

# KHANDARE RESIDENCE

17025 MCGILL ROAD, SARATOGA, CA 95070 (UNINCORPORATED)

## SITE PLAN PERMIT APPLICATION

### PROJECT DATA

#### A. GENERAL DATA

1. ADDRESS: 17025 MCGILL ROAD, SARATOGA, CA 95070
2. ASSESSOR'S PARCEL NUMBER: 517-24-024
3. LOT AREA: 435,600 SQ. FT. = 10 AC.

#### B. PLANNING DATA

ZONING: HS  
UNDER 30% SLOPE  
SETBACKS FRONT = 30'  
SIDE = 30'  
BACK = 30'  
HEIGHT LIMITATION: 32.5' PROPOSED HEIGHT: 32.5'  
PROPOSED SINGLE FAMILY RESIDENCE, 3 STORIES, 2,500 SQ. FT. +/- + 800 SQ. FT. BASEMENT.  
PROPOSED 2 CAR GARAGE, DETACHED STRUCTURE, 2 STORIES, +/- 1,200 SQ. FT.  
SEWER: DRIP SEPTIC SYSTEM

#### C. CODES

THE FOLLOWING CODES APPLY:  
2019 CALIFORNIA SINGLE FAMILY BUILDING CODE, INCLUDING CHAPTER 7A, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, COUNTY OF SANTA CLARA CODES AND REGULATIONS.

#### D. FIRE

PARCEL LOCATED WITHIN SRA AND WUI-HIGH.  
PROPOSED PROJECT WILL HAVE AN APPROVED AUTOMATIC SPRINKLER SYSTEM FOR:  
1. INTERIOR OF RESIDENCE BUILDING, AUTOMATIC  
2. EXTERIOR OF RESIDENCE BUILDING, MANUAL (OPTIONAL)  
3. INTERIOR OF GARAGE BUILDING, AUTOMATIC  
PRIVATE DRIVEWAY SLOPE AND MCGILL ROAD SLOPE ARE BOTH LESS THAN 15%.  
SPRINKLER SYSTEM DESIGN - DEFERRED SUBMISSION

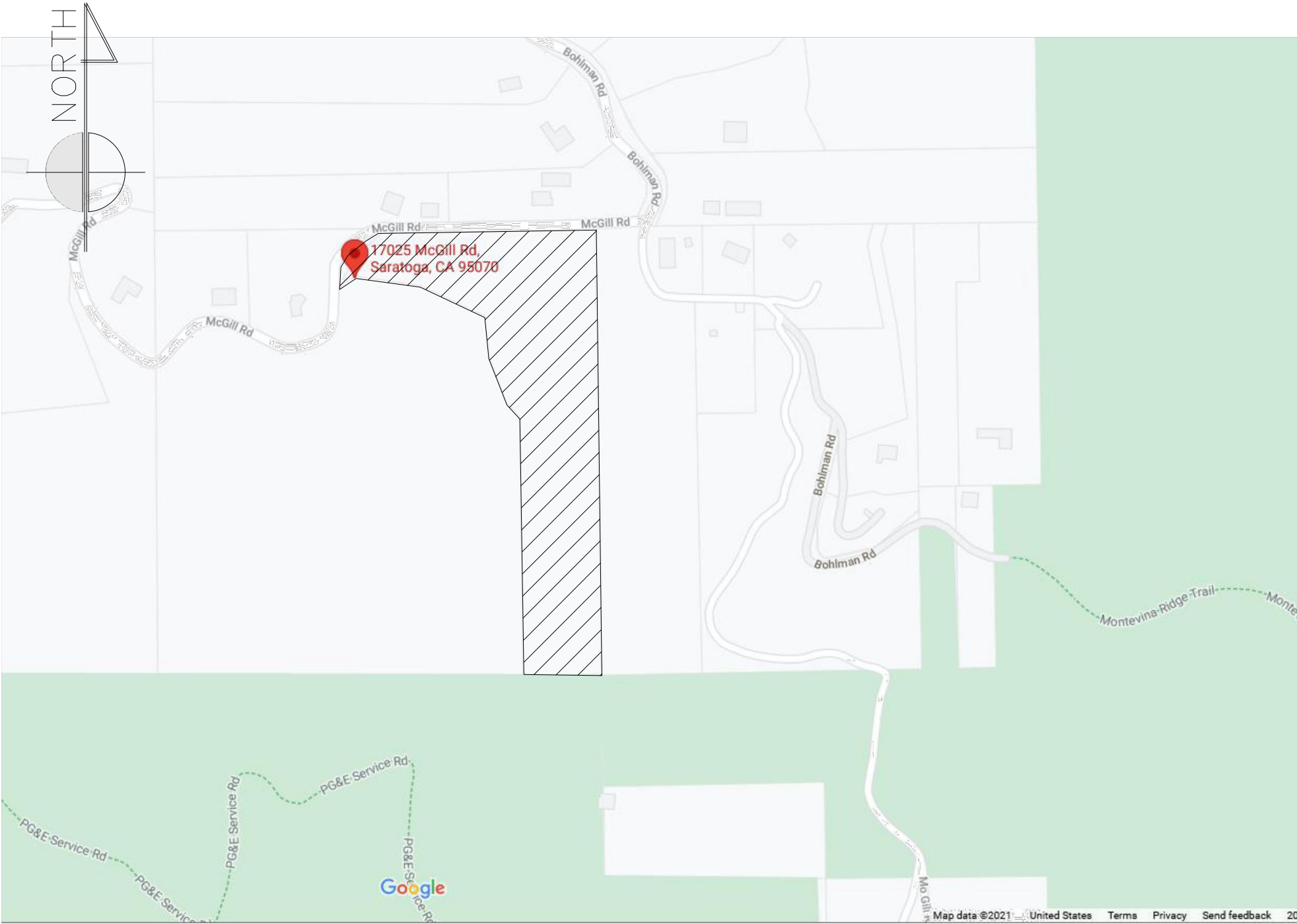
### PROJECT DIRECTORY

OWNER	<b>MILIND KHANDARE &amp; NEHA DOBHAL</b> 560 HOPE STREET, #27 MOUNTAIN VIEW, CA, 94041	312.607.9870 nk.milind@gmail.com
ARCHITECT	<b>DAN IONESCU ARCHITECTS &amp; PLANNERS</b> 1611 BOREL PLACE, SUITE 230 SAN MATEO, CA 94402	650.570.6681 dionescu@diap.com
CIVIL	<b>OSUNA ENGINEERING, INC.</b> 117 BERNAL ROAD, SUITE 70-336 SAN JOSE, CA 95119	408 772 4381 info@osunaengineering.com
GEOTECHNICAL	<b>ROMIG ENGINEERS</b> 1390 EL CAMINO REAL, SECOND FLOOR SAN CARLOS, CA 94070	650 591 5224 www.romigengineering.com
WASTEWATER	<b>BIOSPHERE CONSULTING</b> 1315 KING STREET, SANA CRUZ, CA 95060	831 430 9116 www.biosphere-consulting.com

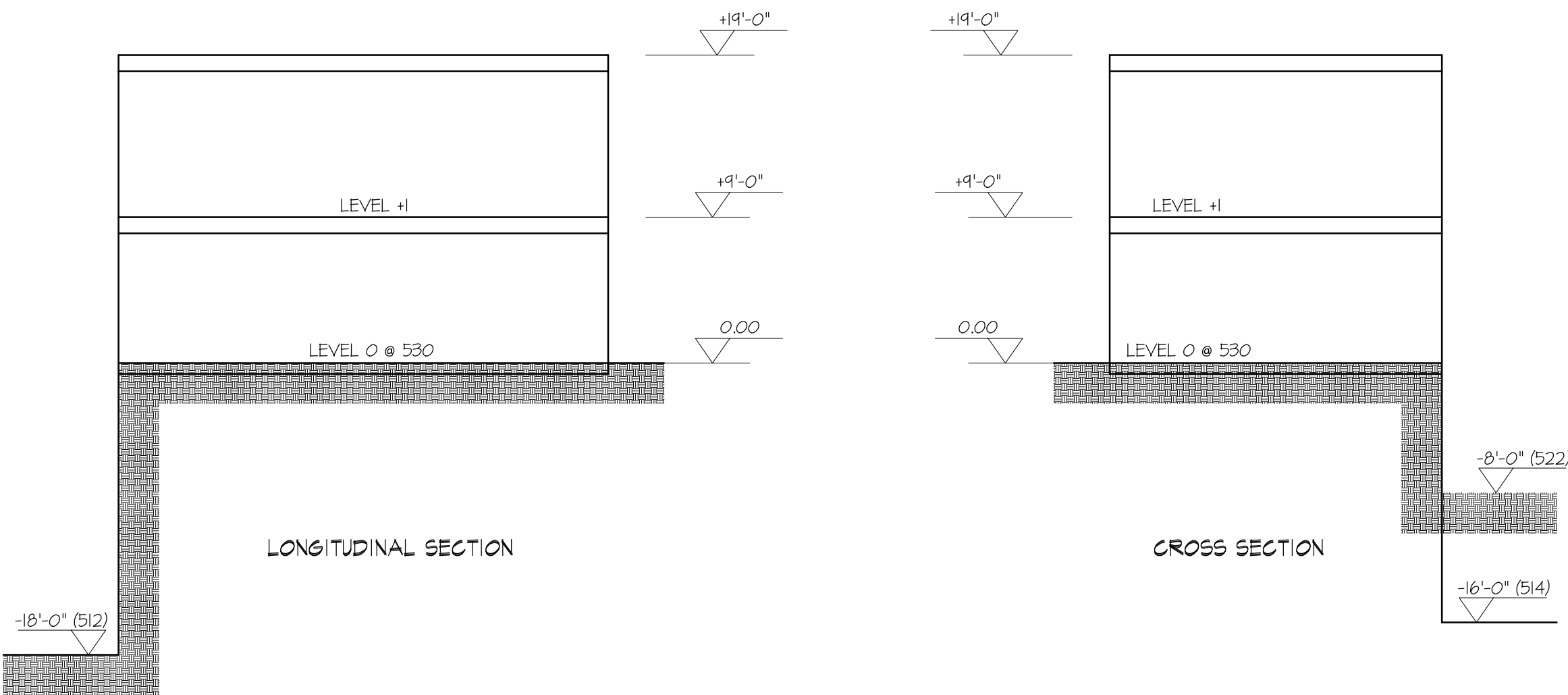
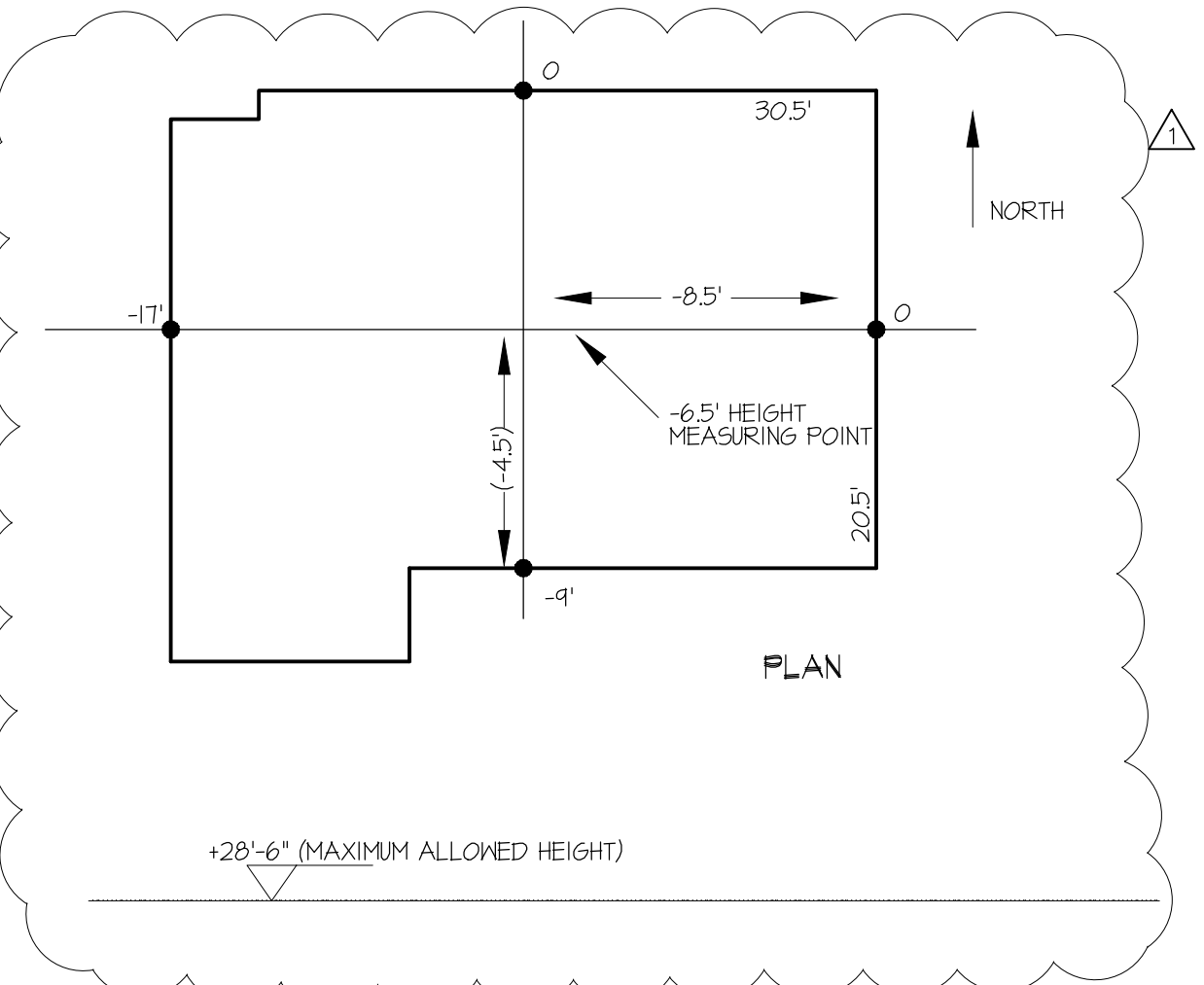
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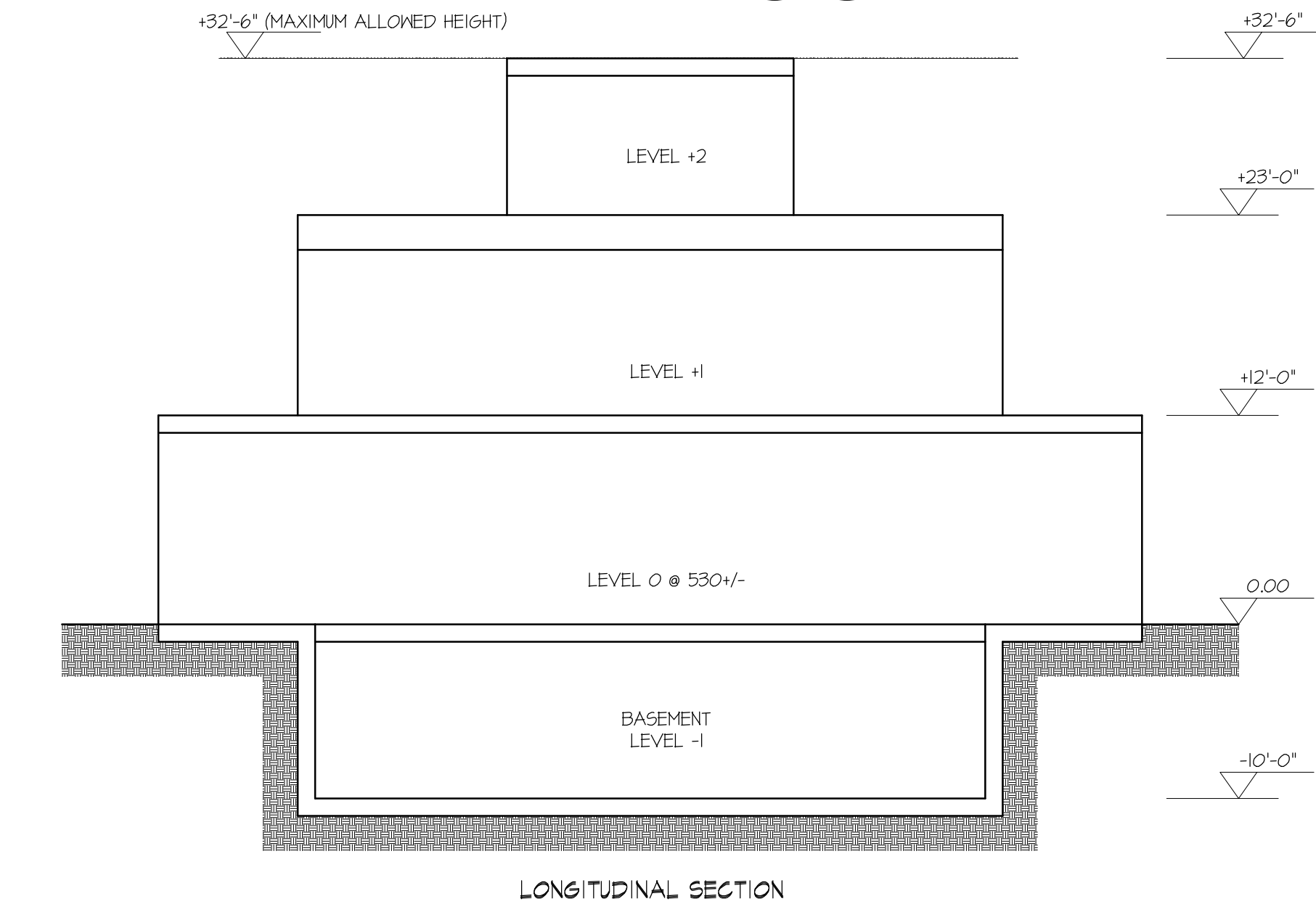
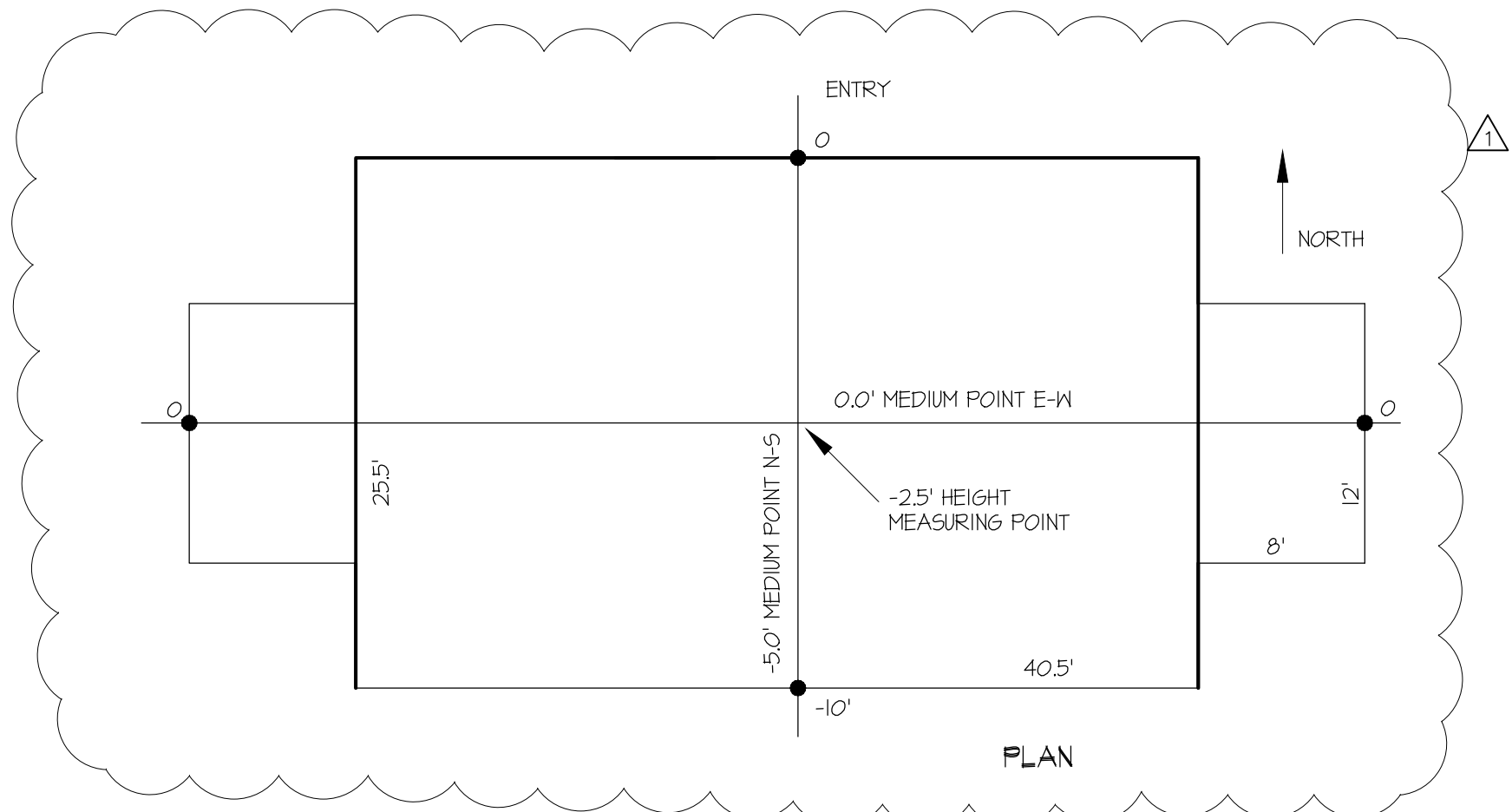
### VICINITY MAP



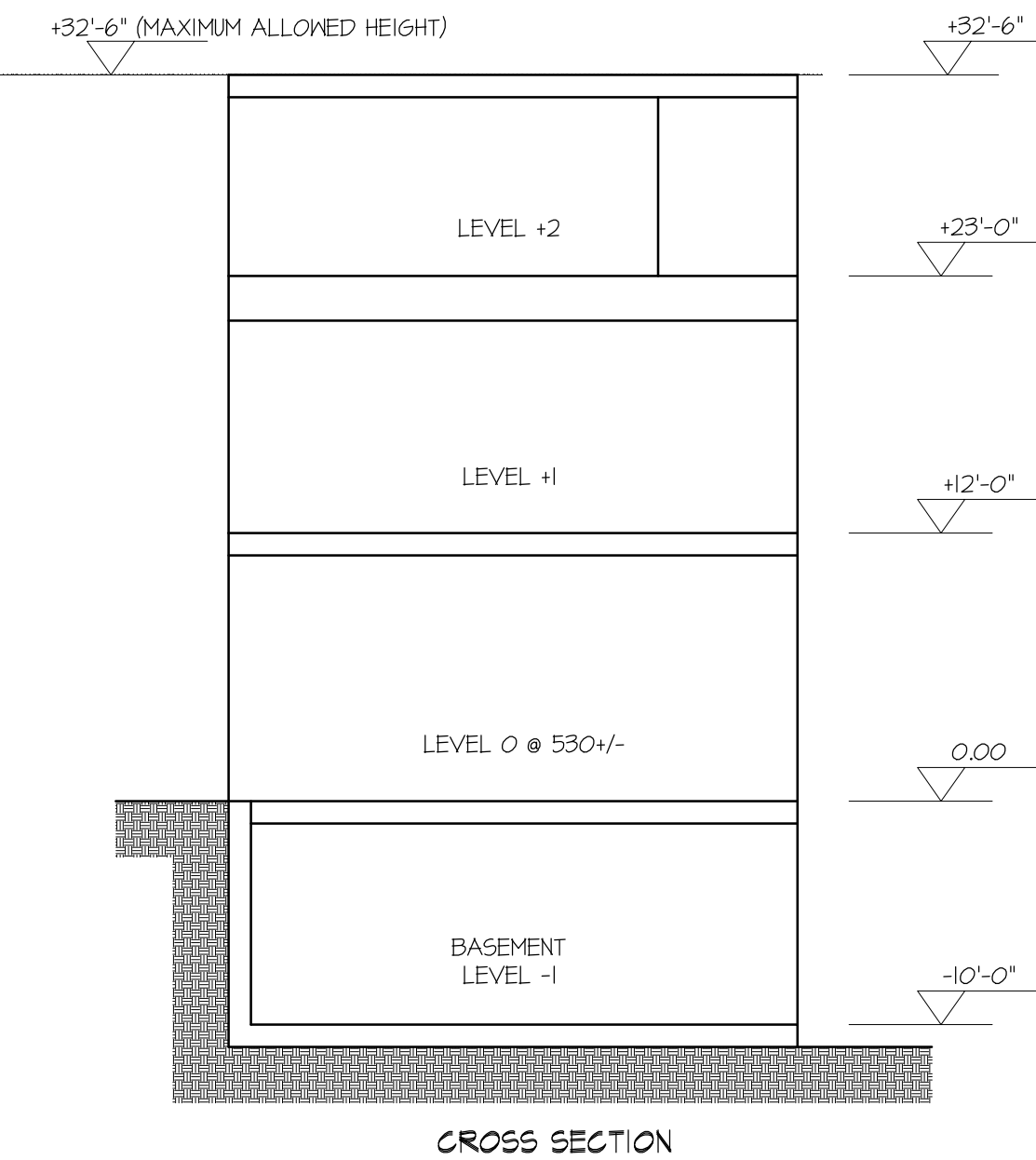
### HEIGHT ANALYSIS GARAGE



### HEIGHT ANALYSIS RESIDENCE



MAXIMUM ALLOWED HEIGHT: 35'-0"  
MAXIMUM ALLOWED HEIGHT FOR THIS LOCATION: 32'-6"  
PROPOSED RESIDENCE HEIGHT: 32'-6"



## KHANDARE RESIDENCE

LOCATION  
17025 MCGILL RD.  
SARATOGA CA 95070

PROJECT PHASE  
SITE PLAN PERMIT

JOB NO.  
2003

### COVER SHEET

SCALE  
N/A

DATE  
JULY 2021

ISSUES / REVISIONS

- 9-10-21 CITY COMMENTS-PLANNING
- 11-22-21 COUNTY CIVIL COMMENTS
- 02-10-22 COUNTY CIVIL COMMENTS



ABBREVIATIONS

@ # X < Y A > B	AT NUMBER "X" LESS THAN "Y" "A" GREATER THAN "B"	FA FAU FD FDN FE FEC FF FHC FIN FL FLASH FLUOR FO FOC FOF FOS FP FPRF	FIRE ALARM FORCED AIR UNIT FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FIXED GLASS FINISHED FLOOR FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF STUD FIREPLACE FIREPROOFING FIRE RESISTIVE FOOT OR FEET FOOTING FURRING	N N/A NA N/C N/C NOM NR NSF NTS	NORTH OR NON-RATED NOT APPLICABLE NOT AVAILABLE NON COMBUSTIBLE NOT IN CONTRACT NOMINAL NON-RATED NET SQUARE FEET NOT TO SCALE	SEC SH SHR SHT SHTG SIM SL SLD SMD SND	SECTION SOAP HOLDER SHOWER SHEET SHEATHING SIMILAR SLIDING SEE LANDSCAPE DRAWINGS SEE MECHANICAL DRAWINGS SANITARY NAPKIN DISPENSER
BD BLDG BLK BLKG BM BOT BU	BOARD BUILDING BLOCK BLOCKING BEAM BOTTOM BUILT-UP	BT FTG FURR G GA GALV GB GC GD GL GND GR GSF GSM GYP BD	BOARD BUILDING BLOCK BLOCKING BEAM BOTTOM BUILT-UP	P PA PB PL	POLE OR PANTRY PLANNING APPROVAL PARTICLE BOARD PLATE OR PROPERTY LINE	T	TILE, TREAD, TOP, OR TRANSFORMER TONGUE AND GROOVE TOWEL BAR TOP OF CURB
C CAB CB CER CO CIP CL CLF CLG CLR CMU COL CONC CONN CONSTR CONT CT CTR	COMPACT CAR PARKING SPACE CABINET CATCH BASIN CERAMIC CORNER GUARD CAST IN PLACE CENTERLINE OR CLOSET CHAIN LINK FENCE CEILING CAULKING CLEAR CONCRETE MASONRY UNIT COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS COOKTOP OR CERAMIC TILE CENTER	HC HD HDWD HDWR HHP HT HM HP HORIZ HR	HANDICAP PARKING SPACE, HOOD, HYDRANT, OR HIGH HANDICAP, HOLLOW CORE, OR HOSE CABINET HEADER HARDWOOD HARDWARE HYDRONIC HEAT PUMP HEIGHT HOLLOW METAL HEAT PUMP HORIZONTAL HOUR	PTD PTN PW	PAPER TOWEL DISPENSER PARTITION PLUMBING WALL	TEL TERRAZZO TH THK THR T.O. TOL TOP TOS TOW TP TPD TV TYP UNF UON	TELEPHONE TERRAZZO TOWNHOUSE THICK THRESHOLD TOP OF TOLERANCE TOP OF PLATE TOP OF STRUCTURAL SLAB TOP OF WALL TOP OF PAVEMENT TOILET PAPER DISPENSER TRANSPARENT TELEVISION TYPICAL UNFINISHED UNLESS OTHERWISE NOTED
D DB DBL DEPT DEG DET DF	DRYER DRY BAR DOUBLE DEPARTMENT DEGREES DETAIL DRINKING FOUNTAIN OR DOUGLAS FIR DIAMETER DIMENSION DISPENSER DAMP PROOFING DOWN DOOR DOWNSPOUT DRY STAND PIPE DISHWASHER DRAWING DRAWER	ID INSUL INT JAN JT KIT KP L LA LAB LAM LAV LKR LT LT WGT	INSIDE DIAMETER OR INSIDE DIMENSION INTERIOR JANITOR JOINT KITCHEN KICK PLATE LINEN CLOSET LANDSCAPE ARCHITECT LABORATORY LAMINATE LAVATORY LOCKER LIGHT LIGHT WEIGHT	RM RO ROW RWL	ROOM ROUGH OPENING RIGHT OF WAY RAIN WATER LEADER	W W/ WC WD WH W X H W/O WO WP	WEST, WASHER, WATER OR WIDE WITH WATER CLOSET WOOD WATER HEATER WIDTH BY HEIGHT WITHOUT WHERE OCCURS WATERPROOF OR WORKING POINT WATER RESISTANT WINDOW WAINSCOT WET STAND PIPE WEIGHT WELOED WIRE FABRIC WELDED WIRE MESH
(E) E EA EJ EL ELEC ELEV EMER ENCL ENG EP EQ EQPT EWC EXP EXPO EXT	EXISTING EAST OR EGRESS EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATION EMERGENCY ENCLOSURE ENGINEER ELECTRICAL PANELBOARD EQUAL EQUIPMENT ELECTRIC WATER COOLER EXPANSION EXPPOSED EXTERIOR	M MAX MC MECH MEMB MFR MH MIN MISC MLDG MO MTD MTL MUL	MICROWAVE MAXIMUM MEDICINE CABINET MECHANICAL MEMBRANE MANUFACTURER MANHOLE MINIMUM MISCELLANEOUS MOULDING MASONRY OPENING MOUNTED METAL MULLION	S S & P SB SC SD SCHED SD	SOUTH OR SHELF SHELF AND POLE SPLASH BLOCK SOLID CORE SEE CIVIL DRAWINGS SCHEDULE SMOKE DETECTOR OR SOAP DISPENSER	WR WNDW WSCT WSP WT WWF WWM	WATER RESISTANT WINDOW WAINSCOT WET STAND PIPE WEIGHT WELOED WIRE FABRIC WELDED WIRE MESH

SYMBOLS

	PLAN, SECTION, DETAIL NUMBER SHEET ON WHICH IT OCCURS		WASHER		DISABLED DESIGNATION
	SECTION CUT, DETAIL NUMBER SHEET ON WHICH IT OCCURS		DRYER		EARTH
	EXTERIOR ELEVATION NUMBER SHEET ON WHICH IT OCCURS		HEAT PUMP		CONCRETE (@ DETAIL SCALES)
	INTERIOR ELEVATION NUMBER SHEET ON WHICH IT OCCURS		WATER HEATER		PLUMBING WALL
	DETAIL NUMBER SHEET ON WHICH IT OCCURS		ELECTRICAL PANEL BOARD		ROUGH WOOD - CONTINUOUS
	REVISION NUMBER		FLOOR DRAIN		ROUGH WOOD - BLOCKING
	DOOR TYPE		SLOPE INDICATION		FINISH WOOD
	WINDOW TYPE / LOUVER TYPE		SMOKE DETECTOR		INSULATION - BATT
	FINISH TYPE		THERMOSTAT		INSULATION - RIGID
	GRIDLINE IDENTIFICATION		DATUM ELEVATION		PLYWOOD
	ROOM NUMBER		NORTH ARROW W/ PROJECT NORTH		GYPSUM BOARD
	REVISION CLOUD		SPOT ELEVATION		CONCRETE
	ELEVATION CHANGE @ TOPPING SLAB		MAJOR PENETRATION THROUGH FLOOR		2X WOOD STUD WALL
	ELEVATION CHANGE (NOTED IN PLAN) @ STRUCTURAL SLAB		CENTERLINE		GRAVEL
	CEILING HEIGHT				DROPPED CEILING



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Dan Ionescu Architects & Planners

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KHANDARE  
RESIDENCE

LOCATION  
17025 MCGILL RD,  
SARATOGA CA 95070

PROJECT PHASE SITE PLAN PERMIT JOB NO. 2003

SYMBOLS  
&  
ABBREVIATIONS

SCALE 1"=100' DATE JULY 2021

ISSUES / REVISIONS





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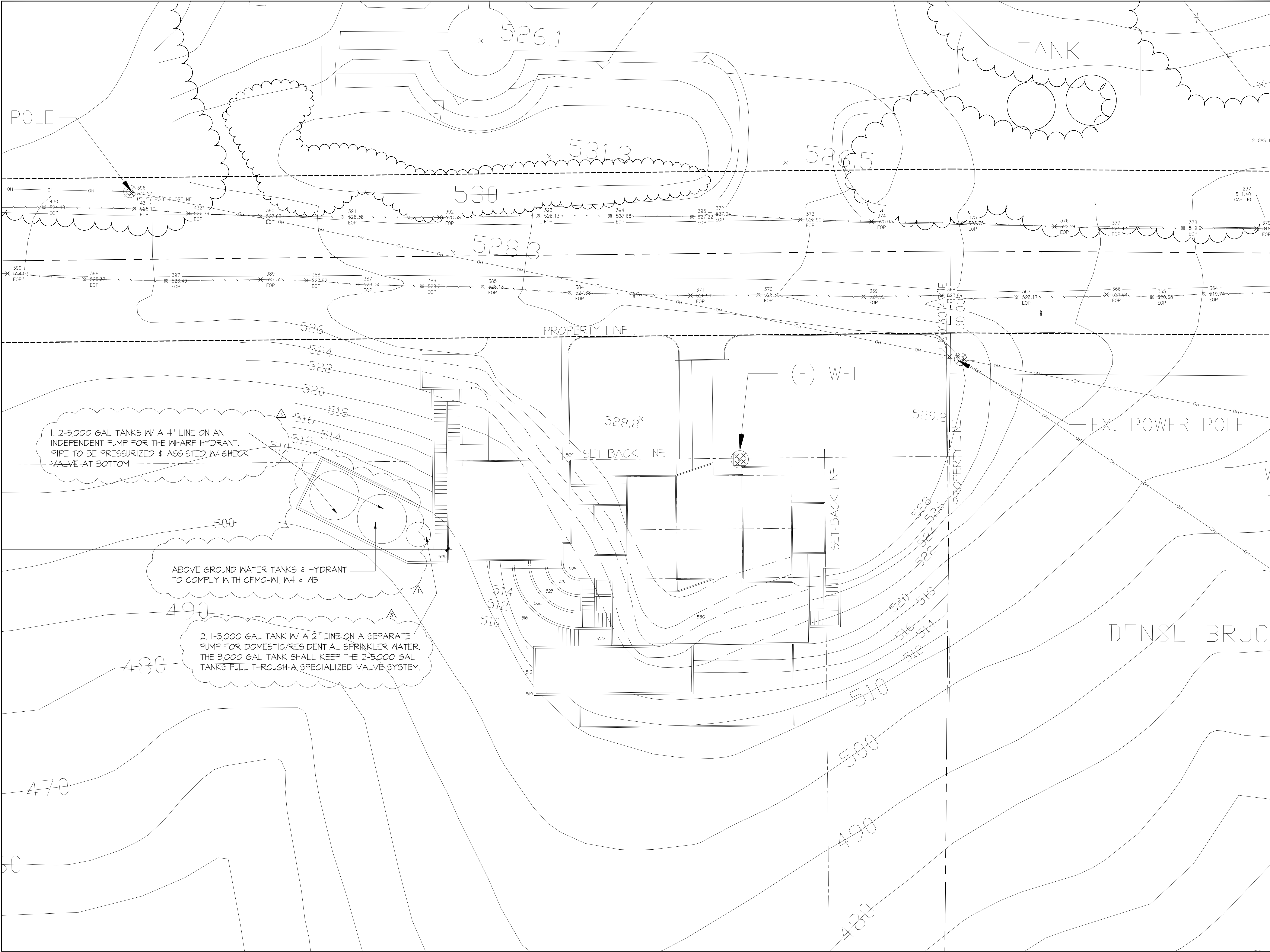
## SITE PLAN

SCALE DATE  
1"=100' JULY 2021

ISSUES / REVISIONS

02-10-22 COUNTY CIVIL COMMENTS





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## ENLARGED SITE PLAN

SCALE  
1"=10'

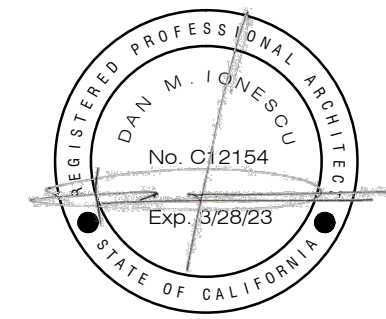
DATE  
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ISSUES / REVISIONS

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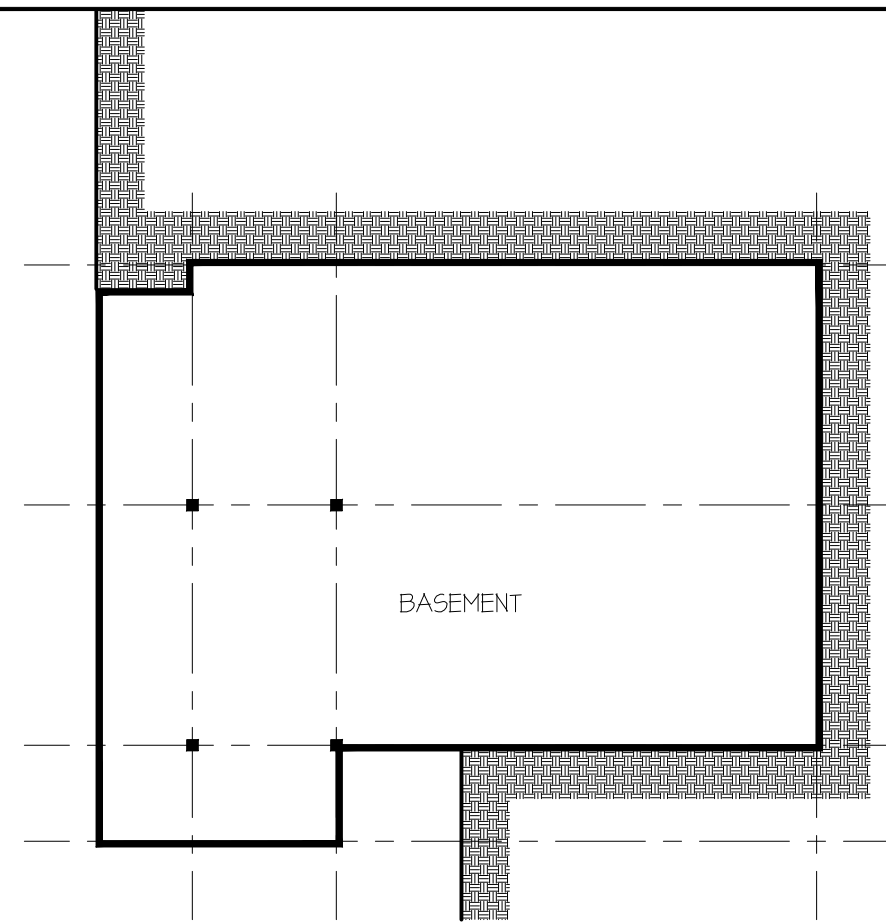
### PLANS & SECTIONS SCHEMATICS

SCALE  
1/8"=1'-0"

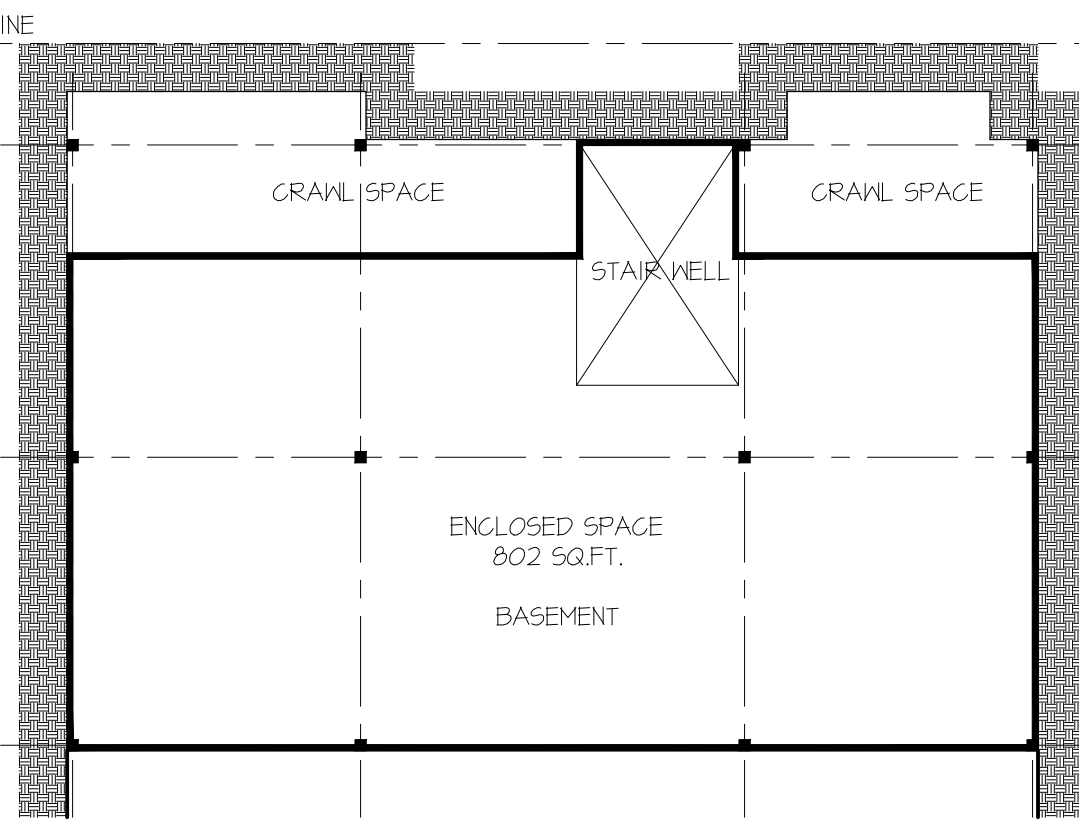
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JULY 2021

ISSUES / REVISIONS

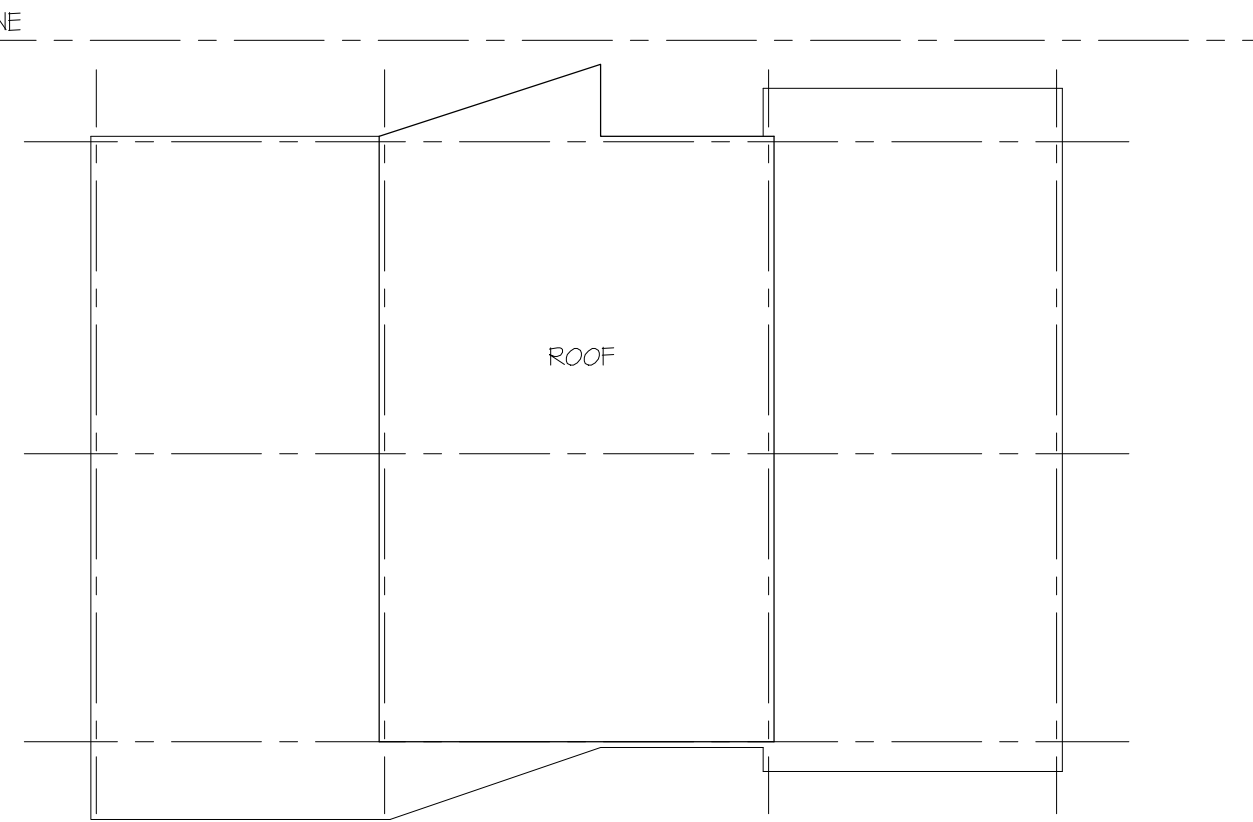
# A3



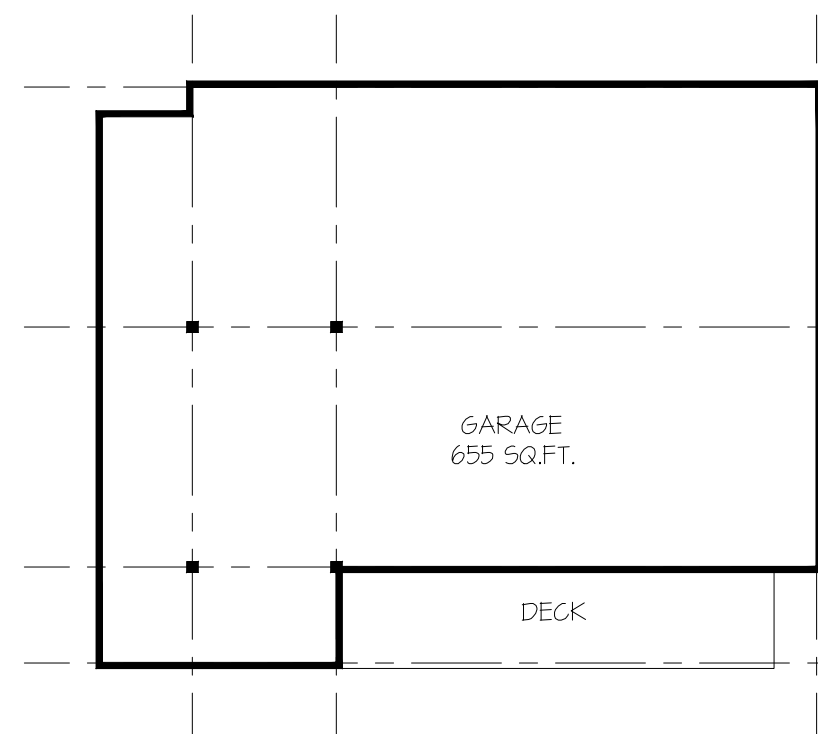
GARAGE BUILDING  
LEVEL -1



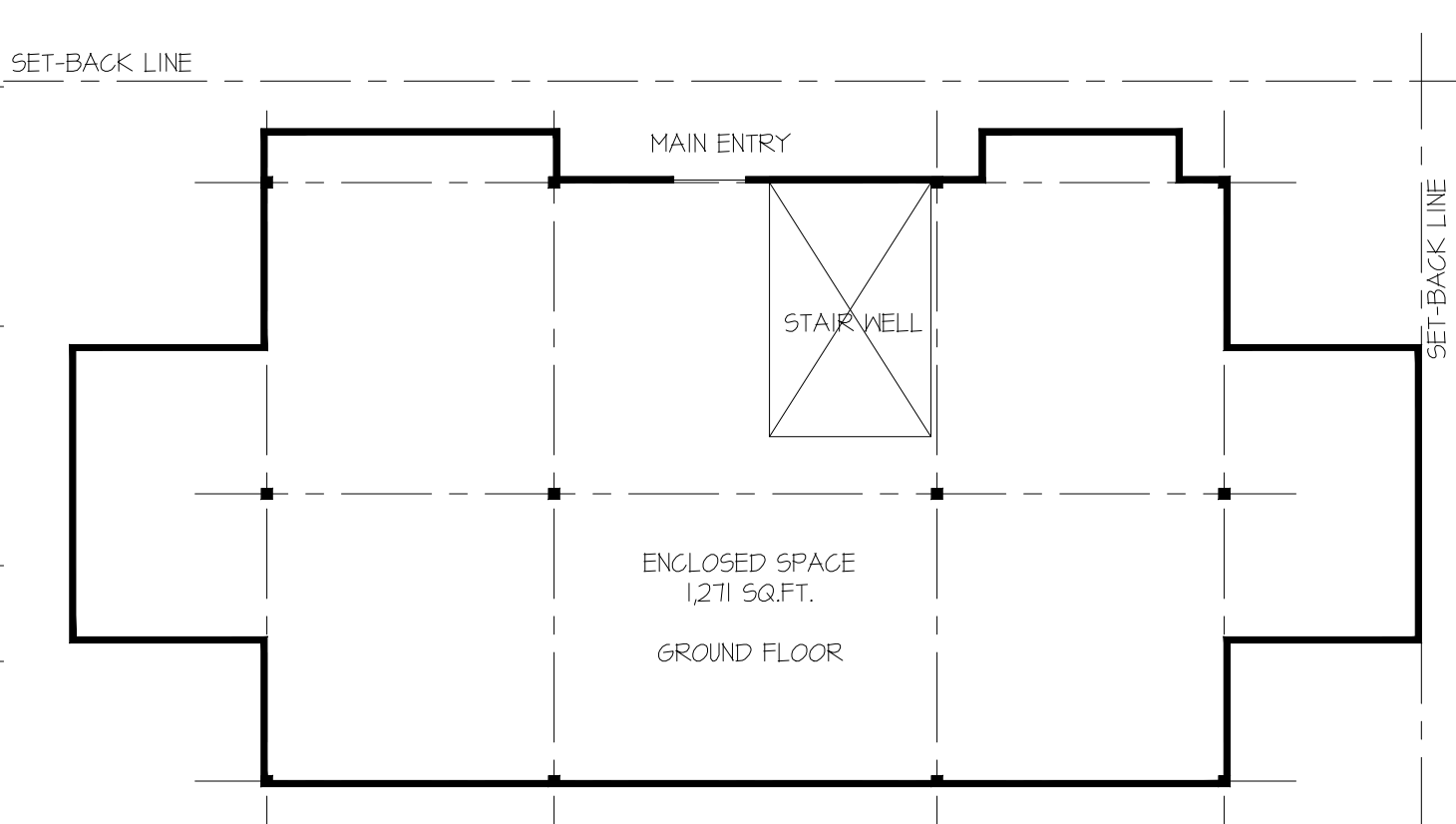
MAIN RESIDENCE  
LEVEL -1



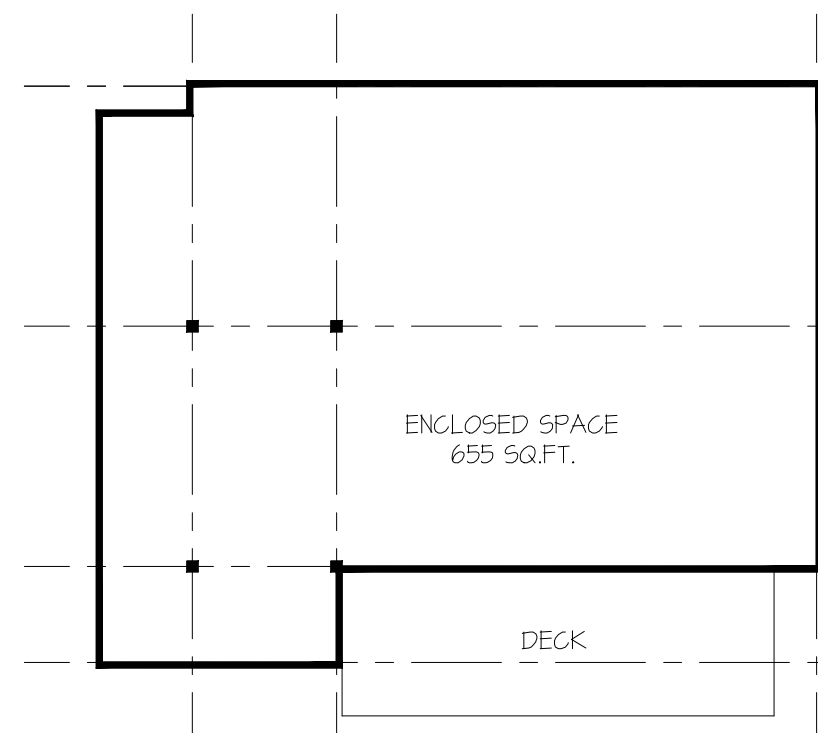
MAIN RESIDENCE  
ROOF OVER LEVEL +2



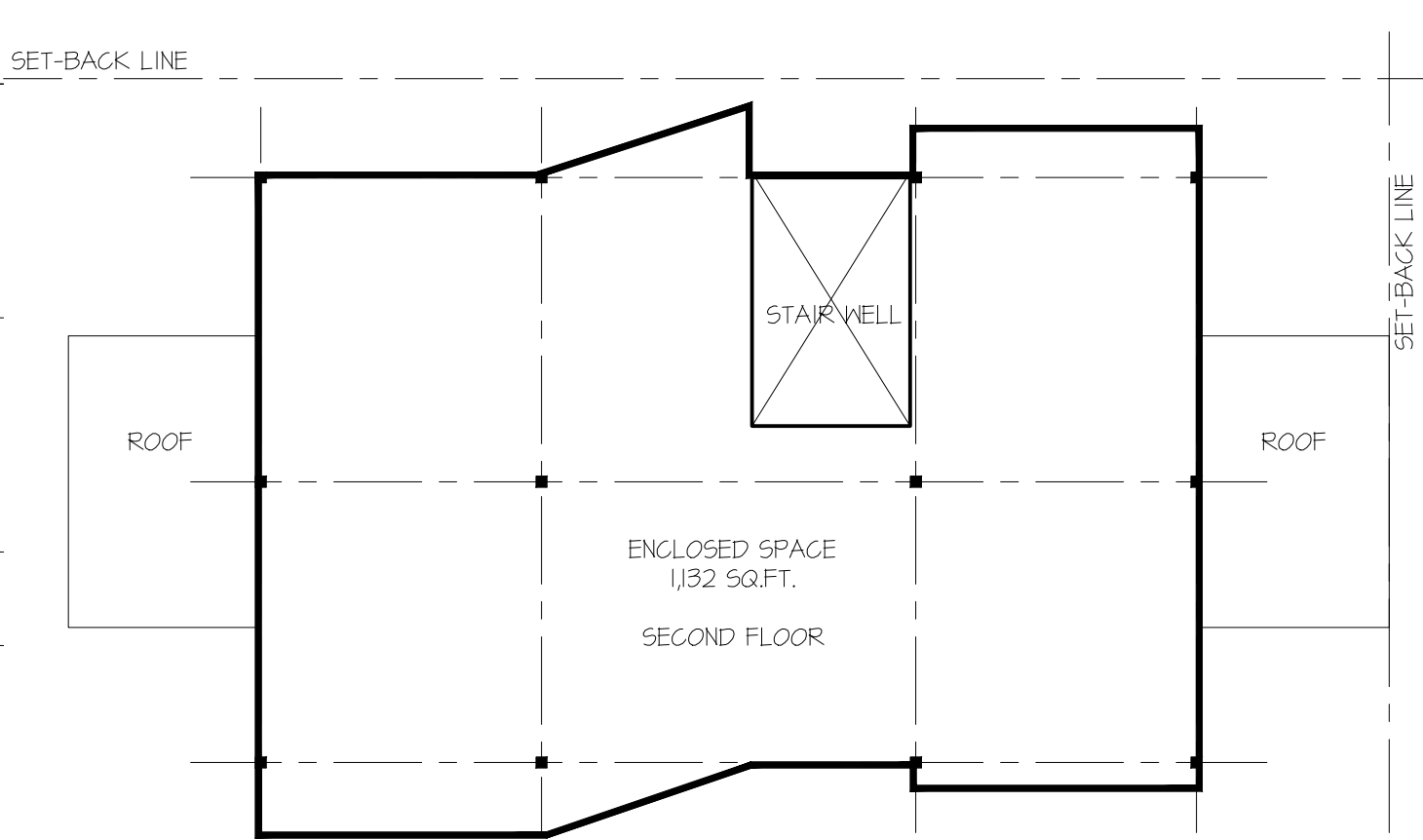
GARAGE BUILDING  
LEVEL 0



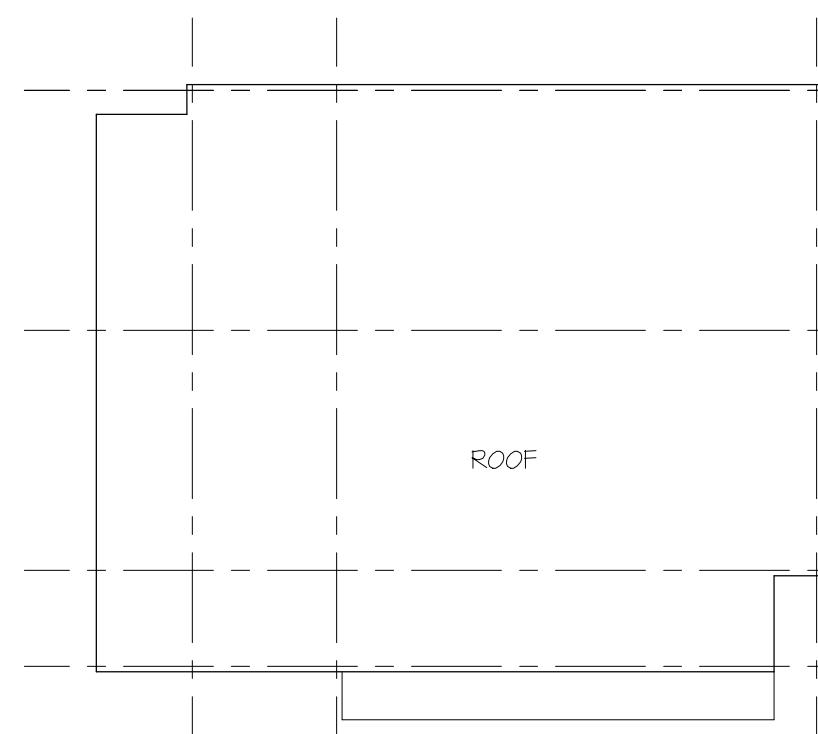
MAIN RESIDENCE  
LEVEL 0



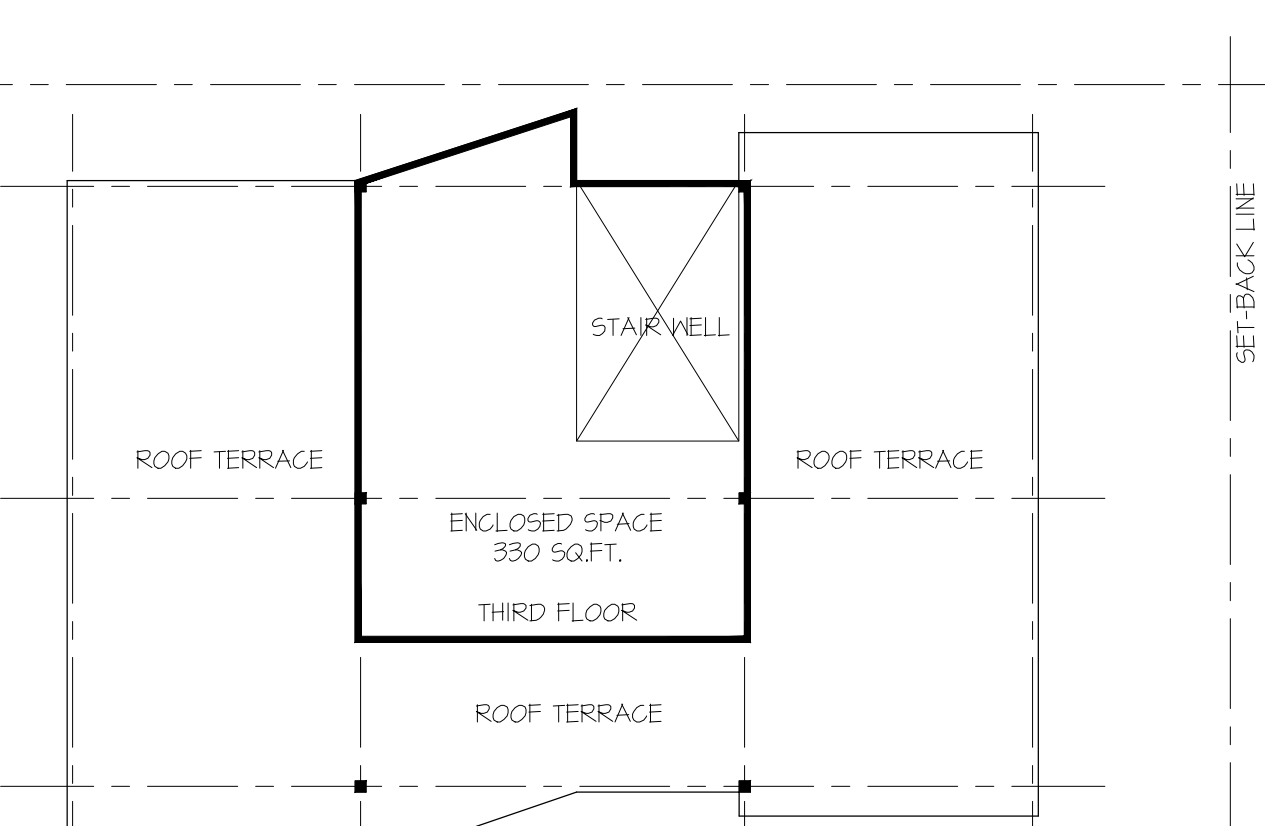
GARAGE BUILDING  
LEVEL +1



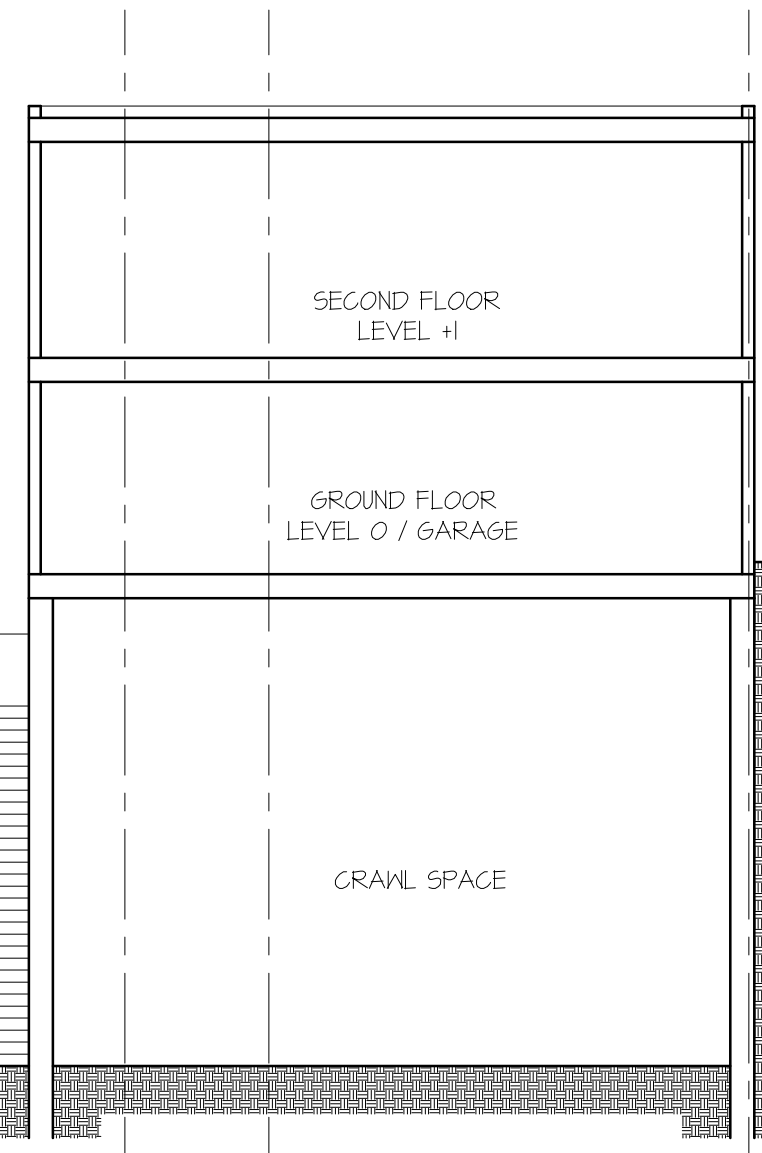
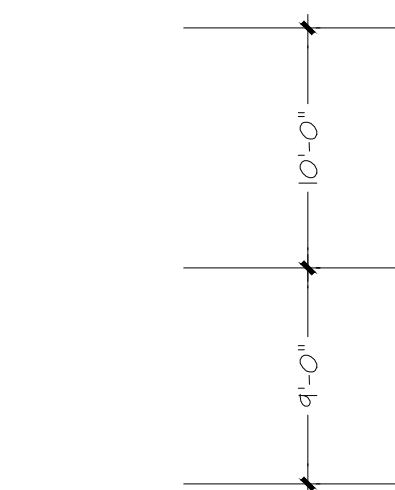
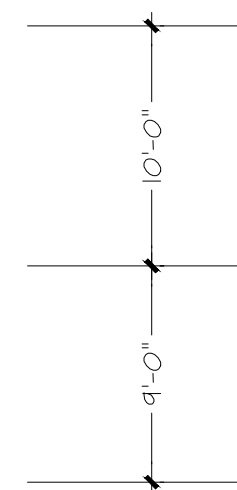
MAIN RESIDENCE  
LEVEL +1



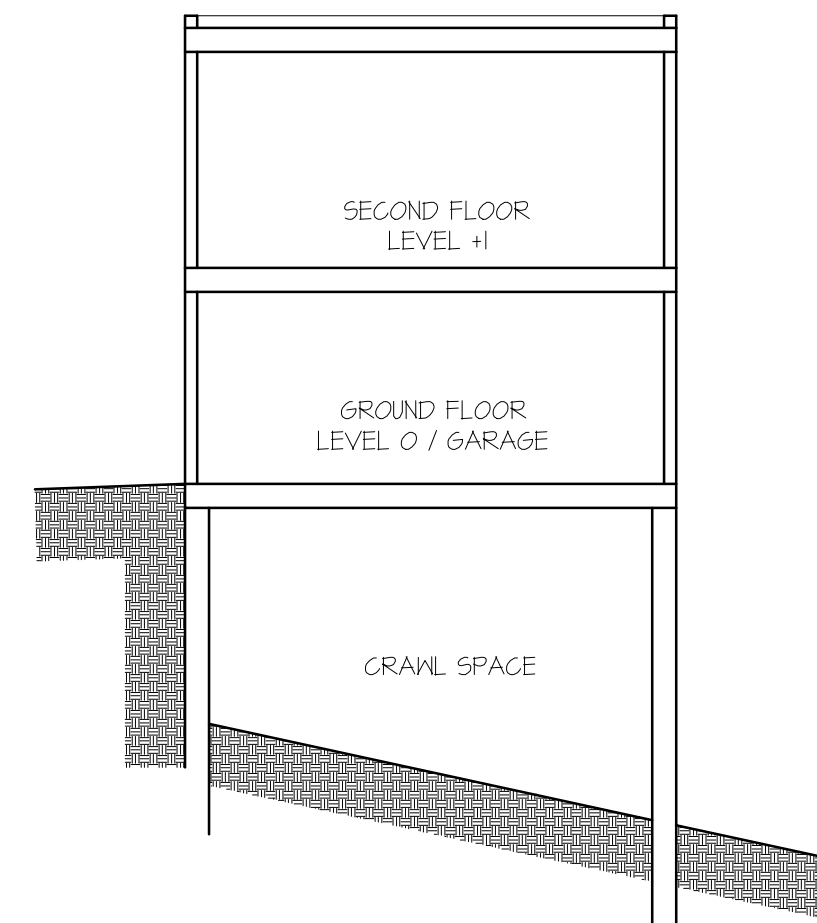
GARAGE BUILDING  
ROOF



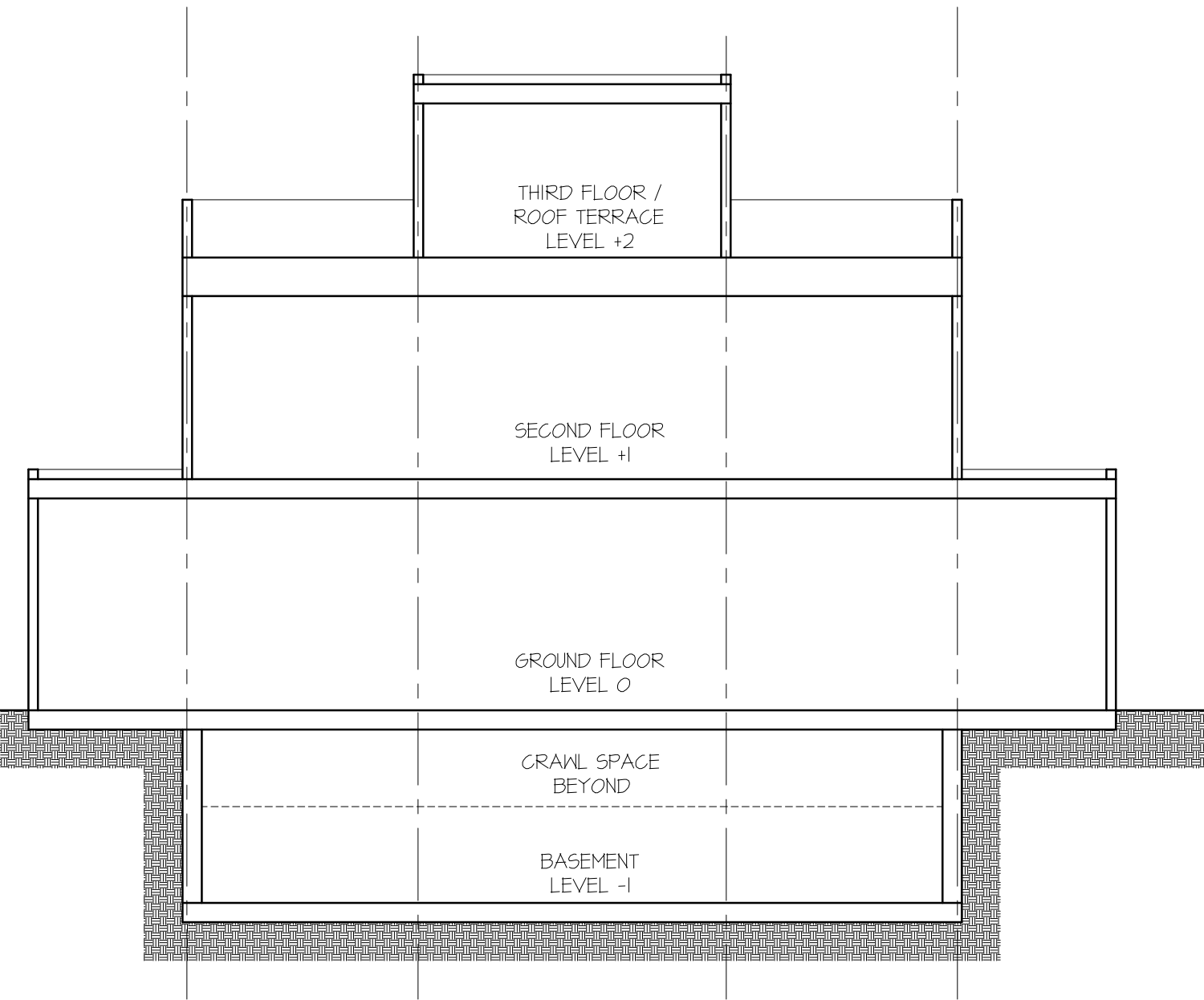
MAIN RESIDENCE  
LEVEL +2



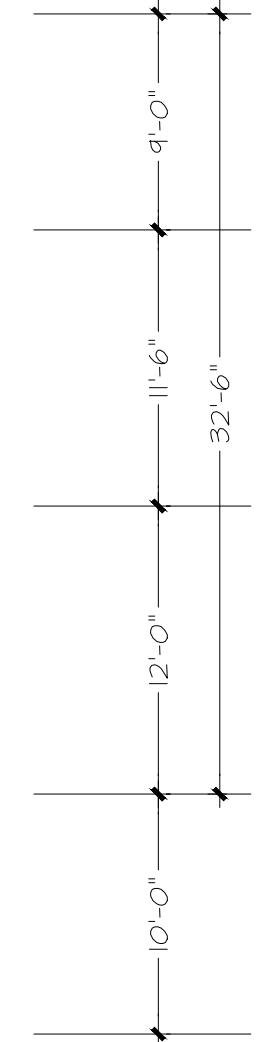
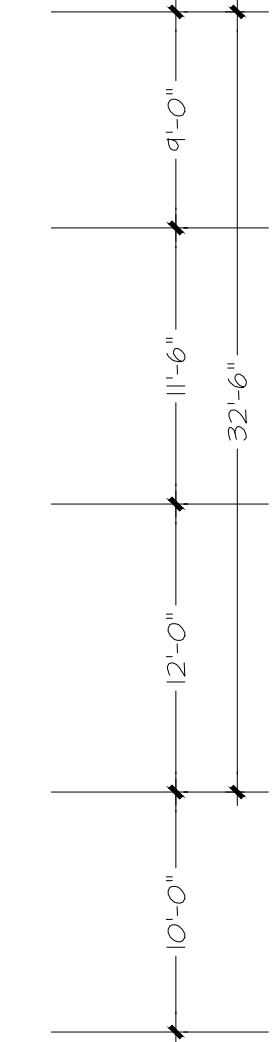
SECTION 1 RESIDENCE & GARAGE  
WEST-EAST



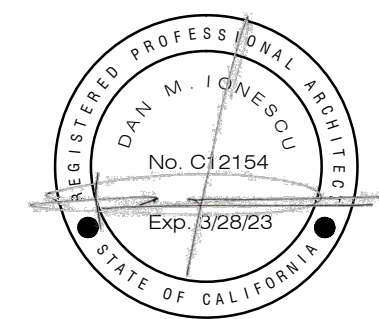
SECTION 2 GARAGE  
NORTH-SOUTH



SECTION 3 RESIDENCE  
NORTH-SOUTH







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## KHANDARE RESIDENCE

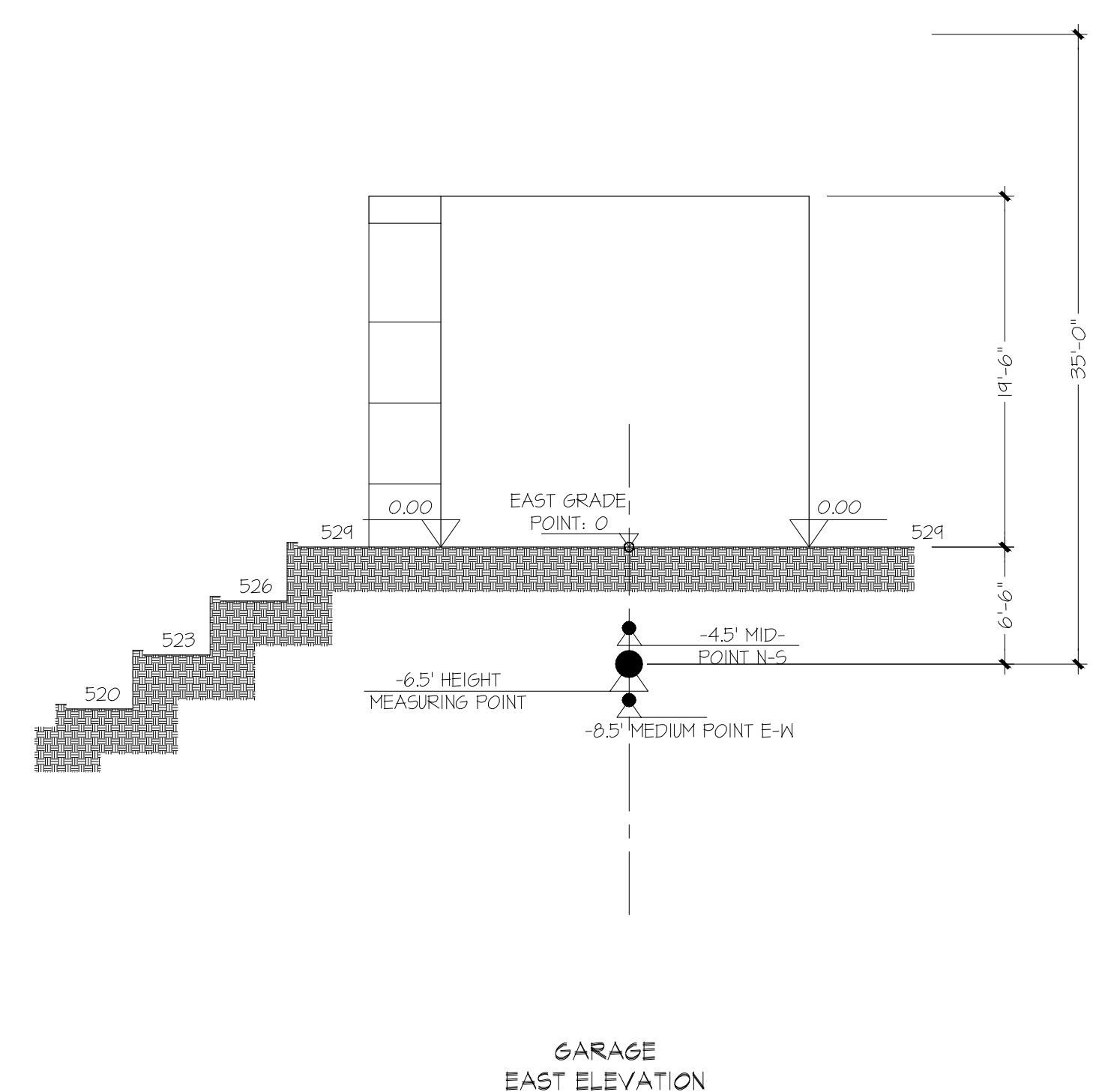
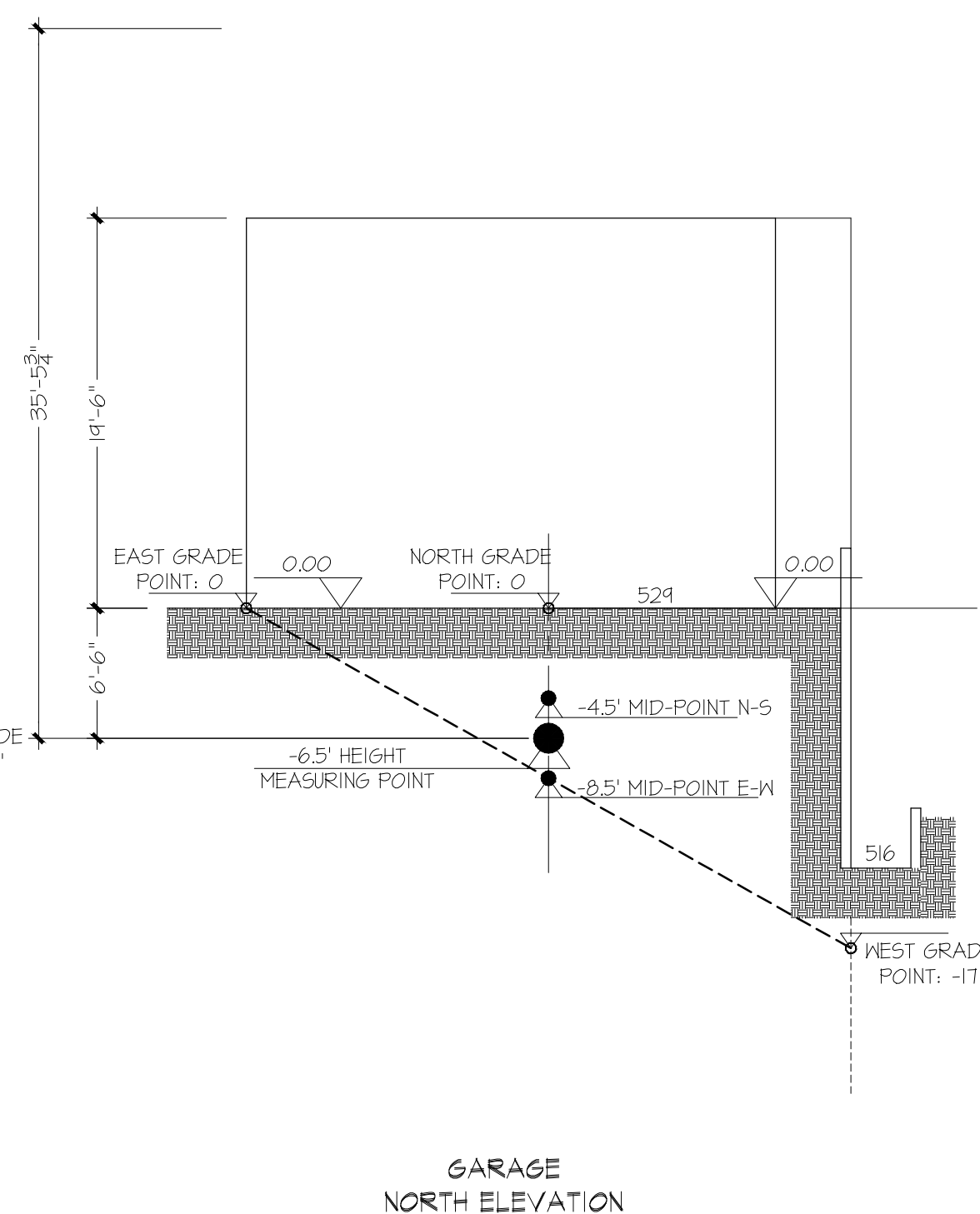
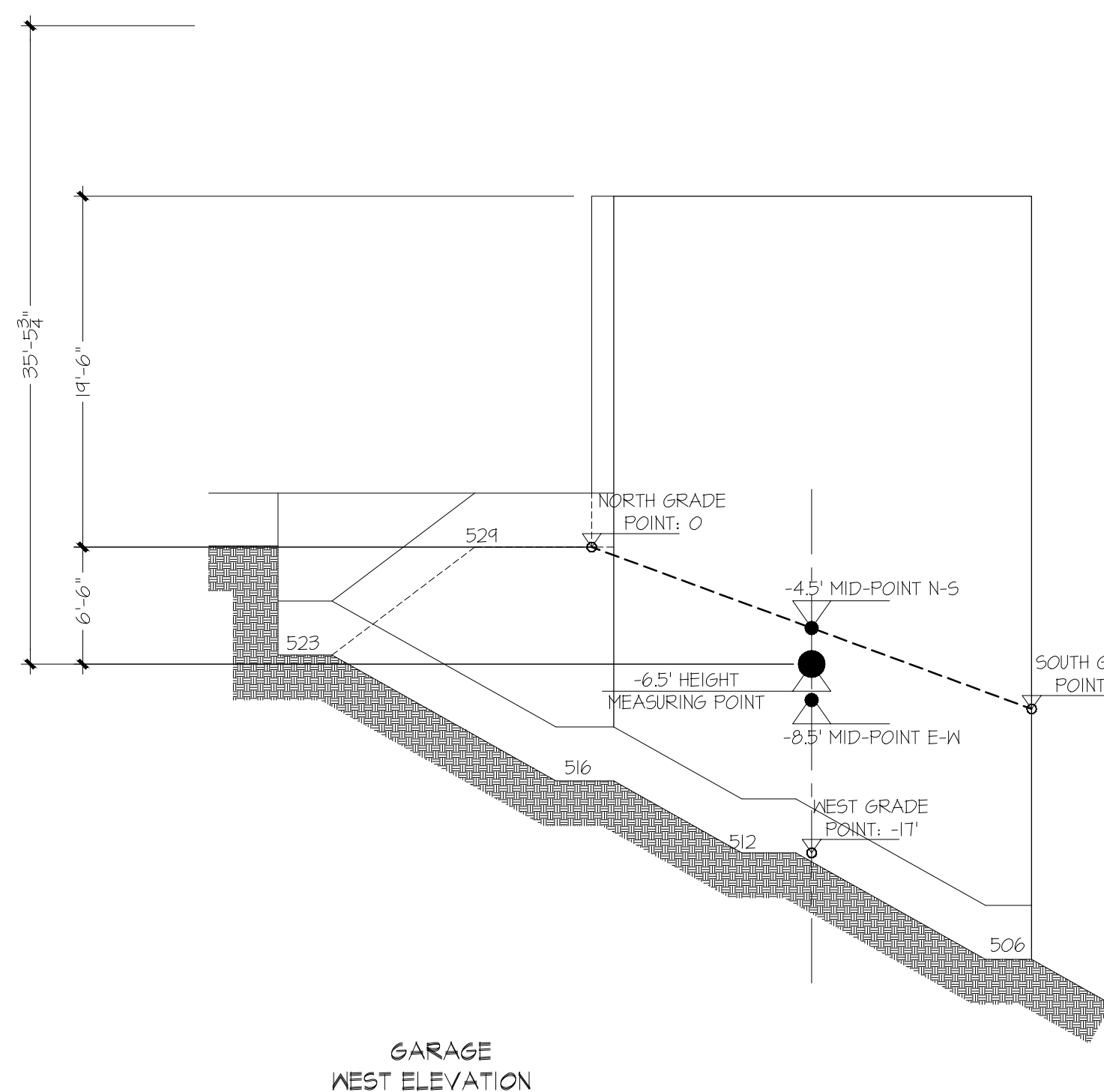
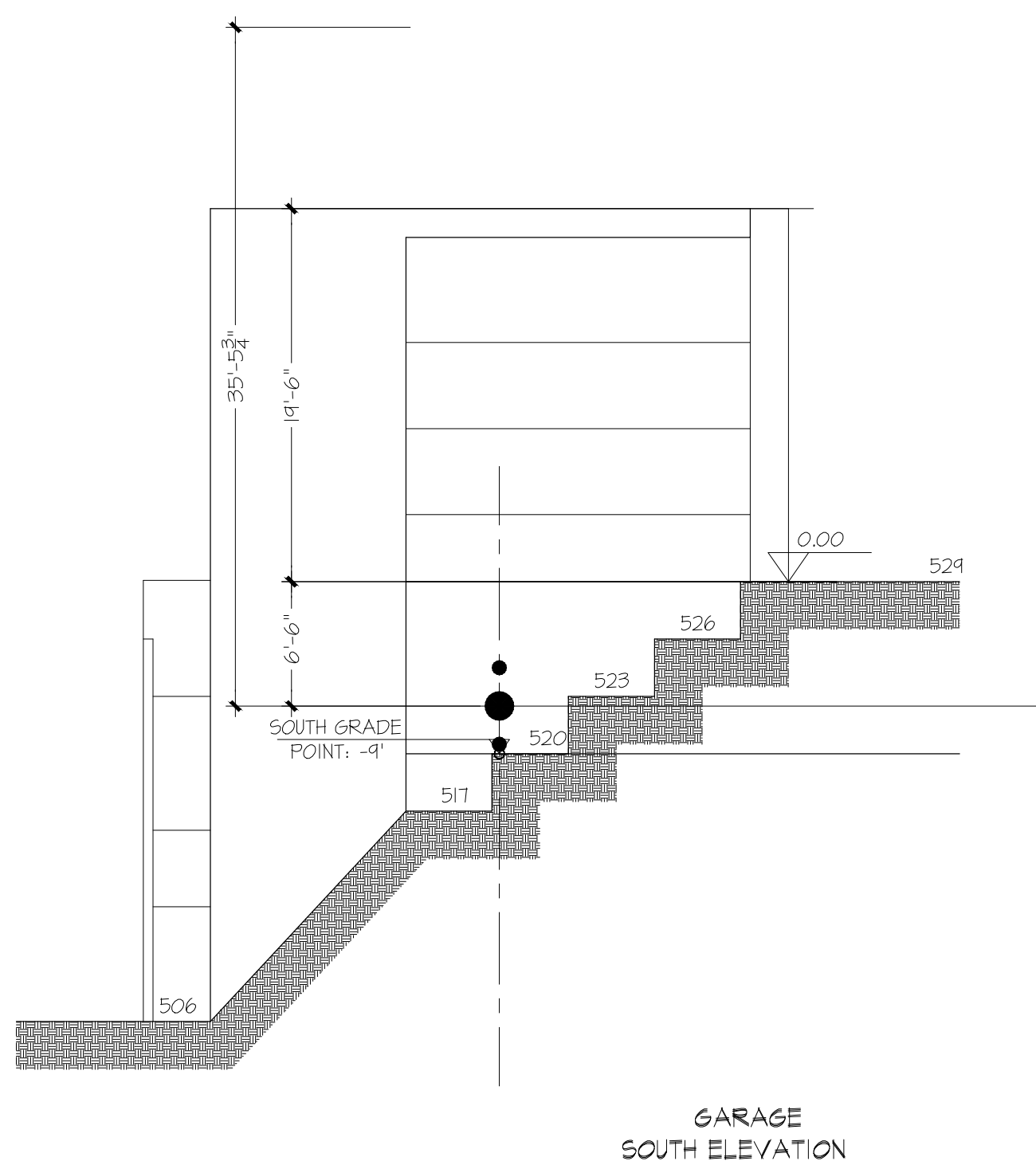
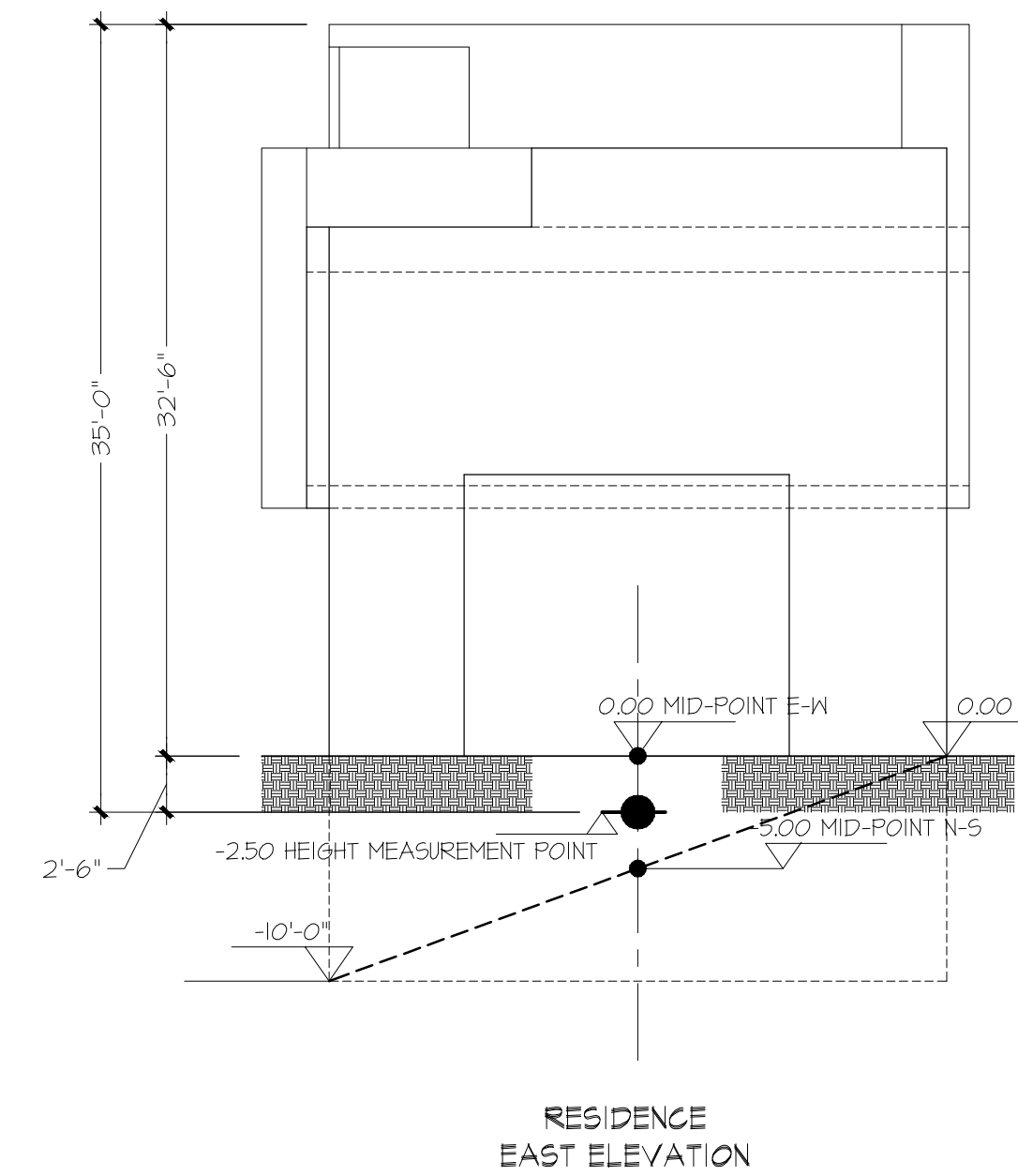
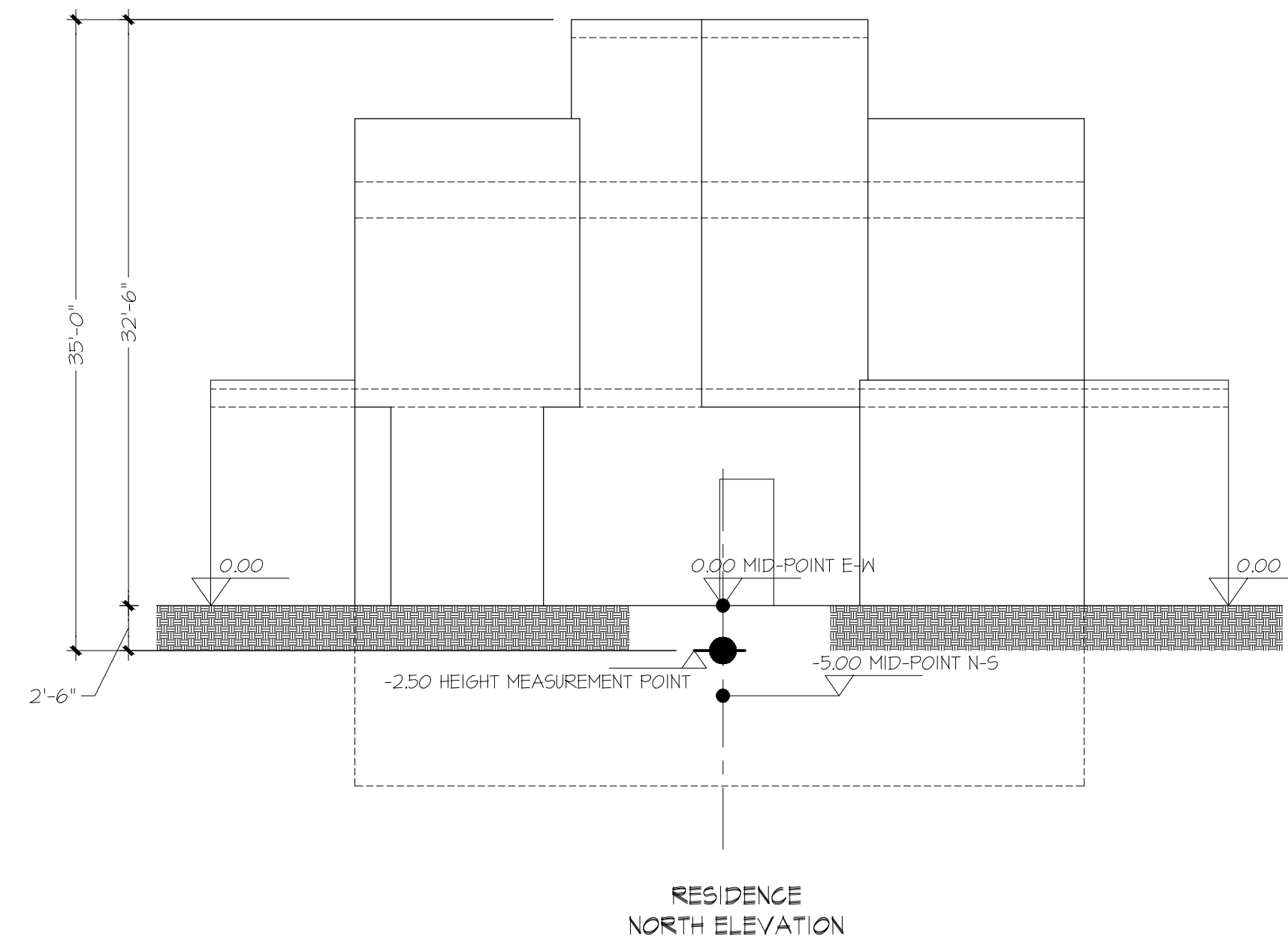
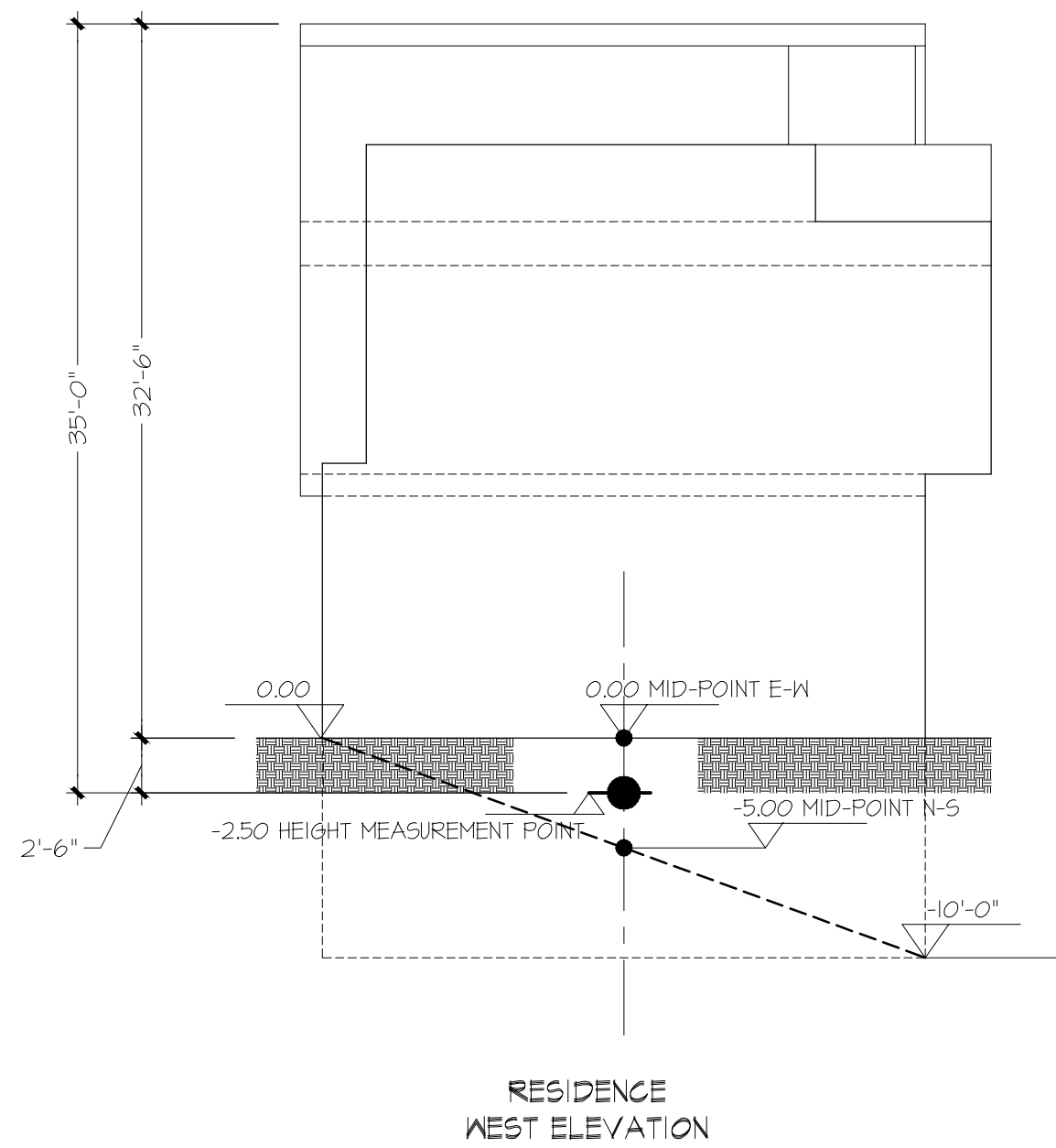
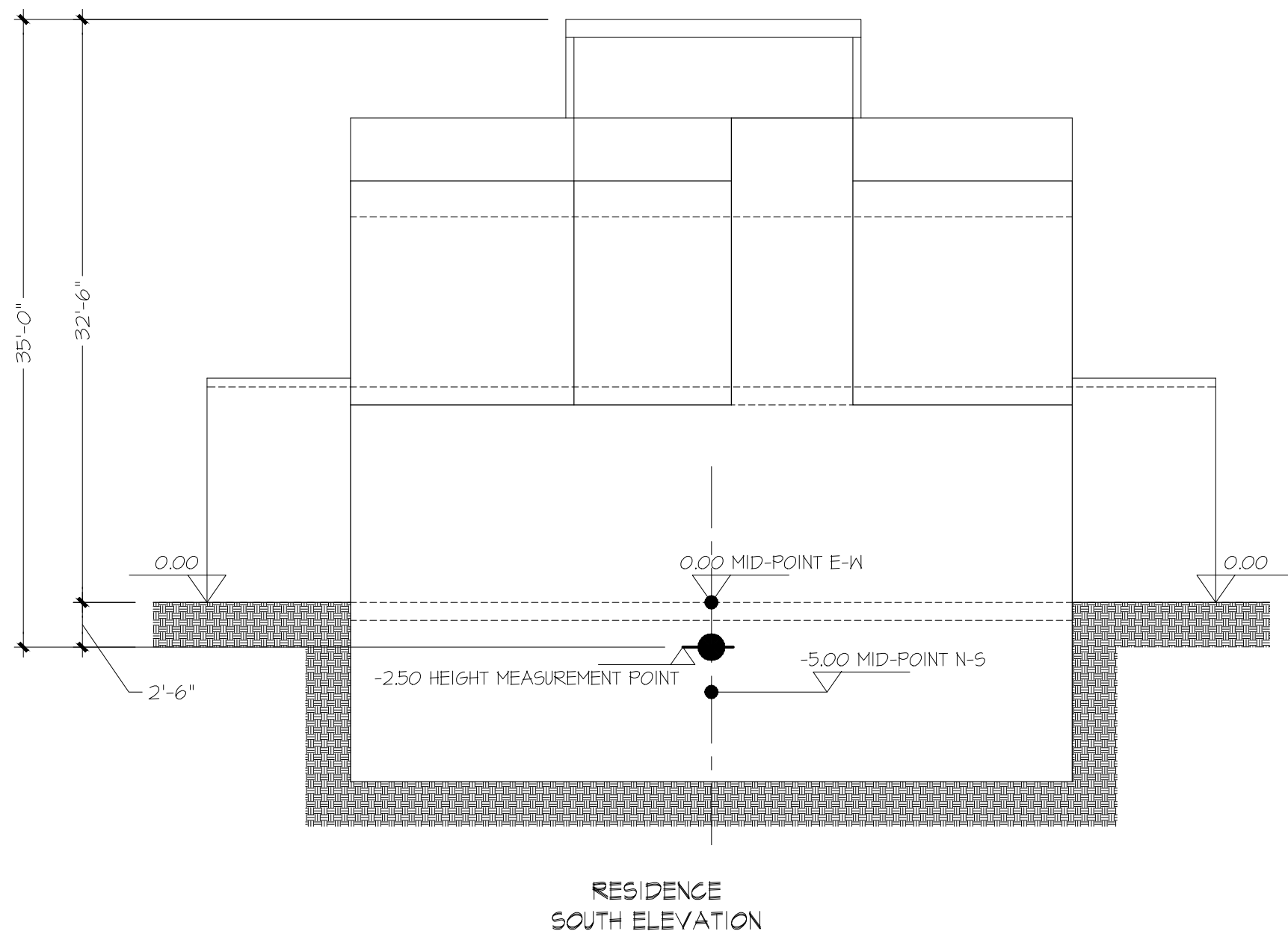
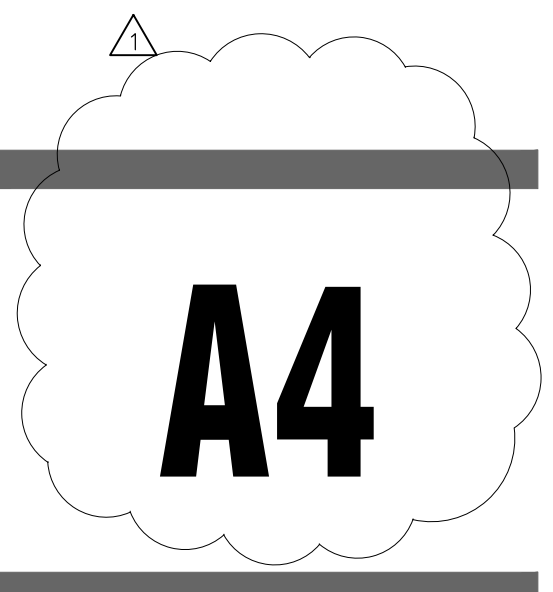
LOCATION  
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SARATOGA CA 95070

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SITE PLAN PERMIT 2003

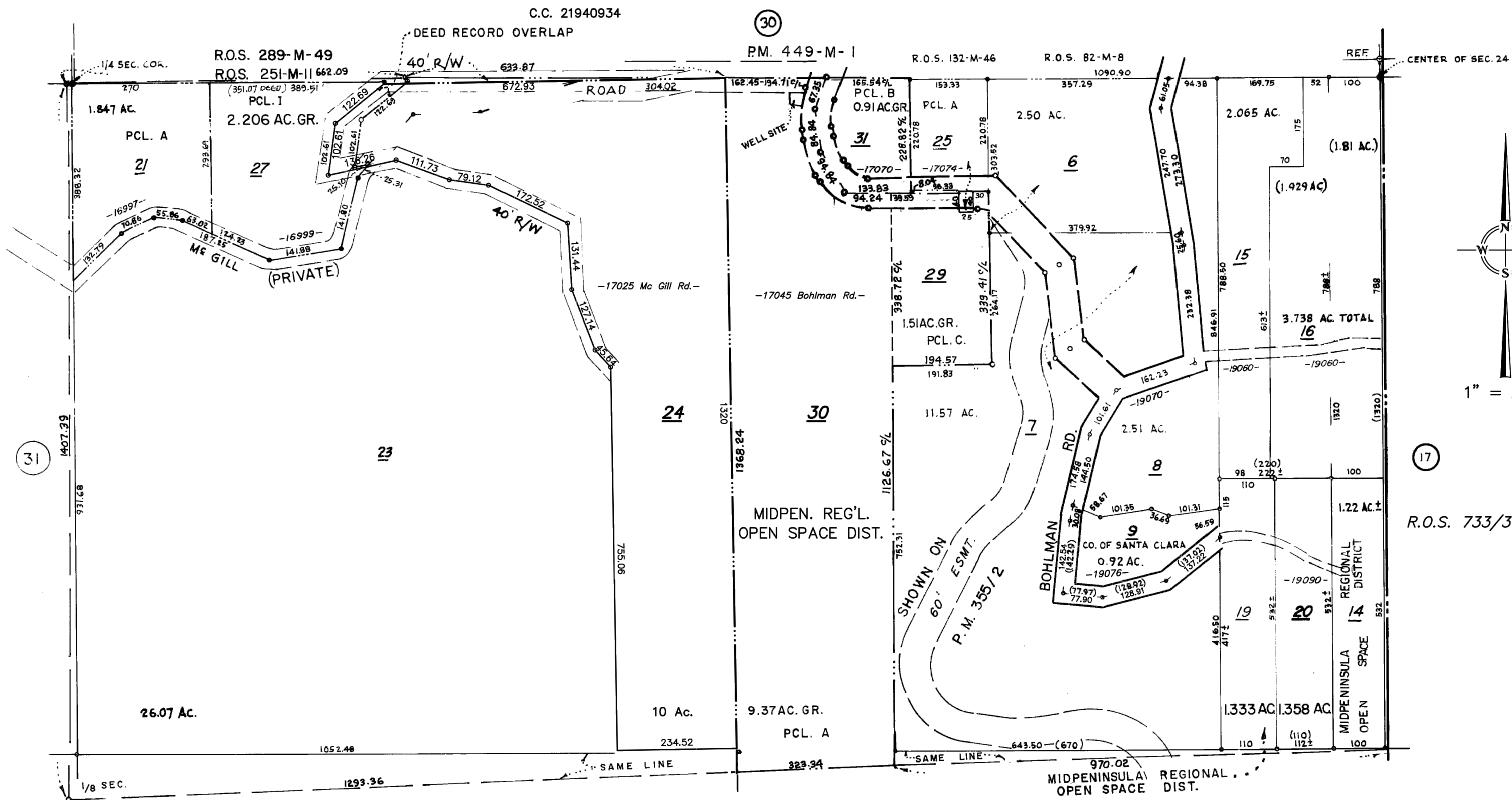
### ELEVATIONS SCHEMATICS

SCALE DATE  
1/8"=1'-0" JULY 2021

ISSUES / REVISIONS  
9-10-21 CITY COMMENTS-PLANNING

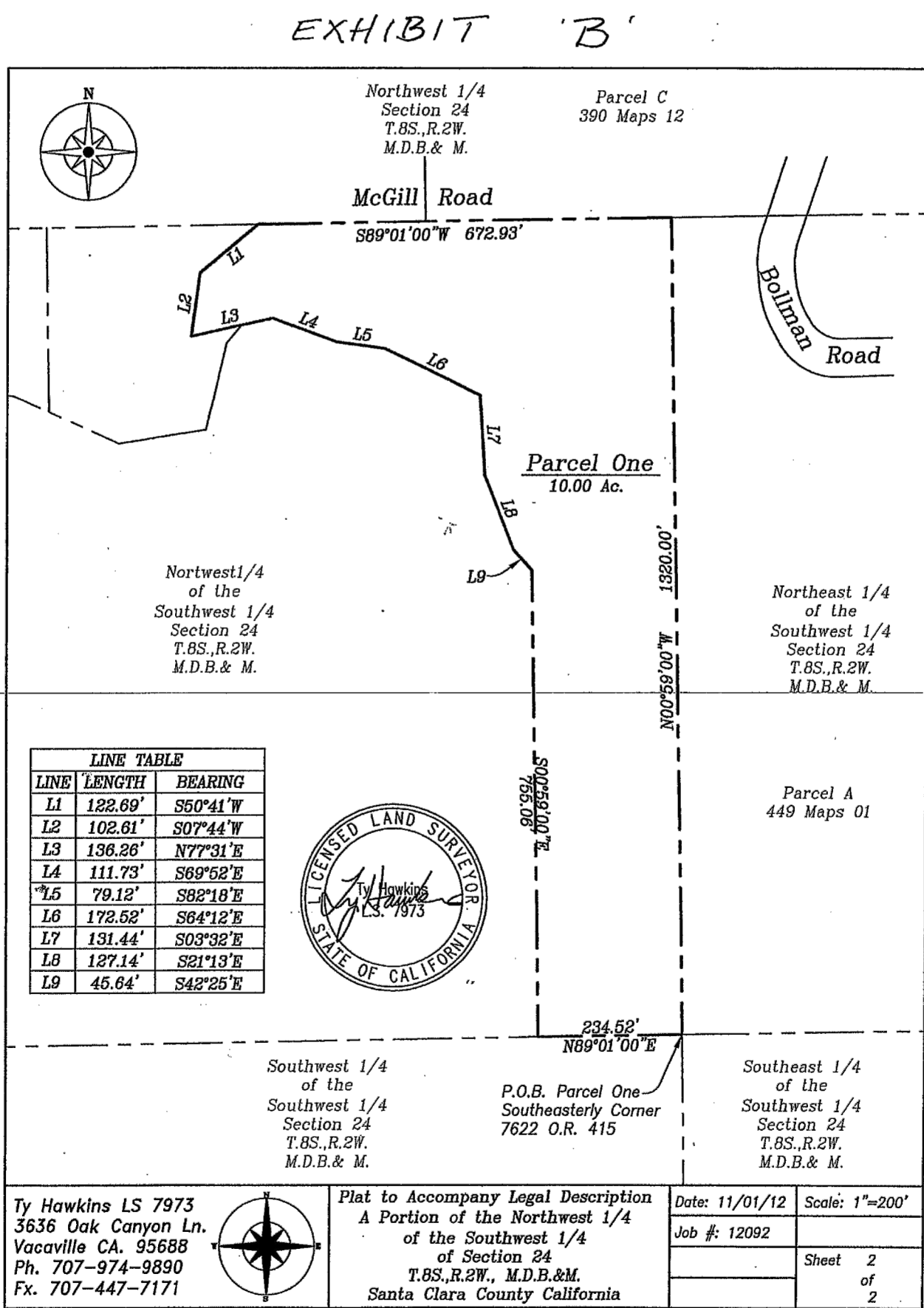






NOTE: ALL ROADS ARE PRIVATE LANES. THEIR LOCATIONS ARE UNCERTAIN, EXCEPT THOSE CENTERED ON PROPERTY LINES.

LAWRENCE E. STONE — ASSESSOR  
Cadastral map for assessment purposes only.  
Compiled under R. & T. Code, Sec. 327.  
Effective Roll Year 2020-2021



Ty Hawkins LS 7973  
3636 Oak Canyon Ln.  
Vacaville CA, 95688  
Ph. 707-474-9830  
Fx. 707-447-7171

Plat to Accompany Legal Description  
A Portion of the Northwest 1/4  
of Section 24  
T.8S., R.2W., M.D.B. & M.  
Santa Clara County California

Date: 11/01/12 Scale: 1"=200'  
Job #: 12092  
Sheet 2 of 2

EXHIBIT "A"  
LEGAL DESCRIPTION

TRACT A:  
PARCEL ONE:

A portion of the Northwest 1/4 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, Mount Diablo Base and Meridian, and being more particularly described as follows:  
Beginning at the Southeastly corner of that certain 40 acre parcel of land, as described in the Deed from George C. Carrick, et al, to Roman T. Chavez, et al, dated December 23, 1966, recorded January 25, 1967 in Book 7622 of Official Records, at page 415, Santa Clara County Records; thence from said point of beginning along the Easterly line of said 40 acre parcel of land, North 0° 59' West, 1320.00 feet to a 1/4 inch iron pipe at the Northwestly corner thereof; thence along the Northerly line of said 40 acre parcel of land, South 89° 01' West, 672.93 feet to a 1/4 inch iron pipe; thence leaving said Northerly line, the following courses and distances:  
South 50° 41' West, 122.69 feet to a 1/4 inch iron pipe;  
thence South 7° 44' West, 102.61 feet to a 1/4 inch iron pipe;  
thence North 77° 31' East, 136.26 feet to a 1/4 inch iron pipe;  
thence South 69° 52' East, 111.73 feet to a 1/4 inch iron pipe;  
thence South 82° 18' East, 79.12 feet to a 1/4 inch iron pipe;  
thence South 64° 12' East, 172.52 feet to a 1/4 inch iron pipe;  
thence South 3° 32' East, 131.44 feet to a 1/4 inch iron pipe;  
thence South 21° 13' East, 127.14 feet to a 1/4 inch iron pipe;  
thence South 42° 25' East, 45.64 feet to a point;  
thence South 0° 59' East, 755.06 feet to a point on the Southerly line of said 40 acre parcel of land, above referred to; thence along the Southerly line of said 40 acre parcel of land, North 89° 01' East, 234.52 feet to the point of beginning, containing 10.00 acres of land, more or less.

RECORDING REQUESTED BY:  
County of Santa Clara  
RETURN TO:  
Santa Clara County Planning Office  
7th Floor, East Wing  
70 West Hedding Street  
San Jose, CA 95110  
(408) 299-5770

CONFORMED COPY. This document has not been compared with the original.  
SANTA CLARA COUNTY CLERK-RECORDER

Doc#: 21948934  
11/07/2012 8:23 AM

CERTIFICATE OF COMPLIANCE  
For One Parcel of Land

Owner(s) of Property: Arshad Khan, Nitin K. Gupta and Gazala Khan

Notice is hereby given pursuant to Section 66499.35 of the Government Code of the State of California that the real property described in "Exhibit A" and "Exhibit B", attached hereto and made a part hereof, complies with the provisions of Division 2 of Title 7 of said Government Code, cited as the Subdivision Map Act, and all local ordinances enacted pursuant thereto.

This certificate relates only to issues of compliance or noncompliance with the Subdivision Map Act and local ordinances enacted pursuant thereto. The parcel described herein may be sold, leased or financed without further compliance with the Subdivision Map Act or any local ordinance enacted pursuant thereto. Development of the parcel may require issuance of a permit or permits or other grant or grants of approval.

County File Number: 10367-12CC  
Assessor Parcel Number: 517-24-024

Date: Approved By: Carolyn T. Walsh, Principal Planner  
County of Santa Clara

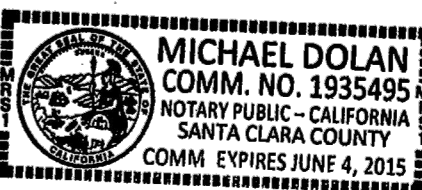
State of California )  
County of Santa Clara )

On Nov 6, 2012, before me, Michael Dolan, the undersigned Notary Public, personally appeared Carolyn T. Walsh, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Michael Dolan  
Michael Dolan



ARCHITECTURE  
PLANNING  
URBAN DESIGN  
INTERIOR DESIGN  
HISTORIC REHABILITATION  
CONSTRUCTION MANAGEMENT  
WWW.DIAP.COM

1611 BOREL PLACE, #230, SAN MATEO, CA 94402  
TEL: (650) 570-6681 FAX: (650) 570-6540



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Dan Ionescu Architects & Planners

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KHANDARE  
RESIDENCE

LOCATION  
17025 MCGILL RD.  
SARATOGA CA 95070

PROJECT PHASE: SITE PLAN PERMIT  
JOB NO.: 2003

ASSESSOR PARCEL  
MAP & LEGAL  
LOT CREATION

SCALE: N/A  
DATE: JULY 2021

ISSUES / REVISIONS



COUNTY OF SANTA CLARA  
General Construction  
Specifications

GENERAL CONDITIONS

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY ROMIG ENGINEERS, 1390 EL CAMINO REAL, SECOND FLOOR, SAN CARLOS, CA 94070, TEL 650-591-5274, PROJECT NO. 5240-1A AND DATED JUNE 30, 2021. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORNER AT (4008) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).
10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
11. ANY DEVIATION FROM THE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR OR RE-ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF ROAD AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND METHODS OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDING OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
  - A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
  - B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY. GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL, OR ROADWAY AREAS.
5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

DESCRIPTION		EARTHWORK QUANTITIES				EARTHWORK QUANTITIES EXCLUDING EXEMPT				MAXIMUM DEPTHS	
		CUT (-)	FILL (+)	EXEMPT (?)	YES/NO	CUT (-)	FILL (+)	EXEMPT (?)	YES/NO		
BUILDING	MAIN HOUSE PAD (POLYUNES 5' FROM BUILDING)	360	23	YES						-9.4	5.1
	POOL	51	11	YES						-7.3	3.4
EXEMPT	GARAGE PAD (POLYUNES 5' FROM BUILDING)	0	297	YES						0.0	19.5
	DRIVEWAY	1	72	NO		1	72			-1.0	9.8
SITE	STORM SYSTEM	147	0	NO		147	0			-5.0	0.0
	WALK/PATIO/DECK	145	235	NO		145	235			-9.0	8.7
WORK	LANDSCAPE	51	144	NO		51	144			-2.6	8.7
	TOTALS:	735	782			344	451			< EXEMPT TOTALS	
TOTAL NET IMPORT/EXPORT (-/+ EXPORT (-))		47		CURB YARDS (IN PLACE)		107		CURB YARDS (IN PLACE)			

EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

7. EARTHWORK, FOUNDATION CONSTRUCTION, SLAB UPGRADE AND NON-EXPANSIVE FILL PREPARATION, UTILITY TRENCH BACKFILL, PAVEMENT CONSTRUCTION, AND SITE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROMIG ENGINEERS, INC., DATED JULY 2, 2021. ROMIG ENGINEERS SHOULD BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY EARTHWORK AND TRENCHING. BEFORE CONSTRUCTION OF EARTHWORK, FOUNDATION CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ROMIG ENGINEERS SHOULD BE NOTIFIED AT LEAST 5 DAYS PRIOR TO EARTHWORK, TRENCH BACKFILL AND UPGRADE. PREPARATION WORK TO ALLOW TIME FOR SAMPLING OF ON-SITE SOIL AND LABORATORY COMPACTION CURVE TESTING TO BE PERFORMED PRIOR TO ON-SITE COMPACTION DENSITY TESTING.
8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
14. TOTAL DISTURBED AREA FOR THE PROJECT \_\_\_\_\_ SF.
15. WOOD NO.
16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
  - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR A GUIDE OF TREES.
  - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
  - C. FENCING SHOULD BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
  - D. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770, COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURED IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLEUR SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

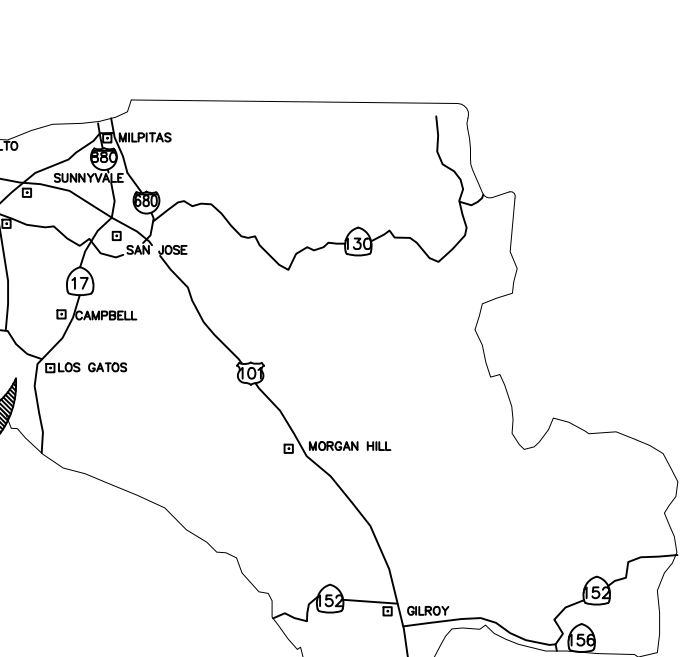
PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE, ASPHALT OR WATER THOSE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
9. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
  - A. 15 MILES PER HOUR (MPH) SPEED LIMIT.
  - B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES.
  - C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367.
10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUIV.) SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP, ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT ADJACENT TO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
  - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
  - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
  - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY TO PREVENT EROSION AT THE SITE AND SITUATION. APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.
  - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
  - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
  - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.

PROJECT SITE



COUNTY LOCATION  
MAP

SURVEY MONUMENT PRESERVATION

1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER AND CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY MONUMENT IS DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

ABBREVIATIONS

- |                                |                                      |
|--------------------------------|--------------------------------------|
| AC = ASPHALT CONCRETE          | LP = LOW POINT                       |
| AD = AREA DRAIN                | PAD = PAD ELEVATION                  |
| BC = BEGIN CURVE               | PCC = PORTLAND CEMENT CONCRETE       |
| BS = BOTTOM OF STAIR           | PV = PROPERTY LINE                   |
| BU = BUBBLE UP                 | PV = PAVEMENT GRADE                  |
| BVC = BEGIN VERTICAL CURVE     | PVC = POLYVINYL CHLORIDE PIPE        |
| BRW = BOTTOM OF RETAINING WALL | PVI = POINT OF VERTICAL INTERSECTION |
| CB = CATCH BASIN               | RC = REINFORCED CONCRETE PIPE        |
| CL = CENTERLINE                | ROW = RIGHT OF WAY                   |
| CO = CLEAVAGE                  | S+00+ = SLOPE                        |
| DS = DOWNSLOPE WITH SPLASH BOX | SD = STORM DRAIN                     |
| EC = END CURVE                 | SDMH = STORM DRAIN MANHOLE           |
| ELEV. = ELEVATION              | SG = SUBGRADE ELEVATION              |
| EVC = END VERTICAL CURVE       | SS = SANITARY SEWER                  |
| EX = EXISTING                  | SSMH = SANITARY SEWER MANHOLE        |
| F/C = FACE OF CURB             | STA = STATION                        |
| FF = FINISHED FLOOR ELEVATION  | TC = TOP OF CURB                     |
| FL = FLOW LINE                 | TF = TOP OF FENCE                    |
| GB = GARAGE BREAK              | TRW = TOP OF RETAINING WALL          |
| GFF = GARAGE FINISH FLOOR      | TS = TOP OF STAIR                    |
| HP = HIGH POINT                | TW = TOP OF WALL                     |
| HC = HANDICAP UNIT             | VCP = VITRIFIED CLAY PIPE            |
| INV = INVERT                   | WM = WATER METER                     |
|                                | WV = WATER VALVE                     |

STORM DRAINAGE AND STORMWATER MANAGEMENT

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR BY THE OWNER OR HIS SUCCESSOR. PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004 / ORDER NO. 2013-0001-DW0.
2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (\_\_\_\_) WERE (\_\_\_\_) WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (?). THERE (\_\_\_\_) WERE (\_\_\_\_) WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

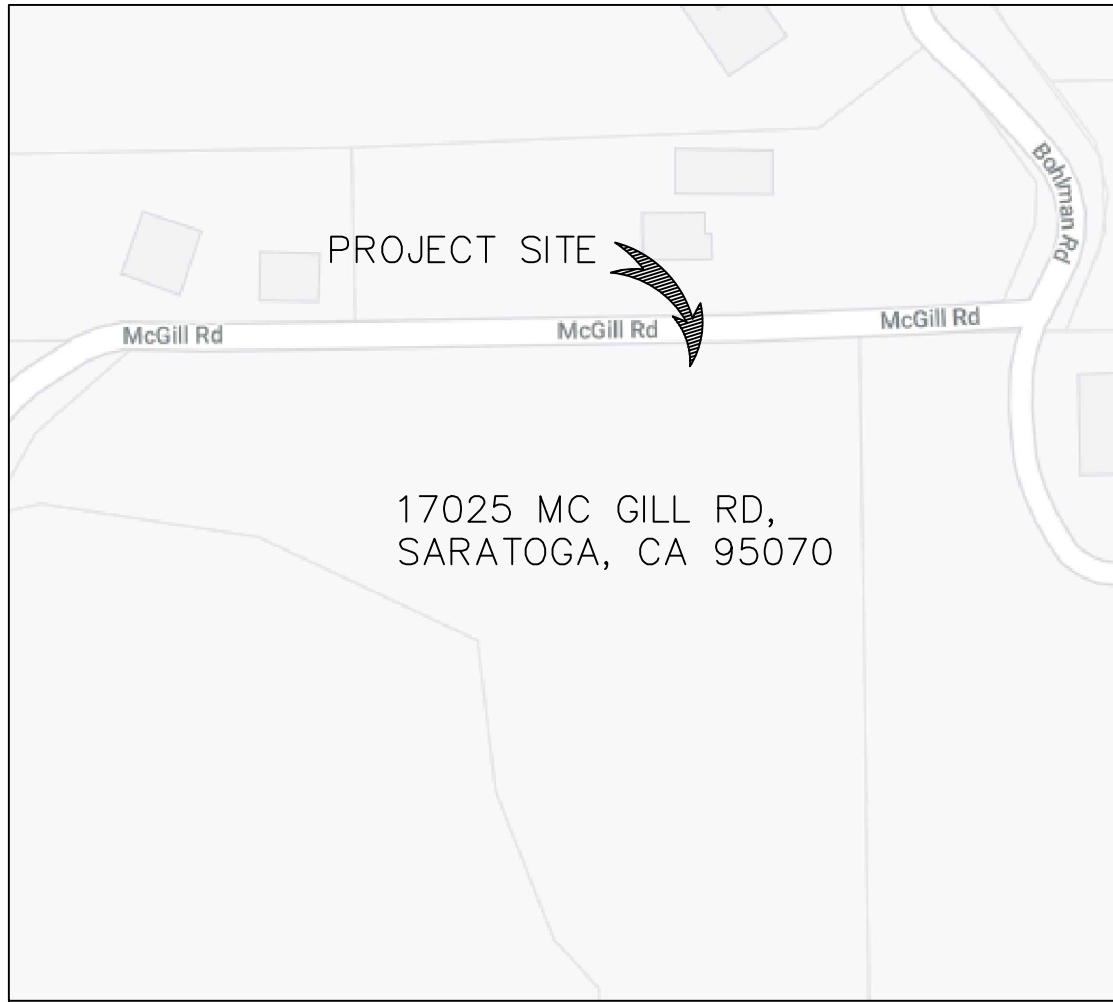
DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

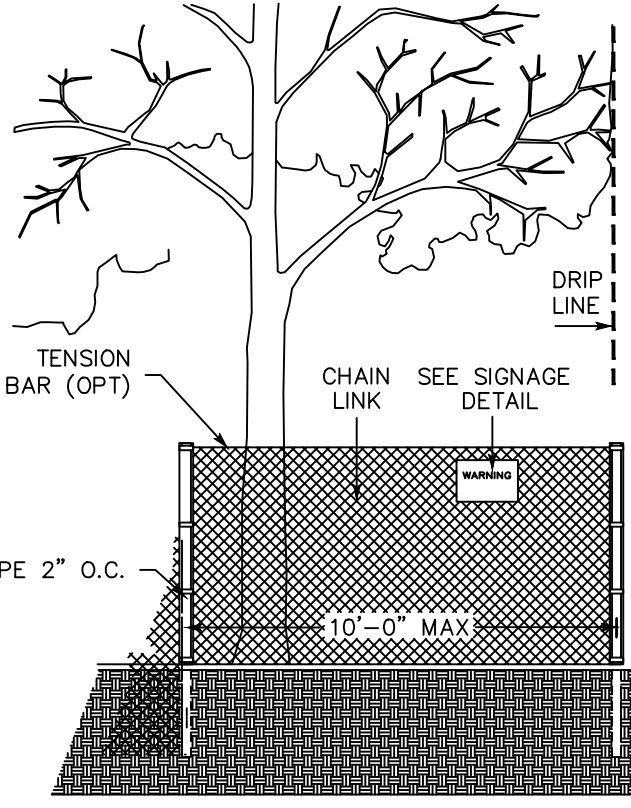
GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

DATE	CHRISTOPHER L. FREITAS
	42107
	R.C.E. NO.
	3/31/20
	EXPIRATION DATE



VICINITY MAP



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AS INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCING SHALL BE MINIMUM 5 FEET HIGH, CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

SHEET INDEX

CO	TITLE SHEET
B1-B2	SITE PLAN - SLOPE CALCULATIONS
C1.0	SITE PLAN - SLOPE CALCULATIONS
C1.1-C1.3	GRADING AND DRAINAGE PLAN
C1.4	EARTHWORK QUANTITIES
C2	CONSTRUCTION DETAILS
C3.1	COUNTY BMP SHEET 1
C3.2	COUNTY BMP SHEET 2
C3.3	EROSION CONTROL PLAN
C4	TRAFFIC CONTROL PLAN
C5	CONCEPTUAL STORM PLAN

ENGINEER'S NAME: PORFIRIO OSCAR OSUNA

ADDRESS: 117 BERNAL RD, #70-336  
SAN JOSE, CA 95119

PHONE NO. 408-772-4381

EMAIL: info@osunaengineering.com

Revision 1	APN	Sheet
Revision 2	517-24-024	CO
Revision 3	Co. File	18

APPLICANT: \_\_\_\_\_

ROAD: \_\_\_\_\_

COUNTY FILE NO.: \_\_\_\_\_



NOTES:

1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
3. ANY TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
4. TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
5. UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
6. A CONDITION OF TITLE REPORT WAS PROVIDED BY THE OWNER. CONDITION OF TITLE REPORT, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. GUARANTEE NO. FSBC-T021001710 DATED OCTOBER 22, 2021.

NOTES:

1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.

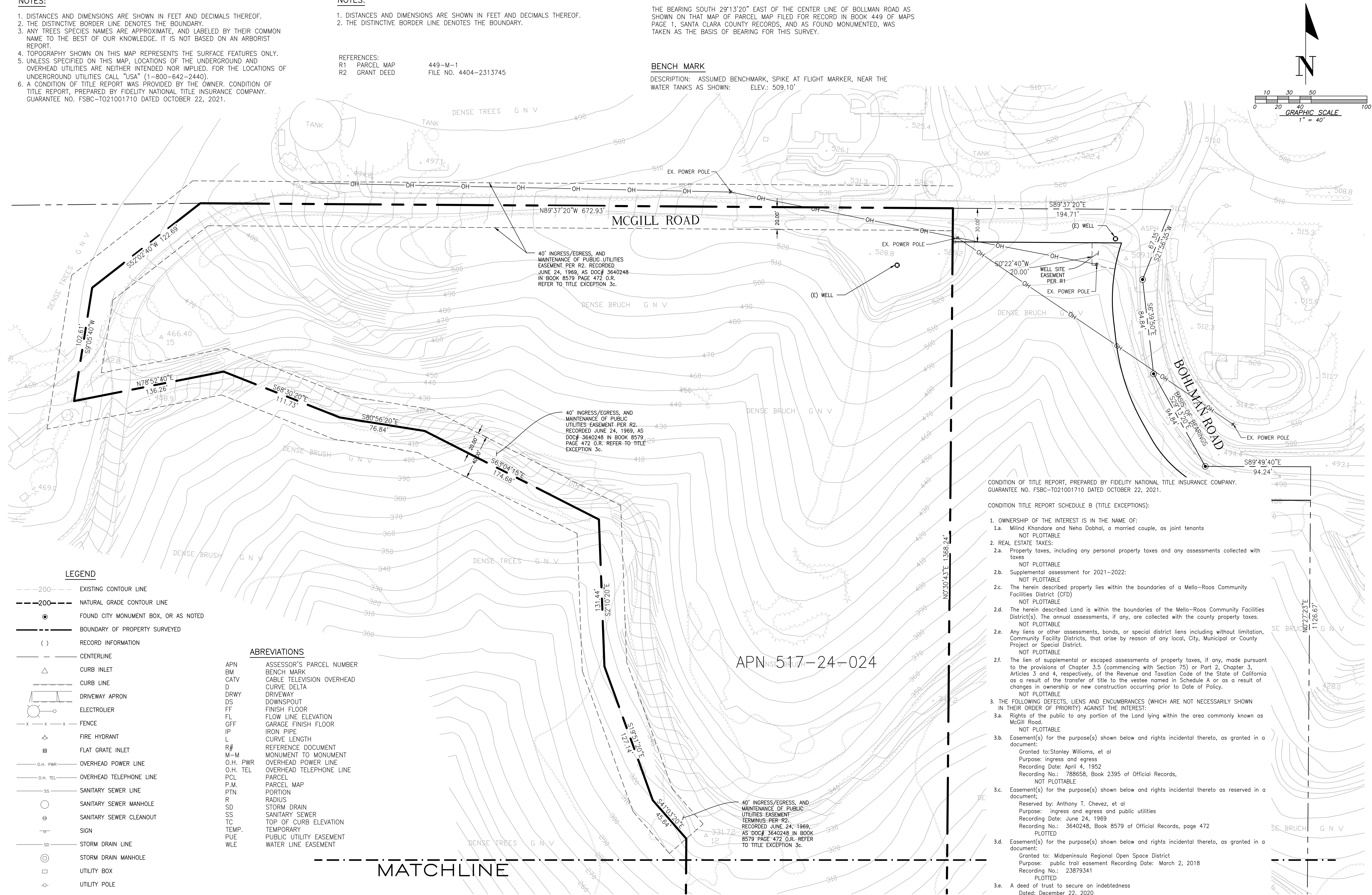
REFERENCES:  
R1 PARCEL MAP  
R2 GRANT DEED

449-M-1  
FILE NO. 4404-2313745

BENCH MARK

DESCRIPTION: ASSUMED BENCHMARK, SPIKE AT FLIGHT MARKER, NEAR THE WATER TANKS AS SHOWN: ELEV.: 509.10'

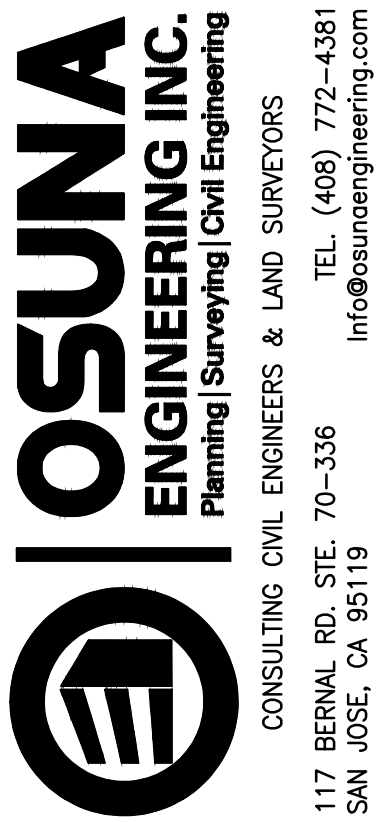
THE BEARING SOUTH 29°13'20" EAST OF THE CENTER LINE OF BOLLMAN ROAD AS SHOWN ON THAT MAP OF PARCEL MAP FILED FOR RECORD IN BOOK 449 OF MAPS PAGE 1, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.



CONDITION OF TITLE REPORT, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. GUARANTEE NO. FSBC-T021001710 DATED OCTOBER 22, 2021.

CONDITION TITLE REPORT SCHEDULE B (TITLE EXCEPTIONS):

1. OWNERSHIP OF THE INTEREST IS IN THE NAME OF:
  - 1.a. Milind Khondare and Neha Dobhal, a married couple, as joint tenants  
NOT PLOTTABLE
2. REAL ESTATE TAXES:
  - 2.a. Property taxes, including any personal property taxes and any assessments collected with taxes  
NOT PLOTTABLE
  - 2.b. Supplemental assessment for 2021-2022:  
NOT PLOTTABLE
  - 2.c. The herein described property lies within the boundaries of a Mello-Roos Community Facilities District (CFD)  
NOT PLOTTABLE
  - 2.d. The herein described Land is within the boundaries of the Mello-Roos Community Facilities District(s). The annual assessments, if any, are collected with the county property taxes.  
NOT PLOTTABLE
  - 2.e. Any liens or other assessments, bonds, or special district liens including without limitation, Community Facility Districts, that arise by reason of any local, City, Municipal or County Project or Special District.  
NOT PLOTTABLE
  - 2.f. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy.  
NOT PLOTTABLE
3. THE FOLLOWING DEFECTS, LIENS AND ENCUMBRANCES (WHICH ARE NOT NECESSARILY SHOWN IN THEIR ORDER OF PRIORITY) AGAINST THE INTEREST:
  - 3.a. Rights of the public to any portion of the Land lying within the area commonly known as McGill Road.  
NOT PLOTTABLE
  - 3.b. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Stanley Williams, et al  
Purpose: ingress and egress  
Recording Date: April 4, 1952  
Recording No.: 788658, Book 2395 of Official Records,  
NOT PLOTTABLE
  - 3.c. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document:  
Reserved by: Anthony T. Chevez, et al  
Purpose: ingress and egress and public utilities  
Recording Date: June 24, 1969  
Recording No.: 3640248, Book 8579 of Official Records, page 472  
PLOTTED
  - 3.d. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:  
Granted to: Midpeninsula Regional Open Space District  
Purpose: public trail easement  
Recording Date: March 2, 2018  
Recording No.: 23879341  
PLOTTED
  - 3.e. A deed of trust to secure an indebtedness  
Dated: December 22, 2020  
Trustor/Grantor: Milind Khondare and Neha Dobhal, a married couple, as joint tenants  
Trustee: Olivia Todd  
Beneficiary: U.S. Bank National Association  
Recording Date: December 31, 2020  
Recording No.: 24771104  
NOT PLOTTABLE
  - 3.f. Water rights, claims or title to water, whether or not disclosed by the public records.  
NOT PLOTTABLE
  - 3.g. Any easements not disclosed by the public records as to matters affecting title to real property, whether or not said easements are visible and apparent.  
NOT PLOTTABLE



PRELIMINARY BOUNDARY  
& TOPOGRAPHIC SURVEY  
17025 MCGILL ROAD  
APN: 517-24-024

SHEET  
BT1  
OF 2 SHEETS



REVISIONS	DATE	CITY	BY



NOTES:

1. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.  
2. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.

REFERENCES:

R1 PARCEL MAP 449-M-1  
R2 GRANT DEED FILE NO. 4404-2313745

THE BEARING SOUTH 29°13'20" EAST OF THE CENTER LINE OF BOLLMAN ROAD AS SHOWN ON THAT MAP OF PARCEL MAP FILED FOR RECORD IN BOOK 449 OF MAPS PAGE 1, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

BENCH MARK

DESCRIPTION: ASSUMED BENCHMARK, SPIKE AT FLIGHT MARKER, NEAR THE WATER TANKS AS SHOWN: ELEV.: 509.10'

LEGEND

- 200--- EXISTING CONTOUR LINE  
---200--- NATURAL GRADE CONTOUR LINE  
● FOUND CITY MONUMENT BOX, OR AS NOTED  
--- BOUNDARY OF PROPERTY SURVEYED  
( ) RECORD INFORMATION  
--- CENTERLINE  
△ CURB INLET  
--- CURB LINE  
--- DRIVEWAY APRON  
--- ELECTROLIER  
--- FENCE  
△ FIRE HYDRANT  
■ FLAT GRATE INLET  
--- O.H. PWR --- OVERHEAD POWER LINE  
--- O.H. TEL --- OVERHEAD TELEPHONE LINE  
--- SS --- SANITARY SEWER LINE  
○ SANITARY SEWER MANHOLE  
⊕ SANITARY SEWER CLEANOUT  
--- SIGN  
--- SD --- STORM DRAIN LINE  
⊙ STORM DRAIN MANHOLE  
□ UTILITY BOX  
--- UTILITY POLE  
--- W --- WATER LINE  
--- WATER METER  
--- WATER VALVE  
--- ELECTRIC METER  
--- WATER HEATER  
--- GAS

ABREVIATIONS

APN ASSESSOR'S PARCEL NUMBER  
BM BENCH MARK  
CATV CABLE TELEVISION OVERHEAD  
D CURVE DELTA  
DRWY DRIVEWAY  
DS DOWNSPOUT  
FL FLOW LINE ELEVATION  
IP IRON PIPE  
L CURVE LENGTH  
R# REFERENCE DOCUMENT  
MONUMENT TO MONUMENT  
O.H. PWR OVERHEAD POWER LINE  
O.H. TEL OVERHEAD TELEPHONE LINE  
PCL PARCEL  
P.M. PARCEL MAP  
PTN PORTION  
R RADIUS  
SD STORM DRAIN  
SS SANITARY SEWER  
TC TOP OF CURB ELEVATION  
TEMP. TEMPORARY  
PUE PUBLIC UTILITY EASEMENT  
WLE WATER LINE EASEMENT

MATCHLINE

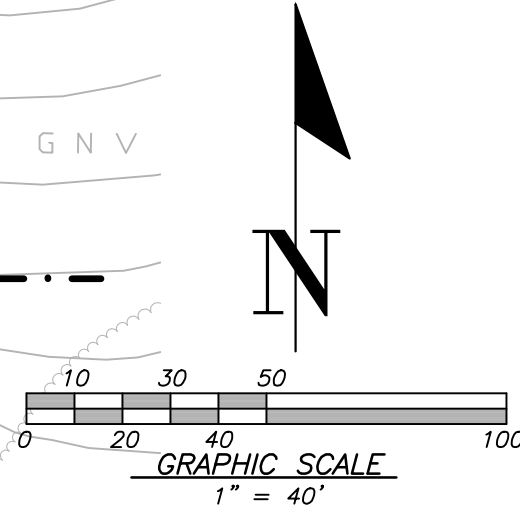
40' INGRESS/EGRESS, AND  
MAINTENANCE OF PUBLIC  
UTILITIES EASEMENT  
TERMINUS PER R2,  
RECORDED JUNE 24, 1969,  
AS DOC# 3640248 IN BOOK  
8579 PAGE 472 O.R. REFER  
TO TITLE EXCEPTION 3c.

CONDITION OF TITLE REPORT, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY.  
GUARANTEE NO. FSBC-T021001710 DATED OCTOBER 22, 2021.

CONDITION TITLE REPORT SCHEDULE B (TITLE EXCEPTIONS):

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1a. Milind Khondare and Neha Dobhal, a married couple, as joint tenants  
NOT PLOTTABLE  
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2a. Property taxes, including any personal property taxes and any assessments collected with taxes  
NOT PLOTTABLE  
2b. Supplemental assessment for 2021-2022:  
NOT PLOTTABLE  
2c. The herein described property lies within the boundaries of a Mello-Roos Community Facilities District (CFD)  
NOT PLOTTABLE  
2d. The herein described Land is within the boundaries of the Mello-Roos Community Facilities District(s). The annual assessments, if any, are collected with the county property taxes.  
NOT PLOTTABLE  
2e. Any liens or other assessments, bonds, or special district liens including without limitation, Community Facility Districts, that arise by reason of any local, City, Municipal or County Project or Special District.  
NOT PLOTTABLE  
2f. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy.  
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Purpose: ingress and egress  
Recording Date: April 4, 1952  
Recording No.: 788658, Book 2395 of Official Records,  
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Purpose: ingress and egress and public utilities  
Recording Date: June 24, 1969  
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PLOTTED  
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PLOTTED  
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Trustee: Olivia Todd  
Beneficiary: U.S. Bank National Association  
Recording Date: December 31, 2020  
Recording No.: 24771104  
NOT PLOTTABLE  
3f. Water rights, claims or title to water, whether or not disclosed by the public records.  
NOT PLOTTABLE  
3g. Any easements not disclosed by the public records as to matters affecting title to real property, whether or not said easements are visible and apparent.  
NOT PLOTTABLE

PUBLIC TRAIL EASEMENT AREA,  
GRANTED TO MID-PENINSULA,  
RECORDED MARCH 2, 2018, AS  
DOC# 23879341 O.R. REFER  
TO TITLE EXCEPTION 3d.



REVISIONS			
NO.	DATE	CITY	BY

PROFESSIONAL LAND SURVEYOR  
PORFIRIO OSCAR OSUNA  
No. 8921  
Exp. 9-30-22  
STATE OF CALIFORNIA

*P. Oscar Osuna*  
PORFIRIO OSCAR OSUNA  
PLS 8921 EXP. 9-30-22

**OSUNA**  
ENGINEERING INC.  
Planning | Surveying | Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
TEL. (408) 772-4381  
70-336  
Info@osunacivilengineering.com

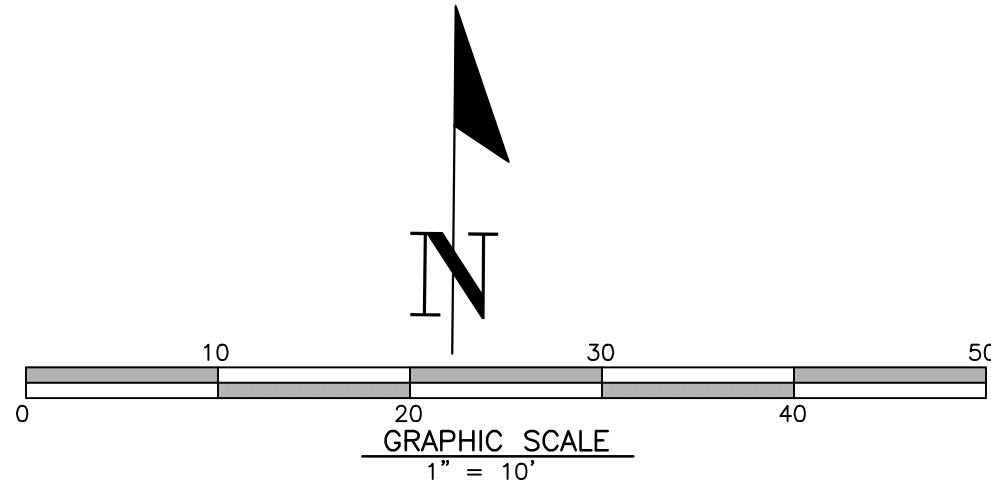
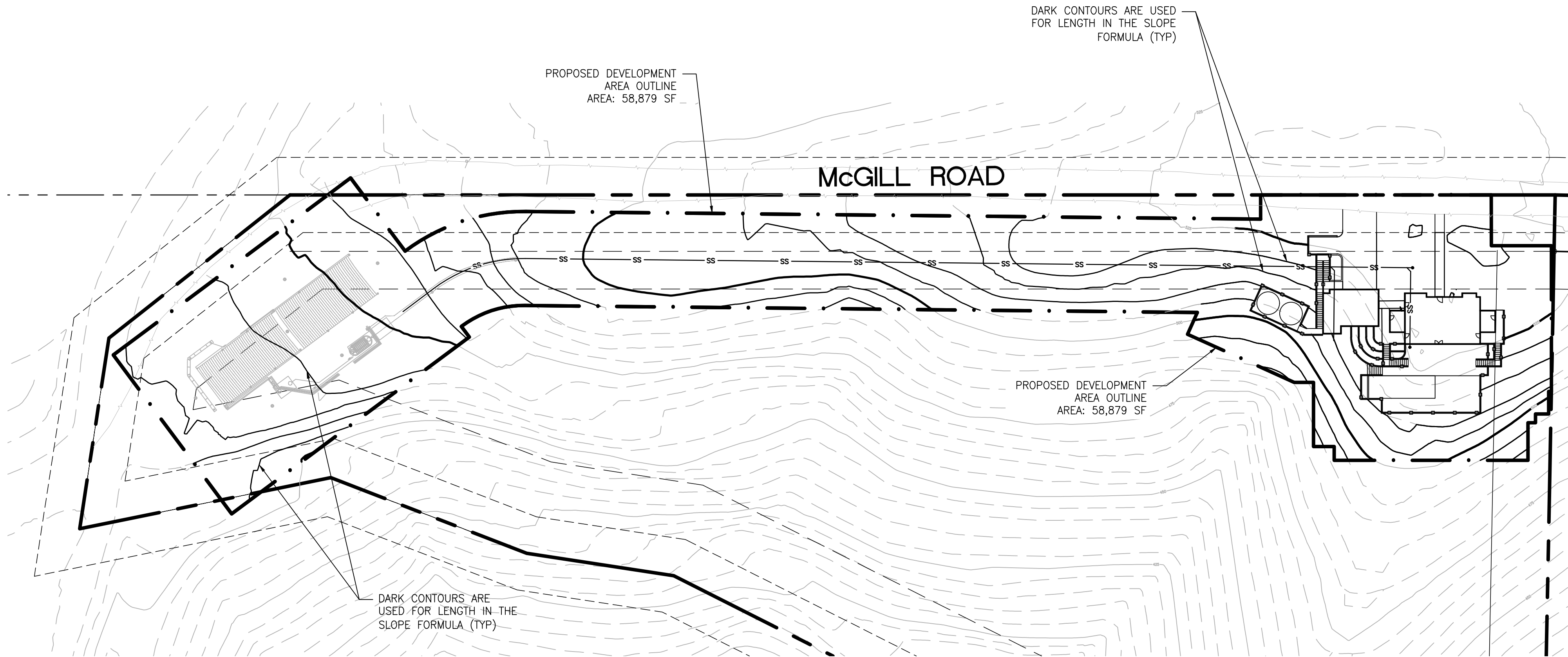
117 BERNAL RD. STE. 70-336  
SAN JOSE, CA 95119

PRELIMINARY BOUNDARY  
& TOPOGRAPHIC SURVEY  
17025 MCGILL ROAD  
APN: 517-24-024

SHEET  
BT2  
OF 2 SHEETS



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES ON THE PROJECT, INCLUDING BUT NOT LIMITED TO, THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



Property Address: 17025 McGill Rd  
Saratoga, CA  
APN: 517-24-024

Prepared By: Oscar Osuna, PE, PLS  
President  
OSUNA ENGINEERING INC.

SLOPE CALCULATIONS					
COUNTOUR	LENGTH 1	LENGTH 2	LENGTH 3	LENGTH 4	SUB-TOTALS
530	25	75	6		106
525	40	29		36	105
520	49	29		154	232
515	54	41		158	253
510	28	117	34	207	386
505	29	4	171	154	358
500	134	64		231	429
495	68	41	30	84	223
490	20	12	11	59	102
485	66				66
480	104				104
475	121				121
470	142				142
465	195				195
460	98				98
455	74				74
450	10				10
					0
					0
					2898 FT

S=PERCENT (%) SLOPE = (I \* L\*100)/A

I = INTERVAL OF CONTOURS 5

L = LENGTH OF SUM OF CONTOURS 2898 FT

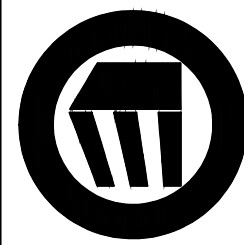
A = PROPOSED DEVELOPMENT AREA 58879 SF


SO:

S = 24.6 %

APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERING

PRELIMINARY  
GRADING & DRAINAGE PLAN  
SITE PLAN - AVERAGE SLOPE  
17025 MC GILL RD  
SARATOGA, CALIFORNIA  
Project No.: 2143 | Designed: J.N./O.O. | Checked: 0.0 | Date: 10/06/21

 **OSUNA**  
ENGINEERING INC.  
Planning | Surveying | Civil Engineering  
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
117 BERNAL RD. STE. 70-336  
SAN JOSE, CA 95119  
TEL (408) 772-4381  
Info@osunaeengineering.com

  
*P. Oscar Osuna*  
PORFIRIO OSCAR OSUNA  
RCE 70829 EXP. 6-30-19

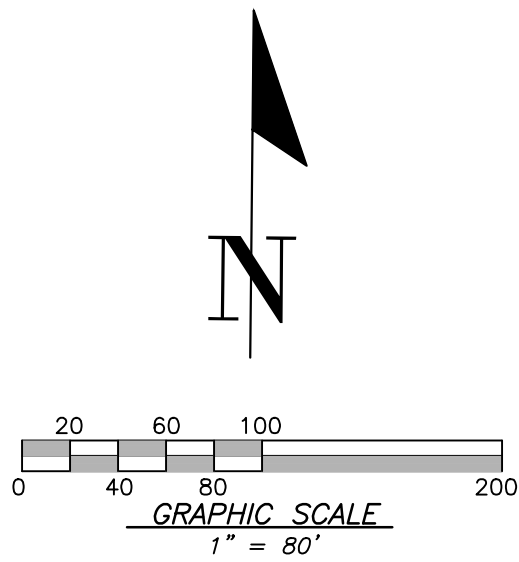
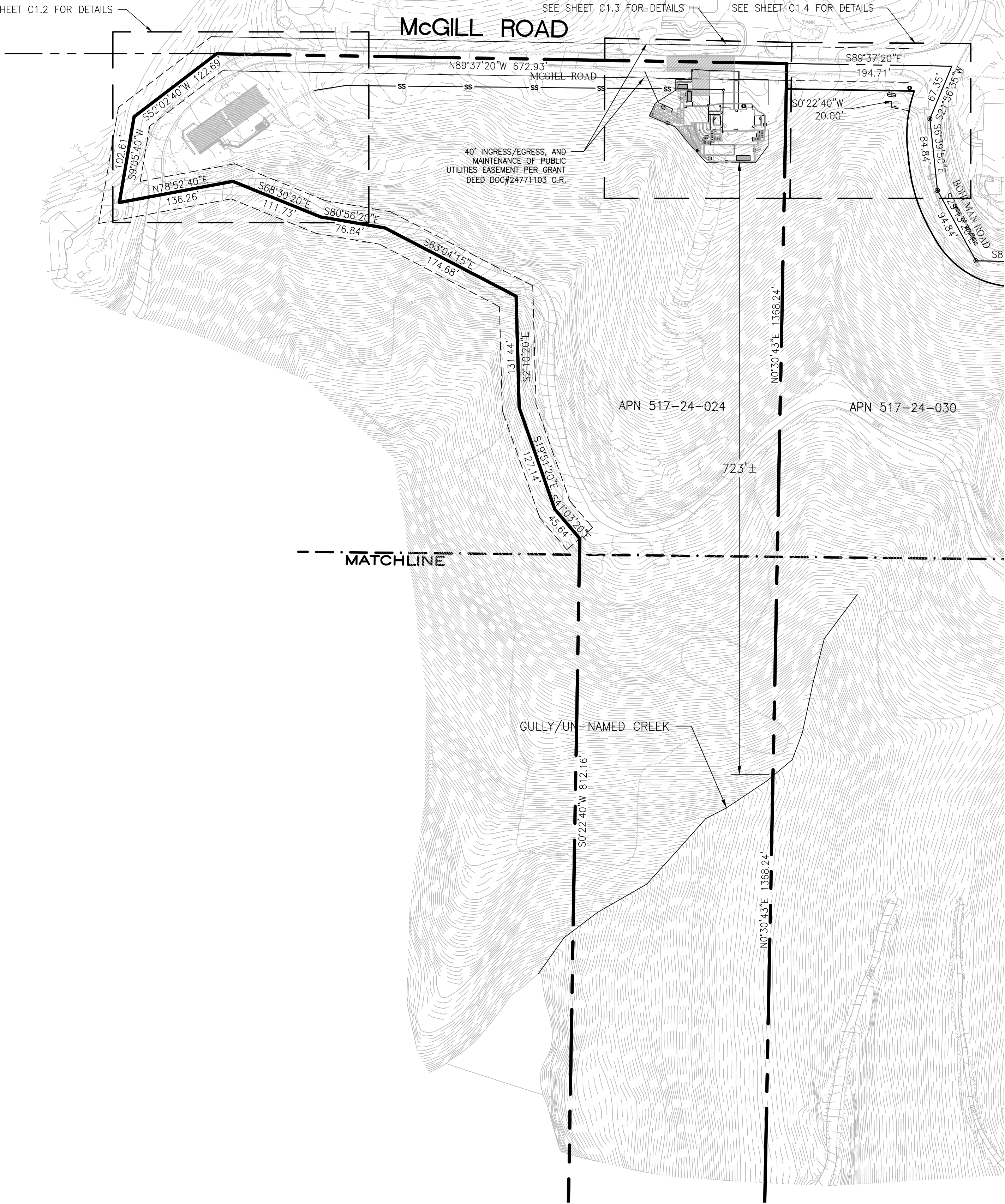
REVISIONS	DATE	CITY	BY

SHEET  
C1.0  
OF 18 SHEETS



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

SEE SHEET C1.2 FOR DETAILS

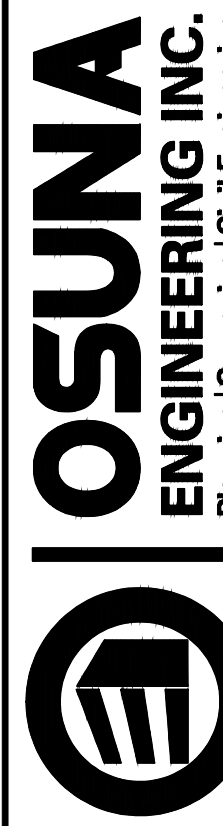


APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERING

PRELIMINARY  
GRADING & DRAINAGE PLAN

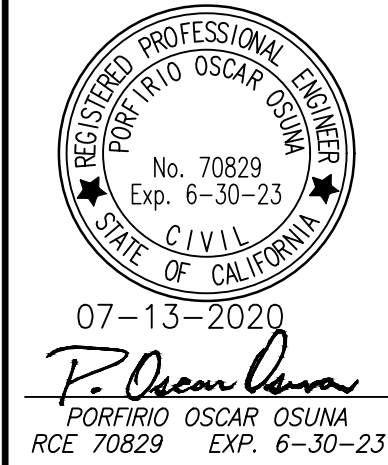
17025 MC GILL RD

SARATOGA, CALIFORNIA  
Project No.: 2143 | Design: J.N./O.O. | Check: O.O. | Date: 4/07/22



CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
117 BERNAL RD. STE. 70-336  
SAN JOSE, CA 95119  
TEL: (408) 772-4381  
Info@osunaengineering.com

**OSUNA**  
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CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY INFORMATION ON ALLEYS, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERING

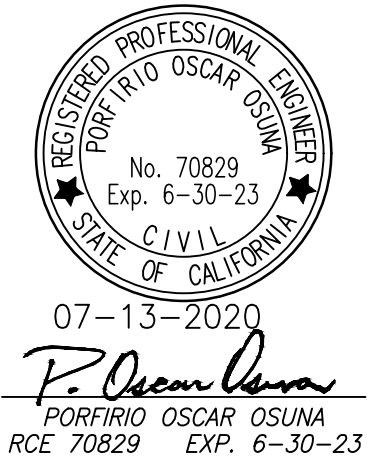
PRELIMINARY  
GRADING & DRAINAGE PLAN

17025 MC GILL RD

SARATOGA, CALIFORNIA  
Project No.: 2143 Design: T.N./O.O. Check: 4/07/22

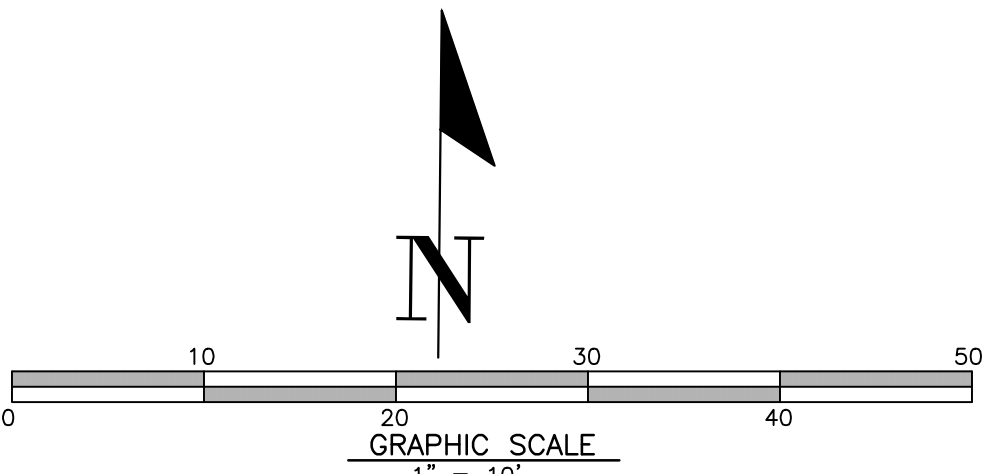


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07-13-2020

*P. Oscar Osuna*

PORFIRIO OSCAR OSUNA  
RCE 70829 EXP. 6-30-23

**PRELIMINARY**

**GRADING & DRAINAGE PLAN**

**17025 MC GILL RD**

**CALIFORNIA**

**SABOTCO4**

**Project No.: 2143**

**Designed: T.N./O.O.**

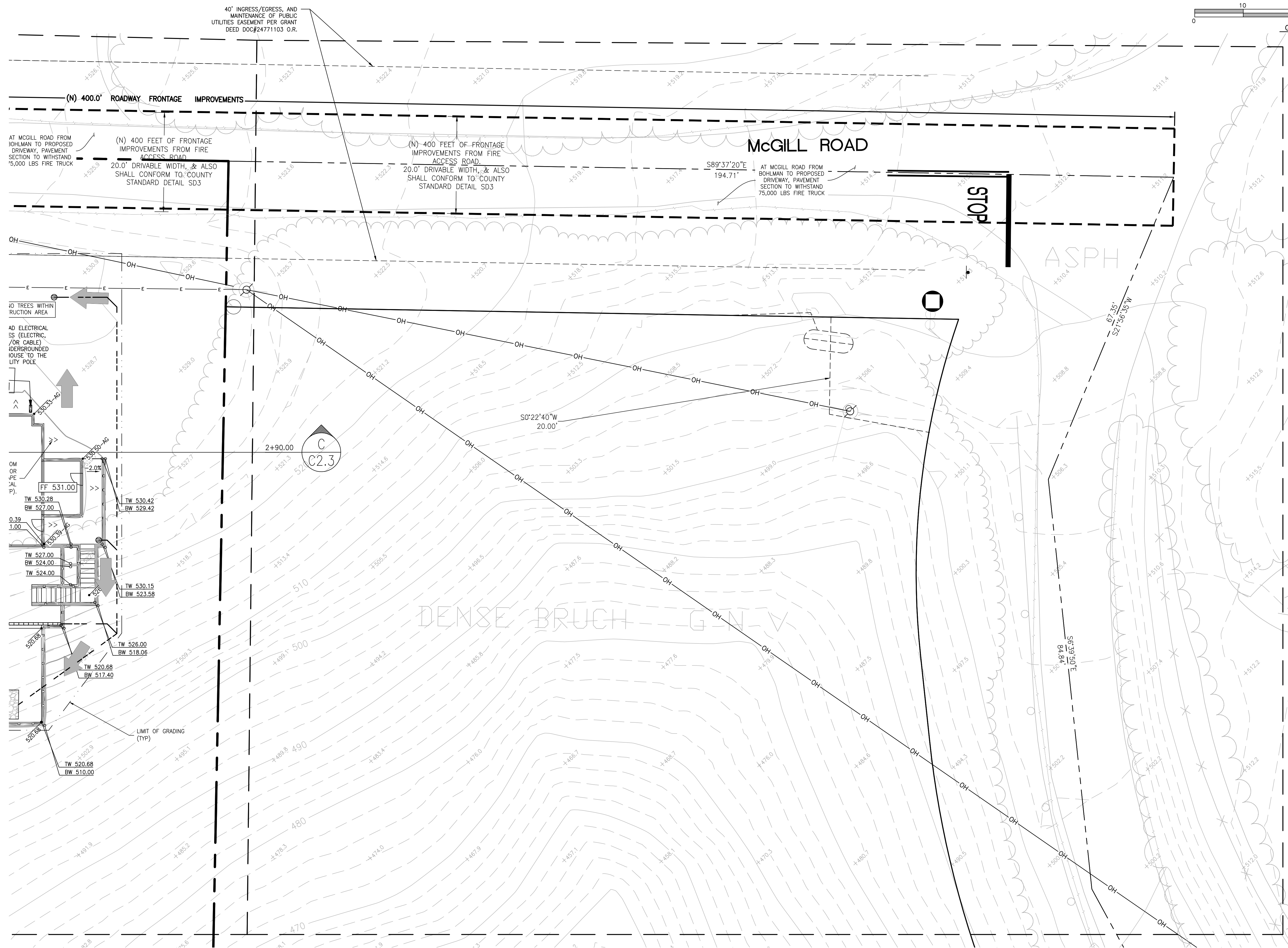
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**Date: 4/07/22**

SHEET  
C1.3  
OF 18 SHEETS



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PRELIMINARY  
GRADING & DRAINAGE PLAN

17025 MC GILL RD

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07-13-2020  
PORFIRIO OSCAR OSUNA  
RCE 70829 EXP. 6-30-23

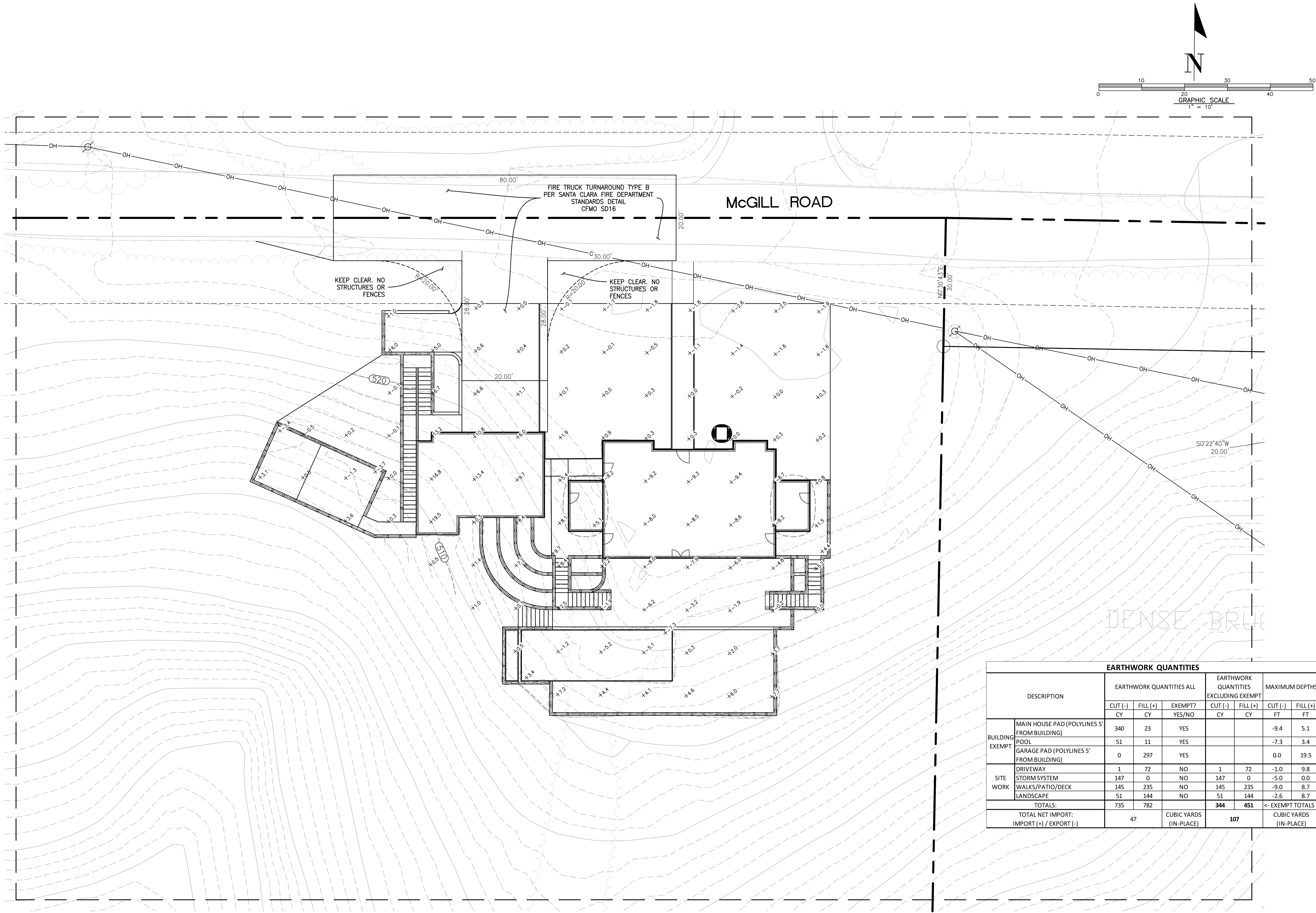
PROFESSIONAL ENGINEER  
PORFIRIO OSCAR OSUNA  
No. 70829  
Exp. 6-30-23  
CIVIL  
STATE OF CALIFORNIA

REVISIONS	DATE	CITY	BY

SHEET  
C1.4  
OF 18 SHEETS



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EARTHWORK QUANTITIES								
DESCRIPTION		EARTHWORK QUANTITIES ALL			EARTHWORK QUANTITIES EXCLUDING EXEMPT		MAXIMUM DEPTHS	
		CUT (-)	FILL (+)	EXEMPT?	CUT (-)	FILL (+)	CUT (-)	FILL (+)
		CY	CY	YES/NO	CY	CY	FT	FT
BUILDING EXEMPT	MAIN HOUSE PAD (POLYLINES 5' FROM BUILDING)	340	23	YES			-9.4	5.1
	POOL	51	11	YES			-7.3	3.4
	GARAGE PAD (POLYLINES 5' FROM BUILDING)	0	297	YES			0.0	19.5
SITE WORK	DRIVEWAY	1	72	NO	1	72	-1.0	9.8
	STORM SYSTEM	147	0	NO	147	0	-5.0	0.0
	WALKS/PATIO/DECK	145	235	NO	145	235	-9.0	8.7
	LANDSCAPE	51	144	NO	51	144	-2.6	8.7
TOTALS:		735	782		344	451	< EXEMPT TOTALS	
TOTAL NET IMPORT: IMPORT (+) / EXPORT (-)		47		CUBIC YARDS (IN-PLACE)	107		CUBIC YARDS (IN-PLACE)	

APPROVED FOR ISSUANCE  
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CONDITIONS AND PERMIT NUMBERING

PRELIMINARY  
GRADING & DRAINAGE PLAN  
EARTHWORK QUANTITIES

ADDRESS

SHEET  
C1.5  
OF 18 SHEETS

OSUNA  
ENGINEERING INC.  
Planning | Surveying | Civil Engineering

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117 BERNAL RD. STE. 70-336  
SAN JOSE, CA 95119  
TEL. (408) 772-4381  
Info@osunaengineering.com

SAW JOSE, CALIFORNIA  
Project No.: XXXX  
Design: J.O  
Check: 0.0  
Date: 10/26/21

REG. CIVIL ENGINEER  
No. 70829  
Exp. 6-30-23  
P. OSCAR OSUNA  
PORFIRIO OSCAR OSUNA  
RCE 70829 EXP. 6-30-23

07-13-2020

REVISIONS

NO.	DATE	BY	CITY
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2			
3			
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**BUBBLER BOX DETAIL**  
N.T.S.

IF SUMP PUMP USED, INSTALL BACKFLOW PREVENTOR ON 2" FORCE MAIN.

1.0' MIN.

CAST IRON OPEN GRATE

2" COBBLES

1.0' MIN.

MIN. 10' TO PL

PRECAST V12 CHRISTY BOX (OR EQUAL) 12'X12'

GRAVITY STORM LINE OUTLET

PEA GRAVEL

10" PERFORATED PVC PIPE WITH GRADED ROCK

3.0'

10"

**LANDSCAPE DRAIN DETAIL**  
N.T.S.

5 3/4"

3 7/16"

USE 6" ATRIUM GRATE NDS #90S (OR EQUAL) IN LANDSCAPE AREAS UNLESS NOTED OTHERWISE.

6" P.V.C. DRAIN PIPE LENGTH AS REQUIRED

5 3/4"

USE 9" GRAY SQUARE GRATE NDS #960 (OR EQUAL) IN CONCRETE SWALE AREAS UNLESS NOTED OTHERWISE.

8 3/4"

3 5/16"

VARIES SEE PLAN

45° ELL

6" P.V.C. DRAIN PIPE LENGTH AS REQUIRED

WYE FITTING

6" OR 8" P.V.C. SEE PLAN. CONNECT TO STORM DRAIN

FLOW

CAP

NOTE: ALL GRADING IS BASED OFF OF THIS ARCHITECTURAL SECTION. THE ADJACENT GRADE AND FF DIMENSIONS SHOWN HERE MUST BE KEPT. NOTIFY THE ENGINEER BEFORE MAKING ANY CHANGES.

The diagram is a cross-section of a building's exterior wall and floor. A horizontal line represents the 'FINISH FLOOR (FF)'. Below it, a vertical wall is shown. To the right of the wall, the ground level is indicated by a hatched area labeled 'ADJACENT GRADE'. A vertical dimension line shows an '8" MIN' clearance between the FF and the adjacent grade. A slope indicator shows a '5%' grade sloping away from the building. Text on the right explains the slope requirements for different areas.

SLOPE 5% AWAY FROM BUILDING FOR GROUND/LANDSCAPE AREAS, OR 2% AWAY FROM BUILDING FOR HARDSCAPE AREAS, FOR TEN FEET UNLESS NOT PRACTICAL LONGITUDINAL SWALES MAY BE USED.

NOTE: ALL GRADING IS BASED OFF OF THIS ARCHITECTURAL SECTION. THE ADJACENT GRADE AND GFF DIMENSIONS SHOWN HERE MUST BE KEPT. NOTIFY THE ENGINEER BEFORE MAKING ANY CHANGES.

8" MIN FROM GROUND TO BOTTOM OF WOOD SILL.

FINISH FLOOR (FF)

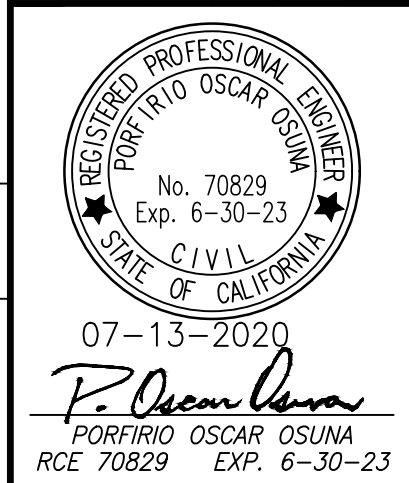
ADJACENT GRADE

5%

SLOPE 5% AWAY FROM BUILDING FOR GROUND/LANDSCAPE AREAS, OR 2% AWAY FROM BUILDING FOR HARDSCAPE AREAS, FOR TEN FEET UNLESS NOT PRACTICAL UNLESS NOT PRACTICAL LONGITUDINAL SWALES MAY BE USED.

N.T.S.

BY	CITY	DATE	REVISIONS
Δ			
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Δ			
Δ			
Δ			



AREA DRAIN INLET (SHOWN OFFSET FOR CLARITY)  
USE 9" GREEN SQUARE GRATE NDS #960 (OR  
EQUAL) LAWN OR WALKABLE AREAS.  
OR USE 6" ATRIUM GRATE NDS #905 (OR EQUAL)  
IN LANDSCAPE AREAS UNLESS NOTED OTHERWISE.

24" ACCESS WELDED HDPE  
RISER WITH SOLID COVER  
BOLTED DOWN (CHILD PROOF)

6" PVC DRAIN PIPE  
LENGTH AS REQUIRED

15 MIL. VISQUEEN  
IMPERMEABLE LINER, PER  
SOILS ENGINEER  
RECOMMENDATIONS

3" PVC PIPE OUTLET  
CONNECTED TO A  
BUBBLER BOX

6" PVC PIPE  
(INFLOW)

3" DIAMETER - 10 LINEAL  
FEET LONG STORAGE HDPE  
PIPE.

DRAIN ROCK

DRILL 1" HOLES @ EVERY 24" O.C.

15 MIL. VISQUEEN IMPERMEABLE  
LINER, PER SOILS ENGINEER  
RECOMMENDATIONS

SUBGRADE

5.0'

0.5'

1.0'

C TYPICAL FOUNDATION/FF/GROUND SECTION

The diagram illustrates a cross-section of an infiltration trench. A central 6-inch perforated pipe is shown with the instruction "PLACE HOLES DOWN". The pipe is surrounded by a 1-foot thick layer of drain rock. This rock layer is enclosed by a filter fabric, referred to as "BURRITO WRAP". The entire assembly is topped with a 1-foot thick layer of native earth fill cap. The trench has a width of 2.0 feet and a total depth of 2.5 feet. The side slopes of the trench are indicated as 1:1. The bottom of the trench is also shown with a 1:1 slope.

6" PERFORATED PIPE.  
PLACE HOLES DOWN

1.0'

NATIVE EARTH FILL CAP

DRAIN ROCK

FILTER FABRIC, WRAP  
AROUND (BURRITO WRAP)

2.5'

1.0'

2.0'

INFILTRATION TRENCH DRAIN DETAIL

N.T.S.

*D* TYPICAL FOUNDATION/GFF/GROUND SECTION

SLOPE 5% AWAY FROM BUILDING  
FOR GROUND/LANDSCAPE  
AREAS, OR 2% AWAY FROM  
BUILDING FOR HARDSCAPE  
AREAS, FOR TEN FEET UNLESS  
NOT PRACTICAL LONGITUDINAL  
SWALES MAY BE USED.

VARIES 2% MIN. >

1.5'

1.5'

0.17' MIN

<VARIES 2% MIN.

N.T.S.

**E STORM RETENTION DETAIL**

Diagram illustrating a cross-section of a storm retention detail, showing a circular storage tank (likely a manhole or vault) with various components and dimensions:

- AREA DRAIN INLET (SHOWN OFFSET FOR CLARITY)  
USE 9" GREEN SQUARE GRATE NDS #960 (OR EQUAL) LAWN OR WALKABLE AREAS.  
OR USE 6" ATRIUM GRATE NDS #90S (OR EQUAL) IN LANDSCAPE AREAS UNLESS NOTED OTHERWISE.
- 24" ACCESS WELDED HDPE RISER WITH SOLID COVER BOLTED DOWN (CHILD PROOF)
- 1.0' MIN.
- 6" PVC DRAIN PIPE, LENGTH AS REQUIRED
- 15 MIL. VISQUEEN IMPERMEABLE LINER, PER SOILS ENGINEER RECOMMENDATIONS
- 5.0'
- 3" PVC PIPE OUTLET CONNECTED TO A BUBBLER BOX
- 6" PVC PIPE (INFLOW)
- 3" DIAMETER - 10 LINEAL FEET LONG STORAGE HDPE PIPE.
- DRAIN ROCK
- DRILL 1" HOLES @ EVERY 24" O.C.
- 15 MIL. VISQUEEN IMPERMEABLE LINER, PER SOILS ENGINEER RECOMMENDATIONS
- 0.5'
- SUBGRADE
- 5.0'

N.T.S.

RETAINING WALL. SEE STRUCTURAL PLANS (BY OTHERS)

6" SOLID PVC SURFACE DRAINAGE PIPE WITH 1% MIN. SLOPE TOWARDS OUTFALL OR DAYLIGHT. DO NOT CONNECT TO WALL SUBDRAIN

AREA DRAIN

EARTHEN SWALE

1.0' MIN.

DRAIN ROCK 1/2" TO 3/4" CLEAN CRUSHED ROCK SURROUNDED BY FILTER FABRIC LINER OR AS APPROVED BY STRUCTURAL AND GEOTECHNICAL ENGINEER

FILTER FABRIC PER SOILS ENGINEER RECOMMENDATIONS

4" PERF PVC SUBDRAIN PIPE WITH 0.5% MIN. SLOPED TO DAYLIGHT.

1' MIN.


*G* *EARTHEN SWALE DETAIL*

Diagram illustrating the detail for a splash block/downspout at the base of a house wall. The drawing shows a cross-section of the house wall, a roof downspout, a precast splash block, and the grading below.

Labels and specifications:

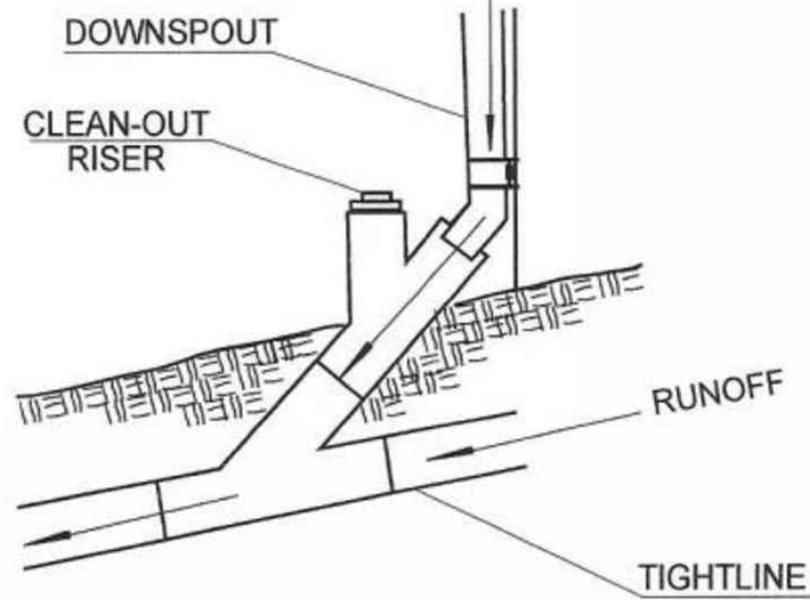
- HOUSE WALL
- ROOF DOWNSPOUTS. SEE ARCHITECTURAL PLANS FOR LOCATIONS
- 24" LONG PRECAST SPLASH BLOCK. NITTERHOUSE (OR EQUAL)
- SLOPE AWAY FROM BUILDING 2% MIN. ON IMPERVIOUS SURFACES. SLOPE AWAY 5% MIN. ON PERVIOUS SURFACES.
- EMBED SPLASH BOX IN 4" CONCRETE OR MORTAR

SPLASH BLOCK/DOWNSPOUT DETAIL  
N.T.S.

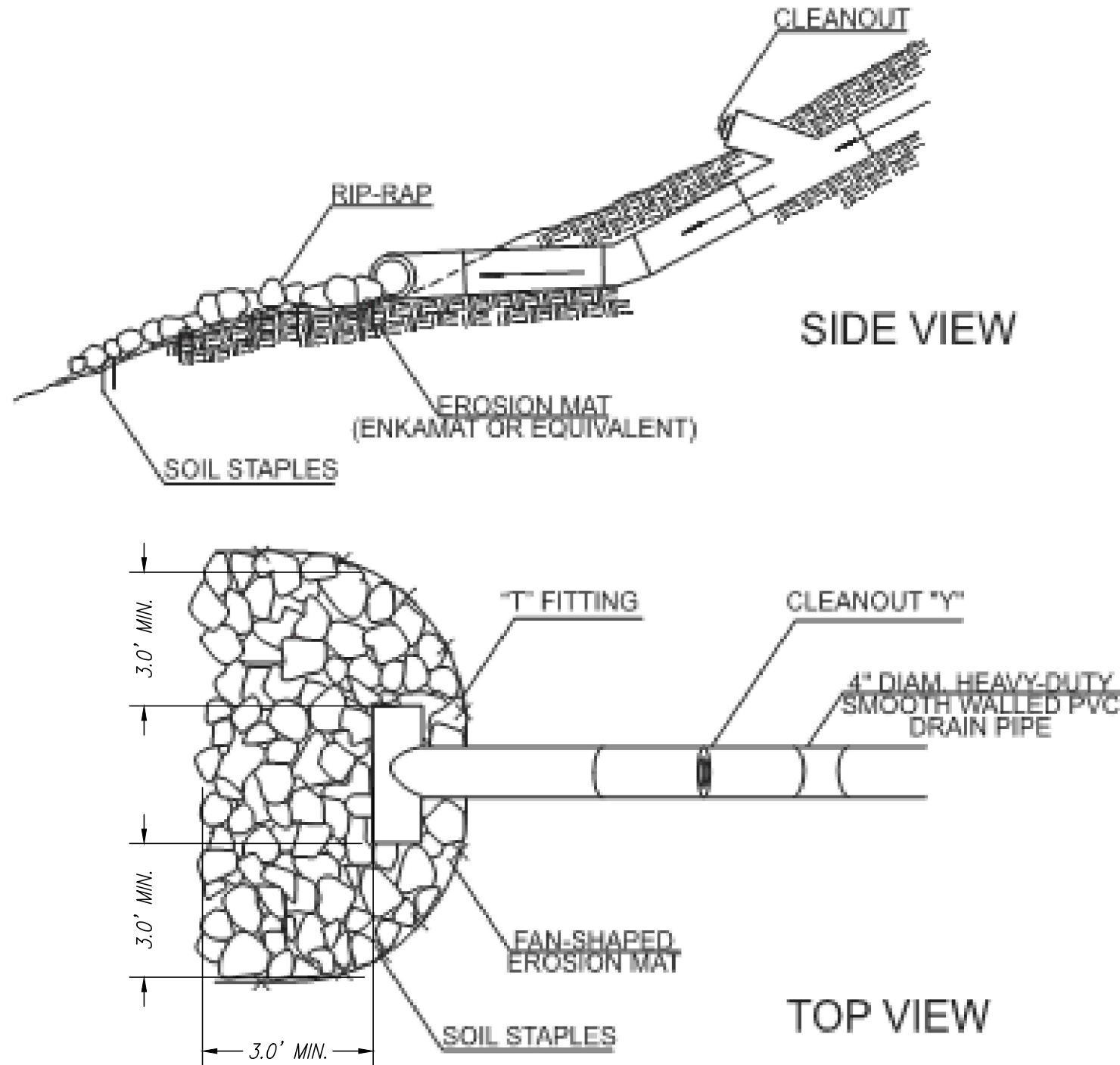
SHEET <div style="font-size: 2em; font-weight: bold; margin: 5px 0;">C2.1</div> OF 18 SHEETS	PRELIMINARY GRADING & DRAINAGE PLAN CONSTRUCTION DETAILS 17025 MC GILL RD SARATOGA, CALIFORNIA	<div style="display: flex; justify-content: space-between;"> <div>  <div> <b>OSUNA</b>  <b>ENGINEERING INC.</b>                      Planning / Surveying / Civil Engineering                 </div> </div> <div>                     CONSULTING CIVIL ENGINEERS &amp; LAND SURVEYORS                      117 BERNAL RD. STE. 70-336                      SAN JOSE, CA 95119                      TEL. (408) 772-4381                      Info@osunaeengineering.com                 </div> </div>
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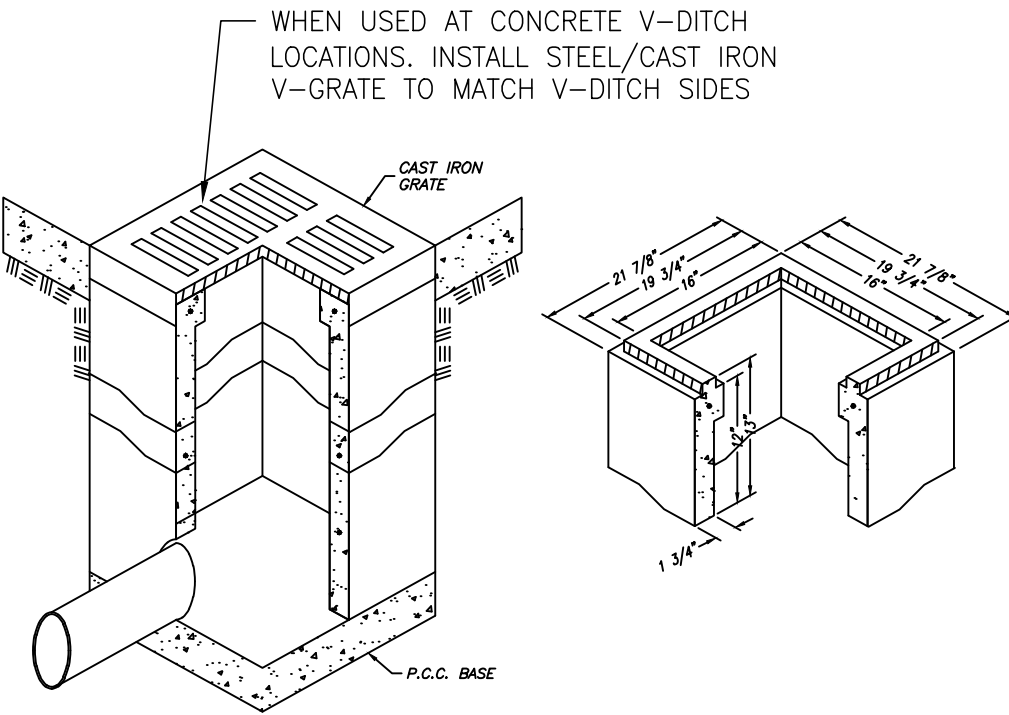
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A



D



FLAT GRATE INLET  
CHRISTY V-64 DRAIN BOX  
18 3/8" x 18 3/8" OR EQUAL  
N.T.S.

N.T.S.

*B*

N.T.S.

C

N.T.S.

 $E$ 
$$F$$

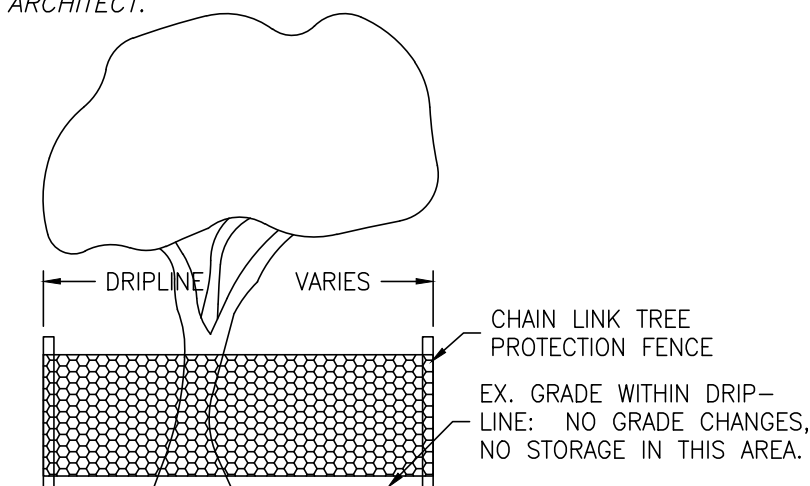
**NOTES FOR PROTECTION OF EXISTING PLANTS TO REMAIN:**

**A. DO NOT STORE MATERIALS OR EQUIPMENT, PERMIT BURNING, OPERATE, OR PARK EQUIPMENT UNDER THE BRANCHES OF ANY EXISTING PLANT TO REMAIN EXCEPT AS ACTUALLY REQUIRED FOR CONSTRUCTION IN THOSE AREAS.**

**B. PROVIDE BARRICADES, FENCES, OR OTHER BARRIERS AS NECESSARY AT THE DRIP LINE TO PROTECT EXISTING PLANTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION.**

**C. NOTIFY THE LANDSCAPE ARCHITECT IN ANY CASE WHERE CONTRACTOR FEELS GRADING OR OTHER CONSTRUCTION CALLED FOR BY CONTRACT DOCUMENTS MAY DAMAGE EXISTING PLANTS TO REMAIN.**

**D. IF EXISTING PLANTS TO REMAIN ARE DAMAGED DURING CONSTRUCTION, CONTRACTOR SHALL REPLACE SUCH PLANTS OF THE SAME SPECIES AND SIZE AS THOSE DAMAGED AT NO COST TO THE OWNER. DETERMINATION OF EXTENT OF DAMAGE AND VALUE OF DAMAGED PLANT SHALL REST SOLELY WITH THE LANDSCAPE ARCHITECT.**





TREE PROTECTION DETAIL

N.T.S.

J

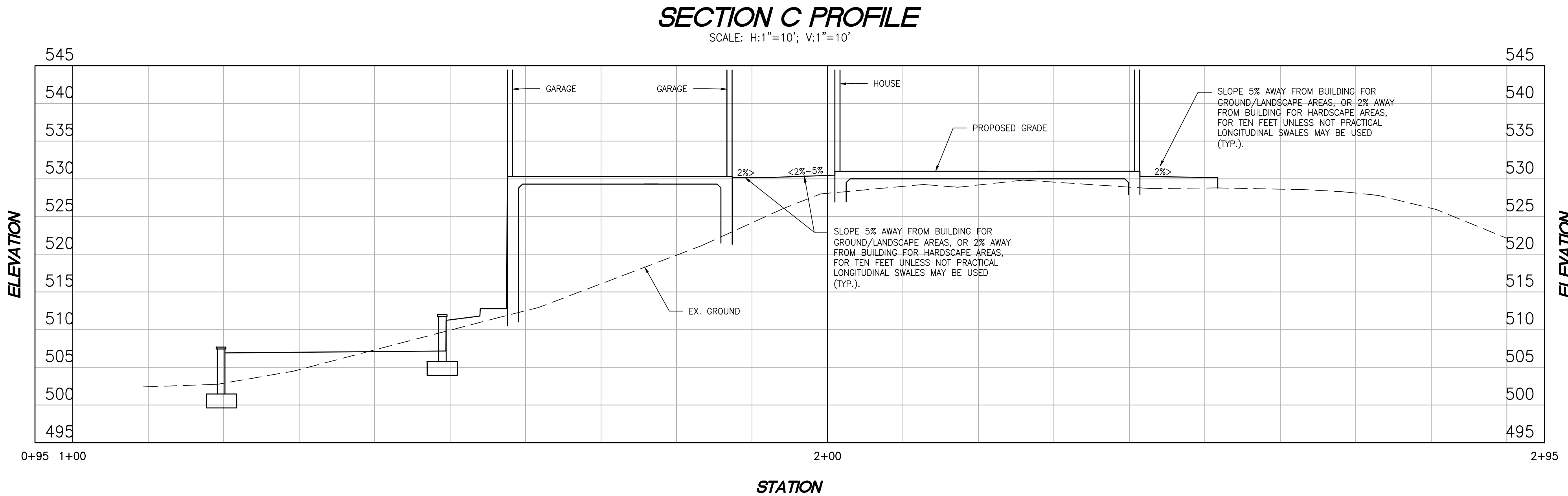
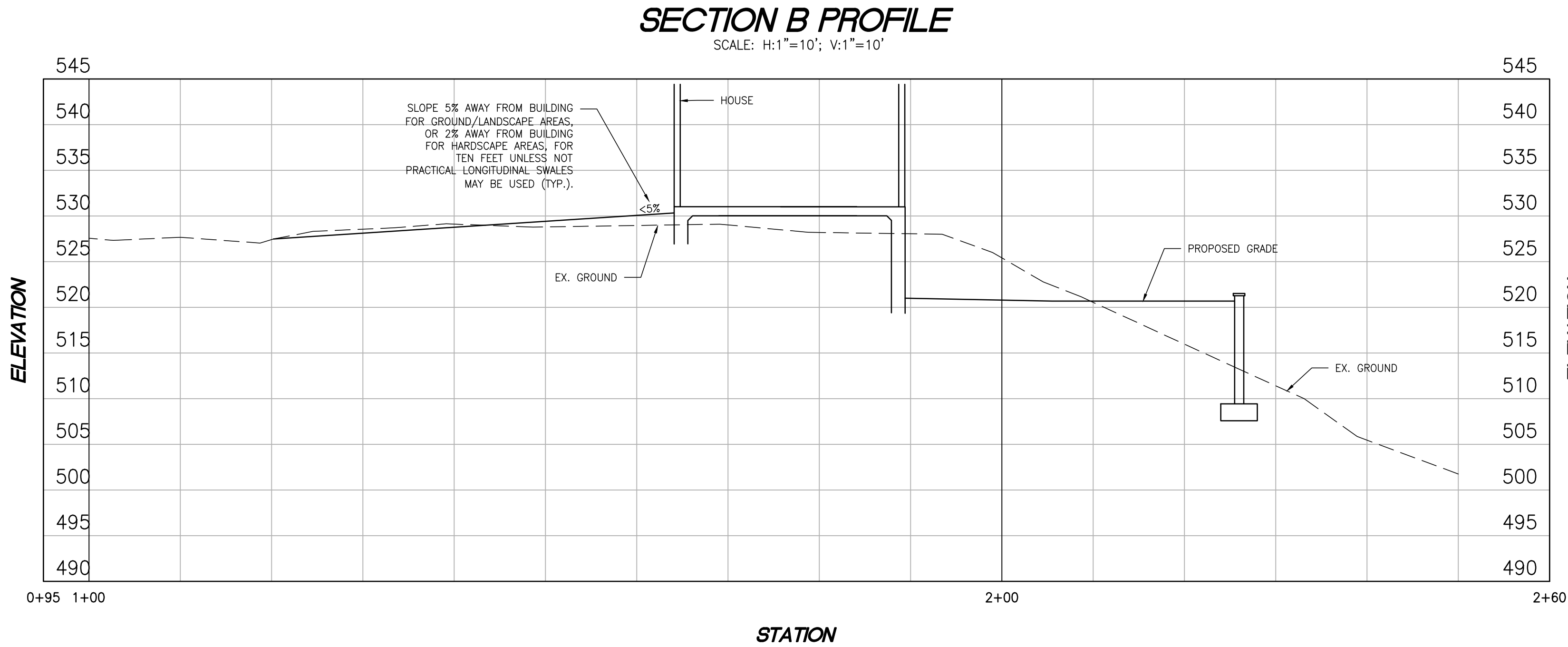
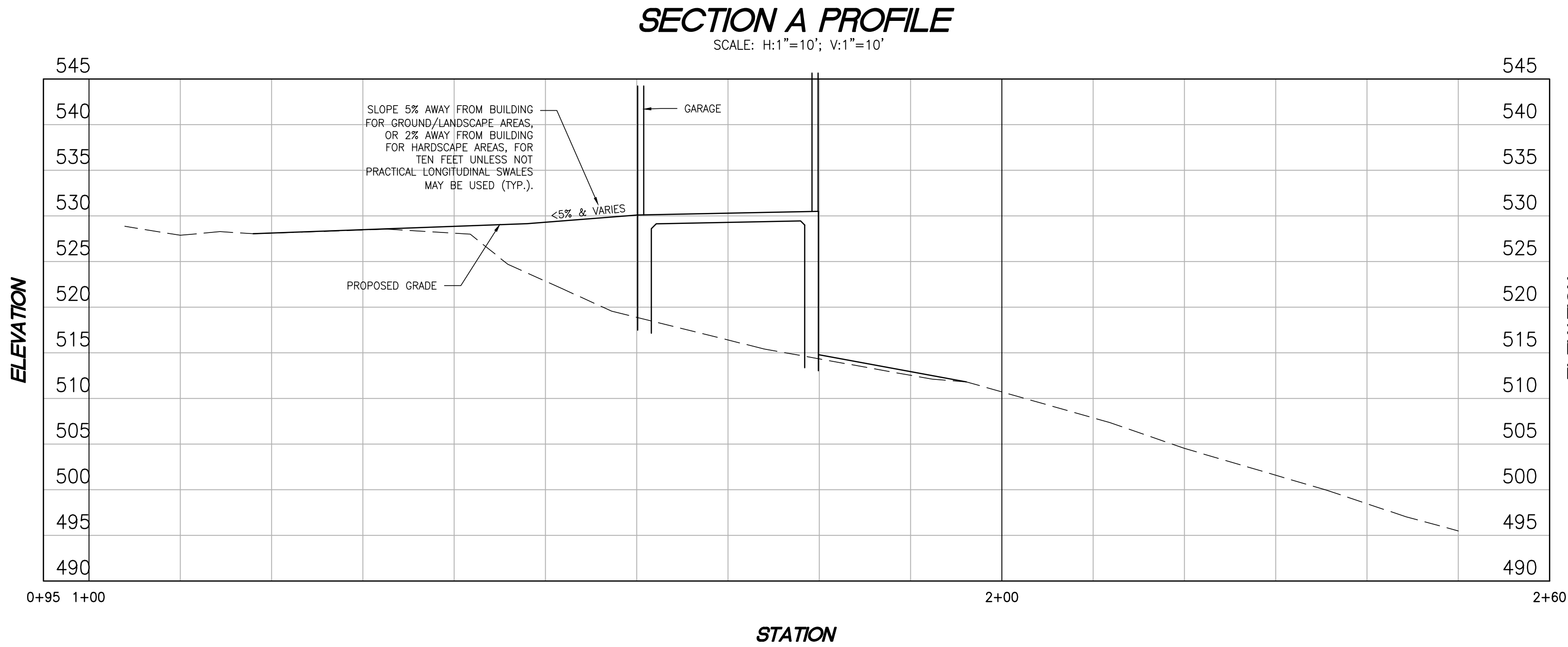
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PRELIMINARY GRADING & DRAINAGE PLAN CONSTRUCTION DETAILS 17025 MC GILL RD SARATOGA, CALIFORNIA		Project No. 2143    Designed: T.N./C.O.    Checked: 4/07/22	
SHEET C2.2		DATE: 4/07/22	
OF 18 SHEETS		DATE: 4/07/22	
<div><div><p><b>OSUNA</b> ENGINEERING INC. Planning   Surveying   Civil Engineering</p></div><div><p>CONSULTING CIVIL ENGINEERS &amp; LAND SURVEYORS</p><p>117 BERNAL RD. STE. 70-336 SAN JOSE, CA 95119</p><p>TEL. (408) 772-4381 Info@osunaengineering.com</p></div></div>		DATE: 4/07/22	
		DATE: 4/07/22	
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<div><div><p><i>P. Oscar Osuna</i> PORFIRIO OSCAR OSUNA RCE 70829 EXP. 6-30-23</p></div></div>		DATE: 4/07/22	
		DATE: 4/07/22	
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REVISIONS		REVISIONS	



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REVISIONS				
NO.	DATE	BY	CITY	DATE
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3				
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REGISTERED PROFESSIONAL ENGINEER  
No. 70829  
Exp. 6-30-23  
CIVIL  
STATE OF CALIFORNIA

*P. Osuna*  
PORFIRIO OSCAR OSUNA  
RCE 70829 EXP. 6-30-23

**OSUNA**  
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Planning | Surveying | Civil Engineering

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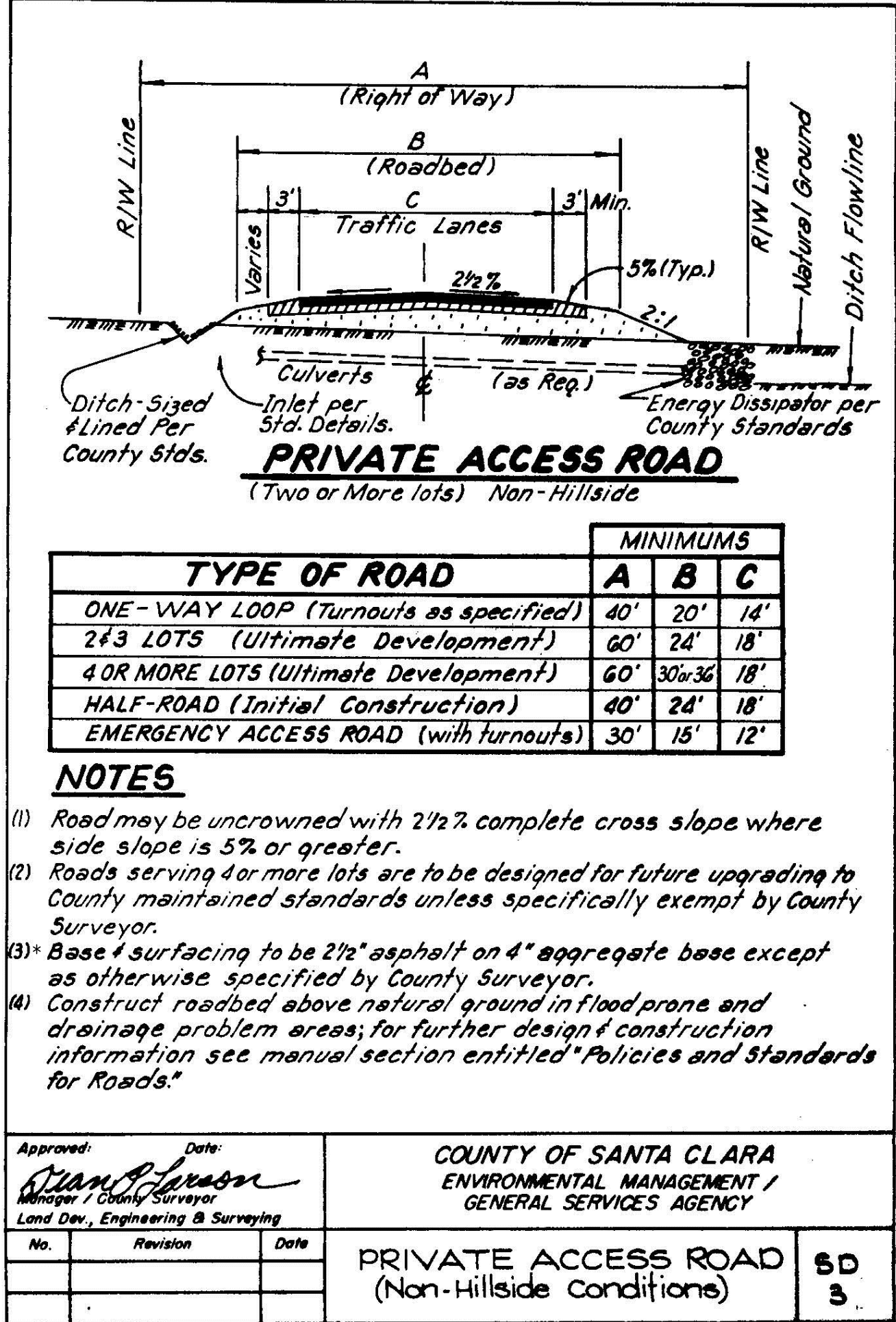
PRELIMINARY  
GRADING & DRAINAGE PLAN  
CONSTRUCTION DETAILS  
17025 MC GILL RD

SARATOGA, CALIFORNIA  
Project No.: 2143 | Design: T.N./O.O. | Check: 4/07/22

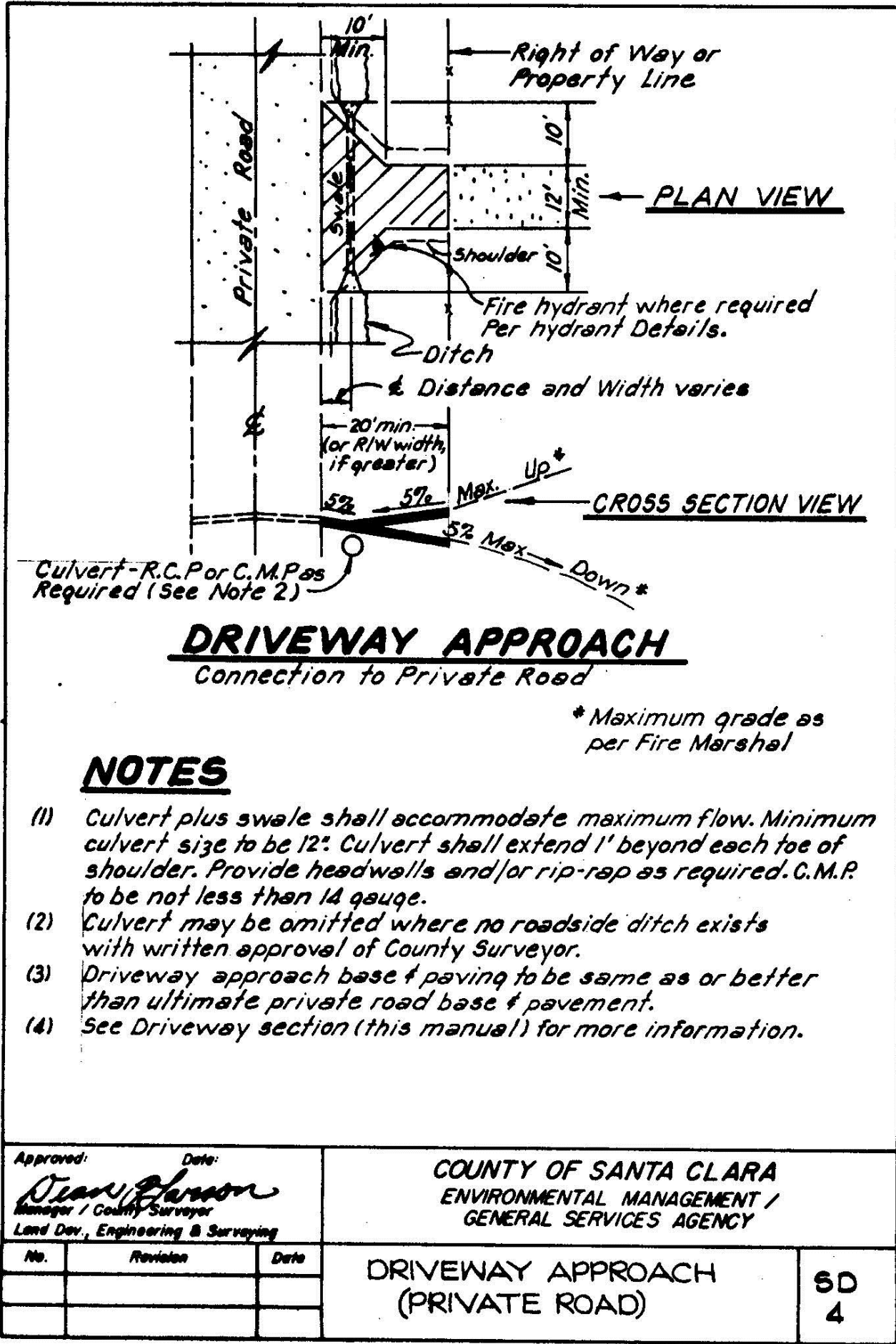
SHEET  
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OF 18 SHEETS



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\* MINIMUM SECTION RECOMMENDED PER  
GEOTECHNICAL ENGINEER 3" A.C. ON 8" A.B.



REVISIONS

DATE

CITY

BY

REGISTERED PROFESSIONAL ENGINEER

PORTFIRIO OSCAR OSUNA

No. 70829

Exp. 6-30-23

CIVIL

STATE OF CALIFORNIA

OSUNA

ENGINEERING INC.

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SAN JOSE, CA 95119

TEL. (408) 772-4381

Info@osunaengineering.com

PRELIMINARY

GRADING & DRAINAGE PLAN

COUNTY STANDARD DETAILS

17025 MC GILL RD

SARATOGA, CALIFORNIA

Project No.: 2143

Design: T.N./C.O.

Check: \_\_\_\_\_

Date: 4/07/22

SHEET

C2.4

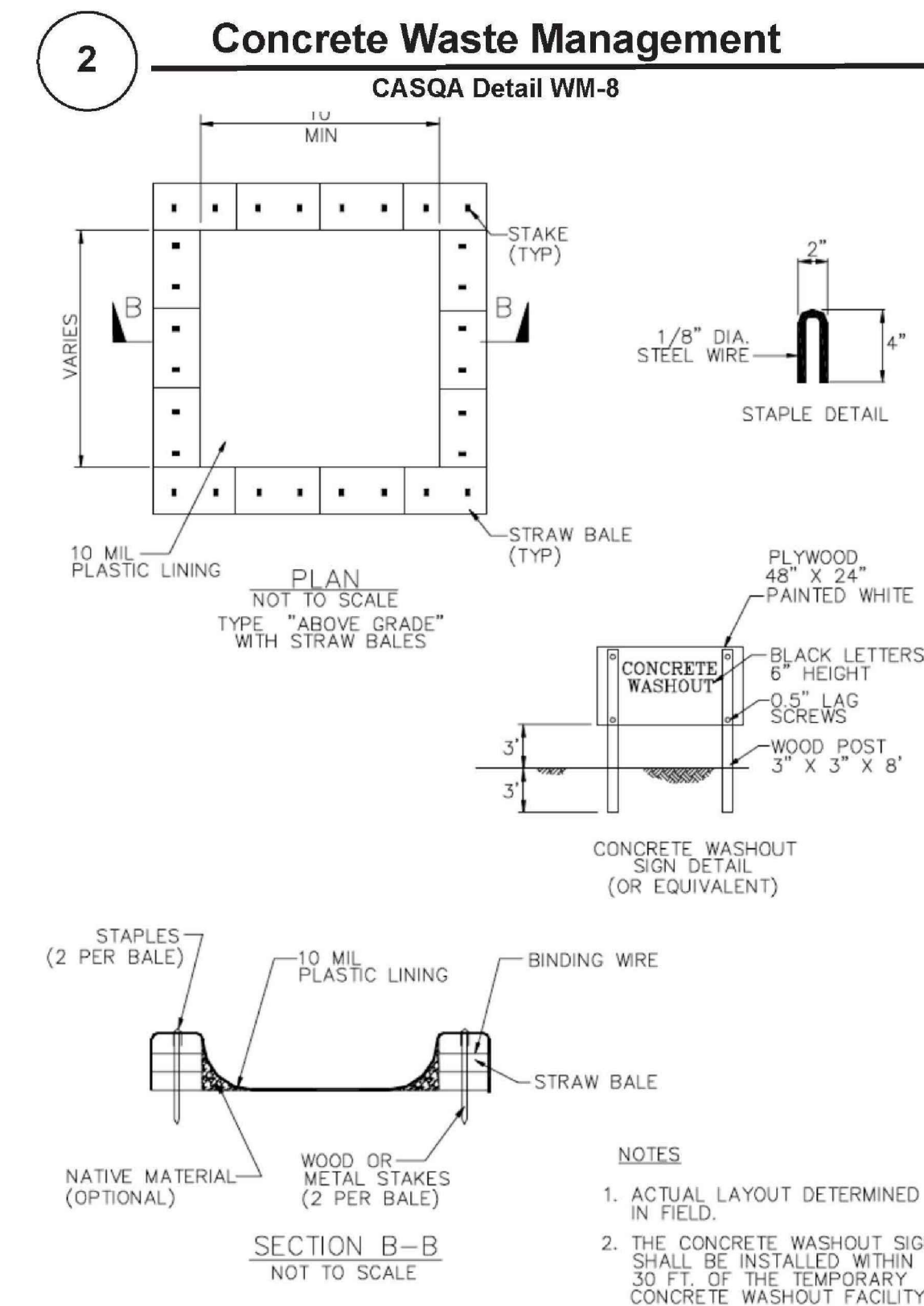
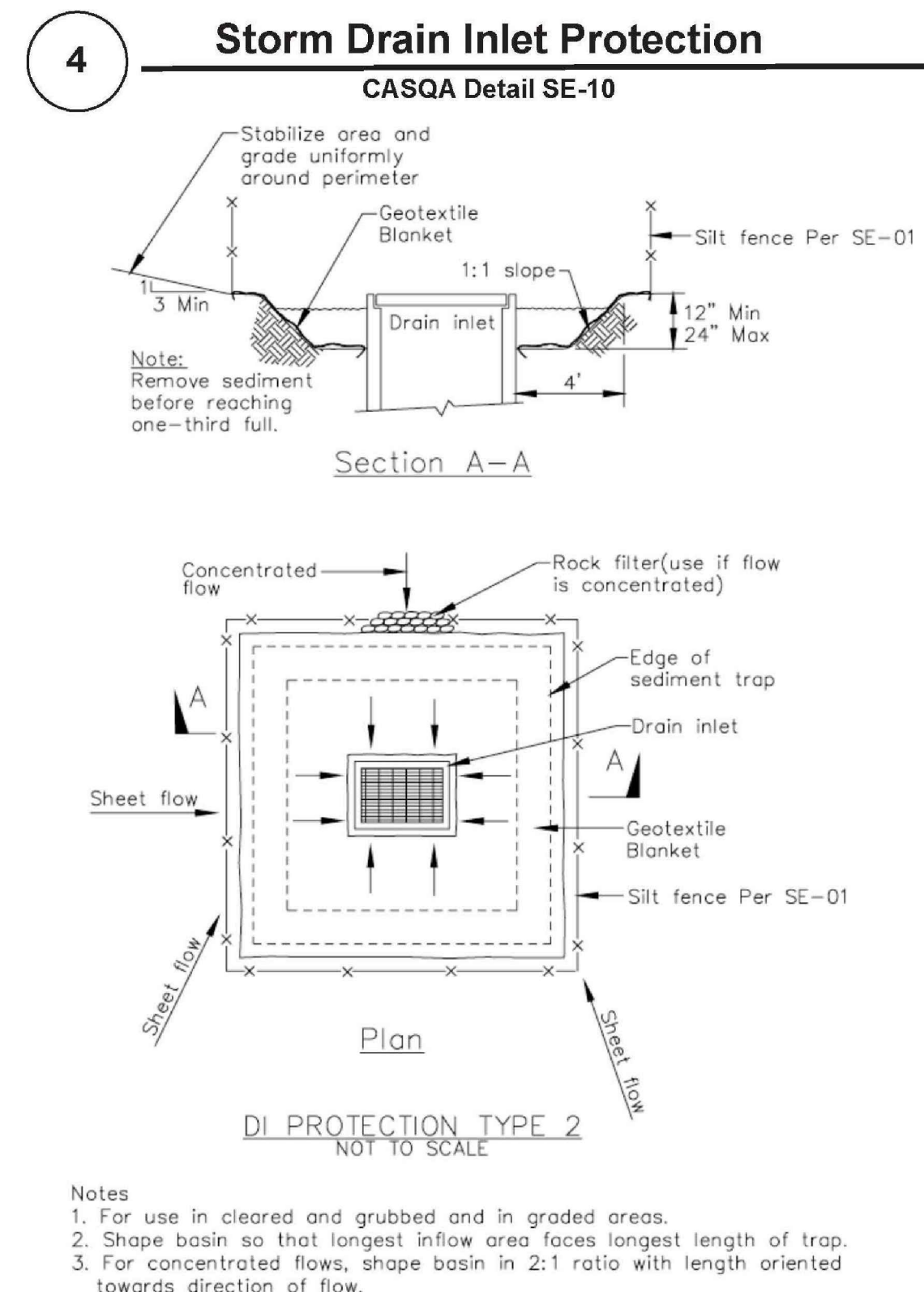
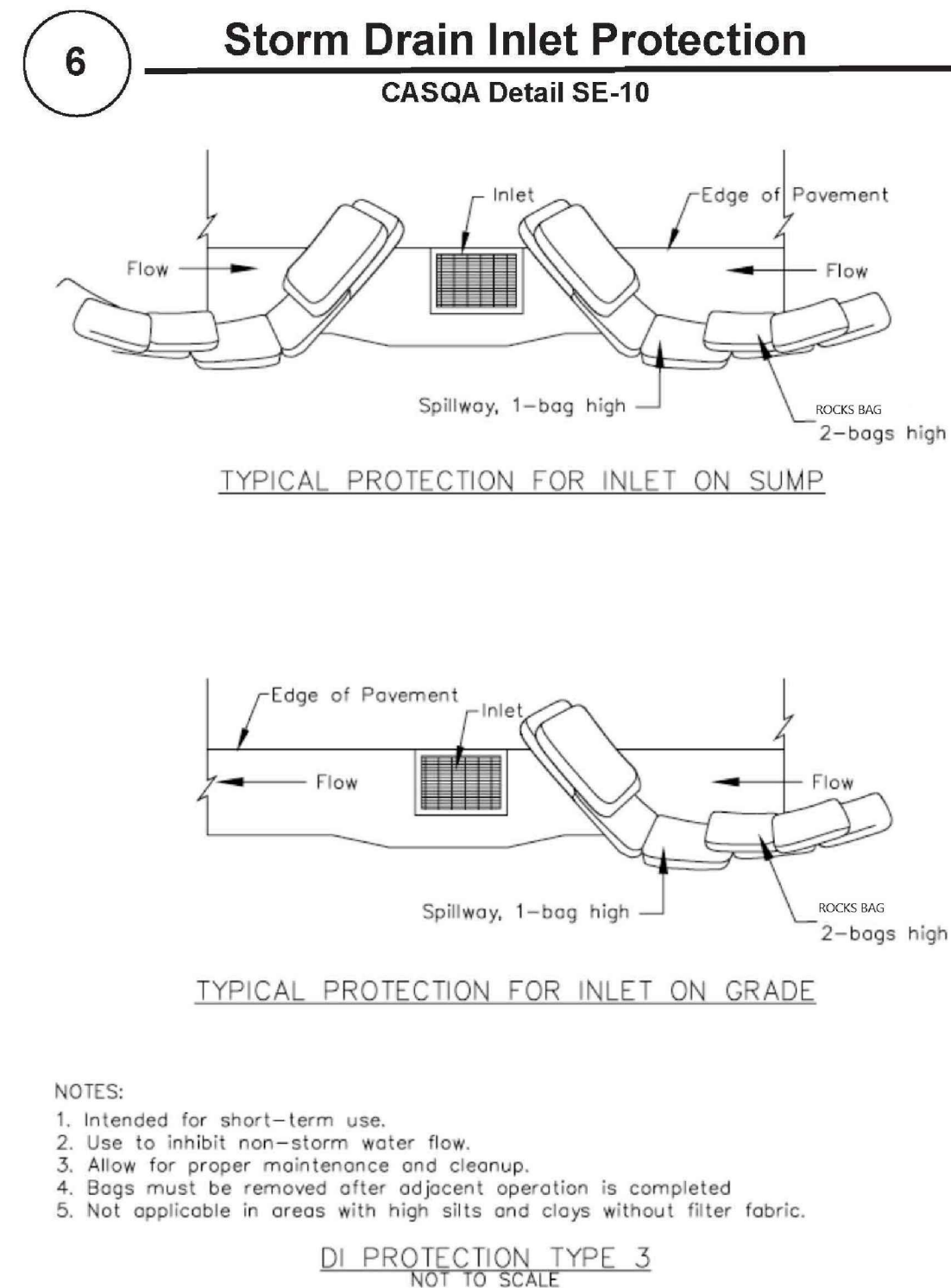
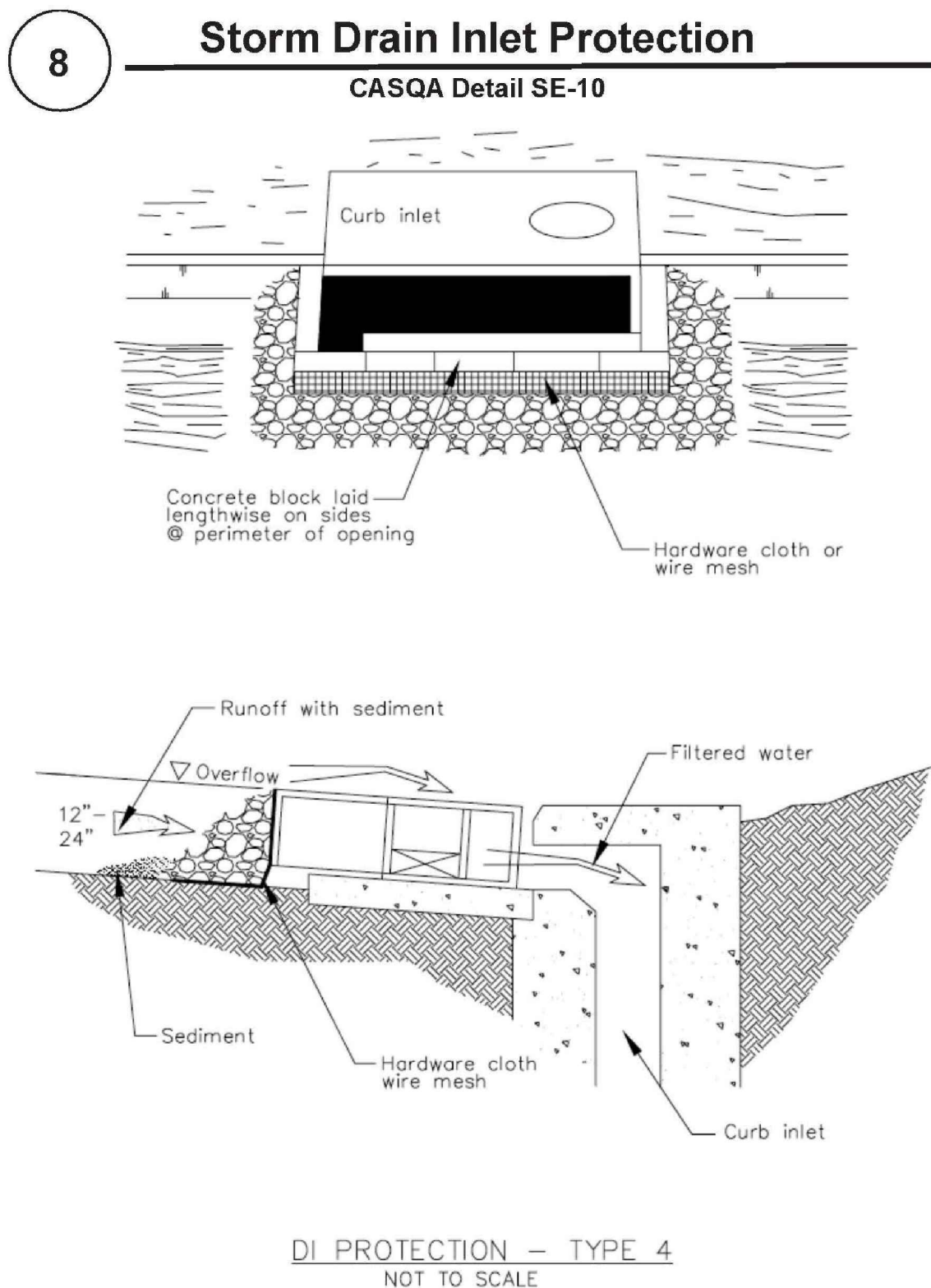
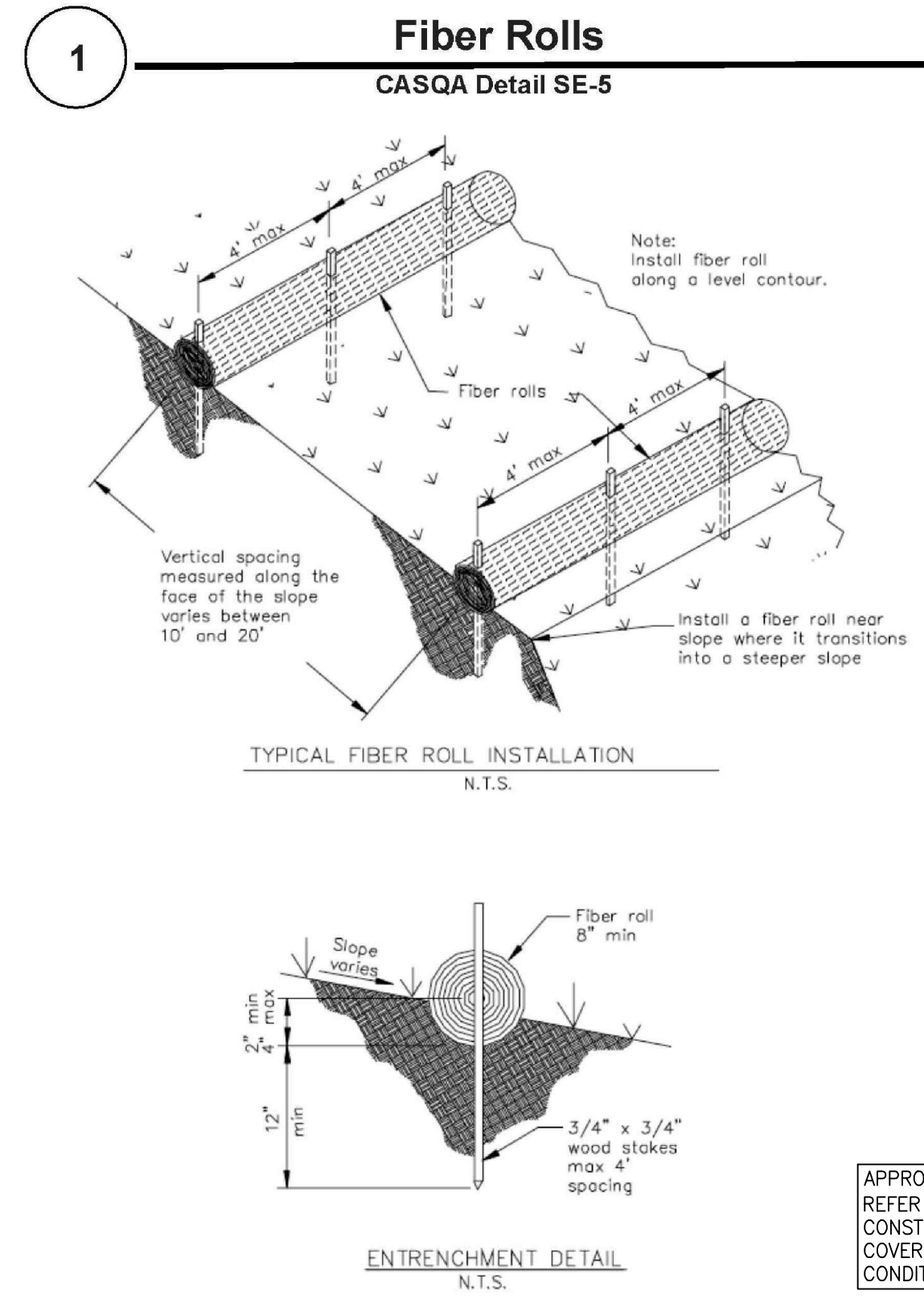
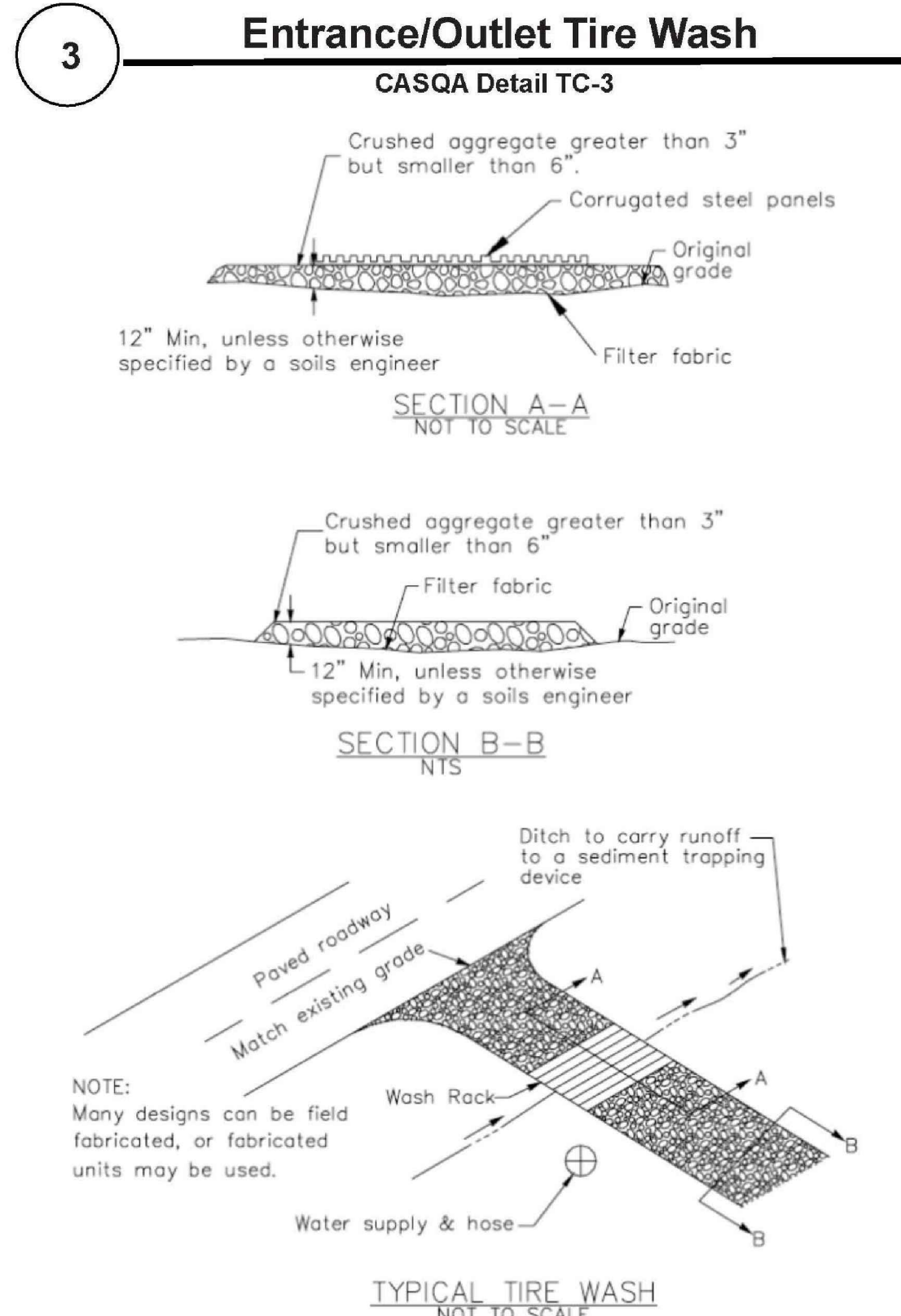
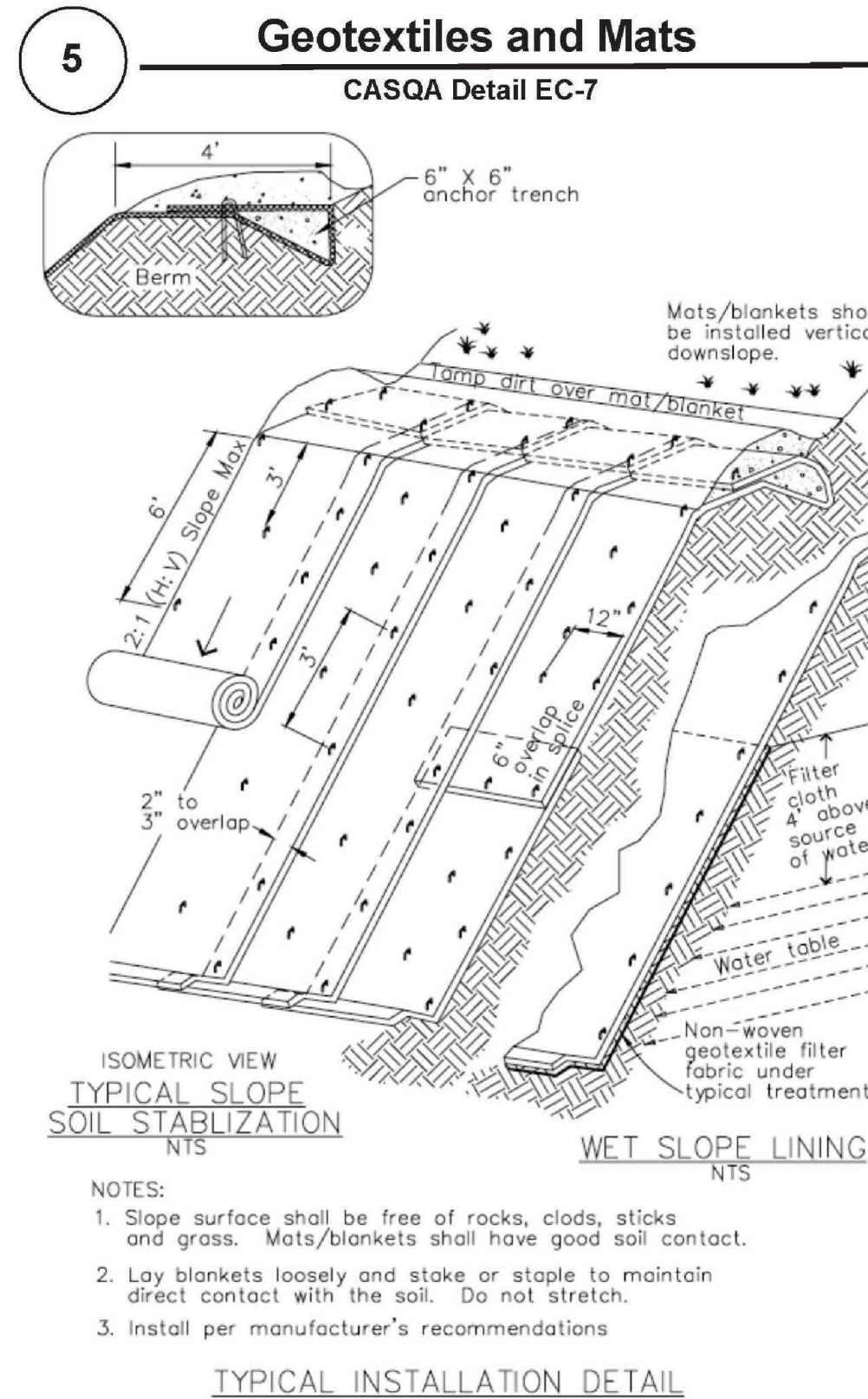
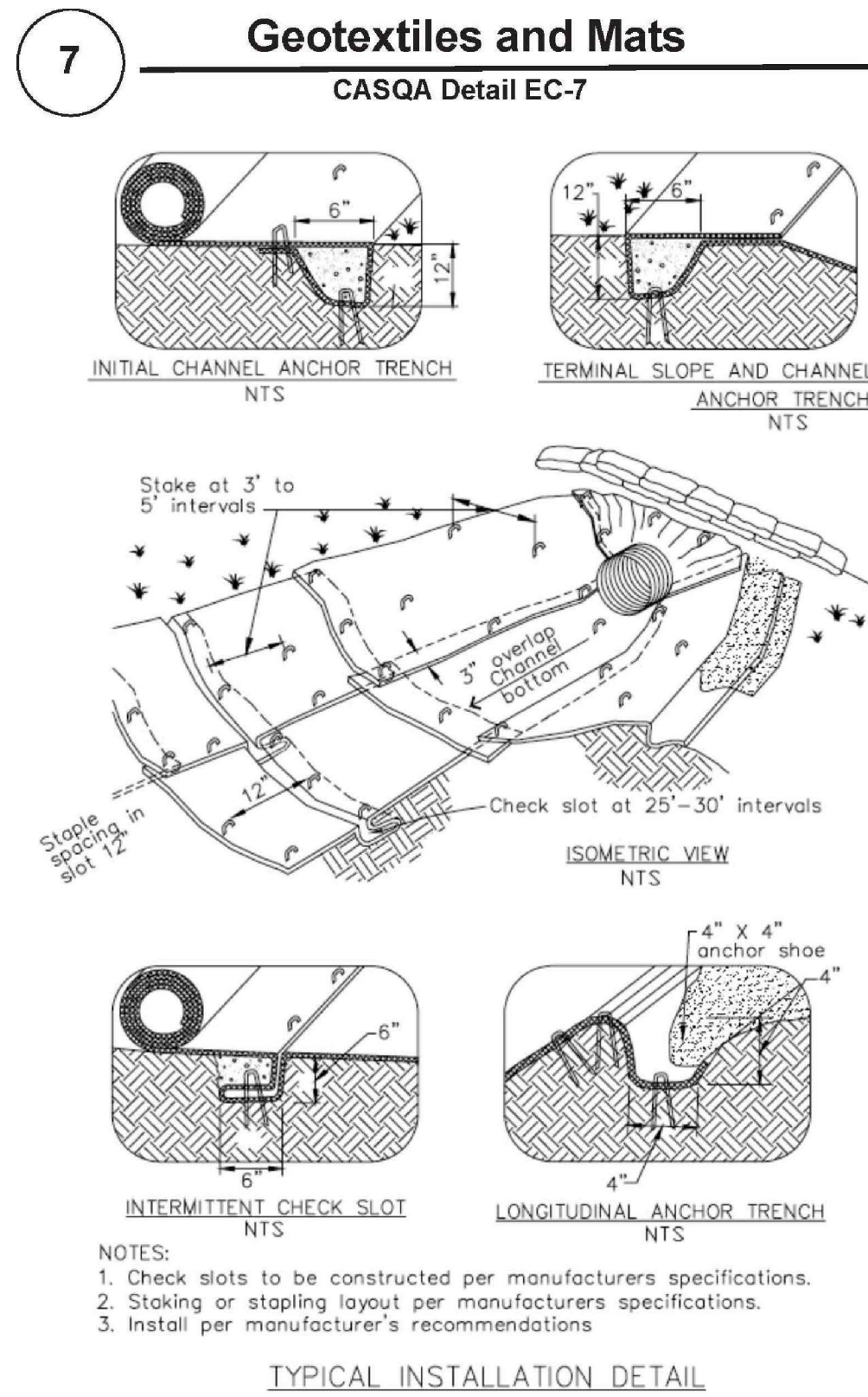
OF 18 SHEETS







CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING BUT NOT LIMITED TO THE PROTECTION OF EXISTING UTILITIES, THE PROTECTION OF ADJACENT PROPERTIES, THE PROTECTION OF THE PUBLIC, AND THE PROTECTION OF THE ENVIRONMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING THE NECESSARY INFORMATION FROM THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



Project Information

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.  
Available from [www.cabmphandbooks.com](http://www.cabmphandbooks.com).

## Best Management Practices and Erosion Control Details Sheet 2 County of Santa Clara



BMP-2

PRELIMINARY  
GRADING & DRAINAGE PLAN  
COUNTY BMP-2  
17025 MC GILL RD

**OSUNA**  
ENGINEERING INC.  
Planning | Surveying | Civil Engineering  
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
117 BERNAL RD. STE. 70-336  
SAN JOSE, CA 95119  
TEL (408) 772-4381  
info@osunaengineering.com

SHEET  
C3.2  
OF 18 SHEETS

REVISIONS	DATE	CITY	BY

REGISTERED PROFESSIONAL ENGINEER  
No. 70829  
Exp. 6-30-23  
CIVIL  
STATE OF CALIFORNIA  
07-13-2020  
P. Oscar Osuna  
PORFIRIO OSCAR OSUNA  
RCE 70829 EXP. 6-30-23





- NOTES:**
1. PROTECT ALL INLETS IN THE PUBLIC STREETS SURROUNDING THE SITE.
  2. ALL ON-SITE LANDSCAPE AREA DRAINS TO BE CAPPED OR PROTECTED UNTIL LANDSCAPING IS FINISHED.



THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT.

ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.

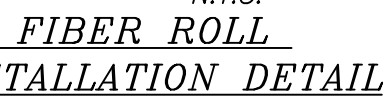
WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

NOTE: LANDSCAPE INLETS THAT ARE NOT PROTECTED MUST BE CAPPED TO PREVENT ANY UNTREATED FLOW ENTERING THE INLET

## EROSION & SEDIMENT CONTROL NOTES

- SUPPLEMENTAL EROSION & SEDIMENT CONTROL NOTES

- APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERING



07-13-2020  
P. Oscar Osuna  
PORFIRIO OSCAR OSUNA  
RCE 70829 EXP. 6-30-

**OSUNA**  
**ENGINEERING INC.**  
Planning | Surveying | Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS

117 BERNAL RD. STE. 70-336 TEL. (408) 772-4381

PRELIMINARY  
GRADING & DRAINAGE PLAN  
EROSION CONTROL  
17025 MC GILL RD  
SARATOGA, CALIFORNIA

SHEET  
C3.3  
OF 18 SHEETS



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFINE, IDENTIFY AND HOLD THE OWNER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

**Notes for Figure 6H-6—Typical Application 6  
Shoulder Work with Minor Encroachment**

*Guidance:*

1. All lanes should be a minimum of 10 feet in width as measured to the near face of the channelizing devices.
2. The treatment shown should be used on a minor road having low speeds. For higher-speed traffic conditions, a lane closure should be used.

Option:

3. For short-term use on low-volume, low-speed roadways with vehicular traffic that does not include longer and wider heavy commercial vehicles, a minimum lane width of 9 feet may be used.
4. Where the opposite shoulder is suitable for carrying vehicular traffic and of adequate width, lanes may be shifted by use of closely-spaced channelizing devices, provided that the minimum lane width of 10 feet is maintained.
5. Additional advance warning may be appropriate, such as a ROAD NARROWS sign.
6. Temporary traffic barriers may be used along the work space.
7. The shadow vehicle may be omitted if a taper and channelizing devices are used.
8. A truck-mounted attenuator may be used on the shadow vehicle.
9. For short-duration work, the taper and channelizing devices may be omitted if a shadow vehicle with activated high-intensity rotating, flashing, oscillating, or strobe lights is used.
10. Vehicle hazard warning signals may be used to supplement high-intensity rotating, flashing, oscillating, or strobe lights.

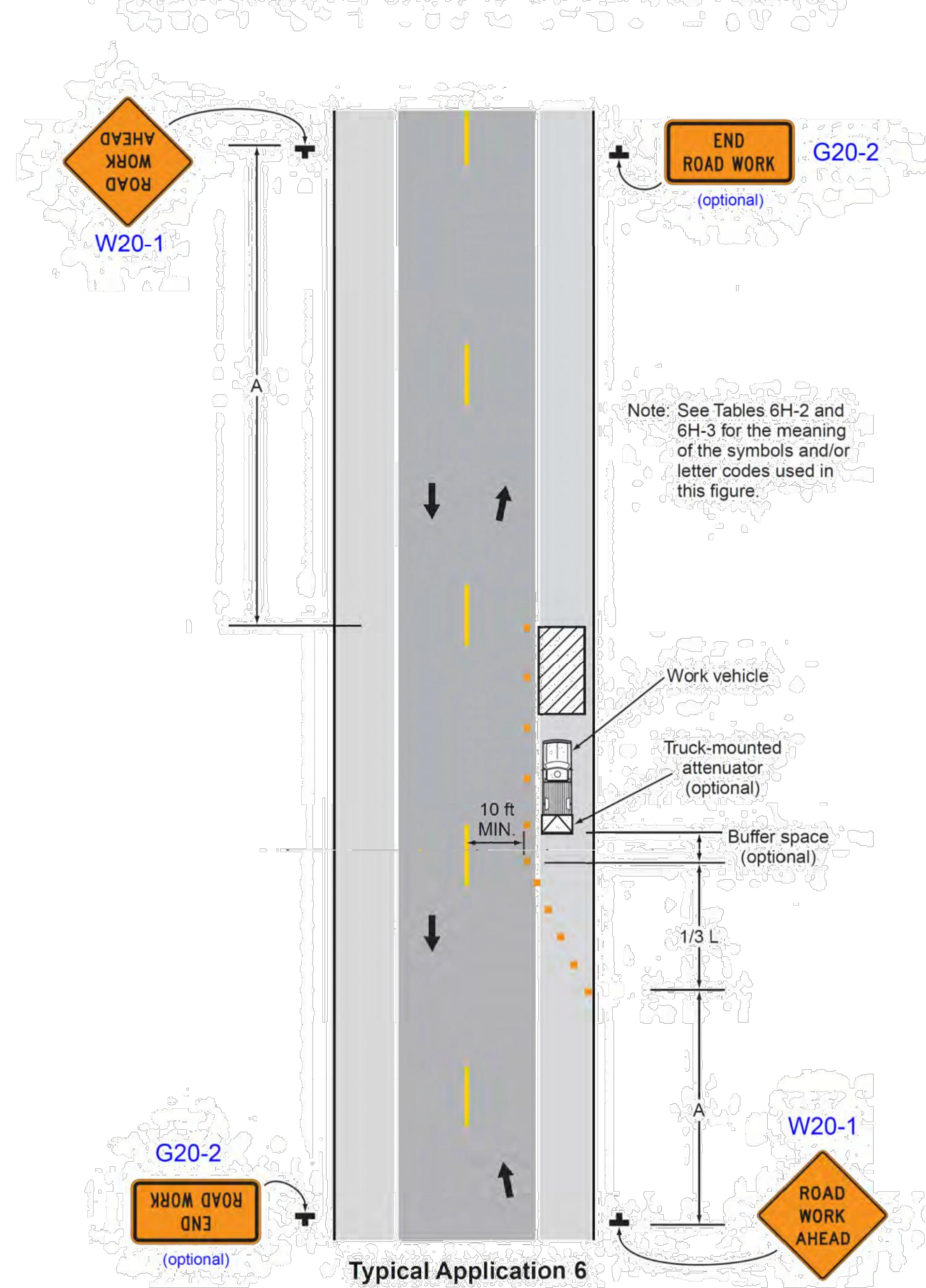
**Standard:**

11. Vehicle-mounted signs shall be mounted in a manner such that they are not obscured by equipment or supplies. Sign legends on vehicle-mounted signs shall be covered or turned from view when work is not in progress.
12. Shadow and work vehicles shall display high-intensity rotating, flashing, oscillating, or strobe lights.
13. Vehicle hazard warning signals shall not be used instead of the vehicle's high-intensity rotating, flashing, oscillating, or strobe lights.

**Guidance:**

14. All advance warning signs should be placed so that the path of travel for bicycles is not blocked, while maintaining visibility for road users.
15. When existing accommodations for bicycle travel are disrupted or closed in a long-term duration project (see Section 6G.02) and the roadway width is inadequate for allowing bicyclists and motor vehicles to travel side by side, the Bicycle Warning (W11-1) sign and the SHARE THE ROAD (W16-1P) plaque should be used to advise motorists of the presence of bicyclists in the travel way lanes.
16. Except for short durations and mobile operations, when a highway shoulder is occupied and bicyclists would be sharing a lane with vehicular traffic, as a result of the TTC zone, speed reduction countermeasures should be used to reduce traffic speeds in the TTC zone. Refer to Sections 6C.01 and 6D.03.
17. Except for short durations and mobile operations, when a highway shoulder is occupied and bicyclists would be sharing a lane with vehicular traffic, as a result of the TTC zone, before narrowing the outside lane other measures such as widening the outside shoulder to allow bicyclists and motor vehicles to travel side by side through the TTC zone should be considered.
18. If traffic volumes make it feasible, the two left lanes should be merged into one lane to avoid using the shoulder as a traveled way lane and allowing continued use for emergency purposes and bicycle travel.
19. When existing accommodations for bicycle travel are disrupted or closed in a long-term duration project (see Section 6G.02) and the roadway width is inadequate for allowing bicyclists and motor vehicles to travel side by side, a separate path should be considered for bicyclists.

**Figure 6H-6. Shoulder Work with Minor Encroachment (TA-6)**



N <sup>O</sup> .	REVISIONS	BY	DATE	APP'D



COUNTY OF SANTA CLARA ROADS AND AIRPORTS DEPARTMENT

DESIGNED	5-2015	SUBMITTED: _____  APPROVED: _____
	DATE	
DRAWN	5-2015	
	DATE	
CHECKED	5-2015	
	DATE	

## STANDARD TRAFFIC CONTROL PLANS - LOCAL SHOULDER WORK

AVINC No.

T No.

\_\_\_\_\_ of \_\_\_\_\_

APPROVED FOR ISSUANCE  
REFER TO ENCROACHMENT AND/OR  
CONSTRUCTION PERMIT AND PLAN  
COVER SHEET FOR SPECIAL  
CONDITIONS AND PERMIT NUMBERING

PRELIMINARY  
GRADING & DRAINAGE PLAN  
TRAFFIC CONTROL PLAN  
17025 MC GILL RD

SARATOGA,	Project No.: 2143	Designed: T.N./O.O.	Checked: 0.0	Date: 4/07/22	CALIFORNIA
-----------	-------------------	---------------------	--------------	---------------	------------

SHEET  
C4  
18 SHEETS



CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES, STRUCTURES, AND LANDS, AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

PRE-DEVELOPMENT WATERSHEDS										
Watershed ID	Total Area (SF)	Total Area (Acres)	IMPERVIOUS AREAS					PERVIOUS AREAS		
			Roofs	Driveways & Parking Areas	Sidewalk & Patio Areas	Gross Driveways & Sidewalks Semi-Pervious Surfaces	% of Perviousness	Net Impervious of Semi-Impervious Areas	Total Impervious Areas	Total Pervious Areas
PRE-A1	6947	0.159	1	0	0	0	50%	0	1	6946
PRE-A2	2423	0.056	1	0	0	0	50%	0	1	2422
PRE-A3	1262	0.029	1	0	0	0	50%	0	1	1261
TOTALS:	10,632	0.244							3	10,629

POST-DEVELOPMENT WATERSHEDS										
Watershed ID	Total Area (SF)	Total Area (Acres)	IMPERVIOUS AREAS					PERVIOUS AREAS		
			Roofs	Driveways & Parking Areas	Sidewalk & Patio Areas	Gross Driveways & Sidewalks Semi-Pervious Surfaces	% of Perviousness	Net Impervious of Semi-Impervious Areas	Total Impervious Areas	Total Pervious Areas
POST-A1	6947	0.159	1894	996	1151	0	50%	0	4041	2906
POST-A2	2423	0.056	0	0	1495	0	50%	0	1495	928
POST-A3	1262	0.029	0	0	243	0	50%	0	243	1019
POST-A4	0.000	0.000	0	0	0	0	50%	0	0	0
POST-A5	0.000	0.000	0	0	0	0	50%	0	0	0
TOTALS:	10,632	0.244							5,779	4,853

I. PRE-DEVELOPMENT CONDITIONS

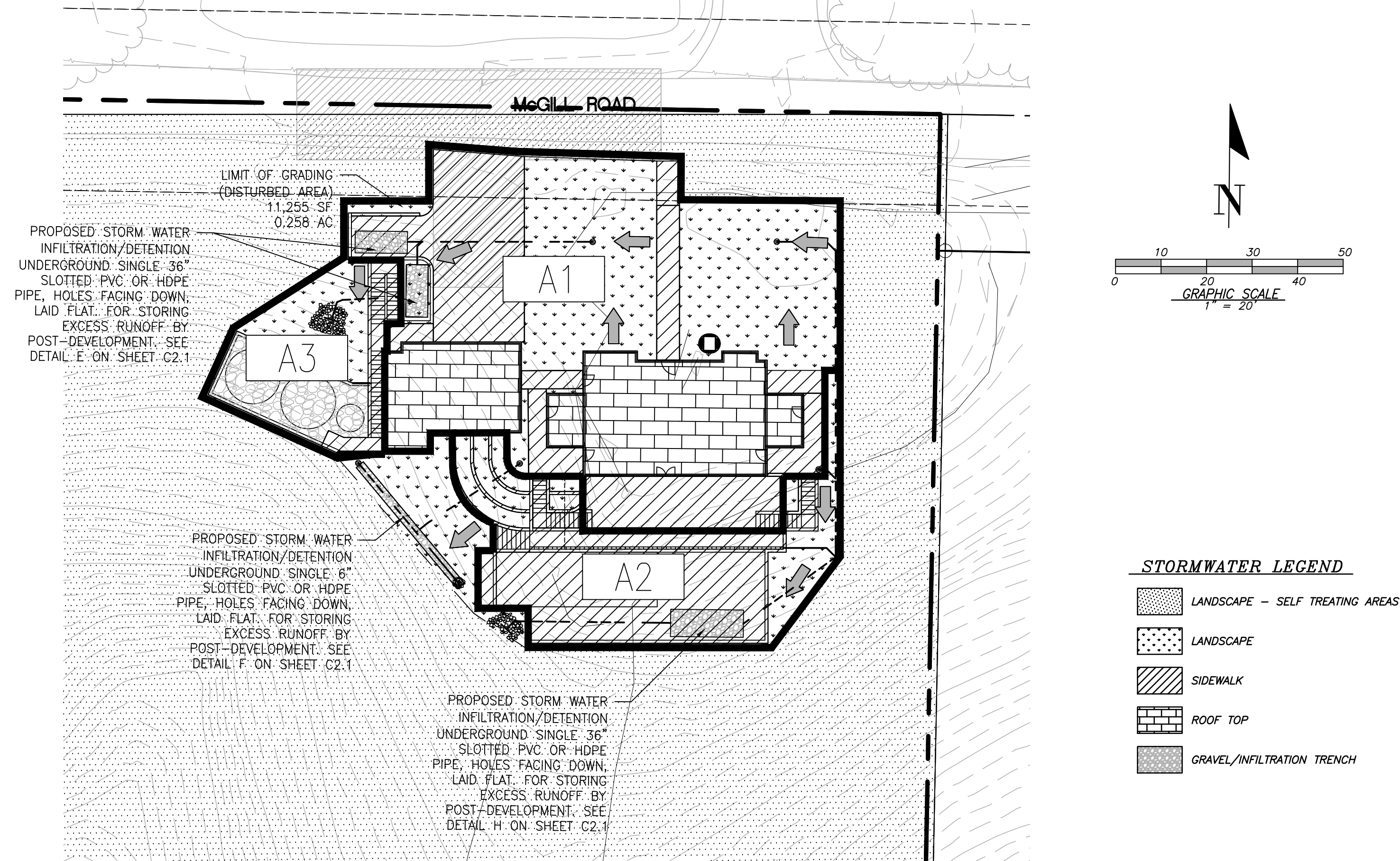
From Table B-1 County Drainage Manual							Pre-Development Peak Runoff Rate - 10 year			
Find rainfall depth X <sub>r,D</sub> (and intensity) for the 10-yr storm							Q <sub>pre</sub> = C * I * A			
Watershed	T (min)	A <sub>r,D</sub>	B <sub>r,D</sub>	T <sub>c</sub> (min)	Depth XT <sub>r,D</sub> AT <sub>r,D</sub> + (BT <sub>r,D</sub> MAP)	Intensity I <sub>r,D</sub> XT <sub>r,D</sub> / D	C	I (in/hr)	A (acres)	Q <sub>pre</sub> (cfs)
PRE-A1	10	0.258682	0.003569	11.18	0.4131	2.22	0.30	2.22	0.159	0.11
	11.18	0.267210	0.003838							
	15	0.294808	0.004710							
PRE-A2	10	0.258682	0.003569	11.35	0.4157	2.20	0.30	2.20	0.056	0.04
	11.35	0.268429	0.003977							
	15	0.294808	0.004710							
PRE-A3	10	0.258682	0.003569	11.28	0.4146	2.21	0.30	2.21	0.029	0.02
	11.28	0.267898	0.003860							
	15	0.294808	0.004710							

From Table B-1 County Drainage Manual							Pre-Development Peak Runoff Rate - 100 year			
Find rainfall depth X <sub>r,D</sub> (and intensity) for the 100-yr storm							Q <sub>pre</sub> = C * I * A			
Watershed	T (min)	A <sub>r,D</sub>	B <sub>r,D</sub>	T <sub>c</sub> (min)	Depth XT <sub>r,D</sub> AT <sub>r,D</sub> + (BT <sub>r,D</sub> MAP)	Intensity I <sub>r,D</sub> XT <sub>r,D</sub> / D	C	I (in/hr)	A (acres)	Q <sub>pre</sub> (cfs)
PRE-A1	10	0.315263	0.007312	11.18	0.6150	3.30	0.30	3.30	0.159	0.16
	11.18	0.340308	0.007228							
	15	0.421360	0.006957							
PRE-A2	10	0.315263	0.007312	11.35	0.6181	3.27	0.30	3.27	0.056	0.05
	11.35	0.343888	0.007216							
	15	0.421360	0.006957							
PRE-A3	10	0.315263	0.007312	11.28	0.6167	3.28	0.30	3.28	0.029	0.03
	11.28	0.342329	0.007221							
	15	0.421360	0.006957							

II. POST-DEVELOPMENT CONDITIONS

From Table B-1 County Drainage Manual							Post-Development Peak Runoff Rate - 10 year			
Find rainfall depth X <sub>r,D</sub> (and intensity) for the 10-yr storm							Q <sub>post</sub> = C * I * A			
Watershed	T (min)	A <sub>r,D</sub>	B <sub>r,D</sub>	T <sub>c</sub> (min)	Depth XT <sub>r,D</sub> AT <sub>r,D</sub> + (BT <sub>r,D</sub> MAP)	Intensity I <sub>r,D</sub> XT <sub>r,D</sub> / D	C	I (in/hr)	A (acres)	Q <sub>post</sub> (cfs)
POST-A1	10	0.258682	0.003569	11.80	0.4229	2.15	0.68	2.15	0.159	0.23
	11.80	0.271700	0.003980							
	15	0.294808	0.004710							
POST-A2	10	0.258682	0.003569	10.43	0.4011	2.31	0.70	2.31	0.056	0.09
	10.43	0.261758	0.003666							
	15	0.294808	0.004710							
POST-A3	10	0.258682	0.003569	10.40	0.4007	2.31	0.43	2.31	0.029	0.03
	10.40	0.261590	0.003661							
	15	0.294808	0.004710							

From Table B-1 County Drainage Manual							Post-Development Peak Runoff Rate - 100 year			
Find rainfall depth X <sub>r,D</sub> (and intensity) for the 100-yr storm							Q <sub>post</sub> = C * I * A			
Watershed	T (min)	A <sub>r,D</sub>	B <sub>r,D</sub>	T <sub>c</sub> (min)	Depth XT <sub>r,D</sub> AT <sub>r,D</sub> + (BT <sub>r,D</sub> MAP)	Intensity I <sub>r,D</sub> XT <sub>r,D</sub> / D	C	I (in/hr)	A (acres)	Q <sub>post</sub> (cfs)
POST-A1	10	0.315263	0.007312	11.80	0.6265	3.19	0.68	3.19	0.159	0.34
	11.80	0.353494	0.007184							
	15	0.421360	0.006957							
POST-A2	10	0.315263	0.007312	10.43	0.6010	3.46	0.70	3.46	0.056	0.13
	10.43	0.324296	0.007282							
	15	0.421360	0.006957							
POST-A3	10	0.315263	0.007312	10.40	0.6006	3.46	0.43	3.46	0.029	0.04
	10.40	0.323804	0.007283							
	15	0.421360	0.006957							



Storm Storage Calculations - ASCE Method													
Watershed	T (Min)	100-yr Depth			Volume In (ft <sup>3</sup> )	Volume Out		Storage (ft <sup>3</sup> )	Volume Required	Notes			
		A <sub>r,D</sub>	B <sub>r,D</sub>	MAP		Depth (in)	Q <sub>out</sub> (cfs)				(ft <sup>3</sup> )		
PRE-A1	5	0.269993	0.003580	38	0.406033	195	0.11	32	163	----- Volume Required	WILL PROVIDE UNDERGROUND STORM PIPE/INFILTRATION TRENCH RETENTION THAT HAS A CAPACITY TO 296 CF. SEE SIZING ON STEP 7 BELOW.		
	10	0.315263	0.007312	38	0.593119	284	0.11	64	221				
	15	0.421360	0.006957	38	0.685726	329	0.11	95	233				
	30	0.553934	0.009857	38	0.9285	445	0.11	191	254				
	60	0.626608	0.019201	38	1.356246	650	0.11	382	268				
	120	0.732944	0.036193	38	2.108278	1011	0.11	764	247				
POST-A1	180	0.816471	0.051981	38	2.791749	1338	0.11	1146	193	----- Volume Required	WILL PROVIDE UNDERGROUND STORM PIPE/INFILTRATION TRENCH RETENTION THAT HAS A CAPACITY TO 296 CF. SEE SIZING ON STEP 7 BELOW.		
	360	0.776677	0.101053	38	4.616691	2213	0.11	2292	-78				
	720	0.821859	0.162184	38	6.984851	3349	0.11	4583	-1235				
	1440	0.814046	0.243391	38	10.062904	4824	0.11	9166	-4342				
	5	0.269993	0.003580	38	0.406033	70	0.04	11	59			----- Volume Required	WILL PROVIDE UNDERGROUND STORM PIPE/INFILTRATION TRENCH RETENTION THAT HAS A CAPACITY TO 135 CF. SEE SIZING ON STEP 7 BELOW.
	10	0.315263	0.007312	38	0.593119	102	0.04	22	80				
15	0.421360	0.006957	38	0.685726	118	0.04	33	85					
30	0.553934	0.009857	38	0.9285	160	0.04	66	93					
60	0.626608	0.019201	38	1.356246	233	0.04	132	101					
120	0.732944	0.036193	38	2.108278	362	0.04	264	98					
POST-A2	180	0.816471	0.051981	38	2.791749	480	0.04	396	83	----- Volume Required	WILL PROVIDE UNDERGROUND STORM PIPE/INFILTRATION TRENCH RETENTION THAT HAS A CAPACITY TO 135 CF. SEE SIZING ON STEP 7 BELOW.		
	360	0.776677	0.101053	38	4.616691	793	0.04	793	0				
	720	0.821859	0.162184	38	6.984851	1200	0.04	1586	-386				
	1440	0.814046	0.243391	38	10.062904	1729	0.04	3172	-1443				
	5	0.269993	0.003580	38	0.406033	25	0.02	6	19			----- Volume Required	WILL PROVIDE UNDERGROUND STORM PIPE/INFILTRATION TRENCH RETENTION THAT HAS A CAPACITY TO 25 CF. SEE SIZING ON STEP 7 BELOW.
	10	0.315263	0.007312	38	0.593119	36	0.02	12	24				
15	0.421360	0.006957	38	0.685726	41	0.02	17	24					
30	0.553934	0.009857	38	0.9285	56	0.02	35	22					
60	0.626608	0.019201	38	1.356246	82	0.02	69	13					
120	0.732944	0.036193	38	2.108278	128	0.02	138	-11					
POST-A3	180	0.816471	0.051981	38	2.791749	169	0.02	207	-39	----- Volume Required	WILL PROVIDE UNDERGROUND STORM PIPE/INFILTRATION TRENCH RETENTION THAT HAS A CAPACITY TO 25 CF. SEE SIZING ON STEP 7 BELOW.		
	360	0.776677	0.101053	38	4.616691	279	0.02	415	-136				
	720	0.821859	0.162184	38	6.984851	422	0.02	830	-407				
	1440	0.814046	0.243391	38	10.062904	609	0.02	1659	-1051				



# Grading Ordinance Design Standards

Supplemental Checklist for Improvement Plans

County of Santa Clara

Land Development Engineering

## GENERAL INSTRUCTIONS:

This form is to be furnished to the County Surveyor by the design engineer at the time of submission of preliminary and final grading plans. Many of the items are crucial to the design concept and need to be considered at the time of preliminary and final approval. If an item is not applicable to the project, so state on the form.

## DESIGN REQUIREMENTS:

The Santa Clara County grading ordinance specifies in Article 8, Section C12-538 through C12-579, the minimum design standards for all grading work unless otherwise recommended by the design engineer for a particular project. In many situations, other standards may be appropriate, either higher or lower, depending on the purpose of the grading, such as a house pad or the intended land use, such as a subdivision.

## PROJECT DATA:

Applicant: Milind Khandare Date: 10/06/21  
Location (Street): 17025 McGill Road File #: PLN21-130  
Soils and/ or Geotechnical Report prepared by ROMIG ENGINEERS Date: 6/30/21

## ENGINEER'S DESIGN RECOMMENDATIONS:

Item	Ordinance Requirmnt.	Engineer's Recomnd.	Location of Deviation (if any)	Reason/ Justification for Deviation
1. Cut Slopes (see C12-542)	2 : 1	2:1		
2. Fill Slopes (C12-51)	2 : 1	2:1		
3. Drainage Terraces (C12-553)	25' height (max) 6' width (min)	Not Applicable		
4. Fill Compaction (C12-549)	90% min	Same as Ordinance requirement		
5. Road Sub-grade Co. Std. Road Spec.	95%	Same as Ordinance requirement		
6. Benching (C12-550)	6' width (min) (keyed)	Same as Ordinance requirement		
7. Sub-drains (C12-550)	In natural drainage courses under fills, etc.	Same as Ordinance requirement		



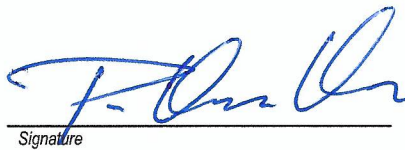
<i>Item</i>	<i>Ordinance Requirmnt.</i>	<i>Engineer's Recomnd.</i>	<i>Location of Deviation (if any)</i>	<i>Reason/ Justification for Deviation</i>
8. Setbacks (C12-558)	See Ord. Fig. 2	Same as Ordinance requirement		
9. Storm Drainage	See adopted standards	Same as Ordinance requirement		
10. Erosion Control (C12-568 - 571)	Planting, energy dissipators, ditch lining, etc.	Same as Ordinance requirement		
11. Planting of Large Slopes (C12-574) (C12-575)	Slopes of 15' vertical height or more	Same as Ordinance requirement		

**ADDITIONAL RECOMMENDATIONS AND JUSTIFICATION:**

**STATEMENT AND CERTIFICATION:**

I hereby state that the above design recommendations are in conformance with good engineering practice and in the best public interest considering the intended use of the land, environmental factors and field conditions. They are based upon a field investigation with soils and geologic reports as appropriate or required under the grading ordinance. The proposed design will adequately control and dispose of storm water runoff, minimize erosion, and cause minimal disturbance of the terrain consistent with the proposed land use.

I hereby certify that the slopes will be stable and that the graded areas will provide suitable foundation support for the structures or other improvements that are intended as the purpose of grading.



Signature

1-13-22

Date

70829

R.C.E. No.

**Attachments:**

Soils Report ( ☒ );

Geologic Reports (    );

Laboratory Tests (    )

Other \_\_\_\_\_

Form Revised 5/14/2013





April 11, 2022  
5340-1A

**Mr. Milind Khandare**  
17025 McGill Road  
Saratoga, California 95070

**RE: GEOTECHNICAL PLAN REVIEW  
GRADING AND DRAINAGE PLANS  
KHANDARE RESIDENCE  
17025 MCGILL ROAD  
SARATOGA, CALIFORNIA**

Dear Mr. Khandare:

As requested, we have reviewed the grading and drainage plans for your proposed residence to be constructed at 17025 McGill Road in an unincorporated area of Santa Clara County near Saratoga, California for conformance with the recommendations in our geotechnical report. As you know, we performed a geotechnical investigation for the project and presented the results in our report dated June 30, 2021.

We reviewed the geotechnical elements of the following plans: civil plan sheet C0, revised October 27, 2015, sheet C1.5, revised on October 26, 2021, and sheets C1.3, C1.4, C2.1, C2.2, C2.3, and C2.4, dated April 7, 2022, prepared by Osuna Engineering Inc.

Based on our review, it is our opinion that the civil plans referenced above have been prepared in essential compliance with the recommendations in our geotechnical report.


If requested, we would be pleased to review and comment on the project architectural and structural plans construction details when these plans are available. We may have additional comments regarding the grading and drainage plans once we have reviewed the architectural and structural plans.


We make no warranty, expressed or implied, for the services we perform for this project. Our services are performed in accordance with the geotechnical engineering principles generally accepted at this time and location.

Please call if you have questions or comments about site conditions or the results of our geotechnical review of the grading and drainage plans for the proposed residence.

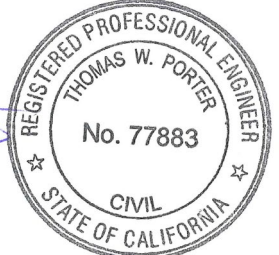
Very truly yours,

**ROMIG ENGINEERS, INC.**

  
Benjamin G. Romig, P.E.

A circular professional engineer seal for Benjamin G. Romig, No. 88967, State of California, Civil. The seal is stamped in blue ink.

  
Tom W. Porter, P.E.

A circular professional engineer seal for Thomas W. Porter, No. 77883, State of California, Civil. The seal is stamped in blue ink.



Copies: Addressee (via email)  
DIAP (via email)  
Attn: Mr. Dan Ionescu  
Suna Engineering Inc. (via email)  
Attn: Mr. Oscar Osuna

TWP:BR:pf





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# HYDROLOGY REPORT

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**SINGLE FAMILY HOME**

**17025 MCGILL ROAD**

**SARATOGA, CALIFORNIA**

**APN: 517-24-024**

**October 6, 2021**

OWNER/DEVELOPER:  
**Milind Khandare**  
nk.milind@gmail.com



*P. Oscar Osuna*  
PORFIRIO OSCAR OSUNA

70829

Compiled by: P. Oscar Osuna, PE, PLS, M.S.

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**OSUNA ENGINEERING INC.**

A California Corporation  
Consulting Civil Engineers

117 Bernal Rd, #70-336  
San Jose, California 95119  
Telephone: (408) 721-2100



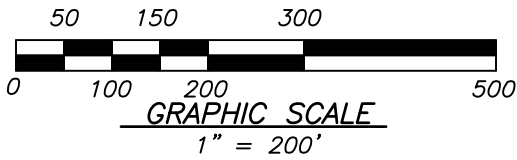
# **TABLE OF CONTENTS**

- I. Watershed Map – Existing Conditions**
- II. Watershed Map – Proposed Conditions**
- III. Narrative & Pre-Development Versus Post-Development Storm Water Calculations Tables**
- IV. Support Documents**



## **I. Watershed Map – Existing Conditions**





**MCGILL ROAD**

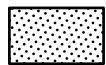
LIMIT OF GRADING  
(DISTURBED AREA)  
11,255 SF  
0.258 AC

A1

A2

A3

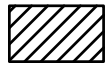
**STORMWATER LEGEND**



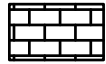
LANDSCAPE - SELF TREATING AREAS



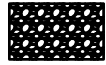
LANDSCAPE



SIDEWALK



ROOF TOP



INFILTRATION TRENCH



*P. Oscar Osuna*  
PORFIRIO OSCAR OSUNA

70829

PRE-DEVELOPMENT AREA MAP  
TO ACCOMPANY STORM CALCS.  
17025 MCGILL ROAD  
SARATOGA, CALIFORNIA

DATE: 10/06/21  
SCALE: 1"=200'  
DRAWN BY: 0.0.  
CHECKED BY: 0.0.  
JOB NO.: 2143



**OSUNA**  
ENGINEERING INC.  
Planning | Surveying | Civil Engineering

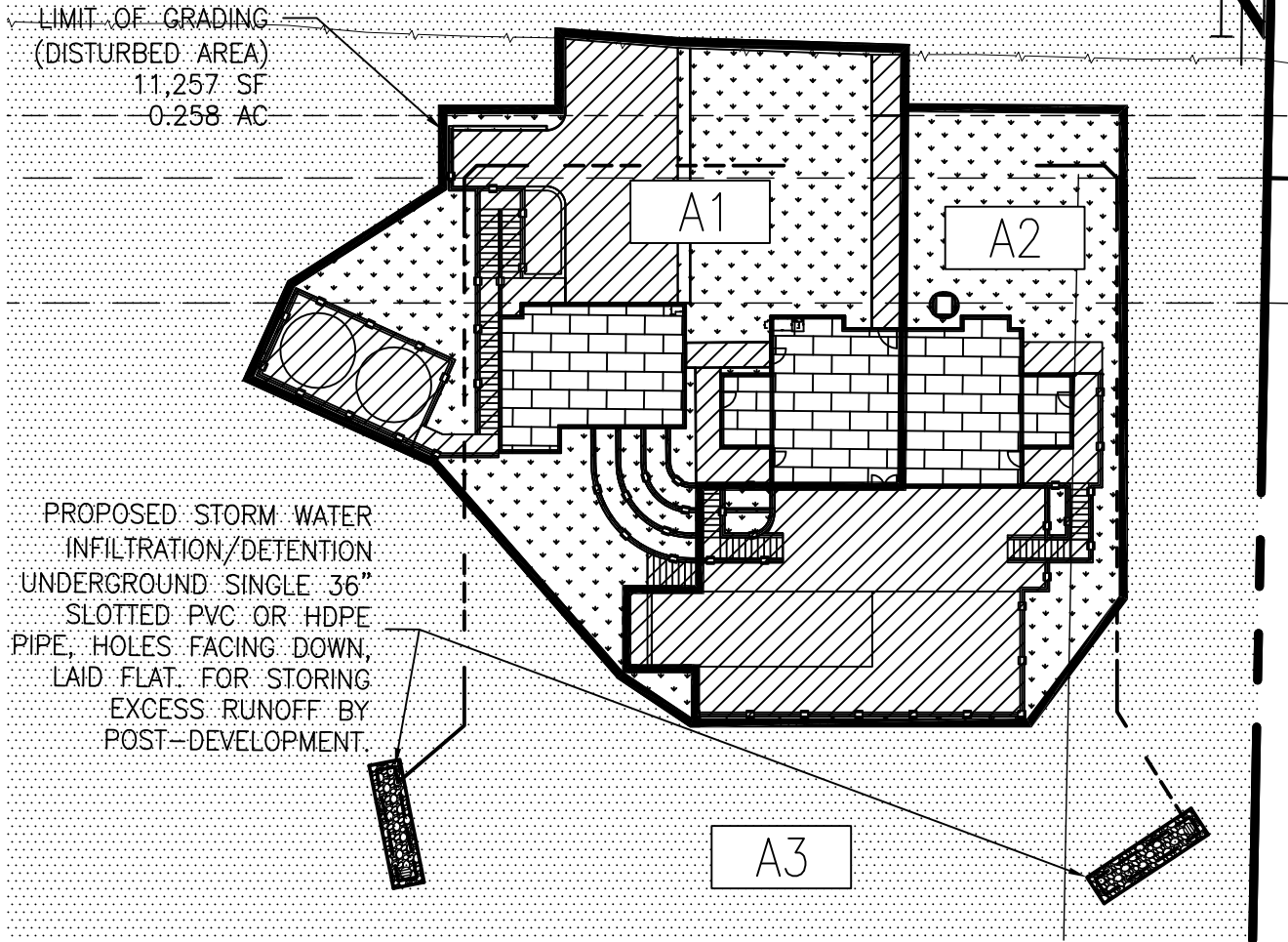
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
117 BERNAL RD. STE. 70-336 TEL. (408) 772-4381  
SAN JOSE, CA 95119 Info@osunaengineering.com



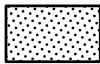
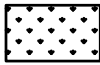
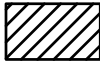
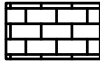

## **II. Watershed Map – Proposed Conditions**



# McGILL ROAD



## STORMWATER LEGEND

-  LANDSCAPE - SELF TREATING AREAS
-  LANDSCAPE
-  SIDEWALK
-  ROOF TOP
-  INFILTRATION TRENCH



*P. Oscar Osuna*  
PORFIRIO OSCAR OSUNA

70829

POST-DEVELOPMENT AREA MAP  
TO ACCOMPANY STORM CALCS.  
17025 MCGILL ROAD  
SARATOGA, CALIFORNIA

DATE: 10/06/21  
SCALE: 1"=20'  
DRAWN BY: J.C.  
CHECKED BY: O.O.  
JOB NO.: 2143





### III. Narrative & Pre-Development Versus Post- Development Storm Water Calculations Tables



## Storm Storage Calculations - County of Santa Clara Drainage Manual Method Rational Method

Project Name: Lands of Khandare  
Site Location: 17025 McGill Road  
Saratoga, CA

Prepared by: J.C.  
Checked by: O.O.  
Job No: 2143  
Date: 10/6/2021

### Drainage Narrative

We have been tasked to provide hydrology/hydraulics calculations for both the pre-developed and post-developed conditions, and to size a storm storage device that can hold the excess runoff created by the post-development condition. A new house is being proposed to be built on the 9.616 acre lot, the new development will disturb about 0.258 acre of the Lot. The new development Improvements will include new impervious areas, such as, House, Driveway, and Hardscape (walks, patios, etc) areas. Our storm design proposes to direct the storm runoff to a storm pipe/trench detention system to mitigate the excess runoff created by the proposed development. The current Land is vacant.

### STEP 1:

PRE-DEVELOPMENT WATERSHEDS												
WATERSHED ID	TOTAL AREA (SF)	TOTAL AREA (ACRES)	IMPERVIOUS AREAS							PERVIOUS AREAS		
			ROOFS	DRIVEWAYS & PARKING AREAS	SIDEWALK, PATIO, & POOL AREAS	GROSS DRIVEWAYS & SIDEWALKS SEMI-PERVIOUS SURFACES	% OF PERVIOUSNESS	NET IMPERVIOUS OF SEMI-IMPERVIOUS AREAS	TOTAL IMPERVIOUS AREAS	LANDSCAPE AREAS	NET PERVIOUS OF SEMI-IMPERVIOUS AREAS	TOTAL PERVIOUS AREAS
PRE-A1	6552	0.150	0	0	0	0	50%	0	0	6552	0	6552
PRE-A2	4703	0.108	0	0	0	0	50%	0	0	4703	0	4703
PRE-A3		0.000	0	0	0	0	50%	0	0	0	0	0
<b>TOTALS:</b>	<b>11,255</b>	<b>0.258</b>							<b>0</b>			<b>11,255</b>

POST-DEVELOPMENT WATERSHEDS												
WATERSHED ID	TOTAL AREA (SF)	TOTAL AREA (ACRES)	IMPERVIOUS AREAS							PERVIOUS AREAS		
			ROOFS	DRIVEWAYS & PARKING AREAS	SIDEWALK & PATIO AREAS	GROSS DRIVEWAYS & SIDEWALKS SEMI-PERVIOUS SURFACES	% OF PERVIOUSNESS	NET IMPERVIOUS OF SEMI-IMPERVIOUS AREAS	TOTAL IMPERVIOUS AREAS	LANDSCAPE AREAS	NET PERVIOUS OF SEMI-IMPERVIOUS AREAS	TOTAL PERVIOUS AREAS
POST-A1	6552	0.150	1288	996	1302	0	50%	0	3586	2966	0	2966
POST-A2	4703	0.108	606	0	2363	0	50%	0	2969	1734	0	1734
POST-A3		0.000	0	0	0	0	50%	0	0	0	0	0
POST-A4		0.000	0	0	0	0	50%	0	0	0	0	0
POST-A5		0.000	0	0	0	0	50%	0	0	0	0	0
<b>TOTALS:</b>	<b>11,255</b>	<b>0.258</b>							<b>6,555</b>			<b>4,700</b>



*P. Oscar Osuna*  
PORFIRIO OSCAR OSUNA

70829



**STEP 2:**

Weighted Coefficient Calculations (C)							
Watershed ID	Description	Total Area (sf)	Total Pervious (sf)	Total Impervious (sf)	Cp Pervious (Coeff.)	Ci Impervious (Coeff.)	Cw weighted (Coeff)
PRE-A1	Pre-Development	6,552	6,552	0	0.30	0.95	<b>0.30</b>
POST-A1	Post-Development	6,552	2,966	3,586	0.30	0.95	<b>0.66</b>
PRE-A2	Pre-Development	4,703	4,703	0	0.30	0.95	<b>0.30</b>
POST-A2	Post-Development	4,703	1,734	2,969	0.30	0.95	<b>0.71</b>
PRE-A3	Pre-Development	0	0	0	0.30	0.95	
POST-A3	Post-Development	0	0	0	0.30	0.95	

**STEP 3:**

Time of Concentration Calculations			
Time of Concentration using Kirpich Formula			
$T_c = 0.0078 * ((L^2/S))^{0.385} + 10$			
Watershed	L Max. Length of Travel (ft/ft)	S Effective Slope Along L (ft/ft)	Tc Time of Concentration (min)
PRE-A1	140.000	0.100	10.85
POST-A1	140.000	0.100	10.85
PRE-A2	115.000	0.100	10.73
POST-A2	115.000	0.100	10.73
PRE-A3	100.000	0.005	12.08
POST-A3	100.000	0.100	10.66

Rainfall Information			
Per SCVURPP Handbook Fig. B-1 and Per the County Drainage Manual		Mean Annual Precipitation (Inches)	Soil Texture (NRCS)
		38	B
		MAP	Loam

## I. PRE-DEVELOPMENT CONDITIONS

From Table B-1 County Drainage Manual							Pre-Development Peak Runoff Rate - 10 year			
Find rainfall depth $X_{T,D}$ (and intensity) for the 10-yr storm							$Q_{pre} = C * I * A$			$Q_{pre}$  (cfs)
Watershed	T (min)	$A_{T,D}$	$B_{T,D}$	$T_c$ (min)	Depth $X_{T,D}$  AT,D + (BT,D MAP)	Intensity $i_{T,D}$  $X_{T,D} / D$	C	I (in/hr)	A (acres)	
PRE-A1	10	0.258682	0.003569	10.85	0.4078	2.26	0.30	2.26	0.150	0.10
	10.85	0.264826	0.003763							
	15	0.294808	0.004710							
PRE-A2	10	0.258682	0.003569	10.73	0.4059	2.27	0.30	2.27	0.108	0.07
	10.73	0.263963	0.003736							
	15	0.294808	0.004710							
PRE-A3	10	0.258682	0.003569	12.08	0.4274	2.12	0.00	2.12	0.000	0.00
	12.08	0.273708	0.004044							
	15	0.294808	0.004710							

From Table B-1 County Drainage Manual							Pre-Development Peak Runoff Rate - 100 year			
Find rainfall depth $X_{T,D}$ (and intensity) for the 100-yr storm							$Q_{pre} = C * I * A$			$Q_{pre}$  (cfs)
Watershed	T (min)	$A_{T,D}$	$B_{T,D}$	$T_c$ (min)	Depth $X_{T,D}$ $AT,D + (BT,D \text{ MAP})$	Intensity $i_{T,D}$ $X_{T,D} / D$	C	I (in/hr)	A (acres)	
PRE-A1	10	0.315263	0.007312	10.85	0.6089	3.37	0.30	3.37	0.150	0.15
	10.85	0.333308	0.007252							
	15	0.421360	0.006957							
PRE-A2	10	0.315263	0.007312	10.73	0.6067	3.39	0.30	3.39	0.108	0.11
	10.73	0.330771	0.007260							
	15	0.421360	0.006957							
PRE-A3	10	0.315263	0.007312	12.08	0.6316	3.14	0.00	3.14	0.000	0.00
	12.08	0.359392	0.007164							
	15	0.421360	0.006957							



## II. POST-DEVELOPMENT CONDITIONS

From Table B-1 County Drainage Manual							Post-Development Peak Runoff Rate - 100 year			
Find rainfall depth $X_{T,D}$ (and intensity) for the 100-yr storm							$Q_{\text{post}} = C * I * A$			$Q_{\text{post}}$ (cfs)
Watershed	T (min)	$A_{T,D}$	$B_{T,D}$	$T_c$ (min)	Depth $X_{T,D}$ $A_{T,D} + (B_{T,D} \text{ MAP})$	Intensity $i_{T,D}$ $X_{T,D} / D$	C	I (in/hr)	A (acres)	
POST-A1	10	0.315263	0.007312	10.85	0.6089	3.37	0.66	3.37	0.150	0.33
	10.85	0.333308	0.007252							
	15	0.421360	0.006957							
POST-A2	10	0.315263	0.007312	10.73	0.6067	3.39	0.71	3.39	0.108	0.26
	10.73	0.330771	0.007260							
	15	0.421360	0.006957							
POST-A3	10	0.315263	0.007312	10.66	0.6053	3.41	0.00	3.41	0.000	0.00
	10.66	0.329189	0.007265							
	15	0.421360	0.006957							

STEP 6:

Storm Storage Calculations - ASCE Method											
Watershed	T (Min)	100-yr Depth				Volume In	Volume Out		Storage (ft³)	Volume Required	Notes
		A <sub>T,D</sub>	B <sub>T,D</sub>	MAP	Depth (in)	(ft³)	Q <sub>pre</sub> (cfs)	(ft³)			
PRE-A1  Vs.  POST-A1	5	0.269993	0.003580	38	0.406033	179	0.10	31	148	<---- Volume Required	WILL PROVIDE UNDERGROUND STORM PIPE/INFILTRATION TRENCH RETENTION THAT HAS A CAPACITY TO 235 CF. SEE SIZEING ON STEP 7 BELOW.
	10	0.315263	0.007312	38	0.593119	261	0.10	61	200		
	15	0.421360	0.006957	38	0.685726	302	0.10	92	210		
	30	0.553934	0.009857	38	0.9285	408	0.10	183	225		
	60	0.626608	0.019201	38	1.356246	597	0.10	366	230		
	120	0.732944	0.036193	38	2.108278	928	0.10	733	195		
	180	0.816471	0.051981	38	2.791749	1228	0.10	1099	129		
	360	0.776677	0.101053	38	4.616691	2031	0.10	2198	-167		
	720	0.821859	0.162184	38	6.984851	3073	0.10	4396	-1323		
	1440	0.814046	0.243391	38	10.062904	4427	0.10	8792	-4365		
PRE-A2  Vs.  POST-A2	5	0.269993	0.003580	38	0.406033	137	0.07	22	115	<---- Volume Required	WILL PROVIDE UNDERGROUND STORM PIPE/INFILTRATION TRENCH RETENTION THAT HAS A CAPACITY TO 235 CF. SEE SIZEING ON STEP 7 BELOW.
	10	0.315263	0.007312	38	0.593119	200	0.07	44	156		
	15	0.421360	0.006957	38	0.685726	231	0.07	66	165		
	30	0.553934	0.009857	38	0.9285	313	0.07	132	181		
	60	0.626608	0.019201	38	1.356246	457	0.07	265	193		
	120	0.732944	0.036193	38	2.108278	711	0.07	529	182		
	180	0.816471	0.051981	38	2.791749	941	0.07	794	147		
	360	0.776677	0.101053	38	4.616691	1557	0.07	1588	-31		
	720	0.821859	0.162184	38	6.984851	2355	0.07	3176	-821		
	1440	0.814046	0.243391	38	10.062904	3393	0.07	6352	-2959		

STEP 7:

Retention Device Sizing															
Watershed	Description	Pipe Storage					Trench Storage								Total Combined Volume (cf)
		No. of Barrels	Dia (ft)	Length (ft)	Area (sf)	Pipe Volume (cf)	Width (ft)	Depth (ft)	Length (ft)	Area Gross (sf)	Area Net (-pipe sf) (sf)	Trench Volume Gross (cf)	Void Ratio (Coeff.)	Trench Volume Net (cf)	
PRE-A1 Vs. POST-A1	Gravel Trench/Pipe Retention System	1	3.00	18.00	7.07	127.23	5.00	5.00	20.00	25.00	17.93	358.63	0.30	107.59	235
PRE-A2 Vs. POST-A2	Gravel Trench/Pipe Retention System	1	3.00	18.00	7.07	127.23	5.00	5.00	20.00	25.00	17.93	358.63	0.30	107.59	235
#REF! Vs. #REF!	Gravel Trench/Pipe Retention System	0	0.00	0.00	0.00	0.00	0.00	5.00	17.00	0.00	0.00	0.00	0.30	0.00	0

STEP 8:

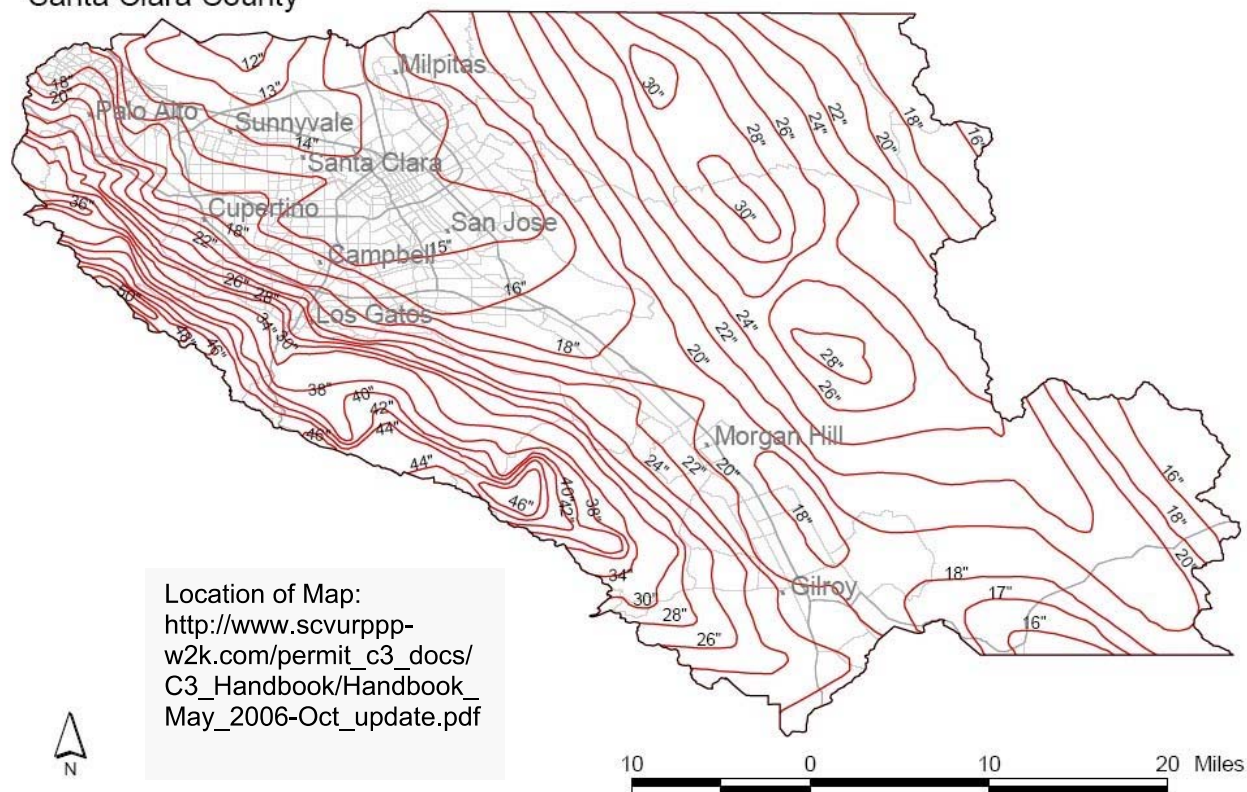
Storm Storage Infiltration Calculations (72-hour drawdown)			
Description	Ponding Depth	Time required to drawdown	Minimum Infiltration Rate required
	(in)	(hrs)	(in/hr)
	60	72	0.833



## IV. Support Documents



Figure A-2  
Mean Annual Precipitation Map  
Santa Clara County













SOURCE: Santa Clara Valley Water District, Mean Annual Precipitation Map, San Francisco & Monterey Bay Region, 1998

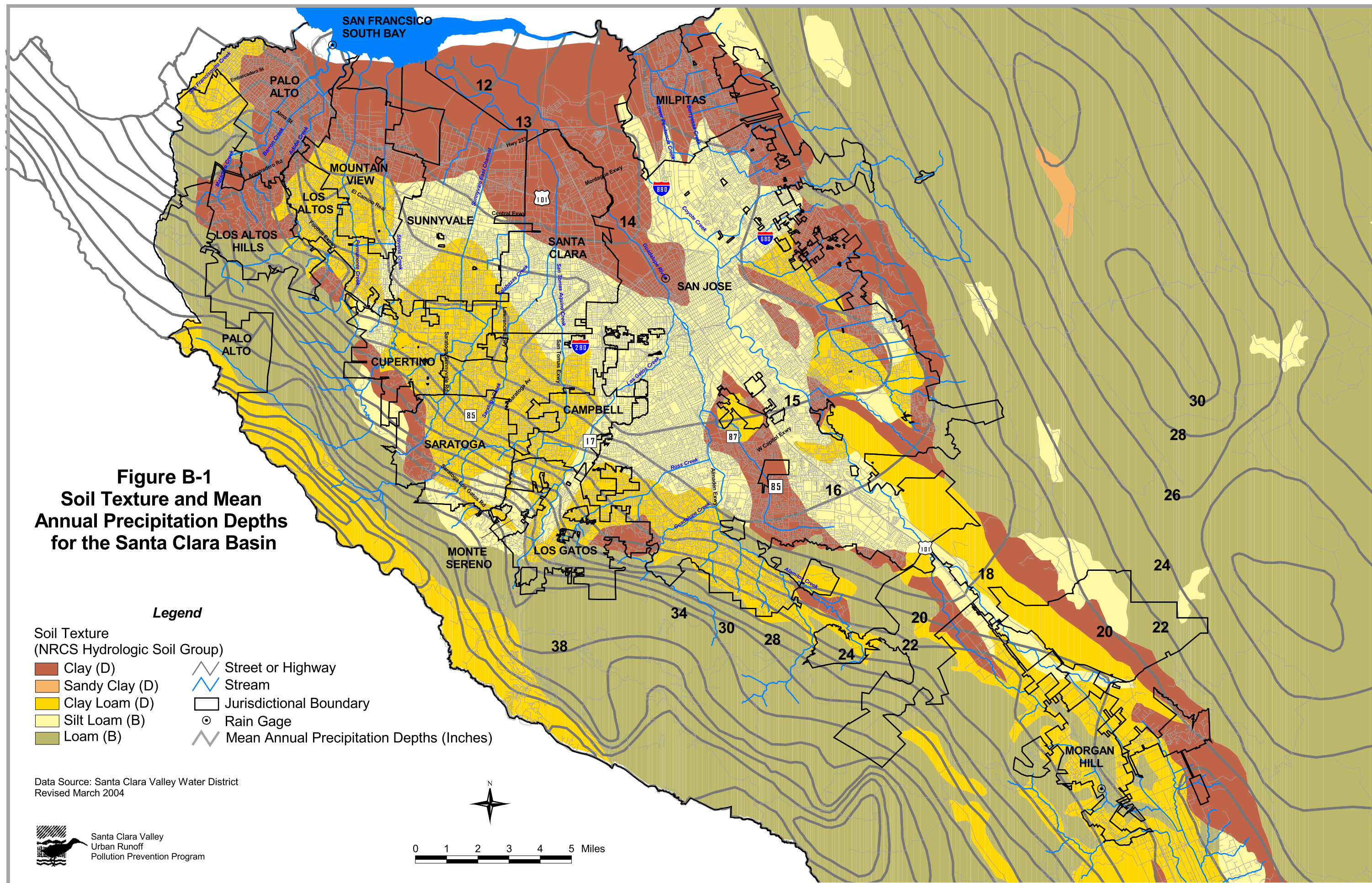
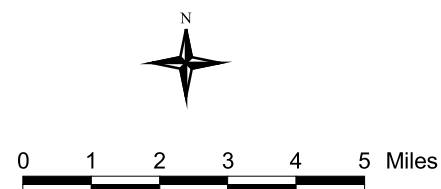
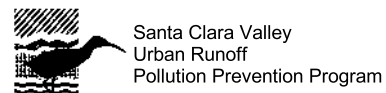
Figure A-2: Mean Annual Precipitation, Santa Clara County



**Figure B-1**  
**Soil Texture and Mean**  
**Annual Precipitation Depths**  
**for the Santa Clara Basin**

- Legend**
- |   |   |
|---|---|
| Soil Texture<br>(NRCS Hydrologic Soil Group)  |   |
|  | Clay (D)                                  |
|  | Sandy Clay (D)                            |
|  | Clay Loam (D)                             |
|  | Silt Loam (B)                             |
|  | Loam (B)                                  |
|  | Street or Highway                         |
|  | Stream                                    |
|  | Jurisdictional Boundary                   |
|  | Rain Gage                                 |
|  | Mean Annual Precipitation Depths (Inches) |

Data Source: Santa Clara Valley Water District  
 Revised March 2004





## **B. APPENDIX B**

### **IDF Curves**





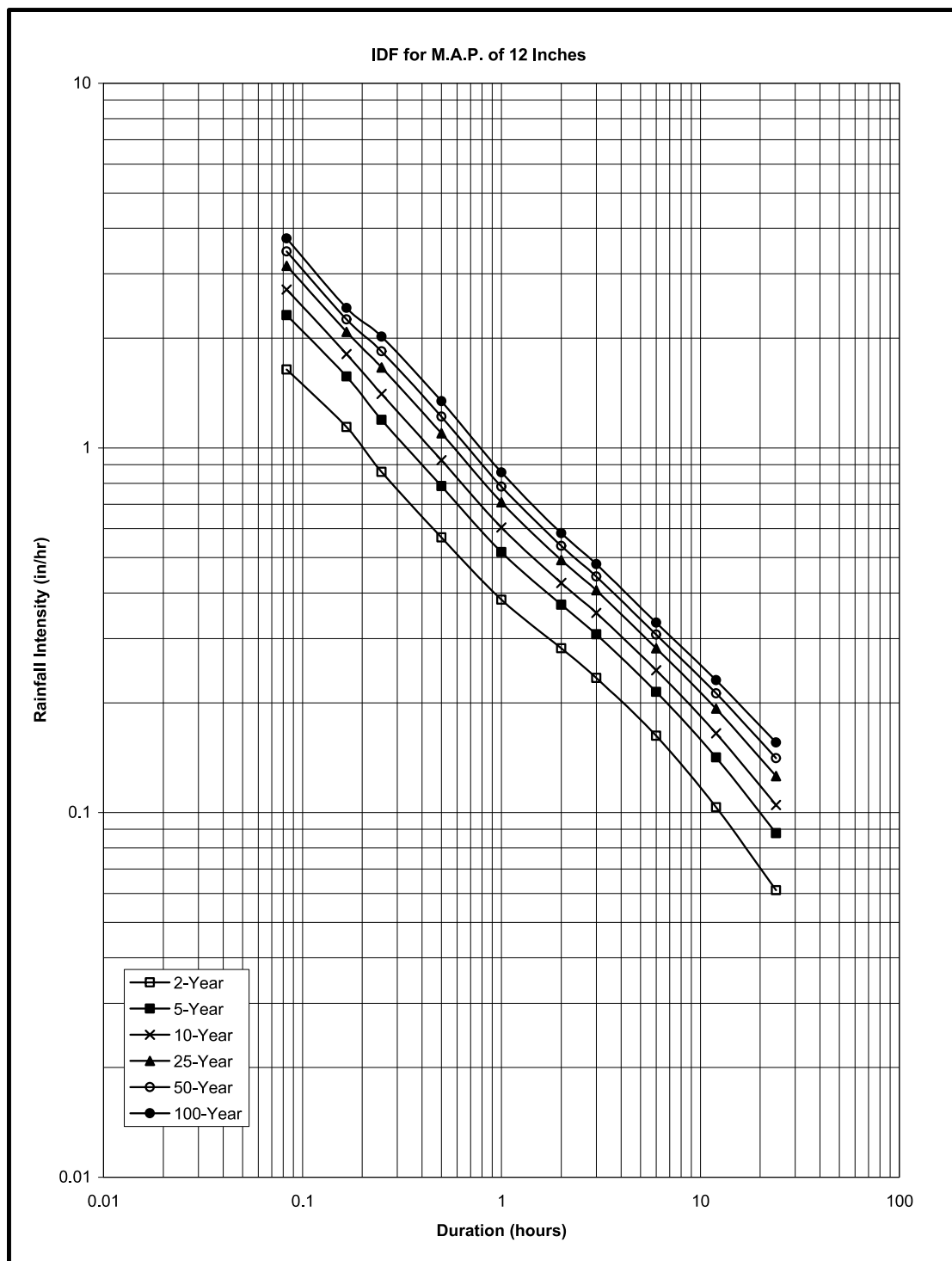


Figure B-1: IDF for M.A.P. of 12 Inches

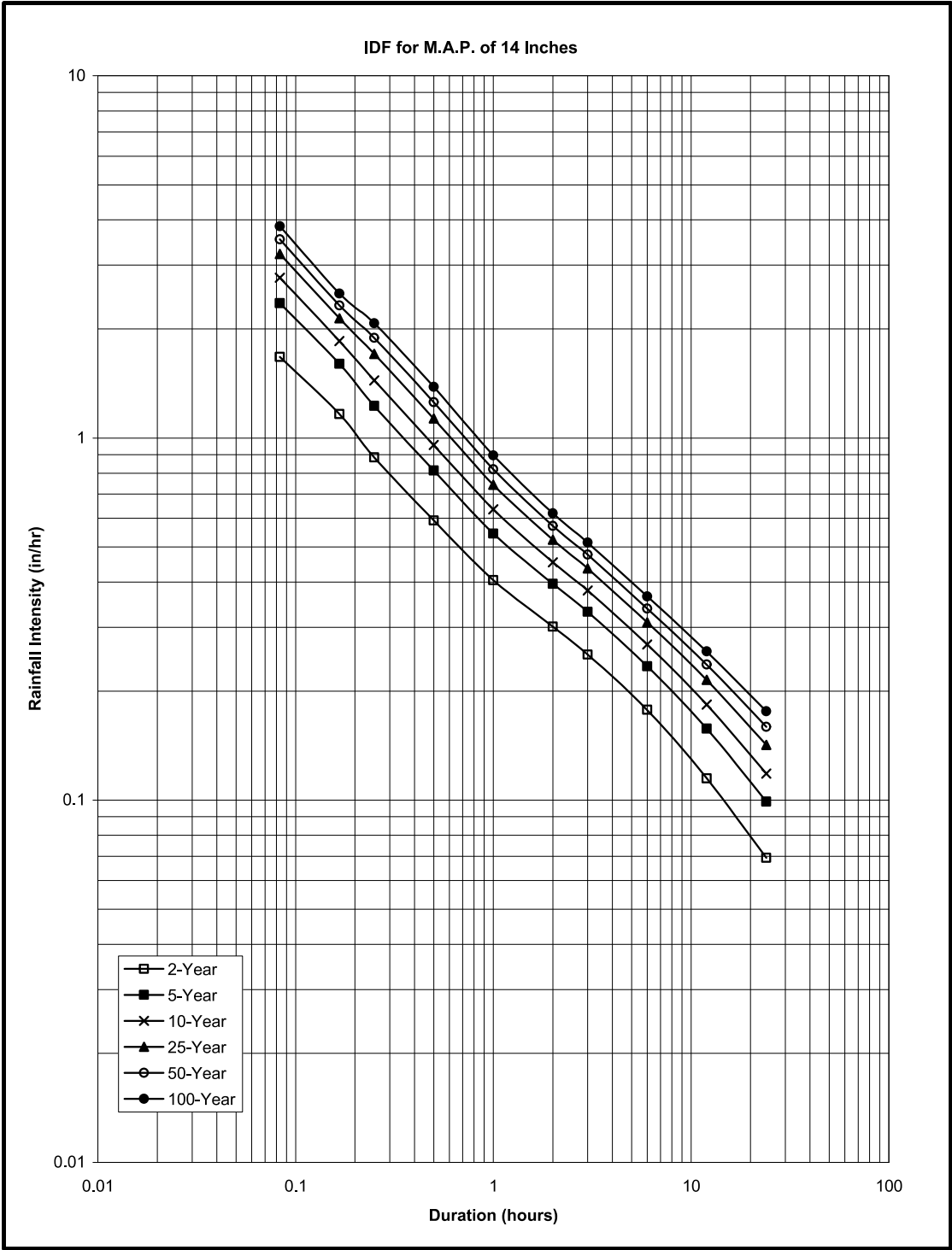
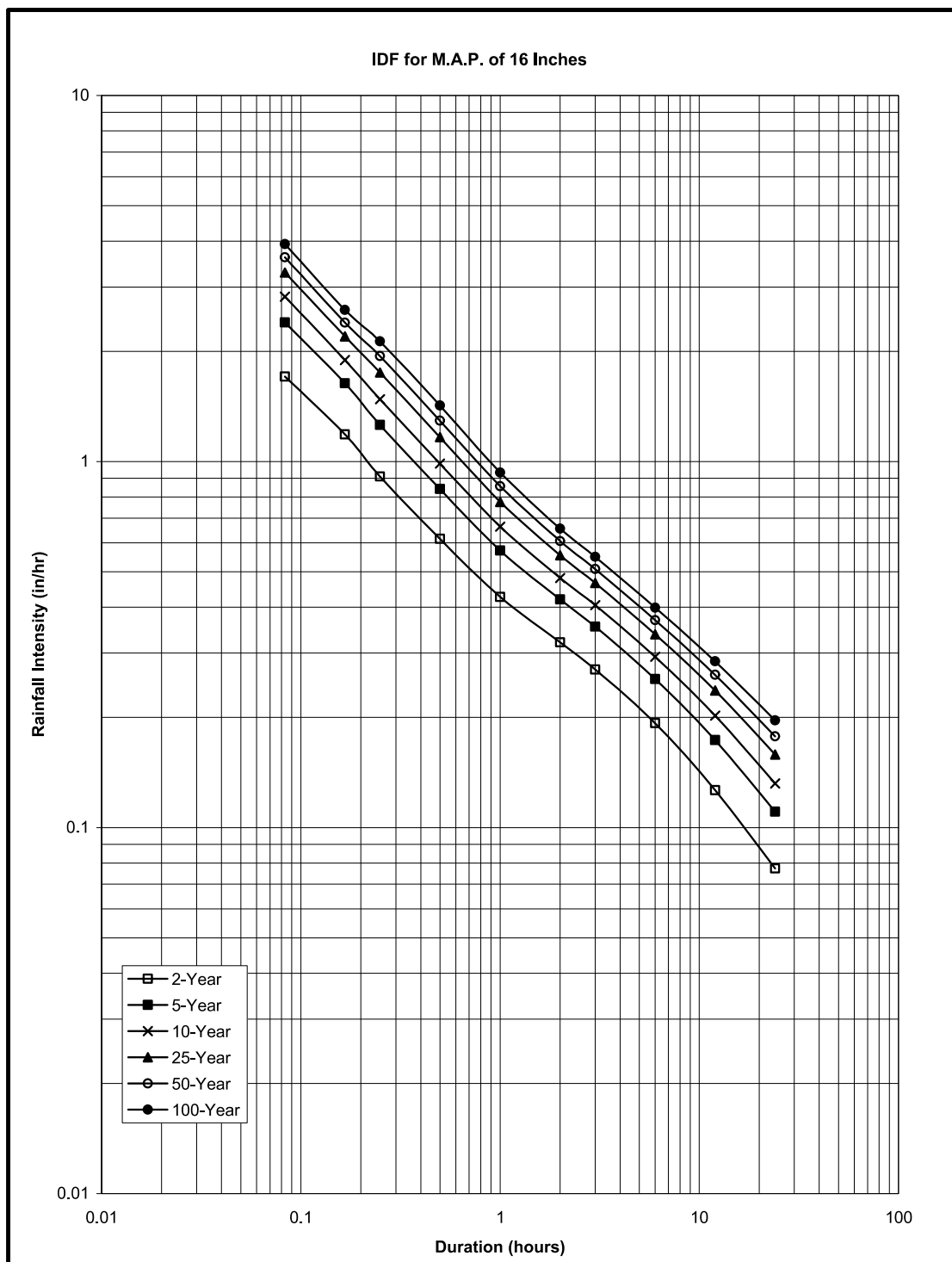


Figure B-2: IDF for M.A. P. of 14 Inches





**Figure B-3: IDF for M.A.P. of 16 Inches**

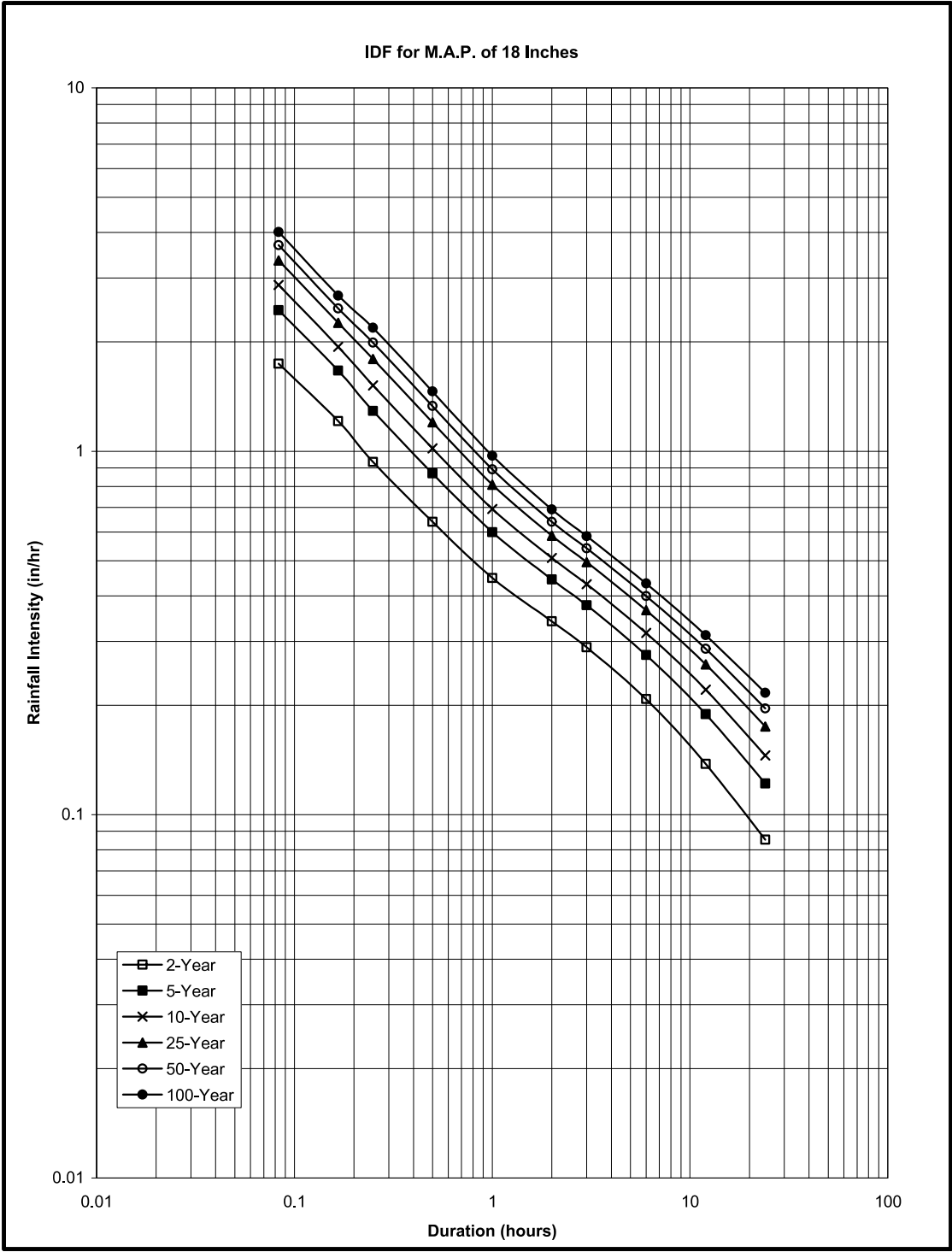
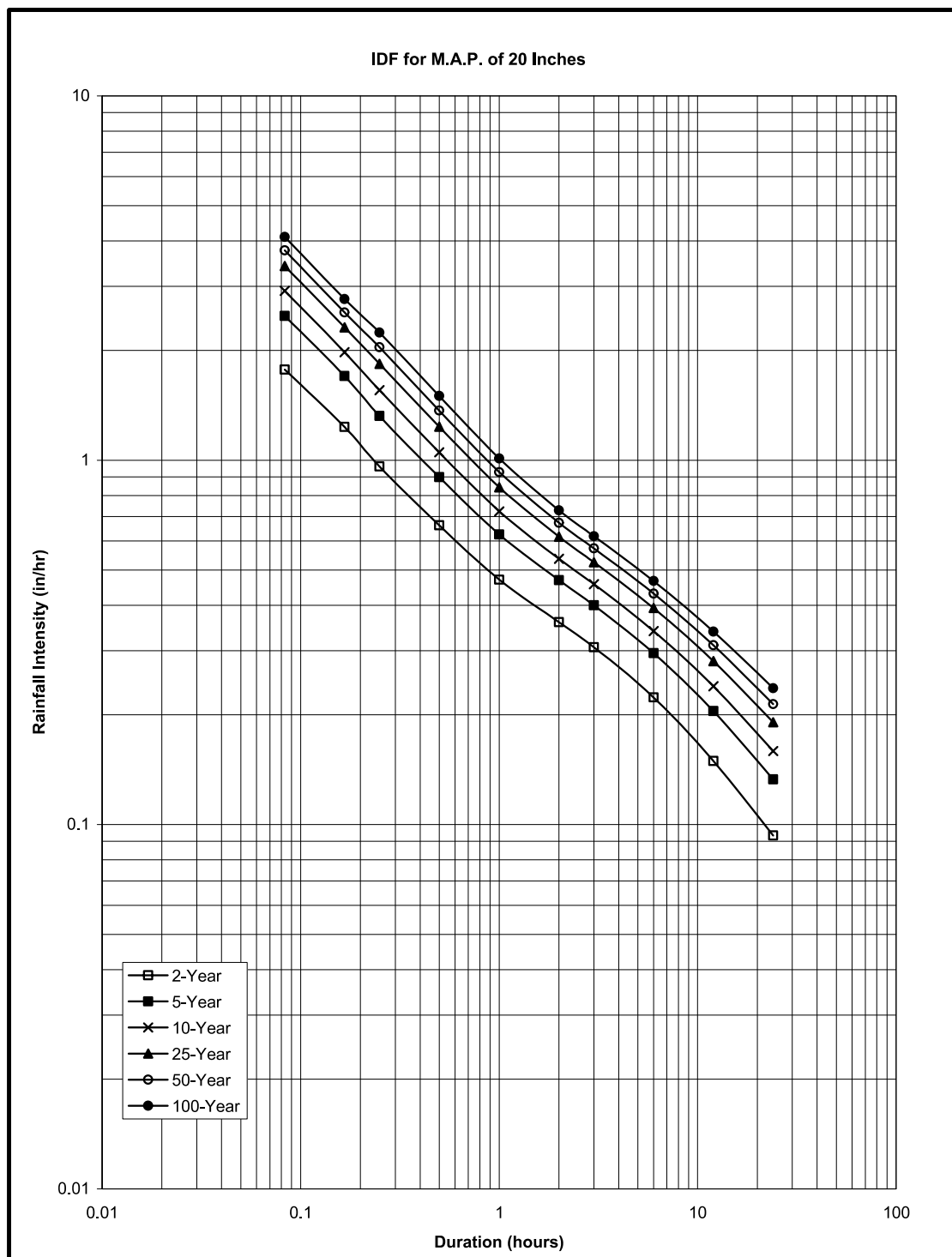


Figure B-4: IDF for M.A. P. of 18 Inches





**Figure B-5: IDF for M.A.P. of 20 Inches**

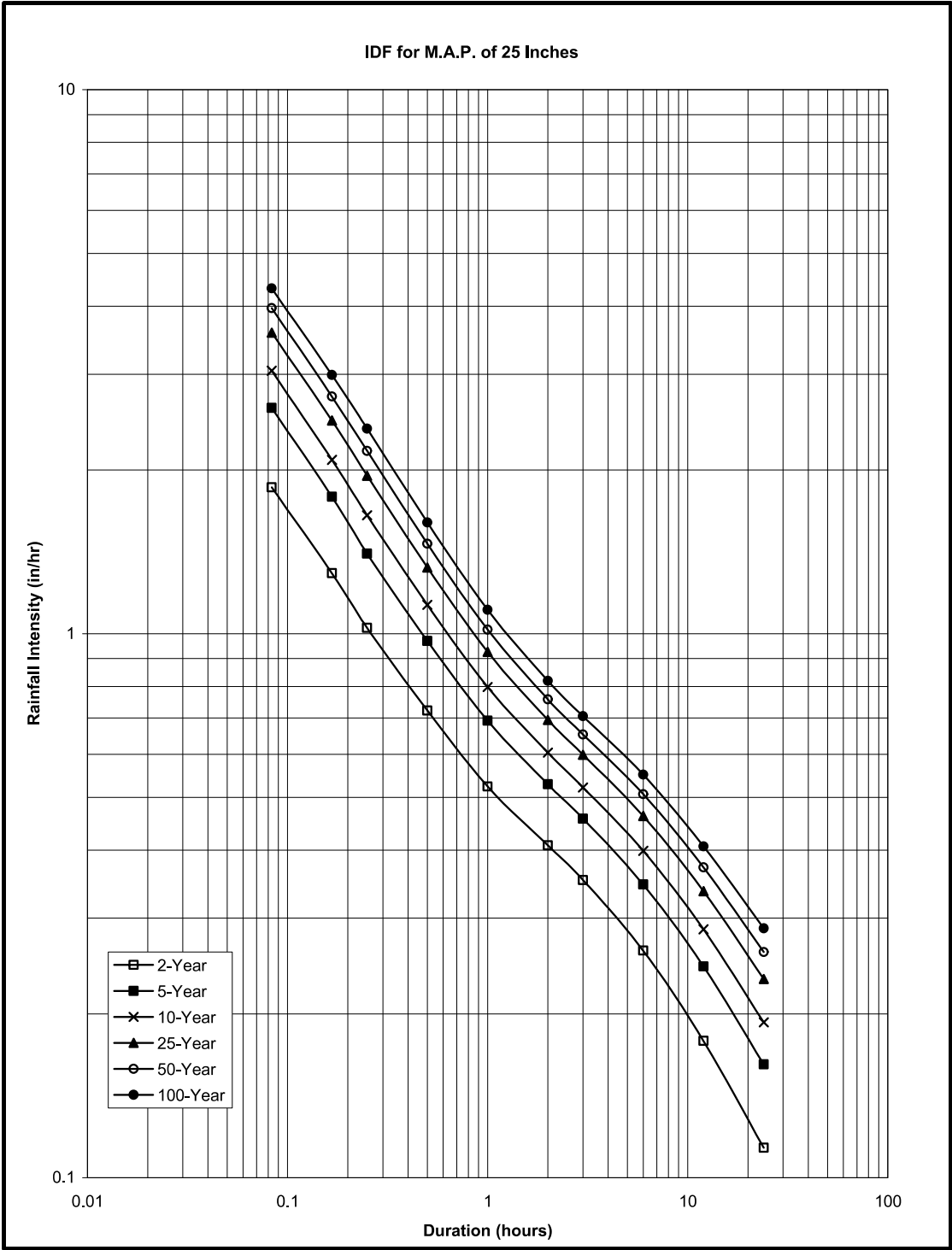


Figure B-6: IDF for M.A.P. of 25 Inches



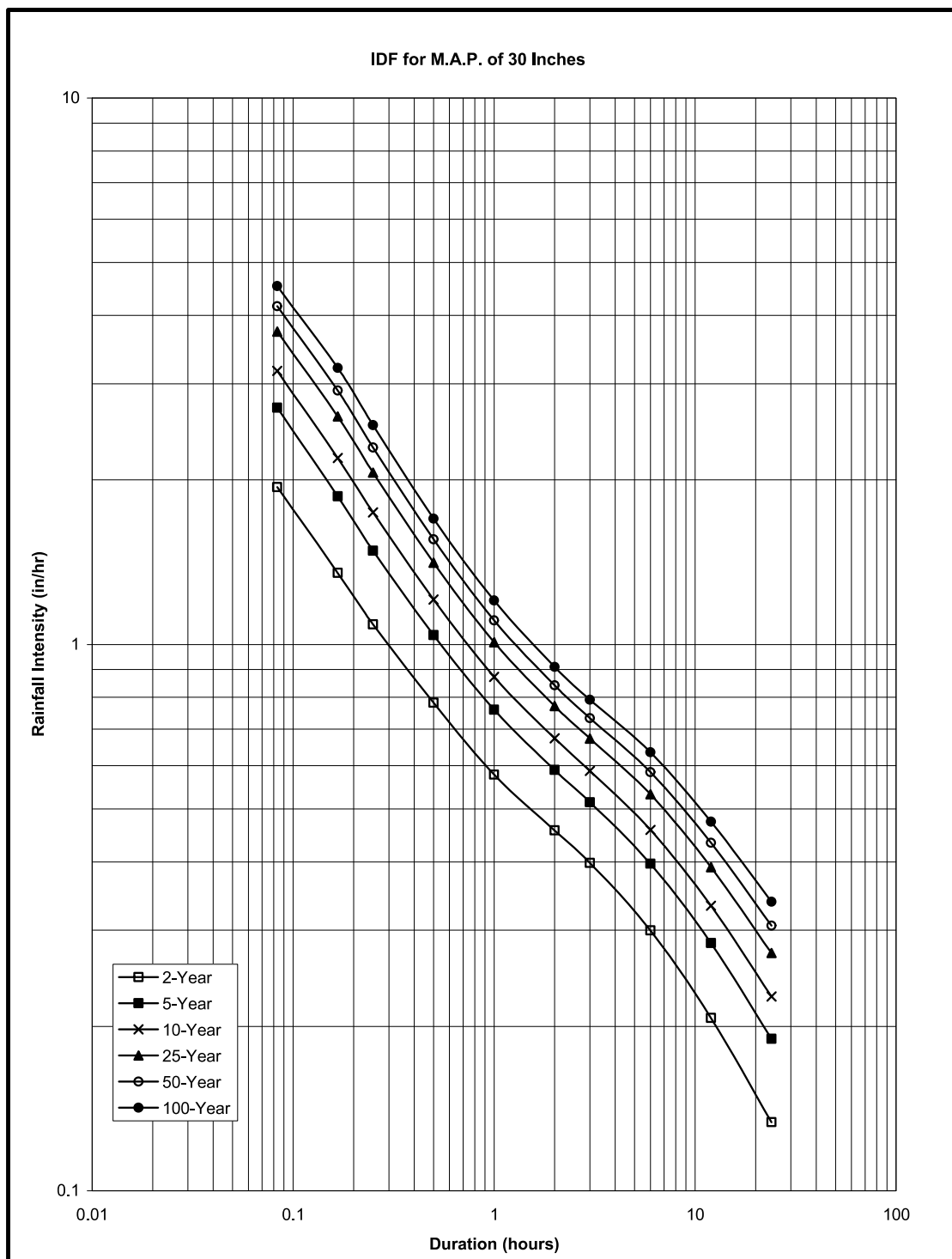


Figure B-7: IDF for M.A. P. of 30 Inches

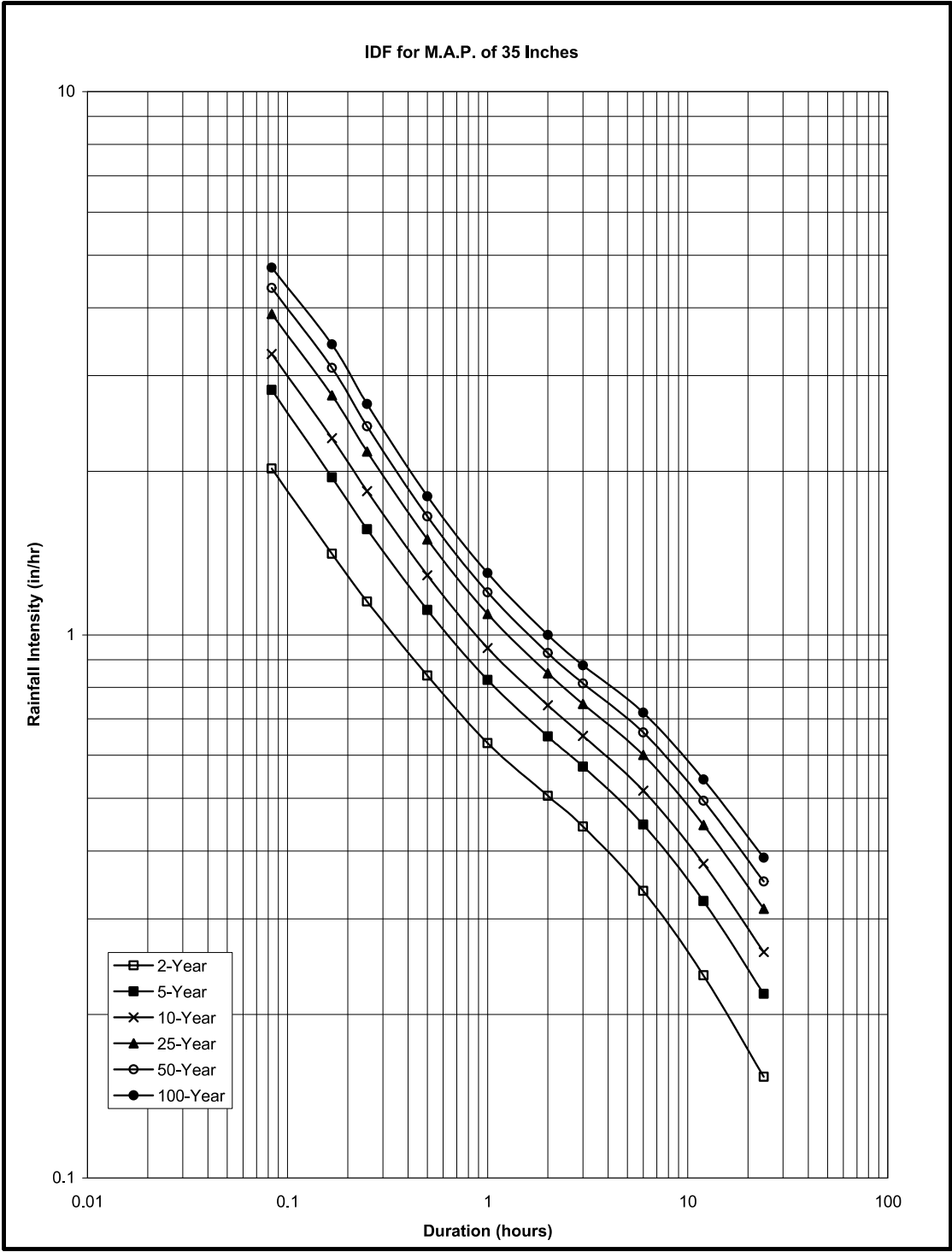


Figure B-8: IDF for M.A.P. of 35 Inches



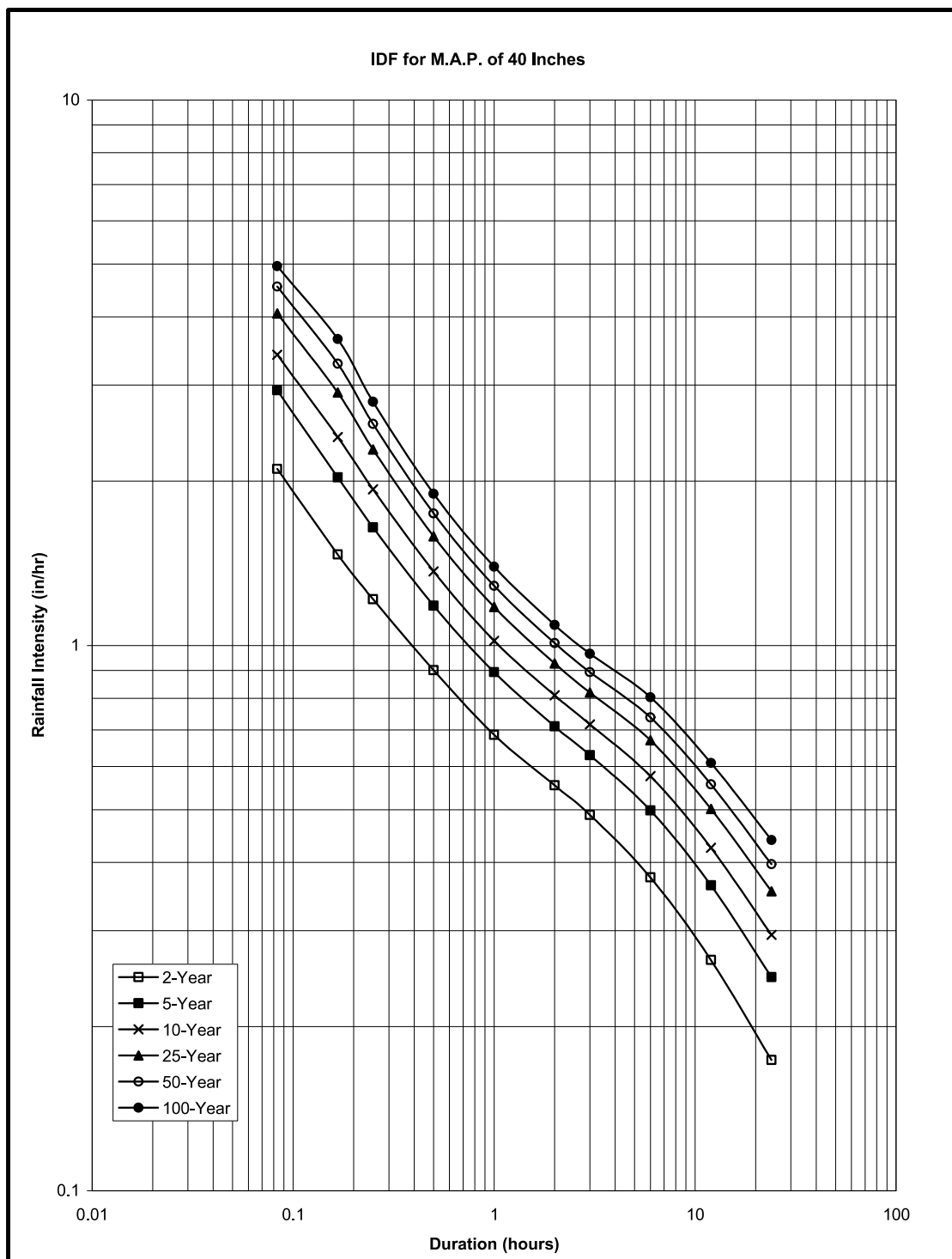


Figure B-9: IDF for M.A.P. of 40 Inches



**Table B-1: Parameters  $A_{T,D}$  and  $B_{T,D}$  for TDS Equation**

<b>2-YR RETURN PERIOD</b>		
5-min	0.120194	0.001385
10-min	0.166507	0.001956
15-min	0.176618	0.003181
30-min	0.212497	0.005950
1-hr	0.253885	0.010792
2-hr	0.330848	0.019418
3-hr	0.374053	0.027327
6-hr	0.425178	0.045735
12-hr	0.409397	0.069267
24-hr	0.314185	0.096343
48-hr	0.444080	0.134537
72-hr	0.447104	0.159461
<b>5-YR RETURN PERIOD</b>		
5-min	0.170347	0.001857
10-min	0.228482	0.002758
15-min	0.250029	0.004036
30-min	0.307588	0.007082
1-hr	0.357109	0.013400
2-hr	0.451840	0.024242
3-hr	0.512583	0.034359
6-hr	0.554937	0.060859
12-hr	0.562227	0.094871
24-hr	0.474528	0.136056
48-hr	0.692427	0.187173
72-hr	0.673277	0.224003
<b>10-YR RETURN PERIOD</b>		
5-min	0.201876	0.002063
10-min	0.258682	0.003569
15-min	0.294808	0.004710
30-min	0.367861	0.007879
1-hr	0.427723	0.014802
2-hr	0.522608	0.027457
3-hr	0.591660	0.038944
6-hr	0.625054	0.070715
12-hr	0.641638	0.111660
24-hr	0.567017	0.162550
48-hr	0.832445	0.221820
72-hr	0.810509	0.265469





**Table B-2: Parameters  $A_{T,D}$  and  $B_{T,D}$  for TDS Equation**

Return Period/Duration	$A_{T,D}$	$B_{T,D}$
<b>25-YR RETURN PERIOD</b>		
5-min	0.230641	0.002691
10-min	0.287566	0.004930
15-min	0.348021	0.005594
30-min	0.443761	0.008719
1-hr	0.508791	0.016680
2-hr	0.612629	0.031025
3-hr	0.689252	0.044264
6-hr	0.693566	0.083195
12-hr	0.725892	0.132326
24-hr	0.675008	0.195496
48-hr	0.989588	0.264703
72-hr	0.967854	0.316424
<b>50-YR RETURN PERIOD</b>		
5-min	0.249324	0.003241
10-min	0.300971	0.006161
15-min	0.384016	0.006315
30-min	0.496301	0.009417
1-hr	0.568345	0.017953
2-hr	0.672662	0.033694
3-hr	0.754661	0.048157
6-hr	0.740666	0.092105
12-hr	0.779967	0.147303
24-hr	0.747121	0.219673
48-hr	1.108358	0.295510
72-hr	1.075643	0.353143
<b>100-YR RETURN PERIOD</b>		
5-min	0.269993	0.003580
10-min	0.315263	0.007312
15-min	0.421360	0.006957
30-min	0.553934	0.009857
1-hr	0.626608	0.019201
2-hr	0.732944	0.036193
3-hr	0.816471	0.051981
6-hr	0.776677	0.101053
12-hr	0.821859	0.162184
24-hr	0.814046	0.243391
48-hr	1.210895	0.325943
72-hr	1.175000	0.389038



**Table F-1: Manning's Roughness Coefficients for Closed Conduits and Open Channels**

Conveyance Material	Manning's n-value
<b>Closed Conduits</b>	
Concrete	
1. Precast or cast-in-place	0.013-0.015
2. Steel troweled or smooth-form finish	0.014-0.016
3. Wood float or broomed finish; including pneumatically applied mortar	0.014-0.017
Corrugated Metal Pipe	
1. Plain	0.022-0.026
2. Paved invert	0.018-0.022
3. Spun asphalt lined	0.011-0.015
Plastic (HDPE, PVC)	0.008-0.015
Vitrified Clay	0.011-0.015
Steel, coated	0.010-0.017
Brick	0.013-0.017
<b>Open Channels</b>	
Excavated or Dredged	
1. Earth, straight and uniform	0.020-0.030
2. Earth, winding and fairly uniform	0.025-0.040
3. Rock, smooth and uniform	0.025-0.033
4. Rock, jagged and irregular	0.035-0.045
5. With short grass, few weeds	0.022-0.033
6. Unmaintained, abundant vegetation as tall as flow depth	0.050-0.140
Lined	
1. Asphalt	0.013-0.017
2. Brick	0.011-0.018
3. Concrete	0.011-0.020
4. Riprap or rubble	0.020-0.035
5. Sack concrete riprap/Grouted rock riprap	0.028-0.032
6. With short grass, few weeds	0.022-0.033
7. Unmaintained, abundant vegetation as tall as flow depth	0.050-0.140
Natural Stream Channels	
1. Clean, straight bank, full stage no rifts or deep pools	0.025-0.033
2. Same as (1), but some weeds and stones	0.030-0.040
3. Clean, winding, some pools and shoals	0.033-0.045
4. Same as (3), lower stages, more ineffective slope and sections	0.040-0.055
5. Same as (3), some weeds and stones	0.035-0.050
6. Same as (5), some stony sections	0.045-0.060
7. Sluggish river reaches, rather weedy or with very deep pools	0.050-0.080
8. Very weedy reaches, trees or underbrush	0.075-0.150



## DESCRIPTION

Storm Drainage Easement  
17025 Mc Gill Rd, Saratoga, CA 95070

The land referred to herein below is situated in the unincorporated area in county of Santa Clara, state of California and is described as follows:

An easement for storm drainage purposes, a strip of land 25 feet wide over a portion of the northwest 1/4 of the southwest 1/4 of Section 24, Township 8 South, Range 2 West, Mount Diablo base and meridian, the center line of which is described as follows:

BEGINNING at the most southwesterly corner of Parcel A as shown on that certain Parcel Map recorded August 29th, 1979, in Book 449 of Maps at page One, Santa Clara County Records; Thence along the westerly property line of said Parcel A North  $0^{\circ}30'43''$  East 525.60 feet (more or less) to the centerline of swale, the TRUE POINT OF BEGINNING; thence leaving said westerly line and along the centerline of swale with its meanders, the following approximate courses and distances:

- 1) Thence South  $57^{\circ}38'43''$  West 93.32 feet;
- 2) Thence South  $41^{\circ}22'34''$  West 103.95 feet;
- 3) Thence South  $58^{\circ}53'26''$  West 100.91 feet to the westerly line of the Parcel of land as described in the Grant Deed to Milind Khandare and Neha Dobhal, recorded December 31, 2020, as document number 24771103, of Official Records, Santa Clara Records.

The side lines of said strip of land to be shortened or lengthen to terminate on the property lines of said Parcel of Land described in said Grant Deed to Milind Khandare and Neha Dobhal.

Containing 7,515 S.F., more or less.

This description was prepared by me or under my direction in conformance with the Land Surveyor's Act.

Osuna Engineering, Inc.

Portirio O. Osuna  
PLS 8921



# MCGILL ROAD

S89°37'20"E  
672.93'

LANDS OF  
KHANDARE & DOBHAL  
APN 517-24-024  
PER GRANT DEED,  
DOC#24771103  
RECORDED 12/31/2020  
O.R.

BOHLMAN  
ROAD

LINE TABLE		
No.	BEARING	LENGTH
L1	S52°02'40"W	122.69'
L2	S9°05'40"W	102.61'
L3	N78°52'40"E	136.26'
L4	S68°30'20"E	111.73'
L5	S80°56'20"E	76.84'
L6	S63°04'15"E	174.68'
L7	S2°10'20"E	131.44'
L8	S19°51'20"E	127.14'
L9	S41°03'20"E	45.64'
L10	S57°38'43"W	93.32'
L11	S41°22'34"W	103.95'
L12	S58°53'26"W	100.91'

PARCEL A  
449-M-01

LANDS OF  
MIDPENINSULA  
REGIONAL OPEN  
SPACE DISTRICT  
APN 517-24-030

842.64'

N0°30'43"E 1368.24' BNDRY.

APPROXIMATE  
CL OF SWALE  
TPOB

CL PROPOSED S.D.E.  
AREA: 7515 S.F.

S0°22'40"W 812.16' BNDRY.  
459.14'

353.02'

525.60'

POB

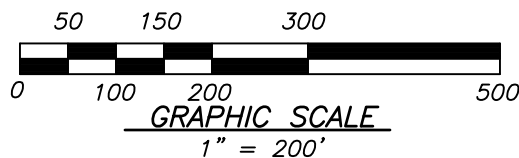
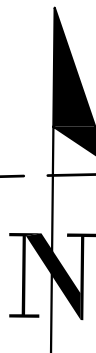
231.70'  
N88°08'34"E

## ABBREVIATIONS

AC ACRES  
APN ASSESSOR'S PARCEL NUMBER  
CL CENTER LINE  
POB POINT OF BEGINNING  
TPOB TRUE POINT OF BEGINNING  
SF SQUARE FEET

## REFERENCES:

R1 PARCEL MAP 517-M-01  
R2 GRANT DEED DOC# 24771103



17025 MCGILL ROAD  
STORM DRAINAGE EASEMENT  
EXHIBIT B

SARATOGA, CALIFORNIA

DATE: 3/07/22  
SCALE: 1"=20'  
DRAWN BY: 0.0.  
CHECKED BY:  
JOB NO.: 1923

OSUNA ENGINEERING, INC.

6920 SANTA TERESA BLVD. #206  
SAN JOSE, CALIFORNIA 95119  
PH. (408) 721-2100

PLS NO. 8921  
PORFIRIO OSCAR OSUNA



## OWNER'S CERTIFICATE

We hereby certify that we are the owners of or have some right, title or interest in and to the real property included within the subdivision shown upon the herein map; that we are the only persons whose consent is necessary to pass a clear title to said real property; that we hereby consent to the preparation and recordation of said map and subdivision as shown within the distinctive border.

We hereby dedicate to public use and offer to dedicate to the County of Santa Clara all streets and portions of streets not here to fore existing and designated as McGill Road & BOLLMAN ROAD, as shown upon this map; said dedication and offers of dedication are for any and all public uses under, upon and over said streets and portions thereof.

We hereby dedicate to public use and offer to dedicate to the County of Santa Clara storm drainage easement under, over, upon, and across those certain strips of land delineated and designated as S.D.E. (Storm Drain Easement).

All of the herein described streets and easements shall be kept free of buildings except lawful unsupported roof overhangs and obstructions that impair the use of or are inconsistent with the purposes of the streets or easement.

The herein described offers of dedication to the County of Santa Clara are to be accepted only when the Board of Supervisors or its successor agency adopts and records in the office of the Recorder of Santa Clara County a resolution accepting said streets or easement. Until said resolutions are recorded all streets and easements encompassed within such offer of dedication shall be maintained by the developer during any required warranty period and thereafter by the owners of the lots or parcels in the subdivision. The County of Santa Clara shall not be responsible for maintenance and shall incur no liability with respect to such offered streets and easements or any improvement thereon. All dedicated rights-of-way and easements not accepted for maintenance by the County or other public agency shall be maintained by the owners of the lots or parcels in the subdivision.

AS OWNERS

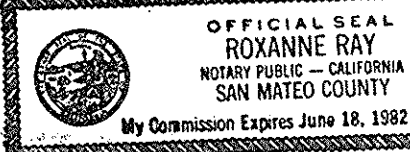
Elmer B. Tenneson  
ELMER B. TENNESON

Deloris P. Tenneson  
DELORES P. TENNESON

## ACKNOWLEDGMENT

STATE OF CALIFORNIA, S.S.  
COUNTY OF SANTA CLARA  
On this 12th day of April, 1979, before me, the undersigned, a Notary Public in and for said state, personally appeared Elmer B. Tenneson and Deloris P. Tenneson known to me to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same, As Owners.

WITNESS my hand and official seal.



Roxanne Ray  
NOTARY PUBLIC IN AND FOR THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

## NOTES:

- Roadways designated as not-county maintained roads as shown upon this map will not be eligible for County maintenance until the roadways are improved at no cost to the County to public maintenance road standards approved by the Board of Supervisors and in effect at such time that the roadways are considered for acceptance into the County's Road System.
- Water shall be furnished by an approved individual well complying with Health Department standards, prior to issuance of a building permit. Minimum standards required by local fire authority relating to water supply for fire purposes and access for fire equipment shall be met prior to final building approval and occupancy. Prior to the issuance of a building permit the Building Inspection Division will require a soils report based on minimum subsurface investigations. Any utilities or service connections are to be installed underground, per Environment Management Agency Standards. An encroachment permit for the construction of a County Standard driveway connection to BOLLMAN ROAD will be required prior to the issuance of a building permit.
- Any parcel indicated "parcel subject to further approval" shall be conditioned by Santa Clara County Land Development Ordinance Chapter 1 thru 14 of Santa Clara County Ordinance Code. These conditions to include, but not limited to, road dedication and road improvements, water supply, sewage disposal, and fire protection.

## NOTES AND LEGEND

All distances and dimensions are shown in feet and decimals thereof.

- Indicates Found 3/4" Iron Pipe in Monument Box
- Indicates Railroad Spike Found
- Indicates Set Railroad Spike
- Indicates Iron Pipe Found
- Indicates 3/4" Iron Pipe w/Tag L.S. 3161 Set
- ( ) Indicates Record data
- Indicates distinctive border

## NOTES CONTINUED

- A geologic (soils) report pertaining to this property dated April 30, 1979 and prepared by Civil & Construction Consultants Inc. (CLIFF BECK) is on file with the County (County file # 4577.16) at the Central Permit Office. Parcel owners/developers should review this report prior to submitting plans for site development and building construction.

## RECORD DATA BOLLMAN ROAD FROM AMENDED RECORD OF SURVEY (BK 145 OF MAPS PAGE 27)

COURSE	BEARING	DIST.	1ST R.O.S. 54 DIST.
50-51	S 21°56'00"W	189.57	172.64'
51-52	S 6°36'00"E	93.93'	84.84'
52-53	S 29°14'00"E	87.54'	94.82'
53-54	S 89°48'00"E	327.55'	304.59'
54-55	S 42°50'00"E	199.14'	199.14'

BEARINGS OF ORIGINAL RECORD OF SURVEY, BK 157 OF MAPS, AT PAGE 54, ARE THE SAME, HOWEVER, ITS DISTANCES SHOWN THUS [ ], FIT THE ROAD MONUMENTS TO THE MEASURED DISTANCES

## BOLLMAN ROAD CURVE DATA

CURVE	RADIUS	Δ	LENGTH	TANGENT
A	100'	28°36'25"	49.929'	
B	160'	28°36'25"	79.886'	
C	160'	3°30'30"	9.797'	
D	160'	25°05'55"	70.089'	
E	200'	22°33'30"	78.743'	
F	140'	22°33'30"	55.120'	
G	50'	60°36'20"	52.888'	
H	110'	60°36'20"	116.354'	
I	75'	22°03'36"	28.877'	
Δ 51	130'	28°36'25"	64.907'	33.145'
Δ 52	170'	22°33'30"	66.932'	33.905'
Δ 53	80'	60°36'20"	84.621'	46.753'
Δ 54	105'	46°58'25"	86.084'	45.627'

## BASIS OF BEARINGS

The bearing N.89°37'20"W of the Southerly Line of Parcel C as shown on that certain Parcel Map recorded in Book 390 of Maps at page 12 Santa Clara County Records was taken as the basis of bearings for this map.

## ENGINEER'S CERTIFICATE

This map was prepared by me or under my direction and is based upon a field survey in conformance with the requirements of the Subdivision Map Act and local ordinance at the request of ELMER B. TENNESON on May 29, 1979. I hereby state that this parcel map substantially conforms to the approved or conditionally approved tentative map, if any.

Dated JULY 1, 1979

Michael Giuli  
MICHAEL GIULI  
C.E. 15292  
L.S. 3161

## COUNTY SURVEYOR'S CERTIFICATE

This map conforms with the requirements of the Subdivision Map Act and local ordinance. Pursuant to the provisions of Section C-12-133 of the County Ordinance Code, it is hereby ordered that all streets, portions of streets and easements offered for dedication to the County of Santa Clara are hereby not accepted and all dedications to public use are hereby accepted in behalf of the public for the purposes set forth in the owner's certificate.

DATED Aug 17, 1979

DEAN P. LARSON, COUNTY SURVEYOR  
Sary L. Caldwell  
Deputy

## RECORDER'S CERTIFICATE

File No. 6494700 Fee \$ \$5.00  
Filed this 27th day of AUGUST, 1979 at 1:39 P.M. in Book 449 of Maps at page ONE at the request of Michael Giuli

GEORGE A. MANN, County Recorder  
Stephen A. Constan  
Deputy

## 60' ROAD EASEMENT - COURSE TABLE, RECORD DATA FROM PARCEL MAP BOOK 355 OF MAPS, PAGE 2

COURSE	BEARING	DIST/LENGTH	RADIUS	Δ	TANGENT
1	S 28°56'00"E	111.70'			
2		11.57'	200'	5°02'00"	8.79'
3	S 33°58'00"E	38.80'			
4		81.33'	90'	5°46'40"	43.68'
5	S 17°48'40"W	76.34'			
6		91.72'	120'	43°47'30"	48.33'
7	S 25°58'50"E	17.17'			
8		99.61'	120'	44°41'40"	49.33'
9	S 18°42'50"W	102.27'			
10		68.39'	120'	30°15'55"	32.45'
11	S 48°58'45"W	50.44'			
12		55.90'	150'	2°21'10"	28.28'
13	S 27°37'35"W	181.88'			
14		84.52'	120'	40°21'20"	44.10'
15	S 12°43'45"E	12.09'			
16		74.38'	90'	47°21'00"	39.46'
17	S 60°04'45"E	5.84'			
18		54.17'	150'	20°41'25"	27.38'
19	S 80°46'10"E	97.64'			
20		71.24'	150'	2°12'43"	36.21'

## PARCEL MAP

CONSISTING OF ONE (1) SHEET  
BEING A PORTION OF THE NE 1/4 OF THE SW 1/4 OF SECTION 24, T.8S., R.2W., M.D.B. & M.  
**SANTA CLARA COUNTY, CALIF.**

SCALE: 1"=100' FEB. 1979

MICHAEL GIULI  
CIVIL ENGINEER - LAND SURVEYOR  
SUNNYVALE, CALIFORNIA

198-22-51 4577.16 - FILE NO.

# Parcel Map Check Report

**Client:**

Client

Client Company

Address 1

Date: 3/19/2022 3:34:24 PM

**Prepared by:**

Preparer

Osuna Engineering

6920 Santa Teresa Blvd

Parcel Name: BOUNDARY - BOUNDARY

**Description:**

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 6,356.0540'

East: 3,752.0720'

**Segment# 1: Line**

Course: S 0°30'43" W

Length: 1,368.24'

North: 4,987.8686'

East: 3,739.8468'

**Segment# 2: Line**

Course: S 88°08'34" W

Length: 231.70'

North: 4,980.3595'

East: 3,508.2685'

**Segment# 3: Line**

Course: N 0°22'40" E

Length: 812.16'

North: 5,792.5018'

East: 3,513.6234'

**Segment# 4: Line**

Course: N 41°03'20" W

Length: 45.64'

North: 5,826.9177'

East: 3,483.6475'

**Segment# 5: Line**

Course: N 19°51'20" W

Length: 127.14'

North: 5,946.4995'

East: 3,440.4644'

**Segment# 6: Line**

Course: N 2°10'20" W

Length: 131.44'

North: 6,077.8450'

East: 3,435.4823'

**Segment# 7: Line**

Course: N 63°04'15" W

Length: 174.68'

North: 6,156.9556'

East: 3,279.7434'

**Segment# 8: Line**

Course: N 80°56'20" W

Length: 76.84'



North: 6,169.0570'

East: 3,203.8623'

Segment# 9: Line

Course: N 68°30'20" W

Length: 111.73'

North: 6,209.9961'

East: 3,099.9028'

Segment# 10: Line

Course: S 78°52'40" W

Length: 136.26'

North: 6,183.7112'

East: 2,966.2020'

Segment# 11: Line

Course: N 9°05'40" E

Length: 102.61'

North: 6,285.0313'

East: 2,982.4208'

Segment# 12: Line

Course: N 52°02'40" E

Length: 122.69'

North: 6,360.4918'

East: 3,079.1604'

Segment# 13: Line

Course: S 89°37'20" E

Length: 672.93'

North: 6,356.0548'

East: 3,752.0758'

Perimeter: 4,114.06'

Area: 10.237Acre

Error Closure: 0.0039

Course: N 77°20'16" E

Error North : 0.00085

East: 0.00378

Precision 1: 1,054,887.18

---

Parcel Name: EASEMENT - PORTION OF LOT NLY OF EASEMENT

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 6,356.0540'

East: 3,752.0720'

Segment# 1: Line

Course: S 0°30'43" W

Length: 842.64'

North: 5,513.4476'

East: 3,744.5430'

Segment# 2: Line

Course: S 57°38'43" W

Length: 93.32'

North: 5,463.5066'

East: 3,665.7108'

Segment# 3: Line

Course: S 41°22'34" W

Length: 103.95'

North: 5,385.5039'

East: 3,597.0000'

Segment# 4: Line

Course: S 58°53'26" W

Length: 100.91'

North: 5,333.3662'

East: 3,510.6026'

Segment# 5: Line

Course: N 0°22'40" E

Length: 459.14'

North: 5,792.4963'

East: 3,513.6299'

Segment# 6: Line

Course: N 41°03'20" W

Length: 45.64'

North: 5,826.9122'

East: 3,483.6540'

Segment# 7: Line

Course: N 19°51'20" W

Length: 127.14'

North: 5,946.4939'

East: 3,440.4709'

Segment# 8: Line

Course: N 2°10'20" W

Length: 131.44'

North: 6,077.8395'

East: 3,435.4889'

Segment# 9: Line

Course: N 63°04'15" W

Length: 174.68'

North: 6,156.9501'

East: 3,279.7500'

Segment# 10: Line

Course: N 80°56'20" W

Length: 76.84'

North: 6,169.0514'

East: 3,203.8689'

Segment# 11: Line

Course: N 68°30'20" W

Length: 111.73'

North: 6,209.9905'

East: 3,099.9093'

Segment# 12: Line

Course: S 78°52'40" W

Length: 136.26'

North: 6,183.7056'

East: 2,966.2086'

Segment# 13: Line

Course: N 9°05'40" E

Length: 102.61'

North: 6,285.0257'

East: 2,982.4274'

Segment# 14: Line

Course: N 52°02'40" E

Length: 122.69'



North: 6,360.4862'

East: 3,079.1670'

Segment# 15: Line

Course: S 89°37'20" E

Length: 672.93'

North: 6,356.0493'

East: 3,752.0823'

Perimeter: 3,301.93'

Area: 7.905Acre

Error Closure: 0.0114

Course: S 65°35'56" E

Error North : -0.00470

East: 0.01035

Precision 1: 289,642.11

---

Parcel Name: EASEMENT - PORTION OF LOT SLY OF EASEMENT

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North:4,987.8686'

East:3,739.8468'

Segment# 1: Line

Course: S 88°08'34" W

Length: 231.70'

North: 4,980.3595'

East: 3,508.2685'

Segment# 2: Line

Course: N 0°22'40" E

Length: 353.02'

North: 5,333.3718'

East: 3,510.5961'

Segment# 3: Line

Course: N 58°53'26" E

Length: 100.91'

North: 5,385.5094'

East: 3,596.9934'

Segment# 4: Line

Course: N 41°22'34" E

Length: 103.95'

North: 5,463.5121'

East: 3,665.7042'

Segment# 5: Line

Course: N 57°38'43" E

Length: 93.32'

North: 5,513.4532'

East: 3,744.5364'

Segment# 6: Line

Course: S 0°30'43" W

Length: 525.60'

North: 4,987.8742'

East: 3,739.8402'

Perimeter: 1,408.50'

Area: 2.332Acre

Error Closure: 0.0086

Course: N 49°49'37" W

Error North : 0.00555

East: -0.00657

Precision 1: 163,779.07



## DESCRIPTION

Road Easement  
17025 Mc Gill Rd, Saratoga, CA 95070

The land referred to herein below is situated in the unincorporated area in county of Santa Clara, state of California and is described as follows:

An easement for Road purposes, over a portion of the northwest 1/4 of the southwest 1/4 of Section 24, Township 8 South, Range 2 West, Mount Diablo base and meridian, and more particularly described as follows described as follows:

BEGINNING at the most northwesterly corner of Parcel A and also lying in the centerline of McGill road, as shown on that certain Parcel Map recorded August 29th, 1979, in Book 449 of Maps at page One, Santa Clara County Records; said northwesterly corner of Parcel A also distant South 89°37'20" East 194.71 feet to the centerline of Bohlman Road; Thence along the northerly property line of the Parcel of land as described in the Grant Deed to Milind Khandare and Neha Dobhal, recorded December 31, 2020, as document number 24771103, of Official Records, Santa Clara Records, Thence along the northerly line of said Parcel of land described in said Grant Deed to Milind Khandare and Neha Dobhal, North 89°37'20" West 636.25 feet to the TRUE POINT OF BEGINNING; Thence along the property line of said Parcel of land described in said Grant Deed to Milind Khandare and Neha Dobhal, the following courses and distances:

- 1) Thence North 89°37'20" West 36.68 feet;
- 2) Thence South 52°02'40" West 122.69 feet;
- 3) Thence South 9°05'40" West 102.61 feet;
- 4) Thence North 78°52'40" East 61.12 feet;

Thence leaving said property line, North 11°07' 20" West 24.17 feet; Thence North 9°05'40" East 51.27 feet; Thence North 41°21'24" East 54.32 feet; Thence North 59°27'04" East 58.30 feet; Thence North 0°22'40" East 20.00 feet to the TRUE POINT OF BEGINNING.

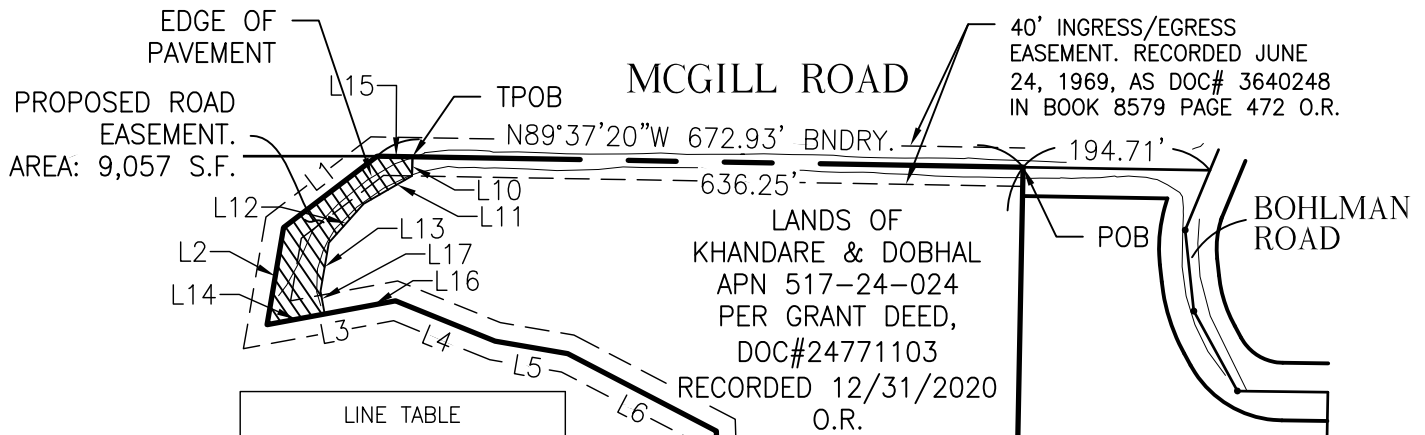
Containing 9,057 S.F., more or less.

This description was prepared by me or under my direction in conformance with the Land Surveyor's Act.

Osuna Engineering, Inc.

Portirio O. Osuna  
PLS 8921





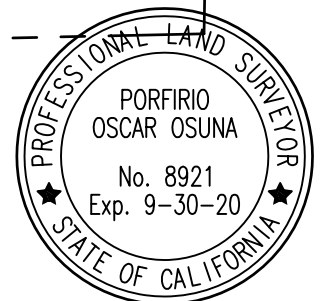
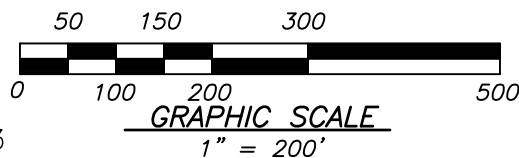
LINE TABLE		
No.	BEARING	LENGTH
L1	S52°02'40"W	122.69'
L2	S9°05'40"W	102.61'
L3	N78°52'40"E	136.26'
L4	S68°30'20"E	111.73'
L5	S80°56'20"E	76.84'
L6	S63°04'15"E	174.68'
L7	S2°10'20"E	131.44'
L8	S19°51'20"E	127.14'
L9	S41°03'20"E	45.64'
L10	N0°22'40"E	20.00'
L11	N59°27'04"E	58.30'
L12	N41°21'24"E	54.32'
L13	N9°05'40"E	51.27'
L14	N78°52'40"E	61.12'
L15	N89°37'20"W	36.68'
L16	N78°52'40"E	75.14'
L17	N11°07'20"W	24.17'

## ABREVIATIONS

AC ACRES  
 APN ASSESOR'S PARCEL NUMBER  
 CL CENTER LINE  
 POB POINT OF BEGINNING  
 TPOB TRUE POINT OF BEGINNING  
 SF SQUARE FEET

## REFERENCES:

R1 PARCEL MAP 517-M-01  
 R2 GRANT DEED DOC# 24771103



17025 MCGILL ROAD  
 ROAD EASEMENT  
 EXHIBIT B

SARATOGA, CALIFORNIA

DATE: 3/07/22  
 SCALE: 1"=20'  
 DRAWN BY: 0.0.  
 CHECKED BY:  
 JOB NO.: 2143

OSUNA ENGINEERING, INC.

6920 SANTA TERESA BLVD. #206  
 SAN JOSE, CALIFORNIA 95119  
 PH. (408) 721-2100

PORFIRIO OSCAR OSUNA, PLS NO. 8921



# Parcel Map Check Report

**Client:**

Client

Client Company

Address 1

Date: 3/19/2022 3:27:07 PM

**Prepared by:**

Preparer

Osuna Engineering

6920 Santa Teresa Blvd

Parcel Name: BOUNDARY - BOUNDARY

**Description:**

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 6,360.4909'

East: 3,079.1566'

**Segment# 1: Line**

Course: S 89°37'20" E

Length: 672.93'

North: 6,356.0540'

East: 3,752.0720'

**Segment# 2: Line**

Course: S 0°30'43" W

Length: 1,368.24'

North: 4,987.8686'

East: 3,739.8468'

**Segment# 3: Line**

Course: S 88°08'34" W

Length: 231.70'

North: 4,980.3595'

East: 3,508.2685'

**Segment# 4: Line**

Course: N 0°22'40" E

Length: 812.16'

North: 5,792.5018'

East: 3,513.6234'

**Segment# 5: Line**

Course: N 41°03'20" W

Length: 45.64'

North: 5,826.9177'

East: 3,483.6475'

**Segment# 6: Line**

Course: N 19°51'20" W

Length: 127.14'

North: 5,946.4995'

East: 3,440.4644'

**Segment# 7: Line**

Course: N 2°10'20" W

Length: 131.44'

North: 6,077.8450'

East: 3,435.4823'

**Segment# 8: Line**

Course: N 63°04'15" W

Length: 174.68'

North: 6,156.9556'

East: 3,279.7434'

Segment# 9: Line

Course: N 80°56'20" W

Length: 76.84'

North: 6,169.0570'

East: 3,203.8623'

Segment# 10: Line

Course: N 68°30'20" W

Length: 111.73'

North: 6,209.9961'

East: 3,099.9028'

Segment# 11: Line

Course: S 78°52'40" W

Length: 136.26'

North: 6,183.7112'

East: 2,966.2020'

Segment# 12: Line

Course: N 9°05'40" E

Length: 102.61'

North: 6,285.0313'

East: 2,982.4208'

Segment# 13: Line

Course: N 52°02'40" E

Length: 122.69'

North: 6,360.4918'

East: 3,079.1604'

Perimeter: 4,114.06'

Area: 10.237Acre

Error Closure: 0.0039

Course: N 77°20'16" E

Error North : 0.00085

East: 0.00378

Precision 1: 1,054,887.18

---

Parcel Name: EASEMENT - PROPOSED ROAD EASEMENT

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North:6,219.2148'

East:3,021.5054'

Segment# 1: Line

Course: S 11°07'20" E

Length: 24.17'

North: 6,195.4988'

East: 3,026.1679'

Segment# 2: Line

Course: S 78°52'40" W

Length: 61.12'

North: 6,183.7086'

East: 2,966.1958'

Segment# 3: Line

Course: N 9°05'40" E

Length: 102.61'

North: 6,285.0287'

East: 2,982.4146'

## Segment# 4: Line

Course: N 52°02'40" E

Length: 122.69'

North: 6,360.4892'

East: 3,079.1542'

## Segment# 5: Line

Course: S 89°37'20" E

Length: 36.68'

North: 6,360.2473'

East: 3,115.8334'

## Segment# 6: Line

Course: S 0°22'40" W

Length: 20.00'

North: 6,340.2477'

East: 3,115.7015'

## Segment# 7: Line

Course: S 59°27'04" W

Length: 58.30'

North: 6,310.6154'

East: 3,065.4938'

## Segment# 8: Line

Course: S 41°21'24" W

Length: 54.32'

North: 6,269.8422'

East: 3,029.6022'

## Segment# 9: Line

Course: S 9°05'40" W

Length: 51.27'

North: 6,219.2167'

East: 3,021.4983'

Perimeter: 531.16'

Area: 0.208Acre

Error Closure: 0.0073

Course: N 74°49'28" W

Error North : 0.00192

East: -0.00707

Precision 1: 72,761.64

---

Parcel Name: EASEMENT - REMAINDER AFTER ROAD EASEMENT

## Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 6,195.5000'

East: 3,026.1676'

## Segment# 1: Line

Course: N 11°07'20" W

Length: 24.17'

North: 6,219.2160'

East: 3,021.5052'

## Segment# 2: Line

Course: N 9°05'40" E

Length: 51.27'



North: 6,269.8415'

East: 3,029.6090'

Segment# 3: Line

Course: N 41°21'24" E

Length: 54.32'

North: 6,310.6147'

East: 3,065.5007'

Segment# 4: Line

Course: N 59°27'04" E

Length: 58.30'

North: 6,340.2471'

East: 3,115.7084'

Segment# 5: Line

Course: N 0°22'40" E

Length: 20.00'

North: 6,360.2466'

East: 3,115.8402'

Segment# 6: Line

Course: S 89°37'20" E

Length: 636.25'

North: 6,356.0516'

East: 3,752.0764'

Segment# 7: Line

Course: S 0°30'43" W

Length: 1,368.24'

North: 4,987.8662'

East: 3,739.8512'

Segment# 8: Line

Course: S 88°08'34" W

Length: 231.70'

North: 4,980.3570'

East: 3,508.2729'

Segment# 9: Line

Course: N 0°22'40" E

Length: 812.16'

North: 5,792.4994'

East: 3,513.6278'

Segment# 10: Line

Course: N 41°03'20" W

Length: 45.64'

North: 5,826.9153'

East: 3,483.6519'

Segment# 11: Line

Course: N 19°51'20" W

Length: 127.14'

North: 5,946.4970'

East: 3,440.4688'

Segment# 12: Line

Course: N 2°10'20" W

Length: 131.44'

North: 6,077.8426'

East: 3,435.4868'

Segment# 13: Line

Course: N 63°04'15" W

Length: 174.68'

North: 6,156.9532'

East: 3,279.7478'

Segment# 14: Line

Course: N 80°56'20" W

Length: 76.84'

North: 6,169.0545'

East: 3,203.8667'

Segment# 15: Line

Course: N 68°30'20" W

Length: 111.73'

North: 6,209.9936'

East: 3,099.9072'

Segment# 16: Line

Course: S 78°52'40" W

Length: 75.14'

North: 6,195.4989'

East: 3,026.1785'

Perimeter: 3,999.02'

Area: 10.029Acre

Error Closure: 0.0109

Course: S 84°22'37" E

Error North : -0.00107

East: 0.01086

Precision 1: 366,882.57

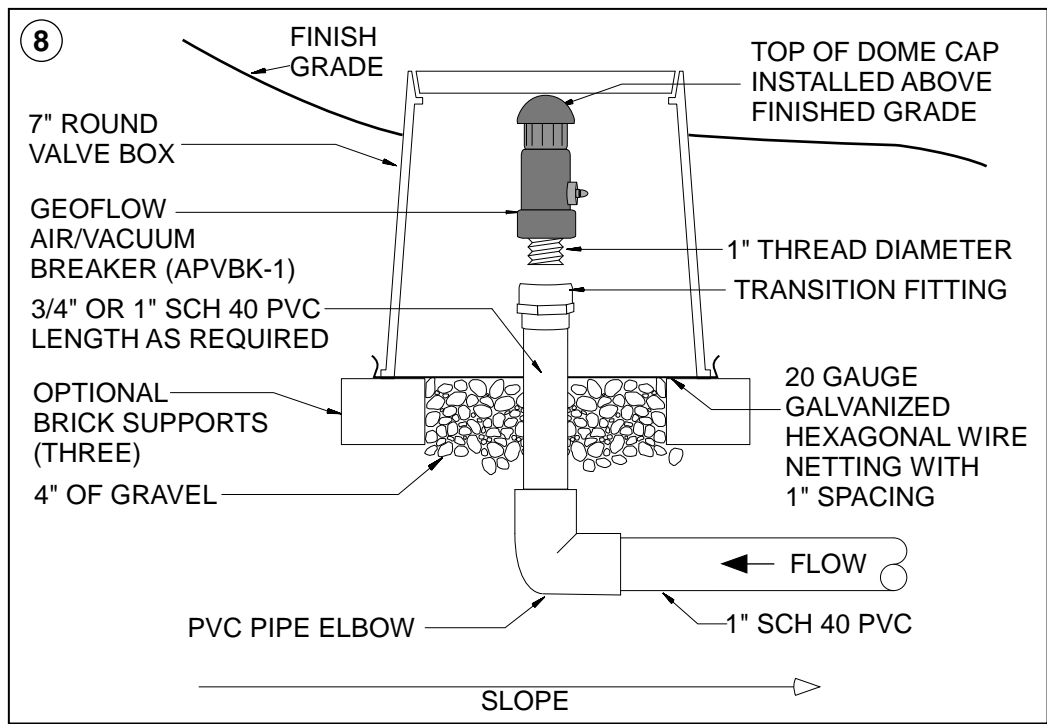


- NOTES:**  
WASTEWATER DESIGN FLOW IS 600 GPD.  
BASED ON PROPOSED 5 BEDROOM SINGLE FAMILY RESIDENCE
- 4" ABS GRAVITY SEWER LINE WITH MINIMUM 2% GRADIENT AND 2-WAY CLEANOUTS SPACE 50' APART MIN.
  - 1,500 GALLON ORENCO™ FRP PROCESSING TANK WITH ADVANTEX AX20 WASTEWATER TREATMENT SYSTEM (SEE DETAIL)
  - 2,000 GALLON CHAPIN CONCRETE PUMP TANK WITH OSI PF1010 DISCHARGE PUMP
  - VERICOMM® CONTROL PANEL. REQUIRES ONE 20 AMP 120 VOLT CIRCUIT AND TWO 20 AMP 230 VOLT CIRCUITS, AND AN ACTIVE CAT 5 DATA LINE FOR PANEL TELEMETRY.  
A REMOTE AUDIBLE/VISIBLE ALARM PANEL, TYPE 4X ENCLOSURE FOR OUTDOOR USE, SHALL BE INSTALLED AT HOUSE SITE. ORENCO PRODUCT CODE: AMSENTII-W
  - HEADWORKS VALVE BOX ASSEMBLY (SEE DETAIL)
  - ZONE VALVE BOX PROVIDING AUTOMATIC DIVERSION BETWEEN PRIMARY AND SECONDARY DRAINFIELD ZONES WITH TWO SOLENOID VALVES AND 50 PSI PRESSURE REGULATOR. (SEE DETAIL)
  - MID-FIELD (ZONE) CHECK VALVE WITH AIR VACUUM RELIEF VALVE INSTALLED DOWNSLOPE IN 7"-ROUND VALVE BOX (TYP.) 8X. (SEE DETAIL)  
**NOTE: MAKE CERTAIN THAT CHECK VALVES ON SUPPLY AND RETURN HEADER MANIFOLDS ARE POSITIONED BETWEEN CORRELATIVE DRIP TUBE LATERALS.)**
  - AIR VACUUM RELIEF VALVE 4X (THREE IN 7" ROUND VALVE BOX (TYP. - SEE DETAIL)
  - GEOFLOW SUBSURFACE DRIP DISPERSAL SYSTEM (**ZONE 1 PRIMARY AND ZONE 2 SECONDARY**) WITH A TOTAL OF 2,500 LINEAR FEET OF GEOFLOW WASTEFLOW PC SUBSURFACE DRIP TUBING WITH LATERALS SPACED 12" APART (0.53 GPH DRIP EMITTERS SPACED 12" APART) COVERING A TOTAL OF 2,500 SQUARE FEET RESULTING IN A SOIL APPLICATION RATE OF **0.48 GPD/SF** BASED ON A PEAK DESIGN FLOW RATE OF 600 GPD DOSED TO A SINGLE 1,250 SQUARE FOOT ZONE.
  - DRIP FIELD FLUSH VALVE BOX PROVIDING AUTOMATIC FIELD FLUSH WITH ONE SOLENOID VALVE, TWO CHECK VALVES AND ONE AIR VACUUM RELIEF VALVE (SEE DETAIL)
  - 48 LF TRENCH WITH 12 QUICK4 EQUALIZER 24 LOW-PROFILE INFILTRATOR CHAMBERS AND END CAPS. 1" SCH 40 PVC DRIP FIELD FLUSH RETURN LINE PLUMBED TO DISCHARGE INTO 4" CAPPED INSPECTION RISER PIPE. A SECOND 4" CAPPED INSPECTION RISER SHALL ALSO BE INSTALLED IN LAST CHAMBER.
  - 3"-DEEP INSPECTION WELL 6X (SEE DETAIL)
  - INSTALL A WATER LINE AND HOSE BIB (PER CALIFORNIA PLUMBING CODE) POSITIONED GREATER THAN 10' FROM THE TANKS. THIS HOSE BIB IS FOR USE WHEN SERVICING THE SYSTEM.
  - DESIGNATED FUTURE DRIP EXPANSION AREA (375 SF PER ZONE. 750 SF TOTAL) TO ACCOMMODATE THE POTENTIAL FUTURE 2 BEDROOM ADU (300 GPD)

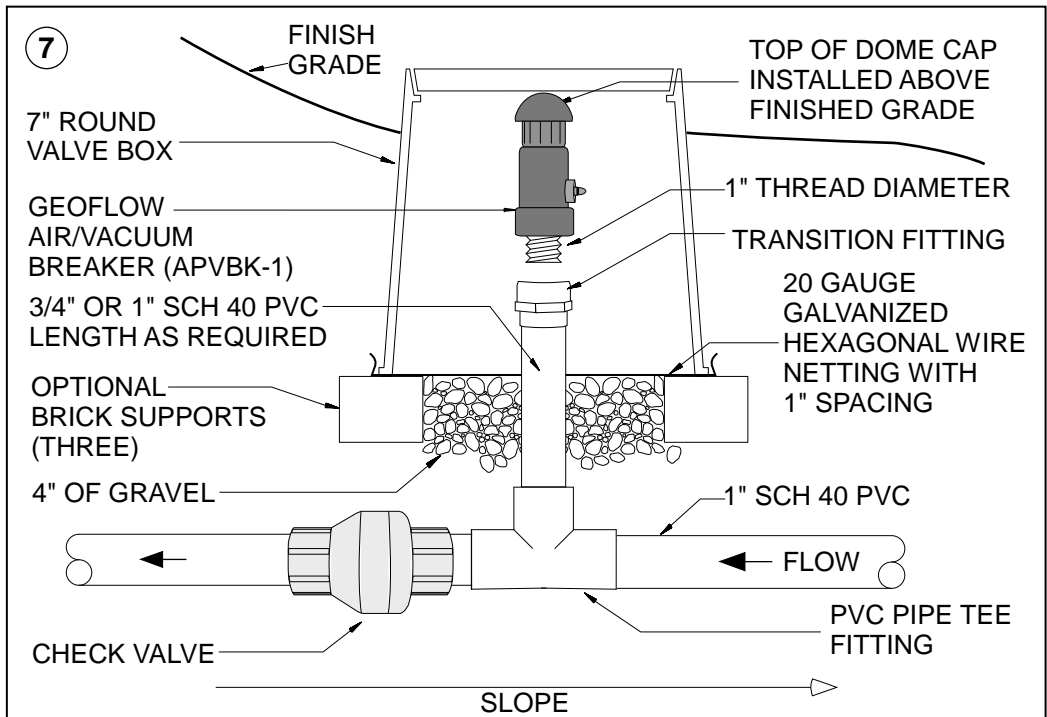
**IMPORTANT!** SPECIFIED WASTEWATER DRAINFIELD DISPERSAL AREAS SHALL BE FENCED OFF PRIOR TO ANY SITE DEVELOPMENT IN ORDER TO PROHIBIT ANY GRADING EQUIPMENT OR STAGING OF MATERIALS IN THESE AREAS. IT IS IMPORTANT THAT THE NATURAL SOIL CONDITIONS IN THESE AREAS BE PRESERVED FOR PROPER FUNCTION OF THE SHALLOW SOIL DISCHARGE SYSTEM. DO NOT ALLOW SOILS IN THESE AREAS TO BE COMPACTED. DO NOT ROUTE UTILITY TRENCHES THROUGH THE PROPOSED DRAINFIELDS. ALL STORMWATER LINES, INLETS/OUTLETS AND DRAINAGEWAYS SHALL MAINTAIN THE REQUIRED DEH SETBACKS TO THE PROPOSED DRAINFIELDS.

ALL BUILDING PLANS PREPARED FOR THE PROJECT SHOULD INCLUDE THIS NOTE.

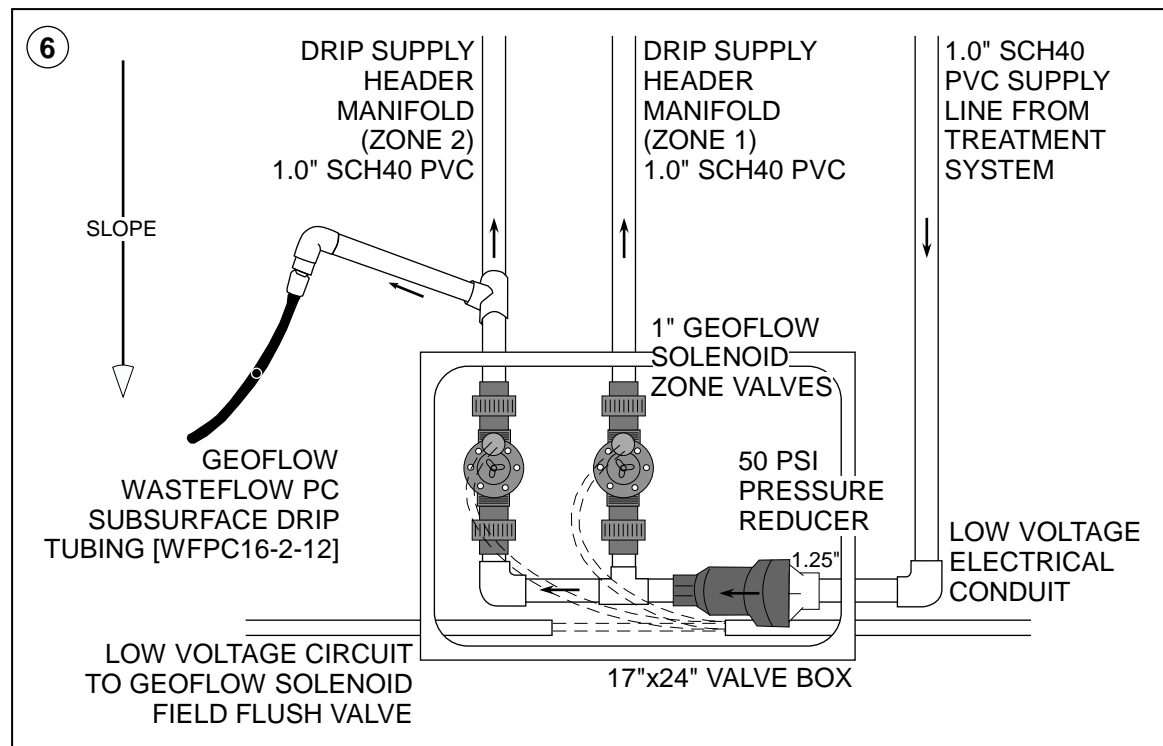
#### AIR VACUUM RELIEF VALVE DETAIL



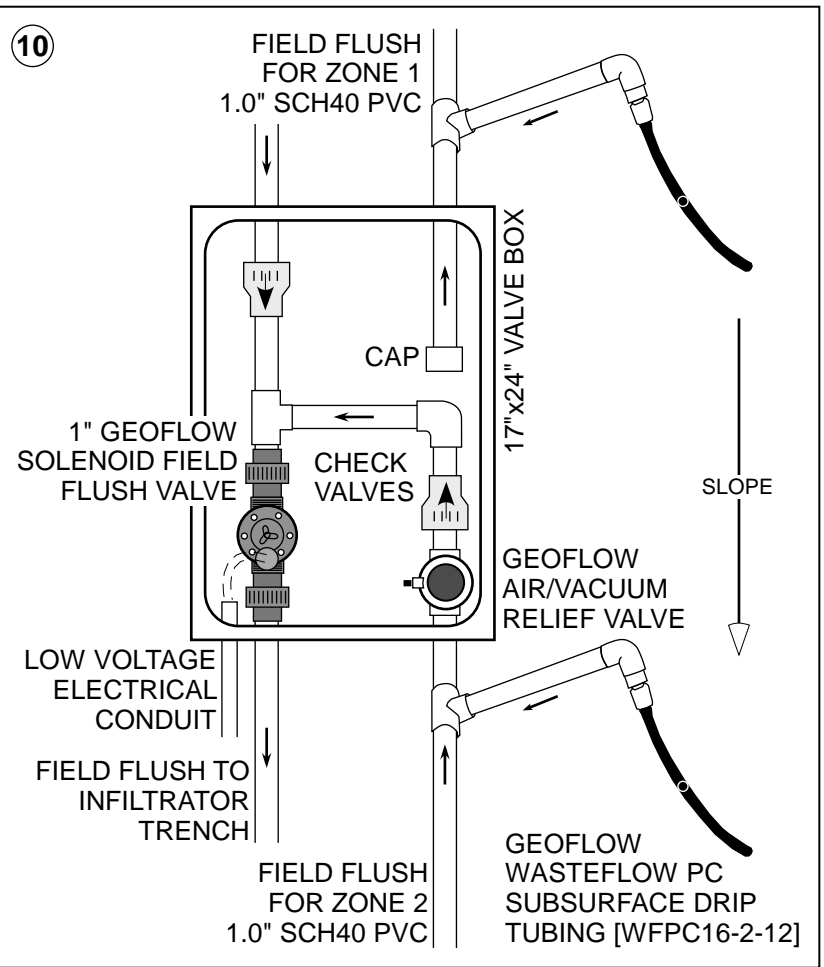
#### MID-FIELD CHECK VALVE AND AIR VACUUM RELIEF DETAIL



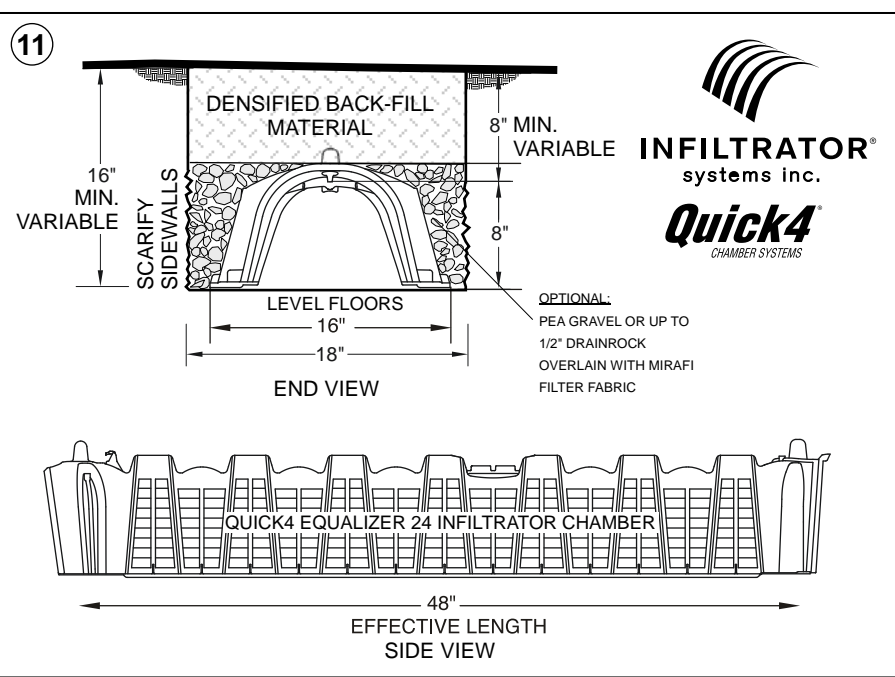
#### ZONE VALVE BOX DETAIL



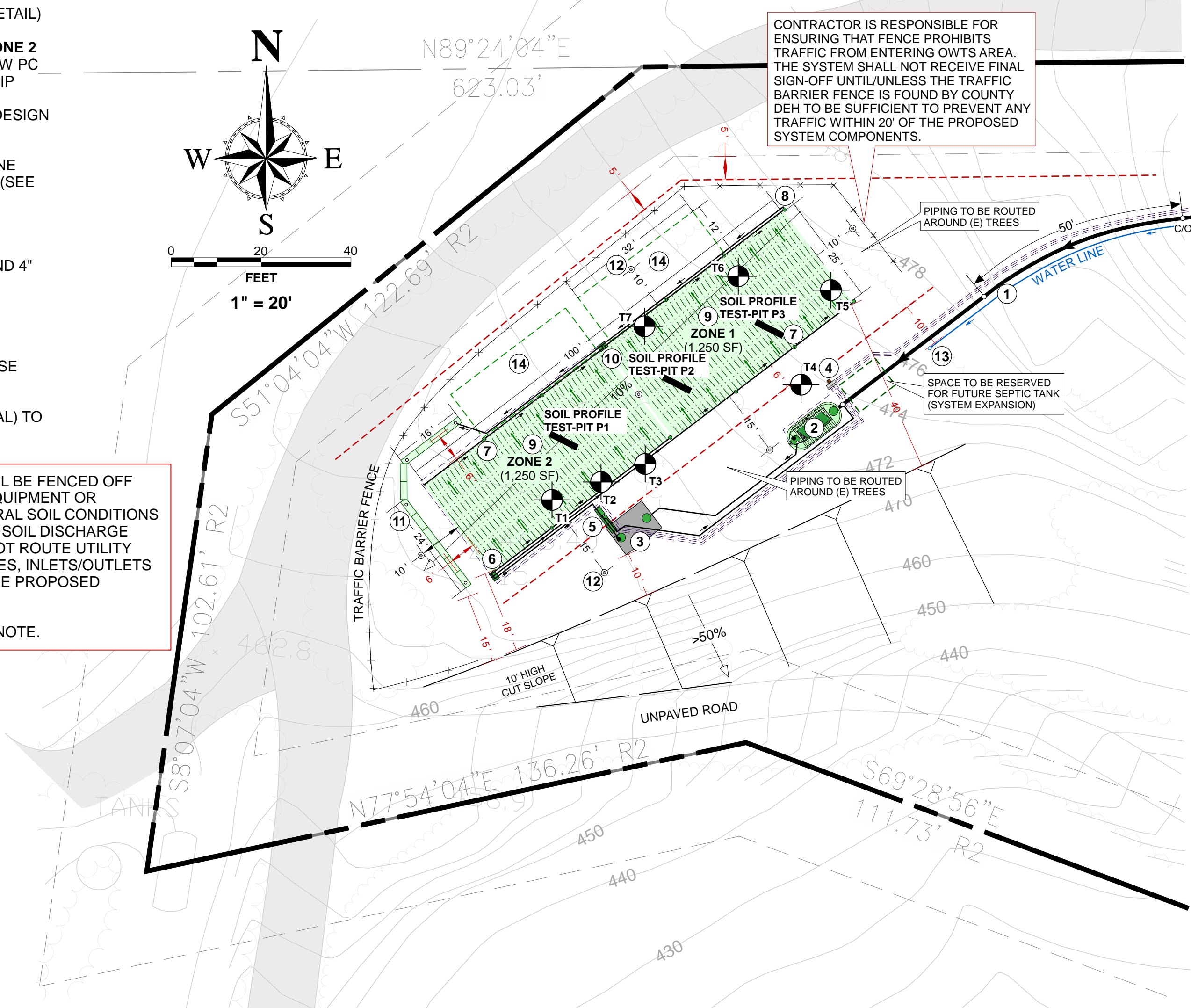
#### FIELD FLUSH VALVE BOX DETAIL



#### INFILTRATOR QUICK4 EQUALIZER 24 LOW PROFILE DRAINFIELD TRENCH CONSTRUCTION DETAIL



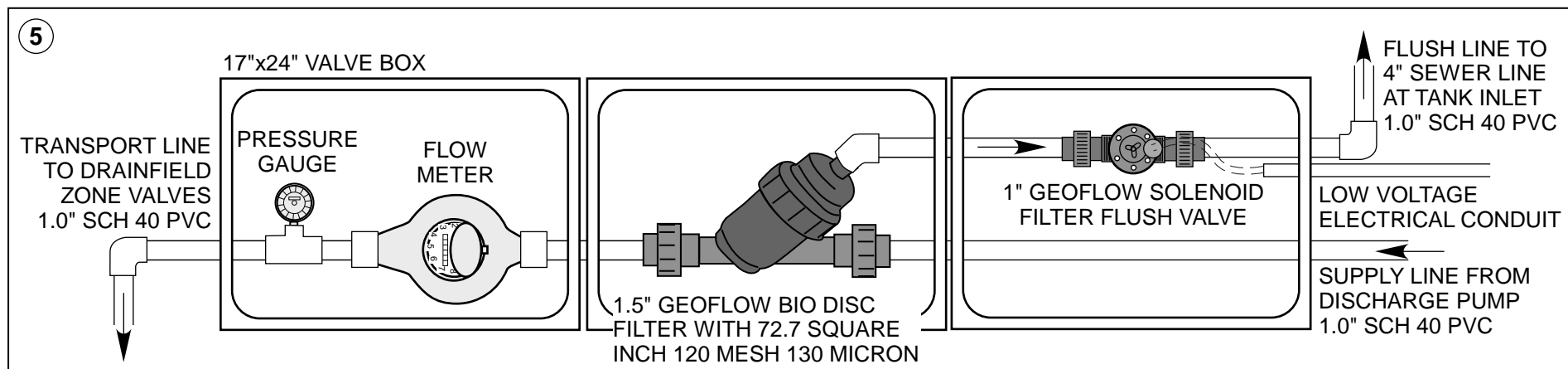
NOTE: THIS MAP WAS PREPARED SOLELY FOR THE PURPOSES OF THE SEPTIC SYSTEM DESIGN AND SHOULD NOT BE CONSTRUED AS SUFFICIENT FOR OTHER PURPOSES. LOCATIONS ARE APPROXIMATE. BIOSPHERE CONSULTING, INC. SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE CAUSED TO UTILITIES DURING CONSTRUCTION.



#### SOIL PERCOLATION SUMMARY TABLE 10-13-15

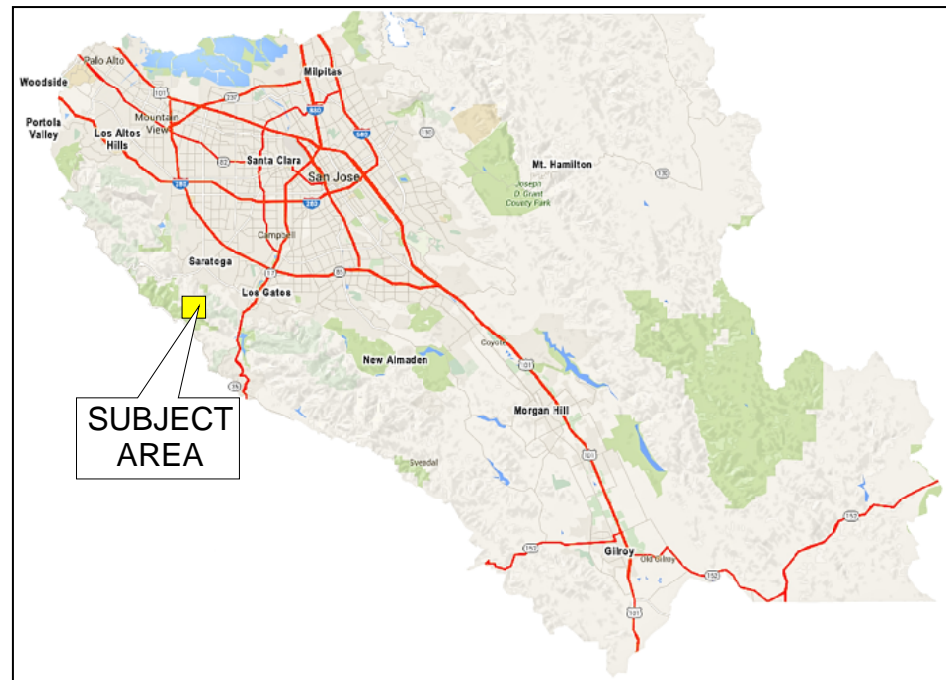
Percolation Hole (#)	T1	T2	T3	T4	T5	T6	T7
Depth	2"	1"	1.5"	1.5"	2"	1"	1"
Stabilized MPI	R	9	7	19	6	76	16
Adjusted Stabilized MPI	R = R x 1.4	13	10	27	8	106	22
Avg. Adj. Stabilized MPI	R = (Σ R) / #Holes	28 MPI = 0.7 GPD / SF					
# Bedrooms:	FOR OFFICE USE ONLY						Leach Line (Ft)

#### HEADWORKS VALVE BOX DETAIL

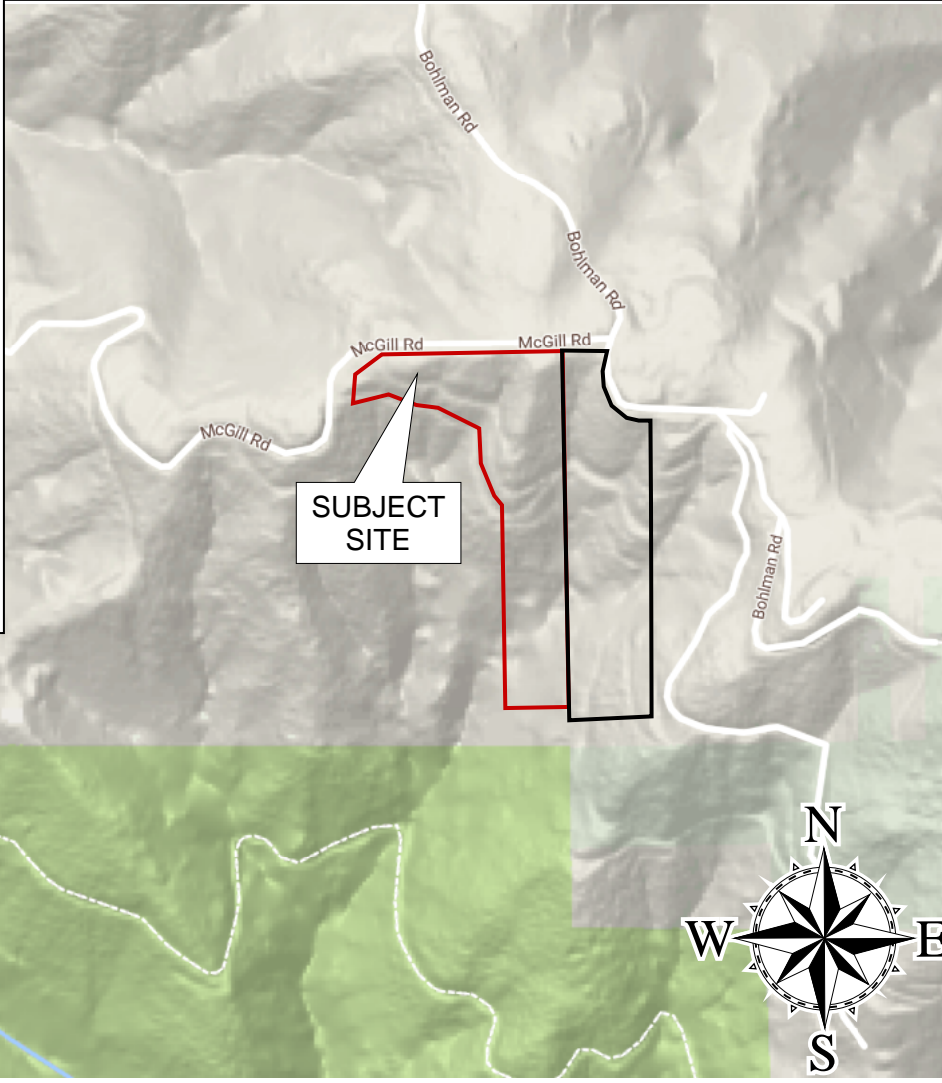


NOTE: THE BOTTOM OF ALL VALVE BOXES SHALL BE SECURELY WRAPPED WITH 20-GAUGE, GALVANIZED HEXAGONAL WIRE NETTING WITH 1" TO 1-1/2" SPACING TO PREVENT BURROWING ANIMALS FROM ENTERING AND FILLING THE VALVE BOXES.

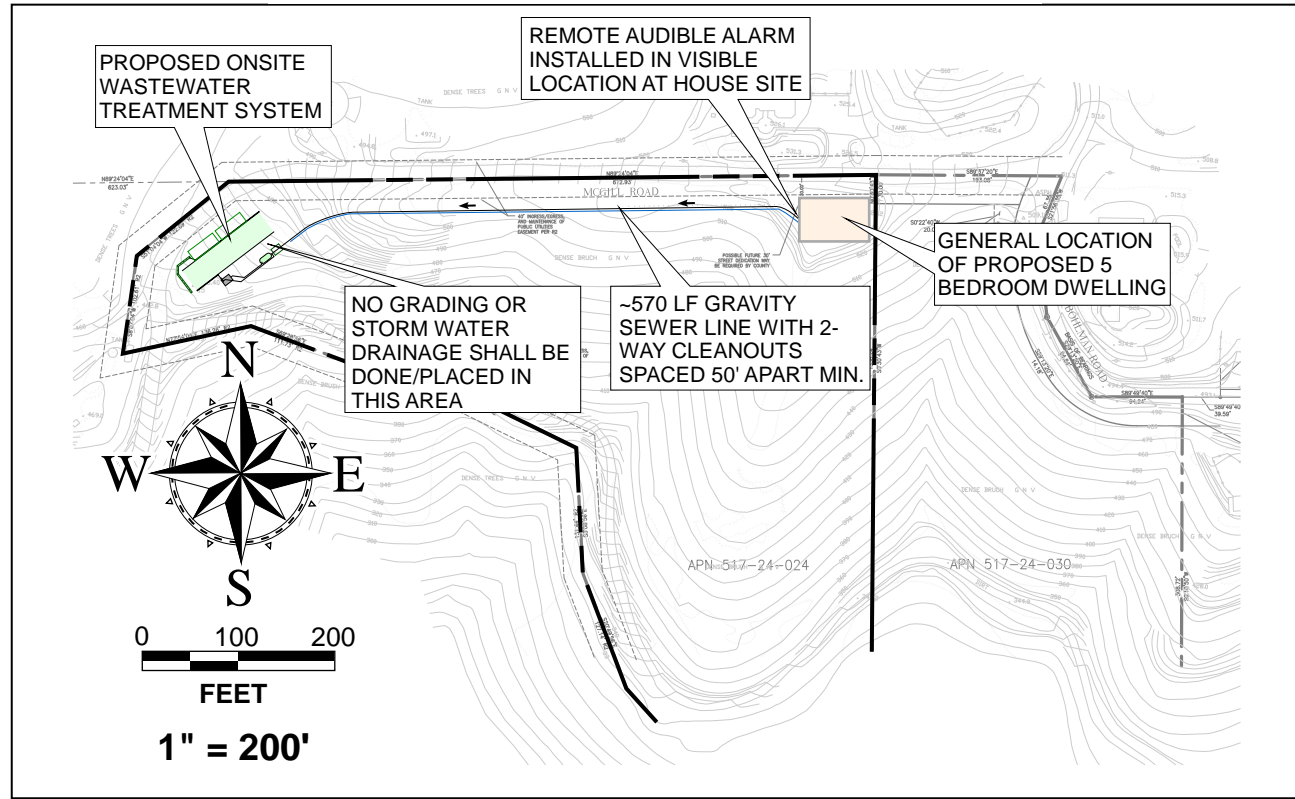
#### COUNTY INDEX MAP



#### TOPOGRAPHIC VICINITY MAP



#### PROPOSED DEVELOPMENT AREA



#### Soil Profile Test Data

Owner: Gazala Khan & Nitin Gupta  
17025 McGill Rd., Saratoga, CA  
APN 517-24-024

#### Test Conducted on 10/6/2015

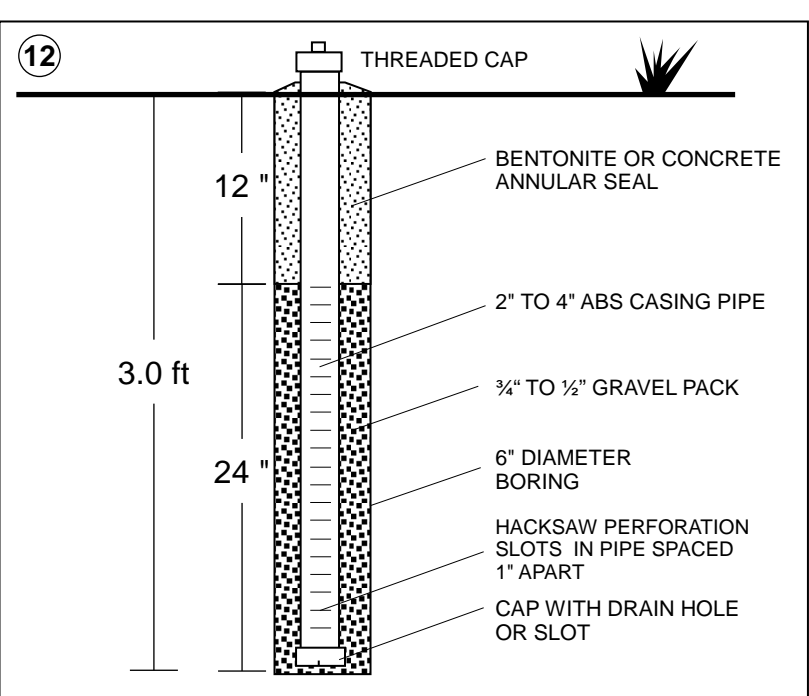
By Chris Day, R.E.H.S. Tel. 650-293-1045  
Witnessed by: Darius Haghighi, R.E.H.S.  
Santa Clara County EH

Soil Profile Test Hole #1	Depth: 4 ft.
0-48"	Decomposed Sandstone / Clay Sand Roots Coarse & Medium Pores Coarse & Common Weak Subangular Structure Approximately 75% Rock Dry Condition of Soil Color Light Tan No Mottling

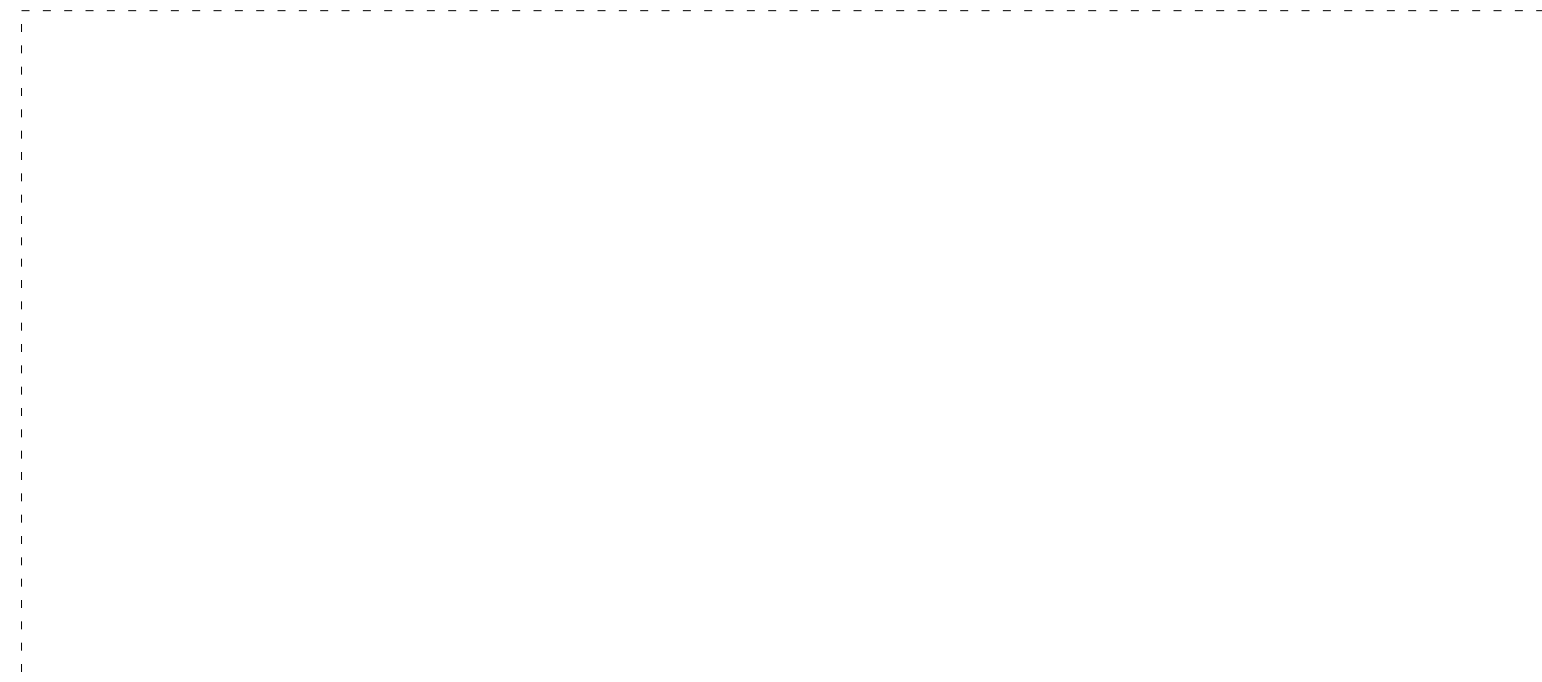
Soil Profile Test Hole #2	Depth: 1 ft.
2-12"	Fractured Shale / Rock Patch

Soil Profile Test Hole #3	Depth: 4 ft.
0-24"	Decomposed Sandstone / Clay Sand Roots Fine & Medium Pores Coarse & Common Weak Subangular Structure Approximately 60% Rock Dry Condition of Soil Color Light Tan No Mottling
24-36"	Fractured Shale / Rock Patch
36-48"	Decomposed Sandstone / Clay Sand Roots Fine & Few Pores Coarse & Common Weak Subangular Structure Approximately 75% Rock Dry Condition of Soil Color Light Tan No Mottling

#### INSPECTION WELL CONSTRUCTION DETAIL



#### COUNTY E.H. ACCEPTANCE/APPROVAL STAMPS



- Site Evaluation & Mapping
- Soil Analysis & Percolation Testing
- New Development, Upgrade & Repairs
- Residential & Commercial

1315 King Street  
Santa Cruz, CA 95060  
Tel: (831) 430-9116

Alternative Wastewater System Design

www.biosphere-consulting.com

#### ONSITE WASTEWATER TREATMENT SYSTEM DESIGN

Project Location:	17025 McGill Rd, Saratoga, California	(Santa Clara County)
Property Owner:	Milind Khandare	
Mailing Address:	560 Hope St, Apt 27, Mountain View, CA 94041	
Owner Phone #:	(312) 607-9870	
Date:	05/03/18	By: Andrew Brownstone
REVISION:	06/04/18 03/12/21	Job No.: 21006 APN: 517-24-024
Sheet:		1 OF 2



PROJECT DESCRIPTION

An onsite wastewater system specifying enhanced treatment using alternative technology is proposed to serve new development of a five bedroom dwelling to be constructed at 17025 McGill Rd, Saratoga in Santa Clara County, California. An "alternative" system with subsurface drip dispersal is specified to provide supplemental treatment of the wastewater discharged on the site to address the limiting soil conditions and adjacent steep slopes on the subject property.

- CONSTRAINTS & DESIGN CRITERIA
- The proposed AdvanTex™ wastewater treatment and dispersal system is designed to serve a 5 bedroom dwelling with a design wastewater flow of 600 gallons per day (gpd) per County DEH guidelines.
  - Soil profiles logged and recorded in the proposed drainfield area did not exhibit any evidence of seasonally high groundwater conditions. Seasonally high groundwater is estimated to occur at greater than 5' below grade.
  - No wells, springs or watercourses are situated within 100' of the proposed Onsite Wastewater Treatment System.

- SPECIFICATIONS
1. Building Sewer Lines, & Proposed Processing Tank.
- 1.1. A 4" ABS building sewer line shall be installed to convey all raw sewage from dwelling to the processing tank. All gravity sewer piping must maintain a minimum 2% continuous gradient.
- All wastewater including graywater shall be discharged to the processing tank.**
- 1.2. Locate a 2-way, 4" ABS cleanout fittings on the building sewer to facilitate snaking and line location.
- 1.3. A 1,500 gallon, watertight, Fiberglass Reinforced Polyester (FRP) tank, from Orenco Systems®, Inc.(OSI), is specified for use as a processing tank with the proposed AdvanTex™ (Mode 1) treatment system. The tank shall have 24" diameter OSI access risers with fiberglass, bolt-down lids (brown). The tank shall be installed according to the manufacturers guidelines including the 6" concrete collar above tank flange to prevent floatation. Tanks sufficiently close to roadway for pumpster truck to access.
- 1.4. The tank hole shall be excavated so that the tank sits level. Install the access risers with a watertight joint using the adhesives supplied by manufacturer.
- 1.5. Install the tank inlet fitting with a watertight joint. Cap off or use a test plug on this fitting and fill the tank with clean water 2" above the joint between the riser and the tank top. Repair any leaks.
- 1.6. Obtain a watertight tank inspection by EH and the designer or distributor with 24 hours notice to each.
- 1.7. Install the recirculating splitter valve (RSV) in the outlet side of the tank according to the installation manual instructions.

2. AdvanTex™ Treatment System
- 2.1. An AdvanTex™ treatment system includes a Biotube® pump package for recirculation, RSV, split-flow tee, a AX20 packed-bed filter pod(s) and a telemetry-enabled VeriComm® control panel.
- 2.2. Install the AdvanTex™ system according to the installation instructions and in the location shown on the plan. *The filter pod shall be installed with the lid (brown) 2"-4" above final grade. A more shallow burial is possible, but only if approved by the property owner.*
- 2.3. The pressurized transport pipe from the recirc. pump to the filter pod shall be 1.0" schedule 40 PVC. This pressurized line shall be plumbed to the side of the pod opposite of the 2" gravity drain (vent side)
- 2.4. The filtrate gravity return pipe from the filter pod to the RSV and on to the discharge pump basin shall be 2" schedule 40 PVC. **Assure continuous fall on the return piping as venting through this pipe is critical.**
- 2.5. Test the squirt height on the filter pod. It should be approximately 3'-4" high.
3. Discharge Pump Tank and Filtrate Pumping
- 3.1. A 2,000 gallon Chapin concrete pump tank shall be installed adjacent to the processing tank.
- 3.2. The pump tank shall be installed according to the manufacturer's instructions and be made watertight.
- 3.3. Install the pump and float tree according to the instructions provided by manufacturer/dealer.
- 3.4. A 1 hp OSI high head effluent pump (PF1010) is specified for pressurized dispersal discharge.
- 3.5. The filtrate transport pipe to dispersal system shall be 1.0" schedule 40 PVC.

4. Subsurface Drip Dispersal System
- 4.1. Approximately 2,500 lineal feet of Geoflow PC drip tubing (with 0.5gph emitters spaced 12" apart) shall be installed with a minimum of 12" lateral spacing covering an area of at least 2,500 square feet in the configuration shown on the plan. The drip field shall be divided evenly into two zones. The 12 air/vacuum relief valves specified shall be supplied by Geoflow. An additional 750 square feet of area shall be reserved and designated as future drip expansion to accommodate a potential future 2 bedroom ADU.
- 4.2. The drip dispersal field shall be installed according to the instructions in the Geoflow installation manual. Installer shall assure that each drip lateral be installed in such a manner as to reduce the potential of low head drainage as described in the installation manual. The actual location and layout of the dispersal field may vary per owner's, landscaper's or installer's discretion with approval by designer.
- 4.3. The drip tubing lines shall be buried 8"-10" deep and spaced no closer than 12" apart. The supply header shall be installed 12" - 18" below grade. It may be easier to install the drip tubing first, and the supply and return headers afterwards. Great care must be taken to keep dirt out of the drip tubing and supply and return piping. All piping shall be thoroughly flushed and pressure tested prior to use.
- 4.4. The drip field flush return line is specified to be routed to a 48"-long trench with 12 Quick4 Equalizer 24 Infiltrator chambers.
- 4.5. All pressurized piping shall be schedule 40 PVC and labelled according to current UPC requirements "treated wastewater - do not drink". Pressure piping shall be pressure-rated to 150 psi and solvent welded.
- 4.6. Concrete thrust blocks, or equivalent restraint, shall be provided at sharp changes in piping direction.
- 4.7. Drainfield shall meet Santa Clara County guidelines for Tree Protection and Preservation for Land Use Applications. Refer to the Santa Clara County Ordinance C-16 Tree Preservation Removal.

5. Installer Qualifications and Responsibilities
- 5.1. The system installer shall be licensed by the State of California, Department of Consumer Affairs, to install septic systems. Installer certification is required by the local AdvanTex™ dealer. The installer is required to fully read and understand the AdvanTex™ and Geoflow manuals prior to the commencement of work.
- 5.2. All piping shall conform to the current edition of the Plumbing Code.
- 5.3. The installer shall be responsible for locating any property lines, underground utilities or piping. Any damage to these facilities shall be the responsibility of the installer.
- 5.4. Installer shall be responsible for assuring that traffic barrier prevents encroachment closer than 20' from proposed OWTS components.
- 5.5. A pre-construction conference with designer, inspector and dealer/service provider shall be arranged prior to the commencement of work. Pre-construction conference should include construction procedures, staking or marking of the drip lines, supply and return piping, pump system and appurtenances to be provided. Construction inspections, watertight tank test inspection, AdvanTex™ installation inspection, and final operation of system shall be made by designer (BioSphere Consulting) or local distributor and system service provider and the County of Santa Clara Department of Environmental Health (408-918-3400). Construction inspection should include inspection of the following: water tightness of effluent dosing (pump) tank, drip field layout, piping materials and installation, and all associated valves and connections, hydraulic testing of the drip system and functionality and setting of all control devices. Final inspection shall be performed in order to verify that all construction elements are in conformance with the approved plans, specifications, and manufacturer recommendations; all inspection wells are installed; and erosion control has been completed. The installer shall give at least 24 hours notice to each party for all inspections. Designer shall provide final installation approval letter and as-built drawings per DEH requirements.

6. Electrical Work
- 6.1. The VeriComm® control panel shall be installed in the location shown on the map **with the bottom of the panel box at 51" from the ground surface.**
- 6.2. One, 20 amp, 120V electrical circuit and two 20 amp, 230V electrical circuits shall be extended to the VeriComm® panel in a single conduit. Underground circuits in separate conduits shall be installed from the panel to the recirculation pump and discharge pump. A separate underground conduit containing a live CAT5 phone line shall be installed to the VeriComm® panel. The system will not be final led until everything (including panel telemetry) is functional.
- 6.3. All work shall conform to the California Electrical Code and the contractor shall be responsible for obtaining any electrical permits required.
7. Site Clean up and Erosion Control Measures
- 7.1. All excavated areas shall be smoothed and all construction debris shall be removed from the site.
- 7.2. All disturbed soils shall be seeded and mulched. Erosion Control Mix seed shall be used at the coverage recommended on the package for all disturbed soil.
- 7.3. Straw shall be used to cover all disturbed soil.
- 7.4. PER DIVISION C12, CHAPTER III OF THE COUNTY CODE (Sec. C12-513. Temporary erosion control.)
- "The permittee and any person(s) doing, causing or directing the grading shall install and maintain all precautionary measures necessary to protect adjacent watercourses and public or private property from damage by erosion, flooding, or deposition of mud or debris originating from the site. Precautionary measures must include provisions of properly designed erosion prevention and sediment control measures, so that downstream properties are not affected by upstream erosion or sediment transport by stormwater."

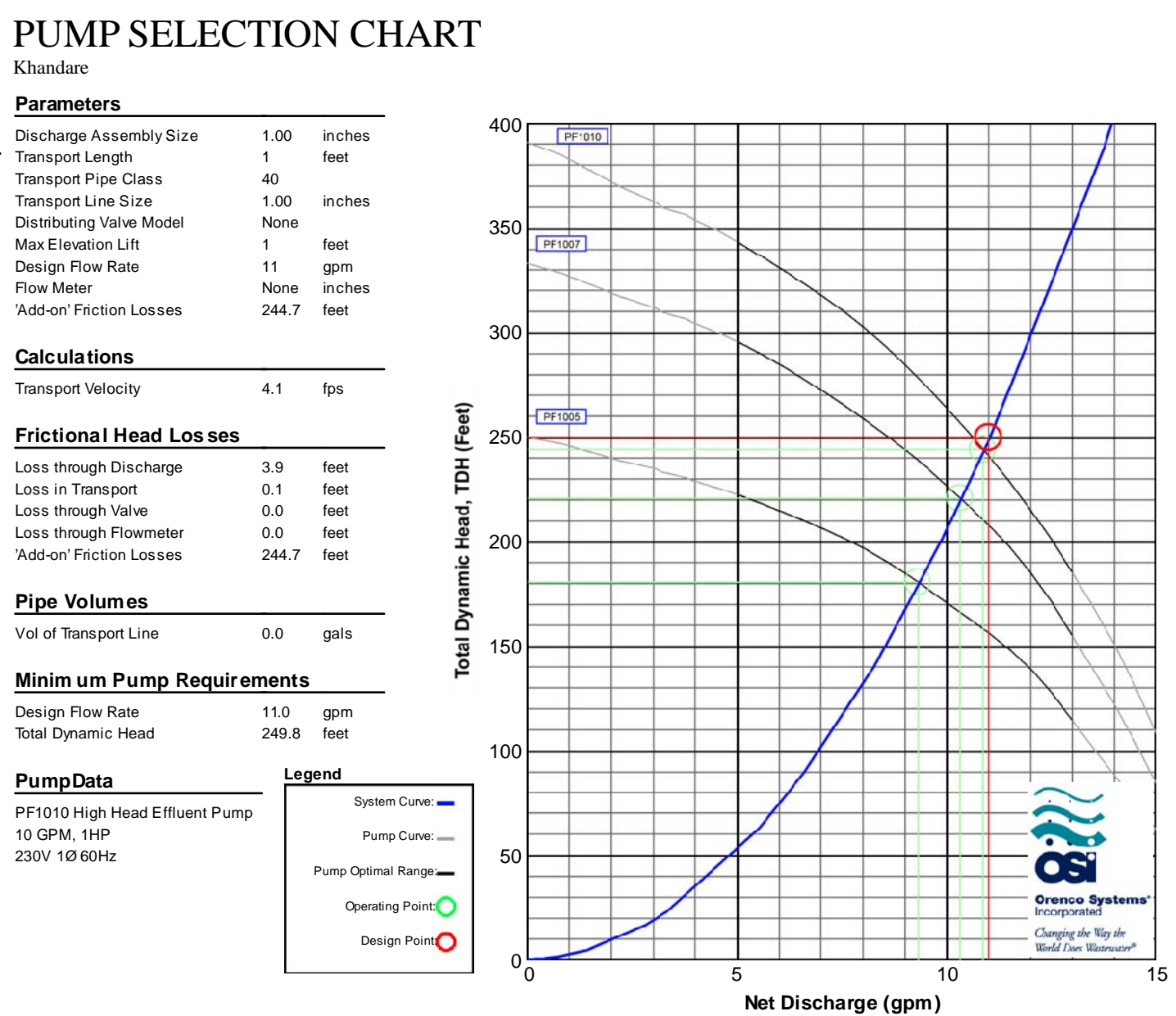
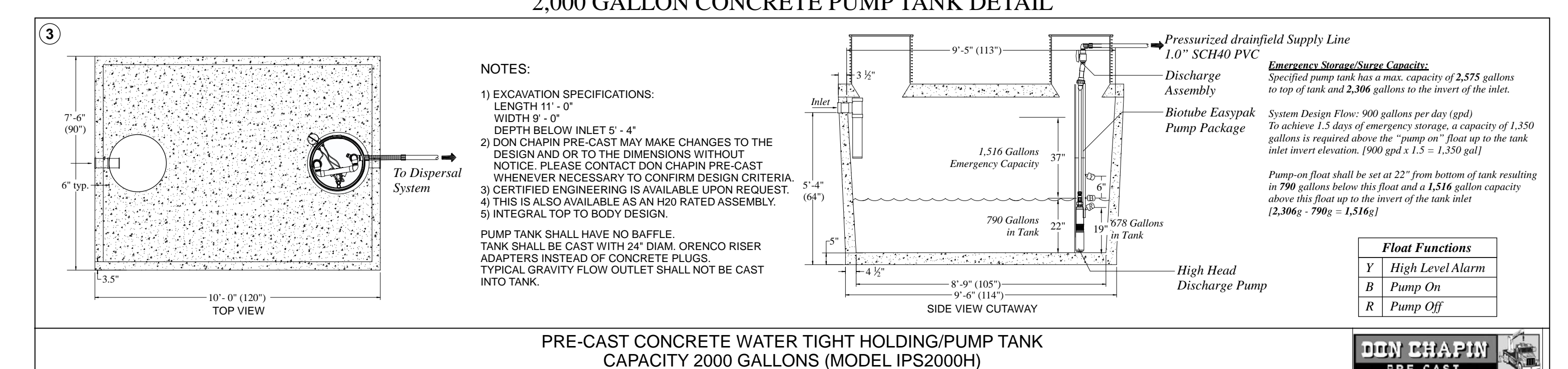
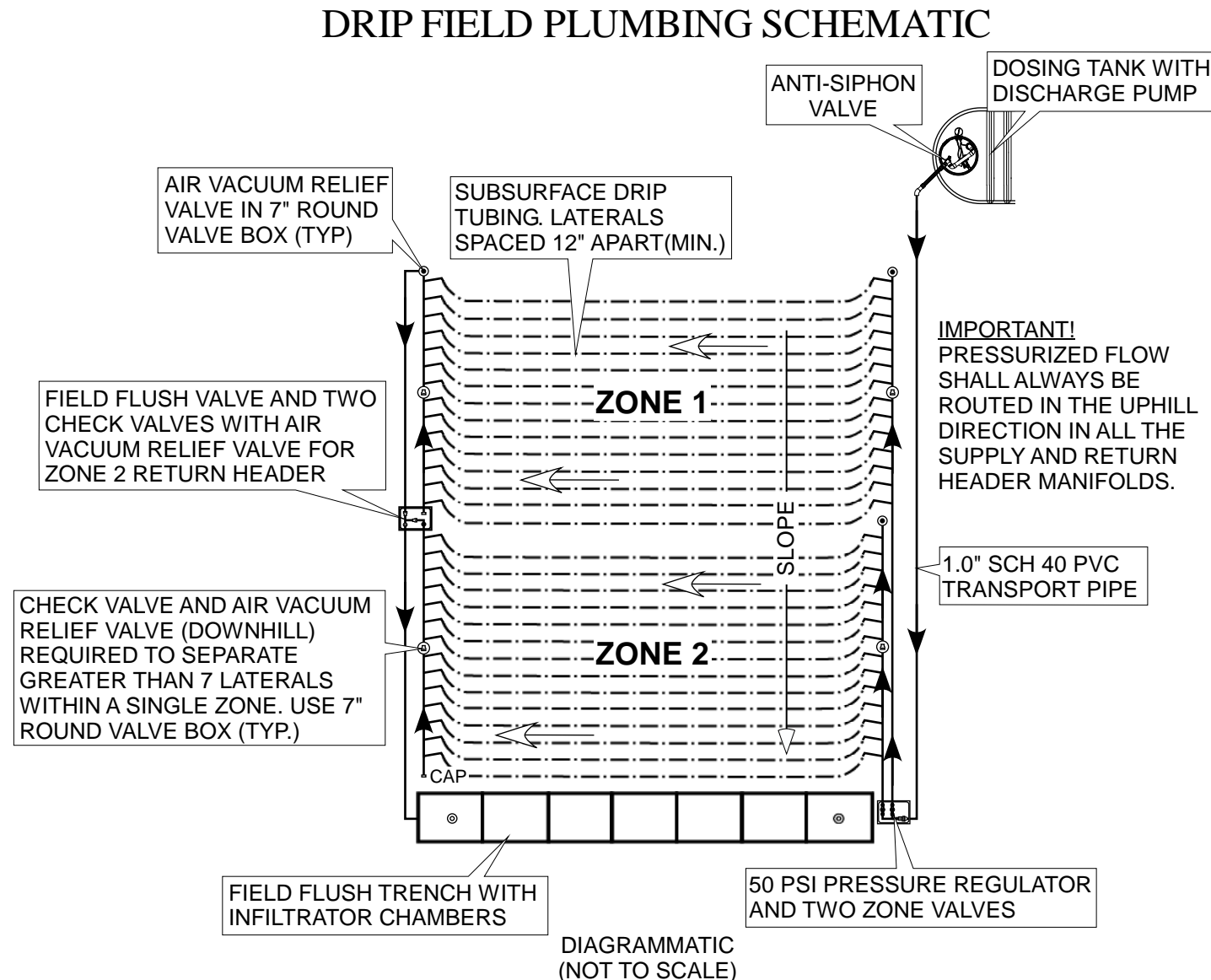


TABLE DD-2. DRIP DISPERSAL SYSTEM MANAGEMENT REQUIREMENTS

	WORK	FREQUENCY
Inspection	<ul style="list-style-type: none"><li>Conduct routine visual observations of drip field, downspout area and surroundings for wet areas, pipe leaks or damage, soil erosion, drainage issues, abnormal vegetation, gophers or other problems.</li><li>Conduct routine physical inspections of system components, including valves, filters, and headworks (bores).</li><li>Perform special inspections of drip field at time of any landscaping work or other digging in drip field area.</li><li>Perform inspections of dosing pump(s) and appurtenances (per O&amp;M Manual and Performance Evaluation Guidelines, Part 5 of this Manual).</li><li>Record observations.</li><li>Manually remove and clean filter.</li><li>Clean and check operation of pressure-reducing valves.</li><li>Clean flush valves and vacuum release valves.</li><li>Measure and record water levels in dispersal field monitoring wells, as applicable, per permit requirements.</li><li>Obtain and analyze water samples from dispersal field monitoring wells, as applicable, per permit requirements.</li></ul>	<ul style="list-style-type: none"><li>Every 6 to 12 months.</li><li>Clean filter every 6 months.</li><li>Other maintenance annually.</li><li>According to permit conditions, if applicable.</li></ul>
Maintenance	<ul style="list-style-type: none"><li>Report findings to DEH per permit requirements.</li><li>Standard report to include dates, monitoring well and other data collected, work performed, corrective actions taken, and performance summary.</li><li>Report public health/water quality emergency to DEH immediately.</li></ul>	<ul style="list-style-type: none"><li>According to permit conditions, typically every 1 to 2 years, depending on systems size, usage, history, location.</li></ul>
Water Monitoring & Sampling		
Reporting		



GEOFLOW SUBSURFACE DRIP

FIELD FLOW

Job Description: Khandare

Contact: Milind Khandare

Prepared by: Andrew Brownstone

Date: 2/22/2019

Please fill in the shaded areas and drop down menus:

This spreadsheet is a guide for small systems with residential waste & is not a complete hydraulic design.

Worksheet 1 - Field Flow

Total field

Total Quantity of effluent to be disposed per day	600	gallons / day
Hydraulic loading rate	0.48	gallons / sq ft / d
Minimum Dispersal Field Area	1,250	square ft.
Total Dispersal Field Area	1,250	square ft.

Flow per zone

Number of zones	1 (zone(s))	
Dispersal area per zone	1,250	square ft.
Choose line spacing between WASTEFLOW lines	1	ft.
Choose emitter spacing between WASTEFLOW emitters	1	ft.
Total linear ft. per zone (minimum required)	1,250	ft. per zone
Total number of emitters per zone	1,250	emitters per zone
Select Wasteflow dripline (16mm)	Wasteflow PC - 1/2gph	dripline
Length of longest dripline lateral	25	ft.
Minimum dosing pressure required at end of dripline	69.30	ft. 30.00 psi
Loss through dripline during flushing	0.32	ft. 0.14 psi
Total minimum required dripline pressure	69.62	ft. 30.14 psi
Pressure at the beginning of the dripline	50	psi
Feet of Head at the beginning of the dripline	115.5	ft.
What is the flow rate per emitter in gph?	0.53	gph
Dose flow per zone	11.04	gpm

If required, choose flush velocity

How many lines of WASTEFLOW per zone?	0.5	ft/sec
Fill in the actual length of longest dripline lateral	25	ft.
Flush flow required at the end of each dripline	0.37	gpm
Total Flow required to achieve flushing velocity	18.50	gpm
Total Flow per zone - worst case scenario	29.54	gpm

Select Filters and zone valves

Select Filter Type	BioDisc Filter	
Recommended Filter (item no.)	BioDisc Filter-150	
Select Zone Valve Type	Electric Solenoid	
Recommended Zone Valve (item no.)	3.5	0

Dosing

Number of doses per day / zone:	12	doses
Timer ON. Pump run time per dose/zone:	4.32	mins:secs
Timer OFF. Pump off time between doses	1.55	mins:mins
Per Zone - Pump run time per day/zone:	0.54	mins:mins
All Zones - Number of doses per day / all zones	12	doses / day

PUMP SIZING

Job Description: Khandare

Contact: Milind Khandare

Prepared by: Andrew Brownstone

Date: 2/22/2019

Please fill in the shaded areas and drop down menus:

This spreadsheet is a guide for small systems with residential waste & is not a complete hydraulic design. Pressure losses may be grossly overestimated, particularly if designing with WASTEFLOW Classic. The letters on the diagram(right) match the letters in section 2 below.

Worksheet - Pump Sizing

Section 1 - Summary from Worksheet 1

Flow required to dose field	11.04	gpm
Flow required to flush field	18.50	gpm
Flow required to dose & flush field	29.54	gpm
Filter	BioDisc Filter-150	
No. of Zones	1	zones
Zone valve	3.50	
Dripline	Wasteflow PC - 1/2gph	
Dripline longest lateral	25.00	ft.

Section 2

A. Flush line - Losses through return line

Select Pipe from dropdown menu	PVC schedule 40	
Select Flush Line Diameter	1" inch	
Length of return line	160	ft.
Equivalent length of fittings	40	ft.
Elevation change. (If downhill enter 0)	0	ft.
Pressure loss in 100 ft of pipe	19.67	ft. 8.62 psi
Total pressure loss from end of dripline to return tank	39.3	ft. 17.03 psi

B. Dripline - Losses through Wasteflow dripline

Length of longest dripline lateral	25	ft.
Minimum dosing pressure required at end of dripline	69.30	ft. 30.00 psi
Loss through dripline during flushing	0.32	ft. 0.14 psi
Total minimum required dripline pressure	69.62	ft. 30.14 psi

A+B. Minimum Pressure required at beginning of dripline

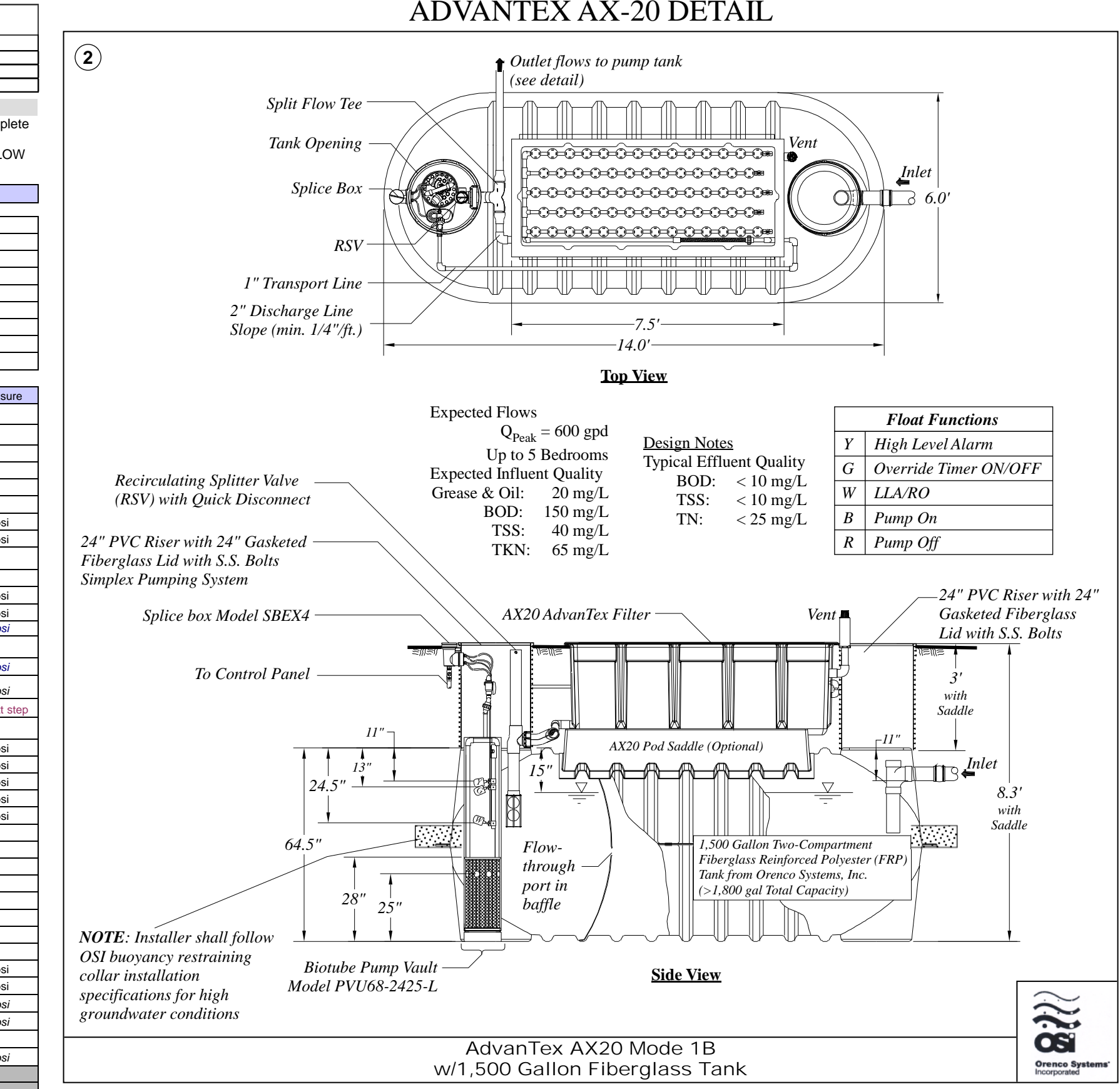
CALCULATED pressure required at beginning of drip	108.97	ft. 47.17 psi
SPECIFIED pressure at beginning of dripline (from v	115.5	ft. 50.00 psi
Greatest SPECIFIED Pressure is greater than CALCULATED Pressure requirement. Go to next step		

C. Drip components - Losses through headworks

Filter	11.6	ft. 5.00 psi
Zone valve pressure loss (not in diagram)	7.00	ft. . psi
Flow meter pressure loss (not in diagram)	5.00	ft. 2.16 psi
Other pressure losses	ft. . psi	
Total loss through drip components	23.55	ft. 7.16 psi

D. Supply line - Minimum Pressure head required to get from pump tank to top of dripline

Select Pipe from dropdown menu	PVC schedule 40	
Select Supply line diameter	1" inch	
Length of supply line	160	ft.
Equivalent length of fittings	40	ft.
Height from pump to tank outlet	5	ft.
Elevation change. (If downhill enter 0)	0	ft.
Pressure loss/gpm in 100 ft. of pipe	46.80	ft. 20.26 psi
Total gain or loss from pump to field	105.6	ft. 45.72 psi
Total dynamic head	244.7	ft. 105.91 psi
Pump capacity * -Field Flush Flow	29.5	gpm 105.91 psi
-Field Dose Flow	11.0	gpm
-Filter Flush Flow	-	gpm
Pump Model Number	-	psi
Voitz / Hp / phase	-	



- SYSTEM OPERATION AND MAINTENANCE
- The owner should read and operate the system according to the AdvanTex™ & Geoflow operation and maintenance literature.
  - Orenco requires biannual maintenance servicing of the AdvanTex™ by a qualified technician.
  - County Environmental Health will issue an OWTS Annual Operating Permit and requires that the property owner maintain a system service agreement/contract with a qualified third-party service provider. This requirement will be placed on the title deed for the property.
  - The drip fields shall be automatically flushed one zone at a time every 12 months at a minimum. This is done by the control panel software. No drip zone should be left dormant (un-dosed) for more than a few weeks at a time.
  - The treatment tank is alive with important microorganisms. Do not add any materials (paint thinner, paint, motor oil, unused medicine, etc.) that may disrupt the biologic treatment process. The primary tank should be pumped when the total of the scum/sludge thickness is greater than 1/3 of the total liquid level depth.
  - DO NOT ROUTE WATER SOFTENER BACKFLUSH DISCHARGE TO TREATMENT SYSTEM! This discharge may be routed directly to a drainfield trench or an approved dispersal field.
  - Repair all plumbing leaks (especially toilet leaks) promptly.

COUNTY E.H. ACCEPTANCE/APPROVAL STAMPS

Alternative Wastewater System Design

1315 King Street  
Santa Cruz, CA 95060  
Tel: (831) 430-9116

www.biosphere-consulting.com

ONSITE WASTEWATER TREATMENT SYSTEM DESIGN

Project Location: 17025 McGill Rd, Saratoga, California [Santa Clara County]

Property Owner: Milind Khandare

Mailing Address: 560 Hope St, Apt 27, Mountain View, CA 94041

Owner Phone #: (312) 607-9870

Date: 05/03/18 By: Andrew Brownstone

REVISION: 06/04/18 03/12/21

Job No.: 21006 APN: 517-24-024

Sheet: 2 OF 2



## CONDITION OF TITLE

Issued By:



**Fidelity National Title**  
Insurance Company

Guarantee Number:

**FSBC-TO21001710**

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, AND THE GUARANTEE CONDITIONS ATTACHED HERETO AND MADE A PART OF THIS GUARANTEE,

**FIDELITY NATIONAL TITLE INSURANCE COMPANY**  
a corporation, herein called the Company

### GUARANTEES

the Assured named in Schedule A of this Guarantee

against loss or damage not exceeding the Amount of Liability stated in Schedule A sustained by the Assured by reason of any incorrectness in the Assurances set forth in Schedule A.

**Fidelity National Title Company**  
675 N. First Street, 4th Floor  
San Jose, CA 95112

Countersigned By:

A handwritten signature in black ink, appearing to read 'John Killen'.

John Killen  
Authorized Officer or Agent



**Fidelity National Title Insurance Company**

By:

A handwritten signature in black ink, appearing to read 'Randy Quirk'.

Randy Quirk, President

Attest:

A handwritten signature in black ink, appearing to read 'Marjorie Nemzura'.

Marjorie Nemzura, Secretary

## ISSUING OFFICE:

Fidelity National Title Company  
675 N. First Street, 4th Floor  
San Jose, CA 95112  
Main Phone: (408)436-2700

**SCHEDULE A**

Amount of Liability	Fee	Title Officer
\$5,000.00	\$500.00	

Date of Guarantee: October 22, 2021 at 07:30 AM

1. Name of Assured: Milind Khandare

2. The estate or interest in the Land which is covered by this Guarantee is:

Fee as to Parcels One

Easements more fully described below as to Parcels Two

3. The Land referred to in this Guarantee is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

4. ASSURANCES:

According to the Public Records as of the Date of Guarantee,

a. Title to the estate or interest in the Land is vested in:

Milind Khandare and Neha Dobhal, a married couple, as joint tenants

b. Title to the estate or interest is subject to defects, liens or encumbrances shown in Schedule B which are not necessarily shown in the order of their priority.

**END OF SCHEDULE A**



**EXHIBIT "A"**  
Legal Description

For APN/Parcel ID(s): 517-24-024

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THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA IN COUNTY OF SANTA CLARA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL ONE:

A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 2 WEST, MOUNT DIABLO BASE AND MERIDIAN, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEASTERLY CORNER OF THAT CERTAIN 40 ACRE PARCEL OF LAND, AS DESCRIBED IN THE DEED FROM GEORGE C. CARRICK, ET AL, TO ROMAN T. CHAVEZ, ET AL, DATED DECEMBER 23, 1966, RECORDED JANUARY 25, 1967 IN BOOK 7622 OF OFFICIAL RECORDS, AT PAGE 415, SANTA CLARA COUNTY RECORDS; THENCE FROM SAID POINT OF BEGINNING ALONG THE EASTERLY LINE OF SAID 40 ACRE PARCEL OF LAND, N. 0° 59' W. 1320.00 FEET TO A 3/4 INCH IRON PIPE AT THE NORTHEASTERLY CORNER THEREOF; THENCE ALONG THE NORTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, S. 89° 01' W. 672.93 FEET TO A 3/4 INCH IRON PIPE; THENCE LEAVING SAID NORTHERLY LINE, THE FOLLOWING COURSES AND DISTANCES:

S. 50° 41' W. 122.69 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 7° 44' W. 102.61 FEET TO A 3/4 INCH IRON PIPE; THENCE N. 77° 31' E. 136.26 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 69° 52' E. 111.73 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 82° 18' E. 79.12 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 64° 12' E. 172.52 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 3° 32' E. 131.44 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 21° 13' E. 127.14 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 42° 25' E. 45.64 FEET TO A POINT; THENCE S. 0° 59' E. 755.06 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, ABOVE REFERRED TO; THENCE ALONG THE SOUTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, N. 89° 01' E. 234.52 FEET TO THE POINT OF BEGINNING.

PURSUANT TO CERTIFICATE OF COMPLIANCE RECORDED NOVEMBER 7, 2012 IN INSTRUMENT NO. 21940934 OF OFFICIAL RECORDS.

PARCEL TWO:

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS AND THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES OVER A STRIP OF LAND, 40.00 FEET IN WIDTH, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT A NAIL AND SHINER IN BOLLMAN ROAD, WHICH BEARS N. 89° 01' E. 157.57 FEET FROM THE NORTHEASTERLY CORNER OF THE CERTAIN 40 ACRE PARCEL OF LAND, AS DESCRIBED IN THE DEED FROM GEORGE C. CARRICK, ET AL, TO ROMAN T. CHAVEZ, ET AL, DATED DECEMBER 23, 1966, RECORDED JANUARY 25, 1967 IN BOOK 7622 OF OFFICIAL RECORDS, AT PAGE 415, SANTA CLARA COUNTY RECORDS; THENCE FROM SAID POINT OF BEGINNING AND ALONG THE EASTERLY PROLONGATION OF THE NORTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, AND THE NORTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, S. 89° 01' W. 830.50 FEET TO A 3/4 INCH IRON PIPE; THENCE LEAVING THE NORTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, THE FOLLOWING COURSES AND DISTANCES:

S. 50° 41' W. 122.69 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 7° 44' W. 102.61 FEET TO A 3/4 INCH IRON PIPE; THENCE N. 77° 31' E. 136.26 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 69° 52' E. 111.73 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 82° 18' E. 79.12 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 64° 12' E. 172.52 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 3° 32' E. 131.44 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 21° 13' E. 127.14 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 42° 45' E. 45.64 FEET TO A POINT AND THE TERMINUS OF THE LINES DESCRIBED HEREIN, THE EASTERLY TERMINUS OF SAID 40.00 FOOT EASEMENT IS TO TERMINATE IN BOLLMAN ROAD, AND THE SOUTHEASTERLY TERMINUS OF THE SOUTHWESTERLY LINE OF SAID 40.00 FOOT EASEMENT IS TO TERMINATE ON THE WESTERLY LINE OF SAID 10.00 ACRE PARCEL OF LAND, FIRST ABOVE DESCRIBED.

**EXHIBIT "A"**  
Legal Description

EXCEPTING FROM THE FIRST ABOVE DESCRIBED 10.00 ACRE PARCEL OF LAND, AN EASEMENT FOR INGRESS AND EGRESS AND THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES OVER SO MUCH THEREOF AS LIES WITHIN THE FOREGOING DESCRIBED EASEMENT.

EXCEPTING FROM SAID 10 ACRE PARCEL OF LAND AN UNDIVIDED 4/8 INTEREST IN AND TO ALL AVAILABLE WATER EXISTING THEREON, AN UNDIVIDED 2/8 INTEREST THEREOF HAVING BEEN DESCRIBED IN THE DEED FROM VICTOR M. BELATTI TO STANGLEY WILLIAMS AND ADRIENNE WILLIAMS, HIS WIFE, DATED SEPTEMBER 25, 1951 AND RECORDED APRIL 24, 1952 IN BOOK 2395 OF OFFICIAL RECORDS, PAGE 633 AND AN UNDIVIDED 1/8 INTEREST THEREOF HAVING BEEN DESCRIBED IN THE DEED FROM VICTOR M. BELLATTI TO WILLIS A. RODINO AND JEANETTE K. RODINO, HIS WIFE, DATED NOVEMBER 27, 1951 AND RECORDED APRIL 4, 1952 IN BOOK 2395 OF OFFICIAL RECORDS, PAGE 636; AND AN UNDIVIDED 1/8 INTEREST HAVING BEEN DESCRIBED IN THE DEED FROM SAN JOSE ABSTRACT AND TITLE INSURANCE COMPANY TO HARRY PETERSON AND JEANNE PETERSON, HUSBAND AND WIFE, DATED NOVEMBER 17, 1953 AND RECORDED DECEMBER 14, 1953 IN BOOK 2777 OF OFFICIAL RECORDS, PAGE 593.

ALSO TOGETHER WITH A RIGHT OF WAY FOR INGRESS AND EGRESS OVER ALONG ANY AND ALL EXISTING ROADS RUNNING THROUGH THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 24.

**SCHEDULE B****1. OWNERSHIP OF THE INTEREST IS IN THE NAME OF:**

- a. Milind Khandare and Neha Dobhal, a married couple, as joint tenants

**2. REAL ESTATE TAXES:**

- a. Property taxes, including any personal property taxes and any assessments collected with taxes are as follows:

Code Area: 60-039  
Tax Identification No.: [517-24-024](#)  
Fiscal Year: 2021-2022  
1st Installment: \$3,787.41 open  
2nd Installment: \$3,787.41 open  
Land: \$625,000.00

- b. Supplemental assessment for 2021-2022:

1st Installment \$942.95, delinquent \$114.29  
Must be Paid By: August 2, 2021  
2nd Installment: \$942.95, open  
Must be Paid By: November 30, 2021  
Bill No.: 517-24-024-01

- c. The herein described property lies within the boundaries of a Mello-Roos Community Facilities District (CFD) as follows:

CFD No.: 2013-1  
For: Mello-Roos Community Facilities Act of 1982  
Disclosed by: Notice of Special Tax Lien  
Recording Date: January 22, 2014  
Recording No.: 22502535, Official Records

This property, along with all other parcels in the CFD, is liable for an annual special tax. This special tax is included with and payable with the general property taxes of the Unincorporated Area, County of Santa Clara. The tax may not be prepaid.

Further information may be obtained by contacting:  
Fiscal Agent of the Santa Clara County Library District Joint Powers  
1370 Dell Avenue  
Campbell CA 95008  
408-293-2326 x3004

- d. The herein described Land is within the boundaries of the Mello-Roos Community Facilities District(s). The annual assessments, if any, are collected with the county property taxes. Failure to pay said taxes prior to the delinquency date may result in the above assessment being removed from the county tax roll and subjected to Accelerated Judicial Bond Foreclosure. Inquiry should be made with said District for possible stripped assessments and prior delinquencies.
- e. Any liens or other assessments, bonds, or special district liens including without limitation, Community Facility Districts, that arise by reason of any local, City, Municipal or County Project or Special District.



**SCHEDULE B**

(continued)

- f. The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy.

**3. THE FOLLOWING DEFECTS, LIENS AND ENCUMBRANCES (WHICH ARE NOT NECESSARILY SHOWN IN THEIR ORDER OF PRIORITY) AGAINST THE INTEREST:**

- a. Rights of the public to any portion of the Land lying within the area commonly known as McGill Road.
- b. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
- Granted to: Stanley Williams, et al  
Purpose: ingress and egress  
Recording Date: April 4, 1952  
Recording No.: [788658](#), Book 2395 of Official Records, page 633  
Affects: as described in said document herein referred to
- c. Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document:
- Reserved by: Anthony T. Chevez, et al  
Purpose: ingress and egress and public utilities  
Recording Date: June 24, 1969  
Recording No.: [3640248](#), Book 8579 of Official Records, page 472  
Affects: as described in said document herein referred to
- d. Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
- Granted to: Midpeninsula Regional Open Space District  
Purpose: public trail easement  
Recording Date: March 2, 2018  
Recording No.: [23879341](#)  
Affects: as described in said document herein referred to
- e. A deed of trust to secure an indebtedness in the amount shown below,
- Amount: \$373,750.00  
Dated: December 22, 2020  
Trustor/Grantor: Milind Khandare and Neha Dobhal, a married couple, as joint tenants  
Trustee: Olivia Todd  
Beneficiary: U.S. Bank National Association  
Recording Date: December 31, 2020  
Recording No.: [24771104](#)
- f. Water rights, claims or title to water, whether or not disclosed by the public records.
- g. Any easements not disclosed by the public records as to matters affecting title to real property, whether or not said easements are visible and apparent.

**SCHEDULE B**

(continued)

- h. Any rights of the parties in possession of a portion of, or all of, said Land, which rights are not disclosed by the Public Records.

**4. THE FOLLOWING MATTERS ARE DISCLOSED BY NAME ONLY AND THE COMPANY, WITHOUT ADDITIONAL INFORMATION, IS UNABLE TO DETERMINE WHETHER ANY OR ALL OF THESE MATTERS ARE DEFECTS, LIENS OR ENCUMBRANCES AGAINST THE INTEREST:**

- a. None

**END OF SCHEDULE B**

**EXCLUSIONS FROM COVERAGE**

Except as expressly provided by the assurances in Schedule A, the Company assumes no liability for loss or damage by reason of the following:

- (a) Defects, liens, encumbrances, adverse claims or other matters affecting the title to any property beyond the lines of the Land.
- (b) Defects, liens, encumbrances, adverse claims or other matters, whether or not shown by the Public Records (1) that are created, suffered, assumed or agreed to by one or more of the Assureds; or (2) that result in no loss to the Assured.
- (c) Defects, liens, encumbrances, adverse claims or other matters not shown by the Public Records.
- (d) The identity of any party shown or referred to in any of the schedules of this Guarantee.
- (e) The validity, legal effect or priority of any matter shown or referred to in any of the schedules of this Guarantee.
- (f) (1) Taxes or assessments of any taxing authority that levies taxes or assessments on real property; or (2) proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not the matters excluded under (1) or (2) are shown by the records of the taxing authority or by the Public Records.
- (g) (1) Unpatented mining claims; (2) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (3) water rights, claims or title to water, whether or not the matters excluded under (1), (2) or (3) are shown by the Public Records.

**GUARANTEE CONDITIONS****1. DEFINITION OF TERMS**

The following terms when used in the Guarantee mean:

- (a) the "Assured": the party or parties named as the Assured in Schedule A, or on a supplemental writing executed by the Company.
- (b) "Land": the Land described or referred to in Schedule A, and improvements affixed thereto which by law constitute real property. The term "Land" does not include any property beyond the lines of the area described or referred to in Schedule A, nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways.
- (c) "Mortgage": mortgage, deed of trust, trust deed, or other security instrument.
- (d) "Public Records": those records established under California statutes at Date of Guarantee for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.
- (e) "Date of Guarantee": the Date of Guarantee set forth in Schedule A.
- (f) "Amount of Liability": the Amount of Liability as stated in Schedule A.

**2. NOTICE OF CLAIM TO BE GIVEN BY ASSURED**

The Assured shall notify the Company promptly in writing in case knowledge shall come to the Assured of any assertion of facts, or claim of title or interest that is contrary to the assurances set forth in Schedule A and that might cause loss or damage for which the Company may be liable under this Guarantee. If prompt notice shall not be given to the Company, then all liability of the Company shall terminate with regard to the matter or matters for which prompt notice is required; provided, however, that failure to notify the Company shall in no case prejudice the rights of the Assured under this Guarantee unless the Company shall be prejudiced by the failure and then only to the extent of the prejudice.

**3. NO DUTY TO DEFEND OR PROSECUTE**

The Company shall have no duty to defend or prosecute any action or proceeding to which the Assured is a party, notwithstanding the nature of any allegation in such action or proceeding.

**4. COMPANY'S OPTION TO DEFEND OR PROSECUTE ACTIONS; DUTY OF ASSURED TO COOPERATE**

Even though the Company has no duty to defend or prosecute as set forth in Paragraph 3 above:

- (a) The Company shall have the right, at its sole option and cost, to institute and prosecute any action or proceeding, interpose a defense, as limited in Paragraph 4 (b), or to do any other act which in its opinion may be necessary or desirable to establish the correctness of the assurances set forth in Schedule A or to prevent or reduce loss or damage to the Assured. The Company may take any appropriate action under the terms of this Guarantee, whether or not it shall be liable hereunder, and shall not thereby concede liability or waive any provision of this Guarantee. If the Company shall exercise its rights under this paragraph, it shall do so diligently.
- (b) If the Company elects to exercise its options as stated in Paragraph 4 (a) the Company shall have the right to select counsel of its choice (subject to the right of the Assured to object for reasonable cause) to represent the Assured and shall not be liable for and will not pay the fees of any other counsel, nor will the Company pay any fees, costs or expenses incurred by an Assured in the defense of those causes of action which allege matters not covered by this Guarantee.
- (c) Whenever the Company shall have brought an action or interposed a defense as permitted by the provisions of this Guarantee, the Company may pursue any litigation to final determination by a court of competent jurisdiction and expressly reserves the right, in its sole discretion, to appeal from an adverse judgment or order.
- (d) In all cases where this Guarantee permits the Company to prosecute or provide for the defense of any action or proceeding, the Assured shall secure to the Company the right to so prosecute or provide for the defense of any action or proceeding, and all appeals therein, and permit the Company to use, at its option, the name of the Assured for this purpose. Whenever requested by the Company, the Assured, at the Company's expense, shall give the Company all reasonable aid in any action or proceeding, securing evidence, obtaining witnesses, prosecuting or defending the action or lawful act which in the opinion of the Company may be necessary or desirable to establish the correctness of the assurances set forth in Schedule A or to prevent or reduce loss or damage to the Assured. If the Company is prejudiced by the failure of the Assured to furnish the required cooperation, the Company's obligations to the Assured under the Guarantee shall terminate.



(continued)

**5. PROOF OF LOSS OR DAMAGE**

- (a) In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Assured furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.
- (b) In addition, the Assured may reasonably be required to submit to examination under oath by any authorized representative of the Company and shall produce for examination, inspection and copying, at such reasonable times and places as may be designated by any authorized representative of the Company, all records, books, ledgers, checks, correspondence and memoranda, whether bearing a date before or after Date of Guarantee, which reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Assured shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all records, books, ledgers, checks, correspondence and memoranda in the custody or control of a third party, which reasonably pertain to the loss or damage. All information designated as confidential by the Assured provided to the Company pursuant to this paragraph shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Assured to submit for examination under oath, produce other reasonably requested information or grant permission to secure reasonably necessary information from third parties as required in the above paragraph, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this Guarantee to the Assured for that claim.

**6. OPTIONS TO PAY OR OTHERWISE SETTLE CLAIMS: TERMINATION OF LIABILITY**

In case of a claim under this Guarantee, the Company shall have the following additional options:

- (a) To pay or tender payment of the Amount of Liability together with any costs, attorneys' fees, and expenses incurred by the Assured that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.
- (b) To pay or otherwise settle with the Assured any claim assured against under this Guarantee. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Assured that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay; or
- (c) To pay or otherwise settle with other parties for the loss or damage provided for under this Guarantee, together with any costs, attorneys' fees, and expenses incurred by the Assured that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in 6 (a), (b) or (c) of this paragraph the Company's obligations to the Assured under this Guarantee for the claimed loss or damage, other than the payments required to be made, shall terminate, including any duty to continue any and all litigation initiated by the Company pursuant to Paragraph 4.

**7. LIMITATION OF LIABILITY**

- (a) This Guarantee is a contract of Indemnity against actual monetary loss or damage sustained or incurred by the Assured claimant who has suffered loss or damage by reason of reliance upon the assurances set forth in Schedule A and only to the extent herein described, and subject to the Exclusions From Coverage of this Guarantee.
- (b) If the Company, or the Assured under the direction of the Company at the Company's expense, removes the alleged defect, lien, or encumbrance or cures any other matter assured against by this Guarantee in a reasonably diligent manner by any method, including litigation and the completion of any appeals therefrom, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused thereby.
- (c) In the event of any litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals therefrom.
- (d) The Company shall not be liable for loss or damage to the Assured for liability voluntarily assumed by the Assured in settling any claim or suit without the prior written consent of the Company.

**8. REDUCTION OF LIABILITY OR TERMINATION OF LIABILITY**

All payments under this Guarantee, except payments made for costs, attorneys' fees and expenses pursuant to Paragraph 4 shall reduce the Amount of Liability under this Guarantee pro tanto.

**9. PAYMENT OF LOSS**

- (a) No payment shall be made without producing this Guarantee for endorsement of the payment unless the Guarantee has been lost or destroyed, in which case proof of loss or destruction shall be furnished to the satisfaction of the Company.
- (b) When liability and the extent of loss or damage has been definitely fixed in accordance with these Conditions, the loss or damage shall be payable within thirty (30) days thereafter.

**10. SUBROGATION UPON PAYMENT OR SETTLEMENT**

Whenever the Company shall have settled and paid a claim under this Guarantee, all right of subrogation shall vest in the Company unaffected by any act of the Assured claimant.

The Company shall be subrogated to and be entitled to all rights and remedies which the Assured would have had against any person or property in respect to the claim had this Guarantee not been issued. If requested by the Company, the Assured shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect this right of subrogation. The Assured shall permit the Company to sue, compromise or settle in the name of the Assured and to use the name of the Assured in any transaction or litigation involving these rights or remedies.

If a payment on account of a claim does not fully cover the loss of the Assured the Company shall be subrogated to all rights and remedies of the Assured after the Assured shall have recovered its principal, interest, and costs of collection.

(continued)

**11. ARBITRATION**

Either the Company or the Assured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Assured arising out of or relating to this Guarantee, any service of the Company in connection with its issuance or the breach of a Guarantee provision, or to any other controversy or claim arising out of the transaction giving rise to this Guarantee. All arbitrable matters when the amount of liability is Two Million And No/100 Dollars (\$2,000,000) or less shall be arbitrated at the option of either the Company or the Assured. All arbitrable matters when the amount of liability is in excess of Two Million And No/100 Dollars (\$2,000,000) shall be arbitrated only when agreed to by both the Company and the Assured. Arbitration pursuant to this Guarantee and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

**12. LIABILITY LIMITED TO THIS GUARANTEE; GUARANTEE ENTIRE CONTRACT**

- (a) This Guarantee together with all endorsements, if any, attached hereto by the Company is the entire Guarantee and contract between the Assured and the Company. In interpreting any provision of this Guarantee, this Guarantee shall be construed as a whole.
- (b) Any claim of loss or damage, whether or not based on negligence, or any action asserting such claim, shall be restricted to this Guarantee.
- (c) No amendment of or endorsement to this Guarantee can be made except by a writing endorsed hereon or attached hereto signed by either the President, a Vice President, the Secretary, an Assistant Secretary, or validating officer or authorized signatory of the Company.

**13. SEVERABILITY**

In the event any provision of this Guarantee, in whole or in part, is held invalid or unenforceable under applicable law, the Guarantee shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

**14. CHOICE OF LAW; FORUM**

- (a) Choice of Law: The Assured acknowledges the Company has underwritten the risks covered by this Guarantee and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of Guaranties of the jurisdiction where the Land is located.

Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims that are adverse to the Assured and to interpret and enforce the terms of this Guarantee. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

- (b) Choice of Forum: Any litigation or other proceeding brought by the Assured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

**15. NOTICES, WHERE SENT**

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this Guarantee and shall be addressed to the Company at:

Fidelity National Title Insurance Company  
P.O. Box 45023  
Jacksonville, FL 32232-5023  
Attn: Claims Department

**END OF CONDITIONS**

N 1/2 OF S.W. 1/4 OF SEC. 24, T.8S., R.2W.

C.C. 21940934

DEED RECORD OVERLAP

R.O.S. 289-M-49

R.O.S. 251-M-11

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PCL. A

1.847 AC.

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April 28, 2022  
Job No. 2143

Ed Duazo  
Land Development Engineering  
Department of Planning and Development  
70 W. Hedding Street, 7th Floor, East Wing  
San Jose, CA

Re: 17025 McGill Road – Building Site Approval and Grading Approval – PLN21-130 – Explanation  
letter of our opinion regarding the old road centerline easement comment

Dear Ed,

Attached is an Exhibit I prepared after meeting with the County Surveyor. The purpose of this Exhibit is to further support that there is physically no existing road or evidence that a road existed over this old road centerline alignment, nor any easement.

I had a zoom meeting with August Hanks (County Surveyor) 4/19/22 regarding this, and I believe he concurs that there is no easement, as well. He suggested to superimpose the old centerline alignment to a high-resolution aerial image that he sent me to further support our opinion.

Below I have listed why in my professional opinion I believe there is no old centerline easement:

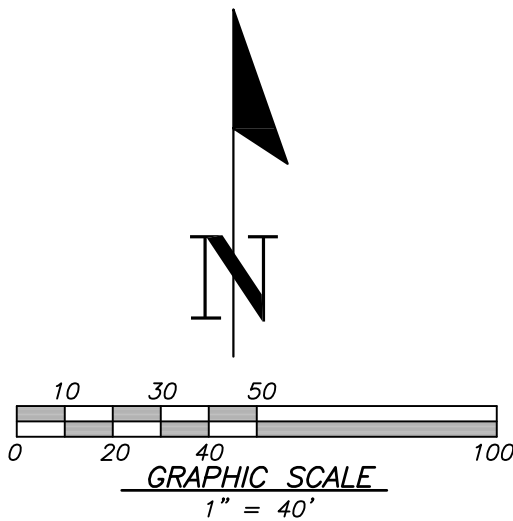
1. The Title Report does not list this easement
2. Record Of Survey (book 251, page 49 of maps, Recorded 4/01/1969). Shows the old center line alignment in question with a dashed outline of the (proposed) road but does not call out an easement (such as ingress/egress easement) with record information (book and page O.R). The Subdivision Map Act was already in effect by this date, and Record Of Surveys are not instruments to create easements.
3. Record Of Survey (book 289, page 11 of maps, Recorded 9/14/1971). Shows the old center line alignment in question, but now with the dashed outline of the road at its current location to date. This map does not call out an easement o the old road center line with record information (book and page O.R). The Subdivision Map Act was already in effect by this date, and Record Of Surveys are not instruments to create easements.
4. Created the attached Exhibit with an Aerial image overlayed onto our survey showing the old centerline road as defined by Record Of Survey (book 289, page 11 of maps, Recorded 9/14/1971). As the Exhibit shows there is physically no existing road or evidence that a road existed over this old road centerline alignment.

Please let me know if you have any questions or need additional information.

Sincerely,

Oscar Osuna, P.E., P.L.S.  
President  
OSUNA Engineering, Inc.





REVISIONS	DATE	CITY	BY

PROFESSIONAL LAND SURVEYOR

PORFIRIO OSCAR OSUNA

No. 8921

Exp. 9-30-22

STATE OF CALIFORNIA

*P. Oscar Osuna*

PORFIRIO OSCAR OSUNA

PLS 8921 EXP. 9-30-22

**OSUNA**

ENGINEERING INC.

Planning | Surveying | Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS

117 BERNAL RD. STE. 70-336

SAN JOSE, CA 95119

TEL. (408) 772-4381

Info@osunaengineering.com

EXHIBIT

AERIAL IMAGE OVERLAY

17025 MCGILL ROAD

APN: 517-24-024

SARATOGA, CALIFORNIA

Project No.: 2143

Drawn By: 0.0

Checked: 0.0

Date: 10/06/21





*First American*

*my*FirstAm®

Combined Report

17025 Mc Gill Rd, Saratoga, CA 95070

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Property Address:

**17025 Mc Gill Rd  
Saratoga, CA 95070**





First American

myFirstAm®

## Property Profile

17025 Mc Gill Rd, Saratoga, CA 95070

### Property Information

<b>Owner(s):</b>	Khandare , Milind / Dobhal , Neha	<b>Mailing Address:</b>	2309 Rock St #16, Mountain View, CA 94043
<b>Owner Phone:</b>	Unknown	<b>Property Address:</b>	17025 Mc Gill Rd, Saratoga, CA 95070
<b>Vesting Type:</b>	N/A	<b>Alt. APN:</b>	
<b>County:</b>	Santa Clara	<b>APN:</b>	517-24-024
<b>Map Coord:</b>	69-E5	<b>Census Tract:</b>	507500
<b>Lot#:</b>		<b>Block:</b>	
<b>Subdivision:</b>		<b>Tract:</b>	
<b>Legal:</b>	Twp 08S Rge 02W Sec 24 Qtr Nw4sw4		

### Property Characteristics

<b>Use:</b>	Vacant -Residential Land	<b>Year Built / Eff. :</b>	/	<b>Sq. Ft. :</b>	
<b>Zoning:</b>	HS	<b>Lot Size Ac / Sq Ft:</b>	9.8483 / 428992	<b># of Units:</b>	
<b>Stories:</b>		<b>Improvements:</b>		<b>Parking / #:</b>	/
<b>Gross Area:</b>		<b>Garage Area :</b>		<b>Basement Area:</b>	

### Sale and Loan Information

<b>Sale / Rec Date:</b>	12/23/2020 / 12/31/2020	<b>*/Sq. Ft.:</b>		<b>2nd Mtg.:</b>	
<b>Sale Price:</b>	\$625,000	<b>1st Loan:</b>	\$373,750	<b>Prior Sale Amt:</b>	\$460,000
<b>Doc No.:</b>	000024771103	<b>Loan Type:</b>		<b>Prior Sale Date:</b>	04/26/2006
<b>Doc Type:</b>	Grant Deed	<b>Transfer Date:</b>	12/31/2020	<b>Prior Doc No.:</b>	18919355
<b>Seller:</b>	Gupta Family Trust	<b>Lender:</b>	Us Bank National Association	<b>Prior Doc Type:</b>	Deed

\*/Sq.Ft. is a calculation of Sale Price divided by Sq.Feet.

### Tax Information

<b>Imp Value:</b>		<b>Exemption Type:</b>	
<b>Land Value:</b>	\$299,890	<b>Tax Year / Area:</b>	2020 / 60-039
<b>Total Value:</b>	\$299,890	<b>Tax Value:</b>	
<b>Total Tax Amt:</b>	\$3,726.66	<b>Improved:</b>	

**24771103**

**Regina Alcomendras**

Santa Clara County - Clerk-Recorder  
12/31/2020 12:12 PM

Titles: 1    Pages: 4

Fees: \$44.00

Tax: \$687.50

Total: \$731.50

**RECORDING REQUESTED BY:**  
Fidelity National Title Company

**When Recorded Mail Document  
and Tax Statement To:**

Milind Khandare and Neha Dobhal  
2309 Rock Street, Apt 16  
Mountain View, CA 94043

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**Escrow Order No.:** FSBC-0272006425

Exempt from fee per GC 27388.1(a)(2); This document is a transfer that is subject to  
Documentary Transfer Tax.

Property Address: 17025 Mc Gill Road  
Saratoga, CA 95070

APN #517-24-024

**GRANT DEED**

**The undersigned grantor(s) declare(s)**

  
**Crystal Pisen**

- ☐ This transfer is exempt from the documentary transfer tax.  
☒ **The documentary transfer tax is \$687.50** and is computed on:  
    ☒ the full value of the interest or property conveyed.  
    ☐ the full value less the liens or encumbrances remaining thereon at the time of sale.

The property is located in ☒ the City of Saratoga

**FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,** Nitin K. Gupta and Gazala Gupta, trustees of the Gupta Family Trust, dated June 7, 2012, as to an undivided 50% Interest and and Arshad Khan, an unmarried man, as to an undivided 50% interest

**hereby GRANT(S) to** Milind Khandare and Neha Dobhal, a married couple as joint tenants

**the following described real property in the** City of Saratoga, County of Santa Clara, State of California and is described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF:

**PROPERTY COMMONLY KNOWN AS:** 17025 Mc Gill Road, Saratoga, CA 95070

**MAIL TAX STATEMENTS AS DIRECTED ABOVE**

# GRANT DEED

(continued)

Dated: December 23, 2020

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Nitin K. Gupta and Gazala Gupta, trustees of the Gupta Family Trust, dated June 7, 2012

BY: [Signature]  
Nitin K. Gupta  
Trustee

BY: [Signature]  
Gazala Gupta  
Trustee

[Signature]  
Arshad Khan

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Alameda

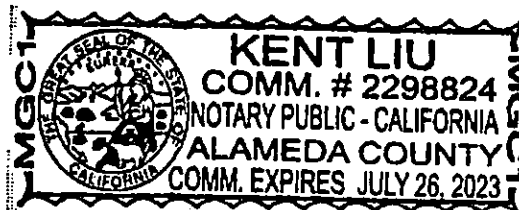
On 12/29/2020 before me, Kent Liu, Notary Public,  
(here insert name and title of the officer)

personally appeared Nitin K Gupta, Gazala Gupta, AND Arshad Khan  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

[Signature]  
Signature





# EXHIBIT "A"

## Legal Description

For APN/Parcel ID(s): 517-24-024

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SARATOGA, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

### PARCEL ONE:

A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 2 WEST, MOUNT DIABLO BASE AND MERIDIAN, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEASTERLY CORNER OF THAT CERTAIN 40 ACRE PARCEL OF LAND, AS DESCRIBED IN THE DEED FROM GEORGE C. CARRICK, ET AL, TO ROMAN T. CHAVEZ, ET AL, DATED DECEMBER 23, 1966, RECORDED JANUARY 25, 1967 IN BOOK 7622 OF OFFICIAL RECORDS, AT PAGE 415, SANTA CLARA COUNTY RECORDS; THENCE FROM SAID POINT OF BEGINNING ALONG THE EASTERLY LINE OF SAID 40 ACRE PARCEL OF LAND, N. 0° 59' W. 1320.00 FEET TO A 3/4 INCH IRON PIPE AT THE NORTHEASTERLY CORNER THEREOF; THENCE ALONG THE NORTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, S. 89° 01' W. 672.93 FEET TO A 3/4 INCH IRON PIPE; THENCE LEAVING SAID NORTHERLY LINE, THE FOLLOWING COURSES AND DISTANCES:

S. 50° 41' W. 122.69 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 7° 44' W. 102.61 FEET TO A 3/4 INCH IRON PIPE; THENCE N. 77° 31' E. 136.26 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 69° 52' E. 111.73 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 82° 18' E. 79.12 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 64° 12' E. 172.52 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 3° 32' E. 131.44 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 21° 13' E. 127.14 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 42° 25' E. 45.64 FEET TO A POINT; THENCE S. 0° 59' E. 755.06 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, ABOVE REFERRED TO; THENCE ALONG THE SOUTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, N. 89° 01' E. 234.52 FEET TO THE POINT OF BEGINNING.

PURSUANT TO CERTIFICATE OF COMPLIANCE RECORDED NOVEMBER 7, 2012 IN INSTRUMENT NO. 21940934 OF OFFICIAL RECORDS.

### PARCEL TWO:

TOGETHER WITH AN EASEMENT FOR INGRESS AND EGRESS AND THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES OVER A STRIP OF LAND, 40.00 FEET IN WIDTH, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT A NAIL AND SHINER IN BOLLMAN ROAD, WHICH BEARS N. 89° 01' E. 157.57 FEET FROM THE NORTHEASTERLY CORNER OF THE CERTAIN 40 ACRE PARCEL OF LAND, AS DESCRIBED IN THE DEED FROM GEORGE C. CARRICK, ET AL, TO ROMAN T. CHAVEZ, ET AL, DATED DECEMBER 23, 1966, RECORDED JANUARY 25, 1967 IN BOOK 7622 OF OFFICIAL RECORDS, AT PAGE 415, SANTA CLARA COUNTY RECORDS; THENCE FROM SAID POINT OF BEGINNING AND ALONG THE EASTERLY PROLONGATION OF THE NORTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, AND THE NORTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, S. 89° 01' W. 830.50 FEET TO A 3/4 INCH IRON PIPE; THENCE LEAVING THE NORTHERLY LINE OF SAID 40 ACRE PARCEL OF LAND, THE FOLLOWING COURSES AND DISTANCES:

S. 50° 41' W. 122.69 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 7° 44' W. 102.61 FEET TO A 3/4 INCH IRON PIPE; THENCE N. 77° 31' E. 136.26 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 69° 52' E. 111.73 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 82° 18' E. 79.12 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 64° 12' E. 172.52 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 3° 32' E. 131.44 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 21° 13' E. 127.14 FEET TO A 3/4 INCH IRON PIPE; THENCE S. 42° 45' E. 45.64 FEET TO A POINT



*First American*

*my*FirstAm® Combined Report

Mc Gill Rd, Saratoga, CA 95070

Property Address:

Mc Gill Rd  
Saratoga, CA 95070



First American

myFirstAm® Property Profile

Mc Gill Rd, Saratoga, CA 95070

Property Information

Owner(s):	Biederman Eric R & Anne C Trustee	Mailing Address:	2 Country Ln, Scotts Valley, CA 95066
Owner Phone:	Unknown	Property Address:	Mc Gill Rd, Saratoga, CA 95070
Vesting Type:	N/A	Alt. APN:	
County:	Santa Clara	APN:	517-24-023
Map Coord:	69-E5	Census Tract:	507500
Lot#:		Block:	
Subdivision:		Tract:	
Legal:			

Property Characteristics

Use:	Warehouse	Year Built / Eff. :	/	Sq. Ft. :	
Zoning:	HS	Lot Size Ac / Sq Ft:	26.07 / 1135609	# of Units:	
Stories:		Improvements:		Parking / #:	/
Gross Area:		Garage Area :		Basement Area:	

Sale and Loan Information

Sale / Rec Date:	05/01/2000 / 05/08/2000	*/Sq. Ft.:		2nd Mtg.:	
Sale Price:	\$225,000	1st Loan:	\$157,500	Prior Sale Amt:	
Doc No.:	15239805	Loan Type:	Conventional	Prior Sale Date:	
Doc Type:		Transfer Date:	05/08/2000	Prior Doc No.:	
Seller:	Chavez,Roman T & Golga G	Lender:	Seller	Prior Doc Type:	

\*/Sq.Ft. is a calculation of Sale Price divided by Sq.Feet.

Tax Information

Imp Value:		Exemption Type:	
Land Value:	\$450,000	Tax Year / Area:	2021 / 60-039
Total Value:	\$450,000	Tax Value:	
Total Tax Amt:	\$5,495.08	Improved:	



**First American Title Guaranty Co.**

Order No.: 712759

RECORDING REQUESTED BY  
MID VALLEY TITLE & ESCROW CO.  
AND WHEN RECORDED MAIL TO:  
RAFIQ SAYA  
1858 ANNEWAY  
SAN JOSE, CA. 95124

DOCUMENT: 15239805



•0015239805•

Titles / Pages 5

Fees	29 00
Taxes	247 50
Copies	
AMT PAID	276 50

BRENDA DAVIS  
SANTA CLARA COUNTY RECORDER  
Recorded at the request of  
First American Title Company

RDE # 006  
5/08/2000  
2 42 PM

Space Above This Line for Recorder's Use Only

A.P.N.: 517-24-023-000

Order No.: 712759

Escrow No.: 179275CB

**GRANT DEED**

THE UNDERSIGNED GRANTOR(S) DECLARE(S) THAT DOCUMENTARY TRANSFER TAX IS: COUNTY \$247.50

[X] computed on full value of property conveyed, or  
[X] computed on full value less value of liens or encumbrances remaining at time of sale,  
[X] unincorporated area; [ ] City of MON. TAX - \$10.00

FOR A VALUABLE CONSIDERATION, Receipt of which is hereby acknowledged,

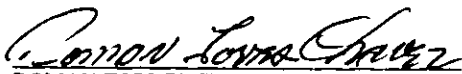
**ROMAN TORRES CHAVEZ and OLGA G. CHAVEZ, Husband and Wife**

hereby GRANT(S) to

RAFIQ SAYA, a married man as his sole and separate property


the following described property in the ~~XXXX~~ County of **SANTA CLARA** State of California;  
Unincorporated Area of the

See Exhibit "A" attached hereto and made a part hereof.



ROMAN TORRES CHAVEZ

Document Date: March 30, 2000

  
OLGA G. CHAVEZ

STATE OF CALIFORNIA

COUNTY OF

**BUTTE**

SS

On 5-4-00

before me,

Charity D. Berry, Notary Public

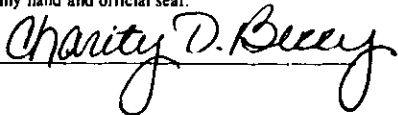
personally appeared

Roman Torres Chavez and Olga G. Chavez

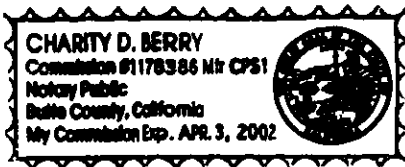
personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature



This area for official notarial seal.



Mail Tax Statements to: SAME AS ABOVE or Address Noted Below

**LEGAL DESCRIPTION**

REAL PROPERTY in the Unincorporated Area, County of Santa Clara, State of California, described as follows:

**PARCEL ONE:**

The Northwest 1/4 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, M.D.B. & M.

Excepting therefrom so much thereof described in the Deed to Elmer B. Tenneson, et ux, recorded June 24, 1989 in Book 8579 of Official Records, page 472, described as follows:

A portion of the Northwest 1/4 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, M.D.B. & M., and being more particularly described as follows:

Beginning at the Southeasterly corner of that certain 40 acre parcel of land as described in the Deed to Roman T. Chavez, et al, recorded January 25, 1967 in Book 7622 of Official Records, at page 415, Santa Clara County Records; thence from said point of beginning and along the Easterly line of said 40 acre parcel of land, North 0° 69' West 1,320.0 feet to a 3/4 inch iron pipe at the Northeasterly corner thereof; thence, along the Northerly line of said 40 acre parcel of land, South 89° 01' West, 672.93 feet to a 3/4 inch iron pipe; thence, leaving said Northerly line the following courses and distances: South 50° 41' West, 122.69 feet to a 3/4 inch iron pipe; thence South 7° 44' West, 102.61 feet to a 3/4 inch iron pipe; thence North 77° 31' East, 136.26 feet to a 3/4 inch iron pipe; thence South 69° 52' East, 111.73 feet to a 3/4 inch iron pipe; thence South 82° 18' East, 79.12 feet to a 3/4 inch iron pipe; thence South 64° 12' East, 172.52 feet to a 3/4 inch iron pipe; thence South 3° 32' East, 131.4 feet to a 3/4 inch iron pipe; thence South 21° 13' East, 127.14 feet to a 3/4 inch iron pipe; thence South 21° 13' East, 127.14 feet to a 3/4 inch iron pipe; thence South 42° 45' East, 45.64 feet to a point; thence South 0° 59' East, 755.06 feet to a point on the Southerly line of said 40 acre parcel of land above referred to; thence, along the Southerly line of land above referred to; thence, along the Southerly line of said 40 acre parcel of land North 89° 01' East 234.52 feet to the point of beginning.

Also excepting therefrom so much thereof described in the Deed to Olga C. Chavez, recorded June 25, 1969 in Book 8581 of Official Records, page 696, and described as follows:

Beginning at an iron pipe at the Northwest corner of the Northwest 1/4 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, M.D.B. & M., said point being the Northwest corner of Parcel A, as shown on that certain Record of Survey, recorded in Book 251 of Maps, at page 11, Santa Clara County Records; thence along the Westerly line of the Northwest 1/4 of the Southwest 1/4 of Section 24, South 0° 59' 00" East, 388.32 feet to an iron pipe; thence Easterly along the centerline of a private road, the following courses and distances: thence North 43° 56' 30" East, 132.79 feet to an iron pipe; thence North 62° 12' 30" East, 70.86 feet to an iron pipe; thence South 85° 33' 20" East, 55.86 feet to an iron pipe; thence South 66° 32' 53" East, 63.02 feet to an iron pipe; thence North 0° 59' 00" West, 293.69 feet to the Northerly line of said Northwest 1/4 of the Southwest 1/4 of Section 24, thence along said Northerly line South 89° 01' 00" West, 270.00 feet to the Point of Beginning, being a portion of the Northwest 1/4 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, M.D.B. & M.

(LEGAL DESCRIPTION CONTINUED NEXT PAGE)

## LEGAL DESCRIPTION: (Continued)

Also excepting therefrom so much thereof described in the Deed of Michael John Coggiano, et ux, recorded January 8, 1971 in Book 9181 of Official Records, page 547, and described as follows:

Commencing at a nail and shiner in Bollman Road, which bears North 89° 01' East 157.57 feet from the Northeasterly corner of that certain 40 acre parcel of land as described in the Deed to Roman T. Chavez, et al, recorded January 25, 1967 in Book 7622 of Official Records, at page 415, Santa Clara County Records; thence from said point of beginning and along the Easterly prolongation of the Northerly line of said 40 acre parcel of land and the Northerly line of said 40 acre parcel of land, South 86° 01' West, 830.50 feet to the True Point of Beginning of the parcel of land to be described; thence South 50° 41' West, 122.69 feet; thence South 7° 44' West, 102.61 feet and North 77° 31' East, to a point in the Southeasterly line of Parcel A as shown upon that certain Map entitled, "Record of Survey of a portion of lands of Roman T. Chavez, et al, being a part of the Northwest 1/4 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, M.D.B. & M.", which Map was filed for record in the office of the Recorder of the County of Santa Clara, State of California on April 1, 1969 in Book 251, at page 11; thence South 40° 44' 07" West, along said Southeasterly line of Parcel A to an angle corner therein; thence continuing along said Southeasterly line for the following courses and distances: South 12° 08' 27" East 141.80 feet; South 79° 59' 07" West, 141.88 feet and North 66° 32' 53" West, 124.23 feet to the Southeasterly corner of that certain 1.847 acre tract of land described in the Deed to Olga G. Chavez, recorded June 25, 1969 in Book 8581 of Official Records, page 690, Santa Clara County Records; thence North 0° 59' 00" West, along the Easterly line of said 1.847 acre tract 293.69 feet to a point in the Northerly line of said Parcel A, as shown on said Record of Survey Map above referred to; thence North 39° 01' 00" East, along said Northerly line of Parcel A, 251.07 feet to the True Point of Beginning and being a portion of the Northwest 1/4 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, M.D.B. & M.

## PARCEL TWO:

A non-exclusive easement for ingress and egress and the installation and maintenance of public utilities, over a strip of land 40.00 feet in width, the centerline of which is described as follows:

Beginning at a nail and shiner in Bollman Road, which bears North 89° 01' East 157.57 feet from the Northeasterly corner of that 40 acre parcel of land as described in the Deed from George C. Carrick, et al, to Roman T. Chavez, et al, dated December 23, 1966, recorded January 23, 1967 in Book 7622 of Official Records, page 415, Santa Clara County Records; thence from said point of beginning and along the Easterly prolongation of the Northerly line of said 40 acre parcel of land and the Northerly line of said 40 acre parcel of land, South 89° 01' West, 830.50 feet to a 3/4 inch iron pipe; thence leaving the Northerly line of said 40 acre parcel of land the following courses and distances: South 50° 41' West, 122.69 feet to a 3/4 inch iron pipe; thence South 7° 44' West, 102.61 feet to a 3/4 inch iron pipe; thence North 77° 31' East, 136.26 feet to a 3/4 inch iron pipe; thence South 69° 52' East, 111.73 feet to a 3/4 inch iron pipe; thence South 82° 18' East, 79.12 feet to a 3/4 inch iron pipe; thence South 64° 12' East, 172.52 feet to a 3/4 inch iron pipe; thence South 3° 32' East, 131.44 feet to a 3/4 inch iron pipe; thence South 21° 13' East, 127.14 feet to a 3/4 inch iron pipe; thence South 42° 45' East 45.64 feet to a point and the terminus of the line described herein, the Easterly terminus and said 40.00 feet easement is to terminate in Bollman Road and the Southeasterly terminus of the Southwesterly line of said 40.00 feet easement is to terminate on the Westerly line of the 10.00 acre parcel of land described in the Deed to Elmer B. Tenneson, et ux, recorded June 24, 1969 in Book 8579 of Official Records, page 472.

(LEGAL DESCRIPTION CONTINUED NEXT PAGE)



**LEGAL DESCRIPTION: (Continued)**

Easement therefrom that portion of said easement lying within the bounds of Parcel One above described.

**PARCEL THREE:**

A non-exclusive easement for ingress and egress and the installation and maintenance of public utilities over a strip of land 20 feet in width, the Southerly, Southeasterly and Easterly boundary line of which is described as follows:

Beginning at the Southwesterly corner of Parcel 1, as shown on that certain Record of Survey recorded September 14, 1971 in Book 289 of Maps, at page 49; said point also being the Southwesterly corner of that certain parcel of land granted to Michael John Coggiano, et ux, recorded January 8, 1971 in Book 9181 of Official Records, page 547, Santa Clara County Records; thence from said point of beginning the following courses and distances: South 66° 32' 53" East 124.23 feet; thence North 79° 59' 07" East 141.88 feet; thence North 12° 08' 27" East 141.80 feet; thence North 40° 44' 07" East 25.31 feet; thence South 77° 31' West 25.10 feet; thence North 7° 44' 00" East 102.61 feet; thence North 50° 41' 00" East 122.69 feet to the most Northeasterly corner of Parcel 1 of said Record of Survey above described, being in the Northwest 1/4 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, M.D.B. & M., and the terminus of said easement.

**PARCEL FOUR:**

A non-exclusive easement for ingress and egress and the installation and maintenance of public utilities over strip of land 20 feet in width, the Southerly line of which is described as follows:

Beginning at an iron pipe at the Northwest corner of the Northwest 1/4 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, M.D.B. & M., said point being the Northwest corner of Parcel A, as shown on that certain Record of Survey recorded in Book 251 of Maps, at page 11, Santa Clara County Records; thence along the Westerly line of the Northwest 1/4 of the Southwest 1/4 of Sec. 24, South 0° 59' 00" East 388.32 feet to an iron pipe and the True Point of Beginning; thence Easterly along the centerline of a private road the following courses and distances: thence North 43° 56' 30" East 132.79 feet to an iron pipe; thence North 62° 12' 30" East 70.86 feet to an iron pipe; thence South 85° 33' 20" East 55.86 feet to an iron pipe; thence South 66° 32' 53" East 63.02 feet to an iron pipe, said point being the Southwesterly corner of that certain Parcel of land deeded to Michael John Coggiano, by instrument recorded January 8, 1971 in Book 9181 of Official Records, page 547, and the terminus of said easement.

WE NOTE, BUT DO NOT INSURE:

**PARCEL FIVE:**

A right of way for ingress and egress, over and along any and all existing roads running through the North 1/2 of the Southwest 1/4 of said Section 24.

(LEGAL DESCRIPTION CONTINUED NEXT PAGE)

**LEGAL DESCRIPTION: (Continued)**

**PARCEL SIX:**

An undivided 1/4 interest in and to all available water now existing upon the North 1/2 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, M.D.B. & M., and a right of way over said North 1/2 of the Southwest 1/4 of said Section 24 for the purpose of installing facilities to obtain water from any source for the benefit of said 40 acre tract of land.

Excepting from said 40 acre tract of land, an undivided 4/8 interest in and to all available water existing thereon, an undivided 2/8 interest thereof, have been described in the Deed from Victor M. Belatti to Stanley Williams, et ux, recorded April 24, 1952 in Book 2395 of Official Records, page 633, and an undivided 1/8 interest thereof, having been described in the Deed from Victor M. Belatti to Willis A. Rondi, et ux, recorded April 4, 1952 in Book 2395 of Official Records, page 636, and an undivided 1/8 interest having been described in the Deed from San Jose Abstract & Title Insurance Co. to Harry Peterson, et ux, recorded December 14, 1953 in Book 2777 of Official Records, page 593, Santa Clara County Records.

APN: 517-24-23

\*\*\*\*



*First American*

myFirstAm® Transaction History

Mc Gill Rd, Saratoga, CA 95070

To request additional information, please contact your local Sales Representative, Customer Service Department, or for an additional fee you may [click here](#).

History Record # 1 : SALE/TRANSFER

Buyer:	Biederman Family Trust	Seller:	Biederman, Eric R & Anne C
Transaction Date:	11/10/2017	Sale Price:	
Recording Date:	11/14/2017	Sale Price Type:	
Recorded Doc #:	23800890	Title Company:	
Document Type:	Deed Transfer	Vesting Type:	N/A

History Record # 2 : RELEASE

Recording Date:	01/23/2008	
Recorded Doc #:	19718249	
Document Type:	RELEASE	Vesting Type:

History Record # 3 : SALE/TRANSFER

Buyer:	Biederman, Eric R & Anne C	Seller:	Bds Capital Inc
Transaction Date:	11/14/2007	Sale Price:	\$505,000
Recording Date:	11/21/2007	Sale Price Type:	Partial
Recorded Doc #:	19660523	Title Company:	Commonwealth Land Title
Document Type:	Deed Transfer	Vesting Type:	N/A

History Record # 4 : SALE/TRANSFER

Buyer:	Bds Capital Inc	Seller:	Wt Capital Lender Services
Transaction Date:	11/13/2006	Sale Price:	\$1,000
Recording Date:	07/02/2007	Sale Price Type:	
Recorded Doc #:	19491960	Title Company:	
Document Type:	Deed Transfer	Vesting Type:	N/A

Continued on next page...



**History Record # 5 : RELEASE**

Recording Date: 06/08/2007

Recorded Doc #: 19463588

Document Type: ASSIGNMENT

Vesting Type:

**History Record # 6 : RELEASE**

Recording Date: 05/16/2007

Recorded Doc #: 19433140

Document Type: ASSIGNMENT

Vesting Type:

**History Record # 7 : FORECLOSURE**

Recording Date: 10/17/2006

Recorded Doc #: 19144203

Document Type: NOTICE OF SALE

Vesting Type:

**History Record # 8 :**

Recording Date:

Recorded Doc #: 19144202

Document Type:

Vesting Type:

**History Record # 9 : FORECLOSURE**

Recording Date: 06/20/2006

Recorded Doc #: 18982441

Document Type: NOTICE OF DEFAULT

Vesting Type:

**History Record # 10 :**

Recording Date: 03/20/2006

Recorded Doc #: 18850586

Document Type: RELEASE OF LIS PENDENS/NOTICE

Vesting Type:

Continued on next page...

**History Record # 11 : FORECLOSURE**

Recording Date: 12/13/2005

Recorded Doc #: 18716759

Document Type: NOTICE OF DEFAULT

Vesting Type:

**History Record # 12 : FINANCE**

Mortgage Recording Date: 09/30/2005

Mortgage Transfer Type: Refinance

Mortgage Document #: 18603181

Mortgage Rate Type: Fix

Lender: Lariviere Norman A 1998 Tr

Mortgage Term:

Document Type: Trust Deed/Mortgage

Vesting Type: N/A

Loan Amount: \$300,000

Mortgage Rate: 572

Borrower 1: Saya Rafiq

Borrower 2:

Borrower 3:

Borrower 4:

**History Record # 13 : SALE/TRANSFER**

Buyer: Saya,Rafiq

Seller: Chavez Roman T &amp; Golga G

Transaction Date: 05/01/2000

Sale Price: \$225,000

Recording Date: 05/08/2000

Sale Price Type: Full Value

Recorded Doc #: 15239805

Title Company: First American Title

Document Type: Deed Transfer

Vesting Type: N/A

**FINANCE**

Mortgage Recording Date: 05/08/2000

Mortgage Transfer Type: Resale

Mortgage Document #: 15239807

Mortgage Rate Type: Fix

Lender: Seller

Mortgage Term:

Document Type: Trust Deed/Mortgage

Vesting Type: N/A

Loan Amount: \$157,500

Mortgage Rate: 825

Borrower 1: Saya Rafiq

Borrower 2:

Borrower 3:

Borrower 4:

Continued on next page...

## History Record # 14 : SALE/TRANSFER

Buyer:	Saya,Rafiq	Seller:	Saya Michelle T
Transaction Date:	05/01/2000	Sale Price:	
Recording Date:	05/08/2000	Sale Price Type:	
Recorded Doc #:	15239806	Title Company:	First American Title
Document Type:	Deed Transfer	Vesting Type:	N/A

## History Record # 15 : SALE/TRANSFER

Buyer:	Chavez,Roman T & Olga G	Seller:	Markley,Dean
Transaction Date:	07/27/1995	Sale Price:	
Recording Date:	08/03/1995	Sale Price Type:	
Recorded Doc #:	0012970369	Title Company:	All California Title
Document Type:	Deed Transfer	Vesting Type:	N/A







*First American*

myFirstAm® Neighbors

Mc Gill Rd, Saratoga, CA 95070

Address:	16999 McGill Rd, Saratoga, CA 95070	Owner(s):	Moore Matthew S Strateng Kamolluck
APN:	517-24-027	Sale Amount:	\$1,700,000
Beds / Baths:	3 / 2	Square Feet:	2,688
Use Code:	SFR	# Units:	1
		Sale Date:	11/16/2018
		Year Built:	1974
		Lot Size:	2.269077

Address:	16997 McGill Rd, Saratoga, CA 95070	Owner(s):	Dichev Angel & Petrova Silviya Trustee
APN:	517-24-021	Sale Amount:	\$1,155,000
Beds / Baths:	3 / 4	Square Feet:	2,522
Use Code:	SFR	# Units:	1
		Sale Date:	10/08/2012
		Year Built:	1978
		Lot Size:	1.85

Address:	16981 McGill Rd, Saratoga, CA 95070	Owner(s):	Larson Matthew A Larson Lori D
APN:	517-30-003	Sale Amount:	\$625,000
Beds / Baths:	4 / 2	Square Feet:	1,975
Use Code:	SFR	# Units:	1
		Sale Date:	11/01/2012
		Year Built:	1977
		Lot Size:	3.253857

Address:	16971 Bohlman Rd, Saratoga, CA 95070	Owner(s):	Deklich Dejan Trustee & Deklich Dejan Trustee Dai Sheryl Hua Trustee
APN:	517-30-009	Sale Amount:	\$1,550,000
Beds / Baths:	3 / 3	Square Feet:	3,062
Use Code:	SFR	# Units:	1
		Sale Date:	06/05/2017
		Year Built:	1980
		Lot Size:	6.680418

Address:	17035 Bohlman Rd, Saratoga, CA 95070	Owner(s):	Moroz Victor & Larisa Trustee
APN:	517-30-010	Sale Amount:	\$600,000
Beds / Baths:	3 / 3	Square Feet:	2,918
Use Code:	SFR	# Units:	1
		Sale Date:	12/29/2005
		Year Built:	2007
		Lot Size:	2

Address:	16991 McGill Rd, Saratoga, CA 95070	Owner(s):	Warren Thomas C & Dorothy C Trustee
APN:	517-31-002	Sale Amount:	
Beds / Baths:	2 / 2	Square Feet:	2,170
Use Code:	SFR	# Units:	1
		Sale Date:	
		Year Built:	1965
		Lot Size:	10

Continued on next page...

Address:	17070 Bohlman Rd, Saratoga, CA 95070	Owner(s):	Luo Laizhong & Chong Eik Yong Trustee		
APN:	517-24-031	Sale Amount:	\$1,400,000	Sale Date:	11/16/2009
Beds / Baths:	4 / 5	Square Feet:	3,702	Year Built:	1964
Use Code:	SFR	# Units:	1	Lot Size:	.909986

Address:	16955 Bohlman Rd, Saratoga, CA 95070	Owner(s):	Dercole Ronald Dercole Barbara		
APN:	517-30-008	Sale Amount:	\$850,000	Sale Date:	03/16/2000
Beds / Baths:	2 / 2	Square Feet:	1,945	Year Built:	1978
Use Code:	SFR	# Units:	1	Lot Size:	6.25



Title No.: FSBC-0272006425-DG

**EXHIBIT "A"**  
Legal Description  
(continued)

AND THE TERMINUS OF THE LINES DESCRIBED HEREIN, THE EASTERLY TERMINUS OF SAID 40.00 FOOT EASEMENT IS TO TERMINATE IN **BOLLMAN ROAD**, AND THE SOUTHEASTERLY TERMINUS OF THE SOUTHWESTERLY LINE OF SAID 40.00 FOOT EASEMENT IS TO TERMINATE ON THE WESTERLY LINE OF SAID 10.00 ACRE PARCEL OF LAND, FIRST ABOVE DESCRIBED.

EXCEPTING FROM THE FIRST ABOVE DESCRIBED 10.00 ACRE PARCEL OF LAND, AN EASEMENT FOR INGRESS AND EGRESS AND THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES OVER SO MUCH THEREOF AS LIES WITHIN THE FOREGOING DESCRIBED EASEMENT.

EXCEPTING FROM SAID 10 ACRE PARCEL OF LAND AN UNDIVIDED 4/8 INTEREST IN AND TO ALL AVAILABLE WATER EXISTING THEREON, AN UNDIVIDED 2/8 INTEREST THEREOF HAVING BEEN DESCRIBED IN THE DEED FROM VICTOR M. BELATTI TO STANGLEY WILLIAMS AND ADRIENNE WILLIAMS, HIS WIFE, DATED SEPTEMBER 25, 1951 AND RECORDED APRIL 24, 1952 IN BOOK 2395 OF OFFICIAL RECORDS, PAGE 633 AND AN UNDIVIDED 1/8 INTEREST THEREOF HAVING BEEN DESCRIBED IN THE DEED FROM VICTOR M. BELLATTI TO WILLIS A. RODONI AND JEANETTE K. RODINO, HIS WIFE, DATED NOVEMBER 27, 1951 AND RECORDED APRIL 4, 1952 IN BOOK 2395 OF OFFICIAL RECORDS, PAGE 636; AND AN UNDIVIDED 1/8 INTEREST HAVING BEEN DESCRIBED IN THE DEED FROM SAN JOSE ABSTRACT AND TITLE INSURANCE COMPANY TO HARRY PETERSON AND JEANNE PETERSON, HUSBAND AND WIFE, DATED NOVEMBER 17, 1953 AND RECORDED DECEMBER 14, 1953 IN BOOK 2777 OF OFFICIAL RECORDS, PAGE 593.

ALSO TOGETHER WITH A RIGHT OF WAY FOR INGRESS AND EGRESS OVER ALONG ANY AND ALL EXISTING ROADS RUNNING THROUGH THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SAID SECTION 24.



*First American*

**myFirstAm® Transaction History**

**17025 Mc Gill Rd, Saratoga, CA 95070**

To request additional information, please contact your local Sales Representative, Customer Service Department, or for an additional fee you may [click here](#).

**History Record # 1 : FINANCE**

<b>Mortgage Recording Date:</b>	12/31/2020	<b>Mortgage Transfer Type:</b>	Stand Alone Finance
<b>Mortgage Document #:</b>	000024771104	<b>Mortgage Rate Type:</b>	Est
<b>Lender:</b>	Us Bank National Association	<b>Mortgage Term:</b>	31
<b>Document Type</b>	Trust Deed/Mortgage	<b>Vesting Type:</b>	N/A
<b>Loan Amount:</b>	\$373,750	<b>Mortgage Rate:</b>	3
<b>Borrower 1:</b>	Khandare Milind	<b>Borrower 2:</b>	Dobhal Neha
<b>Borrower 3:</b>		<b>Borrower 4:</b>	

**History Record # 2 : SALE/TRANSFER**

<b>Buyer:</b>	Khandare Milind	<b>Seller:</b>	Gupta Family Trust
<b>Transaction Date:</b>	12/23/2020	<b>Sale Price:</b>	\$625,000
<b>Recording Date:</b>	12/31/2020	<b>Sale Price Type:</b>	Full Value
<b>Recorded Doc #:</b>	000024771103	<b>Title Company:</b>	Fidelity National Title
<b>Document Type:</b>	Deed Transfer	<b>Vesting Type:</b>	N/A

**FINANCE**

<b>Mortgage Recording Date:</b>	12/31/2020	<b>Mortgage Transfer Type:</b>	Resale
<b>Mortgage Document #:</b>	000024771104	<b>Mortgage Rate Type:</b>	Est
<b>Lender:</b>	Us Bank National Association	<b>Mortgage Term:</b>	31
<b>Document Type</b>	Trust Deed/Mortgage	<b>Vesting Type:</b>	N/A
<b>Loan Amount:</b>	\$373,750	<b>Mortgage Rate:</b>	3
<b>Borrower 1:</b>	Khandare Milind	<b>Borrower 2:</b>	Dobhal Neha
<b>Borrower 3:</b>		<b>Borrower 4:</b>	

Continued on next page...



**History Record # 3 : SALE/TRANSFER**

<b>Buyer:</b>	Gupta Family Trust	<b>Seller:</b>	Gupta Nitin K
<b>Transaction Date:</b>	06/07/2012	<b>Sale Price:</b>	
<b>Recording Date:</b>	06/22/2012	<b>Sale Price Type:</b>	
<b>Recorded Doc #:</b>	000021720248	<b>Title Company:</b>	Attorney Only
<b>Document Type:</b>	Deed Transfer	<b>Vesting Type:</b>	N/A

**History Record # 4 : SALE/TRANSFER**

<b>Buyer:</b>	Khan,Arshad	<b>Seller:</b>	Tenneson Family Trust
<b>Transaction Date:</b>	04/26/2006	<b>Sale Price:</b>	\$460,000
<b>Recording Date:</b>	05/05/2006	<b>Sale Price Type:</b>	Full Value
<b>Recorded Doc #:</b>	18919355	<b>Title Company:</b>	First American Title
<b>Document Type:</b>	Deed Transfer	<b>Vesting Type:</b>	N/A

**FINANCE**

<b>Mortgage Recording Date:</b>	05/05/2006	<b>Mortgage Transfer Type:</b>	Resale
<b>Mortgage Document #:</b>	18919356	<b>Mortgage Rate Type:</b>	Fix
<b>Lender:</b>	Washington Mutual Fsb	<b>Mortgage Term:</b>	
<b>Document Type</b>	Trust Deed/Mortgage	<b>Vesting Type:</b>	N/A
<b>Loan Amount:</b>	\$230,000	<b>Mortgage Rate:</b>	
<b>Borrower 1:</b>	Khan Arshad	<b>Borrower 2:</b>	
<b>Borrower 3:</b>		<b>Borrower 4:</b>	

**History Record # 5 : SALE/TRANSFER**

<b>Buyer:</b>	Tenneson,Elmer B	<b>Seller:</b>	Tenneson Deloris P
<b>Transaction Date:</b>	04/26/2006	<b>Sale Price:</b>	
<b>Recording Date:</b>	05/05/2006	<b>Sale Price Type:</b>	
<b>Recorded Doc #:</b>	18919354	<b>Title Company:</b>	First American Title
<b>Document Type:</b>	Deed Transfer	<b>Vesting Type:</b>	N/A



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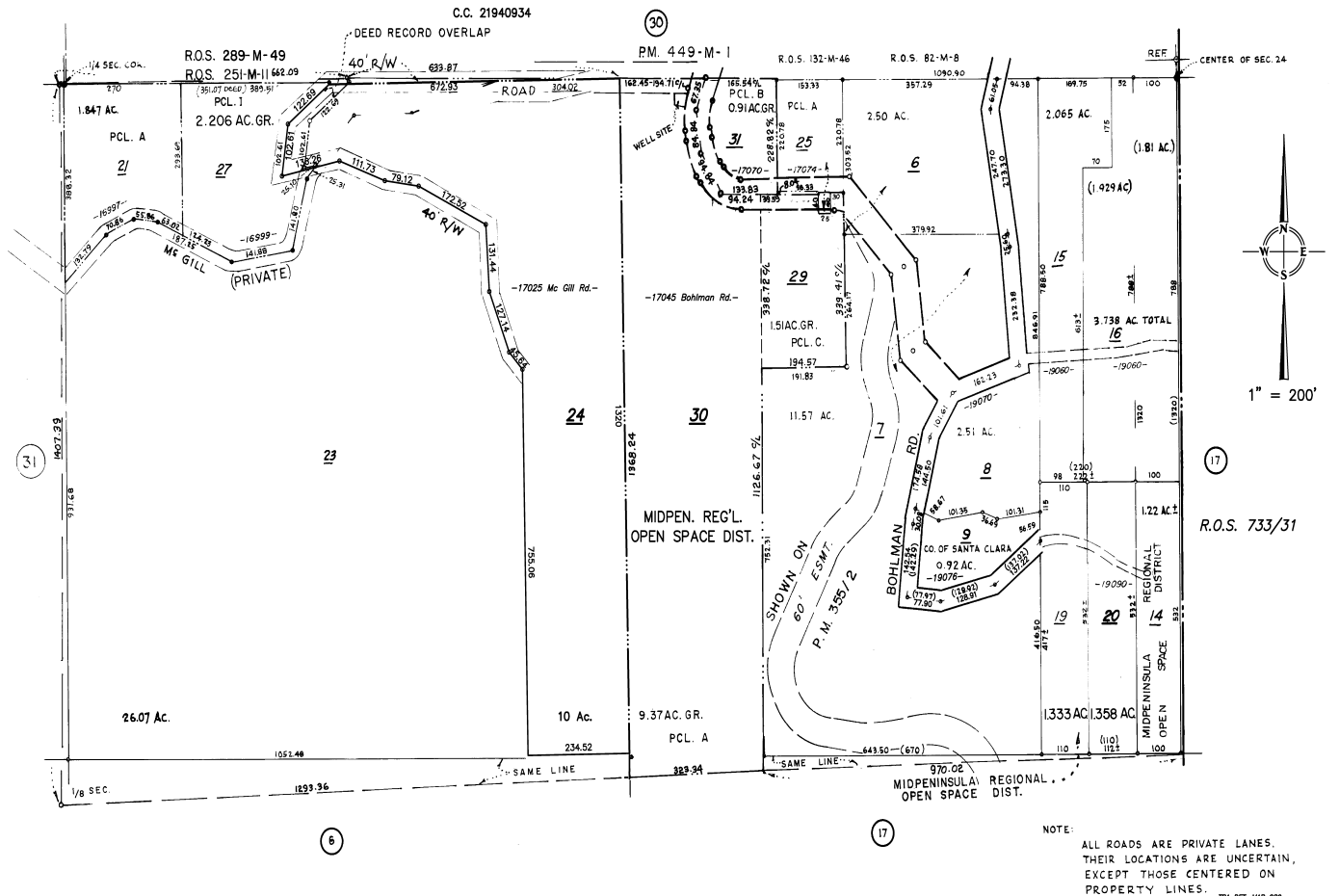
Tax Map

17025 Mc Gill Rd, Saratoga, CA 95070

OFFICE OF COUNTY ASSESSOR — SANTA CLARA COUNTY, CALIFORNIA

N. 1/2 OF S.W. 1/4 OF SEC. 24, T.8S., R.2W.

BOOK  
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myFirstAm® Neighbors

17025 Mc Gill Rd, Saratoga, CA 95070

<b>Address:</b>	17070 Bohlman Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Luo-Chong Trust
<b>APN:</b>	517-24-031	<b>Sale Amount:</b>	\$1,400,000
<b>Beds / Baths:</b>	4 / 5	<b>Square Feet:</b>	3,702
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Sale Date:</b>	11/16/2009
		<b>Year Built:</b>	1964
		<b>Lot Size:</b>	.909986

<b>Address:</b>	17035 Bohlman Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Moroz Victor & Larisa Trustee
<b>APN:</b>	517-30-010	<b>Sale Amount:</b>	\$600,000
<b>Beds / Baths:</b>	3 / 3	<b>Square Feet:</b>	2,918
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Sale Date:</b>	12/29/2005
		<b>Year Built:</b>	2007
		<b>Lot Size:</b>	2

<b>Address:</b>	17074 Bohlman Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Astrand,Per L H H Oskarsson,Carina V
<b>APN:</b>	517-24-025	<b>Sale Amount:</b>	\$2,190,000
<b>Beds / Baths:</b>	3 / 2	<b>Square Feet:</b>	2,145
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Sale Date:</b>	02/21/2020
		<b>Year Built:</b>	1962
		<b>Lot Size:</b>	.77624

<b>Address:</b>	16999 Mcgill Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Moore Matthew S Trateng Kamolluck
<b>APN:</b>	517-24-027	<b>Sale Amount:</b>	\$1,700,000
<b>Beds / Baths:</b>	3 / 2	<b>Square Feet:</b>	2,688
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Sale Date:</b>	11/16/2018
		<b>Year Built:</b>	1974
		<b>Lot Size:</b>	2.269077

<b>Address:</b>	16981 Mcgill Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Larson Matthew A Larson Lori D
<b>APN:</b>	517-30-003	<b>Sale Amount:</b>	\$625,000
<b>Beds / Baths:</b>	4 / 2	<b>Square Feet:</b>	1,975
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Sale Date:</b>	11/01/2012
		<b>Year Built:</b>	1977
		<b>Lot Size:</b>	3.253857

<b>Address:</b>	16971 Bohlman Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Deklich Dejan Trustee & Deklich Dejan Trustee Dai Sheryl Hua Trustee
<b>APN:</b>	517-30-009	<b>Sale Amount:</b>	\$1,550,000
<b>Beds / Baths:</b>	3 / 3	<b>Square Feet:</b>	3,062
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Sale Date:</b>	06/05/2017
		<b>Year Built:</b>	1980
		<b>Lot Size:</b>	6.680418

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<b>Address:</b>	17080 Bohlman Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Belleville Frank B
<b>APN:</b>	517-24-006	<b>Sale Amount:</b>	<b>Sale Date:</b>
<b>Beds / Baths:</b>	1 / 1	<b>Square Feet:</b>	504
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Year Built:</b>	1950
		<b>Lot Size:</b>	2.563912

<b>Address:</b>	19076 Bohlman Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Santa Clara County
<b>APN:</b>	517-24-009	<b>Sale Amount:</b>	<b>Sale Date:</b>
<b>Beds / Baths:</b>	0 / 0	<b>Square Feet:</b>	<b>Year Built:</b>
<b>Use Code:</b>	RESIDENTIAL (NEC)	<b># Units:</b>	<b>Lot Size:</b>
			.998737

<b>Address:</b>	16978 Bohlman Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Brandwajn Xavier Brandwajn Carolyn
<b>APN:</b>	517-30-017	<b>Sale Amount:</b>	\$2,350,000
<b>Beds / Baths:</b>	3 / 3	<b>Square Feet:</b>	2,383
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Year Built:</b>	1983
		<b>Lot Size:</b>	3.239991

<b>Address:</b>	16997 McGill Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Dichev-Petrova 2020 Trust
<b>APN:</b>	517-24-021	<b>Sale Amount:</b>	\$1,155,000
<b>Beds / Baths:</b>	3 / 4	<b>Square Feet:</b>	2,522
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Year Built:</b>	1978
		<b>Lot Size:</b>	1.85

<b>Address:</b>	16955 Bohlman Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Dercole Ronald Dercole Barbara
<b>APN:</b>	517-30-008	<b>Sale Amount:</b>	\$850,000
<b>Beds / Baths:</b>	2 / 2	<b>Square Feet:</b>	1,945
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Year Built:</b>	1978
		<b>Lot Size:</b>	6.25

<b>Address:</b>	16984 Bohlman Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Ng,Emmy M Hui,Honbui D
<b>APN:</b>	517-30-018	<b>Sale Amount:</b>	\$2,210,000
<b>Beds / Baths:</b>	2 / 1	<b>Square Feet:</b>	1,877
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Year Built:</b>	1959
		<b>Lot Size:</b>	4.909986

<b>Address:</b>	19070 Bohlman Rd, Saratoga, CA 95070	<b>Owner(s):</b>	Conway H William H Conway Deborah
<b>APN:</b>	517-24-008	<b>Sale Amount:</b>	\$338,000
<b>Beds / Baths:</b>	2 / 1	<b>Square Feet:</b>	1,260
<b>Use Code:</b>	SFR	<b># Units:</b>	1
		<b>Year Built:</b>	1955
		<b>Lot Size:</b>	2.509986