRM 3	4' - 0"	6' - 6"	8' - 0"	
2.24	С	Window-Casement-Single_Right	M BEDRM 3	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.25	D	Window-Casement-Single_Left	M BEDRM 3	3' - 0"	5' - 0"	8' - 0"	EGRESS
2.26	D	Window-Casement-Single_Left		3' - 0"	5' - 0"	8' - 0"	
2.27	В	Window-Casement-Double	MEDITATION RM	5' - 0"	5' - 0"	8' - 0"	
2.28	A	Fixed	MEDITATION RM	7' - 0"	5' - 0"	8' - 0"	

ADU WINDOW SCHEDULE							
MARK	TYPE	DESCRIPTION	LOCATION	WIDTH	HEIGHT	HEAD	REMARKS
DU FFL							
A.1	В	Window-Casement-Double	M BEDRM 1	5' - 0"	6' - 0"	9' - 0"	EGRESS
A.2	В	Window-Casement-Double	BATH	3' - 0"	5' - 0"	9' - 0"	
A.3	F	Window-Casement-Double-Transom	BEDRM 3	5' - 0"	6' - 0"	9' - 6"	EGRESS
A.4	В	Window-Casement-Double	GREAT ROOM	5' - 0"	6' - 0"	9' - 0"	
A.5	В	Window-Casement-Double	M BEDRM 2	4' - 0"	5' - 0"	9' - 0"	EGRESS
A.6	G	Window-Casement-Triple-Transom	GREAT ROOM	8' - 0"	7' - 0"	9' - 6"	
A.7	G	Window-Casement-Triple-Transom	GREAT ROOM	8' - 0"	7' - 0"	9' - 6"	
A.8	D	Window-Casement-Single_Left	M BEDRM 2	2' - 0"	5' - 0"	9' - 6"	
A.9	С	Window-Casement-Single Right	M BEDRM 2	2' - 0"	5' - 0"	9' - 6"	

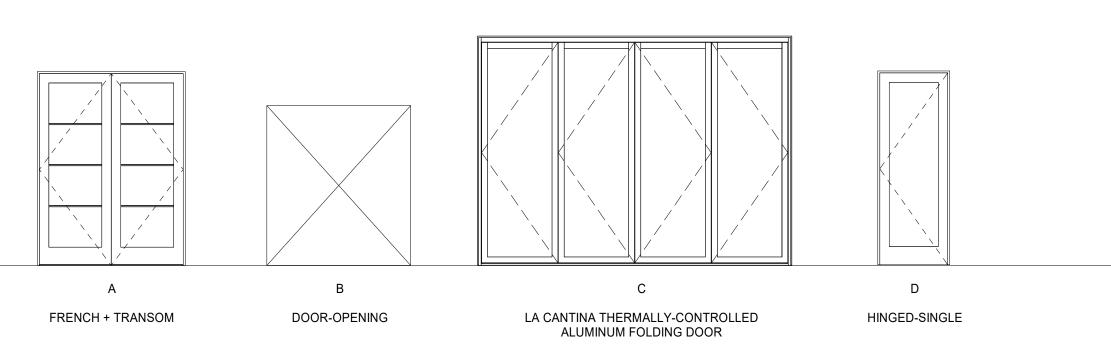


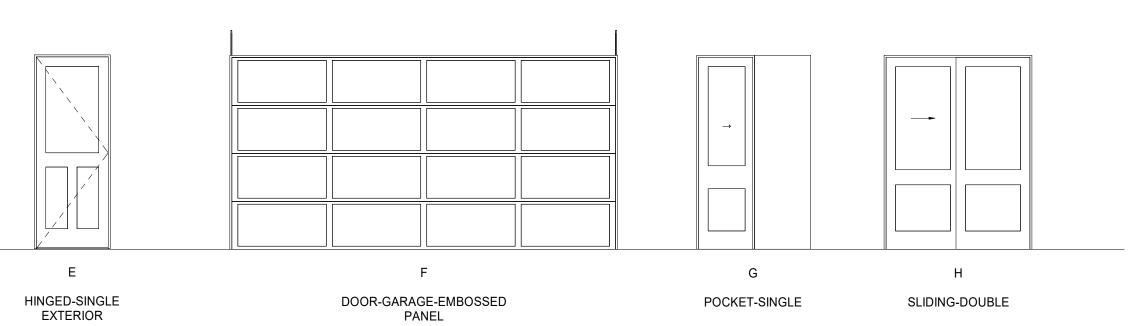


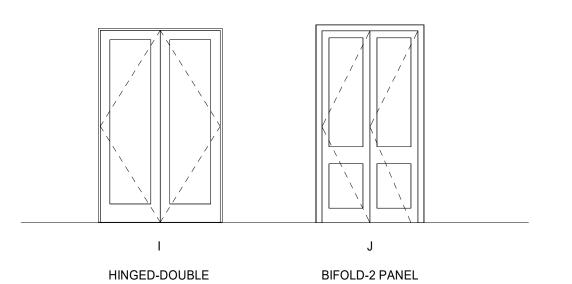
CASEMENT-TRIPLE-TRANSOM

MARK	TYPE	DESCRIPTION	LOCATION	WIDTH	HEIGHT	REMARKS
. 1						
101	Α	Exterior French Door	FOYER	6' - 0"	8' - 0"	
102	G	Pocket-Single	M BATH 1	2' - 4"	8' - 0"	
103	С	Door_Folding_LaCantina_Aluminum-Thermal-Series (2)	DINING ROOM	12' - 0"	9' - 6"	
104	D	Hinged-Single	DINING ROOM	3' - 0"	8' - 0"	
105	Н	FRAMED GLASS DOOR		2' - 8"	5' - 2"	GLASS SHOWER DOOR
106	D	Hinged-Single	WIC 1	2' - 4"	8' - 0"	
107	D	Hinged-Single	WIC 1	2' - 4"	8' - 0"	
108	D	Hinged-Single	LIVING ROOM	2' - 4"	8' - 0"	
109	D	Hinged-Single	LAUNDRY	3' - 0"	8' - 0"	
110	D	Hinged-Single	GARAGE	3' - 0"	8' - 0"	
111	D	Hinged-Single	LAUNDRY	3' - 0"	8' - 0"	
112	Е	Hinged-Single-Exterior	GARAGE	3' - 0"	8' - 0"	
113	F	Door-Garage-Embossed_Panel	GARAGE	16' - 0"	8' - 0"	
114	F	Door-Garage-Embossed_Panel	GARAGE	9' - 0"	8' - 0"	
L 2 201	D	Hinged-Single	ENTERTAINMENT RM	2' - 4"	8' - 0"	
202	D	Hinged-Single	ENTERTAINMENT RM	2' - 4"	8' - 0"	
203	D	Hinged-Single	BEDRM 4	2' - 4"	8' - 0"	
204	D	Hinged-Single	ENTERTAINMENT RM	3' - 0"	8' - 0"	
205	D	Hinged-Single	BEDRM 4	2' - 4"	8' - 0"	
206	D	Hinged-Single	DINING ROOM	3' - 0"	8' - 0"	
207	D	Hinged-Single	WIC 2	2' - 4"	8' - 0"	
208	D	Hinged-Single	WIC 2	2' - 4"	8' - 0"	
209	Н	FRAMED GLASS DOOR	M BATH 2	2' - 9"	5' - 2"	GLASS SHOWER DOOR
210	D	Hinged-Single	WIC 2	2' - 4"	8' - 0"	
211	G	Pocket-Single	M BATH 2	2' - 4"	8' - 0"	
212	I	Hinged-Double	M BEDRM 3	4' - 0"	8' - 0"	
213	I	Hinged-Double	M BEDRM 3	4' - 0"	8' - 0"	
214	D	Hinged-Single	NOOK	3' - 0"	8' - 0"	
215	D	Hinged-Single	M BEDRM 3	2' - 4"	8' - 0"	
216	Н	FRAMED GLASS DOOR	M BATH 3	2' - 8"	5' - 2"	
217	D	Hinged-Single	NOOK	2' - 4"	8' - 0"	
218	D	Hinged-Single	MEDITATION RM	2' - 4"	8' - 0"	
219	E	Hinged-Single-Exterior	NOOK	3' - 0"	8' - 0"	

MARK	TYPE	DESCRIPTION	LOCATION	WIDTH	HEIGHT	REMARKS		
DU FFL								
A01	Е	Hinged-Single-Exterior	GREAT ROOM	3' - 0"	8' - 0"			
A02	E	Hinged-Single-Exterior	GREAT ROOM	3' - 0"	8' - 0"			
A03	D	Hinged-Single	BEDRM 3	3' - 0"	8' - 0"			
A04	D	Hinged-Single	M BEDRM 1	3' - 0"	8' - 0"			
A05	Η	Sliding-Double	M BEDRM 1	6' - 0"	8' - 0"			
A06	D	Hinged-Single	BATH	2' - 4"	8' - 0"			
A07	I	Hinged-Double	LAUNDRY	5' - 0"	8' - 0"			
A08	E	Hinged-Single-Exterior	GARAGE	3' - 0"	8' - 0"			
A09	F	Door-Garage-Embossed_Panel	GARAGE	16' - 0"	8' - 0"			
A10	J	Bifold-2 Panel	GREAT ROOM	4' - 0"	8' - 0"			
A11	G	Pocket-Single	BATH	2' - 4"	8' - 0"			
A12	D	Hinged-Single	M BEDRM 2	2' - 8"	8' - 0"			
A13	D	Hinged-Single	M BATH 2	2' - 4"	8' - 0"			
A14	D	Hinged-Single	WIC	2' - 4"	8' - 0"			
A15	Н	Sliding-Double	BEDRM 3	8' - 0"	8' - 0"			





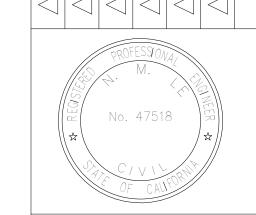


# DOOR SCHEDULE NOTES

- PRIOR TO ORDER, MODEL AND SIZE SHALL BE FIELD VERIFIED AND CONFIRMED BY OWNER AND ARCHITECT.
- PER CRC R302.5.1, DOORS INSTALLED BETWEEN THE DWELLING AN ATTACHED GARAGE SHALL BE SELF-CLOSING

AND SELF-LATCHING. ADDITIONALLY, THEY SHOULD BE ONE

- OF THE FOLLOWING: A. SOLID WOOD DOORS NOT LESS THAN 1-3/8" THICK B. SOLID OR HONEYCOMBED CORE STEEL DOORS NOT
- LESS THAN 1-3/8" THICK C. A 20-MINUTE FIRE RATED DOOR
- ALL GLASS IN EXTERIOR DOORS MUST HAVE TEMPERED GLASS, AND IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS.
- 4. HEADER HT. @ 8' 0", TYPICAL U.O.N. SEE EXTERIOR ELEVATIONS.



# WINDOW SCHEDULE NOTES

- 1. PRIOR TO ORDER, MODEL AND SIZE SHALL BE FIELD VERIFIED AND CONFIRMED BY OWNER AND ARCHITECT.
- ALL GLASS IN EXTERIOR WINDOWS MUST BE TEMPERED GLASS.
- ALL SKYLIGHT UNITS SHALL BE TESTED AND LABELED IN COMPLIANCE WITH AAMA / WDMA / CSA 101 / 1.S.2 / A440 PER CRC SECTION R308.6.9.
- 4. ALL SKYLIGHT UNITS LOCATED ON A ROOF WITH SLOPE LESS THAN 3" / 12" MUST BE INSTALLED ON A 4" MINIMUM HIGH
- HEADER HT. @ 8' 0", TYPICAL U.O.N. SEE EXTERIOR ELEVATIONS.



W SAN MARTIN AVE, SAN MARTIN, CA, 95046-9444 shuto

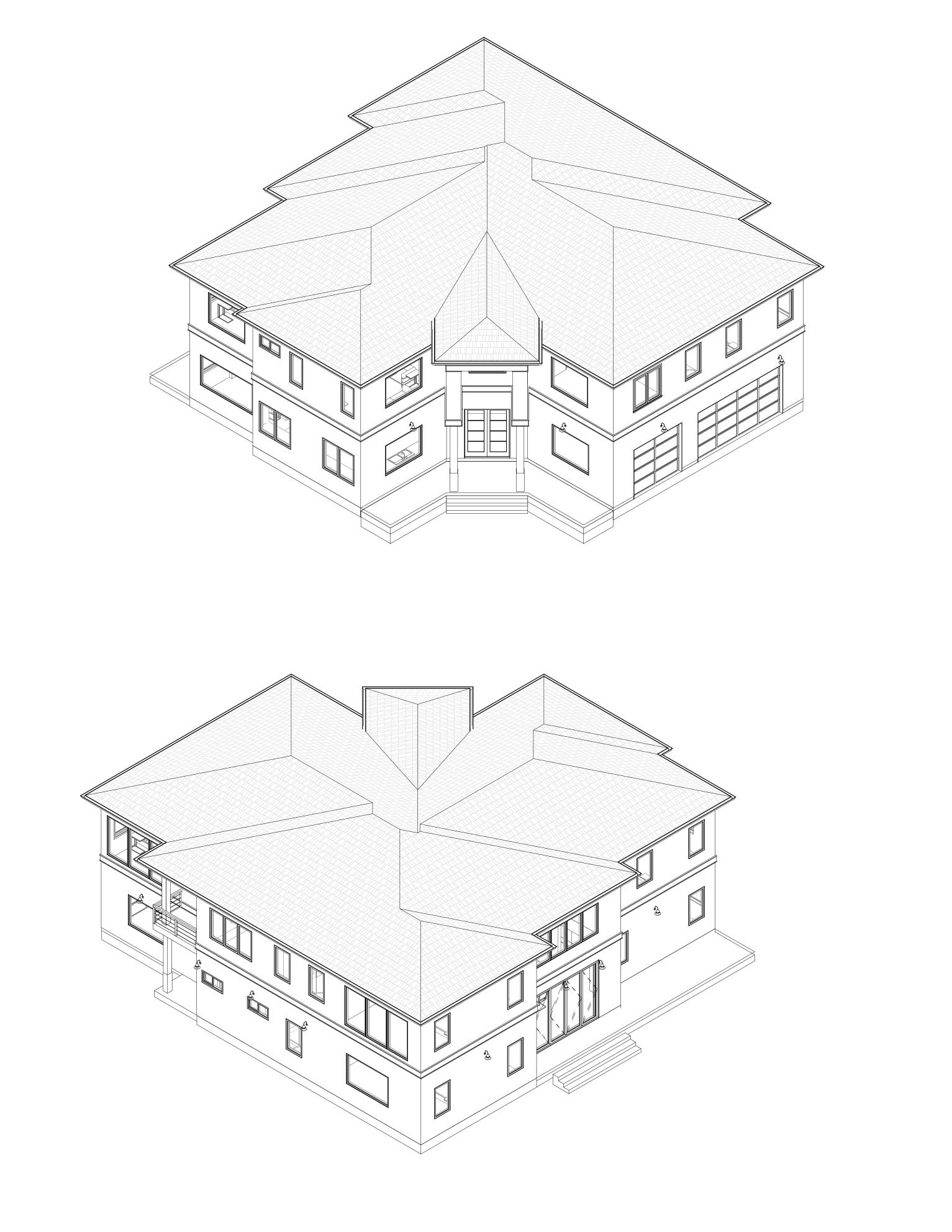


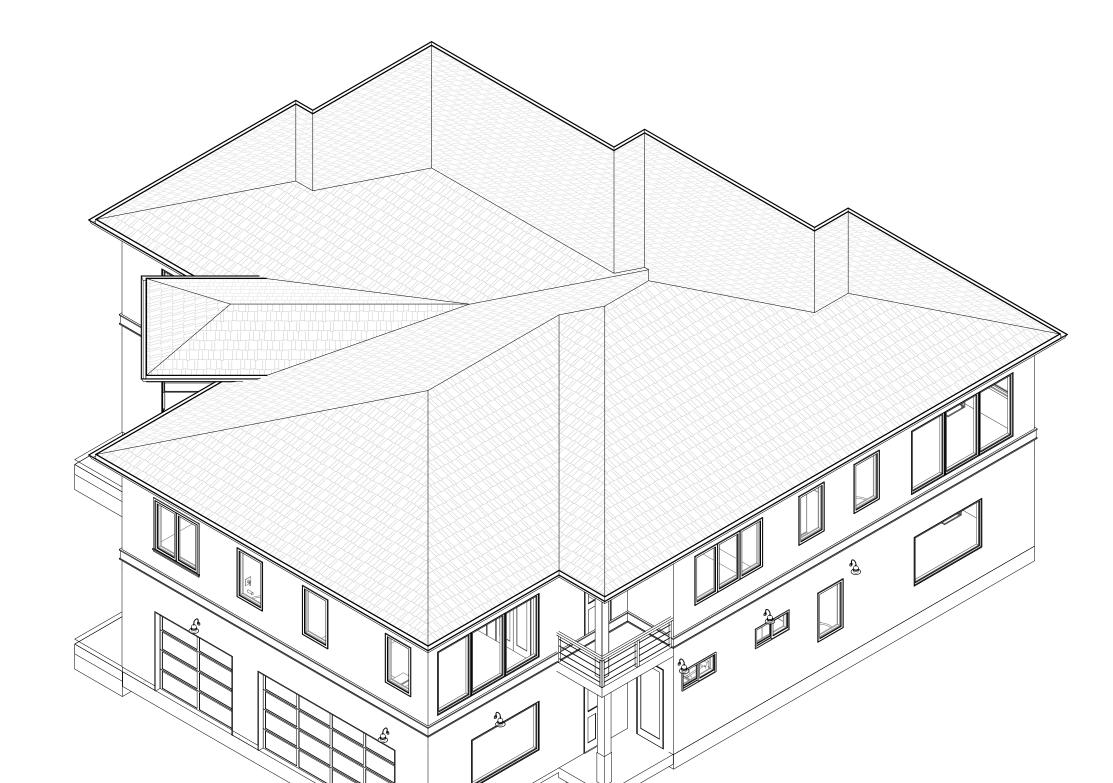
PROPOSED HOUSE AND DETACHED GARAGE

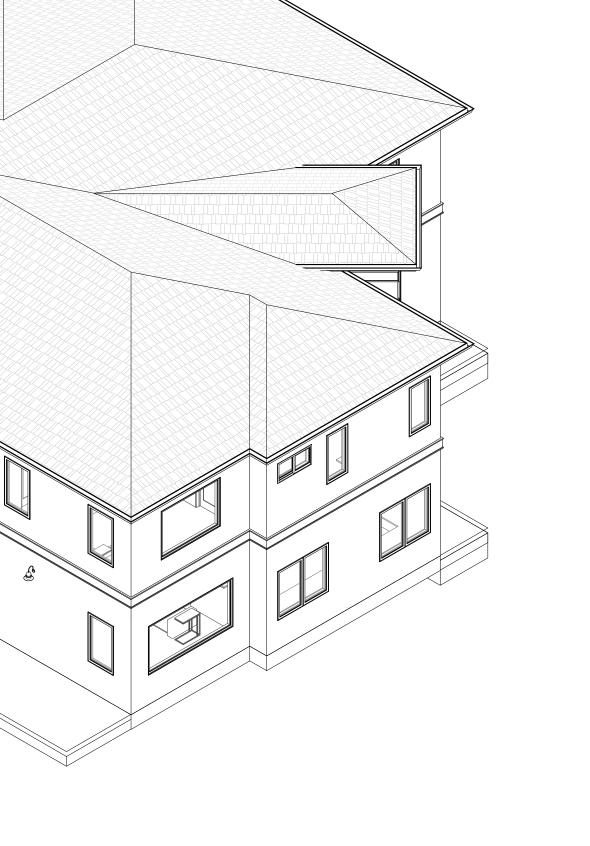
DOOR & **WINDOW** SCHEDULE

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**PRELIMINARY** 





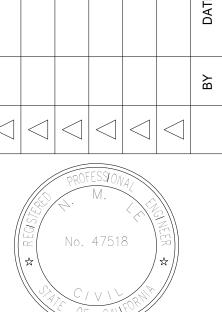


PRELIMINARY

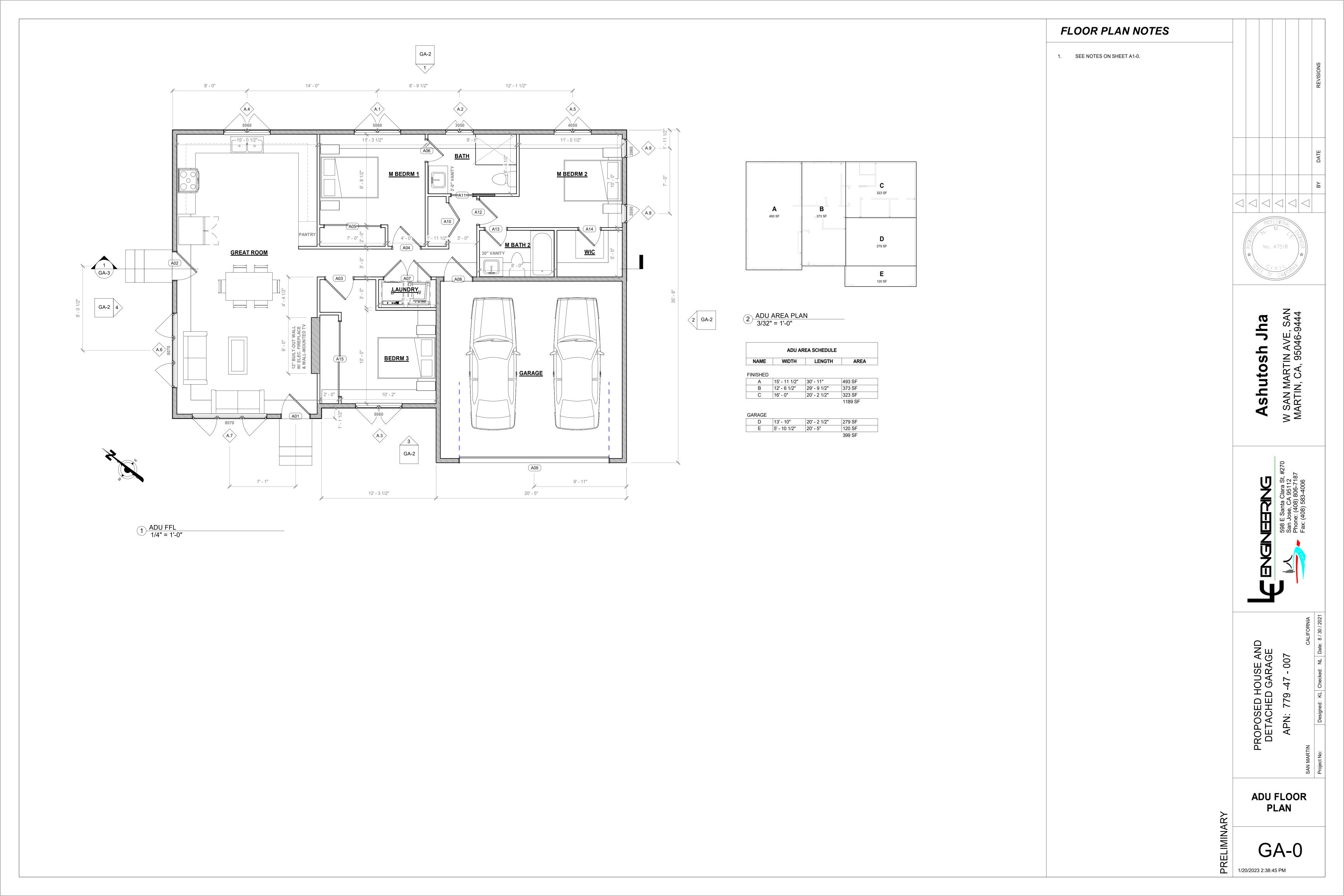
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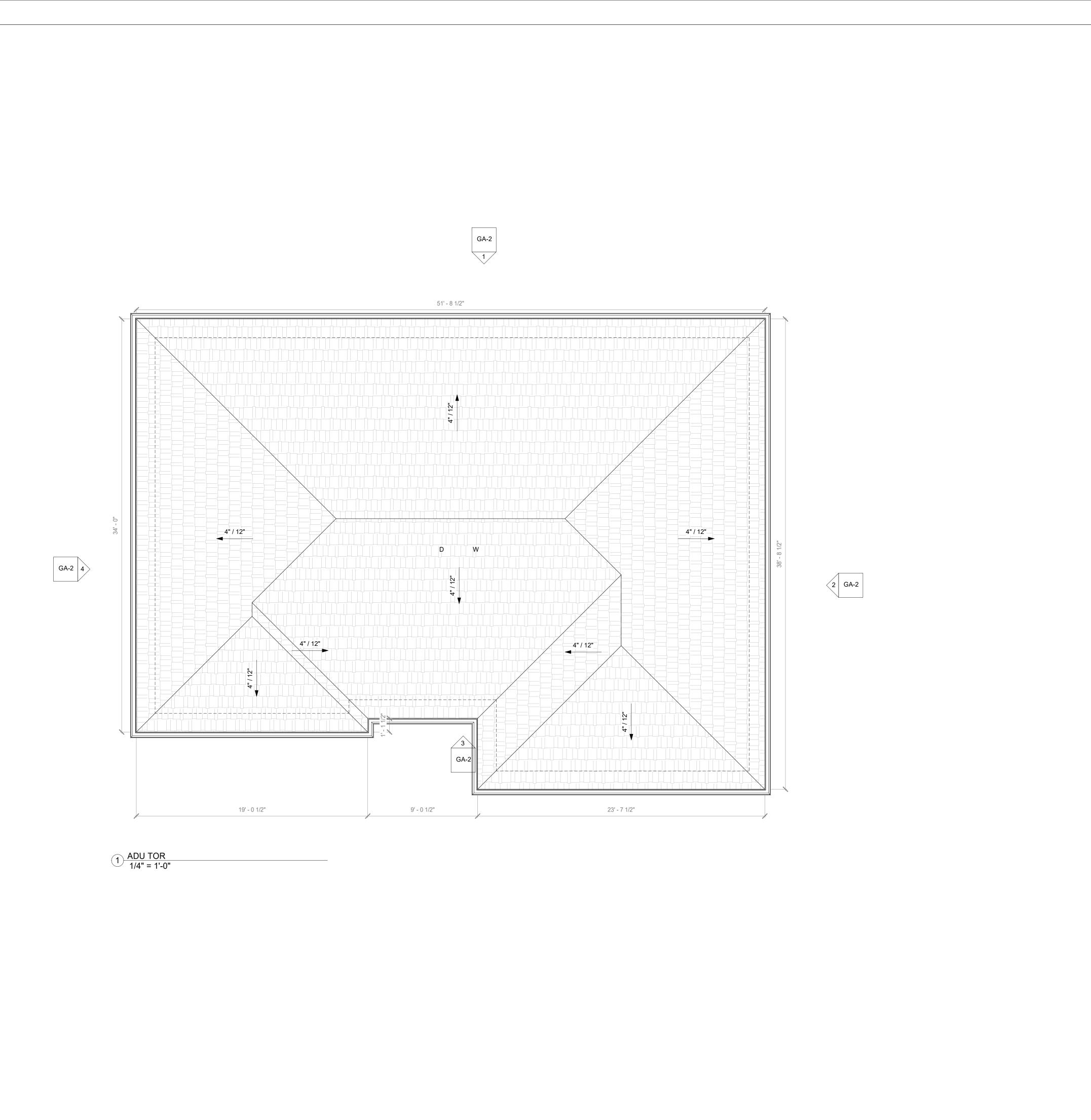
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PROPOSED HOUSE AND DETACHED GARAGE APN: 779-47 - 007 MAIN HOUSE AXON VIEWS



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# **ROOF PLAN NOTES**

- 1. ROOF TO BE BUILT TO "CLASS A" FIRE RESISTANCE STANDARDS
- ROOF COMPOSED OF ASPHALT SHINGLE OVER TWO LAYERS OF #30 FELT OVER PLYWOOD SHEATHING
- 3. ROOF OVERHANG 1' U.N.O.

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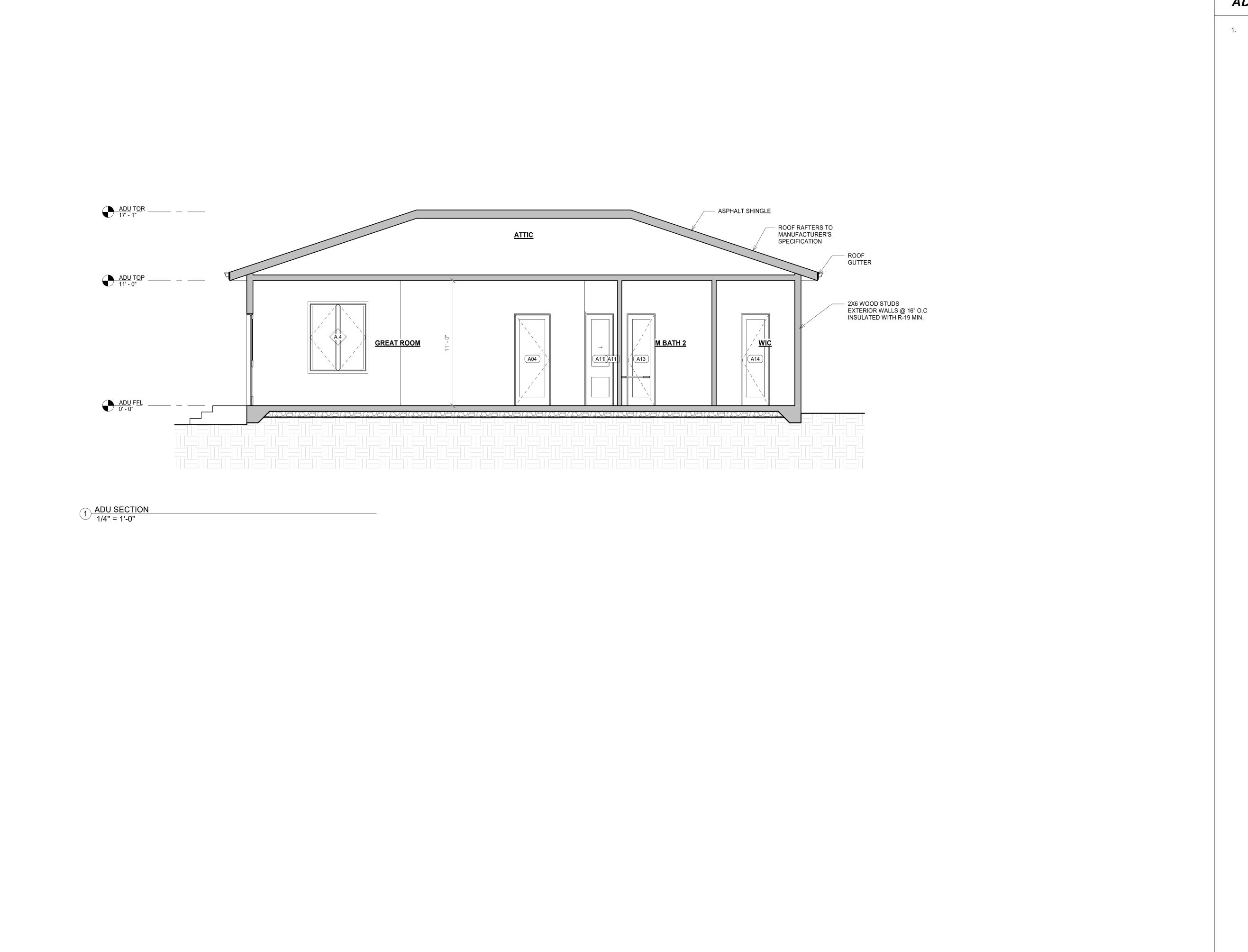


ADU ROOF PLAN

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**PRELIMINARY** 





# **ADU SECTION NOTES**

1. SEE NOTES ON SHEET A3-1

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598 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187 Fax: (408) 583-4006

PROPOSED HOUSE AND DETACHED GARAGE

**ADU SECTIONS** 

**PRELIMINARY** GA-3 1/20/2023 2:38:47 PM