

AB AGGREGATE BASE
AC ASPHALT CONCRETE
BB BUBBLER BOX
BK BOOK
BLDG BUILDING
BSL BUILDING SETBACK LINE
CED COBBLE ROCK ENERGY DISSIPATOR
CG CURB & GUTTER
CL CENTERLINE
CO CONCRETE
CSD COUNTY STANDARD DETAIL
DS DOWNSPOUT
DWN DRIVEWAY
EA EASEMENT
ELEV ELEVATION
EM ELECTRIC METER
E(OH) ELECTRIC OVERHEAD
E(UG) ELECTRIC UNDERGROUND
EP EDGE OF PAVEMENT
EX EXISTING
FD FOUND
FF FINISH ELEVATION OF SUBFLOOR

FG GROUND FINISH GRADE
FH FIRE HYDRANT
FL FLOW LINE
G GARAGE SLAB ELEVATION
GM GAS METER
HP HIGHT POINT
INV INVERT
LIP UP OF GUTTER
LS LANDSCAPED AREA
LT LEFT
MAX MAXIMUM
MH MANHOLE
MIN MINIMUM
NTS NOT TO SCALE
OH OVERHEAD
OG ORIGINAL GROUND
P PAVEMENT FINISH GRADE
PAD PAD ELEVATION
PAGE PROPERTY LINE
PP POWER POLE PROP. PROPOSED
PSE PUBLIC SERVICE EASEMENT
PVMT PAVEMENT

PVC POLYVINYL CHLORIDE
R RADIUS
RT RIGHT
RT/W RIGHT OF WAY
SCSD SANTA CLARA COUNTY
SD STANDARD DETAIL
STA SANTA CLARA VALLEY
SW WATER DISTRICT
SS STATION
STA SANITARY SEWER/LATERAL
SW SIDEWALK
TC TOP OF CURB
TG TOP OF GRATE
TYP TYPICAL
W WATER
WLK WALKWAY
WM WATER METER
WV WATER VALVE

COBBLE ROCK
ENERGY DISSIPATOR
CONCRETE
CONTOUR: EXISTING
CONTOUR: PROPOSED
OR NEW
DESIGN GRADE
DOWNSPOUT WITH
SPLASHBLOCK
DIVERSION VALVE
BACKWATER VALVE
(SEE PROJECT NOTES)
DRAINAGE SWALE
EASEMENT LINE
EXISTING ELEVATION
OR (101.70)
EXISTING FENCE
EXISTING TREE TO
BE REMOVED

EXISTING TREE
TO REMAIN
FOUND IRON PIPE
AT PROPERTY CORNER
FILTER FABRIC ROLLS
GAS METER
FIRE HYDRANT
INLET
JOINT POLE
LIGHTING
LIGHTING POLE
MONUMENT WELL
OVERLAND FLOW
DIRECTION
PGE BOX
PROJECT SITE
RIGHT OF WAY

SANITARY SEWER
CLEAN OUT MANHOLE
SANITARY SEWER MANHOLE
STORM DRAIN MANHOLE
UTILITY: EXISTING
UTILITY: PROPOSED
WATER METER
WATER VALVE
WELL
TREE PROTECTION FENCE
ABANDON UTILITY LINE

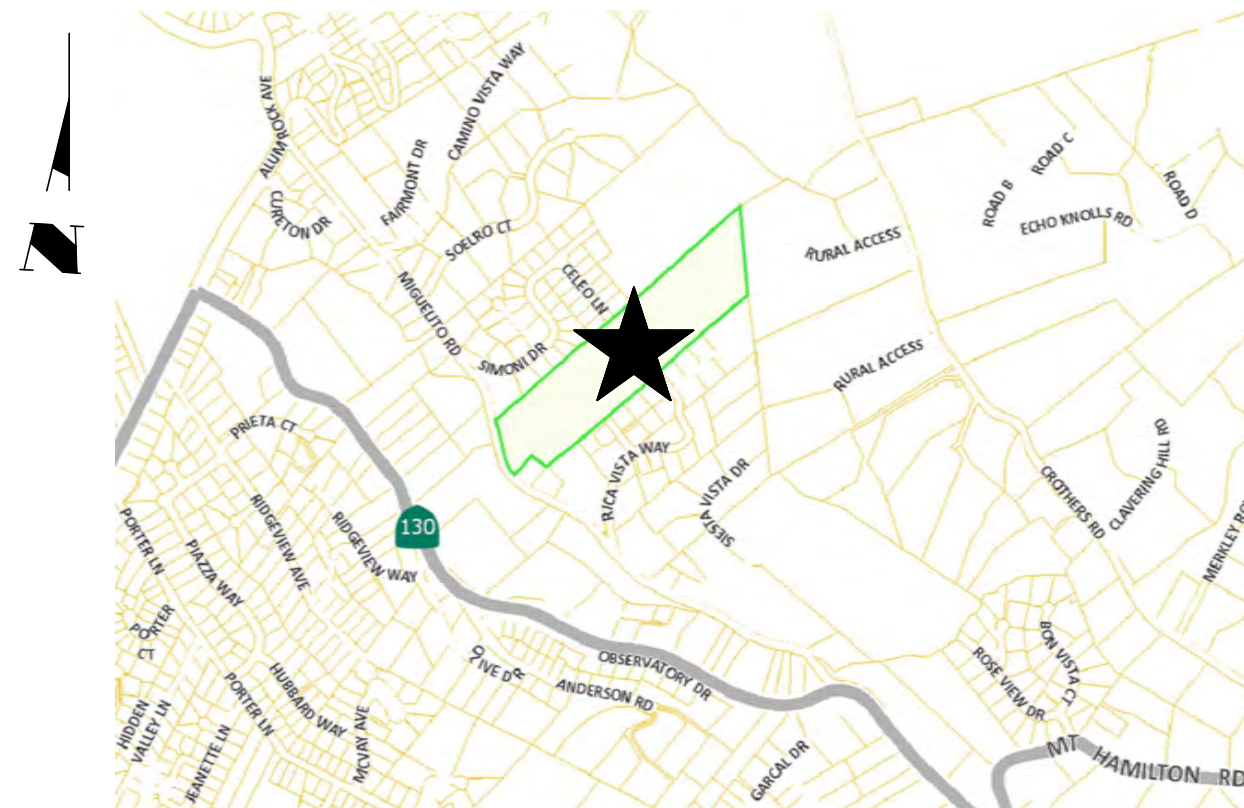
DISTURBED AREAS

NO.	DESCRIPTION	AREA (SQUARE FEET)
1.	TEMPORARY	9,850
2.	PERMANENT	32,930
	TOTAL AREA	42,780

PROJECT DATA

- APN: 612-08-023
- SITE ADDRESS: RICA VISTA WAY, SAN JOSE, CA 95127
- LOT SIZE: 854,537± SQ. FT. / 19.2± ACRES
- ZONING: HS-D1 (100%)
- FIRE PROTECTION DISTRICT: SOUTH SANTA CLARA COUNTY
FIRE PROTECTION DISTRICT
- GEOHAZARD: COUNTY FAULT RUPTURE HAZARD ZONE
- GEOHAZARD: COUNTY LIQUEFACTION HAZARD ZONE
- GEOHAZARD: STATE SEISMIC HAZARD ZONE (EARTHQUAKE INDUCED LANDSLIDES)
- HISTORIC PARCEL: NO
- FEMA FLOOD ZONE: D (100%)
- WATERSHED: SAN FRANCISCO BAY
- RAIN ISOHYET: 15 INCHES
- IMPERVIOUS AREA:
 - A. BUILDING: 2,236 SF
 - B. PATIO: 2,494 SF
 - C. WALKWAY: 224 SF
 - D. GARAGE: 1,991 SF
 - E. ADU: 2,798 SF
 - F. PATIO: 390 SF
 - F. WORKSHOP: 782 SF
 - G. BARN: 3,629 SF
 - H. DRIVEWAY: 18,386 SF

TOTAL: 32,930 SF



VICINITY MAP
NTS

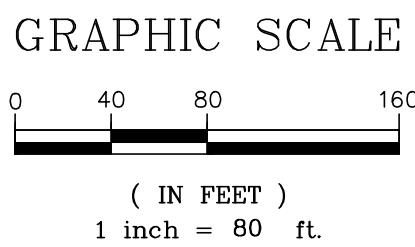
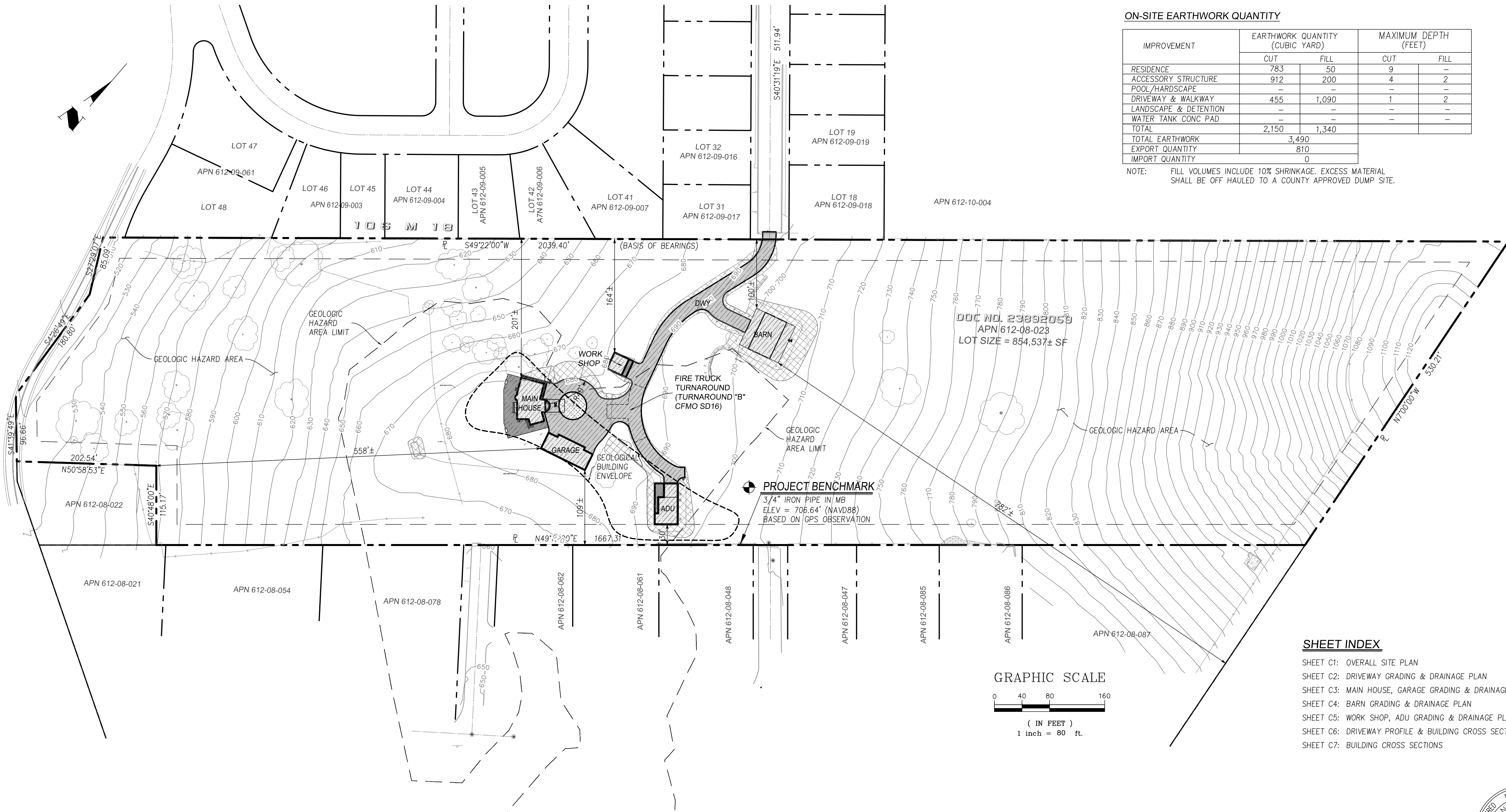
BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP
ARE BASED ON THE PROPERTY LINE
AS N49°22'00"E SHOWN ON THIS MAP

ON-SITE EARTHWORK QUANTITY

IMPROVEMENT	EARTHWORK QUANTITY (CUBIC YARD)		MAXIMUM DEPTH (FEET)	
	CUT	FILL	CUT	FILL
RESIDENCE	783	50	9	-
ACCESSORY STRUCTURE	912	200	4	2
POOL/HARDSCAPE	-	-	-	-
DRIVEWAY & WALKWAY	455	1,090	1	2
LANDSCAPE & DETENTION	-	-	-	-
WATER TANK CONC PAD	-	-	-	-
TOTAL	2,150	1,340	-	-
TOTAL EARTHWORK	3,490			
EXPORT QUANTITY	810			
IMPORT QUANTITY	0			

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL
SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.



SHEET INDEX

- SHEET C1: OVERALL SITE PLAN
SHEET C2: DRIVEWAY GRADING & DRAINAGE PLAN
SHEET C3: MAIN HOUSE, GARAGE GRADING & DRAINAGE PLAN
SHEET C4: BARN GRADING & DRAINAGE PLAN
SHEET C5: WORK SHOP, ADU GRADING & DRAINAGE PLAN
SHEET C6: DRIVEWAY PROFILE & BUILDING CROSS SECTIONS
SHEET C7: BUILDING CROSS SECTIONS

NOTES:

- THICKNESS OF DRIVEWAY WILL BE DETERMINED BY GEOTECHNICAL ENGINEER.
- DRIVEWAY WILL BE MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 POUNDS



APPLICANT : GORDON

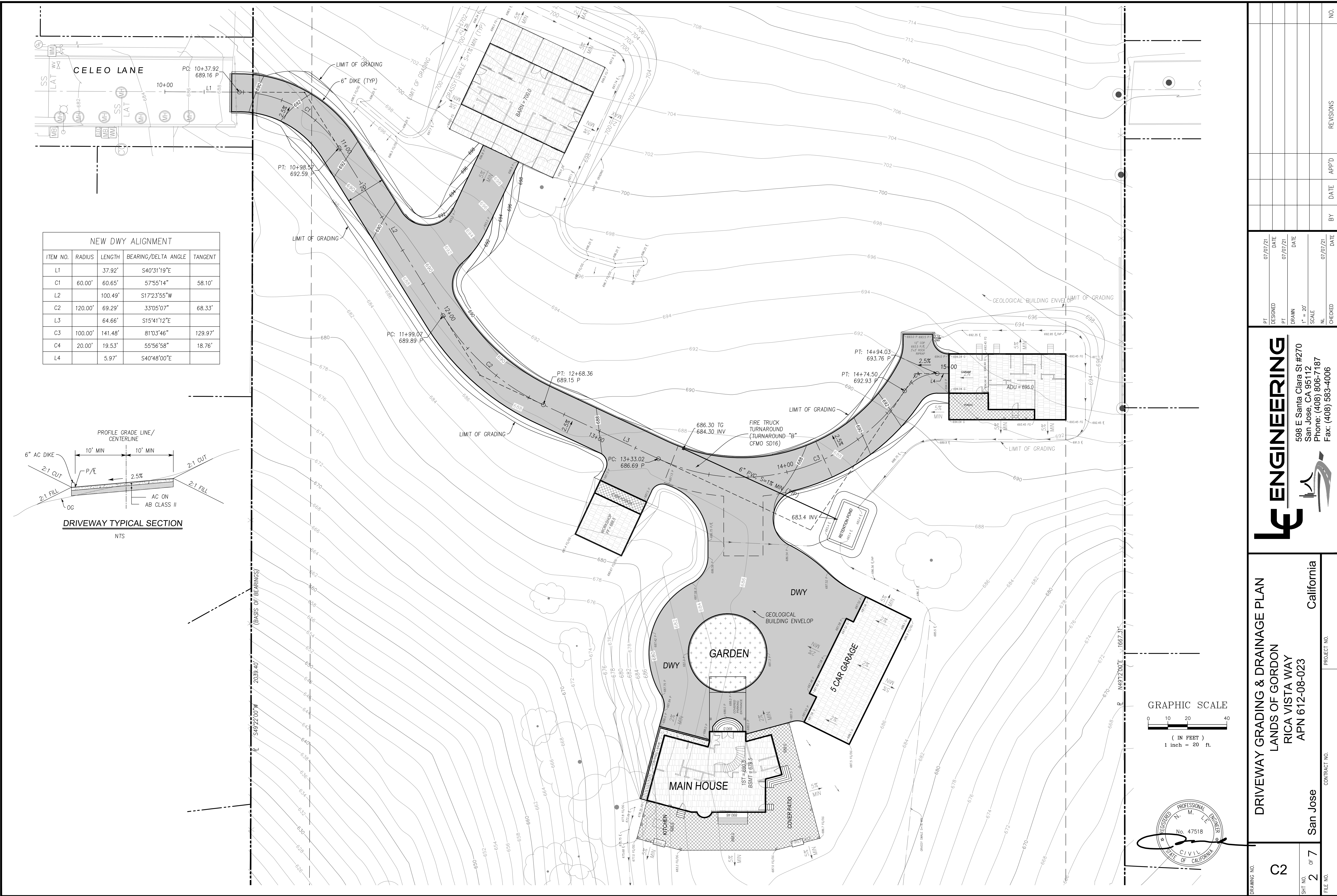
ROAD NAME : RICA VISTA WAY

ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

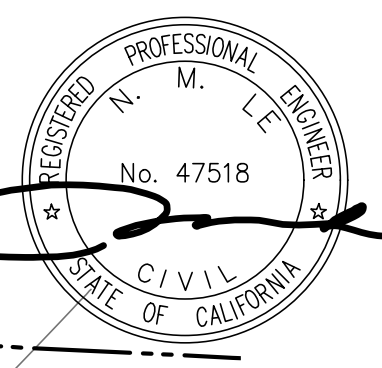
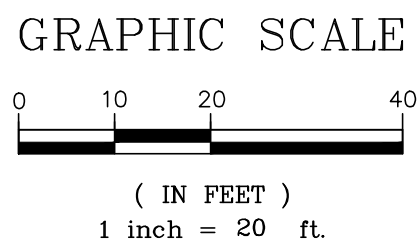
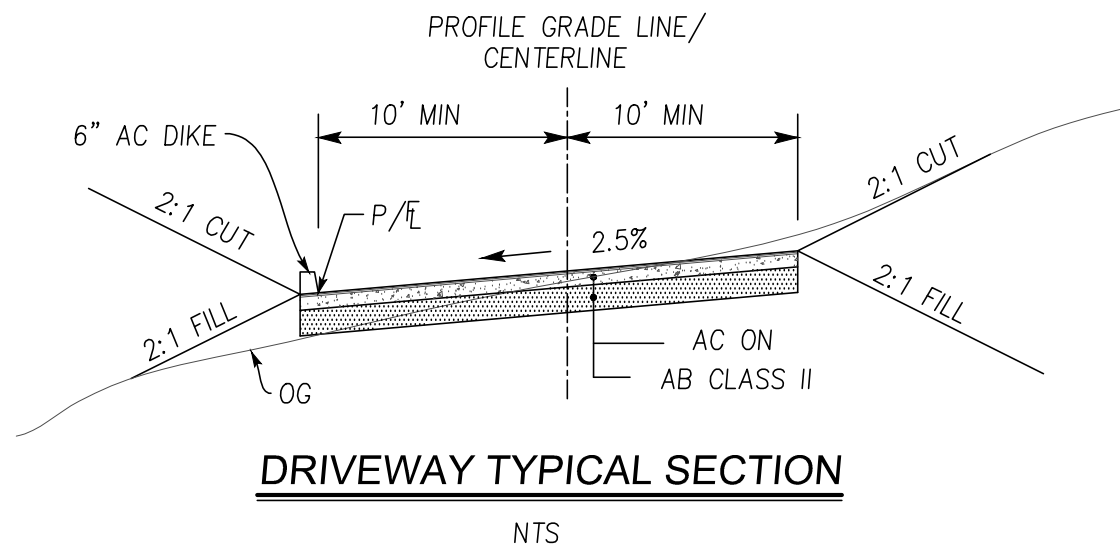
OVERALL SITE PLAN
LANDS OF GORDON
RICA VISTA WAY
APN 612-08-023

San Jose

C1
1 OF 7
FILE NO.



NEW DWY ALIGNMENT				
ITEM NO.	RADIUS	LENGTH	BEARING/DELTA ANGLE	TANGENT
L1		37.92'	S40°31'19"E	
C1	60.00'	60.65'	S7°55'14"	58.10'
L2		100.49'	S17°23'55"W	
C2	120.00'	69.29'	S3°05'07"	68.33'
L3		64.66'	S15°41'12"E	
C3	100.00'	141.48'	S1°03'46"	129.97'
C4	20.00'	19.53'	S5°56'58"	18.76'
L4		5.97'	S40°48'00"E	



DRIVEWAY GRADING & DRAINAGE PLAN

LANDS OF GORDON

RICA VISTA WAY

APN 612-08-023

California

San Jose

2 OF 7

PROJECT NO.

CONTRACT NO.

FILE NO.

PT DESIGNED

07/07/21

PT DRAWN

07/07/21

SCALE

1" = 20'

CHECKED

07/07/21

REVISIONS

BY

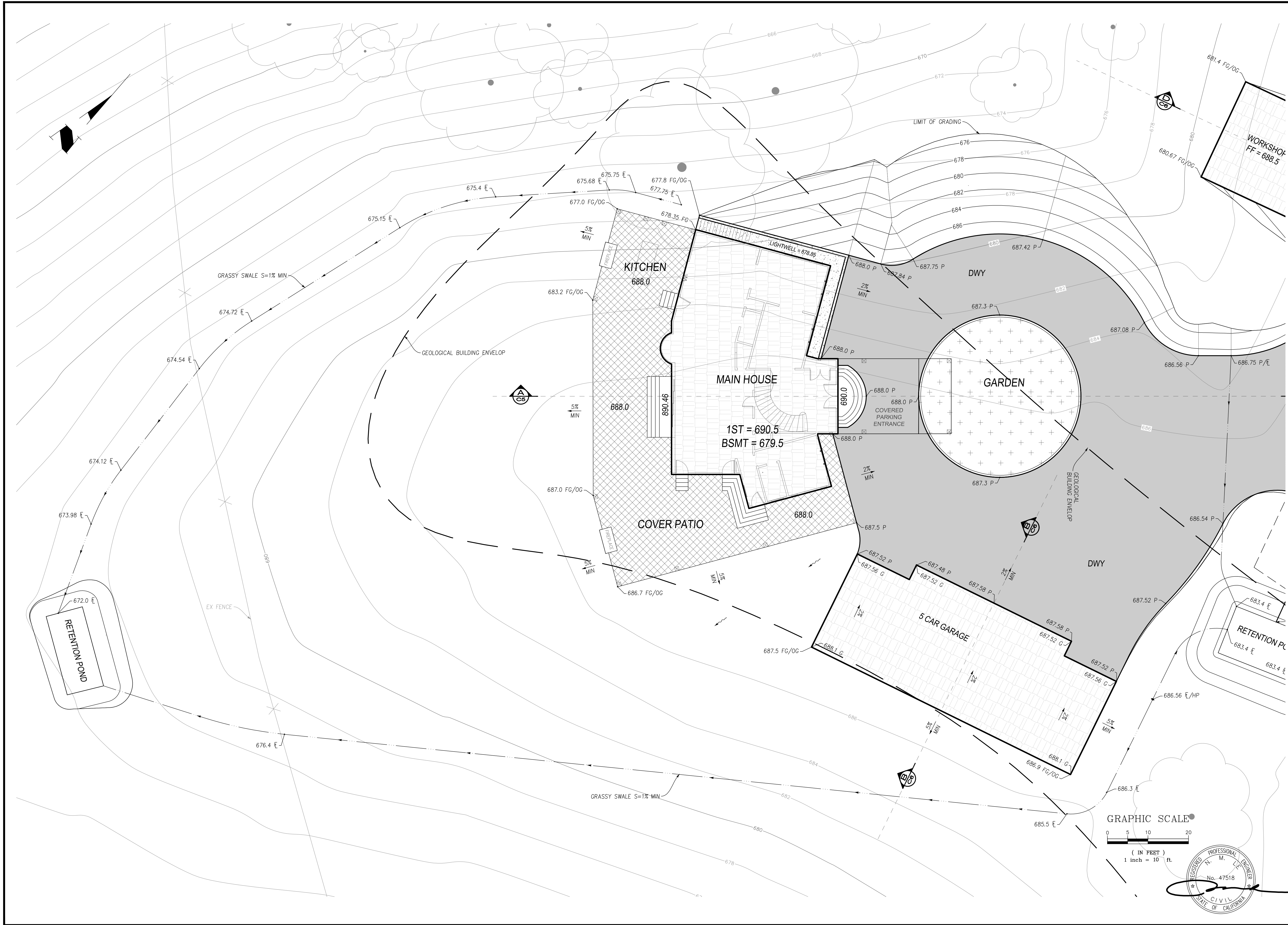
DATE

APP'D

NO.

APPLICANT : GORDON

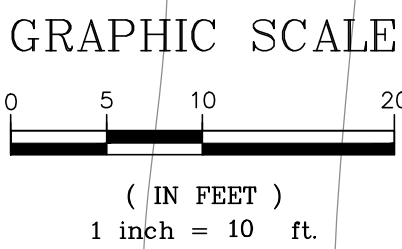
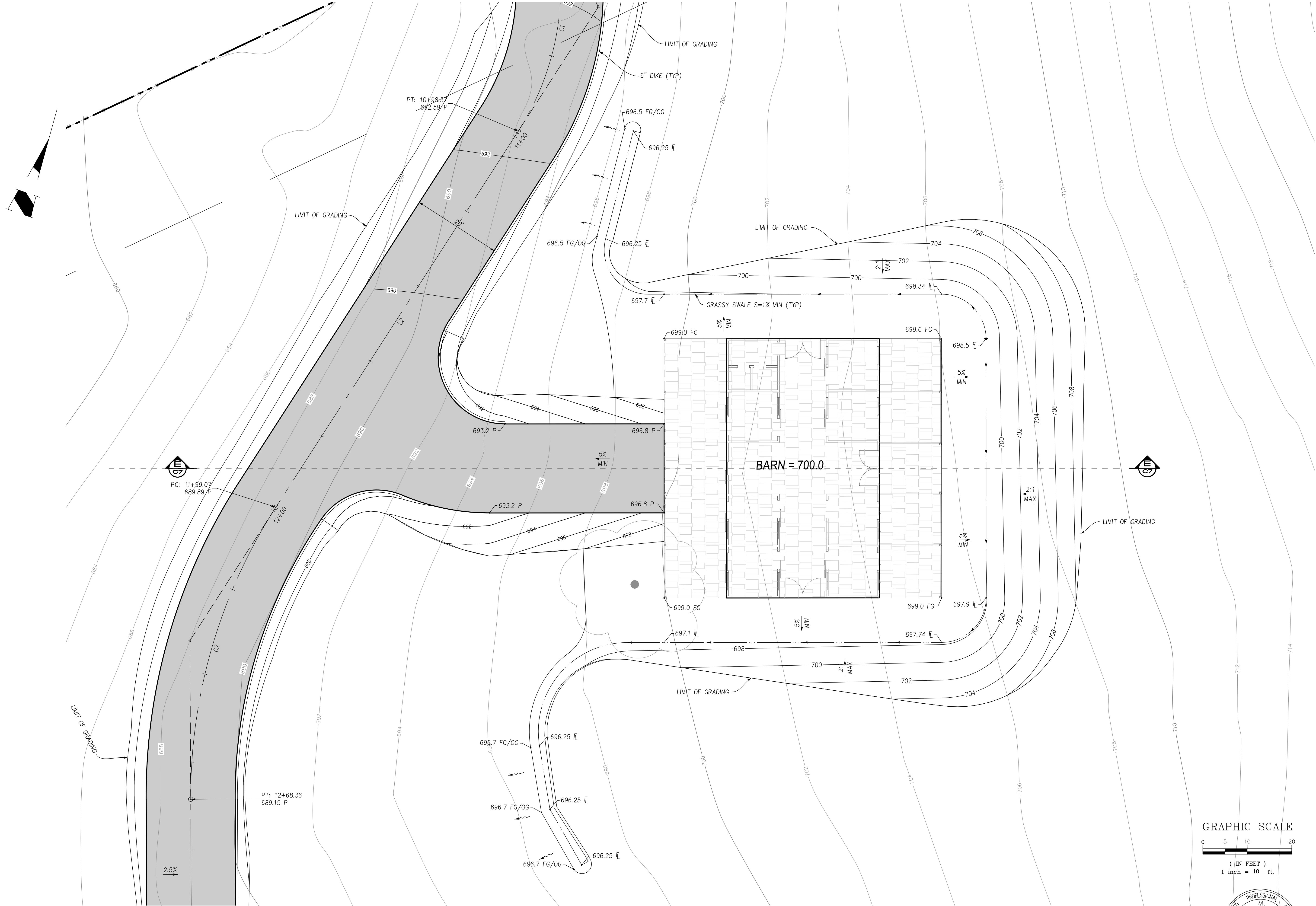
ROAD NAME : RICA VISTA WAY



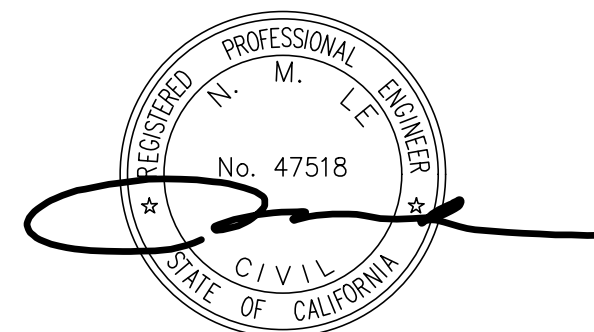
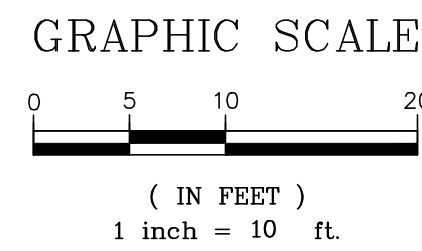
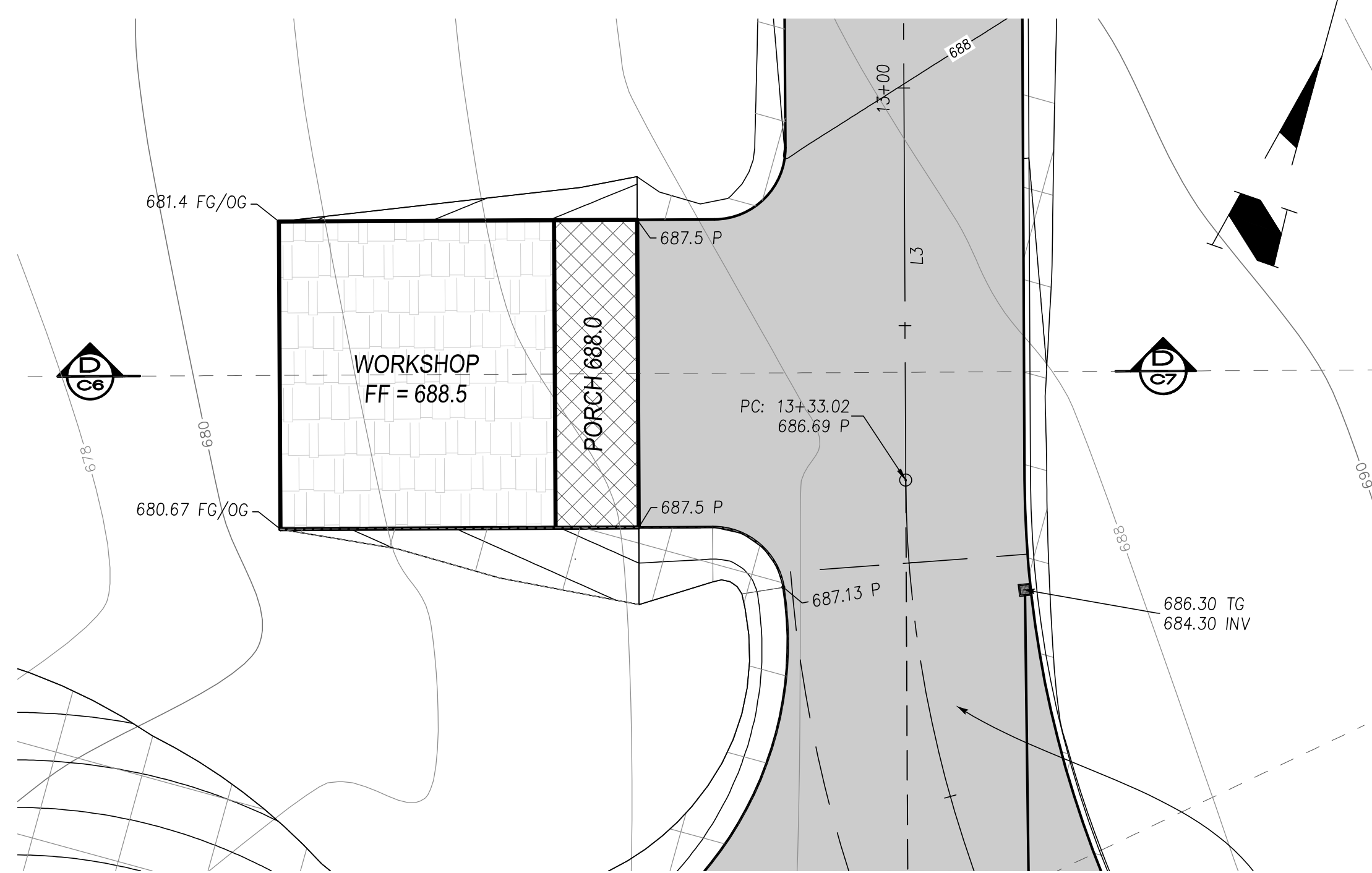
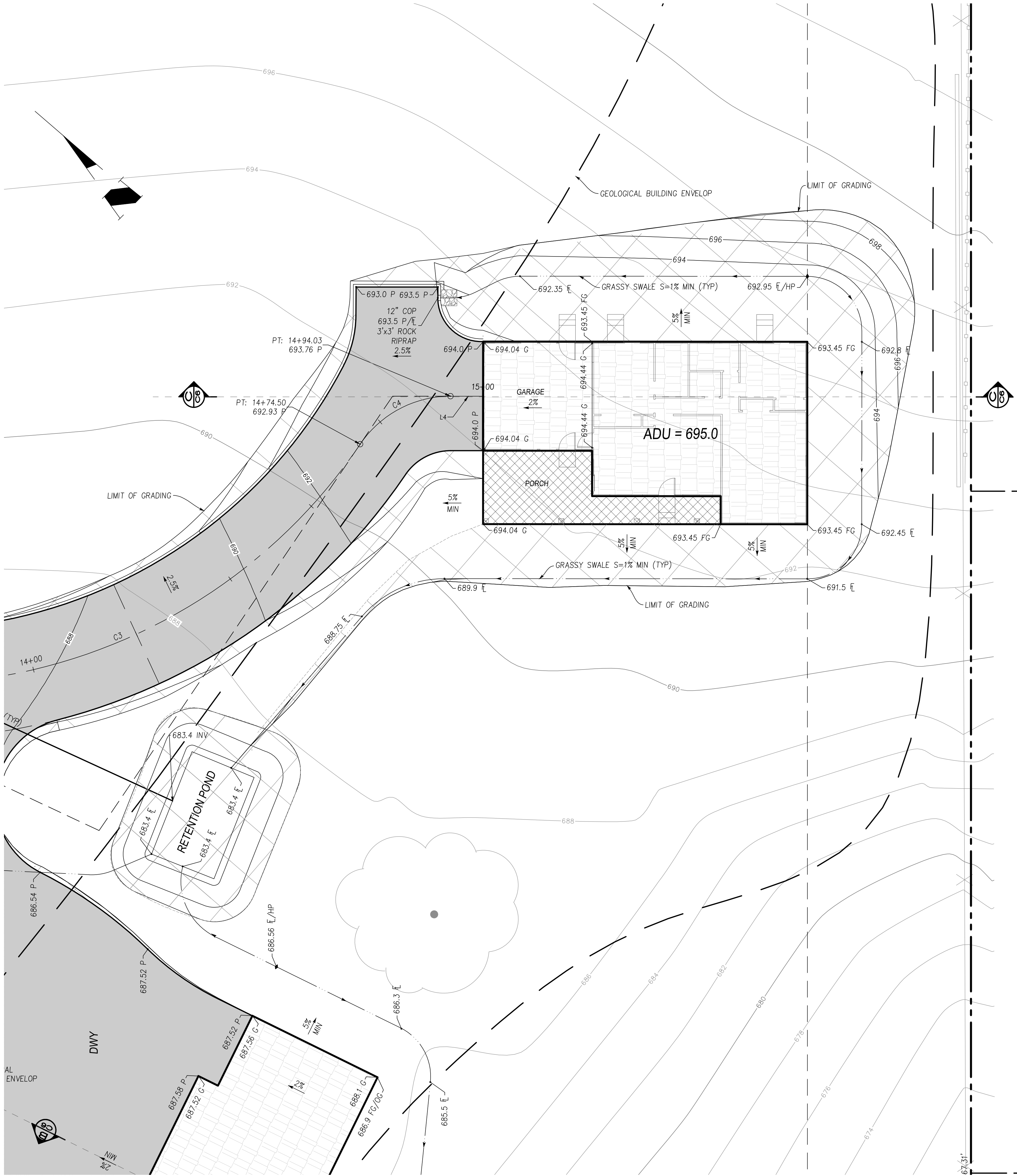
APPLICANT : GORDON

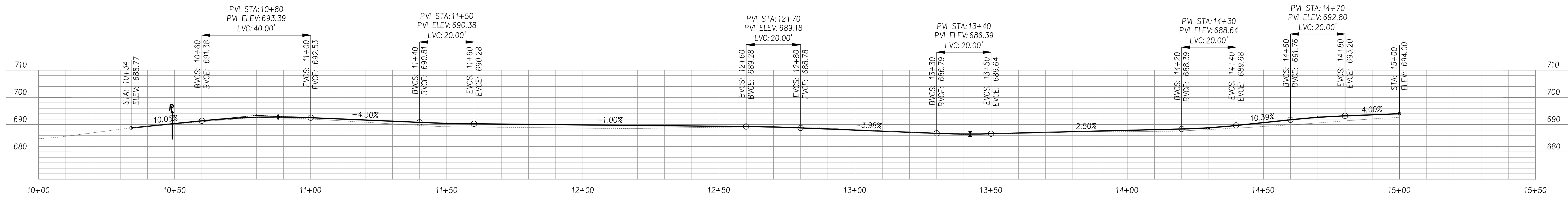
ROAD NAME : RICA VISTA WAY

DRAWING NO.		3	
SHEET NO.		3 OF 7	
FILE NO.		CONTRACT NO.	
PROJECT NO.		PROJECT NO.	
MAIN HOUSE, GARAGE GRADING & DRAINAGE PLAN		LANDS OF GORDON	
RICA VISTA WAY		APN 612-08-023	
San Jose		California	
ENGINEERING		598 E Santa Clara St #270 San Jose, CA 95112 Phone: (408) 806-7187 Fax: (408) 583-4006	
DESIGNED		DATE	
DRAWN		DATE	
CHECKED		DATE	
BY		DATE	
APP'D		REVISIONS	
NO.		NO.	



DRAWING NO.		BARN GRADING & DRAINAGE PLAN		LANDS OF GORDON		RICA VISTA WAY		California	
SHT NO.		4		OF 7		San Jose		CONTRACT NO.	
FILE NO.		C4		PROJECT NO.		APN 612-08-023		California	
DESIGNED		DATE		07/07/21		BY		DATE	
DRAWN		DATE		07/07/21		APP'D		REVISIONS	
SCALE		1" = 10'		CHECKED		DATE		NO.	
NL		07/07/21		BY		DATE		REVISIONS	
PT		07/07/21		APP'D		DATE		NO.	

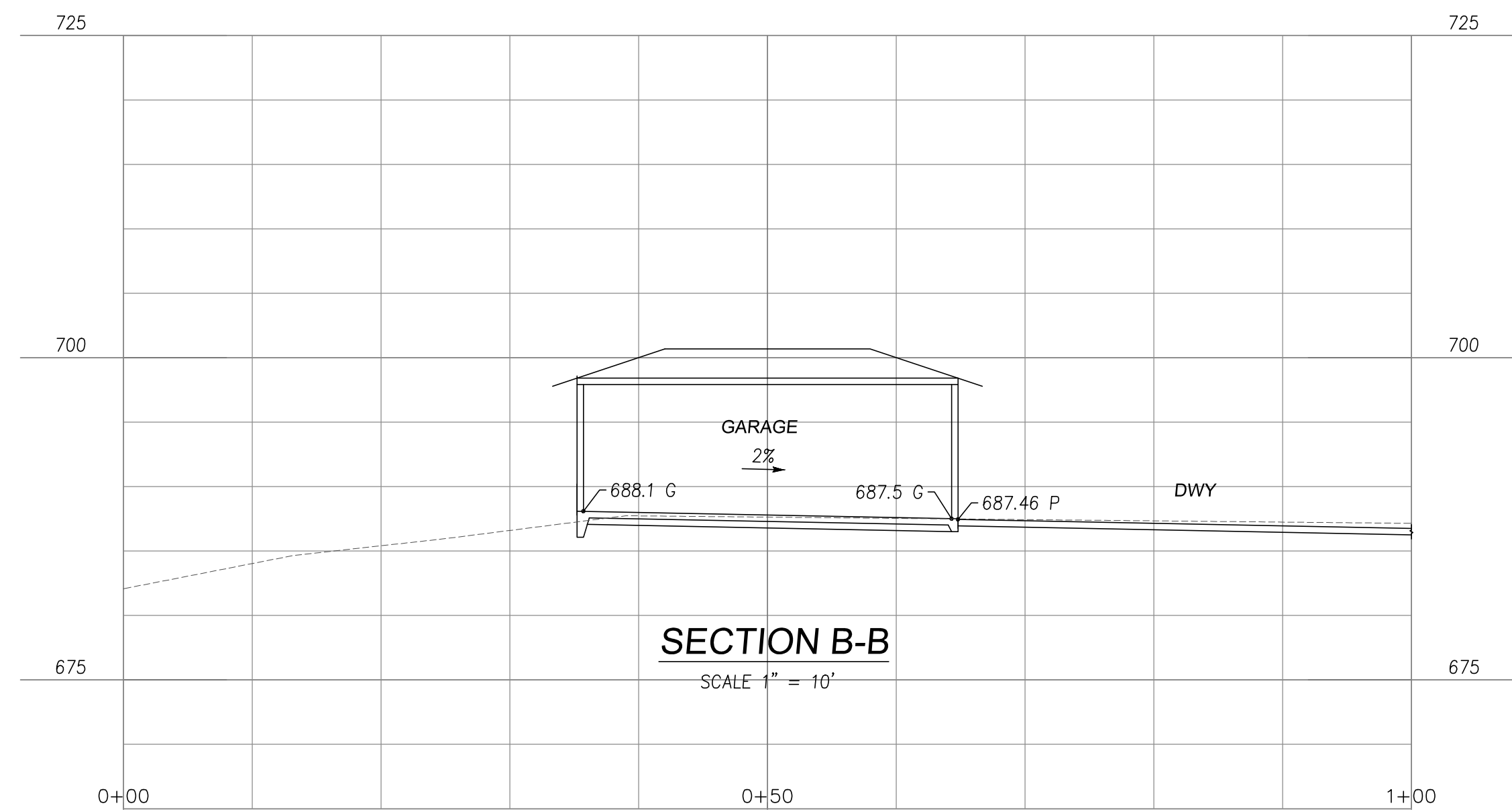




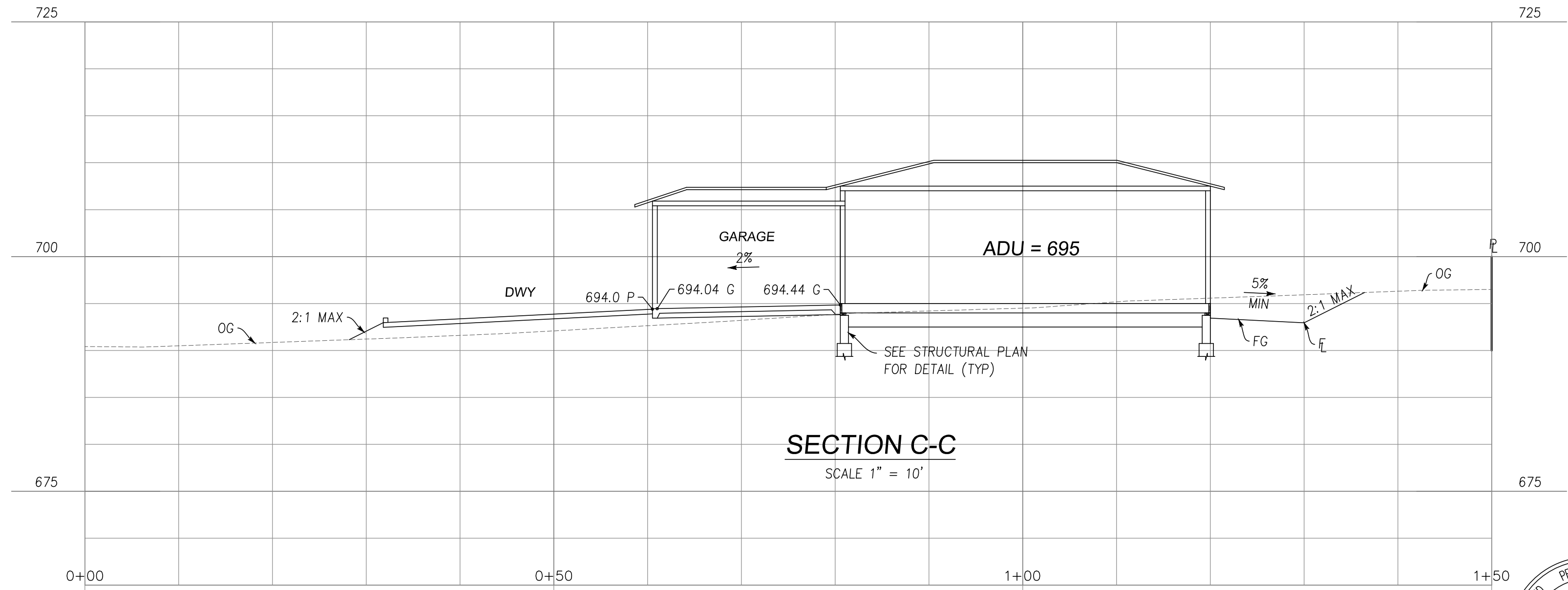
DWY PROFILE
SCALE 1" = 20'



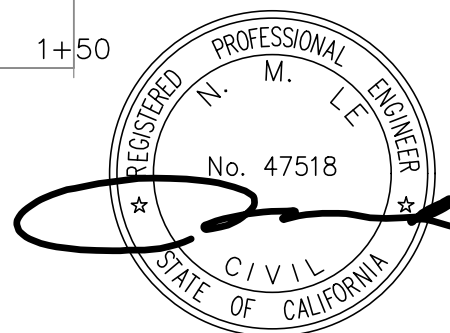
SECTION A-A



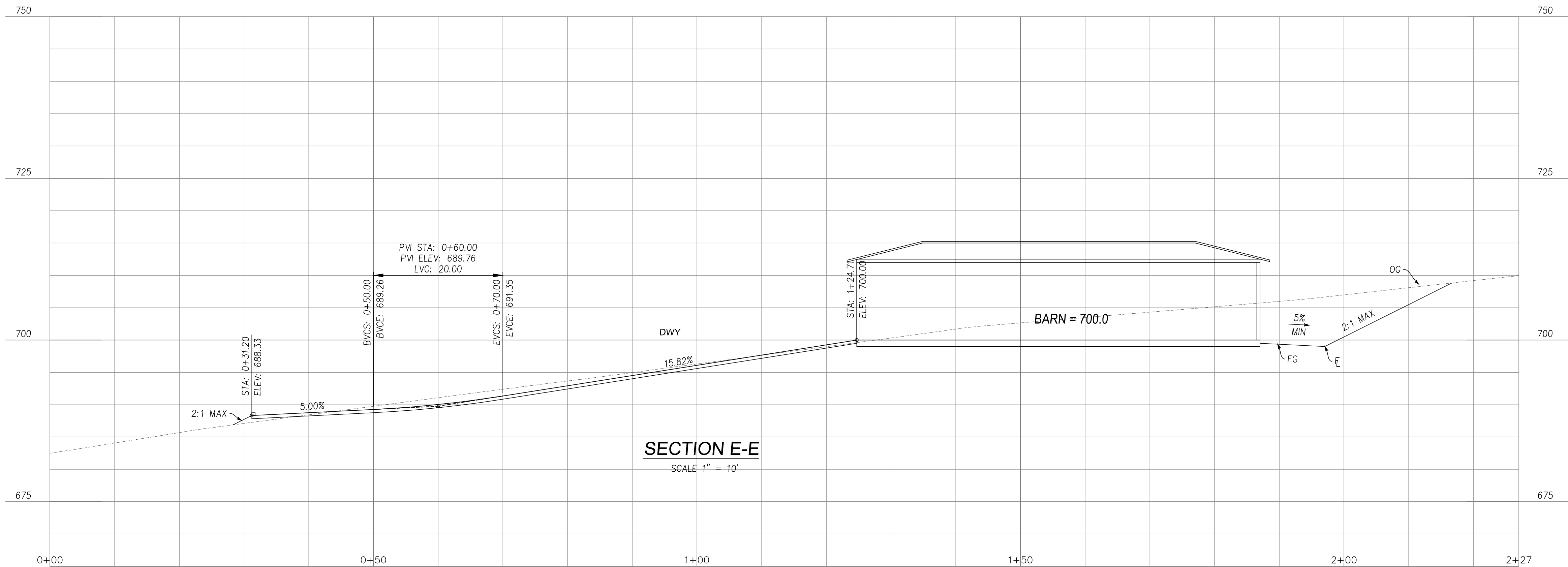
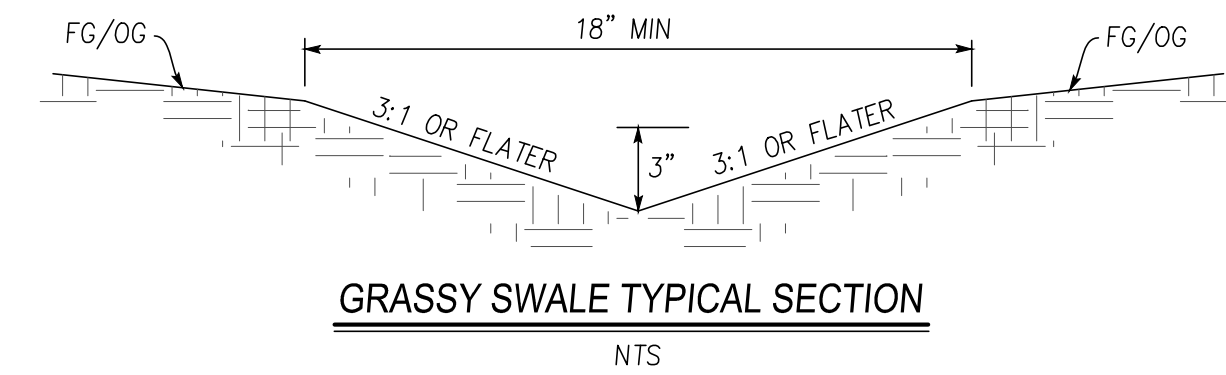
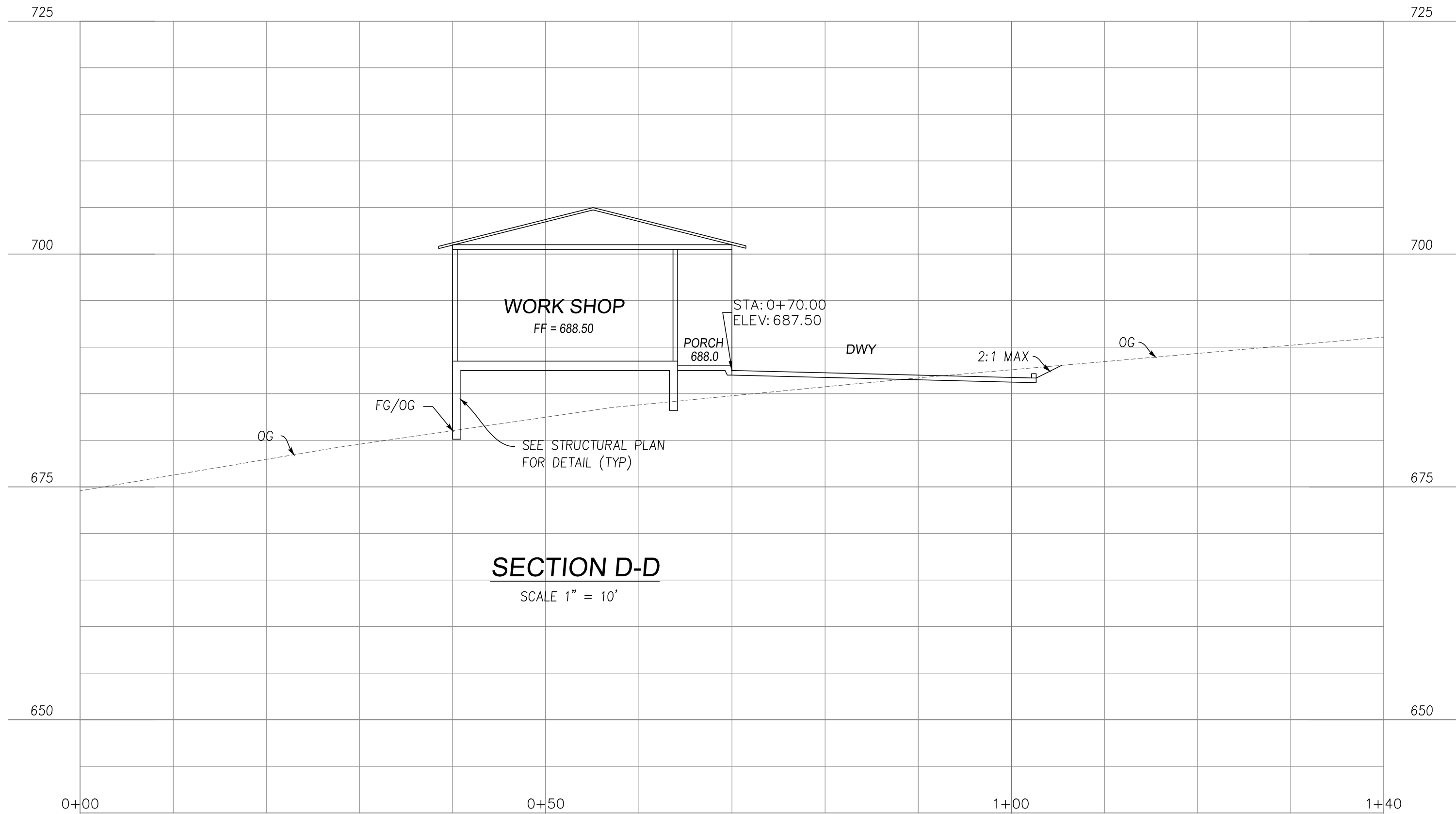
SECTION B-B
SCALE 1" = 10'



SECTION C-C
SCALE 1" = 10'

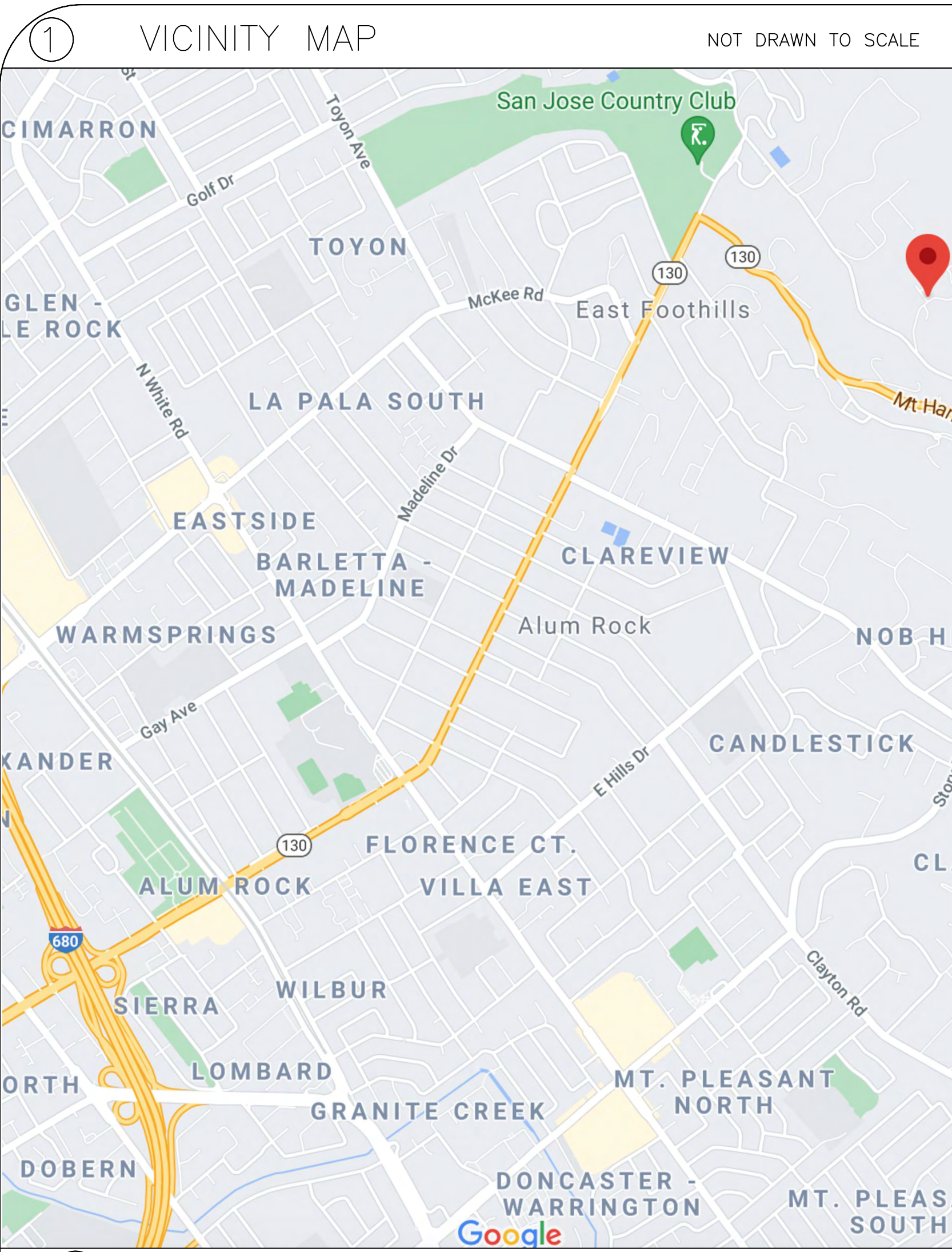


DRAWING NO.		C6		SHT NO.		6 OF 7		FILE NO.	
DRIVEWAY PROFILE & BLDG CROSS SECTIONS		LANDS OF GORDON		RICA VISTA WAY		APN 612-08-023		San Jose	
CONTRACT NO.		PROJECT NO.		California		No. 47518		REVISIONS	
BY		DATE		APP'D		NO.		REVISED	
PT		DESIGNED		DATE		PT		DRAWN	
NL		AS NOTED		SCALE		NL		CHECKED	
07/07/21		07/07/21		07/07/21		07/07/21		07/07/21	
598 E Santa Clara St #270		San Jose, CA 95112		Phone: (408) 806-7187		Fax: (408) 583-4006		ENGINEERING	
598 E Santa Clara St #270		San Jose, CA 95112		Phone: (408) 806-7187		Fax: (408) 583-4006		ENGINEERING	



DRAWING NO.		PROJECT NO.		CONTRACT NO.		FILE NO.	
C7		7 OF 7		San Jose		California	
BLDG CROSS SECTIONS		LANDS OF GORDON		RICA VISTA WAY		APN 612-08-023	
PT DESIGNED		PT DRAWN		SCALE		CHECKED	
07/07/21		07/07/21		1" = 10'		07/07/21	
DATE		DATE		DATE		DATE	
BY		APP'D		REVISIONS		NO.	

LC ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006



⑥ GENERAL NOTES

1.CONTRACTOR AND SUB CONTRACTOR SHALL VERIFY ALL TRADES, DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH JOB AND SHALL NOTIFY THE DESIGNER, ENGINEER IMMEDIATELY IN THE EVENT OF DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE DRAWINGS.

2.THE DRAWING AND SPECIFICATIONS ARE PREPARED FROM INFORMATION PROVIDED BY CLIENT/OWNER. THE DESIGNER/ENGINEER HAS MADE EVERY EFFORT TO MAINTAIN A HIGH STANDARD OF ACCURACY. SHOULD A DISCREPANCIES ARISE BETWEEN DRAWINGS AND FIELD CONDITIONS, IT SHALL BE BROUGHT TO ATTENTION OF GENERAL CONTRACTOR AND TO DESIGNER/ENGINEER FOR CLARIFICATION PRIOR TO CONTINUING WITH THE WORK. DESIGNER/ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR WORK THAT DIFFERS FROM THAT SHOWN ON, OR FOR WORK NOT PERFORMED IN A GOOD WORKMANSHIP MANNER.

3.DO NOT SCALE THE DRAWING. IF NEEDED, CONSULT DESIGNER/ENGINEER FOR CLARIFICATION.

4.IN THE ABSENCE OF ANY MATERIAL DESCRIPTION IN PART OF WHOLE, THE CONTRACTOR SHALL FINISH AND INSTALL ALL COMPONENTS NECESSARY FOR COMPLETION. OF THE WORK IN EQUIVALENT QUALITY OF SPECIFIED CONSTRUCTION TO THE SATISFACTION OF THE OWNER, DESIGNER/ENGINEER.

5.CONTRACTOR SHALL VERIFY EXISTING CONDITIONS INCLUDING NOT LIMITED TO STRUCTURAL, FOUNDATION, ELECTRICAL, MECHANICAL AND PLUMBING REQUIREMENTS PRIOR TO THE START OF THE JOB.

6.ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF APPLICABLE CODES, AND ALL LOCAL ORDINANCES.

7.DUCT EXTENSION OF 40’ OR MORE REQUIRES HERS VERIFICATION.

8.LEAD SAFE WORK PRACTICES RE REQUIRED BY STATE OF CALIFORNIA LAW FOR ALL WORK THAT DISTURBS PAINT IN PRE-1978 RESIDENTIAL BUILDINGS DUE TO THE POSSIBLE PRESENCE OF LEAD-BASED PAINT. AS F APRIL 22, 2010, THE US ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIRES ALL WORKERS WHO DISTURB PAINTED SURFACES TO BE RAINED AND ALL FIRMS TO BE EPA CERTIFIED IN LEAD SAFETY. FOR MORE INFORMATION, CONTACT EPA AT WWW.EPA.GOV/LEAD

*AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGC 4.410.1

*UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE.

*ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGC 4.406.1

*AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST OR DEBRIS, WHICH MAY ENTER THE SYSTEM PER CGC 4.504.1.

*EXHAUST FANS, WHICH ARE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, SHALL BE PROVIDED IN EVERY BATHROOM PER CGC 4.506.1.

HEATING AND AIR-CONDITIONING SYSTEM SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

1. HEAT LOSS/HEAT GAIN VALUES IN ACCORDANCE WITH ANSI/ACCA 2 MANUAL J-2004 OR EQUIVALENT;

2. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1, MANUAL D-2009 OR EQUIVALENT;

3. SELECT HEATING AND COOLING EQUIPMENT IN ACCORDANCE WITH ANSI/ACCA 3, MANUAL S-2004 OR EQUIVALENT.

4. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT BY A RECOGNIZE TRAINING OR CERTIFICATION PROGRAM PER CGC 702.1.

② PROJECT DESCRIPTION

1. <u>WORKSHOP DETACHED</u>	
ENCLOSED	784
NOTE: INCLUDES AREA OVER 15’ IN HEIGHT	
OTHER COVERED AREA	156 SQ FT
TOTAL BUILDING AREA	997 SQ FT
2. <u>DETACHED 5 CAR GARAGE</u>	
ENCLOSED	1,994 SQ FT
OTHER COVERED AREA	114 SQ FT
TOTAL BUILDING AREA	2,108 SQ FT
3. <u>BARN DETACHED</u>	
ENCLOSED	2,000 SQ FT
OTHER COVERED AREA	1,631 SQ FT
TOTAL BUILDING AREA	3,631 SQ FT
4. <u>DETACHED ADU</u>	
HABITABLE	1,200 SQ FT
ENCLOSE (GARAGE)	400 SQ FT
OTHER COVERED PATIO	390 SQ FT
TOTAL BUILDING AREA	1,990 SQ FT
5. <u>CUSTOM 2 STORY HOME WITH BASEMENT</u>	
-FIRST FLOOR	
HABITABLE AREA	2,178 SQ FT
NON HABITABLE, COVERED AREA	3,010 SQ FT
-SECOND FLOOR	
HABITABLE AREA	2,768 SQ FT
NON HABITABLE, COVERED AREA	1,110 SQ FT
NON HABITABLE, UNCOVERED AREA	677 SQ FT
-BASEMENT BELOW GRADE	
NOTE: JADU INCLUDED IN SQ FT	430 SQ FT
HABITABLE AREA	1,941 SQ FT
NON HABITABLE, UTILITY ROOM	298 SQ FT
NON HABITABLE, LIGHT WELL	677 SQ FT
LIVABLE AREA ABOVE GRADE	4,946 SQ FT
ALL HABITABLE AREA	6,887 SQ FT
FIRST FLOOR LOT COVERAGE	5,188 SQ FT
SECOND FLOOR LOT COVERAGE	4,555 SQ FT
BASEMENT LOT COVERAGE	2,463 SQ FT

NOTE: ALL HUMAN HABITABLE AREA TO BE LOCATED WITHIN THE GEOLOGIC HAZARD AREA LIMIT. (SAFE BUILDING ENVELOPE). FROM GEOTECHNICAL REPORT DATED JUNE 29TH PER ASSOCIATED TERRA CONSULTANTS, INC.

③ SCOPE OF WORK

STRUCTURE ONE
-NON HABITABLE (WORKSHOP)
*WITH 1/2 BATH
STRUCTURE TWO
-NON HABITABLE<DETACHED 5 CAR GARAGE>
*2 SINGLE GARAGE
*3 CAR COMBINED
STRUCTURE THREE
-NON HABITABLE (BARN)
*7 HORSE STALLS
*FULL BATH
*7 EXTERIOR COVERED AREAS FOR HORSES
STRUCTURE FOUR
DETACHED ADU WITH GARAGE
*2 BEDROOM
*2 BATH
*LAUNDRY ROOM
*GREAT ROOM/KITCHEN
*FAMILY ROOM
STRUCTURE FIVE
MAIN HOUSE
-FLOOR 1
*1 BEDROOM
*1.5 BATH
*STACKABLE LAUNDRY CABINET
*KITCHEN/BREAKFAST
NOOK/FAMILY ROOM
*LIVING ROOM
*DINING ROOM
*PANTRY
*GRAND ENTRY
*OUTDOOR COVERED PATIO AREA
*OUTDOOR KITCHEN AREA
-BASEMENT
*JADU (SHARING HALL RESTROOM)
*LAUNDRY ROOM
* 3 BEDROOMS
* 2.5 BATH
*GAME ROOM
*UTILITY ROOM
*LIGHT WELL
-SECOND FLOOR
*5 BEDROOMS
*5 BATH
*OFFICE
*LAUNDRY ROOM
*COVERED BALCONY
*UNCOVERED BALCONY

⑧ APPLICABLE CODES

-2019 CBC, CMC, CPC, CEC
-2019 CALIFORNIA RESIDENTIAL CODES
-2019 INTERNATIONAL BUILDING CODE
-2019 CALIFORNIA ENERGY CODE
-2019 CALIFORNIA GREEN BUILDING STANDARDS
-2019 COUNTY OF SANTA CLARA MUNI. CODE
-2019 CALIFORNIA RESIDENTIAL CODE
-2019 CALIFORNIA FIRE CODE

⑧ DEFERRALS

-FIRE
FIRE SPRINKLERS
SPRINKLER IS REQUIRED FOR A NEW RESIDENCE CONSTRUCTION. PROVIDE RELATED DRAWINGS TO THE FIRE DEPARTMENT FOR REVIEW 7 APPROVAL.
-STRUCTURAL ENGINEERING
-TITLE 24

④ DRAWING INDEX

A1.0	TITLE PAGE
A1.1	SITE PLAN
A1.2	3D OF MAIN HOUSE
A2.0	MATERIALS
A2.1	BLOCK DIAGRAM
A2.1	WORKSHOP, DETACHED GARAGE
A2.1	BARN, DETACHED ADU
A2.1	BLOCK DIAGRAM
A2.1	MAIN HOUSE FLOOR 1
A2.1	BLOCK DIAGRAM
A2.1	MAIN HOUSE BASEMENT
A2.2	BLOCK DIAGRAM
A2.2	MAIN HOUSE FLOOR 2
A3.0	WORKSHOP
A3.0	FLOOR PLAN, ROOF PLAN
A3.0	ELEVATIONS, SECTION
A4.0	DETACHED 5 CAR GARAGE
A4.0	FLOOR PLAN, ROOF PLAN, SECTION
A4.1	DETACHED 5 CAR GARAGE
A4.1	ELEVATIONS
A5.0	BARN
A5.0	FLOOR PLAN
A5.1	BARN
A5.1	ROOF PLAN
A5.2	BARN
A5.2	ELEVATIONS
A6.0	DETACHED ADU
A6.0	FLOOR PLAN, ELEVATION
A6.1	DETACHED ADU
A6.1	ROOF PLAN, ELEVATION
A6.2	DETACHED ADU
A6.2	ELEVATIONS, SECTIONS
A7.0	MAIN HOUSE
A7.0	FIRST FLOOR
A7.1	MAIN HOUSE
A7.1	BASEMENT
A7.2	MAIN HOUSE
A7.2	SECOND FLOOR
A7.3	MAIN HOUSE
A7.3	ROOF PLAN
A7.4	MAIN HOUSE
A7.4	ELEVATIONS
A7.5	MAIN HOUSE
A7.5	ELEVATIONS
	TOPO SURVEY
	TOPO SURVEY OF BUILDING AREA

⑤ PROJECT TEAM

HOME OWNER
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127
DESIGNER
AIASSA DESIGNERS
JEANNIE KESTER
(408) 230-2989
JAIASSA@YAHOO.COM
CIVIL ENGINEER
SEPTIC DESIGN
LE ENGINEERING
598 E. SANTA CLARA ST. #270
SAN JOSE, CA. 95112
(408) 806-7187
TITLE 24
TBD
FIRE SPRINKLERS
TBD
STRUCTURAL ENGINEER
TBD

No.	Revision/Issue	Date

ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

TITLE PAGE

Designer Name and Address

JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Client Name and Address

KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project	CUSTOM HOME	Sheet
Date	06-10-2021	A1.0
Scale	VARIES	

CUSTOM LAND
0 RICA VISTA WAY
SAN JOSE, CA. 95127

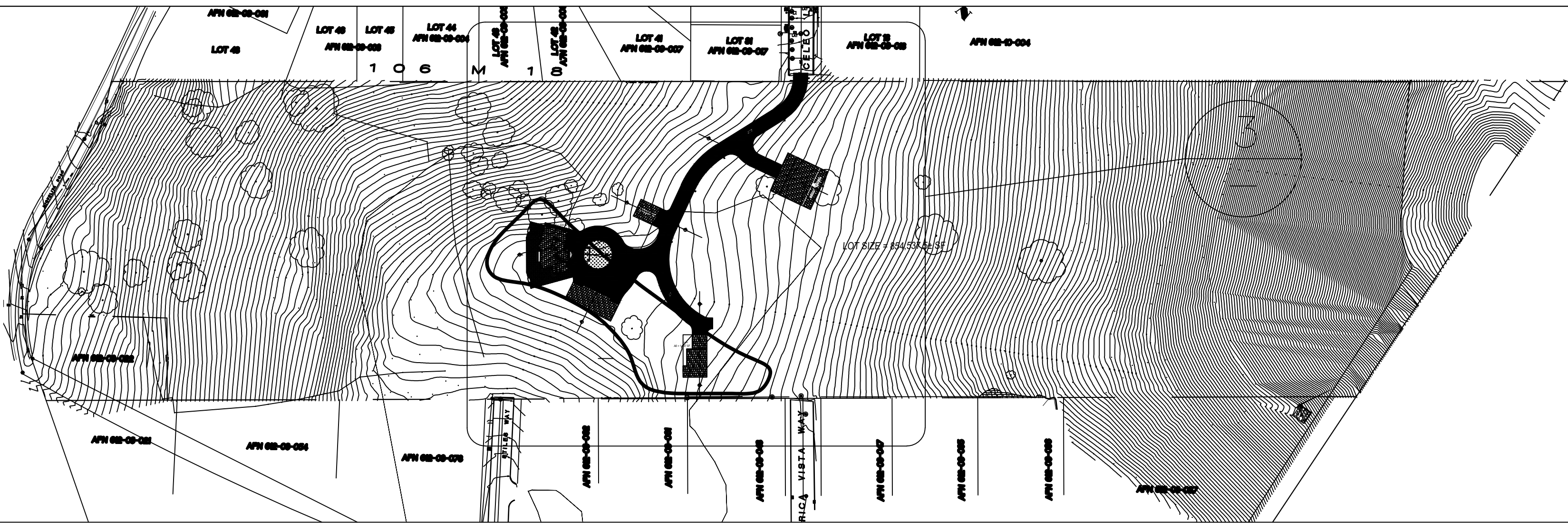
①

SITE PLAN

SCALE 1/128"=1'-0"

②

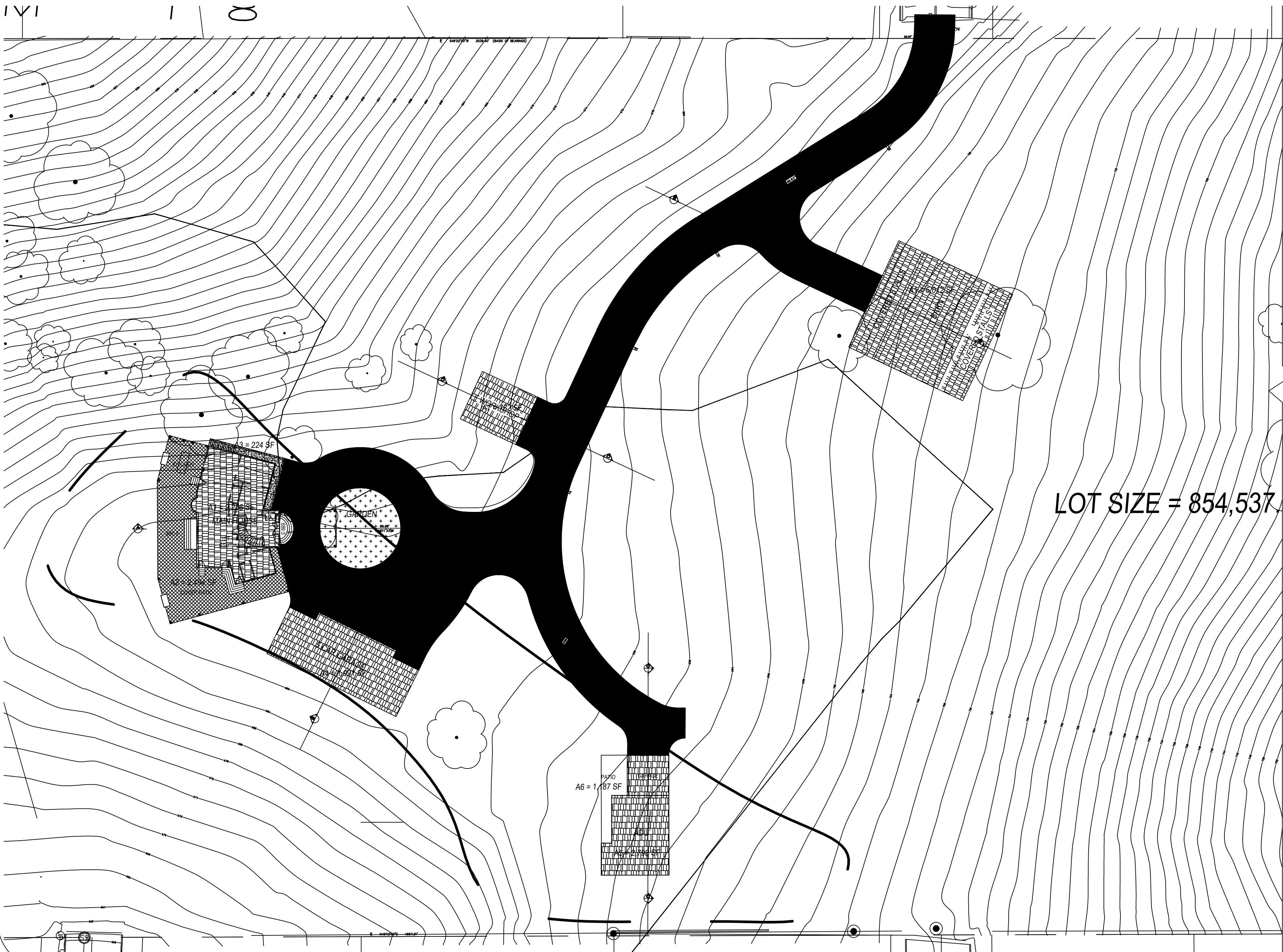
X



③

EXPANDED SITE PLAN

SCALE 1/32"=1'-0"



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

SITE PLAN

Designer Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Jeannie Kester

Project Name and Address
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME
Date
06-10-2021
Scale
VARIES

Sheet
A1.1

① MAIN HOUSE FRONT ELEVATION

N.D.T.S.



③ MAIN HOUSE REAR ELEVATION

N.D.T.S.



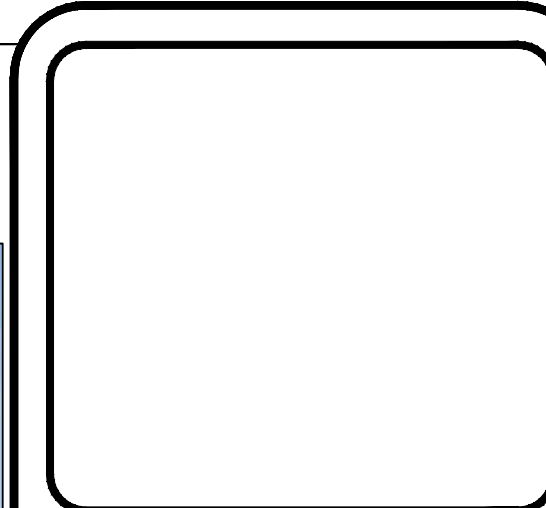
② MAIN HOUSE LEFT ELEVATION

N.D.T.S.



④ MAIN HOUSE RIGHT ELEVATION

N.D.T.S.



No.	Revision/Issue	Date

ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

MAIN HOUSE 3D

Designer Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Jeannie Kester

Project Name and Address
O RICA VISTA WAY
SAN JOSE, CA. 95127

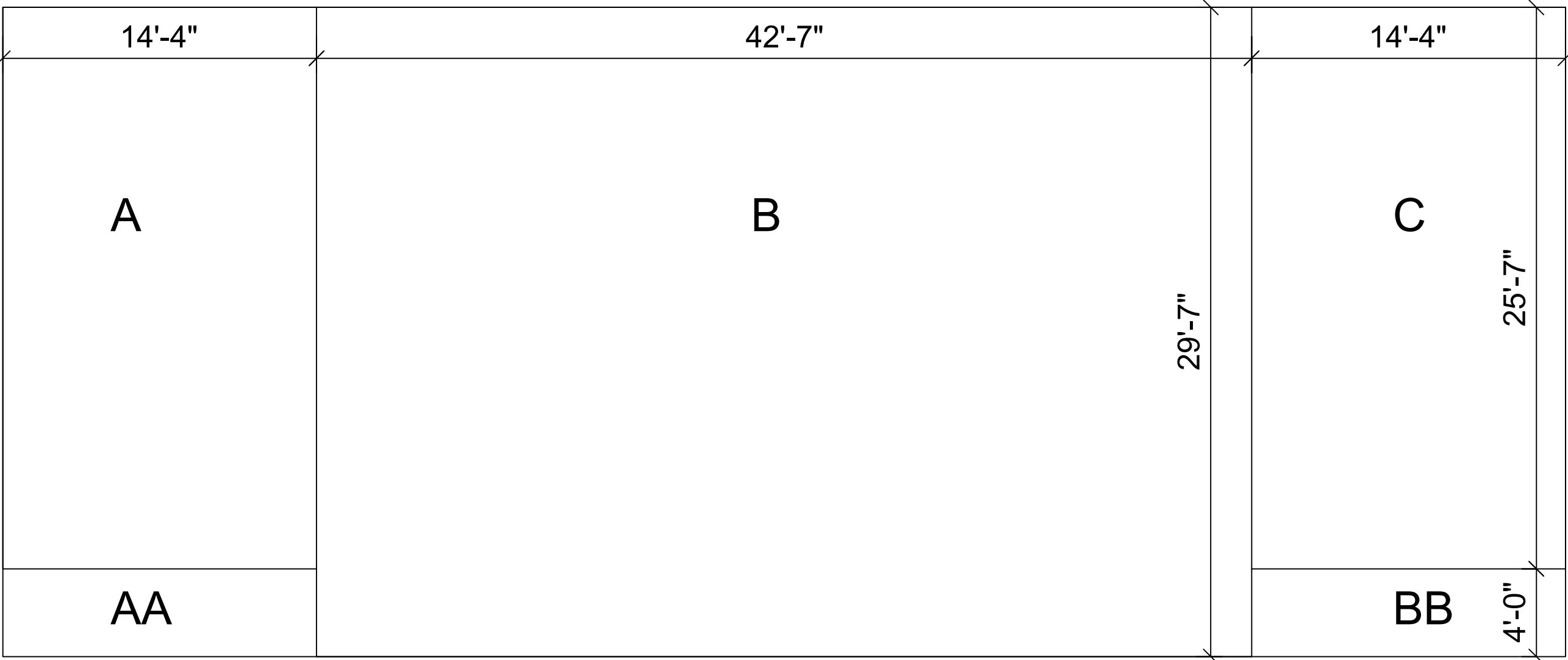
Project CUSTOM HOME	Sheet
Date 06-10-2021	A1.2
Scale VARIES	

① CALCULATIONS

AREA	DIM.	SQ FT	HABITABLE	ENCLOSED	COVERED AREA
DETACHED ADU					
A	5'-1"X15'-11"	81	X		
B	28'-4"X39'-6"	1119	X		
C	20'-0"X20'-0"	400		X	
AA	5'-1"X23'-7"	120			X
BB	13'-6"X20'-0"	270			X
TOTAL		1,990	1,200	400	390
5 CAR DETACHED GARAGE					
A	14'-4"X25'-7"	367		X	
B	29'-7"X42'-7"	1260		X	
C	14'-4"X25'-7"	367		X	
AA	4'-0"X14'-4"	57			X
BB	4'-0"X14'-4"	57			X
TOTAL		2108		1994	114
WORKSHOP DETACHED					
A	8'-8"X25'-11"	225		X	
*B	8'-2"X25'-11"	202		X	
C	7'-5"X 25'-11"	192		X	
AA	6'-0"X25'-11"	156			X
TOTAL		997		784	156
*AREA COUNTED TWICE AFTER 15' BARN					
A	14'X58'-3"	815.5			X
B	34'-4"X58'-3"	2000		X	
C	14'X58'-3"	815.5			X
TOTAL		3,631		2000	1631

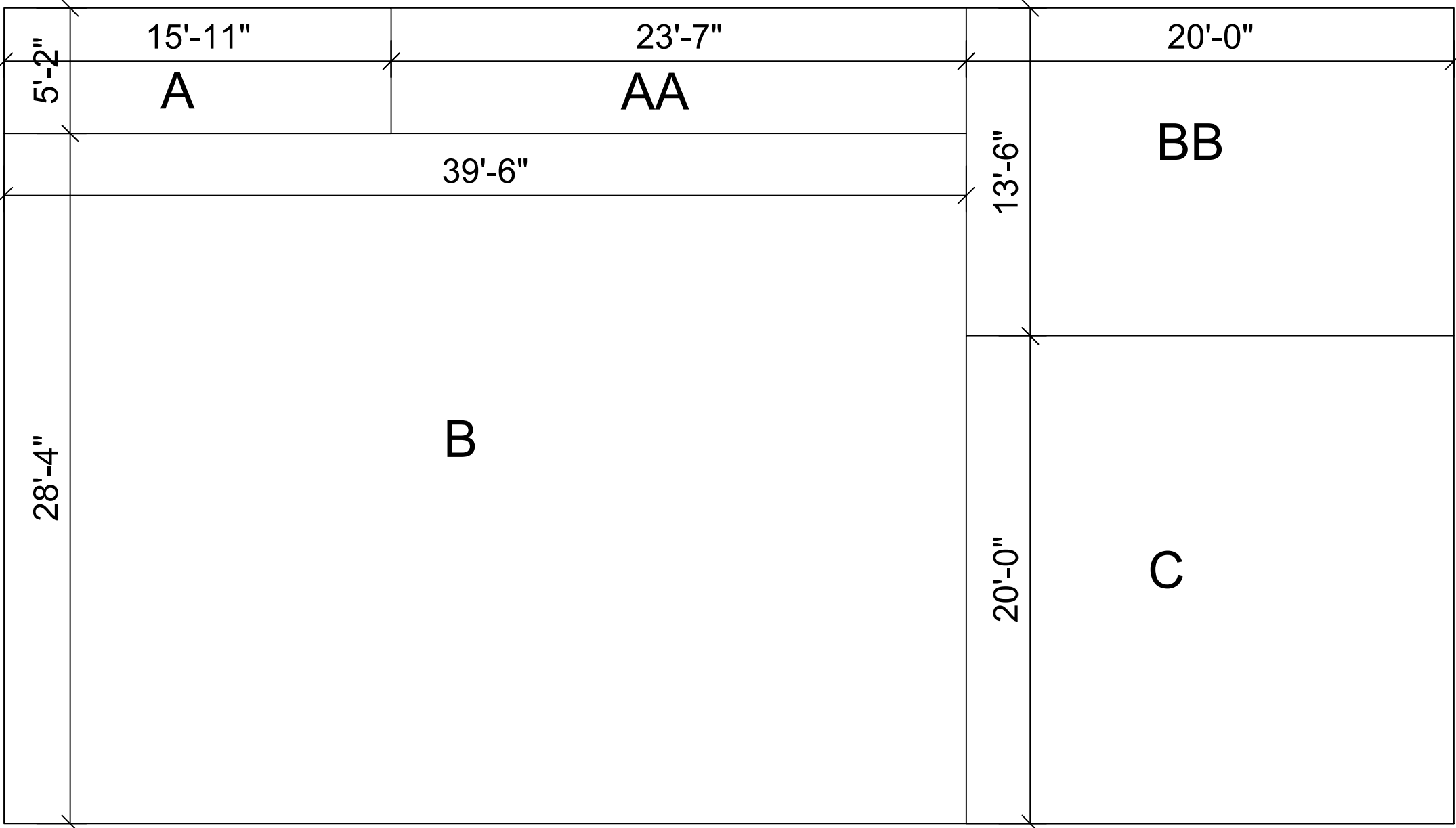
⑤ X

⑦ 5 CAR DETACHED GARAGE



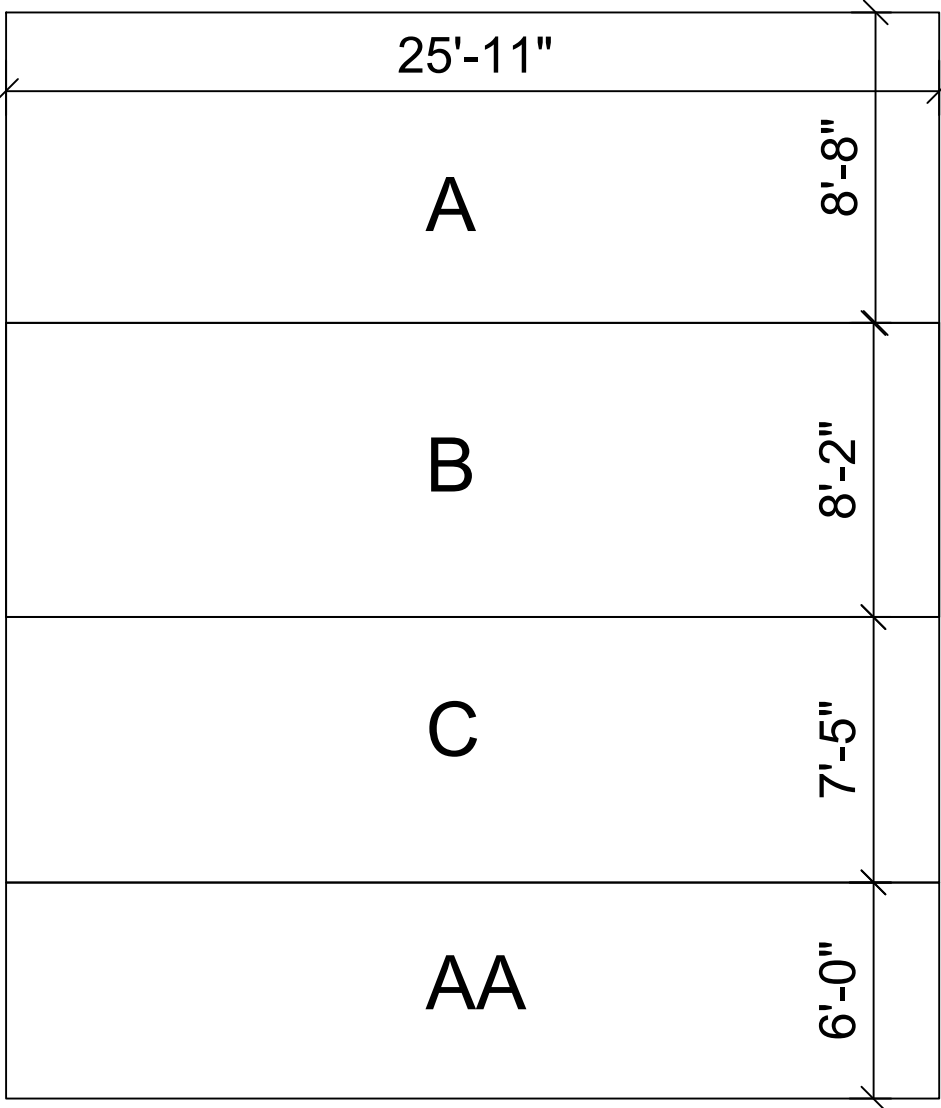
② DETACHED ADU

SCALE 3/16=1'-0"



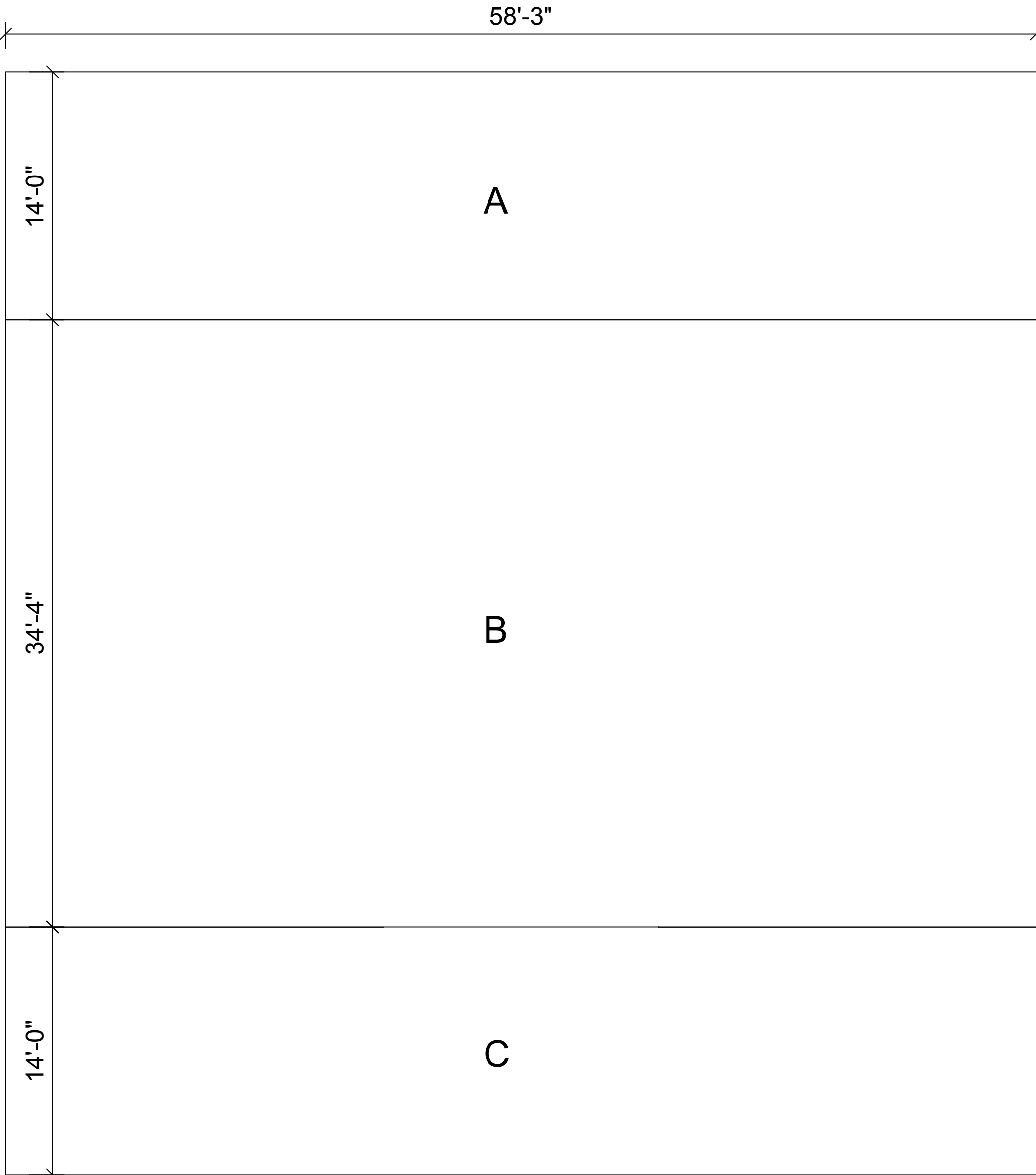
③ WORKSHOP

SCALE 3/16=1'-0"



④ BARN

SCALE 3/16=1'-0"



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

BLOCK
DIAGRAM

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME
Date
06-10-2021
Scale
3/16" = 1'-0"

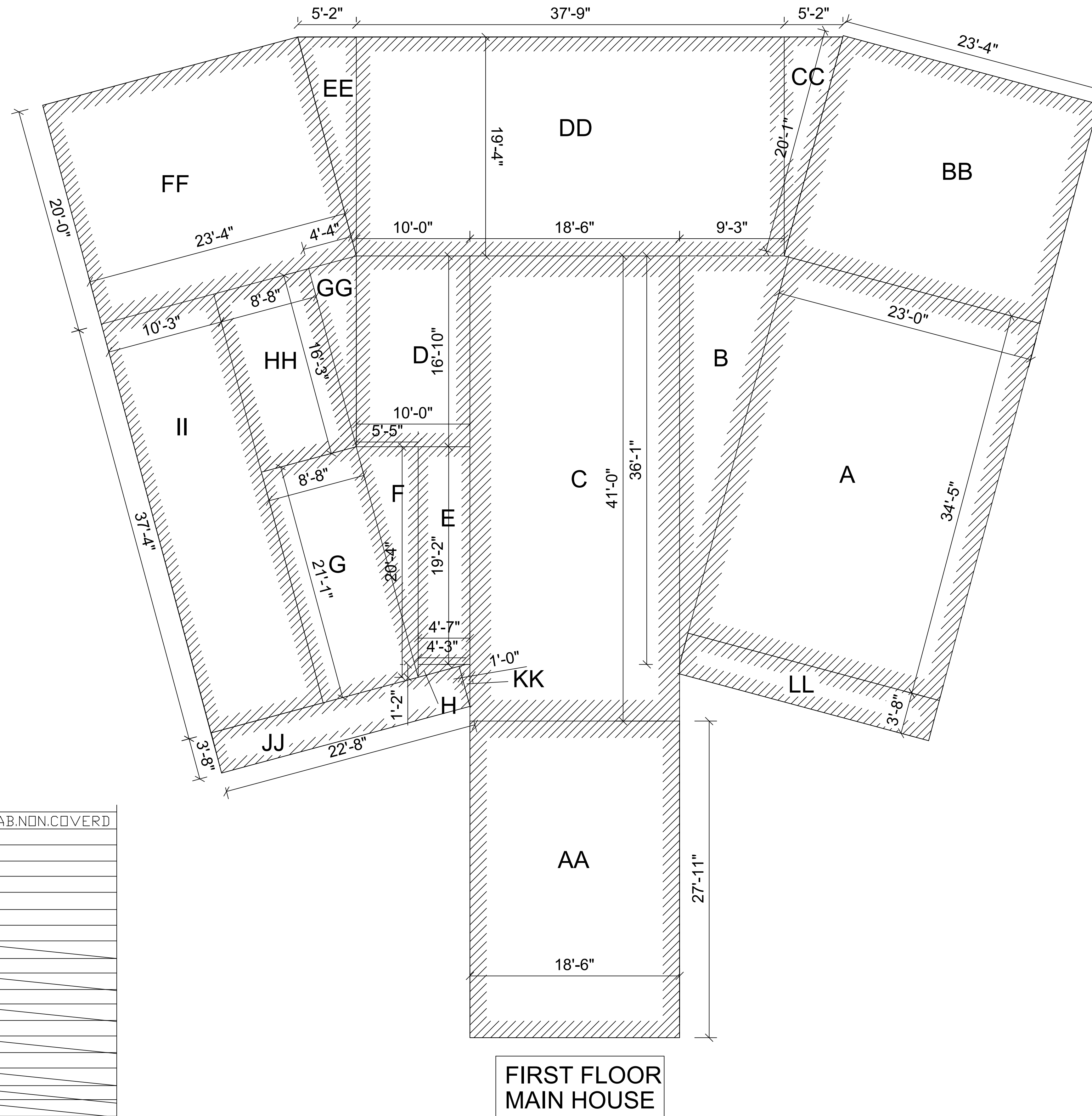
Sheet
A2.0

① CALCULATIONS

② FIRST FLOOR MAIN HOUSE

SCALE 3/16=1'-0"

AREA	DIM.	SQ FT	HABITABLE	ENCLOSED	COVERED AREA
MAIN HOUSE					
FIRST FLOOR					
HABITABLE LIVING AREA					
A	23'-0"X34'-5"	757	X		
B	9'-3"X36'-1"/2	167	X		
C	18'-6"X41'-0"	759	X		
D	10'-0"X16'-10"	168	X		
E	4'-7"X19'-2"	88	X		
F	5'-5"X20'-4"/2	55	X		
G	8'-8"X21'-1"	182	X		
H	1'-2"X4'-3"/2	2	X		
TOTAL		2,178			
COVERED PATIOS/ENTRY					
AA	18'-6"X27'-11"	516			X
BB	20'-0"X23'-4"	467			X
CC	5'-2"X19'-4"/2	50			X
DD	19'-4"X37'-9"	730			X
EE	5'-2"X19'-4"/2	50			X
FF	20'-0"X23'-4"	467			X
GG	4'-4"X16'-10"/2	37			X
HH	8'-8"X16'-3"	141			X
II	10'-3"X37'-4"	383			X
JJ	3'-8"X22'-8"	83			X
KK	1'-0"X3'-8"/2	2			X
LL	3'-8"X23'-0"	84			X
TOTAL		3,010			
TOTAL FLOOR AREA		5,188			



MAIN HOUSE	HABITABLE	NON.HAB.ENCLOSED	NON.HAB.COVERED	NON.HAB.NON.COVERD
FIRST FLOOR	2,178*		3,010	
SECOND FLOOR	2,768*		1,110	677
BASEMENT	1,941	298		224#
*LIVABLE AREA ABOVE GRADE		4,946 SQ FT		
ALL HABITABLE AREA		6,887 SQ FT		
FIRST FLOOR LOT COVERAGE		5,188 SQ FT		
SECOND FLOOR LOT COVERAGE		4,555 SQ FT		
BASEMENT LOT COVERAGE		2,463		
(JADU 430 SQ FT)				
#244 SQ FT LIGHT WELL				

No.	Revision/Issue	Date

No.	Revision/Issue	Date

ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

BLOCK
DIAGRAM

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Jeannie Kester

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project	CUSTOM HOME	Sheet
Date	06-10-2021	A2.1
Scale	3/16" = 1'-0"	

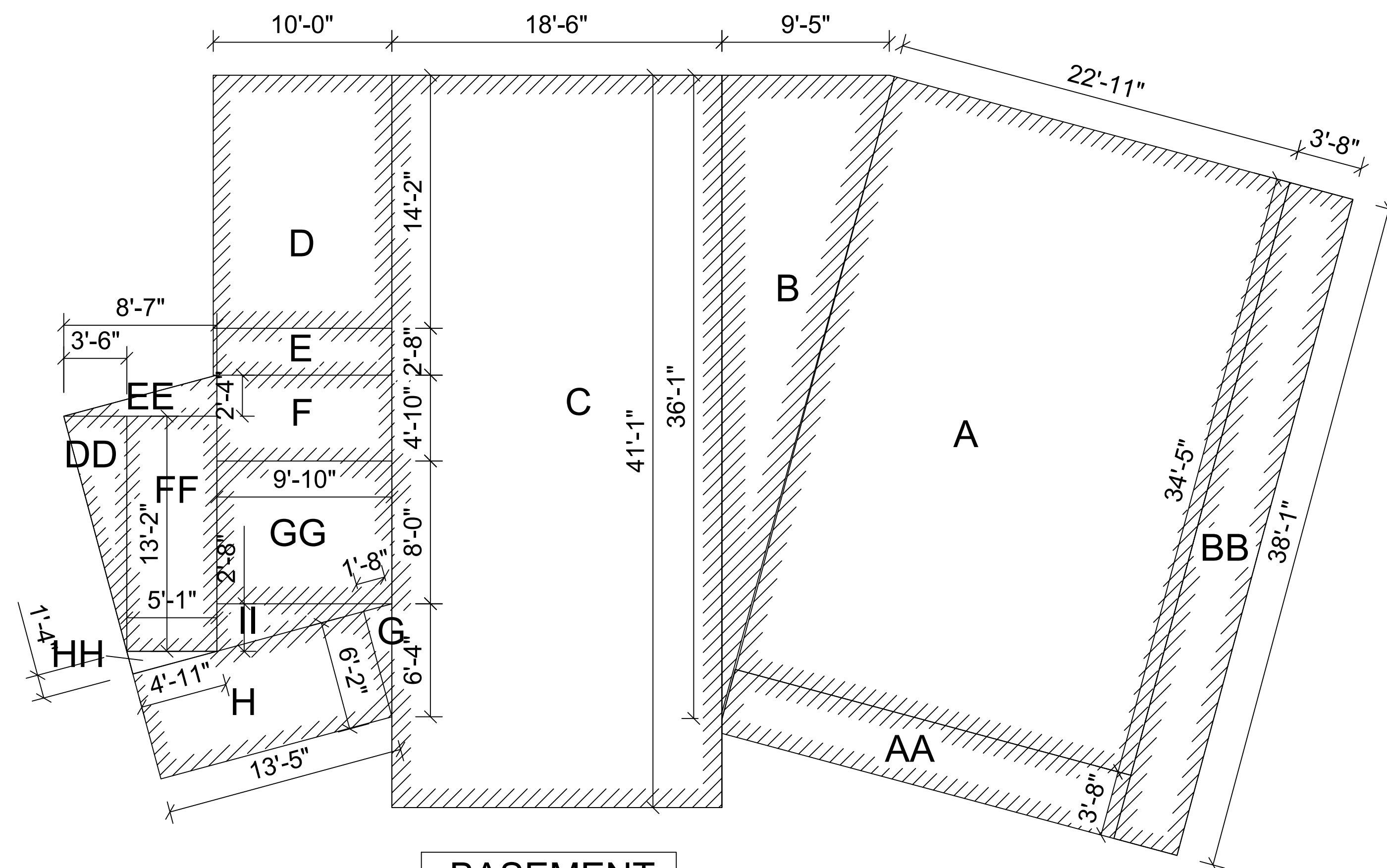
① CALCULATIONS

AREA	DIM.	SQ FT	HABITABLE	ENCLOSED	COVERED AREA
MAIN HOUSE					
BASEMENT					
HABITABLE					
A	22'-11"X34'-5"	789	X		
B	9'-5"X36'-1"/2	170	X		
C	18'-6"X41'-1"	760	X		
D	10'-0"X14'-2"	142	X		
E	2'-8"X10'-0"	27	X		
F	4'-10"X9'-10"	48	X		
G	6'-4"X1'-8"/2	5	X		
TOTAL			1,941		
LIGHT WELL/WALK					
AA	3'-8"X22'-11"	84		X	
BB	3'-8"X38'-1"	140		X	
TOTAL			224		
NON HABITABLE UTILITY					
CC	X				
DD	3'-6"X13'-2"/2	23		X	
EE	2'-4"X8'-7"/2	10		X	
FF	5'-1"X13'-2"	70		X	
GG	8'-0"X9'-10"	79		X	
HH	1'-4"X4'-11"/2	3		X	
II	2'-8"X9'-10"/2	13		X	
TOTAL			298		
TOTAL FLOOR AREA			2,463		

MAIN HOUSE	HABITABLE	NON.HAB.ENCLOSED	NON.HAB.COVERED	NON.HAB.NON.COVERD
FIRST FLOOR	2,178*		3,010	
SECOND FLOOR	2,768*		1,110	677
BASEMENT	1,941	298		224#
*LIVABLE AREA ABOVE GRADE		4,946 SQ FT		
ALL HABITABLE AREA		6,887 SQ FT		
FIRST FLOOR LOT COVERAGE		5,188 SQ FT		
SECOND FLOOR LOT COVERAGE		4,555 SQ FT		
BASEMENT LOT COVERAGE		2,463		
(JADU 430 SQ FT)				
#244 SQ FT LIGHT WELL				

② BASEMENT FLOOR MAIN HOUSE

SCALE 3/16"=1'-0"



BASEMENT
MAIN HOUSE

No.	Revision/Issue	Date

ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY
ALL CONDITIONS AND
REPORT ANY
DISCREPANCIES TO
OWNER, DESIGNER, AND
ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE
NOT TO BE USED FOR
CONSTRUCTION DRAWINGS.

BLOCK DIAGRAM

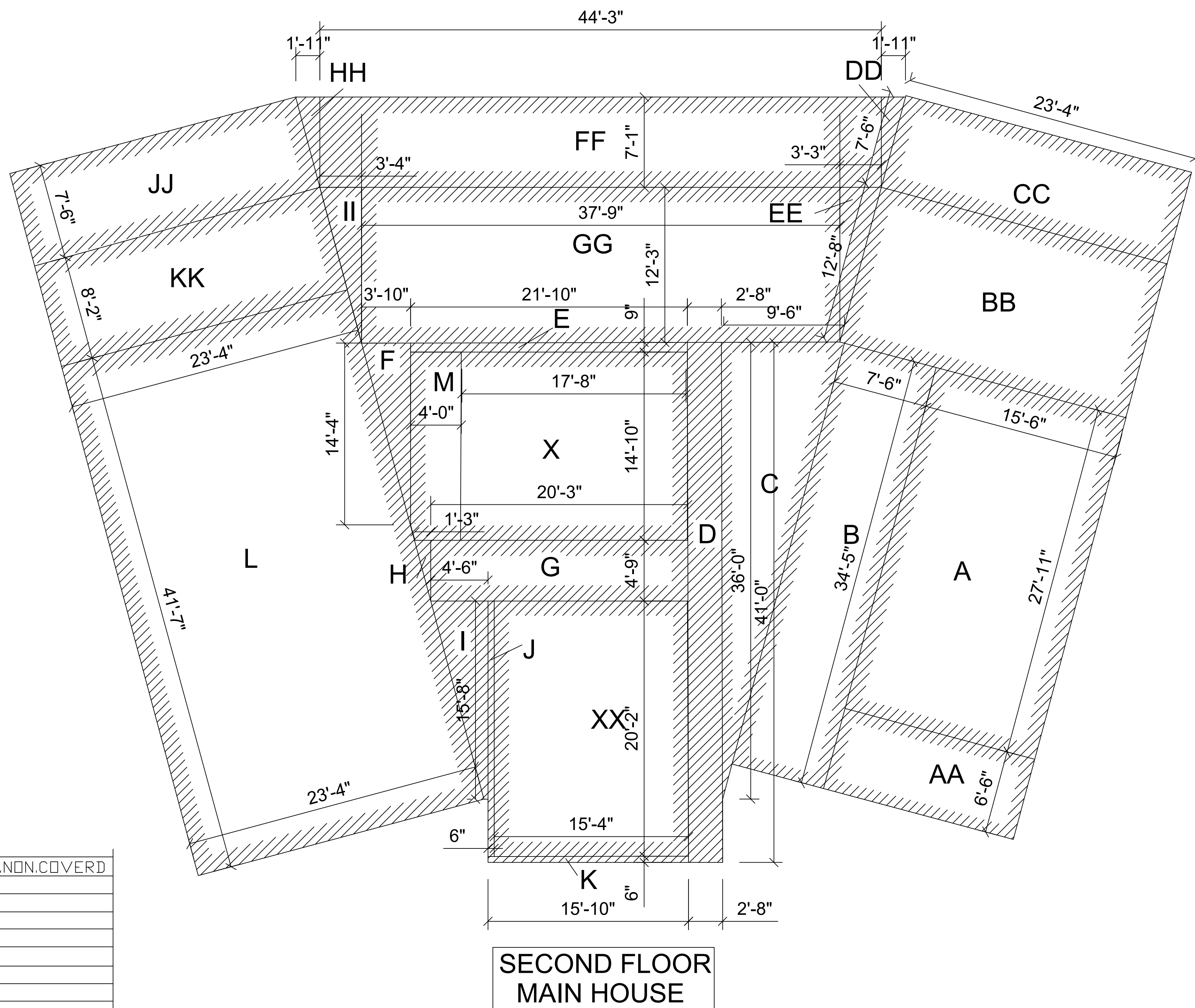
Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project CUSTOM HOME	Sheet
Date 06-10-2021	A2.2
Scale 3/16" = 1'-0"	

AREA	DIM.	SQ FT	HABITABLE	ENCLOSED	COVERED AREA
MAIN HOUSE					
SECOND FLOOR					
HABITABLE					
A	15'-6"X27'-11"	433	X		
B	7'-6"X34'-5"	258	X		
C	9'-6"X36'/2	171	X		
D	2'-8"X41'-10"	112	X		
E	9"X17'-8"	13	X		
F	3'-10"X14'-4"/2	27	X		
G	4'-9"X20'-3"	98	X		
H	1'-3"X4'-9"/2	3	X		
I	4'-6"X15'-8"/2	35	X		
J	6"X20'-2"	10	X		
K	6"X15'-10"	8	X		
L	23'-4"X41'-7"	970	X		
M	4'-0"X14'-10"	59	X		
TOTAL		2,197			
OPEN TO BELOW AREA					
X	14'-10"X17'-8"	262	X	X	
XX	15'-2"X20'-2"	309	X	X	
TOTAL		571			
TOTAL HABITABLE AREA THIS FLOOR		2768			
BALCONY AREA					
AA	6'-6"X15'-6"	101			X
BB	12'-8"X23'-4"	296			X
CC	7'-6"X23'-4"	175			-
DD	1'-11"X7'-1"/2	7			-
EE	3'-3"X12'-3"	40			X
FF	44'-3"X7'-1"	313			-
GG	12'-3"X37'-9"	462			X
HH	1'-11"X7'-1"/2	7			-
II	3'-4"X12'-3"/2	20			X
JJ	7'-6"X23'-4"	175			-
KK	8'-2"X23'-4"	191			X
TOTAL		1787			
TOTAL UNCOVERED BALCONY		677			
TOTAL FLOOR AREA		4,555			

MAIN HOUSE	HABITABLE	NON.HAB.ENCLOSED	NON.HAB.COVERED	NON.HAB.NON.COVERD
FIRST FLOOR	2,178*		3,010	
SECOND FLOOR	2,768*		1,110	677
BASEMENT	1,941	298		224#
*LIVABLE AREA ABOVE GRADE		4,946 SQ FT		
ALL HABITABLE AREA		6,887 SQ FT		
FIRST FLOOR LOT COVERAGE		5,188 SQ FT		
SECOND FLOOR LOT COVERAGE		4,555 SQ FT		
BASEMENT LOT COVERAGE		2,463		
(JADU 430 SQ FT)				
#244 SQ FT LIGHT WELL				



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

BLOCK
DIAGRAM

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

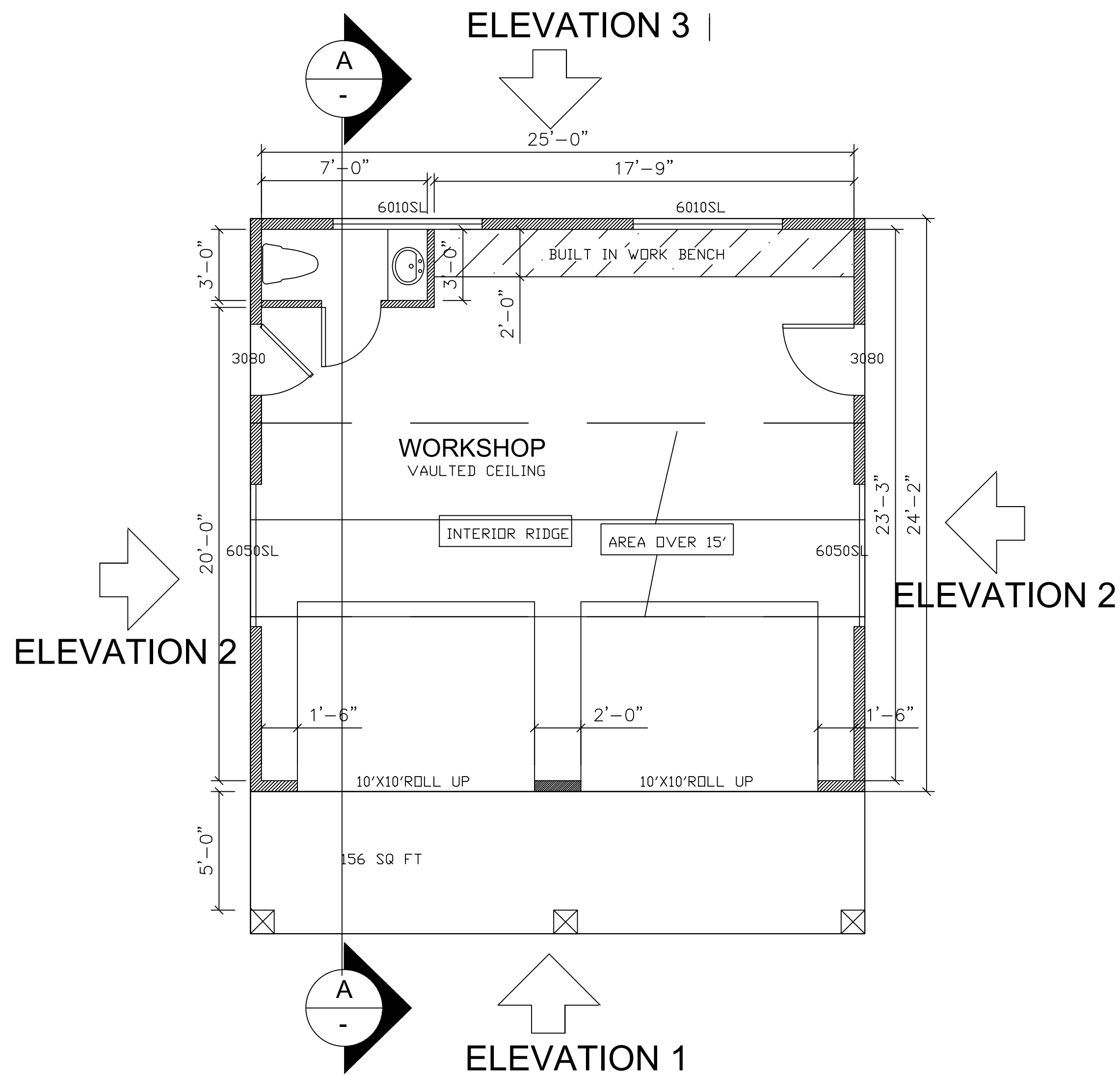
Project Name and Address
KEVIN GORDON
O RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME
Date
06-10-2021
Scale
3/16" = 1'-0"

Sheet
A2.3

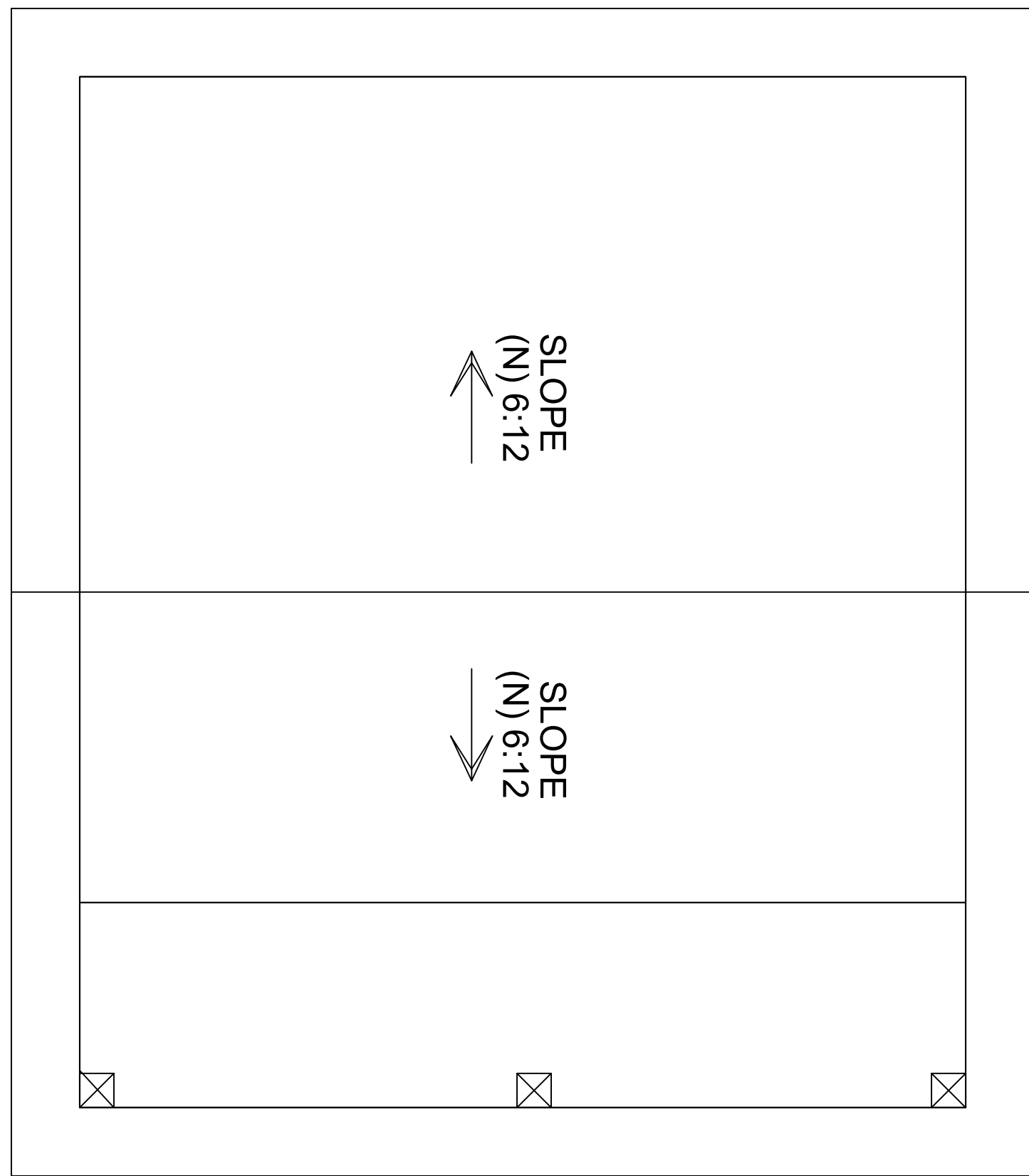
① FLOOR PLAN

SCALE 1/4"=1'-0"



② ROOF PLAN

SCALE 1/4"=1'-0"



⑤ NOTES

NOTE:
-WEATHER-RESISTIVE BARRIER FOR STUCCO WALL ASSEMBLY (CRC R703.7.3, R703.7.2, TABLE R702.1(1), CBC TABLE 1405.2 & CBC 2510.6).
-MINIMUM 7/8" THICK, 3 COATS STUCCO OVER TWO LAYERS OF GRADE D PAPER ARE REQUIRED WHEN OVER WOOD BASE SHEATHING.
-ALSO, A MINIMUM 26 GAGE CORROSION RESISTANT WEEP SCREED IS REQUIRED BELOW THE STUCCO A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA, PER CRC R703.7.2.1.

NOTE:
a. 36 INCHES MINIMUM LENGTH LANDING & MAXIMUM 2% SLOPE AT ALL EXTERIOR DOOR LOCATIONS. (CRC R311.3.3.)

b. THE LANDING AT IN-SWINGING DOORS AND DOORS OTHER THAN THE REQUIRED EGRESS SHALL NOT BE MORE THAN 7.75' BELOW THE TOP OF THE THRESHOLD, PER R311.3.2.

THE LANDING AT REQUIRED OUT-SWINGING DOOR AND AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1.5' LOWER THAN THE TOP OF THE THRESHOLD, PER CRC R311.3.1.

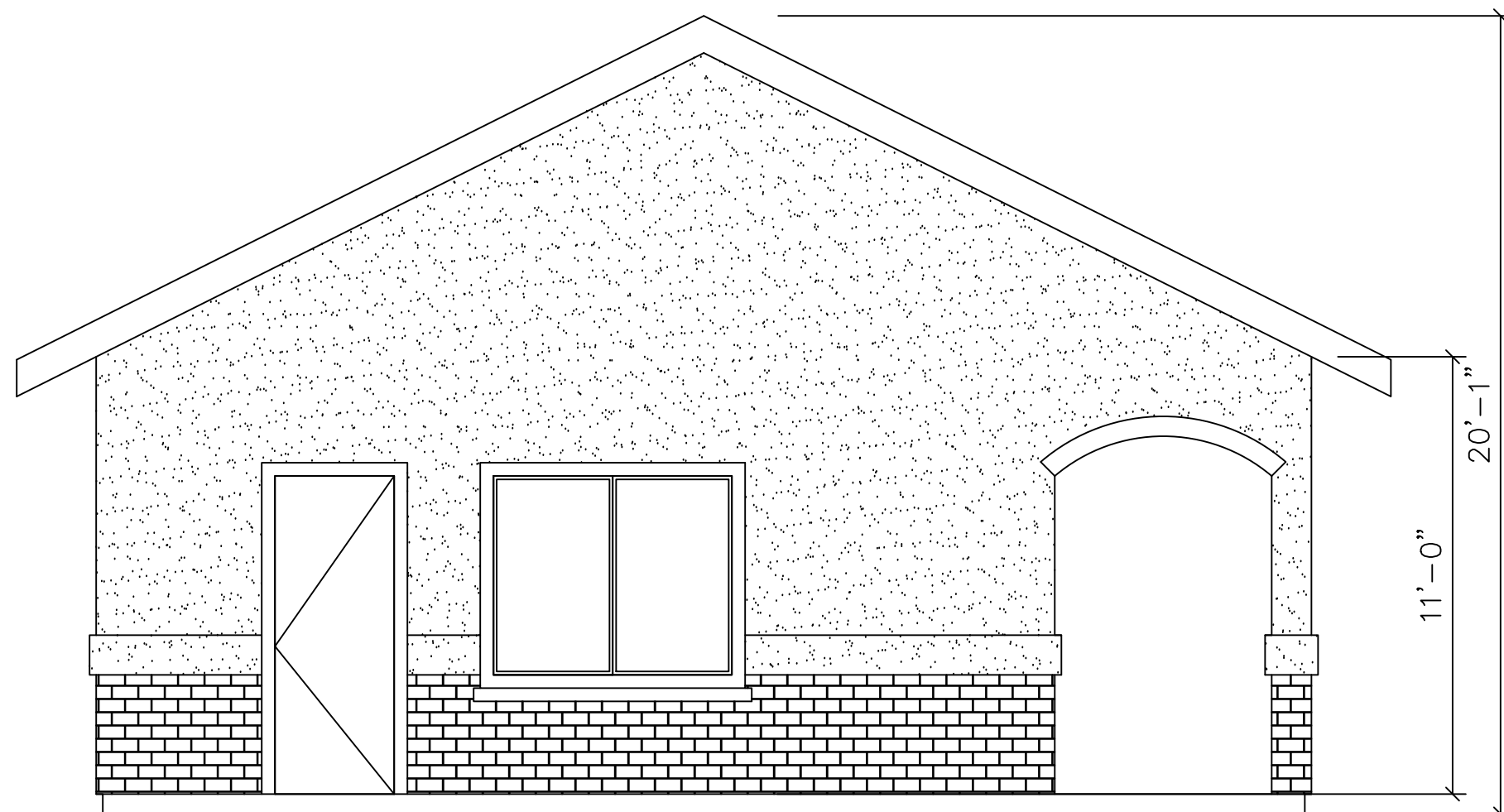
EMERGENCY ESCAPE (EGRESS) WINDOWS (CBC 1029 AND CRC R310.1)
WINDOWS REPLACED IN BEDROOMS SHALL MEET ALL OF THE FOLLOWING EGRESS REQUIREMENTS (AT LEAST ONE WINDOW IN EACH BEDROOM IS REQUIRED TO MEET THESE REQUIREMENTS):
- MINIMUM NET 5.7 SQUARE FEET OF OPENABLE AREA (MINIMUM OF 5.0 NET SQUARE FEET REQUIRED FOR GRADE LEVEL BEDROOMS, I.E. FIRST FLOOR)
- MINIMUM NET 20" CLEAR WIDTH WHEN OPEN
- MINIMUM NET 24" CLEAR HEIGHT WHEN OPEN
- MAXIMUM HEIGHT OF 44" FROM THE FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING

THRESHOLDS AT INTERIOR LANDING MUST BE DEAD LEVEL.
EXTERIOR LANDING MUST HAVE 2% SLOPE DRAIN WATER AWAY FROM DOOR

LANDINGS FOR DOORS SHALL BE LOCATED NO GREATER THAN 7.75' BELOW DOOR'S THRESHOLD FOR DOORS AND 1.5' AT OUT SWINGING DOORS.

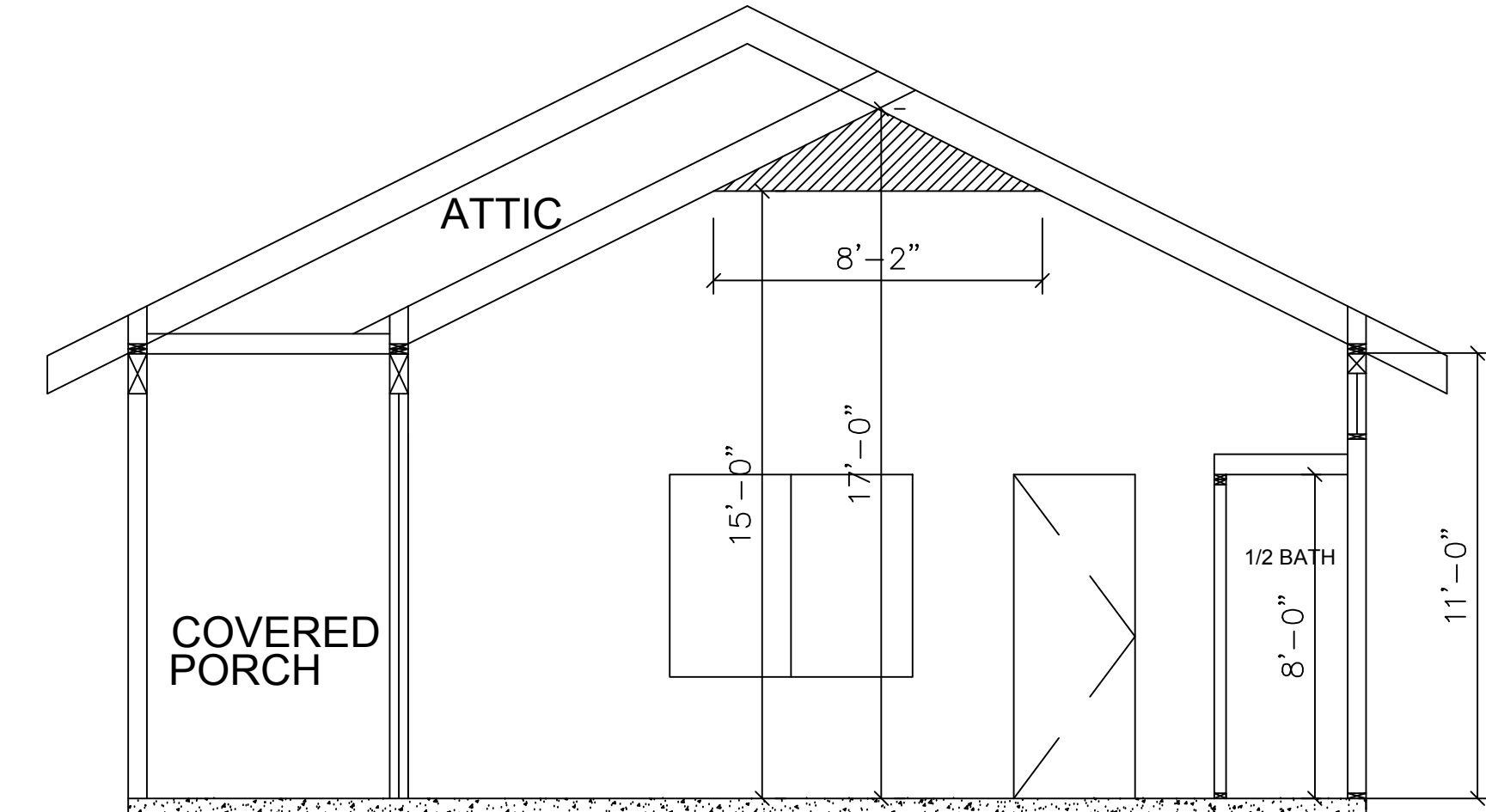
⑦ ELEVATION 4

SCALE 1/4"=1'-0"



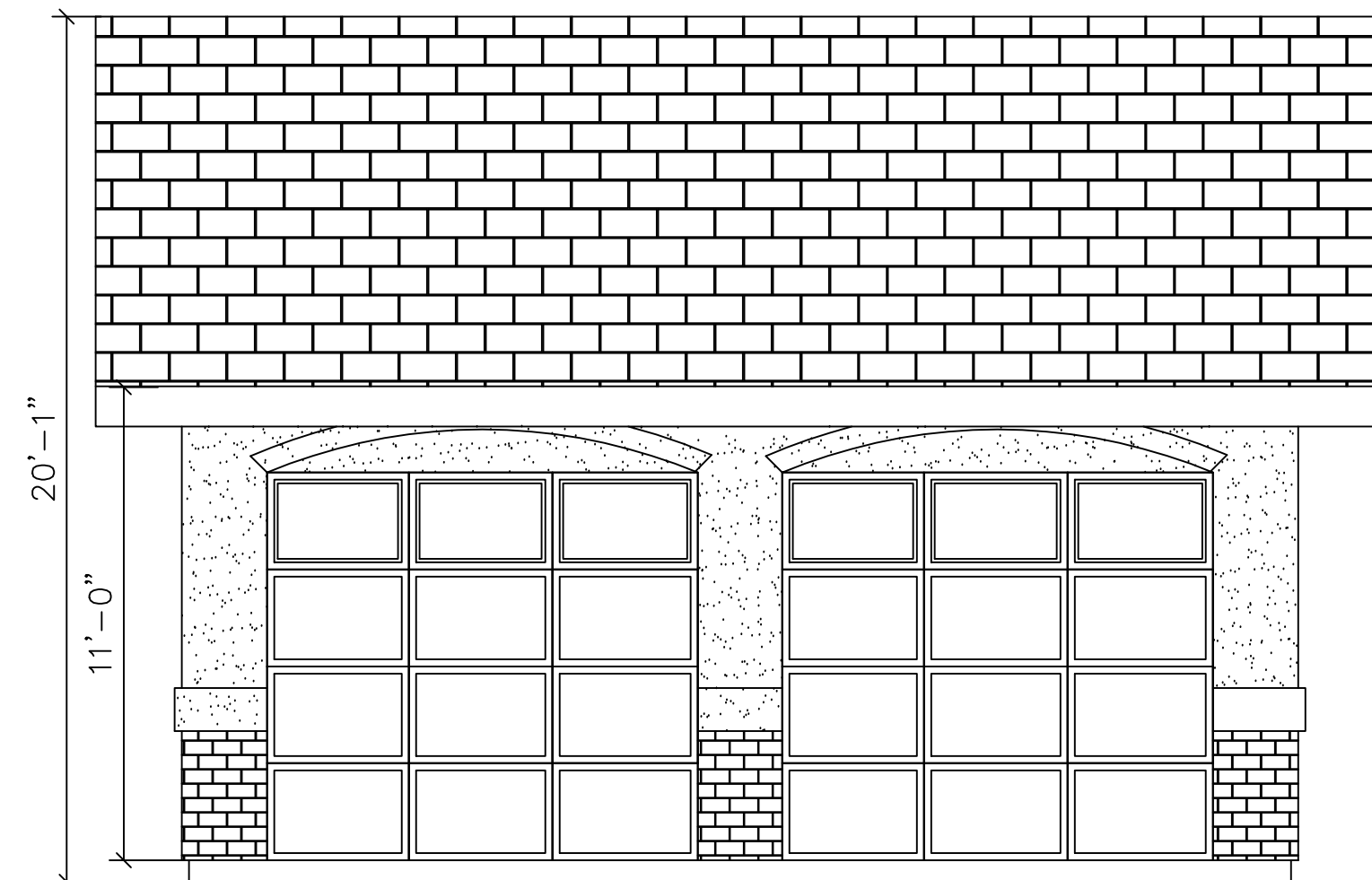
⑧ SECTION A-A

SCALE 1/4"=1'-0"



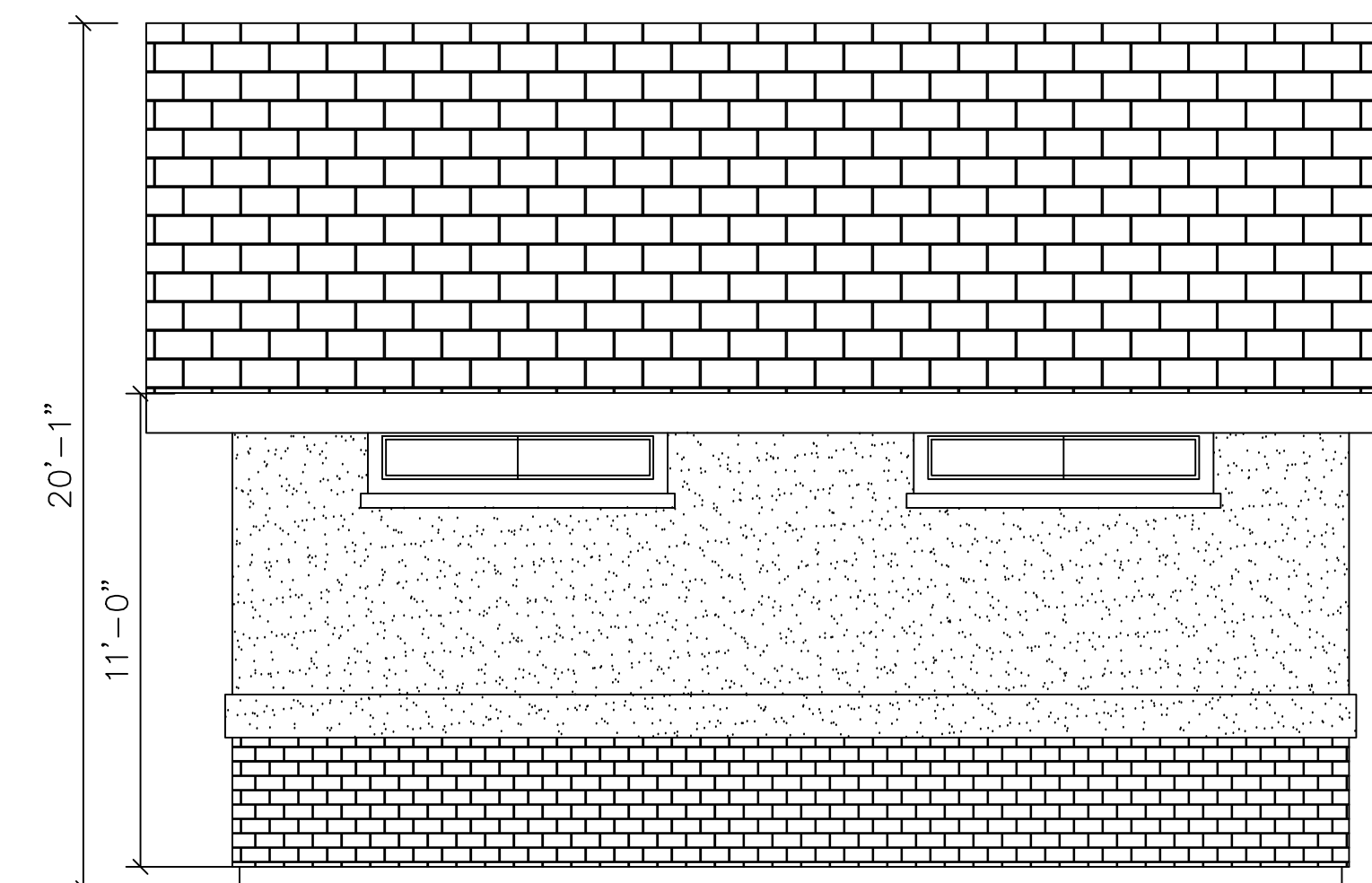
③ ELEVATION 1

SCALE 1/4"=1'-0"



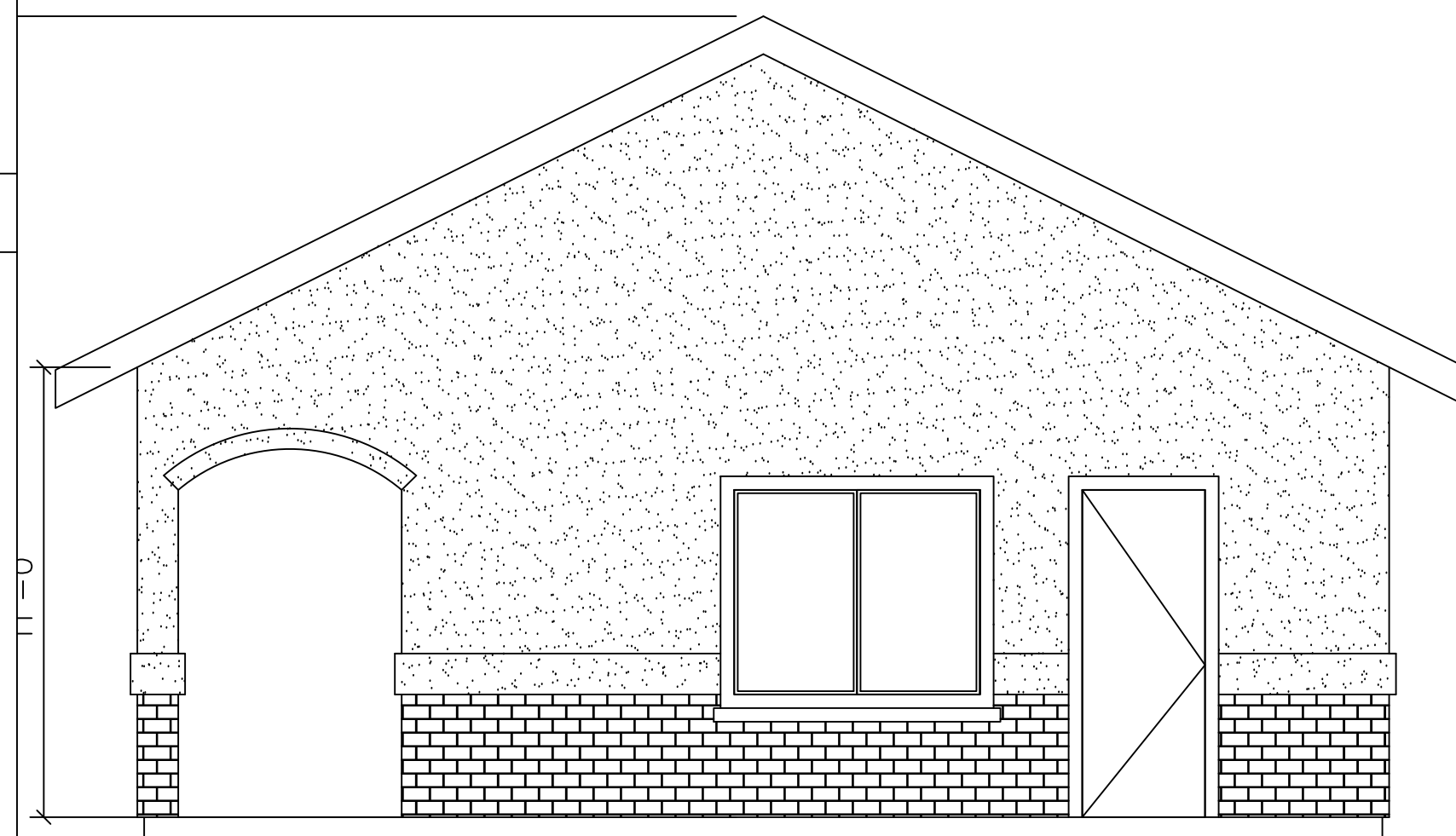
④ ELEVATION 3

SCALE 1/4"=1'-0"



⑥ ELEVATION 2

SCALE 1/4"=1'-0"



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

WORKSHOP

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

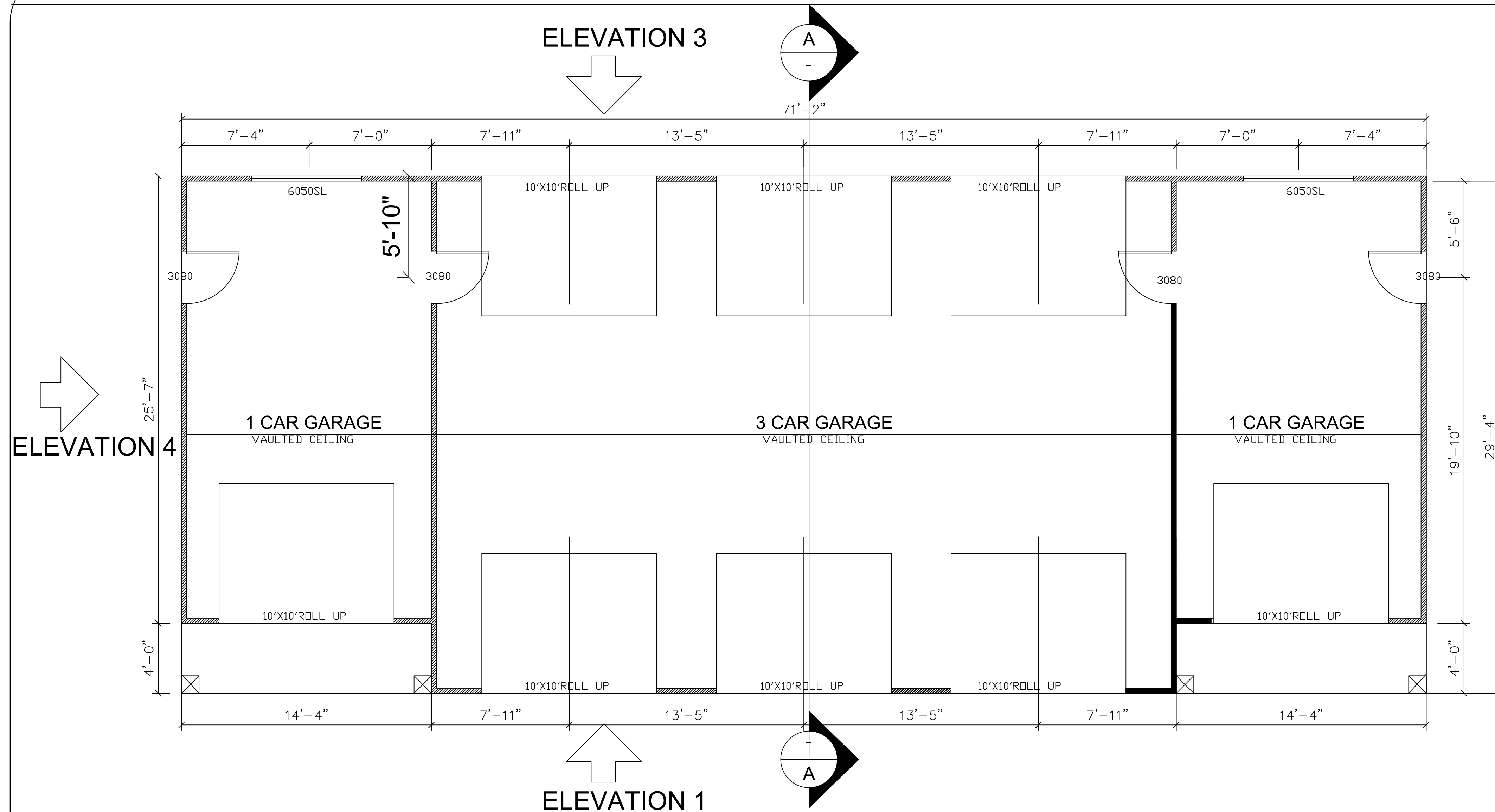
Project Name and Address
KEVIN GORDON
O RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME
Date
06-10-2021
Scale
1/4" = 1'-0"

Sheet
A3.0

① FLOOR PLAN

SCALE 1/4"=1'-0"



NOTE:
-WEATHER-RESISTIVE BARRIER FOR STUCCO WALL ASSEMBLY (CRC R703.7.3, R703.7.2, TABLE R702.1(1), CBC TABLE 1405.2 & CBC 2510.6.
-MINIMUM 7/8" THICK, 3 COATS STUCCO OVER TWO LAYERS OF GRADE D PAPER ARE REQUIRED WHEN OVER WOOD BASE SHEATHING.
-ALSO, A MINIMUM 26 GAGE CORROSION RESISTANT WEEP SCREED IS REQUIRED BELOW THE STUCCO A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA, PER CRC R703.7.2.1.

NOTE:
a. 36 INCHES MINIMUM LENGTH LANDING & MAXIMUM 2% SLOPE AT ALL EXTERIOR DOOR LOCATIONS. (CRC R311.3.)

b. THE LANDING AT IN-SWINGING DOORS AND DOORS OTHER THAN THE REQUIRED EGRESS SHALL NOT BE MORE THAN 7.75" BELOW THE TOP OF THE THRESHOLD, PER R311.3.2.

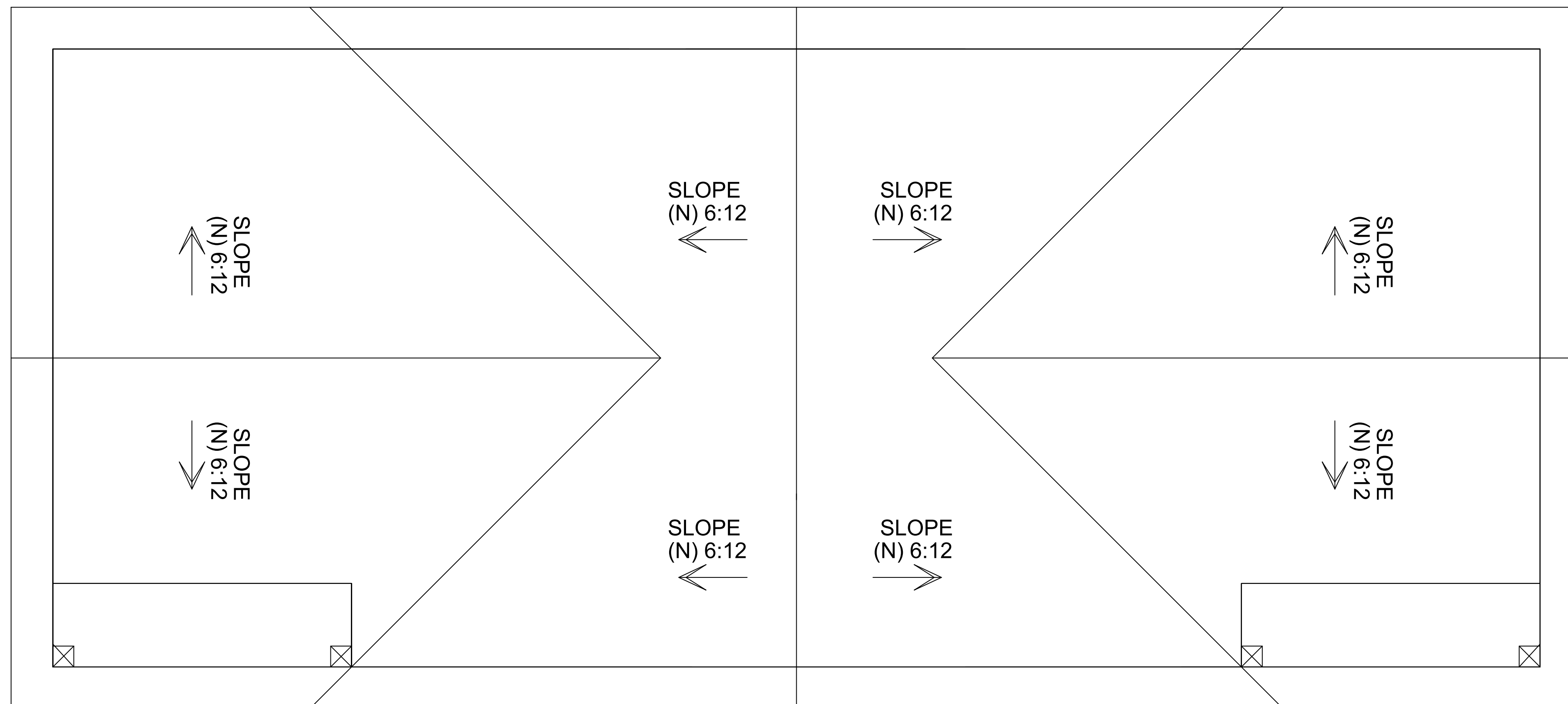
THE LANDING AT REQUIRED OUT-SWINGING DOOR AND AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1.5" LOWER THAN THE TOP OF THE THRESHOLD, PER CRC R311.3.1.

EMERGENCY ESCAPE (EGRESS) WINDOWS (CBC 1029 AND CRC R310.1)
WINDOWS REPLACED IN BEDROOMS SHALL MEET ALL OF THE FOLLOWING EGRESS REQUIREMENTS (AT LEAST ONE WINDOW IN EACH BEDROOM IS REQUIRED TO MEET THESE REQUIREMENTS):
< MINIMUM NET 5.7 SQUARE FEET OF OPENABLE AREA (MINIMUM OF 5.0 NET SQUARE FEET REQUIRED FOR GRADE LEVEL BEDROOMS) (E. FIRST FLOOR)
< MINIMUM NET 20" CLEAR WIDTH WHEN OPEN
< MINIMUM NET 24" CLEAR HEIGHT WHEN OPEN
< MAXIMUM HEIGHT OF 44" FROM THE FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING

THRESHOLD WALKING SURFACE AT INTERIOR LANDING MUST BE DEAD LEVEL.
EXTERIOR LANDING MUST HAVE 2% SLOPE DRAIN WATER AWAY FROM DOOR.
LANDINGS FOR DOORS SHALL BE LOCATED NO GREATER THAN 7.75" BELOW DOOR'S THRESHOLD FOR DOORS AND 1.5" AT OUT SWINGING DOORS.

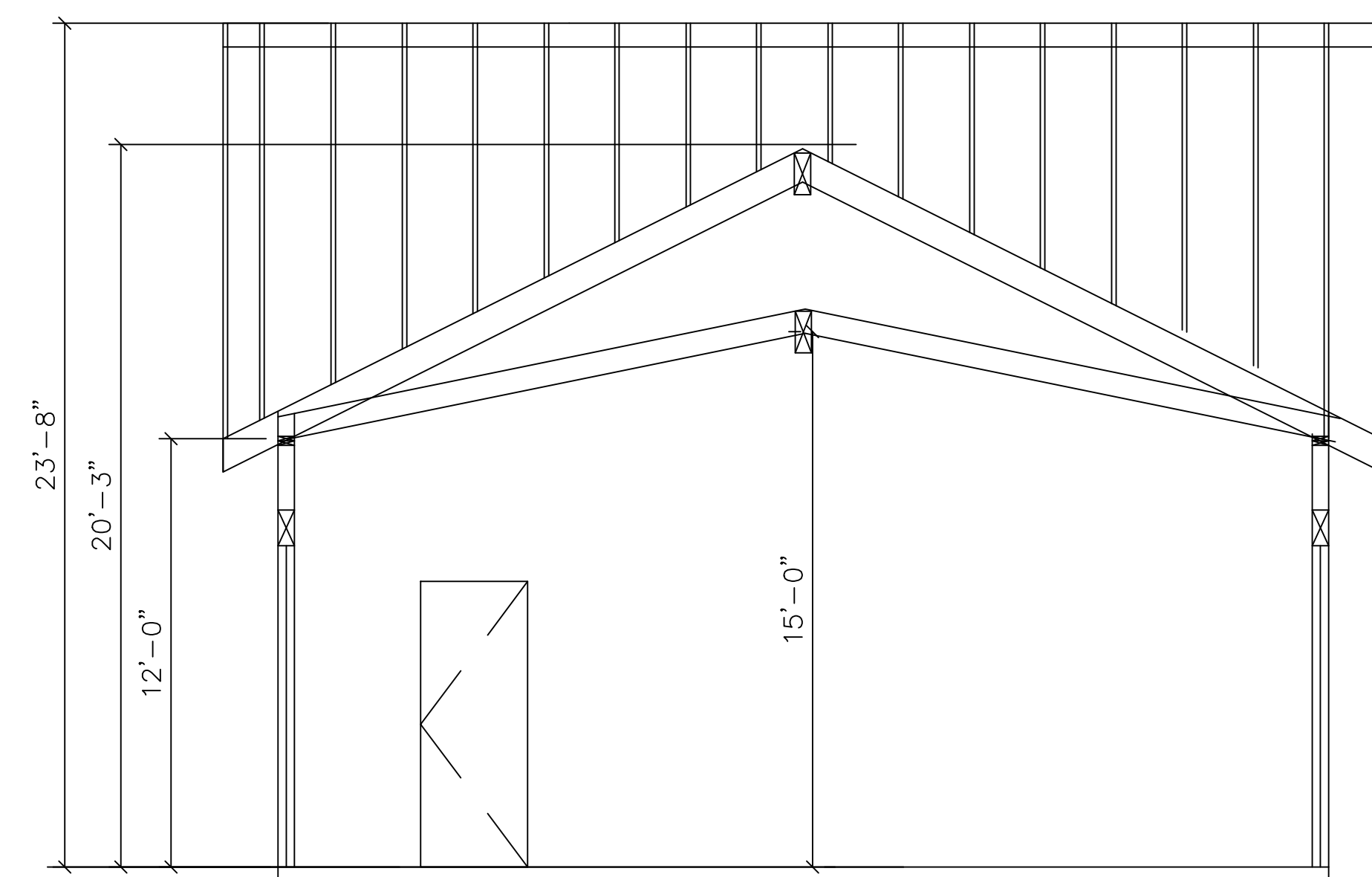
② ROOF PLAN

SCALE 1/4"=1'-0"



③ SECTION A-A

SCALE 1/4"=1'-0"



DETACHED GARAGE

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME

Date
06-10-2021

Scale
1/4" = 1'-0"

Sheet
A4.0

① ELEVATION 1

SCALE 1/4"=1'-0"

② X



③ ELEVATION 3

SCALE 1/4"=1'-0"

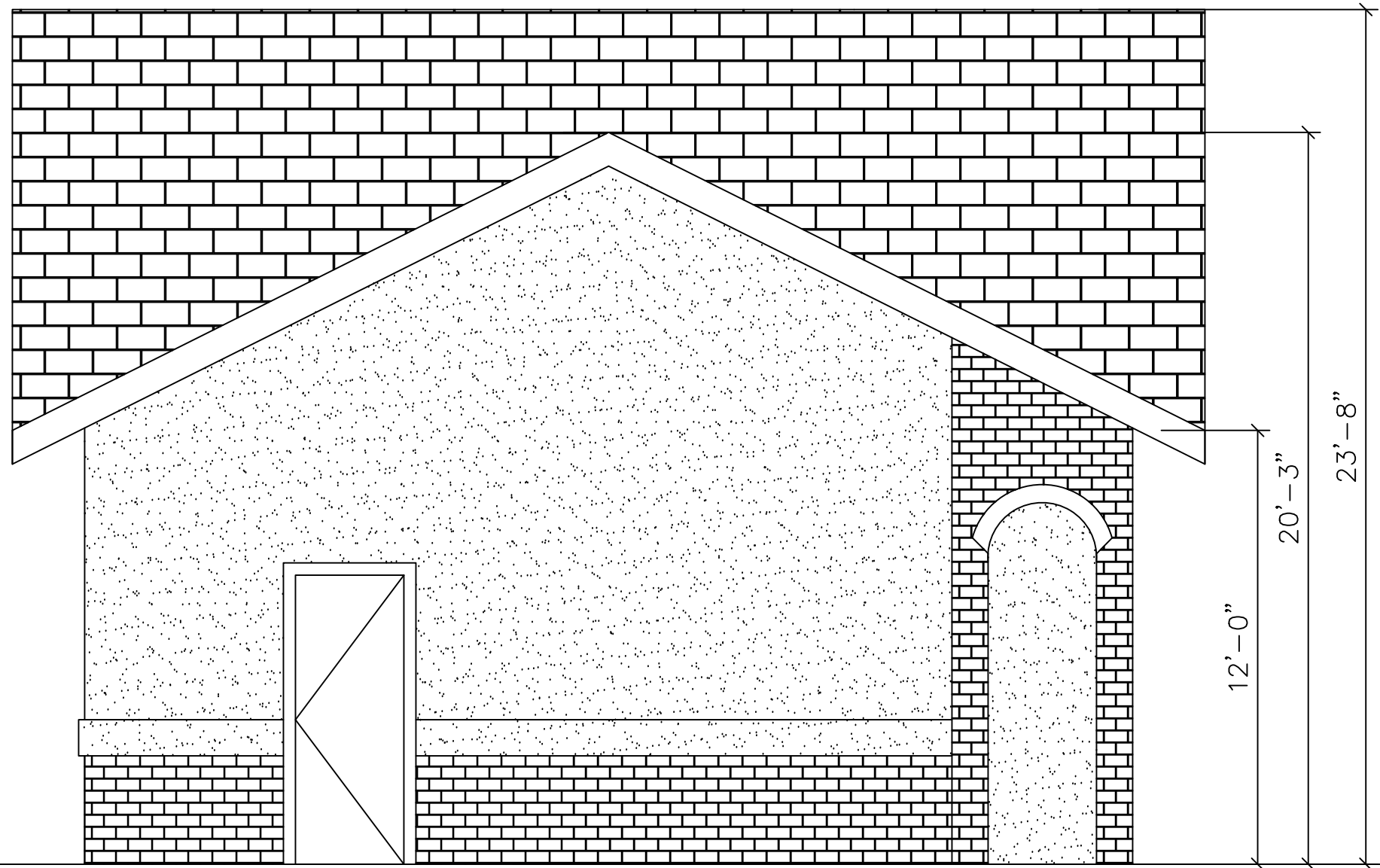
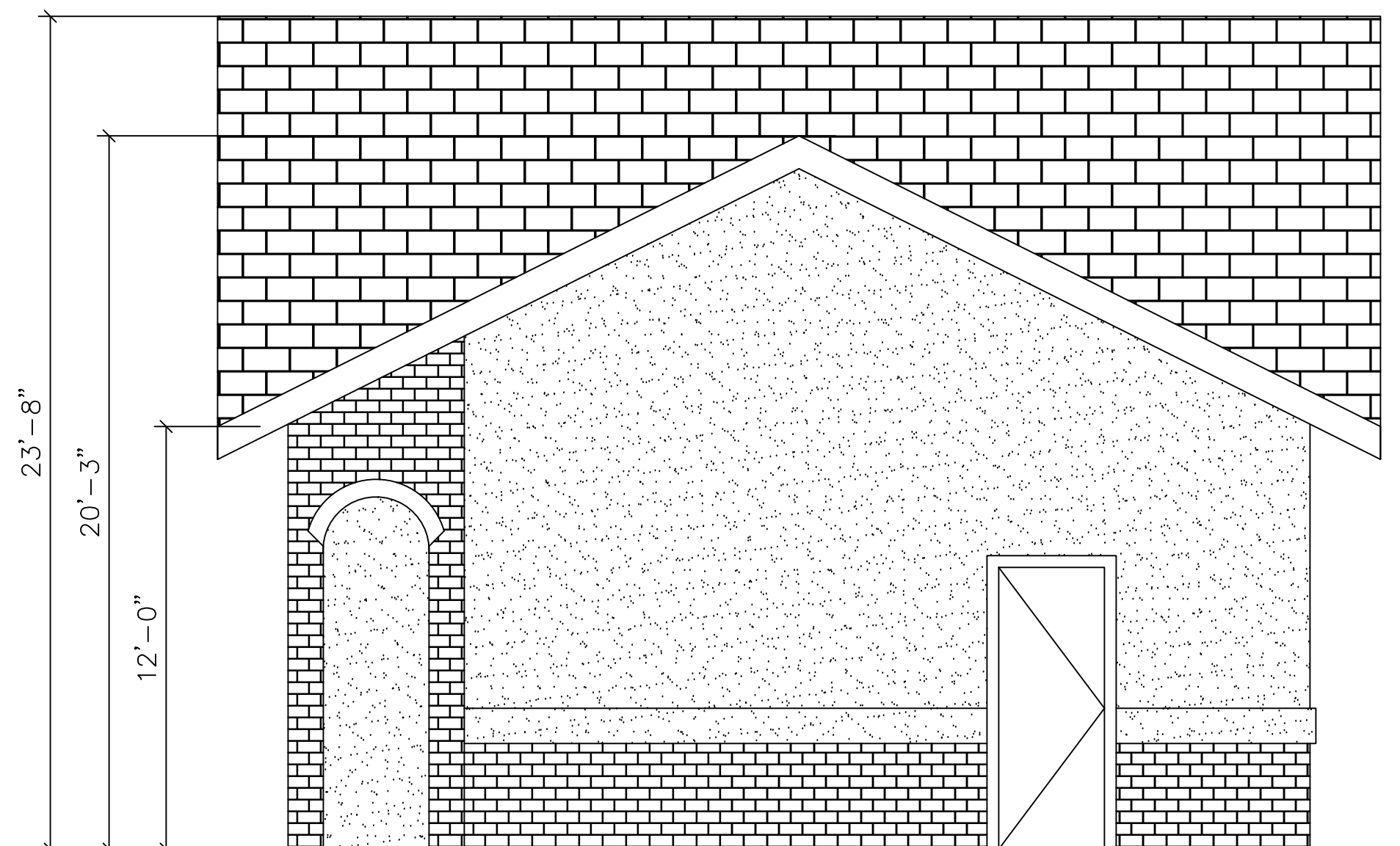


④ ELEVATION 2

SCALE 1/4"=1'-0"

⑤ ELEVATION 4

SCALE 1/4"=1'-0"



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

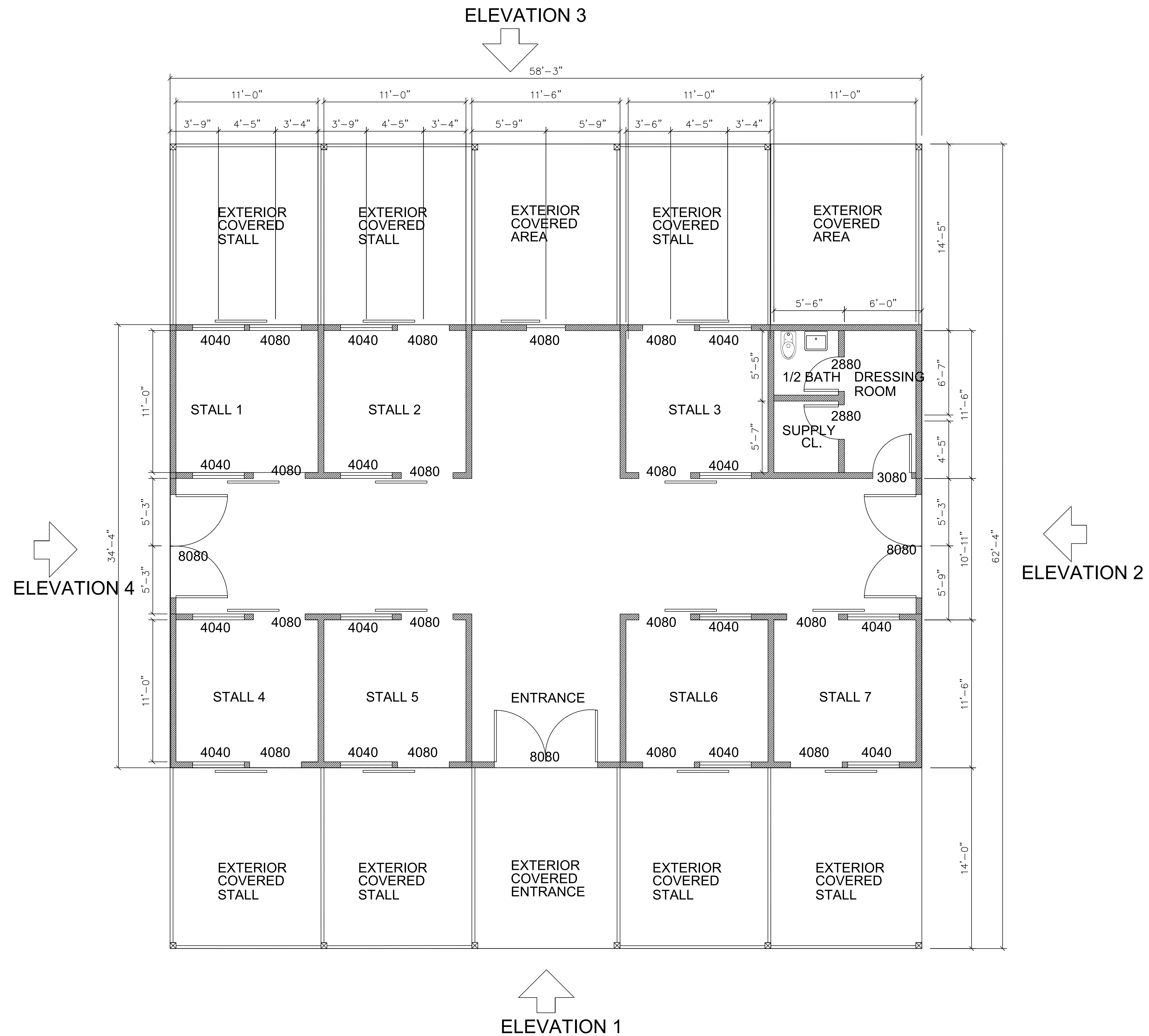
DETACHED GARAGE ELEVATIONS

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME
Date
06-10-2021
Scale
1/4" = 1'-0"

Sheet
A4.1



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

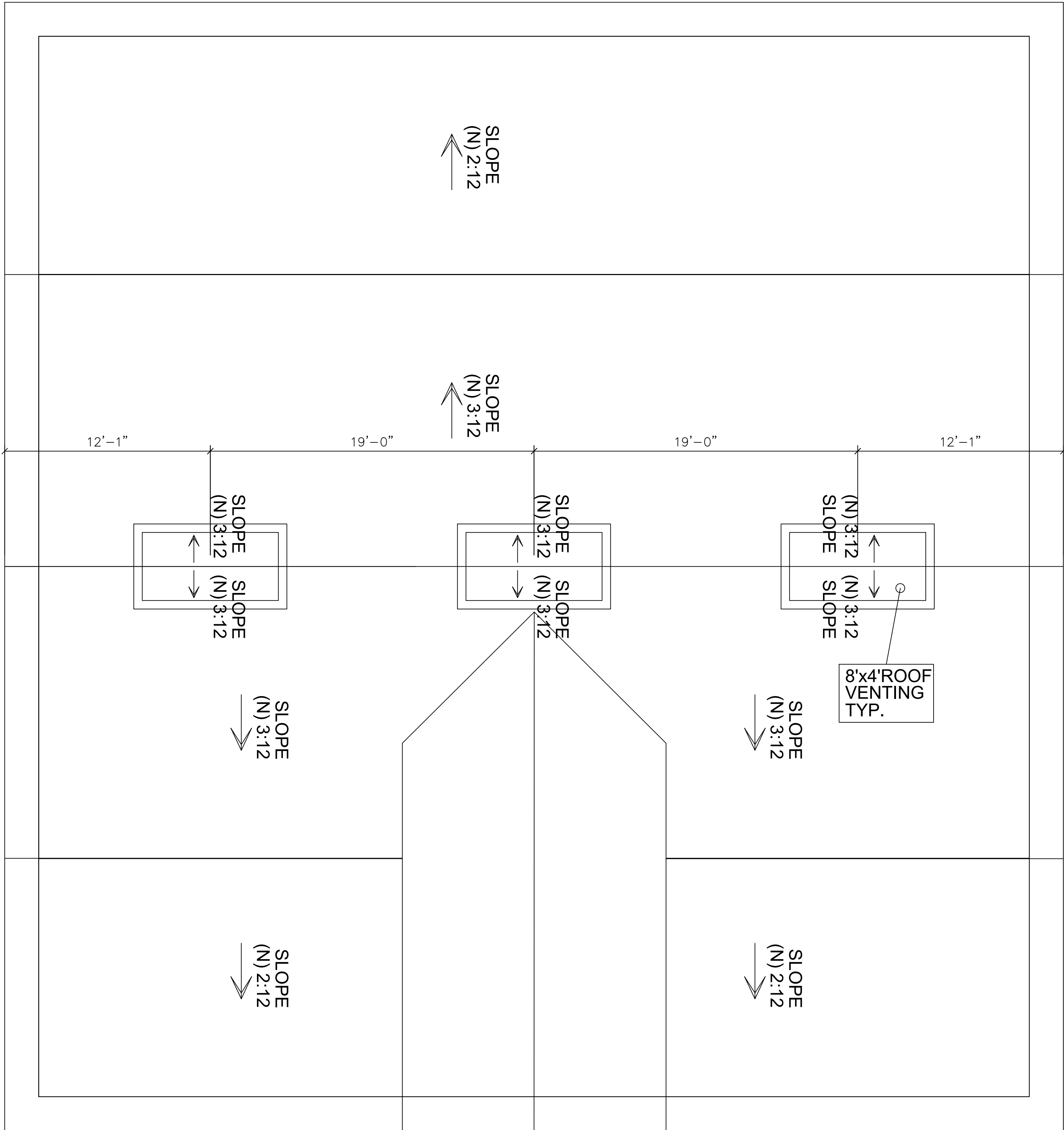
THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

**BARN 1
FLOOR PLAN**

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Jeannie Kester
Project: CUSTOM HOME
Date: 06-10-2021
Scale: 1/4" = 1'-0"
Sheet: A5.0



No.	Revision/Issue	Date

ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

BARN 1
ROOF PLAN

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

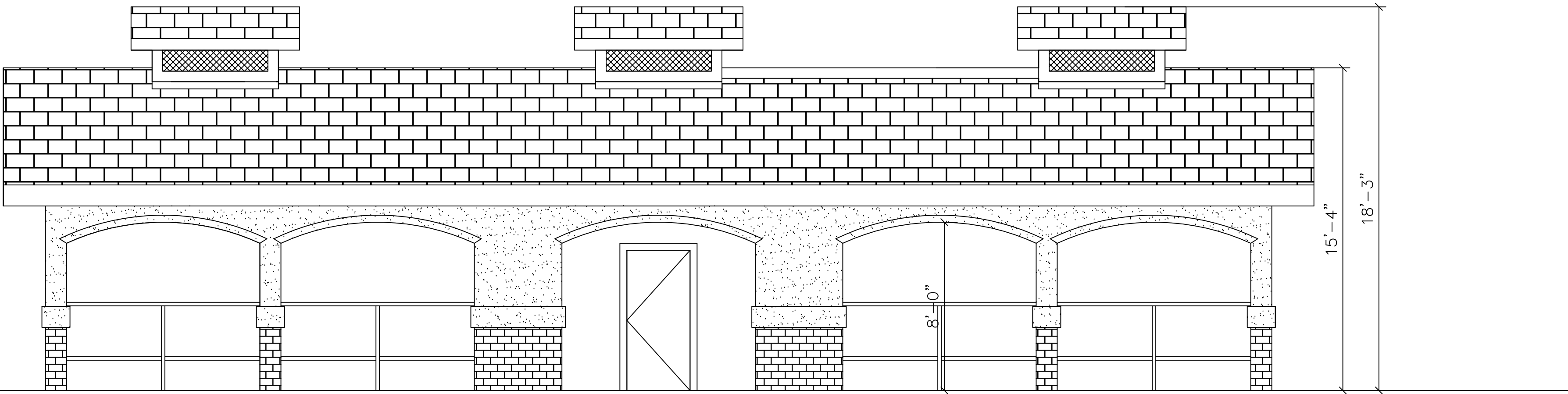
Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Jeannie Kester
Project: CUSTOM HOME
Date: 06-10-2021
Scale: 1/4" = 1'-0"

Sheet
A5.1

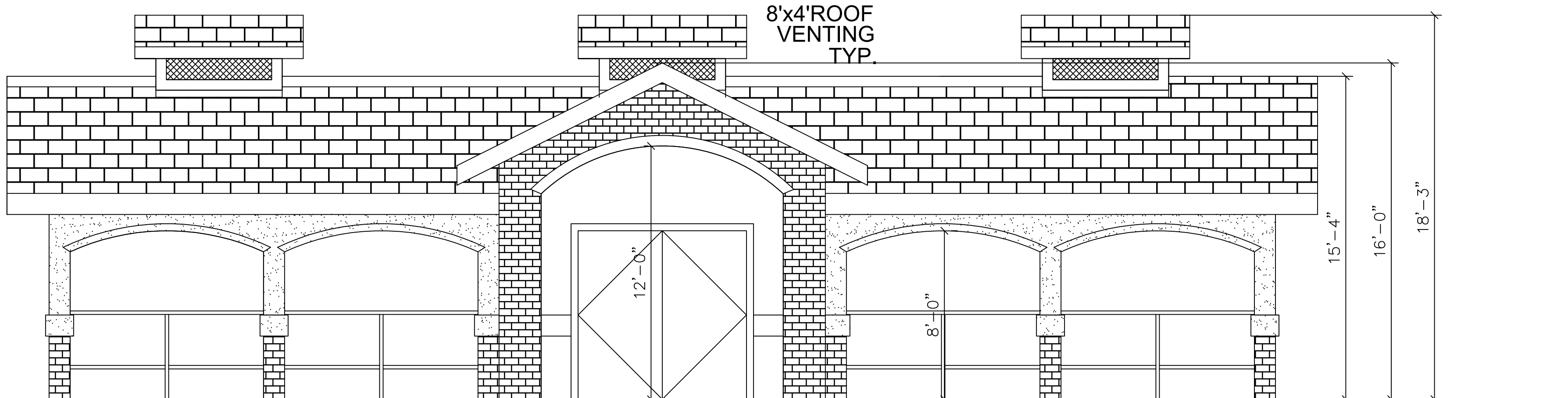
① ELEVATION 1

SCALE 1/4"=1'-0"



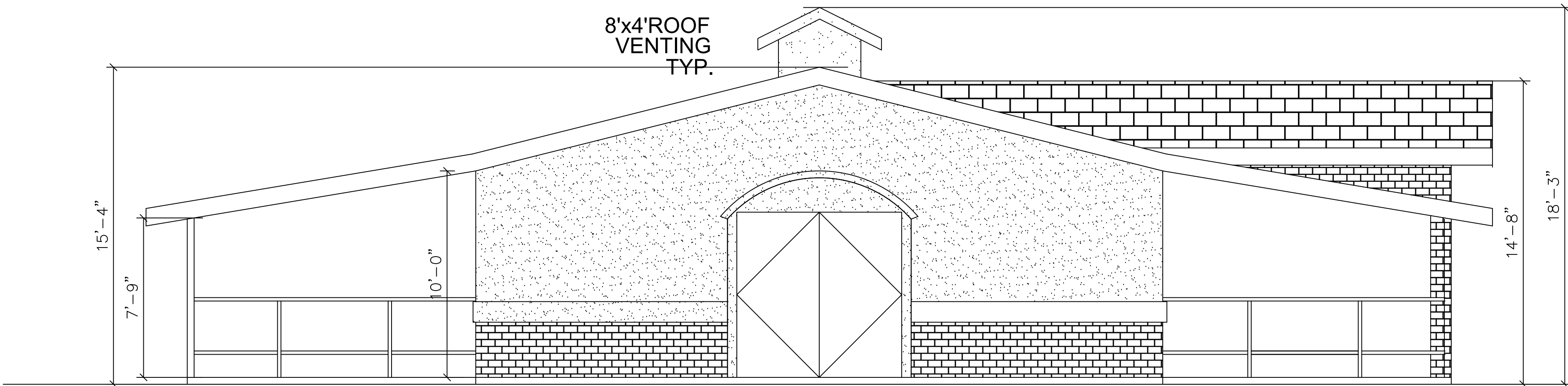
① ELEVATION 3

SCALE 1/4"=1'-0"



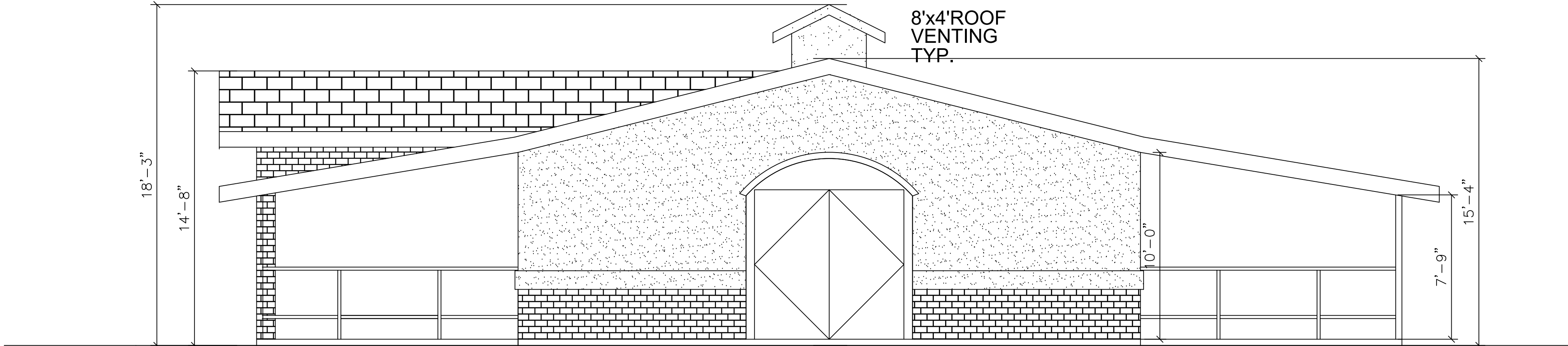
① ELEVATION 4

SCALE 1/4"=1'-0"



① ELEVATION 2

SCALE 1/4"=1'-0"



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

BARN 1
ELEVATIONS

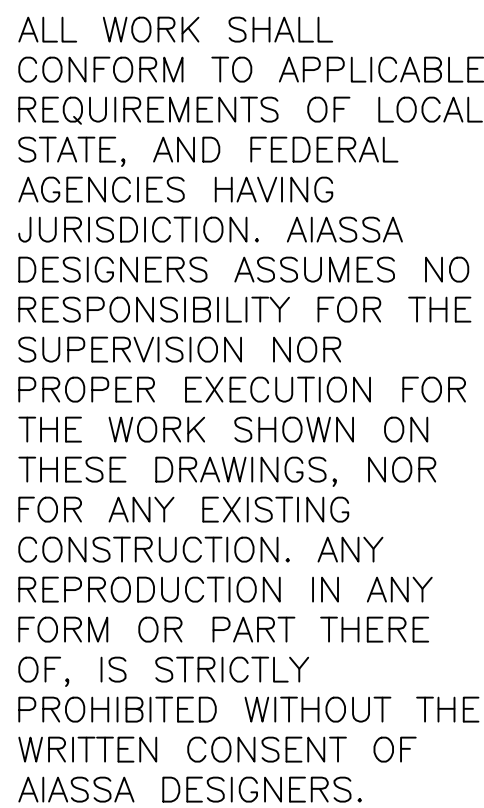
Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Project Name and Address
KEVIN GORDON
O RICA VISTA WAY
SAN JOSE, CA. 95127

Jeannie Kester
CUSTOM HOME
Date 06-10-2021
Scale 1/4" = 1'-0"

A5.2

SCALE 1/4"=1'-0"



CONTRACTORS TO VERIFY
ALL CONDITIONS AND
REPORT ANY
DISCREPANCIES TO
OWNER, DESIGNER, AND
ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE
NOT TO BE USED FOR
CONSTRUCTION DRAWINGS

SCALE 1/4"=1'-0"



Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Jeanie Keste
Project Name and Address
KEVIN CORDON

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME

Date 06-10-2021

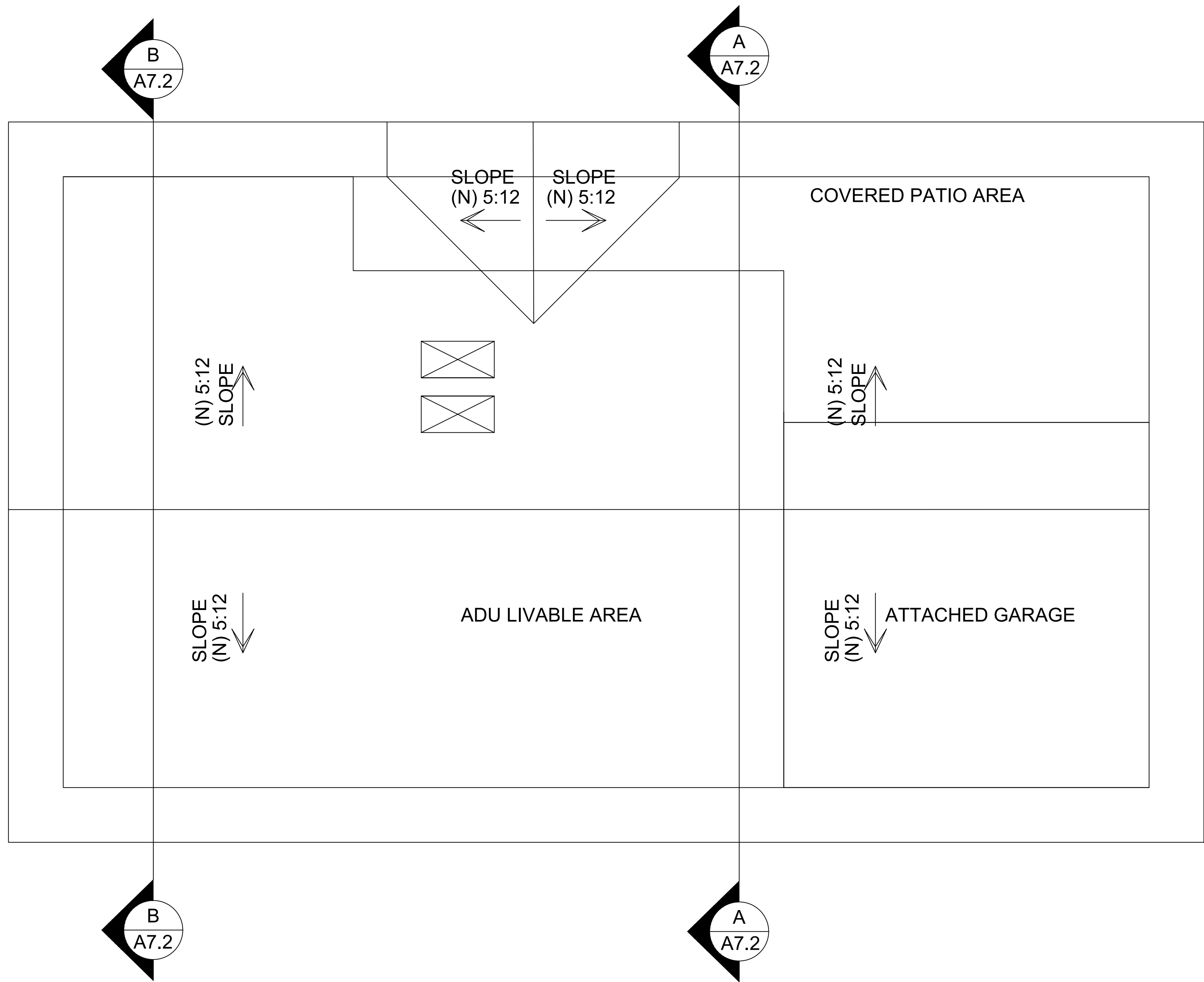
Scale
1/4" = 1'-0"

Show

A6.0

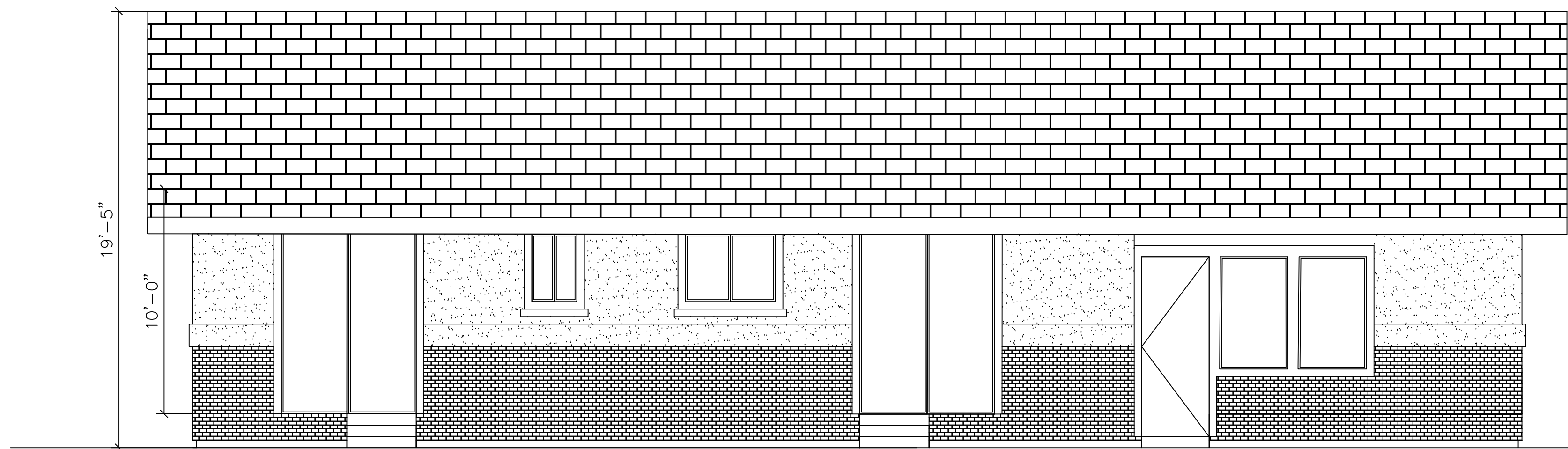
1 ROOF PLAN

SCALE 1/4"=1'-0"



2 ELEVATION 3

SCALE 1/4"=1'-0"



No.	Revision/Issue	Date

ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

ADU
ROOF
ELEVATIONS

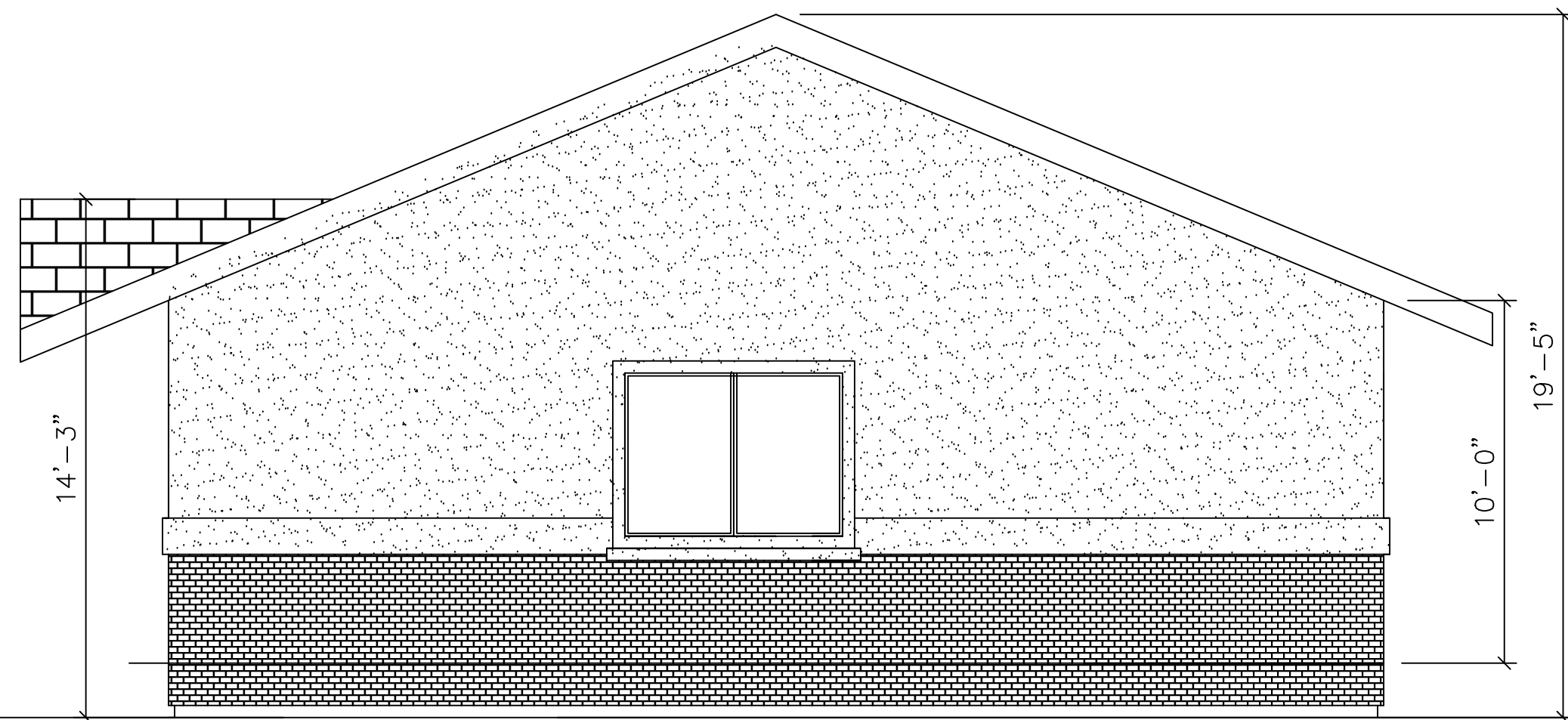
Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Jeannie Kester
Project Name and Address
KEVIN GORDON
O RICA VISTA WAY
SAN JOSE, CA. 95127

Project CUSTOM HOME	Sheet A6.1
Date 06-10-2021	
Scale 1/4" = 1'-0"	

① ELEVATION 2

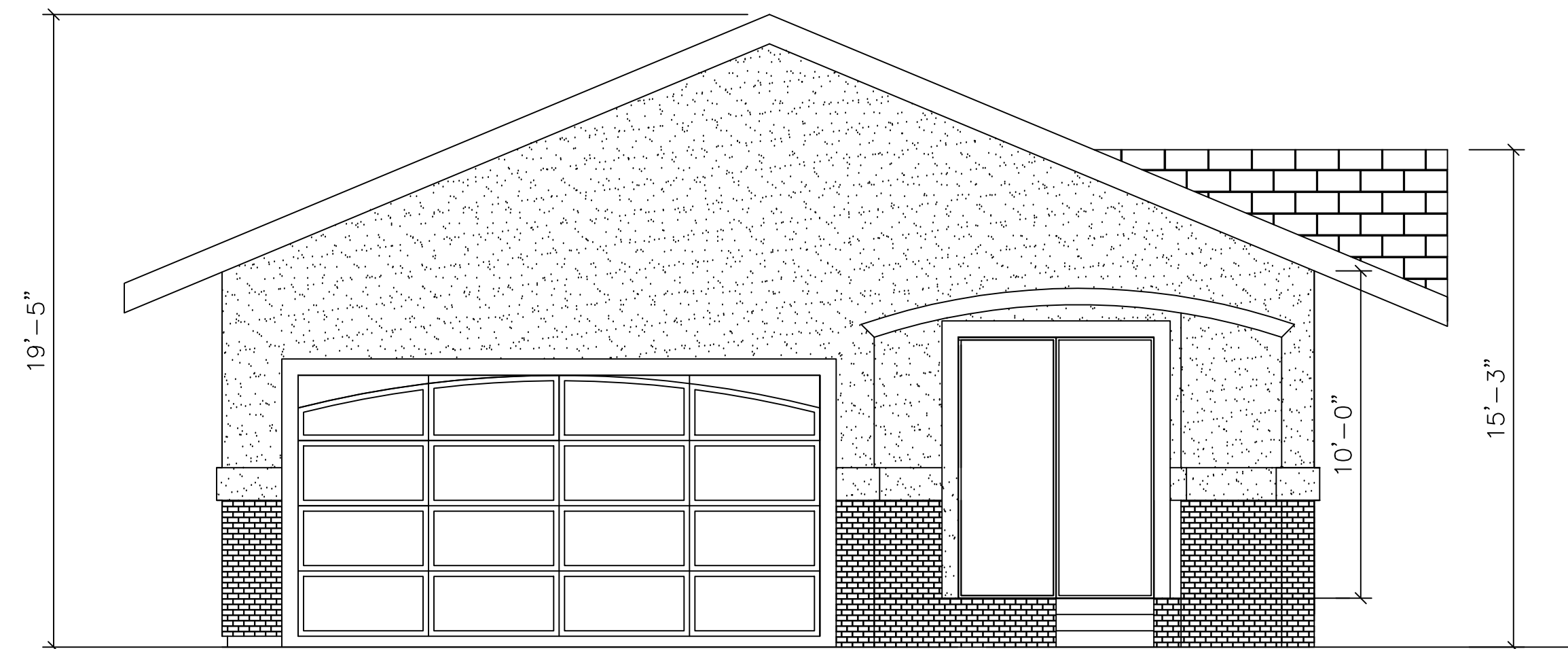
SCALE 1/4"=1'-0"



② X

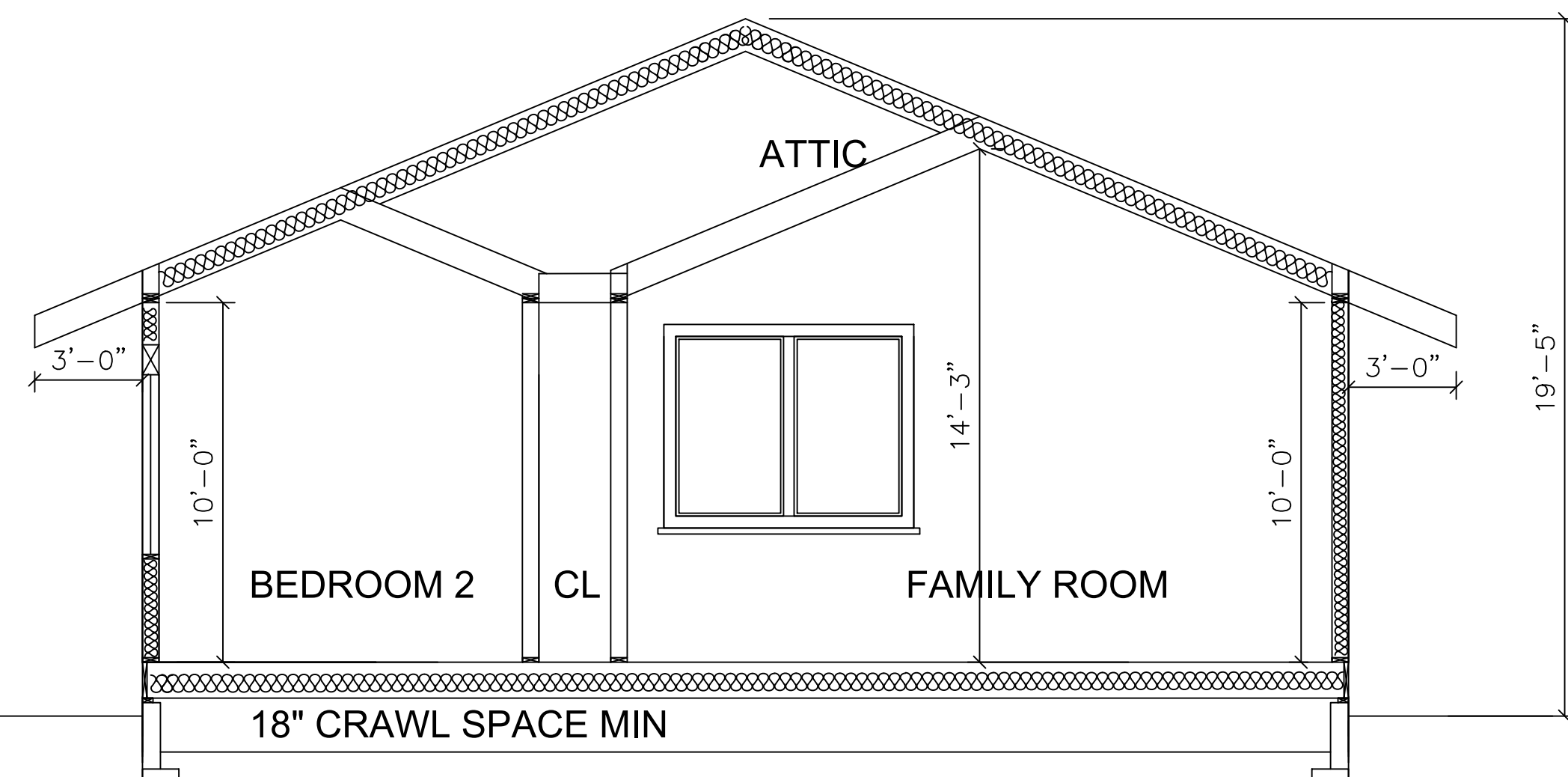
③ ELEVATION 4

SCALE 1/4"=1'-0"



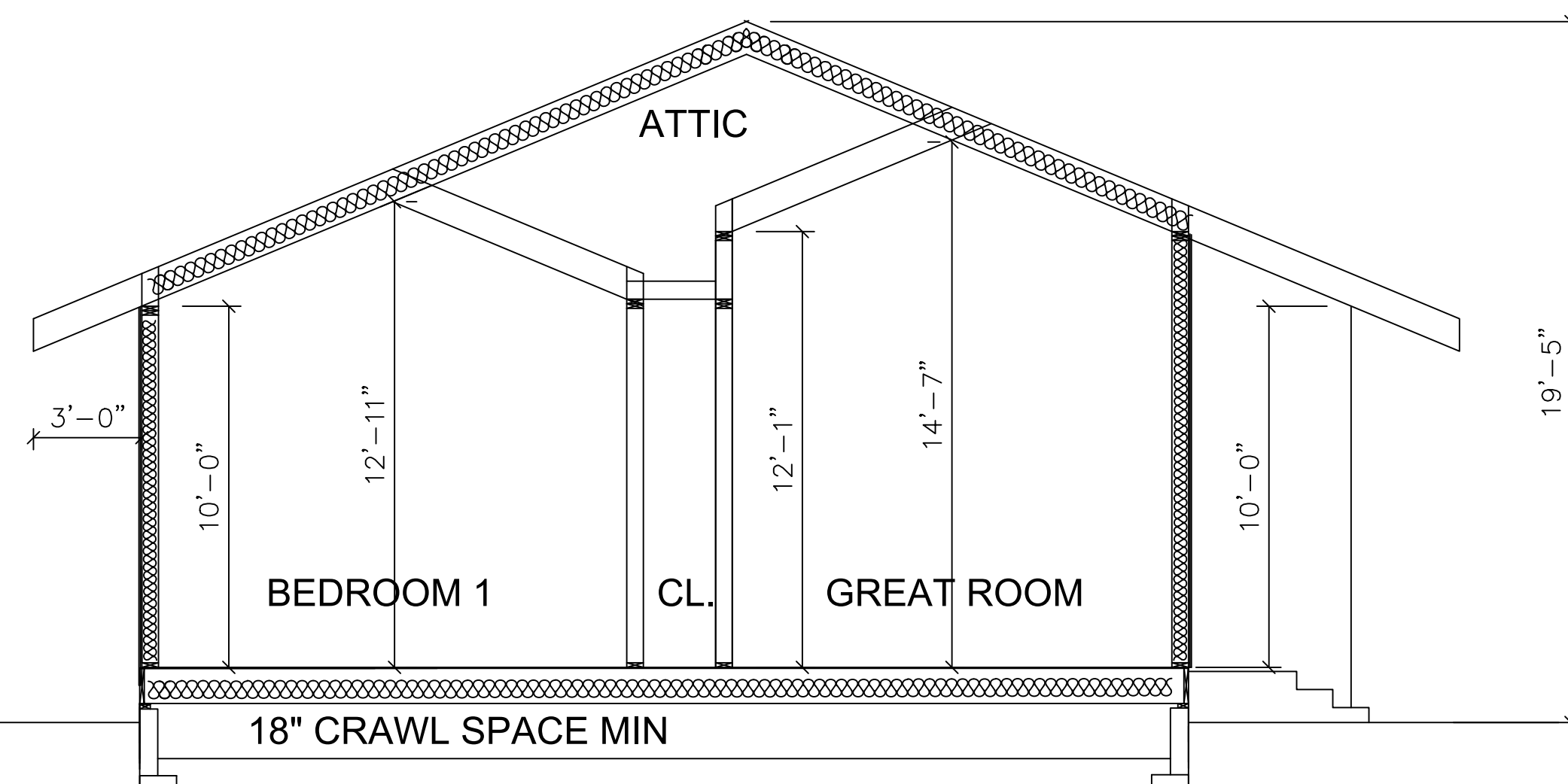
④ SECTION B-B

SCALE 1/4"=1'-0"



⑤ SECTION A-A

SCALE 1/4"=1'-0"



No.	Revision/Issue	Date

ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

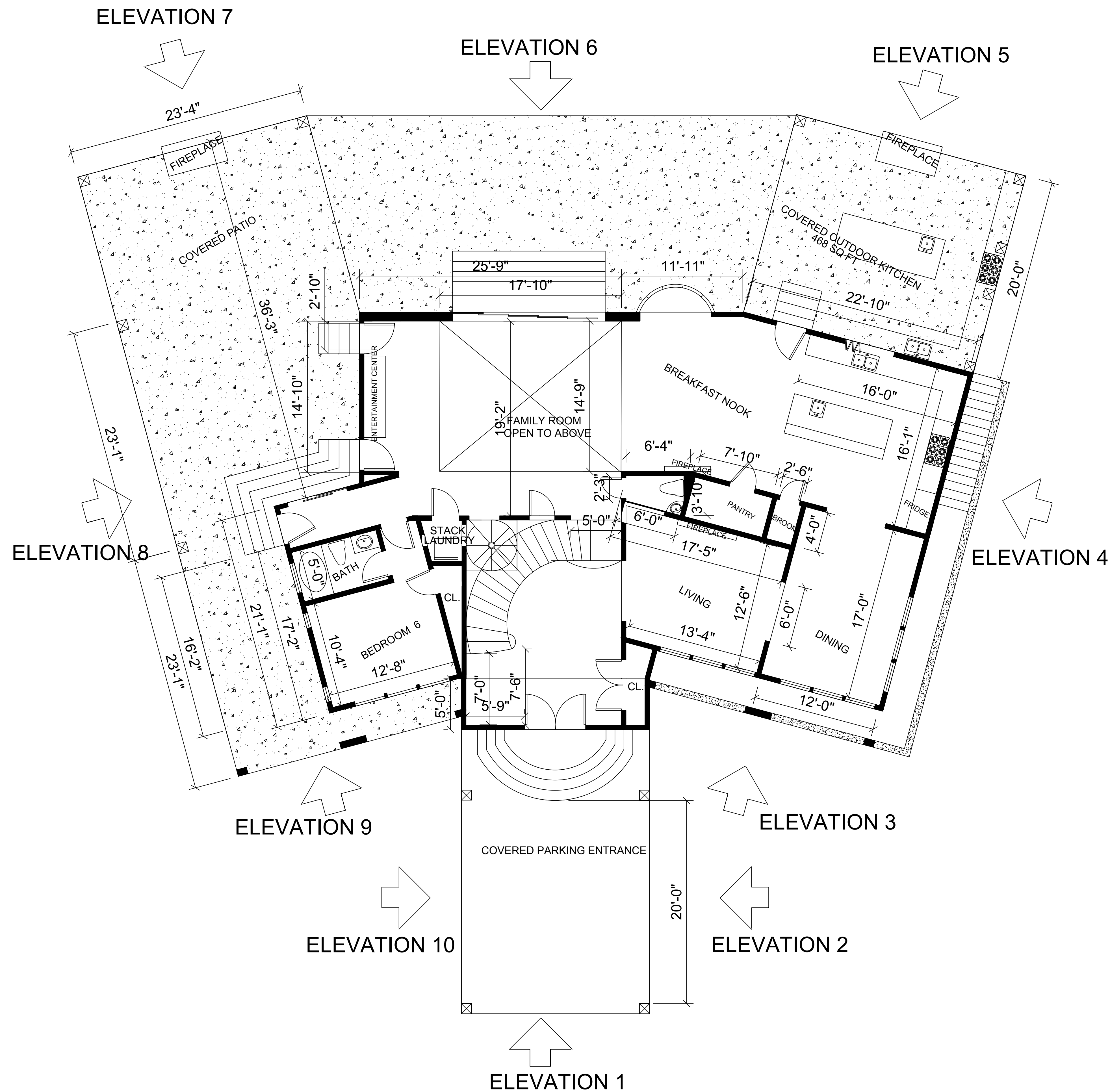
THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

ADU
ELEVATIONS
SECTIONS

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Jeannie Kester
Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project CUSTOM HOME	Sheet
Date 06-10-2021	A6.2
Scale 1/4" = 1'-0"	



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

MAIN HOUSE
FIRST FLOOR

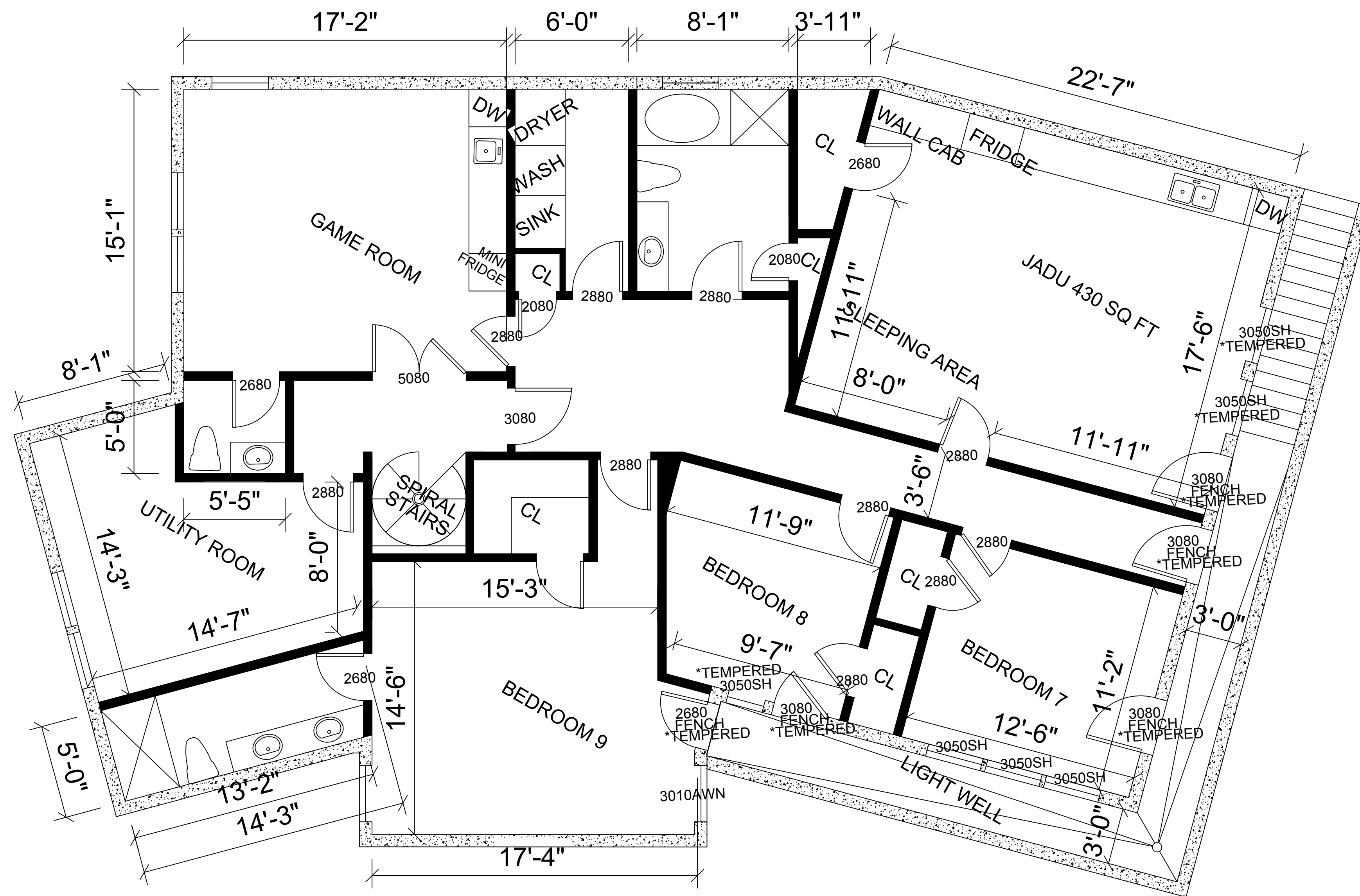
Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408) 230-2989
WWW.AIASSADESIGNERS.COM

Jeannie Kester

Project Name and Address
KEVIN GORDON
O RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME
Date
06-10-2021
Scale
3/16" = 1'-0"

Sheet
A7.0



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

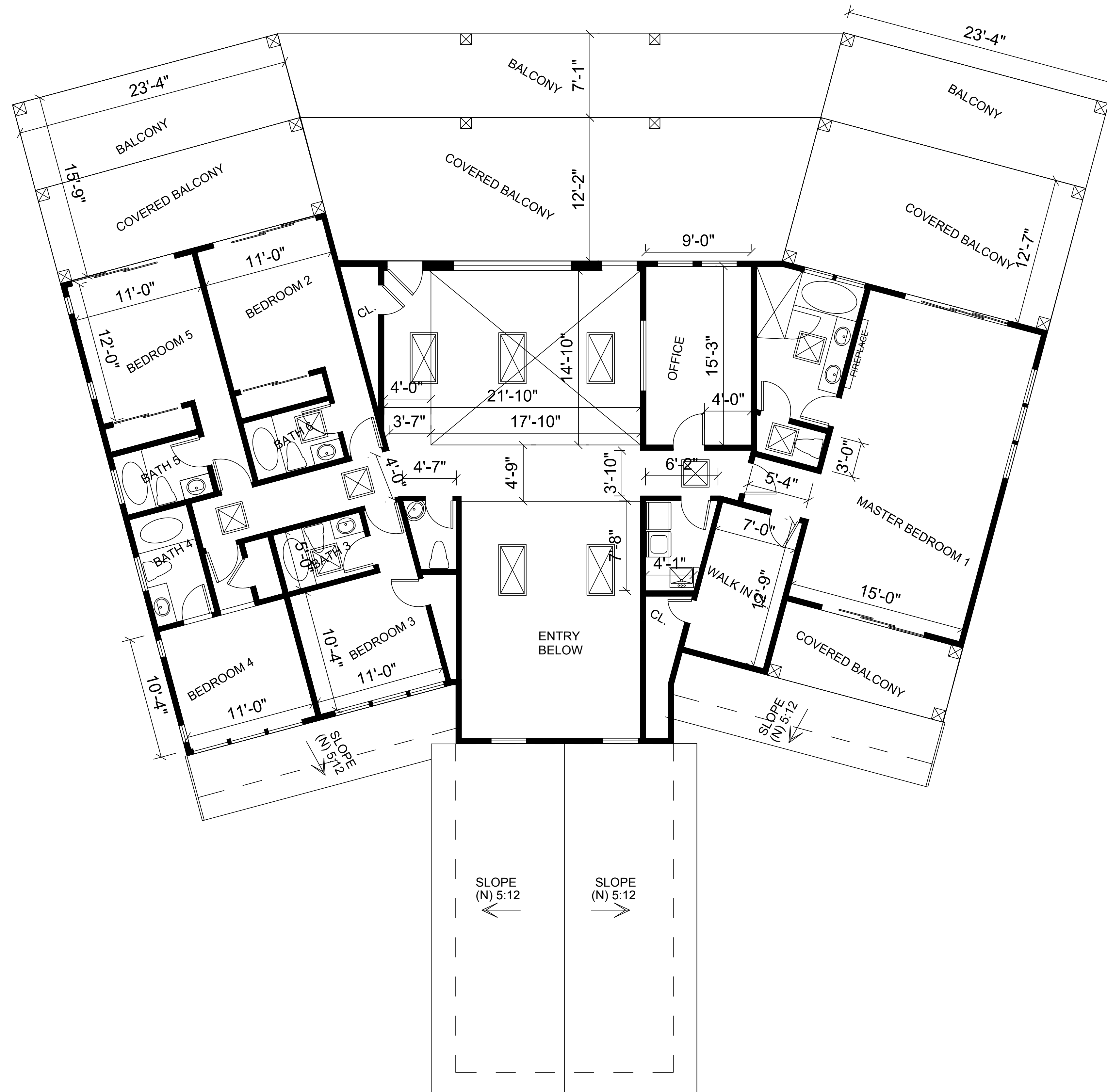
MAIN HOUSE BASEMENT

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME
Date
06-10-2021
Scale
1/4" = 1'-0"

Sheet
A7.1



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

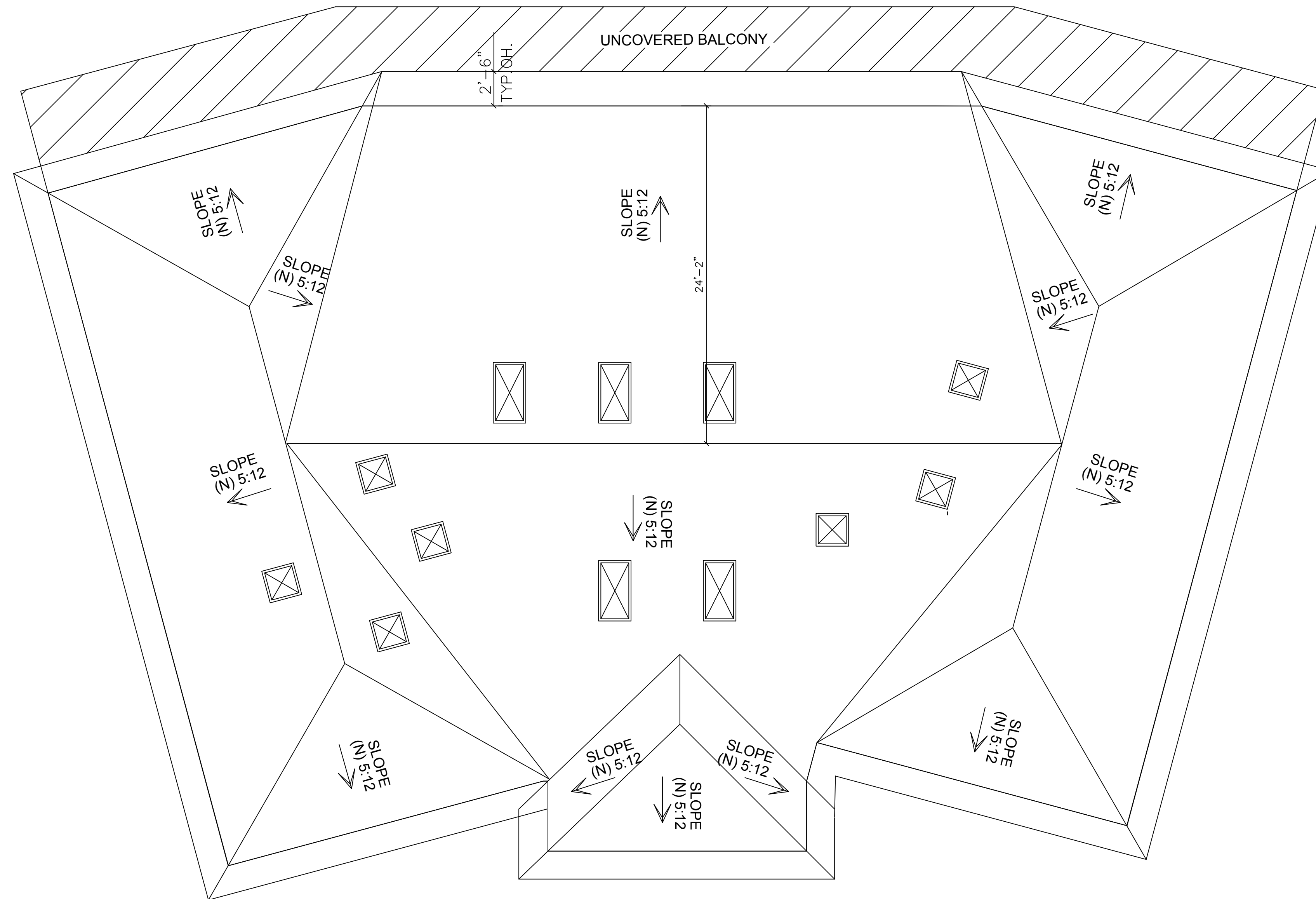
MAIN HOUSE
SECOND FLOOR

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME
Date
06-10-2021
Scale
3/16" = 1'-0"

Sheet
A7.2



--	--	--

No.	Revision/Issue	Date

ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

MAIN HOUSE
ROOF PLAN

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Jeannie Kester
Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project CUSTOM HOME	Sheet A7.3
Date 06-10-2021	
Scale 3/16" = 1'-0"	

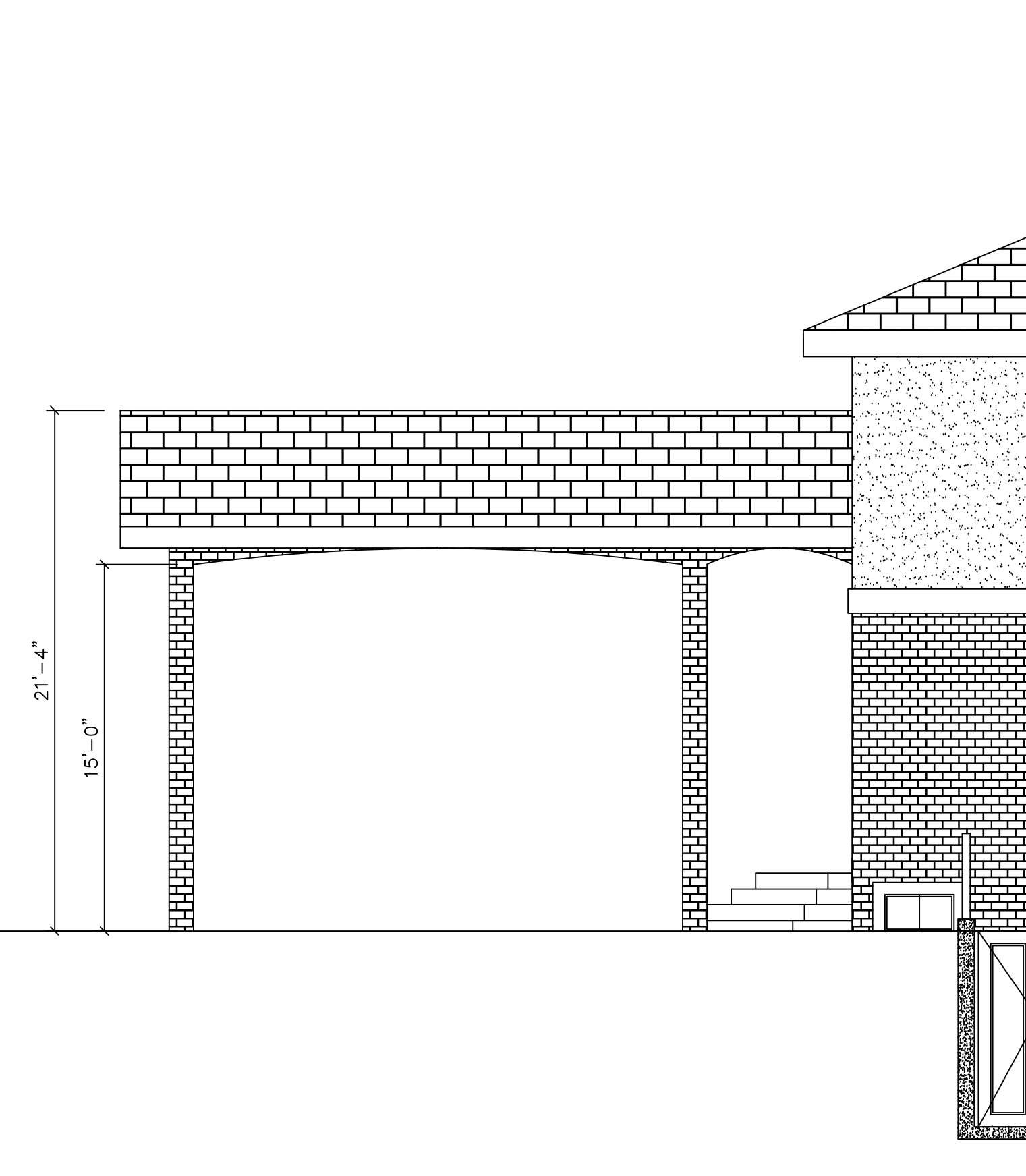
① ELEVATION 1,3,9

SCALE 3/16=1'-0"



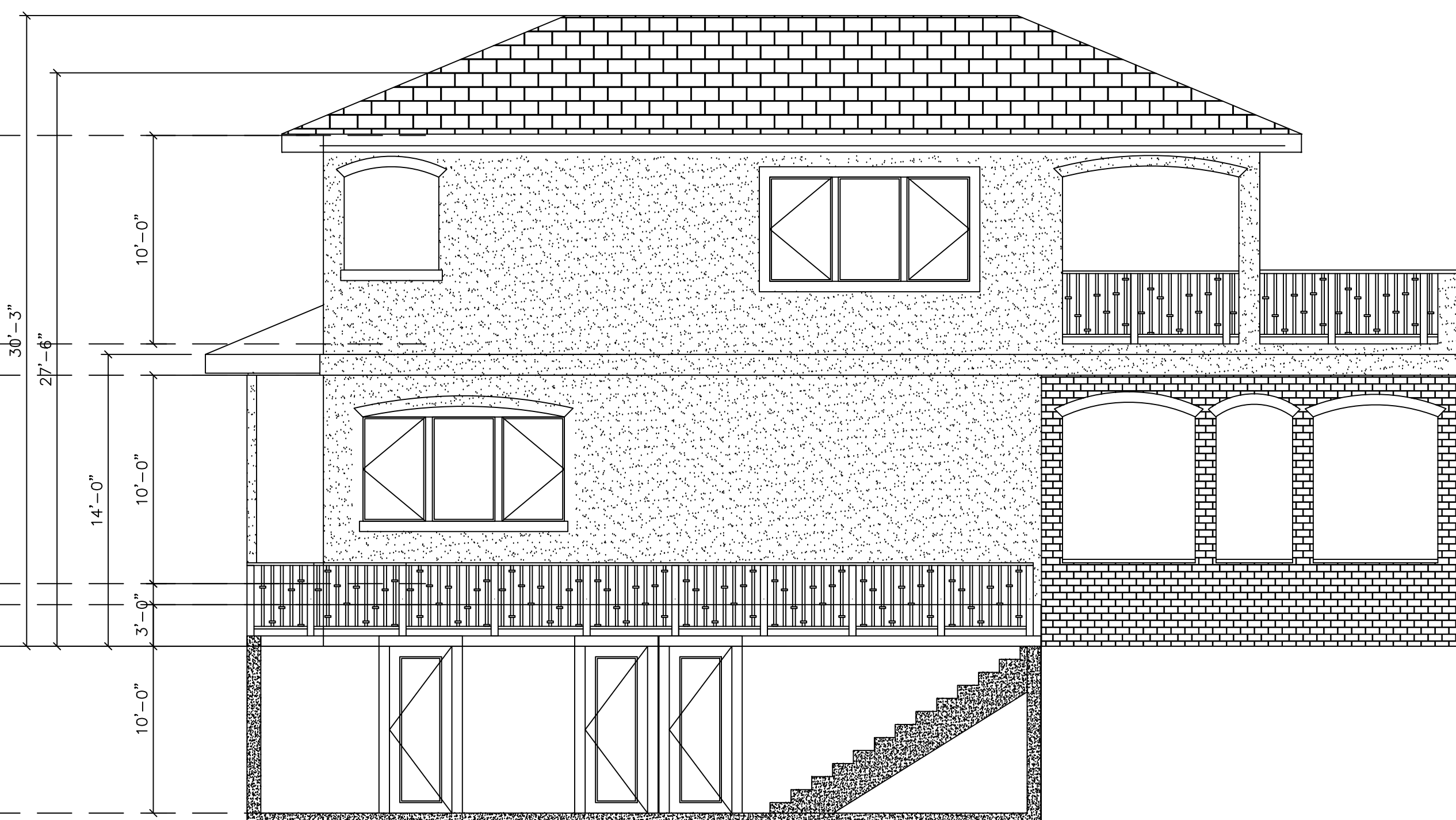
② ELEVATION 2

SCALE 3/16=1'-0"



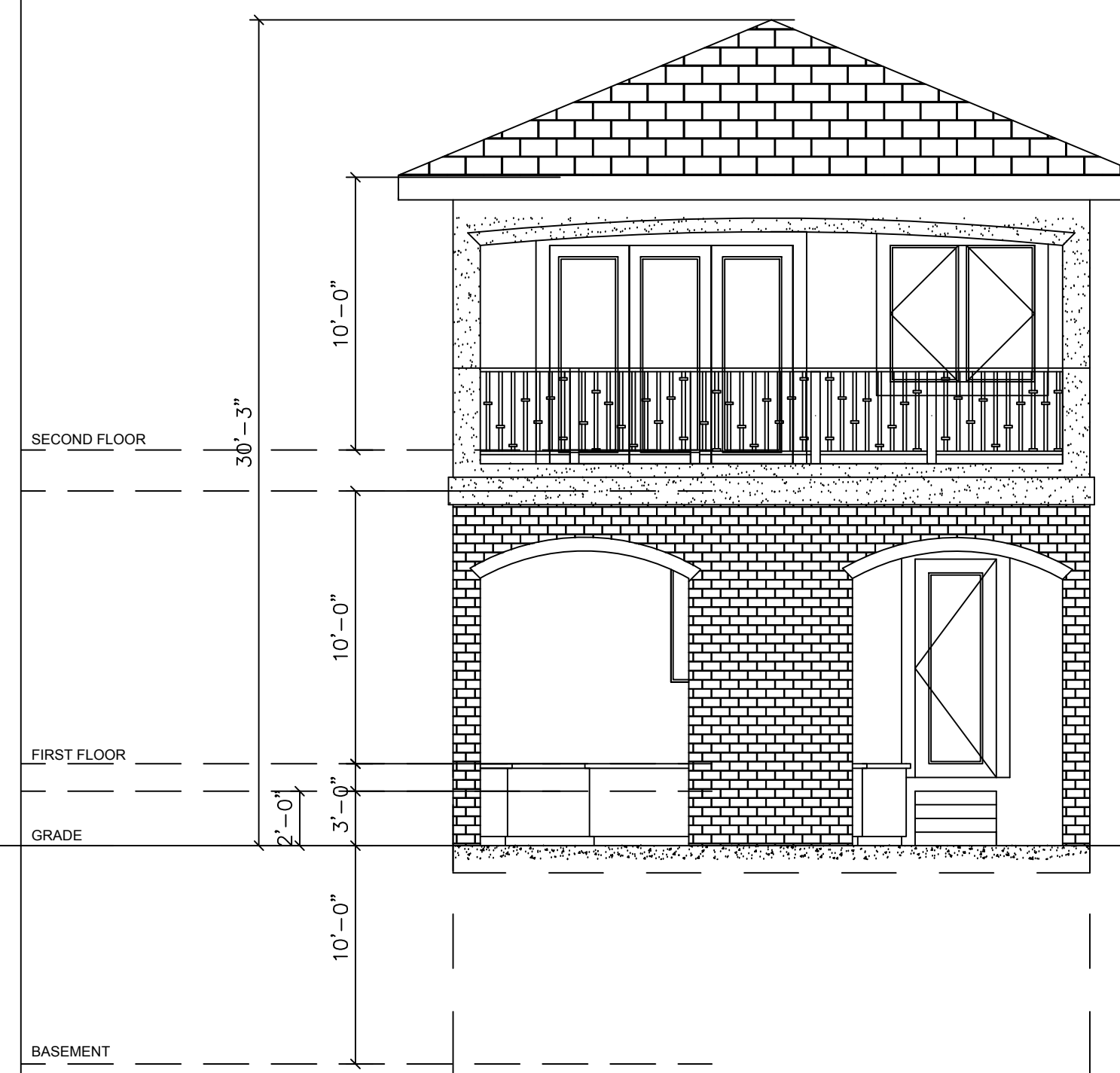
③ ELEVATION 4

SCALE 3/16=1'-0"



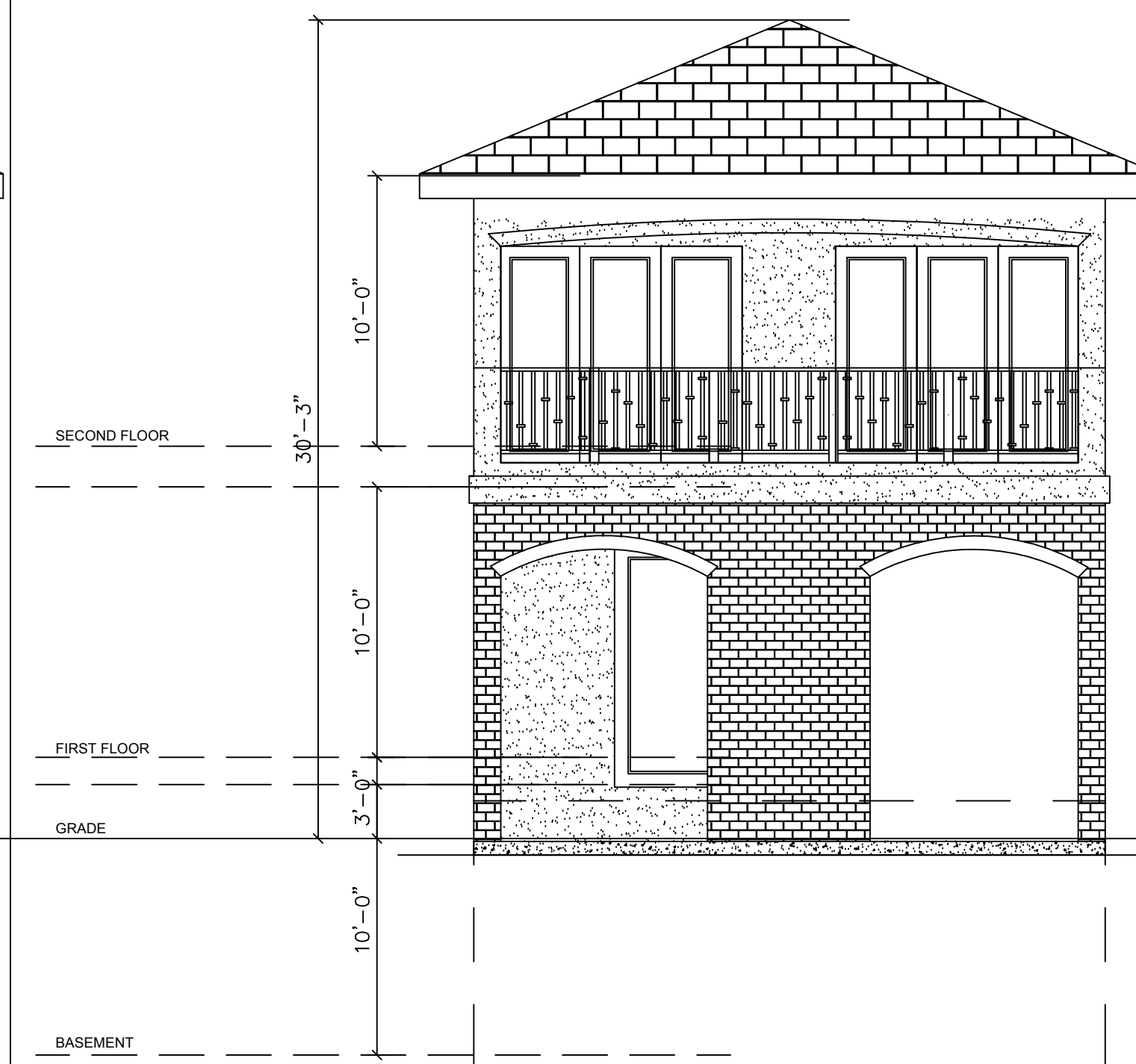
④ ELEVATION 5

SCALE 3/16=1'-0"



⑤ ELEVATION 7

SCALE 3/16=1'-0"



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

MAIN HOUSE ELEVATIONS

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME
Date
06-10-2021
Scale
3/16" = 1'-0"

Sheet
A7.4

① ELEVATION 8

SCALE 3/16=1'-0"



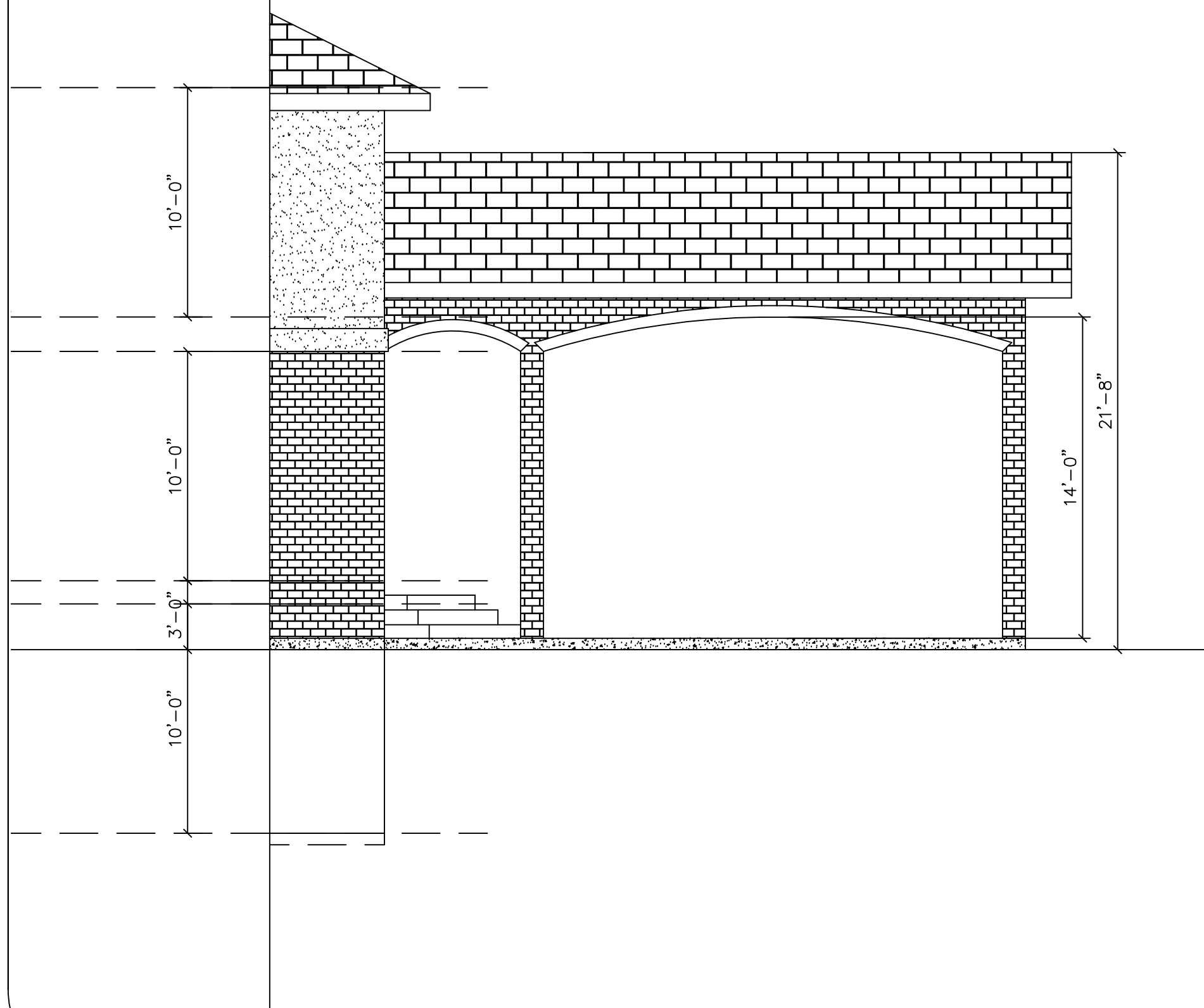
② ELEVATION 6

SCALE 3/16=1'-0"



③ ELEVATION 10

SCALE 3/16=1'-0"



④ ELEVATION 5,6,7



ALL WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF LOCAL, STATE, AND FEDERAL AGENCIES HAVING JURISDICTION. AIASSA DESIGNERS ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION NOR PROPER EXECUTION FOR THE WORK SHOWN ON THESE DRAWINGS, NOR FOR ANY EXISTING CONSTRUCTION. ANY REPRODUCTION IN ANY FORM OR PART THERE OF, IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF AIASSA DESIGNERS.

CONTRACTORS TO VERIFY ALL CONDITIONS AND REPORT ANY DISCREPANCIES TO OWNER, DESIGNER, AND ENGINEER

ALL WORK SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING, MECHANICAL AND PLUMBING CODES, AND CURRENT NATIONAL ELECTRICAL CODES.

THESE DRAWINGS ARE NOT TO BE USED FOR CONSTRUCTION DRAWINGS.

MAIN HOUSE ELEVATIONS

Drafters Name and Address
JEANNIE KESTER
654 NEILL CT
FRENCH CAMP, CA. 95231
(408)230-2989
WWW.AIASSADESIGNERS.COM

Project Name and Address
KEVIN GORDON
0 RICA VISTA WAY
SAN JOSE, CA. 95127

Project
CUSTOM HOME
Date
06-10-2021
Scale
3/16" = 1'-0"

Sheet
A7.5

NOTES

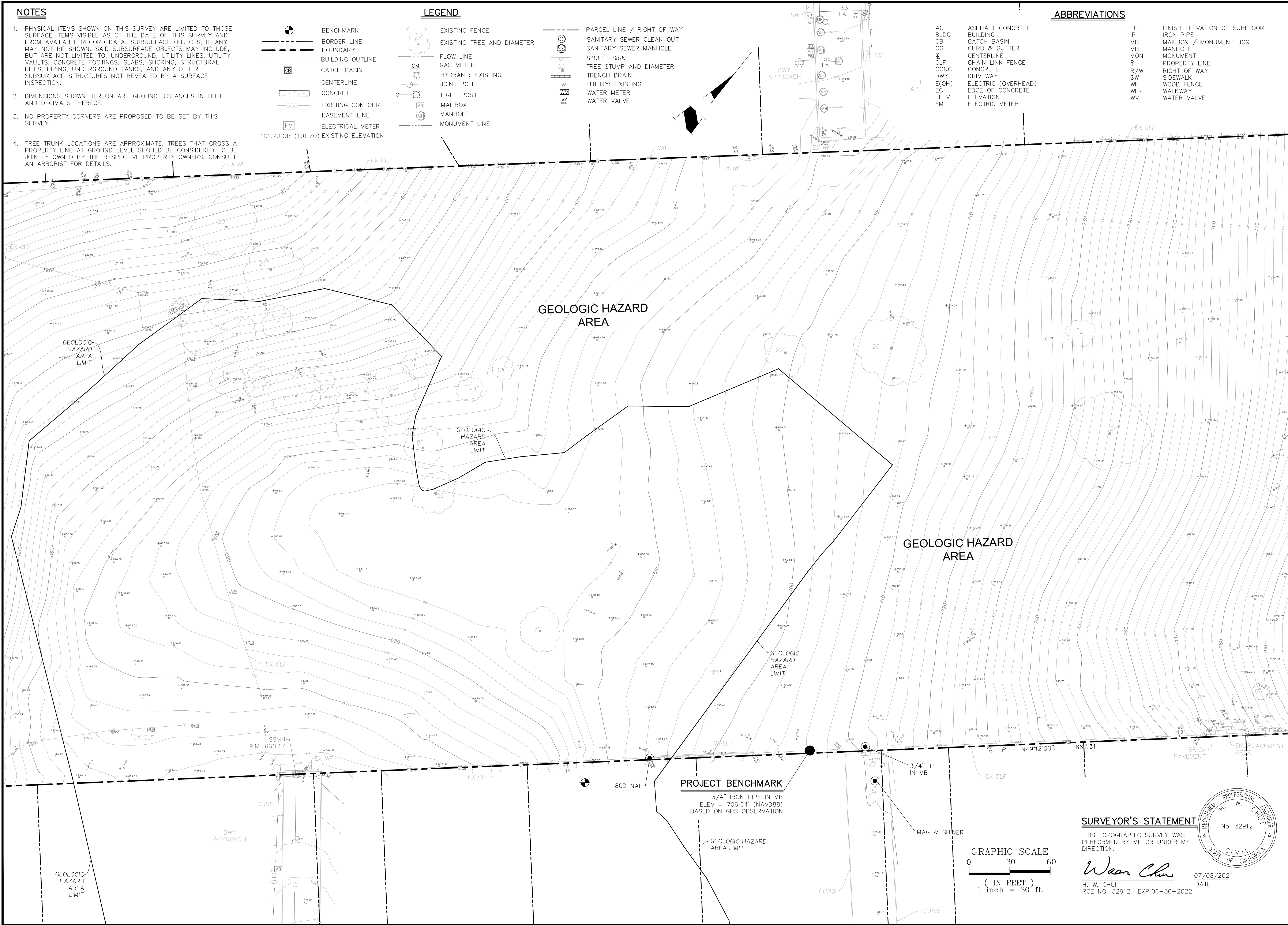
1. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
2. DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
3. NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
4. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.

LEGEND

- BENCHMARK
BORDER LINE
BOUNDARY
BUILDING OUTLINE
CATCH BASIN
CENTERLINE
CONCRETE
EXISTING CONTOUR
EASEMENT LINE
ELECTRICAL METER
- EXISTING FENCE
EXISTING TREE AND DIAMETER
FLOW LINE
GAS METER
HYDRANT: EXISTING
JOINT POLE
LIGHT POST
MAILBOX
MANHOLE
MONUMENT LINE
- PARCEL LINE / RIGHT OF WAY
SANITARY SEWER CLEAN OUT
SANITARY SEWER MANHOLE
STREET SIGN
TREE STUMP AND DIAMETER
TRENCH DRAIN
UTILITY: EXISTING
WATER METER
WATER VALVE

ABBREVIATIONS

- AC ASPHALT CONCRETE
BLDG BUILDING
CB CATCH BASIN
CG CURB & GUTTER
CL CENTERLINE
CLF CHAIN LINK FENCE
CONC CONCRETE
DWY DRIVEWAY
E(OH) ELECTRIC (OVERHEAD)
EC EDGE OF CONCRETE
ELEV ELEVATION
EM ELECTRIC METER
- FF FINISH ELEVATION OF SUBFLOOR
IP IRON PIPE
MB MAILBOX / MONUMENT BOX
MH MANHOLE
MON MONUMENT
PL PROPERTY LINE
R/W RIGHT OF WAY
SW SIDEWALK
WF WOOD FENCE
WLK WALKWAY
WV WATER VALVE



ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

TOPOGRAPHIC SURVEY MAP
0 RICA VISTA WAY
APN 612-08-023

San Jose
California

PROJECT NO.
CONTRACT NO.

FILE NO.
SHT NO. 1 OF 1

DATE
07/08/21

BY
DATE

APP'D
DATE

REVISIONS
NO.