



County of Santa Clara

Department of Planning and Development
County Government Center, East Wing, 7th Floor

70 West Hedding Street
San Jose, CA 95110
Phone: (408) 299-5700
www.sccplandev.org

STAFF REPORT
Zoning Administration
May 4, 2023
Item No. 1

Staff Contact: Robert Cain, Associate Planner
(408) 299-5706, robert.cain@pln.sccgov.org

File: PLN21-130 **Concurrent Land Use Permit for a Building Approval, Grading Approval, and Variance for a New Single-Family Residence**

Summary: Consider recommendation for a concurrent land use permit for a Building Site Approval, Grading Approval, and Variance. The request includes the construction of a new three-story, 4,540 square-foot residence on a 10-acre parcel. Associated improvements include a new driveway, septic system, swimming pool, and water tanks located within the front yard setback. The Variance request is to reduce the front yard setback for water tanks from the required 30’0” setback to 6’0”. Total grading quantities for the proposed project include 735 cubic yards of cut and 782 cubic yards of fill with a maximum vertical depth of 19’6” for the foundation of the residence.

Owner: Milind Khandare and Neha Dobhal
Applicant: Milind Khandare
Address: 17025 McGill Road, Saratoga, CA
APN: 517-24-024
Supervisory District: 5

Gen. Plan Designation: Hillside
Zoning: HS
Lot Size: 10.0 acres
Present Land Use: Vacant
HCP: Not in HCP Area

RECOMMENDED ACTIONS

- A. Accept a Categorical Exemption under Section 15303 (Class3)(a) of the CEQA Guidelines, Attachment A; and

- B. Grant concurrent land use permit for a Building Approval, Grading Approval, and Variance, pursuant to the Conditions of Approval outlined in Attachment B.

ATTACHMENTS INCLUDED

- Attachment A – CEQA Determination
- Attachment B – Preliminary Conditions of Approval
- Attachment C – Location and Vicinity Map
- Attachment D – Proposed Plans

PROJECT DESCRIPTION

The proposed project is a request for a concurrent land use permit for a Building Site Approval (B), Grading Approval (G), and a Variance (V) for the construction of a new 4,540 square-foot single-family residence with an attached garage. The Variance would accommodate a reduction in the required 30'0" front yard setback to 6'0" for water tanks. Associated site improvements include a swimming pool, leach fields, a driveway, and a wharf fire hydrant.

The property takes access from McGill Road, a private road, via Bohlman Road, which is a County- and City of Saratoga-maintained road (refer to Attachment C). The subject property has approximately a 53% downhill slope from McGill Road, which greatly limits the area best suited for development. The proposed development area has an average slope of 24.6%. The project would access water through an existing on-site well. The proposed project includes the construction of a new, three-story, 32.5 feet tall residence (refer to Attachment D) on a vacant lot. The elevations provided are conceptual, as full elevations and floor plans are not required for Building Site Approval or Grading Approval, however the applicant will be required to show that they are not exceeding the maximum allowed 35 feet above finished grade in their development permit plans as a Condition of Approval (refer to Condition No. 5 in Attachment B). No trees are proposed to be removed in association with this project. The subject property is not located in the Santa Clara Valley Habitat Plan (HCP) permit area and therefore is not subject to Habitat Plan review.

Setting/Location Information

The 10.0-acre parcel is currently undeveloped with steep terrain and thick vegetation, with an existing natural clearing at the location of the proposed residence. Although large in area, the majority of the property includes slopes that exceed 50%, which are considered extreme slopes. The proposed residence would be located in the flattest area of the lot, 30 feet away from the McGill Road right-of-way. The average slope of the development area is 24.6% and includes the flattest portion of the property. Although the flanks of the ridge are within State and County Landslide Hazard Zones, the proposed house location is not within these zones. Therefore, no Geology requirements are necessary. Romig's Geotechnical Investigation report (dated 6-30-2021) appears adequate for design purposes. The site is not located within the Santa Clara Valley Habitat Plan permit area, and a review of the California Natural Diversity Database did not reveal the known presence of any special-status species in the development area. Surrounding properties include single family residential uses, Sanborn County Park, and Midpeninsula Regional Open Space District' El Sereno Open Space Preserve. Properties in this area range from 0.75 acres to 160 acres. The single-family residences in the nearby neighborhood range from approximately 500 square feet to 5,000 square feet.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project's environmental impacts were analyzed, resulting in a Categorical Exemption (Attachment A). The project will not create any significant environmental impacts as the project minimizes grading and impacts to the natural terrain. Additionally, there are no watercourses, special status species or habitat mapped in the development area. An unnamed tributary of Lyndon Canyon Creek passes through the property but is located over 700 feet from the proposed development. The application includes an easement

dedication on both sides of this watercourse, and a slope stability easement along McGill Road. The development is proposed to occur outside of the water course and the slope stability easement areas. As such, the project qualifies for a Class 3, Section 15303 (a) new single-family residence Exemption from CEQA.

B. Project/Proposal

1. **General Plan:** Hillsides
2. **Building Site Approval:** Per County Ordinance Code Section C12-307, Building Site Approval (BSA) is required for new single-family or two-family dwellings, including any property within the HS zoning district that is not a designated lot within an approved Parcel Map or a numbered lot on a qualifying Tract Map. The proposed project meets all development standards for the primary residence (see Variance Findings in Section D below for discussion of the water tanks). Application for BSA was submitted on August 2, 2021, and will be approved simultaneously with the Grading Approval and Variance.
3. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for single-family residences in the HS Zoning District, as summarized below, the proposed project meets the required development standards for single-family residences.

Main Residence

Setbacks (HS):	30 feet from all property lines and/or rights-of-way
Height:	35 feet maximum
Stories:	3-stories maximum

Table A: Compliance with Development Standards for Accessory Structures (water tanks)

STANDARDS & REQUIREMENTS	CODE SECTION	Meets Standard (Y/N)*
Located in Rear Yard or Minimum 75 Feet from Front Property Line	§ 4.20.020 (E)(5)	N*
Height	§ 4.20.020 (E)(1)	Y
Minimum Separation Between Residence and Accessory Structure	§ 4.20.020 (E)(4)	Y
Rear Yard Coverage	§ 4.20.020 (E)(5)	N/A

*See a detailed discussion of these development standards within the body of the Variance Findings in Section D below

C. Grading Findings:

All Grading Approvals are subject to specific findings, pursuant to Ordinance Code sections C12-433. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.

The proposed grading quantities for the project include 735 cubic yards of cut and 782 cubic yards of fill (total 1,517 cubic yards). The three-story, 4,840 square-foot residence, water tanks, and leech field would utilize the flattest portions of the lot to minimize grading for the building pad and related improvements. As identified on the grading plans (Attachment C), the building pad and finish floor elevation is situated in a location requiring the minimal grading and vertical fill for the proposed development, as it steps downhill with the natural slope. A total of 340 cubic yards of cut and 320 cubic yards of fill are to accommodate the residence and attached garage, accessed via a constructed platform from McGill Road and built into the slope of the hill running south from the road. Grading is also proposed to establish modest landscape areas adjacent to the south of the residence to establish a small yard and swimming pool, and for the required stormwater system. Given the slope constraints of the lot, there are no alternative building sites, and the tiered design is one way grading is minimized. The grading design is necessary and appropriate to establish single-family residential uses, permissible in the HS zoning district. As such, this finding can be made.

2. The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.

The proposed project will not not endanger public or private property nor create any export of material. Standard Conditions of Approval and requirements of final grading plans will ensure that grading around the building pad will not result in slope instability or erosion. A slope stability easement has been proposed along McGill Road and a storm drainage easement has been proposed along the unnamed watercourse to protect these features and allow for maintenance if necessary. No work is proposed within 700 feet of the unnamed watercourse. The proposal has been approved by the County Land Development Engineering Division. As such, the grading will not endanger the public and/or private property, public health and safety, nor result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse. For these reasons, this finding can be made.

3. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.

The proposed grading has been designed to contour and blend with the natural topography to the maximum extent possible. There is a small amount of cut and fill that conforms with Fire and Land Development Engineering requirements. The

proposed building pad is situated on the most suitable and flattest portion of the lot. The grading will not impose any significant impacts on the natural landscape, biological, or aquatic resources. There are no creeks or other watercourses within 700 feet of the proposed development. There are no special status species or habitat mapped on the site. There is an area of oak woodland mapped which will not be impacted by the proposed development. No oaks are proposed to be removed in this application. Therefore, the proposed grading will minimize impacts to the natural landscape and resources, and minimize erosion impacts, and this finding can be made.

- 4. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.**

The proposed grading is related to creating a building pad for the new residence and driveway, and designed on the flattest portion of the lot. Other locations on the property are extremely steep (40% to 90% slope) and cannot accommodate a residence without excessive amounts of grading. As mentioned above, the building pad steps downhill with the natural slope and is situated in a location that requires the minimal grading and vertical fill for the proposed development. Furthermore, the proposed building pad is in an area that requires minimal vegetation removal, while other alternative locations on the site would require removing several trees and shrubs to create a building pad.

Additionally, the required water tanks are proposed in a location which is relatively flat compared to other areas of the property and utilizes retaining walls to minimize its visibility from McGill Road. The other possible location for the tanks would be northeast of the residence at a higher elevation which would also require a Variance but would be highly visible from the road.

Given the constraints mentioned above, the subject site shall be one that minimizes grading in comparison with other available development sites, and this finding can be made.

- 5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.**

The proposed grading is designed to conform with the natural terrain and existing topography and will not create a significant visual scar. The residence steps downhill with the natural slope and the driveway length is the minimal length to accommodate adequate site access requirements. Furthermore, all proposed grading contours blend with the existing natural contours while minimizing hard angles. As such, the proposed grading meets this finding.

6. Grading conforms with any applicable general plan or specific plan policies; and

The proposed grading is in conformance with specific findings and policies identified in the County General Plan. The proposed project utilizes the flattest area of the subject property and is situated in an area that requires minimal necessary grading. Such design minimizes grading and reduces visual impacts from hillside development in keeping with General Plan policies R-GD 20 through R-GD 28. These policies require grading to conserve the natural landscape and resources, minimize erosion impacts, not exacerbate existing hazards, be the minimum necessary for the establishment of an allowable use, balance cut and fill, and avoid significant visual scarring. These policies also require applicants to select sites on a property which require the least amount of grading, and avoid development on slopes greater than 30% when possible. For these reasons, this finding can be made.

7. Grading substantially conforms with the adopted "*Guidelines for Grading and Hillside Development*" and other applicable guidelines adopted by the County.

The proposed grading is in conformance with the adopted "*Guidelines for Grading and Hillside Development,*" in particular, the specific guidelines for siting, road design, building form, and design. The residence utilizes the flattest area of the property located directly adjacent to McGill Road right-of-way, in keeping with "*proposed development in areas with level lands or gentler slopes, adjacent to existing infrastructure, minimizing the need for grading and longer driveways into hiside areas.*" Therefore, the proposed grading is designed to follow the natural terrain, minimize grading, and reduce visual impacts of the hillside development and is in keeping with General Plan Policies. For these reasons, this finding can be made.

D. Variance Findings:

Pursuant to Section 5.70.020 of the County Zoning Ordinance, a Variance may be considered and justified to enable discretionary relief from the development standards of the Zoning Ordinance where it can be clearly determined that based on the unique circumstances and characteristics of the lot, enforcement of the applicable standards would preclude reasonable use and development of the lot. Furthermore, the unique circumstances involved must be substantial and detrimental, and must relate directly to the characteristics and circumstances of the lot, such that any Variance approved logically and reasonably provides a remedy for a specific hardship(s). In the following discussion, the scope of review findings are identified in **bold** text, and an explanation of how the project meets or doesn't meet the required finding is followed in plain text.

1. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zoning classification; and

The proposed Variance is to reduce the front yard setbacks for the required water tanks from 30'0" to 6'0". The subject lot is 10.0 acres, with extremely steep

topography and thick vegetation. The only location on the property with a slope less than 30% is the proposed location of the residence and leech field, which is immediately adjacent to McGill Road.

As mentioned in BSA Finding above, the water tank must be located within the front yard setback in order to be at an elevation equal to or higher than the wharf hydrant. If the water tanks were located outside the 30-foot setback and met the Fire Marshal's requirement of a 20 feet distance from the residence, additional fill of approximately 10 to 20 feet in height would be required to increase the elevation pad of the tanks. These measures would be contrary to existing County guidelines which emphasize minimizing fill and impacts to the natural terrain and environment. Additionally, the tanks' location is at an elevation eight feet lower than McGill Road which further minimizes their visibility.

The request to reduce the water tank setback of 30'0" to 6'0" meets the requirements of this finding. The steep topography across a majority of the lot and the limited flat development area of the subject property constitutes relatively unique circumstances. As such, Staff can make the finding to reduce the water tank front yard setback to be 6'0". This would allow the construction of the proposed single-family residence, which is a use permitted in the HS zoning district. Therefore, for the reasons discussed above, this finding can be made.

2. The grant of the variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and the zoning district in which the subject property is located.

As noted in the Project Description section of this report, the subject property has an extremely steep topography that restricts the development area of the property. The Project is seeking to develop a single-family residence in a neighborhood which is primarily developed with single-family residences. Although most surrounding residences meet applicable Zoning Ordinance setbacks, two other nearby properties, 16951 Bohlman Road and 16968 Bohlman Road, received Variances for the water tank front yard setback to be reduced from 30' to 4' (File No. 9319) and 30' to 14' (File PLN21-098) respectively due to site constraints such as steep topography and lot configuration. As such, the County recognizes that the area may not meet the applicable development standards with relation to setbacks due to the steep topography of the parcel and the site planning constraints.

Based on the steep topography of the property, the associated site planning constraints, and other Variance approved within the area, Staff has determined the subject request to reduce the front yard setback of the water tanks from 30'0" to 6'0" does not constitute a special privilege inconsistent with the limitations upon other properties within the vicinity and the HS zoning district. In addition, the water tanks are required for development and as previously discussed the water tanks must be located within the front yard setback in order to be at an elevation equal to or higher

than the wharf hydrant to meet the County's fire safety regulations. As such, this finding can be made.

Staff Recommendation

In conclusion, based on the unique circumstances and findings of fact described in the body of this report, Staff recommends that the Zoning Administration Hearing Officer grant the concurrent land use permit for a Building Site Approval, Grading Approval, and Variance to reduce water tank front setbacks from 30'0" to 6'0" for a new single-family residence. The Variance is reasonably necessary to provide a practical remedy to the substantial and detrimental hardships presented by the lot's characteristics, and conforms to the applicable policies, findings and guidelines of the Zoning Ordinance, General Plan, and Ordinance Code.

ADDITIONAL INFORMATION

Public Comments

No public comments were received as of the posting of this report.

BACKGROUND

On August 2, 2021, the owner submitted a formal application of Building Site Approval and Grading Approval for a new single-family residence on Bolman Road. An initial incomplete letter was issued on September 1, 2021, detailing issues with the site plan, grading, drainage, and fire requirements. Staff also included a policy issues letter describing the State Minimum Fire Safe Regulations (as reviewed by CalFire). At this time, Staff indicated there was an issue with the proposed location of the wharf hydrant.

On December 16, 2021, the owner resubmitted and on January 13, 2022, the project was again deemed incomplete. The incomplete items were largely the same as in the previous letter, and Staff again highlighted issues concerning the State Minimum Fire Safe Regulations in a policy issues letter. Again, Staff indicated there were concerns about the location of the wharf hydrant, as it appeared to be at a higher elevation than the water tanks.

On May 3, 2022, the owner resubmitted and on June 1, 2022, the project was again deemed incomplete. Staff again stated concerns about the location of the wharf hydrant being at a higher elevation than the water tanks, and notified the applicant that the proposed pump would trigger stricter requirements. The applicant was also asked to provide an exception approval from CalFire regarding access to the site.

On August 19, 2022, the owner resubmitted and on September 16, 2022, the project was again deemed incomplete. At this time, the only incomplete items related to the widening of McGill Road. Staff again informed the applicant about concerns regarding the wharf hydrant and water tank location, and the access road meeting the State Minimum Fire Safe Regulations.

On November 22, 2022, the owner resubmitted the project, and on December 22, 2022, the project was deemed complete. However, the applicant was informed that the two fire safety items concerning the location of the wharf hydrant and water tanks as well as the access road remained.

On December 23, 2022, Staff informed the owner that the County would not require any improvements to Bohlman Road, a County- and City of Saratoga-maintained road, as part of this application. Improvements to McGill Road, a private road, were still required. This left only the wharf hydrant and water tanks as an issue. In order to allow time to resolve this issue, a 90-day extension of the Permit Streamlining Act 60-day deadline for a decision on the project was mutually agreed to on February 6, 2023. After discussions with County Fire, the applicant submitted revised plans to address this issue on March 29, 2023. This revision included an application for a Variance to allow the water tanks to be placed within the 30' front setback, at 6' from the edge of right-of-way. Final action is due for this application per the Permit Streamlining Act by May 22, 2023.

On April 21, 2023, a public notice was mailed to all property owners within a 300 radius and was also published in the Post Records on April 24, 2023. As of April 26, 2023, staff has received no comments from the public related to the project.

STAFF REPORT REVIEW

Prepared by: Robert Cain, Associate Planner

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Robert Cain

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Reviewed by: Samuel Gutierrez, Principal Planner

DocuSigned by:

[Signature]

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Attachment A

Statement of Exemption from the California Environmental Quality Act (CEQA)

Attachment A

STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

FILE NUMBER PLN21-130	APN(S) 517-24-024	4/27/2023
PROJECT NAME Single-Family Residence; 17025 McGill Road, Saratoga CA	APPLICATION TYPE Building Site Approval, Grading Approval and Variance	
OWNER Milind Khandare & Neha Dobhal	APPLICANT Milind Khandare	
PROJECT LOCATION 17025 McGill Road, Saratoga CA		
PROJECT DESCRIPTION Building Site Approval, Grading Approval, and Variance for the construction of a new three story 4,540 square foot residence on a 10.0-acre parcel. Associated improvements include a new driveway, septic system, swimming pool, and water tanks located within the front yard setback. Total grading quantities for the proposed project include 735 cubic yards of cut and 782 of fill with a maximum vertical depth of 19.5 feet for the foundation of the residence. All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.		
CEQA (GUIDELINES) EXEMPTION SECTION Section 15303(a) - Class 3(a): One single-family residence in a residential zone. The proposed project's environmental impacts were analyzed, resulting in a Categorical Exemption. The project will not create any significant environmental impacts as the project minimizes grading and impacts to the natural terrain. Additionally, there are no watercourses, special status species, or sensitive habitat mapped in the development area. As such, the project qualifies for a Class 3, Section 15303 (a) new single-family residence Exemption from CEQA.		
COMMENTS The subject property is in an area zoned to allow single-family residential development and the proposed project is of a similar size of neighboring residences. The new residence will utilize the flattest area available to minimize impacts to the natural landscape. No trees are proposed for removal, should a tree require removal it will be replanted in accordance with the County of Santa Clara Tree Preservation and Removal Guidelines. No special status species or habitat exists in the project site, and the project will not impact any watercourses or sensitive or protected wildlife or plant species.		

APPROVED BY:	DocuSigned by:	<u>4/27/23</u>
Robert Cain, Associate Planner	 B6CEFA7686064B6... Signature	Date

Attachment B

Preliminary Conditions of Approval

ATTACHMENT B
**PRELIMINARY CONDITIONS OF APPROVAL FOR BUILDING SITE APPROVAL,
 GRADING APPROVAL, AND VARIANCE**

Date: May 4, 2023

Owner/Applicant: Milind Khandare and Neha Dobhal

Location: 17025 McGill Road, Saratoga (APN: 517-24-024)

File Number: PLN21-130

CEQA: Categorically Exempt – Section 15303, Class 3(a)

Project Description: Building Site Approval, Grading Approval, and Variance. The request includes the construction of a new three-story, 4,540 square-foot residence on a 10.0-acre parcel. Associated improvements include a new driveway, septic system, swimming pool, and water tanks located within the front yard setback. The Variance request is to reduce the front yard setback for water tanks from the required 30’0” setback to 6’0”. Total grading quantities for the proposed project include 735 cubic yards of cut and 782 cubic yards of fill with a maximum vertical depth of 19’6” for the foundation of the residence. Approval is based on the plans submitted March 29, 2023, the revised architect plans submitted on April 17, 2023, and revised easement plans on April 19, 2023. The project is not located within the Santa Clara Valley Habitat Plan Area.

If you have any question regarding the following conditions of approval, call the person whose name is listed below as the contact for that agency. They represent a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	Robert Cain	(408) 299- 5706	robert.cain@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 299 – 5748	darrin.lee@cep.sccgov.org
Fire Marshal	Alex Goff	(408) 299 – 5763	alex.goff@sccfd.org
Land Development Engineering	Ed Duazo	(408) 299 - 5733	ed.duazo@pln.sccgov.org
Geology	David Seymour	(408) 299 - 6711	David.seymour@pln.sccgov.org
Roads & Airports	Tom Esch	(408) 573 - 2450	Tom.esch@rda.sccgov.org
Building Inspection		(408) 299 - 5700	

STANDARD CONDITIONS OF APPROVAL

Building Inspection

1. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at www.sccbuilding.org.

Planning

2. Development must take place in substantial conformance with the approved plans as presented at the Zoning Administrator hearing on May 4, 2023, consisting of plans submitted March 29, 2023, revised architect plans submitted on April 17, 2023, revised easement plans submitted on April 19, 2023, and as modified by the Conditions of Approval. Any additional changes to the proposed project, or modification to the grading or design may require a modification to the concurrent land use permit for the Building Site Approval, Grading Approval, and Variance, and associated fees, and may result in additional environmental review, pursuant to the California Environmental Quality Act. Changes are required to be submitted for review and approval by the Planning Division of the Department of Planning and Development.
3. This approval does not otherwise approve any unpermitted structures located on the property. All structures and grading located within Santa Clara County jurisdiction that require a permit are subject to compliance with and issuance of County permits.
4. Building and grading permits shall be submitted to the Building Inspection Office concurrently.
5. Existing zoning is HS (Hillsides). Maintain the following minimum dwelling setbacks (Zoning Ordinance Sections 2.20.030):

Front: 30'0"

Sides: 30'0"

Rear: 30'0"

The maximum height of dwellings is 35'0" and shall not exceed three (3) stories. The height of the residence must be shown on development permit plans and measured in accordance with §1.30.030 of the County Zoning Ordinance. This is from the final grade to the top of the structure. On sloping lots, such as this one, height is measured vertically upward from a hypothetical surface representing the final grade as projected through the structure site; no portion of the residence may exceed the maximum height allowed of 35'0".

6. Two (2) off-street parking spaces are required, one (1) of which must be covered.
7. Pursuant to the approved **Variance**, water tanks as shown within the approved plans dated on April 17, 2023, shall maintain the following minimum setbacks:

Front: 6'0"

Sides: 3'0"
(height up to 12'0" tall)Rear: 3'0"
(height up to 12'0" tall)

8. Tree replacement and planting. No trees are proposed to be removed in this project; should development require any tree to be removed, the project will be required to submit plans showing the size and location of the tree(s) to be removed and provide sufficient new trees to be planted in conformance with the *County Guidelines for Tree Protection and Preservation for Land Use Applications*. A reduction to the number of trees to be replanted can only be authorized by the Director of Planning and Development based on sufficient evidence

provided by a certificated arborist report that supports a reduction to the standard tree replacement ratio.

Archaeological Resources

9. In the event that human skeletal remains are encountered, the applicant is required by County Ordinance No. B6-18 to immediately notify the County Coroner. Upon determination by the County Coroner that the remains are Native American, the coroner shall contact the California Native American Heritage Commission, pursuant to subdivision (c) of section 7050.5 of the Health and Safety Code and the County Coordinator of Indian affairs. No further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs in accordance with the provisions of state law and this chapter. If artifacts are found on the site a qualified archaeologist shall be contacted along with the County Planning Office. No further disturbance of the artifacts may be made except as authorized by the County Planning Office.

Land Development Engineering

10. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.

Environmental Health

11. At the time of development, the onsite wastewater treatment system (OWTS) design shall be in conformance with the prevailing Onsite Wastewater Treatment System Ordinance. The OWTS shall be designed based upon percolation test rates and the dispersal field shall be located within the percolation and soil profile testing areas.

Based upon a percolation rate of 28 minutes per inch with an application rate of 0.48 gallons per minute per square feet, sewage disposal conditions for a 5-bedroom single-family dwelling as follows:

- a. 1250 square foot plus 1250 square foot dual drip dispersal fields (or for a single field total of 2500 square foot).
- b. 1500-gallon septic tank, an Advantex AX20 treatment device, and 2000-gallon pump tank.

This OWTS design is adequate to serve a proposed single-family dwelling not to exceed 600 gallons per day, an equivalent to a five-bedroom single family dwelling.

12. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

Fire Marshal's Office

13. The requirements stated in these Conditions of Approval are the minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.

14. This property is located in the Wildland Urban Interface Fire Area. All of the following conditions shall apply:
- a. A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
 - b. Meet Chapter 7A of the CBC.
 - c. Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.

Fire Protection – Access

15. Access roads (roads serving more than two lots) and driveways (roads serving no more than two lots) for fire department access shall comply with the following:
- a. Width: Access Roads to have a clear drivable width of 18 ft. plus a 3 ft. shoulder on each side per CFMO-A1. Driveways are to have a 12 ft. drivable width and a 3 ft. shoulder.
 - b. Vertical Clearance: Minimum vertical clearance of 13 ft. 6 in. shall be maintained to building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements) for access roads and driveways.
 - c. Curve Radius: Plans to show minimum 30 ft. inside turn radius for curves and 50 ft. exterior turn radius.
 - d. Grade: Maximum grade shall not exceed 15%.
 - e. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000-pound gross vehicle weight.
 - f. Turnarounds: Turnaround shall be provided for dead-end roads and driveways in excess of 150 ft. as measured along the path of travel from the centerline of the access road to the structure. Acceptable turnaround shall comply with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
 - g. A sign stating no parking will be required at the turnaround to ensure the hydrant and turnaround are accessible at all times, this includes the driveway as the plans purpose this area as a turnaround.
 - h. The turnaround is to be clearly identified to ensure fire personnel can identify the turnaround.
 - i. Bridges: All bridges and elevated platforms (for vehicles) shall be capable of sustaining 75,000-pound gross vehicle weight and meet the latest edition of the CalTrans Standard Bridge Design Specifications. Appropriate signage, including but not limited to weight or vertical clearance limitations, or any special conditions shall be provided.
 - j. Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.
 - k. Address: Numbered address to be easily recognizable from the street.
16. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable **prior to approval of the foundation**, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are

not installed, accessible, and/or maintained at all times.

Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department use. Gates shall be maintained in good working order and shall remain in compliance with Fire Marshal Standard CFMO-A3 at all times.

Fire Protection – Water

17. On-site storage tanks are required, and details for fire protection water supply shall be included with the building permit set of drawings. Submittal shall include, but not be limited to, location of water supply, (e.g., onsite well, shared well; tank location and capacity, pipe size, wharf hydrant orifice size and location, domestic and fire protection water tanks and piping configuration).
 - a. All installations shall include a primary aboveground storage tank with a capacity of not less than 3,000 gallons dedicated to domestic and fire sprinkler system demand. Storage capacity may be increased due to sprinkler design demand or additional domestic (including landscaping) required by the Department of Environmental Health.
 - b. Provide 2-5,000-gallon secondary aboveground storage tanks dedicated to the wharf hydrant. Final amount of water to be based off the size of structures at Building Permit submittal meeting CFMO-W1.
 - c. Installation of the water tank system shall comply with Fire Marshal Standard CFMO-W5.
 - d. A standard fire hydrant may be required in lieu of water tanks and a wharf hydrant if a water purveyor is available to supply water to the parcel.

18. One on-site wharf hydrant with 2-1/2-inch orifice is required to be installed when fire protection water is supplied by on-site aboveground storage tank(s). Installation of hydrants shall be in accordance with Fire Marshal Standard Detail CFMO-W4.
 - a. Minimum distance to structure shall not be less than 55 ft. from the closest portion of the structure and shall not exceed 400 ft. from the furthest portion of non-sprinklered structures and 600 ft. of sprinklered structures (measured along path of travel).
 - b. A blue "Botts Dot" is to be installed near the middle of the street to identify the location of the wharf hydrant.
 - c. A sign is to be installed to identify location of the wharf hydrant.
 - d. There is to be no parking along the fire department turnaround to ensure the hydrant is kept accessible. A sign is to be installed stating "No Parking."

19. Fire protection water system shall be installed, functioning and inspected **prior to approval of the foundation**. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.

Fire protection water systems and equipment shall be accessible and maintained in operable condition at all times, and shall be replaced or repaired where defective. Fire protection water

shall be made available to the fire department.

Roads & Airports

20. The project does not propose to remove trees within the County right-of-way. Should any tree be removed, replaced, or relocated within the County (ROW), a Tree Removal Approval Board of Supervisor process is required, and approval must be granted prior to any covered activity. A tree within the ROW requiring removal approval is any tree at least 20'0" in height or at least 12" in diameter measured 4'-6" feet above grade. The process for obtaining approval for a tree removal and the forms that are required can be found at: www.countyroads.org > Services > Apply for Permits > Tree Removal from County Right-of-Way.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL GRADING AND BUILDING PERMIT ISSUANCE

Planning

21. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
22. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125 record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.
23. For all trees to be retained with a canopy in the development area, or that interfaces with the limits of grading for any proposed development on-site, the trees shall be protected by the placement of five (5)-foot tall rigid tree protective fencing, as shown on final grading and final building plans and must include the following:
- Fencing should be placed along the outside edge of the dripline of the tree or grove of trees.
 - The fencing should be maintained throughout the site during the entire construction period and should be inspected periodically for damage and proper functions.
 - Fencing should be repaired as necessary to provide a physical barrier from construction activities.
 - The following sign shall be placed on all tree protection fencing and must remain until final occupancy. The sign must read: "Warning. This fencing shall not be removed without permission from the Santa Clara County Planning Office. County of Santa Clara tree protection measures may be found at: <http://www.sccplanning.gov>, or call 408-299-5770 for additional details."
 - Protection measures must be in place **prior to construction activity** commencing.
 - Evidence of tree protective fencing can be provided by taking photos and emailing to the project planner.

Land Development Engineering

24. Obtain a Grading Permit from Land Development Engineering (LDE) prior to beginning any construction activities. Issuance of the grading permit is required prior to LDE clearance of the building permit (building and grading permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required can be found at the following web page:

<https://plandev.sccgov.org/home> > How to > Apply for a Development Permit or Planning Application > Grading Permit

If the County Roads and Airports Department provides a condition of approval to obtain an encroachment permit, for your convenience, the grading and encroachment permits will be processed concurrently under one set of improvement (grading) plans.

25. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
26. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures, and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:

§ March 1981 Standards and Policies Manual, Volume 1 (Land Development)

<https://plandev.sccgov.org/home> > Ordinances & Codes > Land Development Standards and Policies

§ 2007 Santa Clara County Drainage Manual

<https://plandev.sccgov.org/home> > Ordinances & Codes > Grading and Drainage Ordinance

27. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified, and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file

appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

28. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
29. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.
30. Provide landscaping and disturbed area quantities on the final plans. If more than 500 square feet of landscape area is proposed, then apply for and obtain a landscape permit. Additional information on landscape permit applicability & requirements is available at: <https://plandev.sccgov.org/landscape-ordinance>.
31. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.
32. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.
33. Include one of the following site design measures per the 2015 Municipal Regional Permit in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design. For additional information, please refer to the C.3 Stormwater Handbook (June 2016) available at the following website:

§ www.scurppp.org > Elements > New Development and Redevelopment > C.3 Stormwater Handbook (June 2016)
34. Submit one copy of the signed and stamped geotechnical report for the project.
35. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plan.

36. Indicate on the improvement plans the land area that will be disturbed. If one acre or more of land area will be disturbed, file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) for coverage under the State General Construction Permit. The SWRCB will issue a Waste Discharge Identification number (WDID). The WDID number shall be shown on the on the final improvement plans. The SWRCB web site is at:

www.waterboards.ca.gov > Water Issues > Programs > Stormwater

37. The following offers to dedicate easements shall be submitted to LDE. All easement dedications shall include legal descriptions, plats, and corresponding documents to be reviewed and approved by the County Surveyor's Office. The owner/ applicant will be required to record the document with the County's Recorder's Office after reviewed and approved by the County Surveyor's Office.
- a. Offer to dedicate the following curvilinear rights-of-way to the public and the County for public/private road purposes: (1) a 20-foot half-street for those portions of the existing 40-ft ingress/egress easement for McGill Road that are located within the property (APN: 517-24-024), and (2) additional right-of-way for those portions of McGill Road along the western property boundary, where the existing road alignment is offset from the centerline of the existing 40-foot easement. The required additional right-of-way along the western property boundary is generally shown in the conditionally approved plans.
 - b. Offer to dedicate slope easements for all slopes and retaining walls supporting the proposed road improvements that extend beyond the McGill Road right-of-way. Retaining walls supporting the road improvements shall be structurally independent from private improvements outside the slope easement.
 - c. Offer to dedicate a minimum 25-foot wide or 5 feet beyond top of bank, whichever is greater, easement to the public and the County for storm-drainage purposes for the portion of the tributary of Lyndon Canyon Creek that passes through the property.

38. Enter into a land development improvement agreement with the County. Submit an Engineer's Estimate of Probable Construction Cost prepared by a registered civil engineer with all stages of work clearly identified for all improvements and grading as proposed in this application. Post financial assurances based upon the estimate, sign the development agreement and pay necessary inspection and plan check fees, and provide County with a Certificate of Worker's Compensation Insurance. (C12-206).

39. Enter into a deferred improvement agreement for the ultimate County improvement of McGill Road.

Environmental Health

40. On revised plan set, overlay final onsite wastewater treatment system (OWTS) design onto the final grading and drainage plan scaled to 1-inch equals 20 feet (1" = 20'). The plan shall show the proposed dwelling, driveway, accessory structures, septic tank and the required dispersal field. Submit the plan set to the Department of Environmental Health (DEH) for review and approval.

- a. Maintain all setbacks as described within County of Santa Clara Onsite Manual.

Note: McGill Road is not a County Roads and Airports maintained road. Any improvements or widening requirements for a project on McGill Road would be determined through the review process by Department of Planning and Development. Any widening of the road or drainage features required could impact the OWTS design.

- b. On final grading and drainage plan with OWTS overlay, include notation 'to fence off OWTS dispersal field prior to construction'.

41. To assist in determining the final OWTS sizing, for the proposed single-family dwelling submit final floor plan to DEH.

42. **Prior to issuance of a development permit**, contact DEH to obtain water clearance for the existing well. This is a separate submittal to DEH subject to completion of a service application, submittal of documents to include well driller's log showing a 50 foot annular seal, well yield, and analytical results from bacteriological and chemical testing, and payment of applicable fees.

Roads & Airports

43. Obtain a Santa Clara County Roads and Airports Department (RDA) Encroachment Permit for the following required improvements:

- a. Install a Stop Sign and Stop bar pavement markings for Mc Gill Road at the intersection of Bohlman Rd.

The process for obtaining an Encroachment Permit and the forms that are required can be found at: www.countyroads.org > Services > Apply for Permits > Encroachment Permit.

44. Demonstrate that the post-development maximum flow rate into the County Road right-of-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any detention or retention system necessary to satisfy this requirement.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.

Land Development Engineering

45. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements by the County**. Any permanent survey monuments

damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

46. Construction staking is required and shall be the responsibility of the developer.

Environmental Health

47. **Prior to building final**, provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

Fire Marshal

48. An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure.

NOTE: The fire sprinkler system shall be installed and finalized by this office **prior to occupancy**. A separate permit shall be obtained from this office by a state licensed C-16 contractor **prior to installation**. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

Roads & Airports

49. Construct all the improvements approved under the Encroachment Permit.

Attachment C

Location and Vicinity Map



Attachment D

Plans

KHANDARE RESIDENCE

17025 MCGILL ROAD, SARATOGA, CA 95070 (UNINCORPORATED)



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Dan Ionescu Architects & Planners

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KHANDARE RESIDENCE

LOCATION
17025 MCGILL RD.
SARATOGA CA 95070

PROJECT PHASE SITE PLAN PERMIT JOB NO. 2003

COVER SHEET

SCALE N/A DATE JULY 2021

ISSUES / REVISIONS	
△	9-10-21 CITY COMMENTS-PLANNING
△	11-22-21 COUNTY CIVIL COMMENTS
△	02-10-22 COUNTY CIVIL COMMENTS
△	07-25-22 COUNTY CIVIL COMMENTS
△	11-1-22 COUNTY CIVIL COMMENTS
△	03-23-23 FIRE DEPT. COMMENTS

A-0

SITE PLAN PERMIT APPLICATION

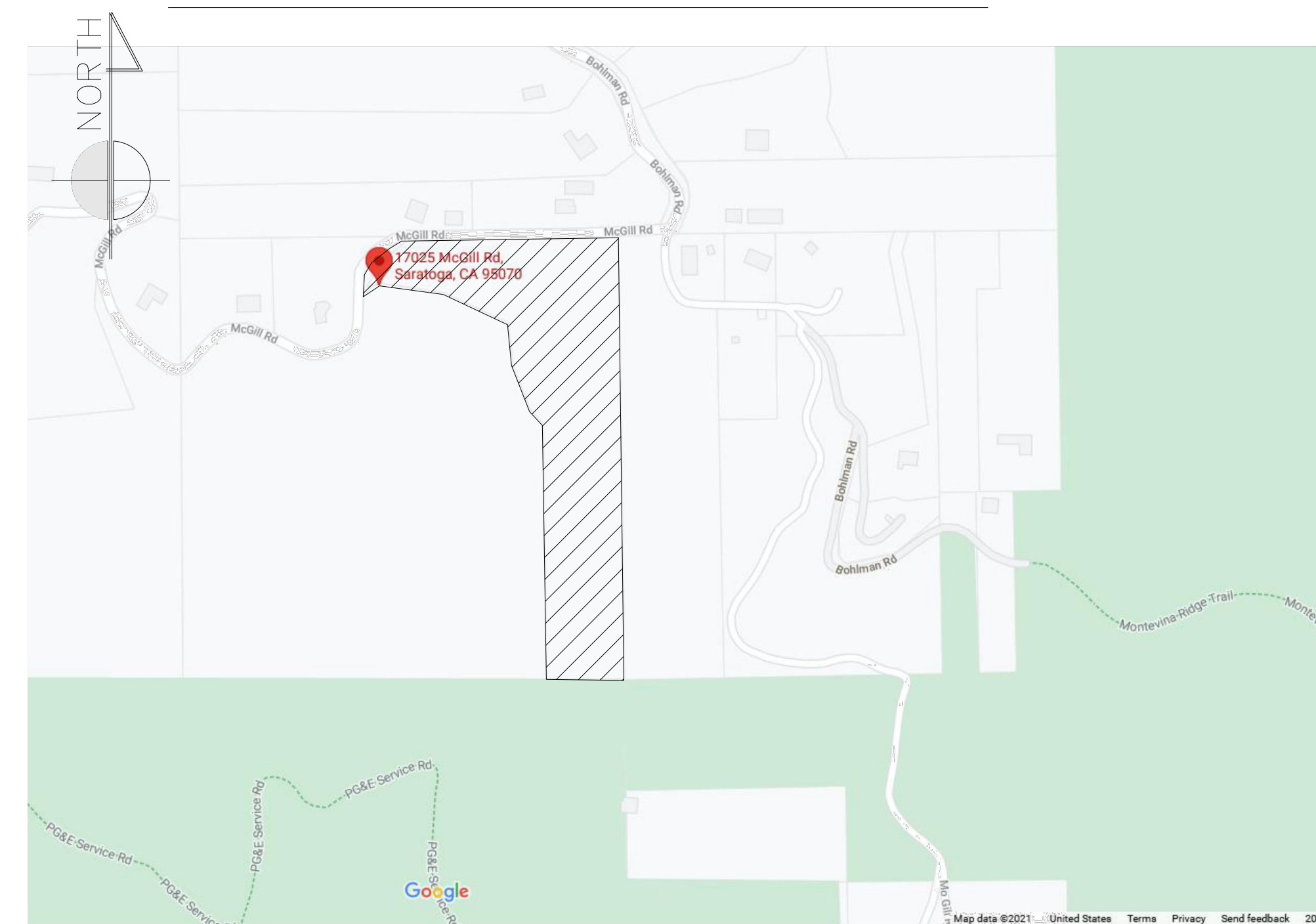
PROJECT DIRECTORY

OWNER	MILIND KHANDARE & NEHA DOBHAL 560 HOPE STREET, #27 MOUNTAIN VIEW, CA, 94041	312.607.9870 nk.milind@gmail.com
ARCHITECT	DAN IONESCU ARCHITECTS & PLANNERS 1611 BOREL PLACE, SUITE 230 SAN MATEO, CA 94402	650.570.6681 dionescu@diap.com
CIVIL	OSUNA ENGINEERING, INC. 117 BERNAL ROAD, SUITE 70-336 SAN JOSE, CA 95119	408 772 4381 info@osunaengineering.com
GEOTECHNICAL	ROMIG ENGINEERS 1390 EL CAMINO REAL, SECOND FLOOR SAN CARLOS, CA 94070	650 591 5224 www.romigengineering.com
WASTEWATER	BIOSPHERE CONSULTING 1315 KING STREET, SANA CRUZ, CA 95060	831 430 9116 www.biosphere-consulting.com

DRAWING INDEX

ARCHITECTURAL	WASTEWATER SYSTEM
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A0.1 SYMBOLS & ABBREVIATIONS	
A1 SITE PLAN	
A2 SITE PLAN DETAIL	
A3 PLAN & SECTION SCHEMATICS	
A4 ELEVATION SCHEMATICS	
A5 ASSESSOR MAP & LOT CREATION	
CIVIL	
C0 TITLE SHEET	
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C1.4 PRELIMINARY GRADING & DRAINAGE PLAN	
C1.5 PRELIMINARY GRADING & DRAINAGE PLAN EARTHWORK QUANTITIES	
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C5 PRELIMINARY GRADING & DRAINAGE CONCEPTUAL STORM PLAN	

VICINITY MAP



PROJECT DATA

A. GENERAL DATA

1. ADDRESS: 17025 MCGILL ROAD, SARATOGA, CA 95070
2. ASSESSOR'S PARCEL NUMBER: 517-24-024
3. LOT AREA: 435,600 SQ.FT. = 10 AC.

B. PLANNING DATA

ZONING: HS
UNDER 30% SLOPE
SETBACKS FRONT = 30'
SIDE = 30'
BACK = 30'

HEIGHT LIMITATION: 32.5' PROPOSED HEIGHT: 32.5'
PROPOSED SINGLE FAMILY RESIDENCE, 3 STORIES, 2,500 SQ.FT. +/- + 800 SQ.FT.
BASEMENT + 2 CAR GARAGE, ATTACHED STRUCTURE (AT ROOF LEVEL), 2 STORIES,
+/- 1,200 SQ.FT. TOTAL BUILDING AREA +/- 4,540 SQ.FT.
SEWER: DRIP SEPTIC SYSTEM

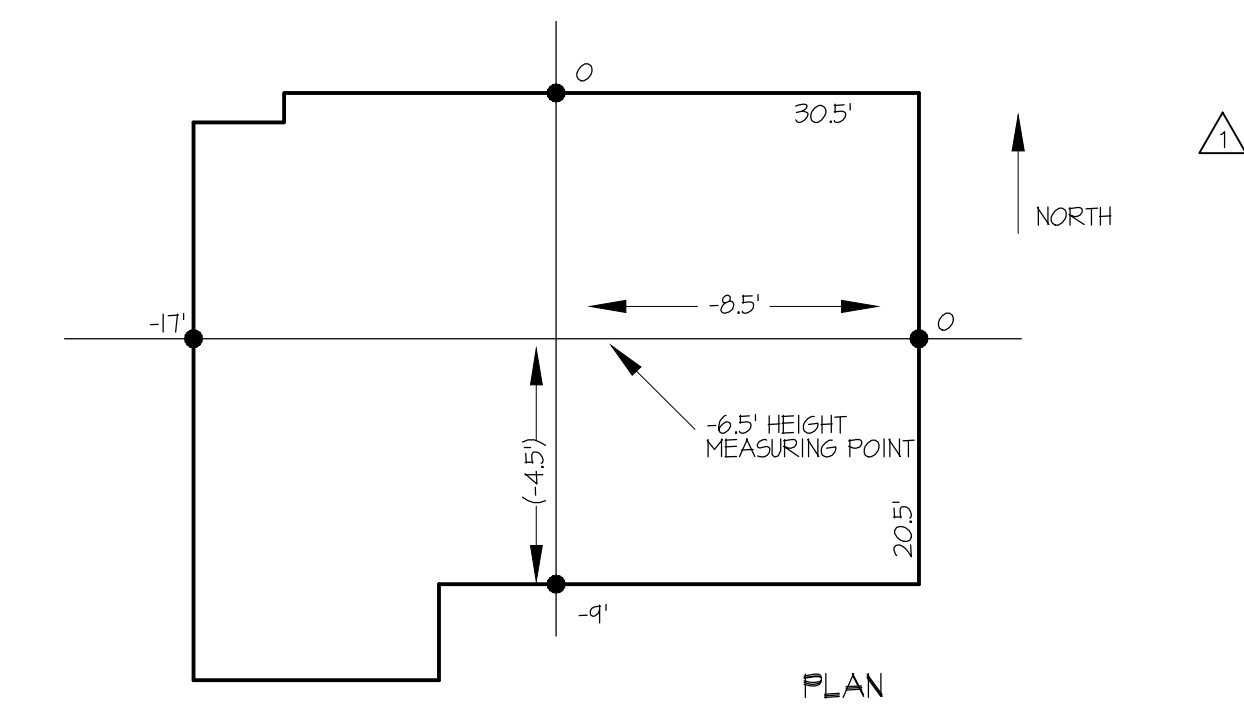
C. CODES

THE FOLLOWING CODES APPLY:
2019 CALIFORNIA SINGLE FAMILY BUILDING CODE, INCLUDING CHAPTER 7A,
2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA PLUMBING CODE, 2019
CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019
CALIFORNIA GREEN BUILDING STANDARDS CODE, COUNTY OF SANTA CLARA
CODES AND REGULATIONS.

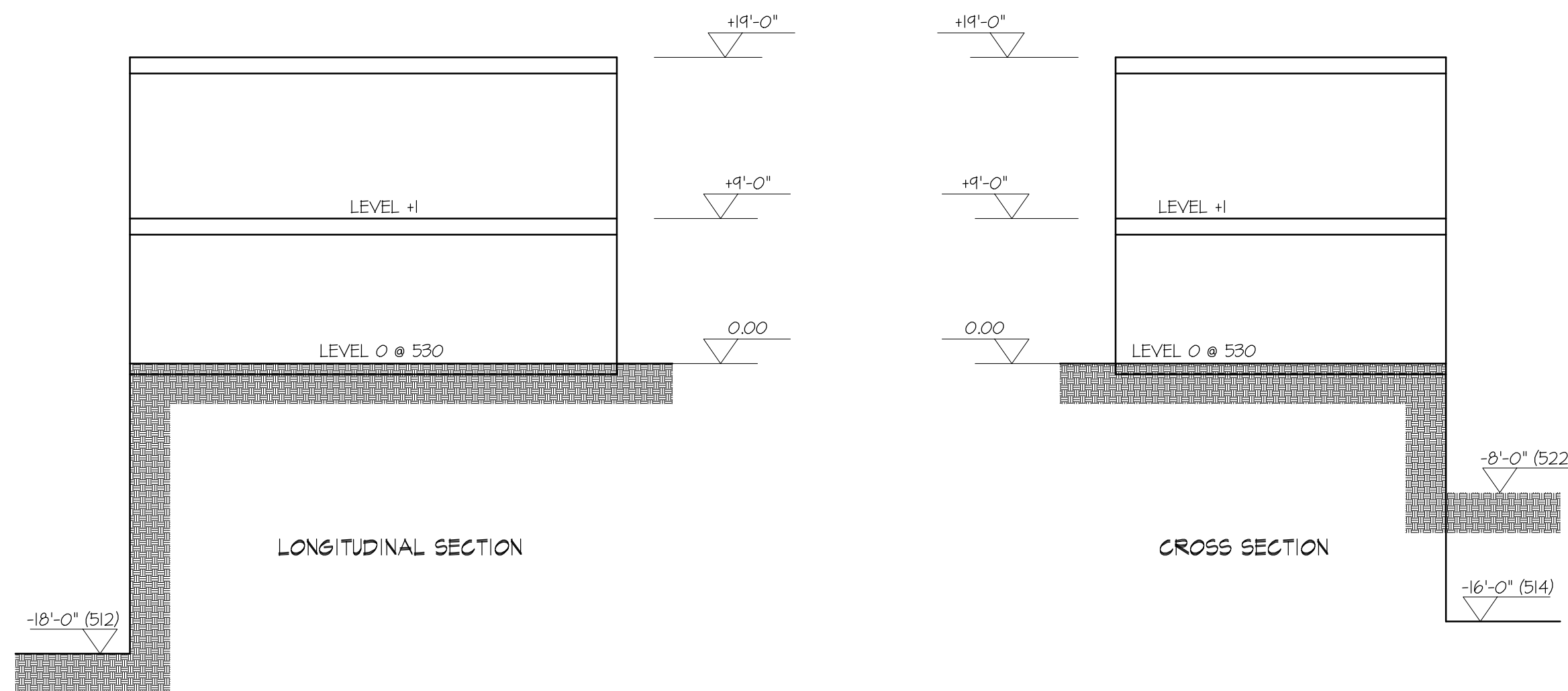
D. FIRE

PARCEL LOCATED WITHIN SRA AND WUI-HIGH.
PROPOSED PROJECT WILL HAVE AN APPROVED AUTOMATIC SPRINKLER SYSTEM FOR:
1. INTERIOR OF RESIDENCE BUILDING, AUTOMATIC
2. EXTERIOR OF RESIDENCE BUILDING, MANUAL (OPTIONAL)
3. INTERIOR OF GARAGE BUILDING, AUTOMATIC
PRIVATE DRIVEWAY SLOPE AND MCGILL ROAD SLOPE ARE BOTH LESS THAN 15%

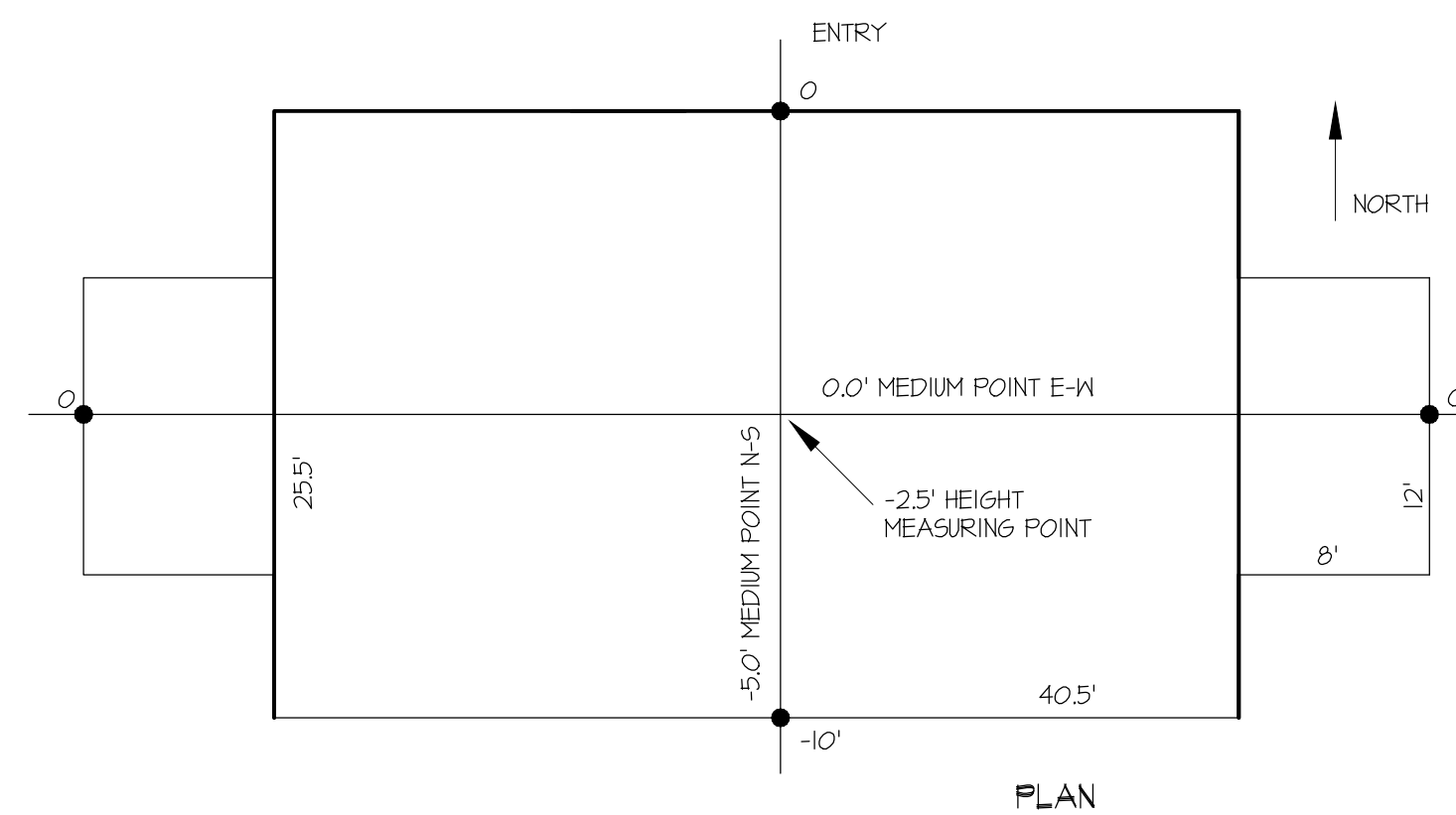
HEIGHT ANALYSIS GARAGE



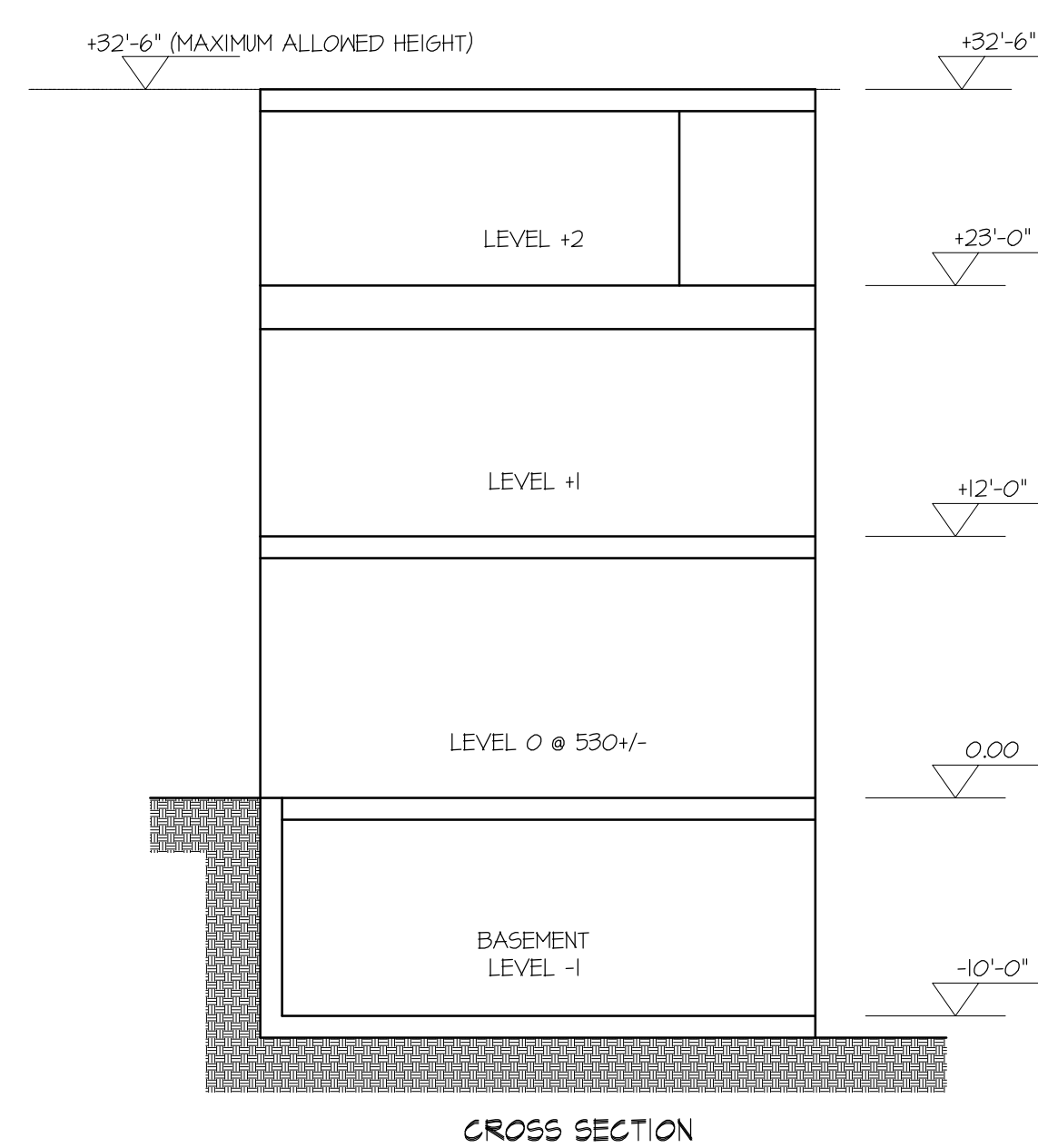
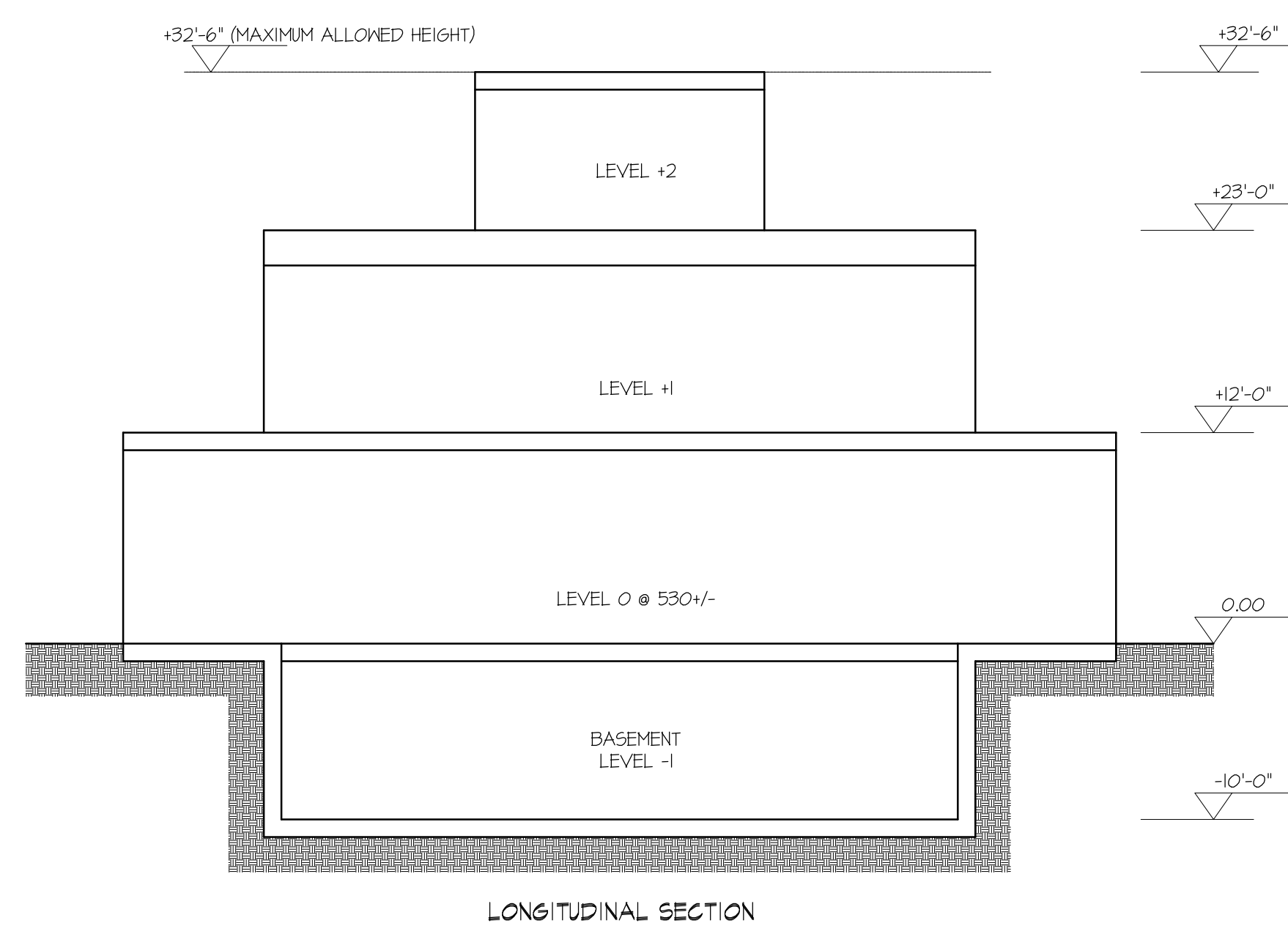
+28'-6" (MAXIMUM ALLOWED HEIGHT)

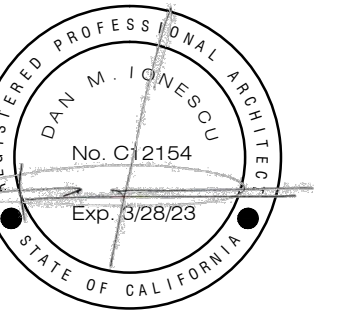


HEIGHT ANALYSIS RESIDENCE



MAXIMUM ALLOWED HEIGHT: 35'-0"
MAXIMUM ALLOWED HEIGHT FOR THIS LOCATION: 32'-6"
PROPOSED RESIDENCE HEIGHT: 32'-6"





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**KHANDARE
 RESIDENCE**

LOCATION
 17025 MCGILL RD.
 SARATOGA CA 95070

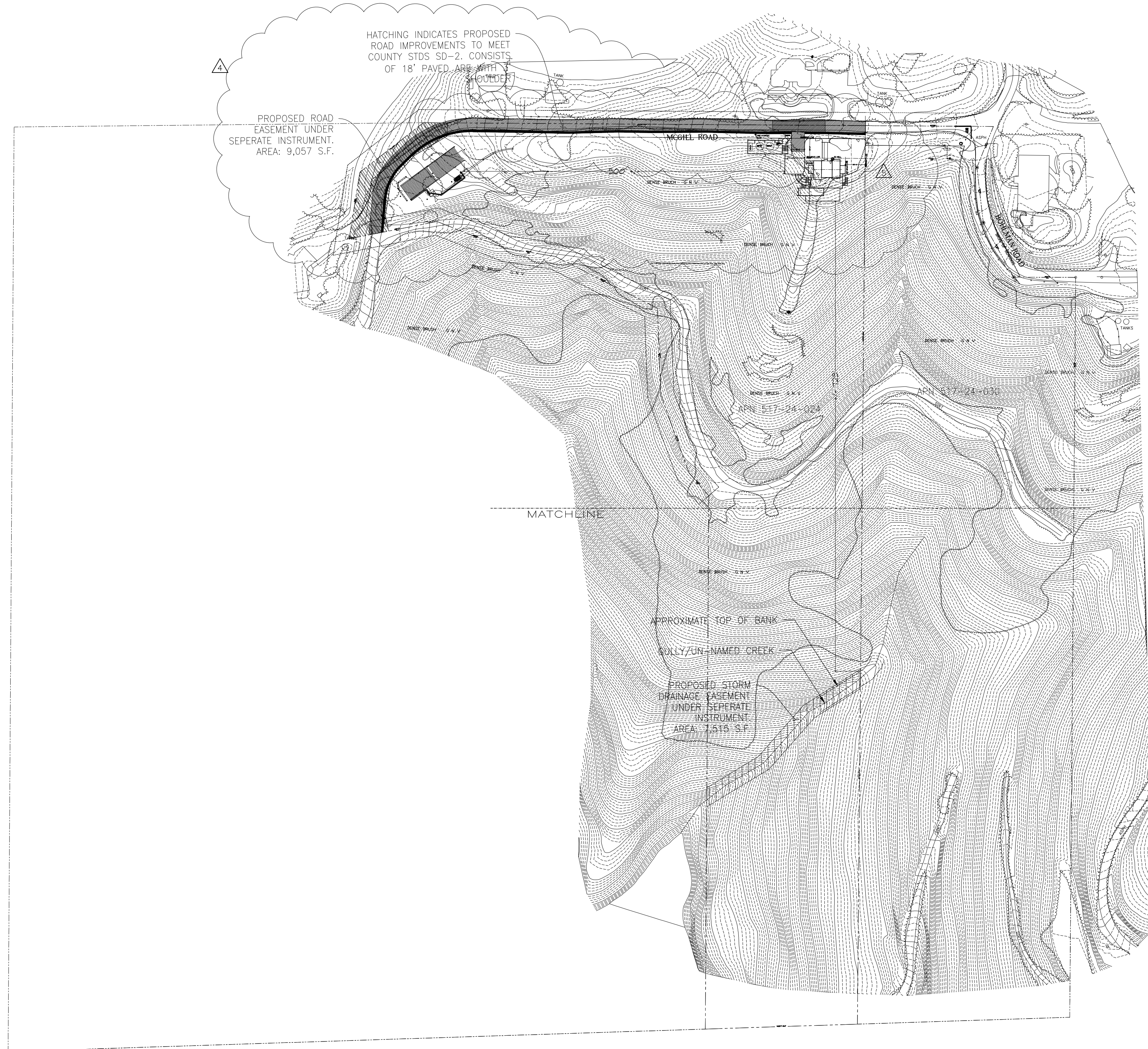
PROJECT PHASE: SITE PLAN PERMIT
 JOB NO.: 2003

SITE PLAN

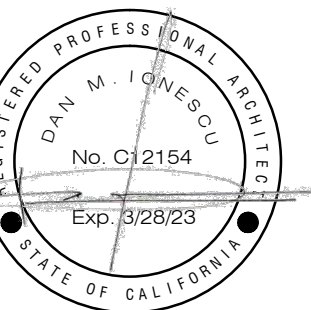
SCALE: 1"=100'
 DATE: JULY 2021

ISSUES / REVISIONS

- △ 07-25-22 COUNTY CIVIL COMMENTS
- △ 08-10-22 COUNTY CIVIL COMMENTS
- △ 03-23-23 FIRE DPT. COMMENTS



NOTE:
 FOR ADDITIONAL
 INFORMATION, SEE CIVIL
 DRAWINGS



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LOCATION
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PROJECT PHASE
 SITE PLAN PERMIT

JOB NO.
 2003

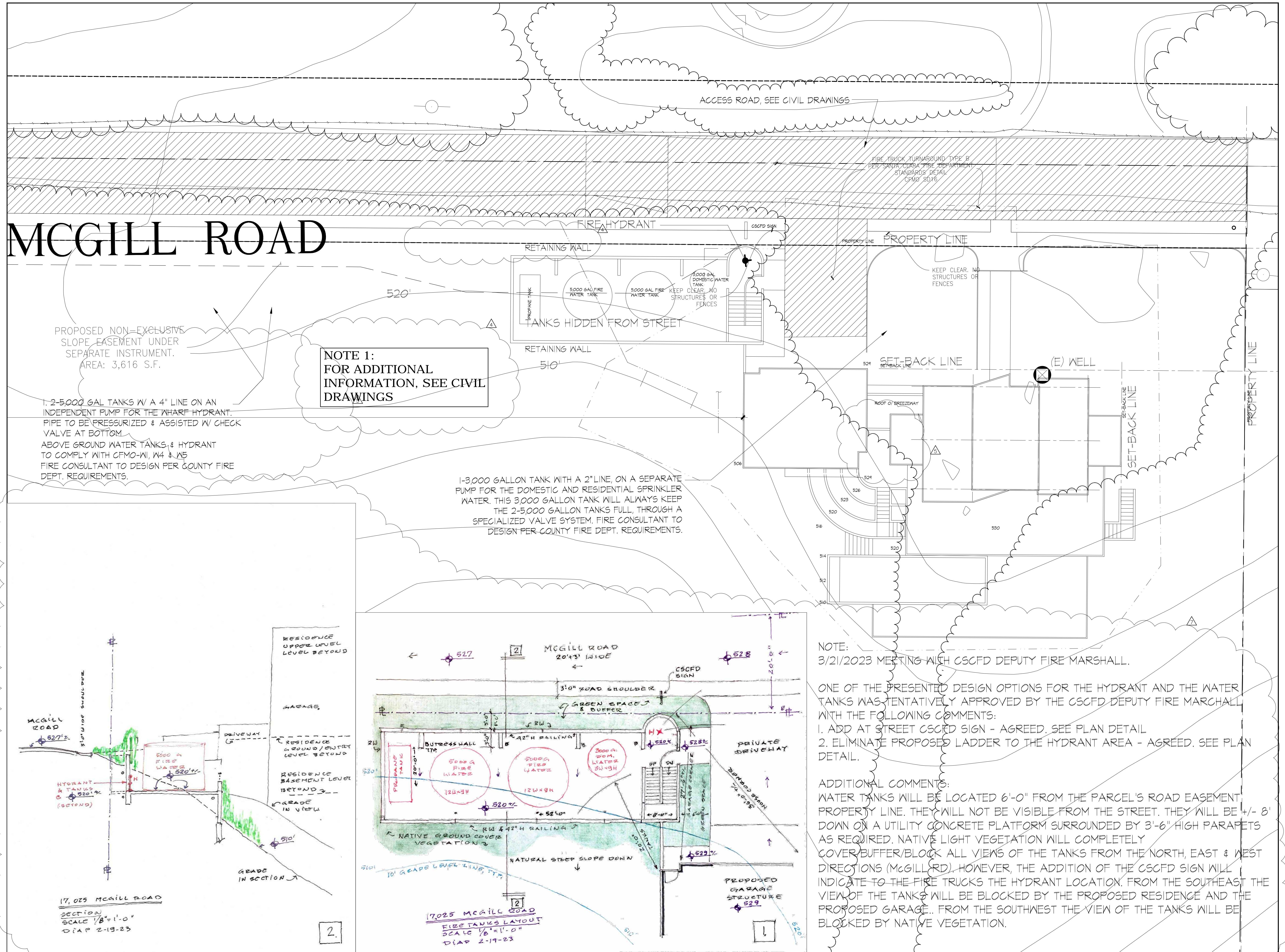
ENLARGED SITE PLAN

SCALE
 1"=10'

DATE
 JULY 2021

ISSUES / REVISIONS

- 9-10-21 CITY COMMENTS-PLANNING
- 02-10-22 COUNTY CIVIL COMMENTS
- 07-25-22 COUNTY CIVIL COMMENTS
- 08-10-22 COUNTY CIVIL COMMENTS
- 02-10-22 FIRE DEPT. COMMENTS
- 03-23-23 FIRE DEPT. COMMENTS



MCGILL ROAD

PROPOSED NON-EXCLUSIVE SLOPE EASEMENT UNDER SEPARATE INSTRUMENT. AREA: 3,616 S.F.

NOTE 1:
 FOR ADDITIONAL INFORMATION, SEE CIVIL DRAWINGS

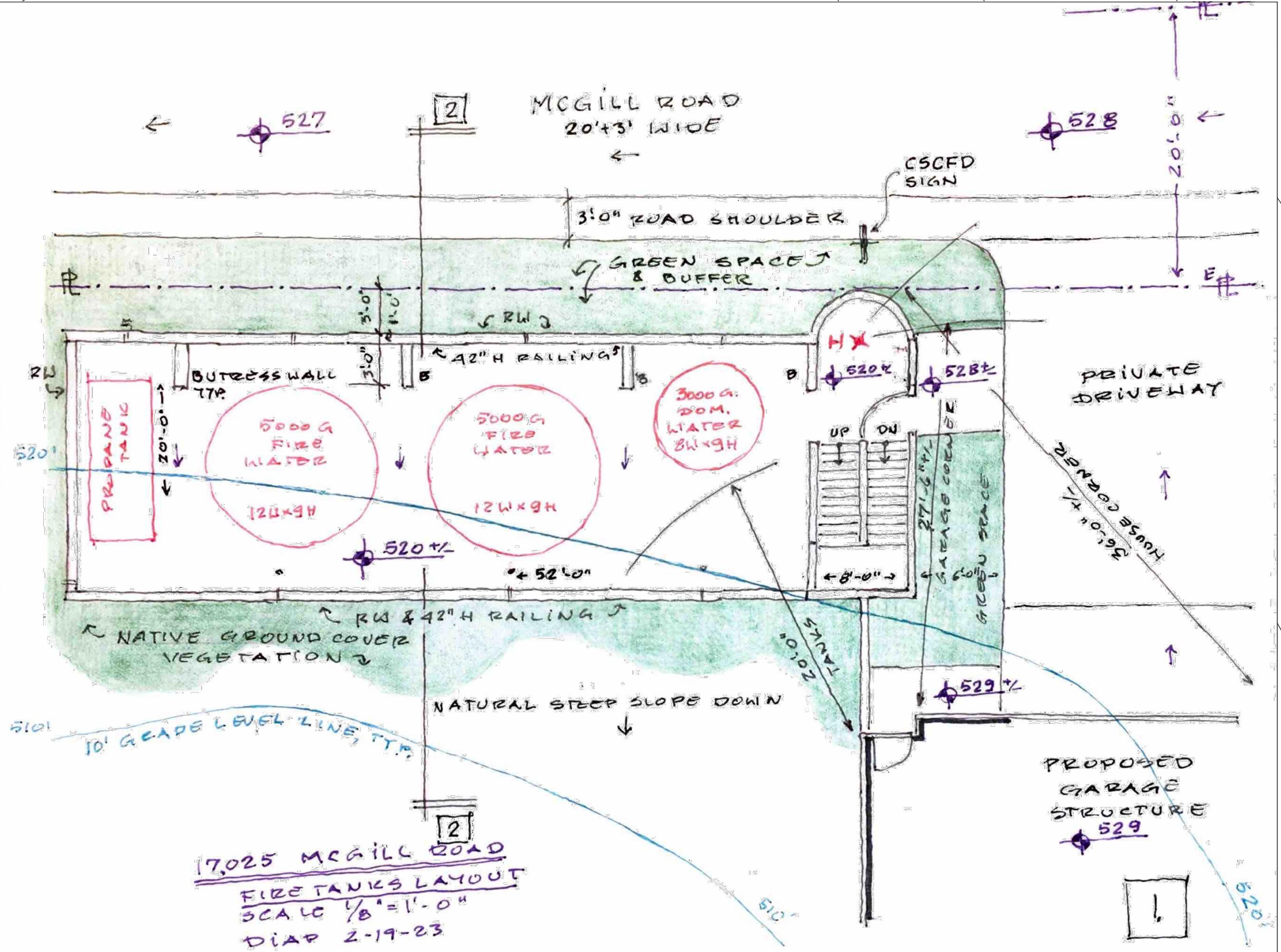
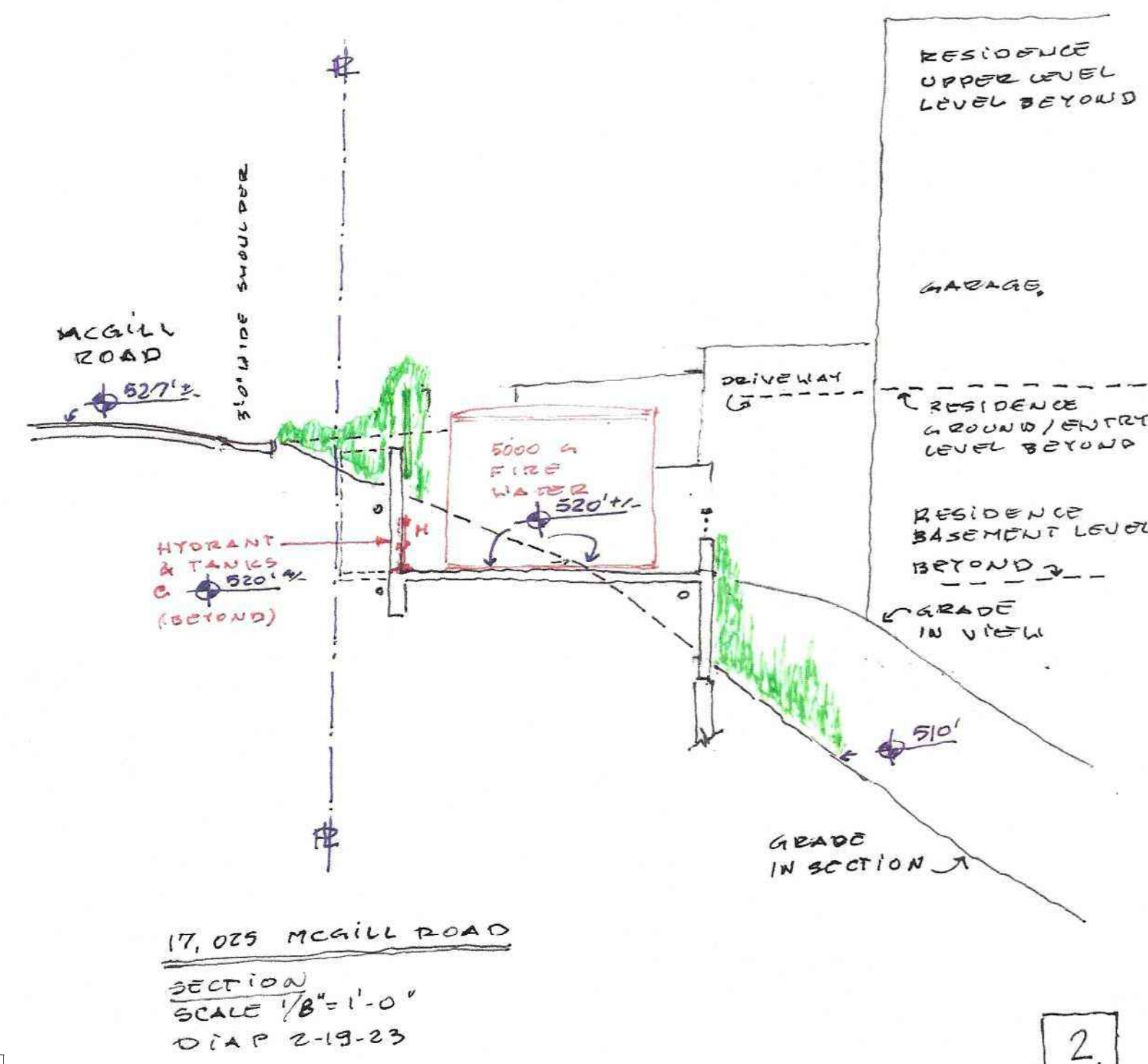
1-2-5,000 GAL TANKS W/ A 4" LINE ON AN INDEPENDENT PUMP FOR THE HYDRANT. PIPE TO BE PRESSURIZED & ASSISTED W/ CHECK VALVE AT BOTTOM. ABOVE GROUND WATER TANKS, & HYDRANT TO COMPLY WITH CFMO-WI, W4 & W5 FIRE CONSULTANT TO DESIGN PER COUNTY FIRE DEPT. REQUIREMENTS.

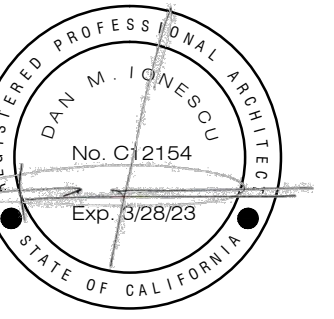
1-3,000 GALLON TANK WITH A 2" LINE, ON A SEPARATE PUMP FOR THE DOMESTIC AND RESIDENTIAL SPRINKLER WATER. THIS 3,000 GALLON TANK WILL ALWAYS KEEP THE 2-5,000 GALLON TANKS FULL, THROUGH A SPECIALIZED VALVE SYSTEM. FIRE CONSULTANT TO DESIGN PER COUNTY FIRE DEPT. REQUIREMENTS.

NOTE:
 3/21/2023 MEETING WITH CSCFD DEPUTY FIRE MARSHALL.

ONE OF THE PRESENTED DESIGN OPTIONS FOR THE HYDRANT AND THE WATER TANKS WAS TENTATIVELY APPROVED BY THE CSCFD DEPUTY FIRE MARCHALL WITH THE FOLLOWING COMMENTS:
 1. ADD AT STREET CSCFD SIGN - AGREED. SEE PLAN DETAIL
 2. ELIMINATE PROPOSED LADDER TO THE HYDRANT AREA - AGREED. SEE PLAN DETAIL.

ADDITIONAL COMMENTS:
 WATER TANKS WILL BE LOCATED 6'-0" FROM THE PARCEL'S ROAD EASEMENT PROPERTY LINE. THEY WILL NOT BE VISIBLE FROM THE STREET. THEY WILL BE 4'-8" DOWN ON A UTILITY CONCRETE PLATFORM SURROUNDED BY 3'-6" HIGH PARAPETS AS REQUIRED. NATIVE LIGHT VEGETATION WILL COMPLETELY COVER/BUFFER/BLOCK ALL VIEWS OF THE TANKS FROM THE NORTH, EAST & WEST DIRECTIONS (MCGILL RD). HOWEVER, THE ADDITION OF THE CSCFD SIGN WILL INDICATE TO THE FIRE TRUCKS THE HYDRANT LOCATION. FROM THE SOUTHEAST THE VIEW OF THE TANKS WILL BE BLOCKED BY THE PROPOSED RESIDENCE AND THE PROPOSED GARAGE.. FROM THE SOUTHWEST THE VIEW OF THE TANKS WILL BE BLOCKED BY NATIVE VEGETATION.





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KHANDARE RESIDENCE

LOCATION
17025 MCGILL RD.
SARATOGA CA 95070

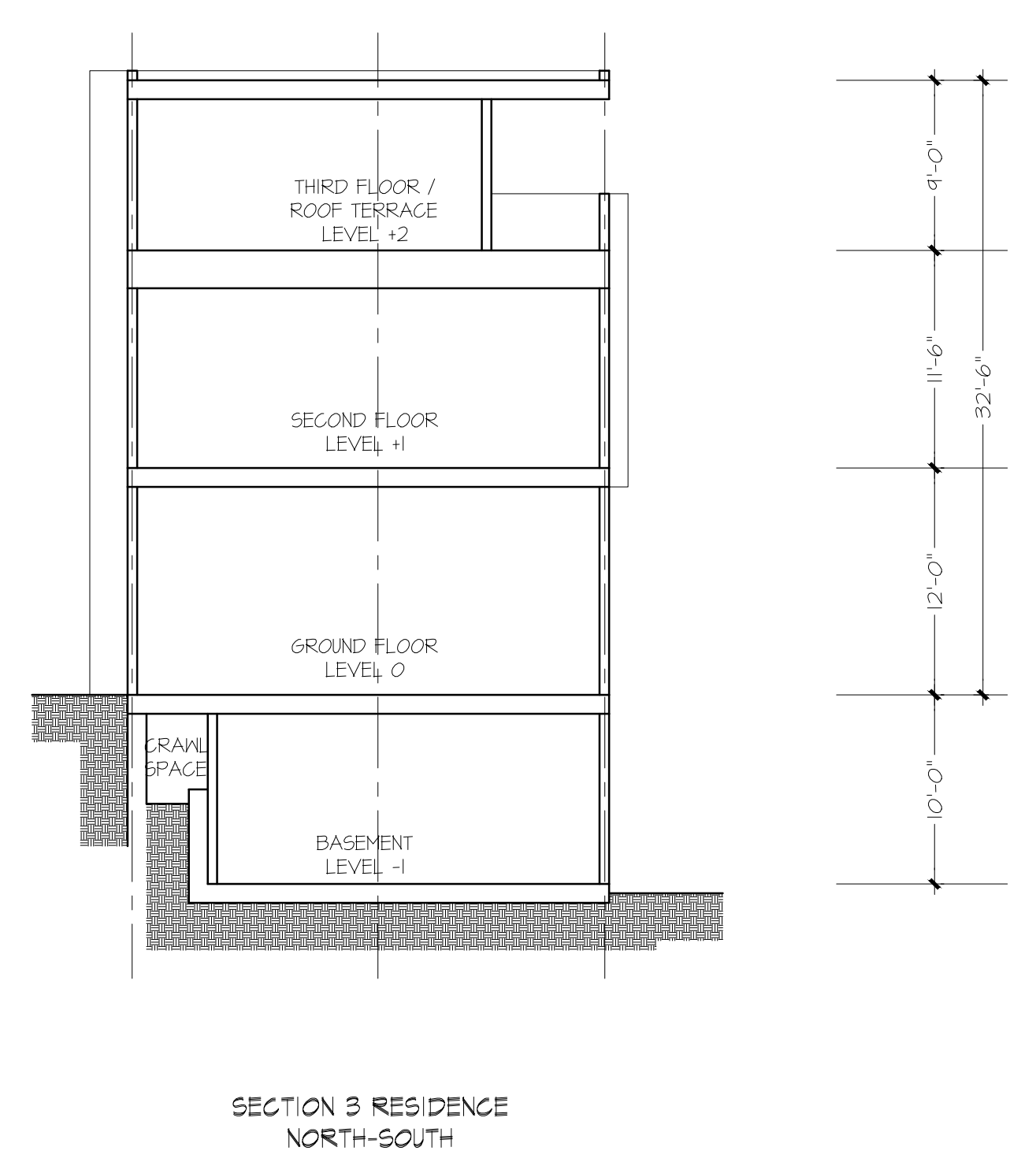
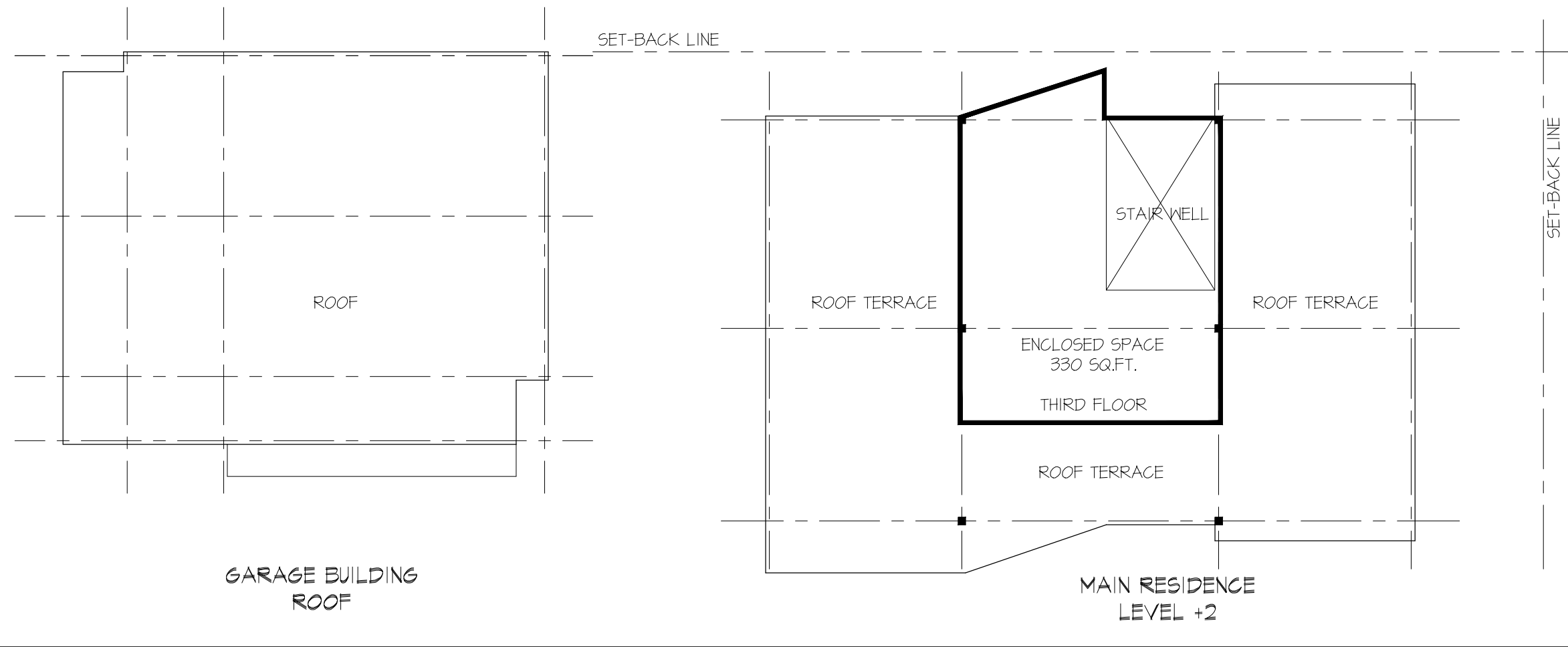
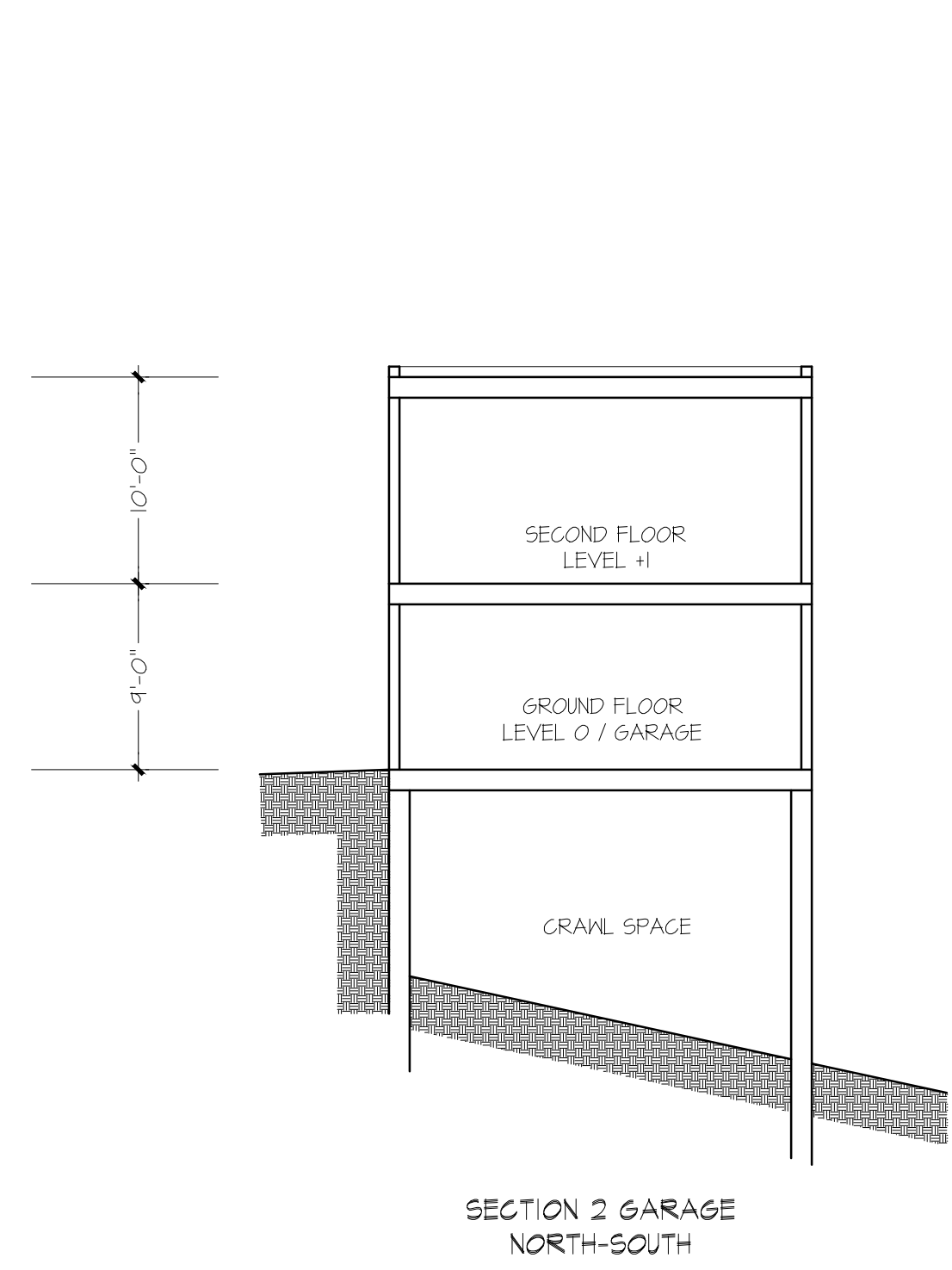
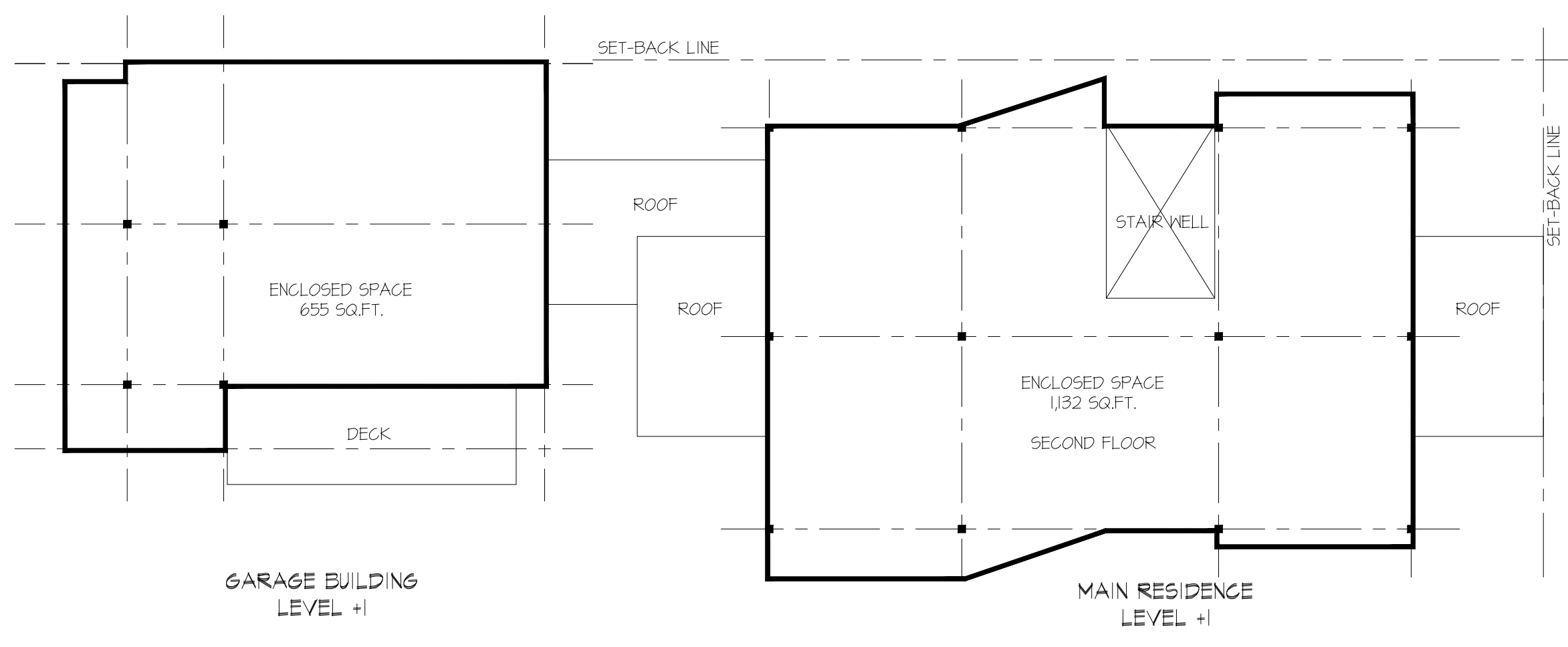
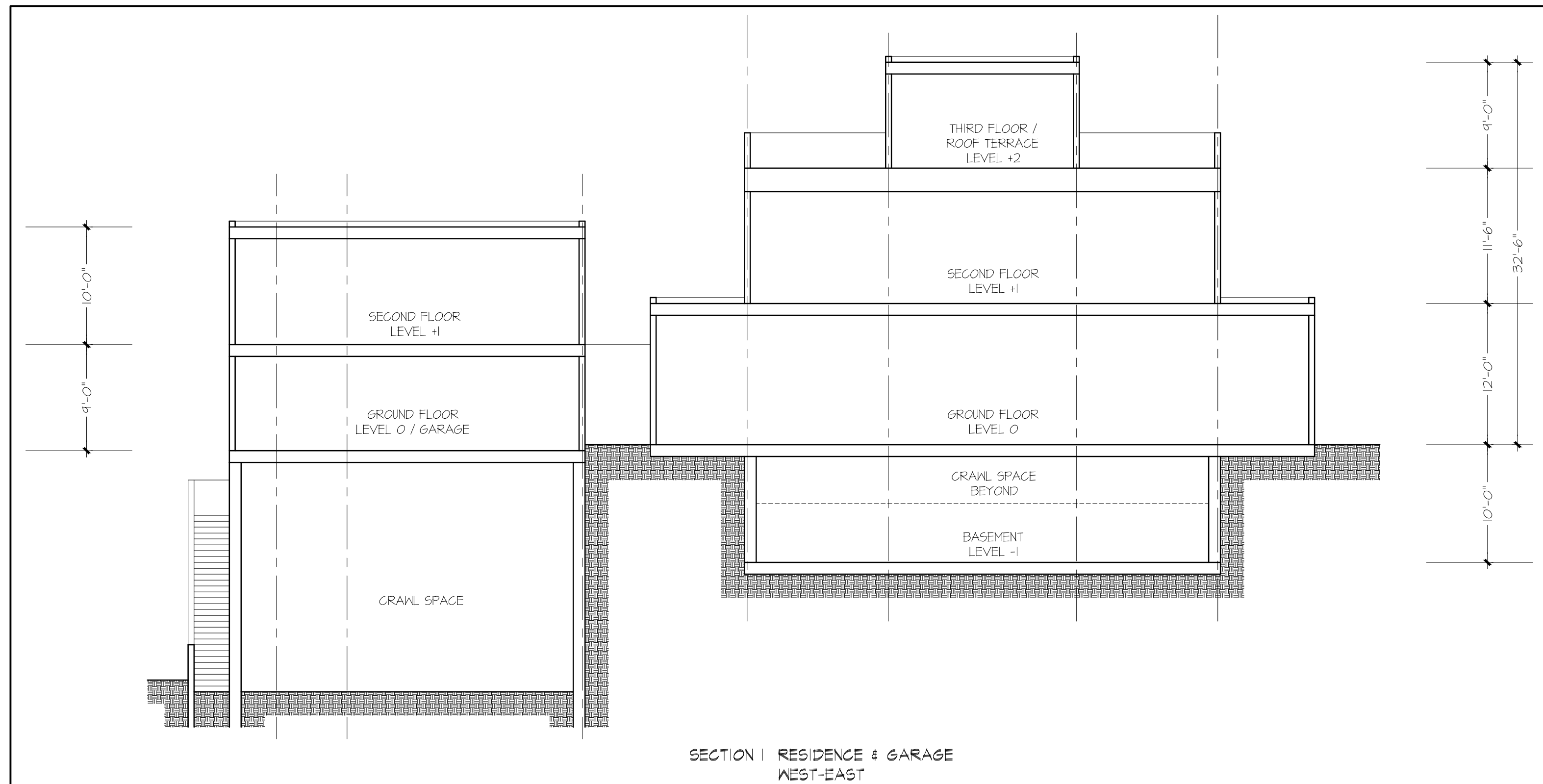
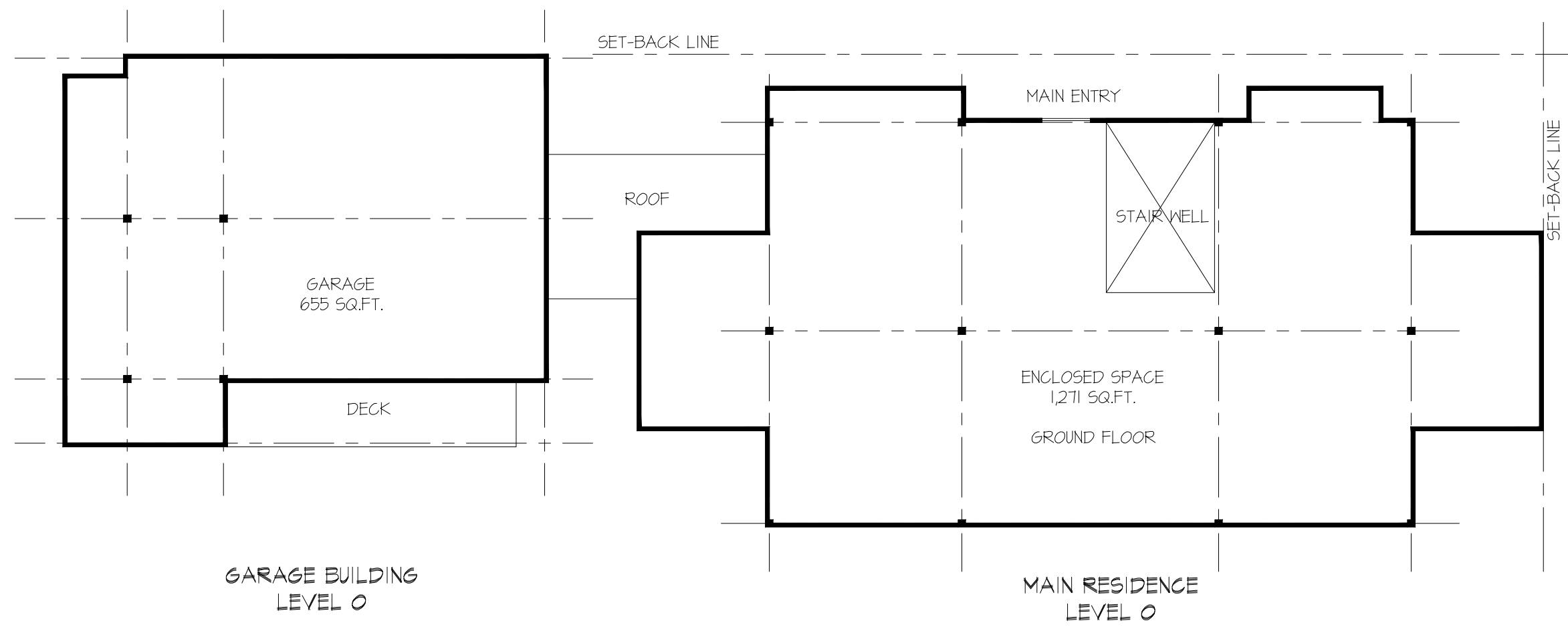
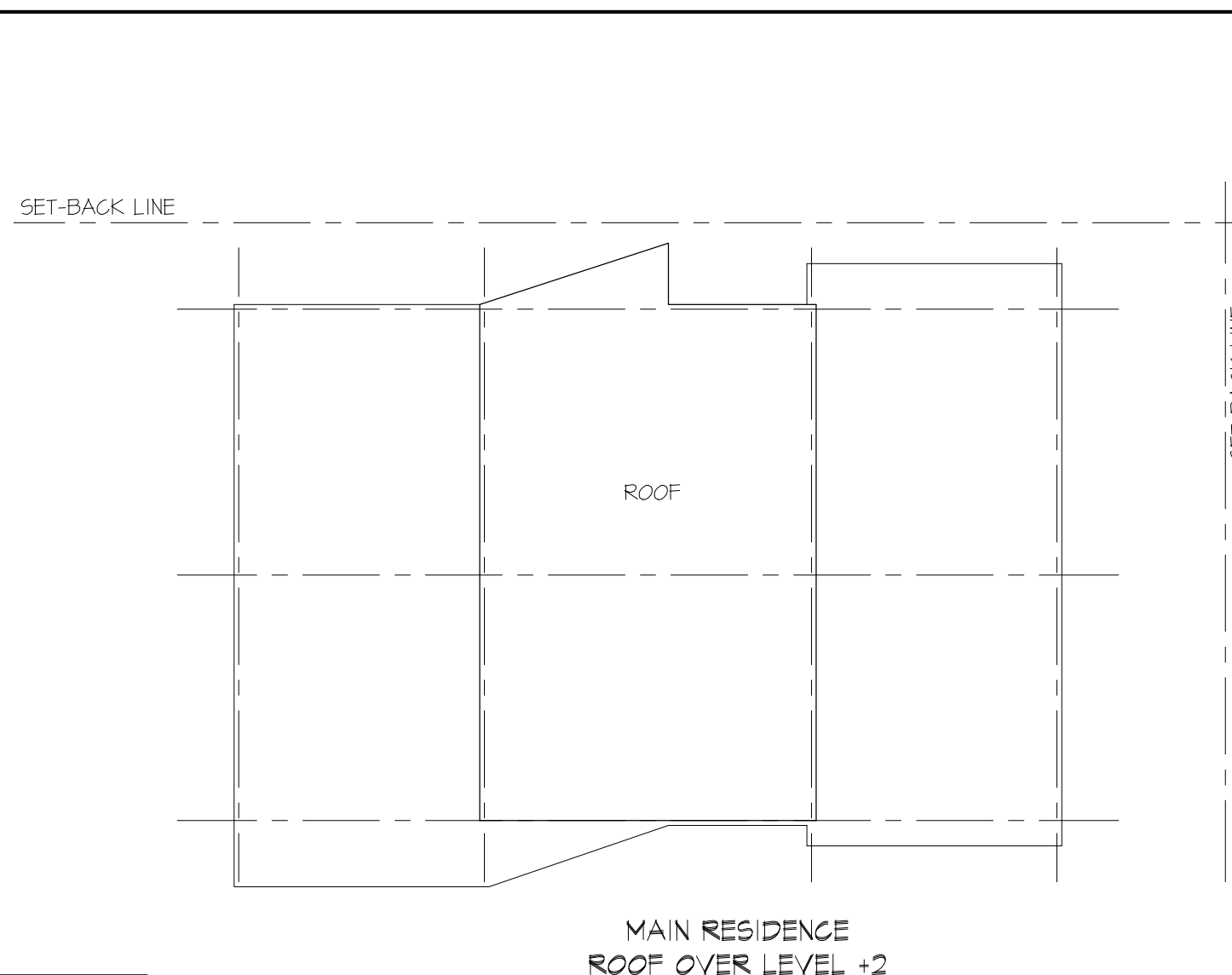
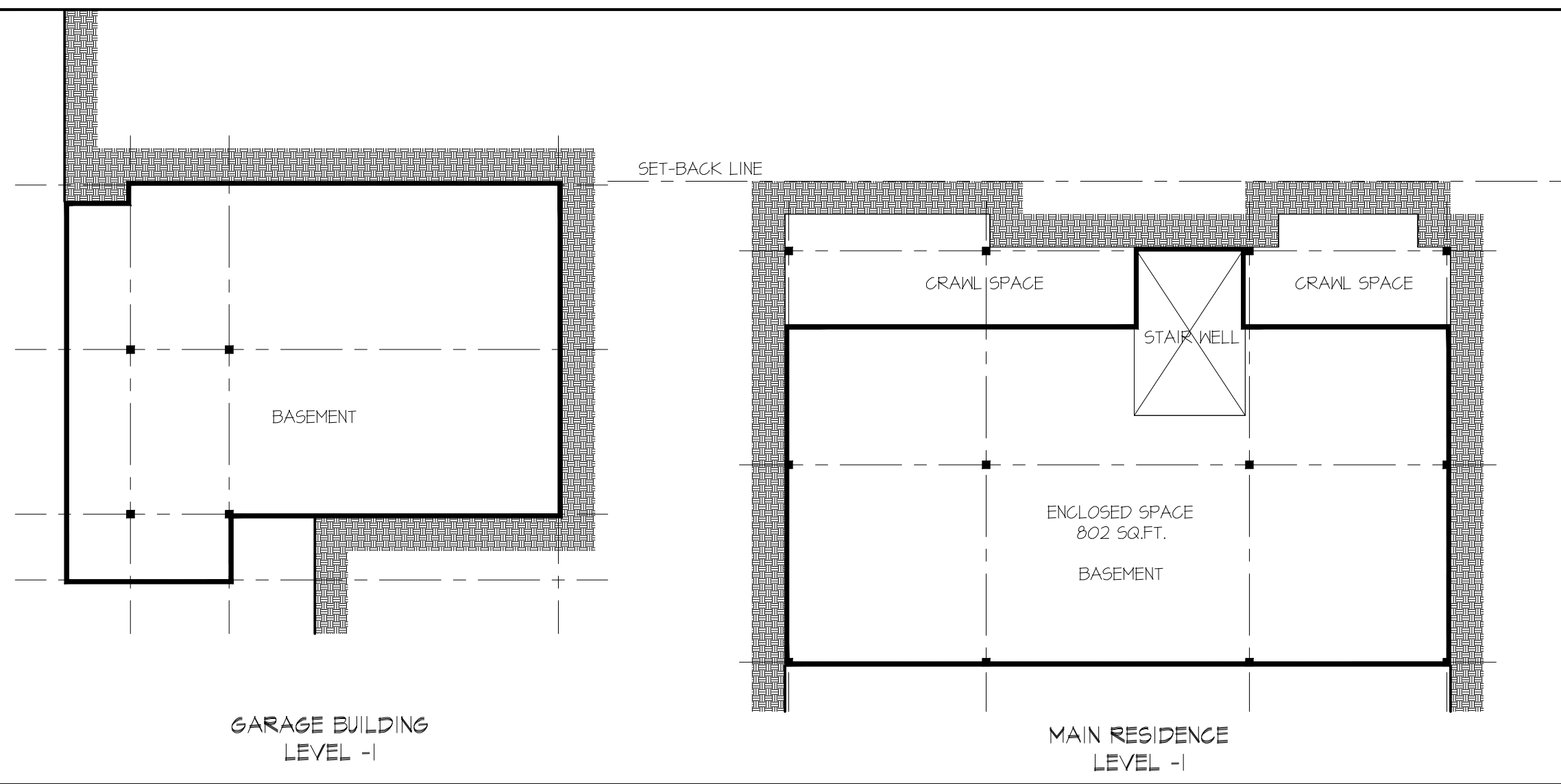
PROJECT PHASE SITE PLAN PERMIT JOB NO. 2003

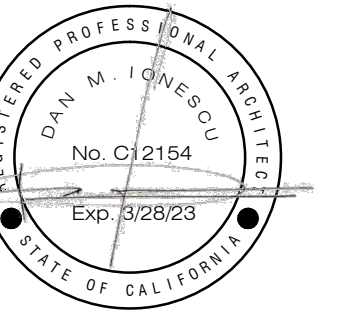
PLANS & SECTIONS SCHEMATICS

SCALE 1/8"=1'-0" DATE JULY 2021

ISSUES / REVISIONS

A3

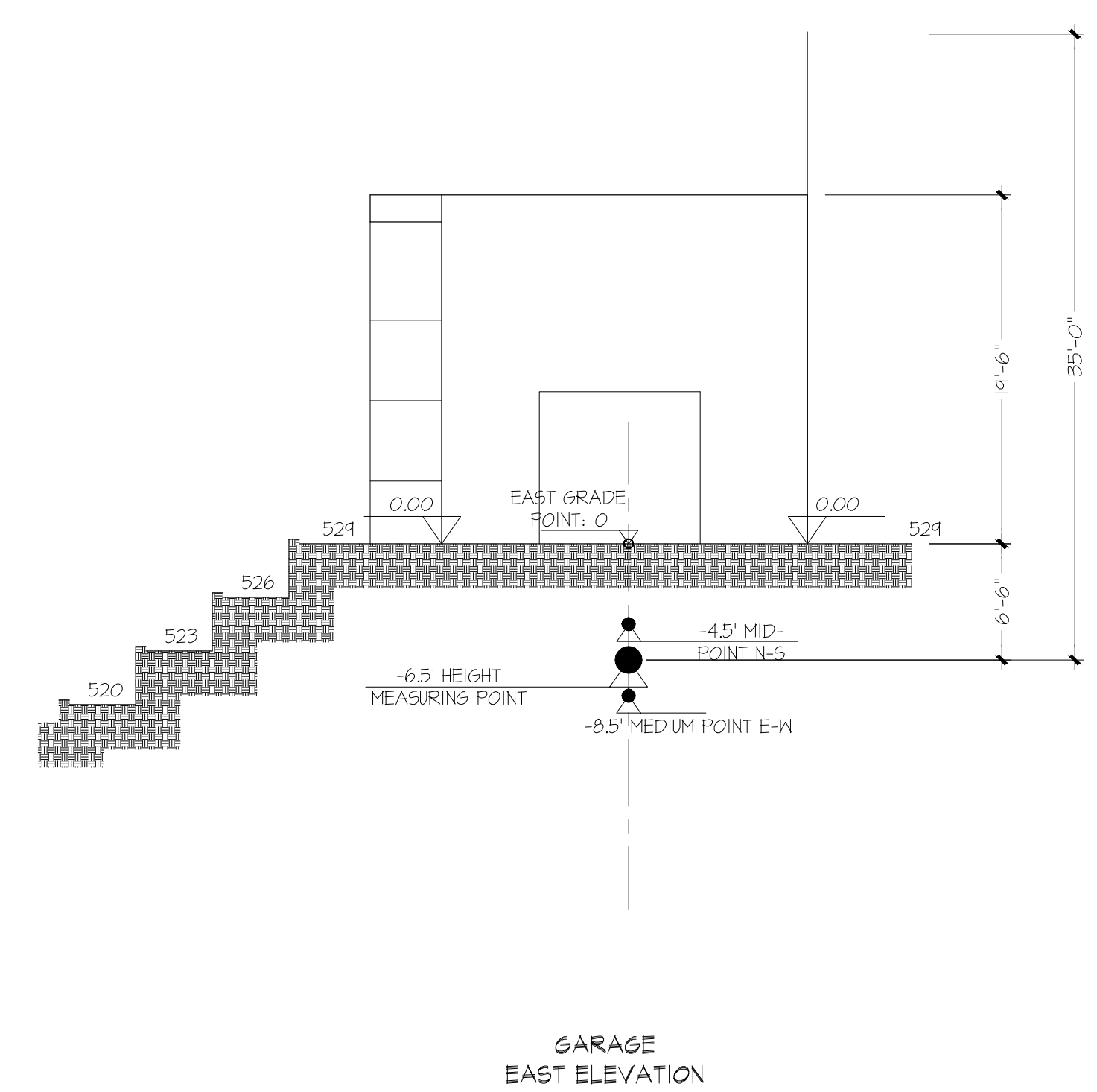
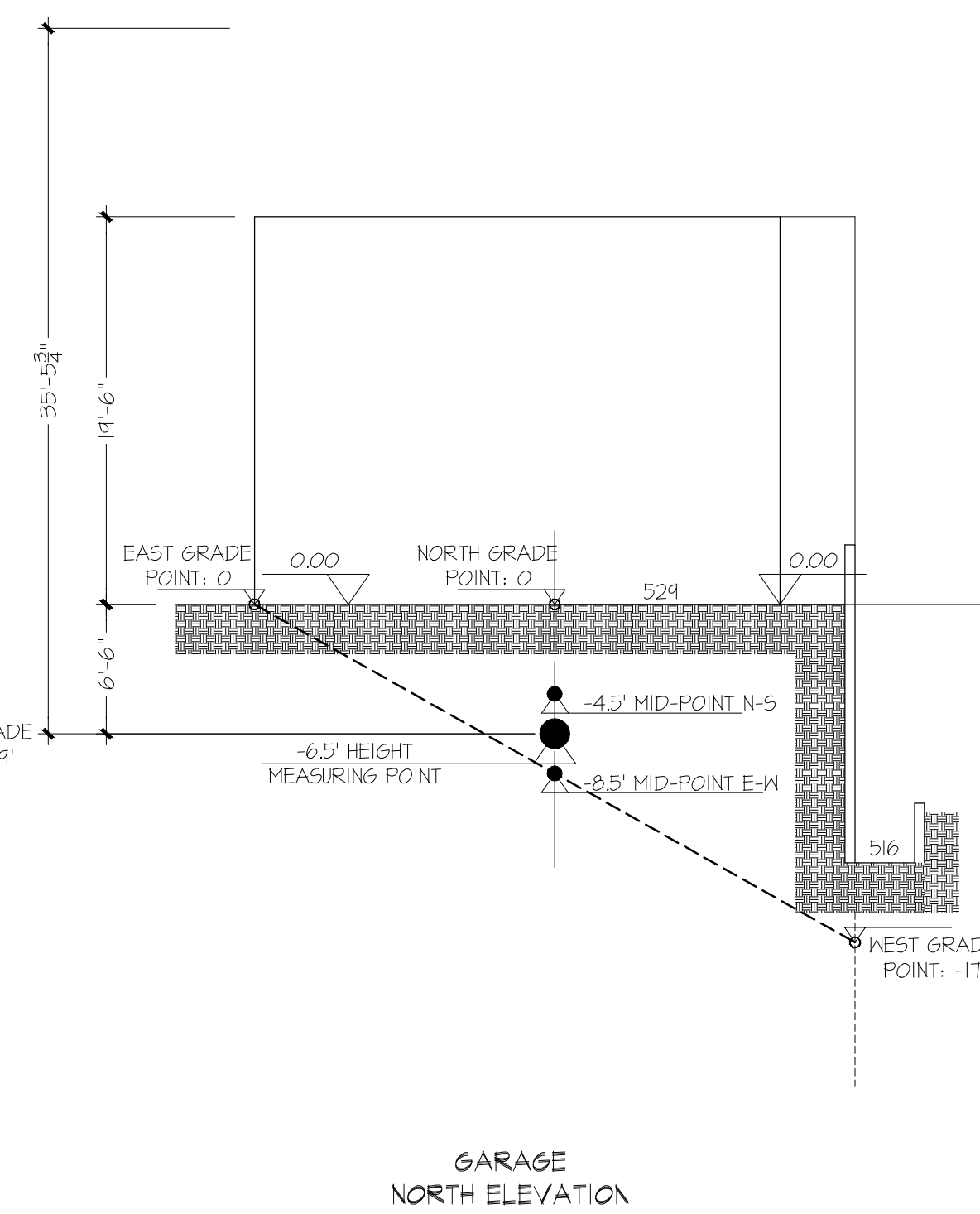
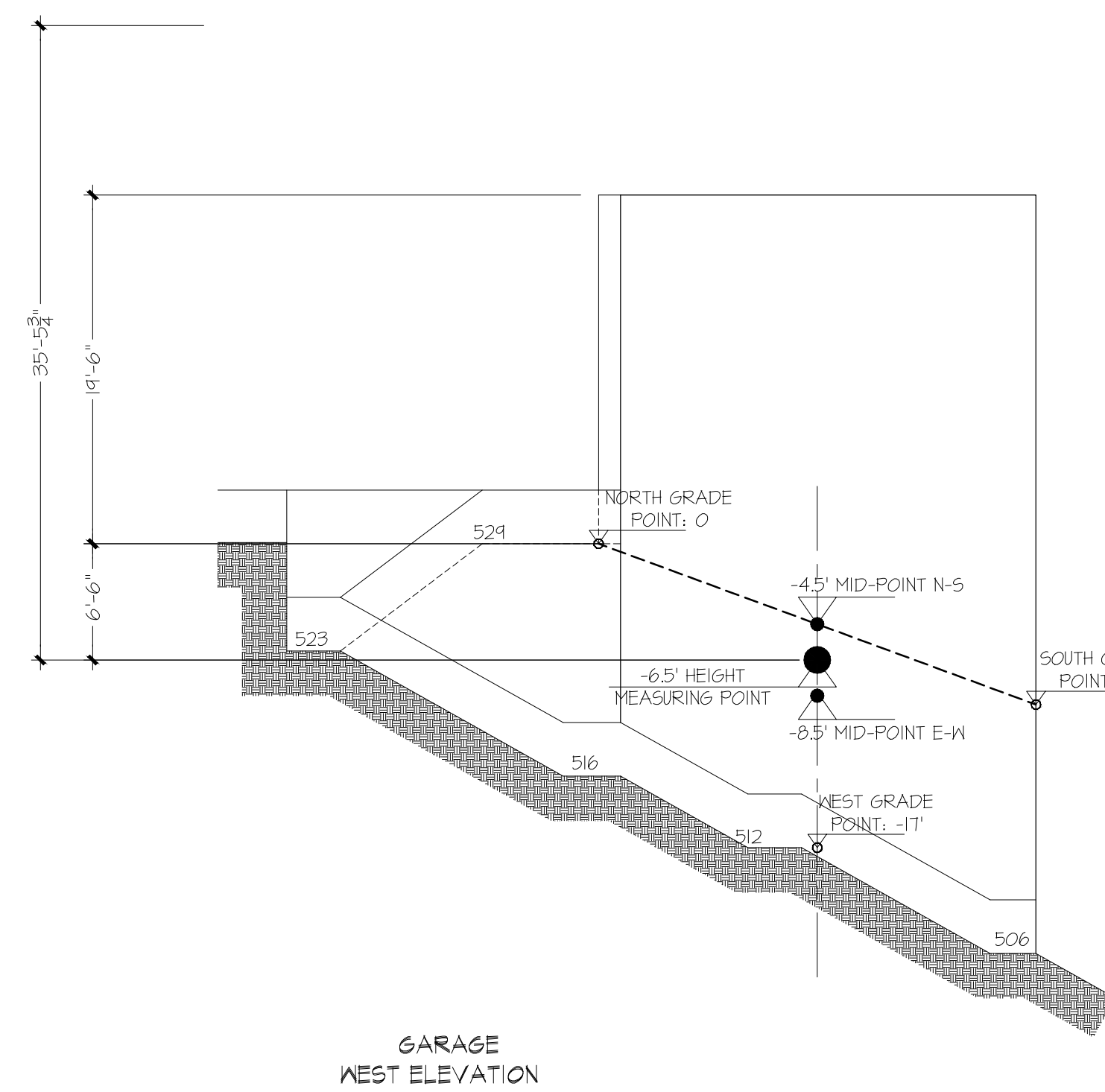
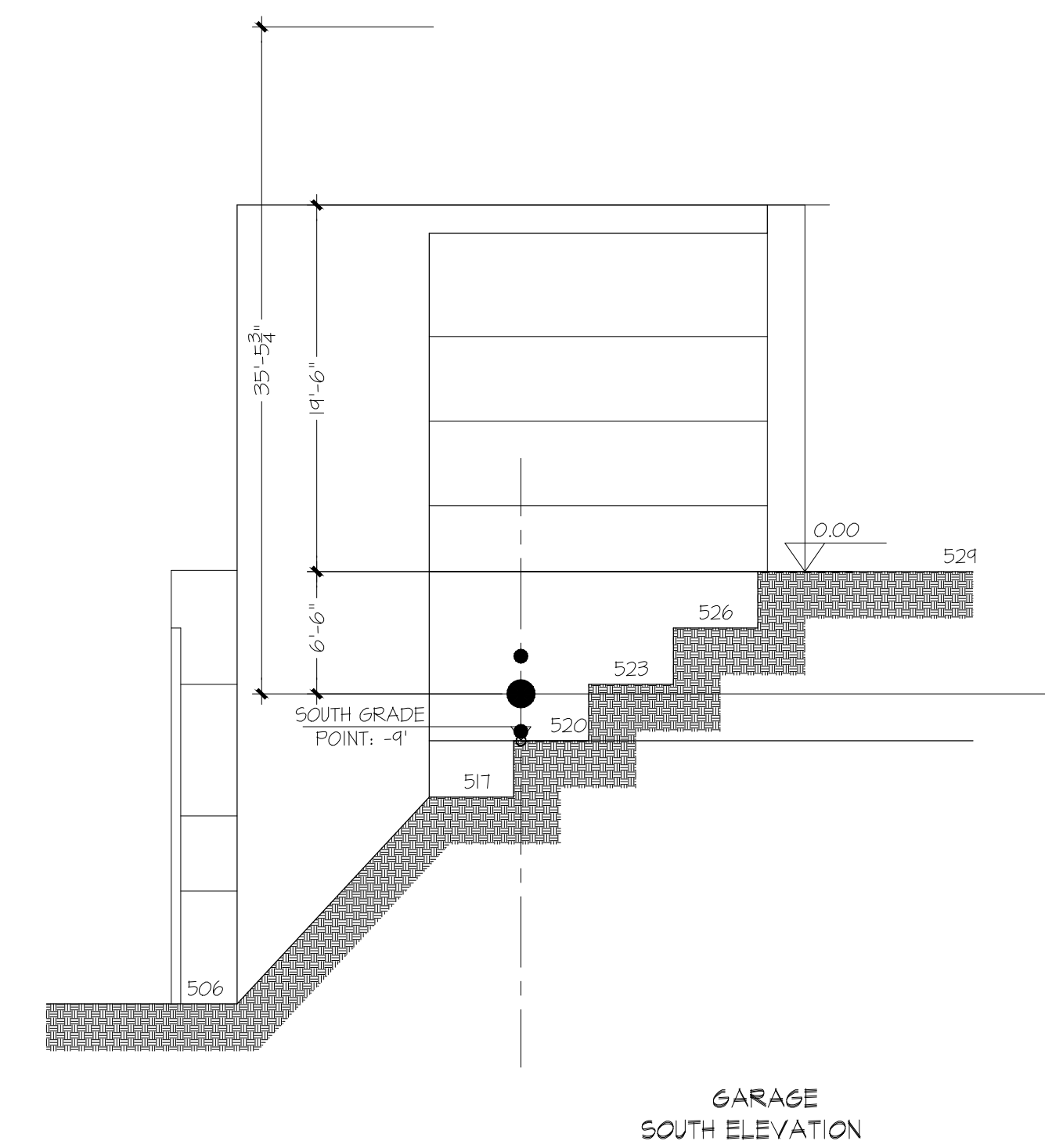
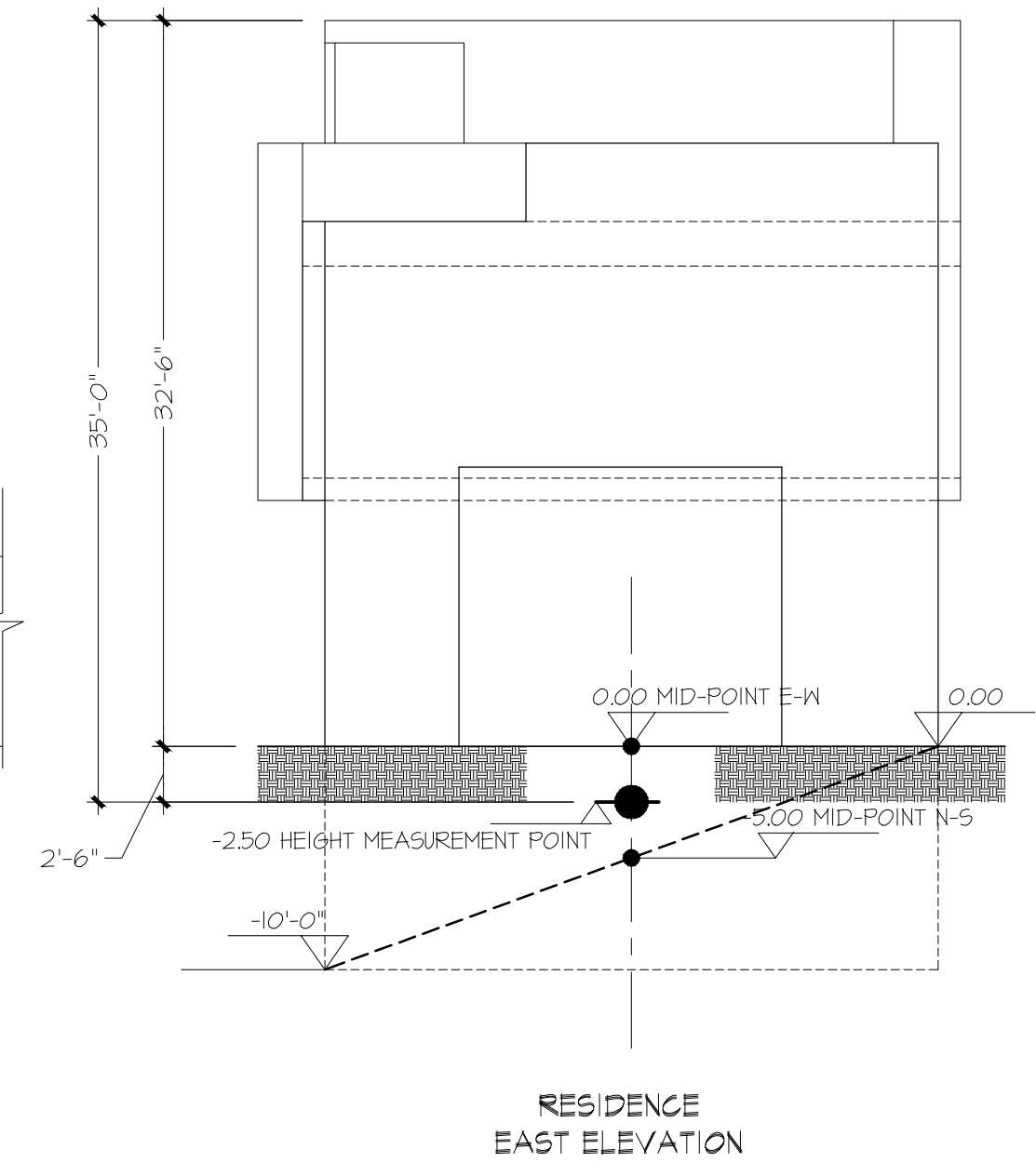
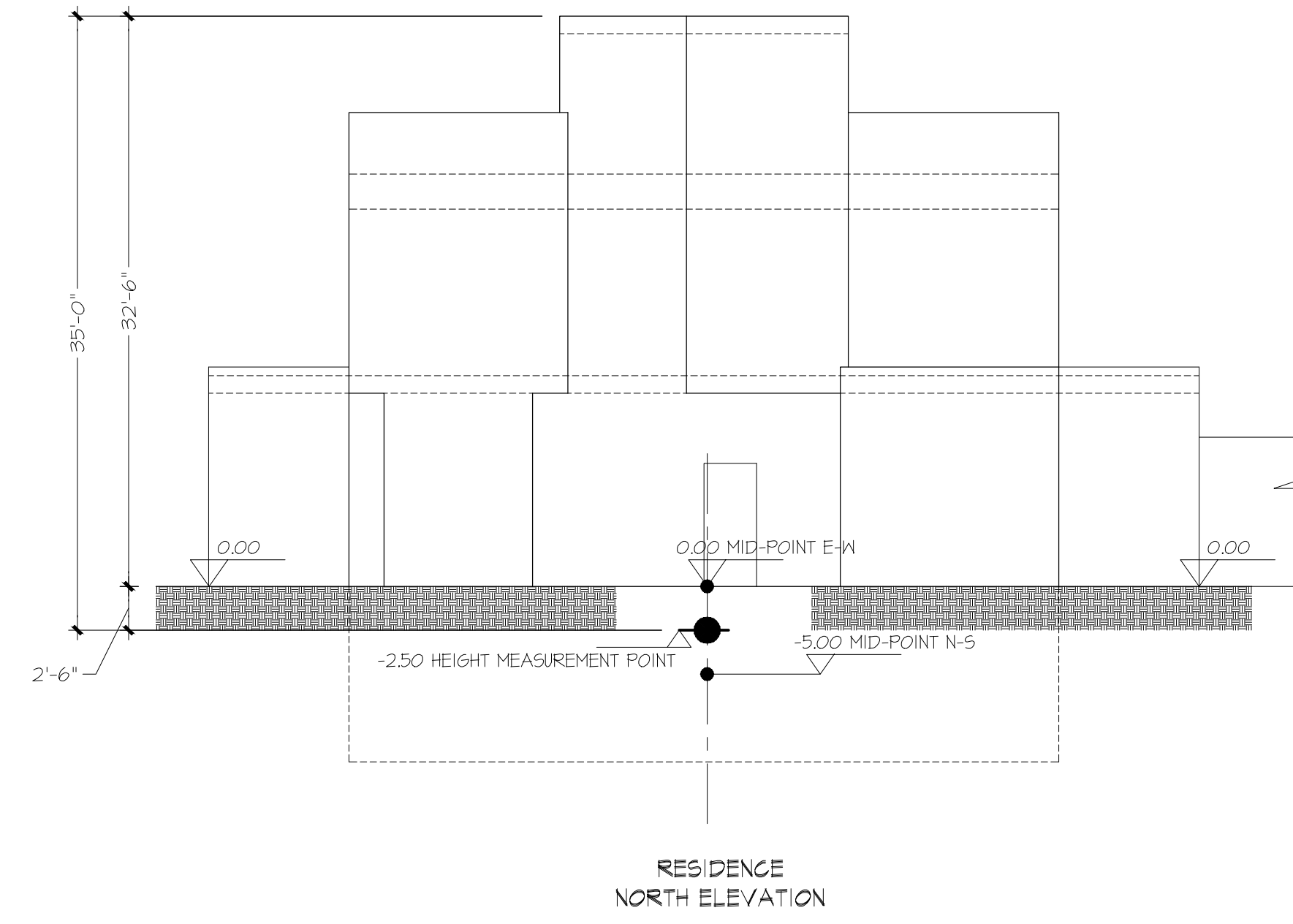
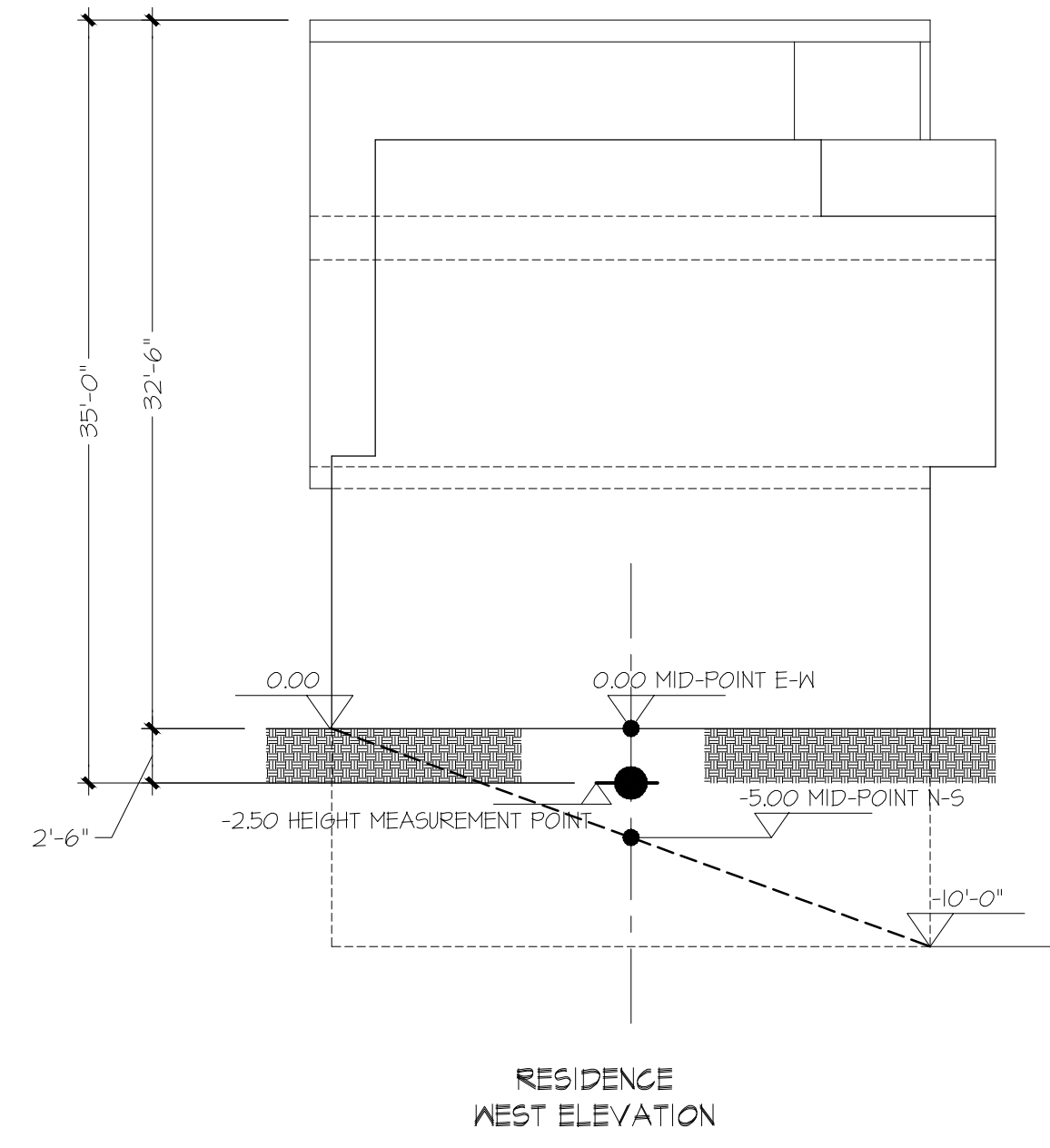
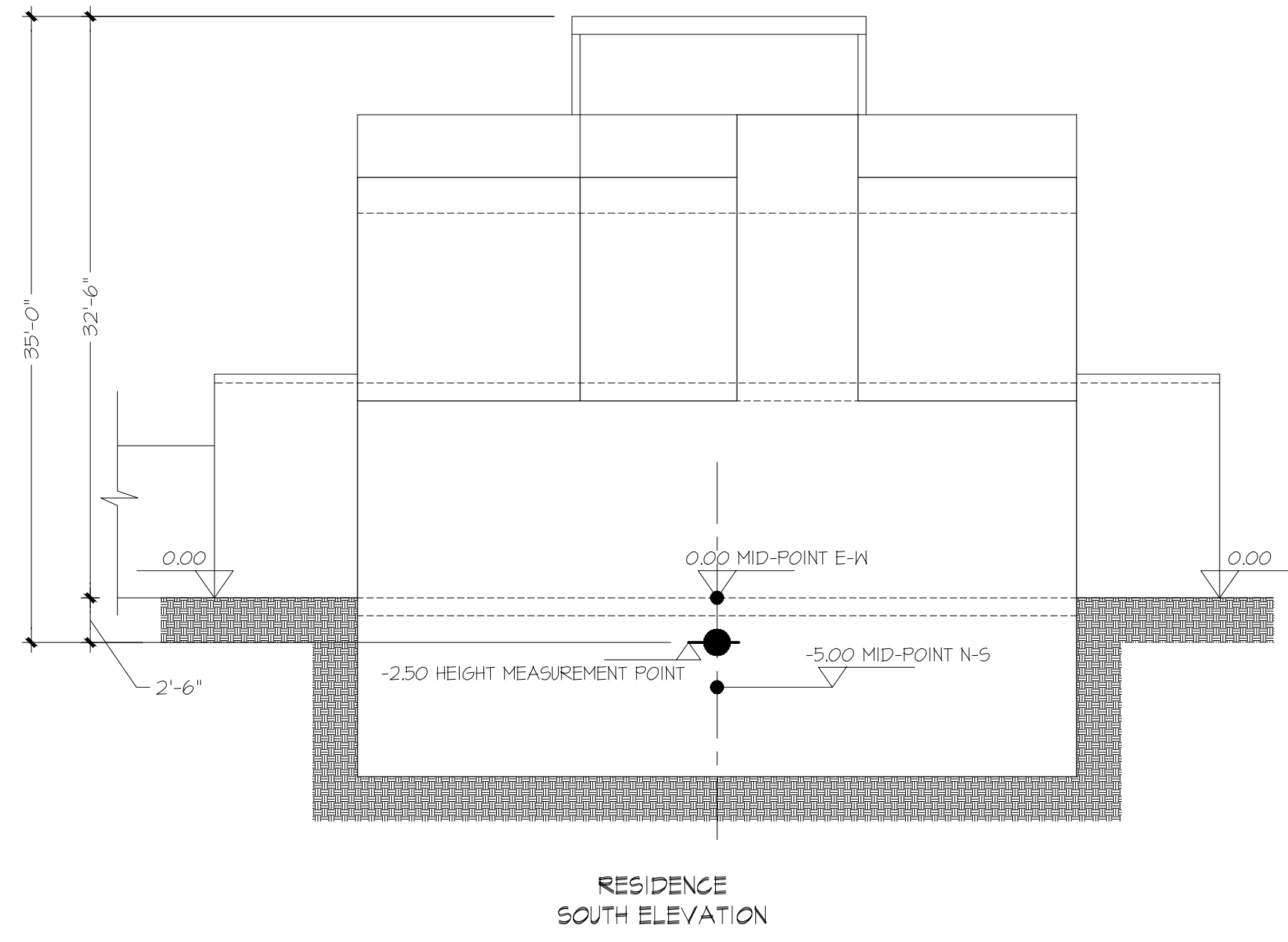




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Dan Ionescu Architects & Planners

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KHANDARE RESIDENCE



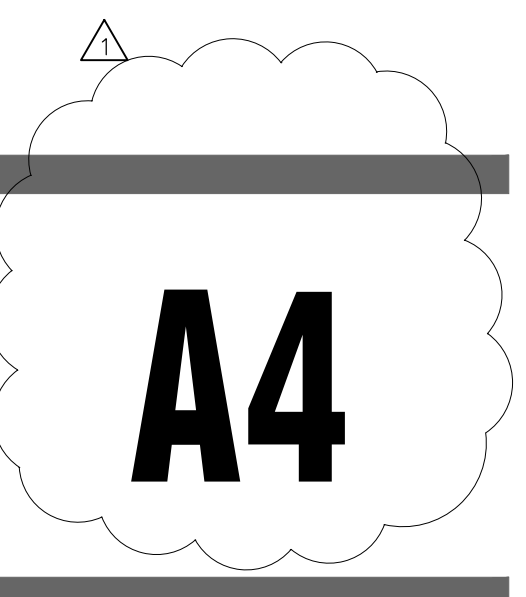
LOCATION
17025 MCGILL RD.
SARATOGA CA 95070

PROJECT PHASE SITE PLAN PERMIT JOB NO. 2003

ELEVATIONS SCHEMATICS

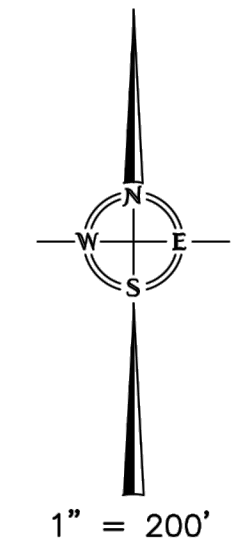
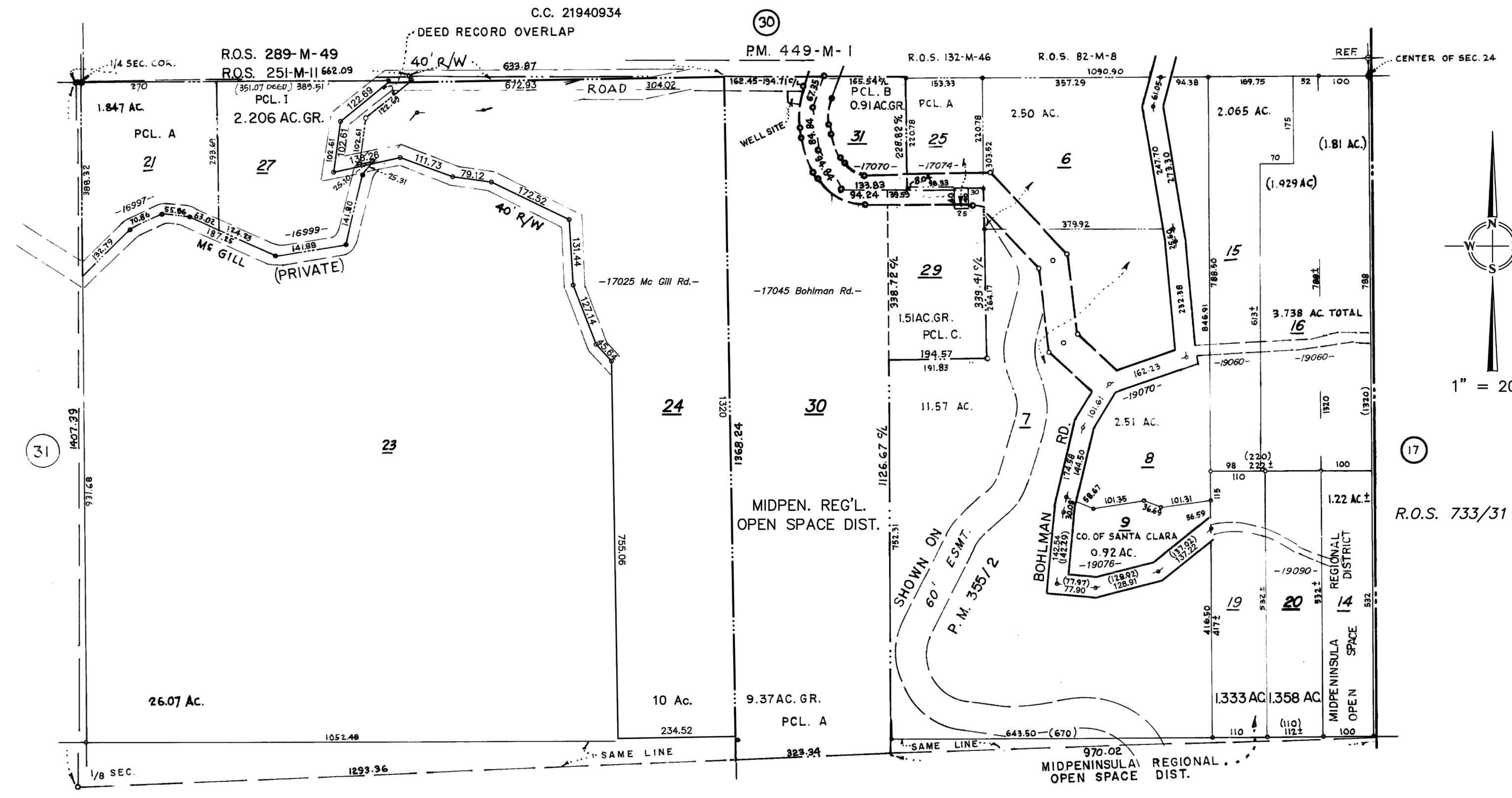
SCALE 1/8"=1'-0" DATE JULY 2021

ISSUES / REVISIONS
9-10-21 CITY COMMENTS-PLANNING



N. 1/2 OF S.W. 1/4 OF SEC. 24, T.8 S., R.2 W.

BOOK 517 PAGE 24



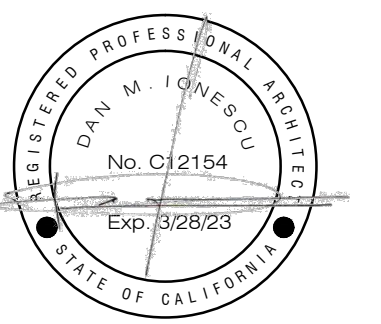
NOTE: ALL ROADS ARE PRIVATE LANES. THEIR LOCATIONS ARE UNCERTAIN, EXCEPT THOSE CENTERED ON PROPERTY LINES.

LAWRENCE E. STONE — ASSESSOR
Cadastral map for assessment purposes only.
Compiled under R. & T. Code, Sec. 327.
Effective Roll Year 2020-2021

DIAP
DAN IONESCU ARCHITECTS & PLANNERS
SAN FRANCISCO BAY AREA

ARCHITECTURE
PLANNING
URBAN DESIGN
INTERIOR DESIGN
HISTORIC REHABILITATION
CONSTRUCTION MANAGEMENT
WWW.DIAP.COM

1611 BOREL PLACE, #230, SAN MATEO, CA 94402
TEL: (650) 570-6681 FAX: (650) 570-6540



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Dan Ionescu Architects & Planners
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KHANDARE RESIDENCE

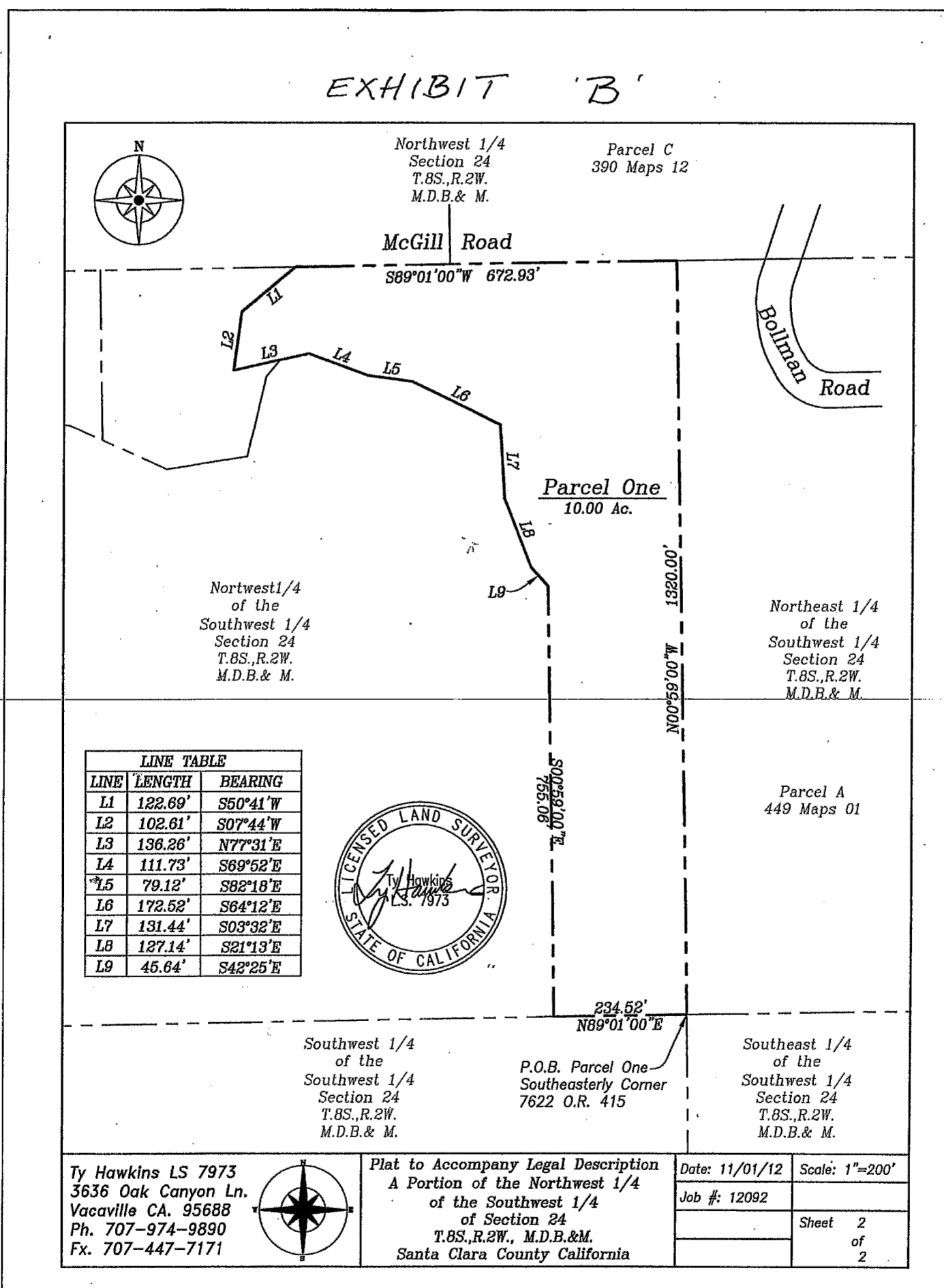


EXHIBIT "A"
LEGAL DESCRIPTION

TRACT A:
PARCEL ONE:
A portion of the Northwest 1/4 of the Southwest 1/4 of Section 24, Township 8 South, Range 2 West, Mount Diablo Base and Meridian, and being more particularly described as follows:
Beginning at the Southeastly corner of that certain 40 acre parcel of land, as described in the Deed from George C. Carrick, et al, to Roman T. Chavez, et al, dated December 23, 1966, recorded January 25, 1967 in Book 7622 of Official Records, at page 415, Santa Clara County Records; thence from said point of beginning along the Easterly line of said 40 acre parcel of land, North 0° 59' West, 1320.00 feet to a 3/4 inch iron pipe at the Northwestly corner thereof; thence along the Northerly line of said 40 acre parcel of land, South 89° 01' West, 672.93 feet to a 1/2 inch iron pipe; thence leaving said Northerly line, the following courses and distances:
South 50° 41' West, 122.69 feet to a 3/4 inch iron pipe;
thence South 7° 44' West, 102.61 feet to a 3/4 inch iron pipe;
thence North 77° 31' East, 136.26 feet to a 3/4 inch iron pipe;
thence South 69° 52' East, 111.73 feet to a 3/4 inch iron pipe;
thence South 82° 18' East, 79.12 feet to a 3/4 inch iron pipe;
thence South 64° 12' East, 172.52 feet to a 3/4 inch iron pipe;
thence South 3° 32' East, 131.44 feet to a 3/4 inch iron pipe;
thence South 21° 13' East, 127.14 feet to a 3/4 inch iron pipe;
thence South 42° 25' East, 45.64 feet to a point;
thence South 0° 59' East, 755.06 feet to a point on the Southerly line of said 40 acre parcel of land, above referred to; thence along the Southerly line of said 40 acre parcel of land, North 89° 01' East, 234.52 feet to the point of beginning, containing 10.00 acres of land, more or less.

RECORDING REQUESTED BY:
County of Santa Clara

RETURN TO:
Santa Clara County Planning Office
7th Floor, East Wing
70 West Hedding Street
San Jose, CA 95110
(408) 299-5770

CONFORMED COPY. This document has not been compared with the original.
SANTA CLARA COUNTY CLERK-RECORDER

Doc#: 21948934
11/07/2012 8:23 AM

CERTIFICATE OF COMPLIANCE
For One Parcel of Land

Owner(s) of Property: Arshad Khan, Nitin K. Gupta and Gazala Khan

Notice is hereby given pursuant to Section 66499.35 of the Government Code of the State of California that the real property described in "Exhibit A" and "Exhibit B", attached hereto and made a part hereof, complies with the provisions of Division 2 of Title 7 of said Government Code, cited as the Subdivision Map Act, and all local ordinances enacted pursuant thereto.

This certificate relates only to issues of compliance or noncompliance with the Subdivision Map Act and local ordinances enacted pursuant thereto. The parcel described herein may be sold, leased or financed without further compliance with the Subdivision Map Act or any local ordinance enacted pursuant thereto. Development of the parcel may require issuance of a permit or permits or other grant or grants of approval.

County File Number: 10367-12CC
Assessor Parcel Number: 517-24-024

Date: _____ Approved By: *Carolyn T. Walsh*
Carolyn T. Walsh, Principal Planner
County of Santa Clara

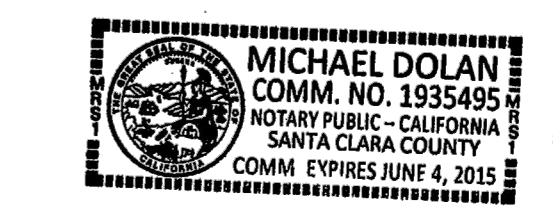
State of California)
County of Santa Clara)

On Nov 6, 2012, before me, Michael Dolan, the undersigned Notary Public, personally appeared Carolyn T. Walsh, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Michael Dolan
Michael Dolan



LOCATION
17025 MCGILL RD.
SARATOGA CA 95070

PROJECT PHASE: _____ JOB NO.: 2003
SITE PLAN PERMIT

ASSESSOR PARCEL MAP & LEGAL LOT CREATION

SCALE: _____ DATE: JULY 2021
N/A

ISSUES / REVISIONS

A-5

NOTES:

- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
- ANY TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
- TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
- UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
- A CONDITION OF TITLE REPORT WAS PROVIDED BY THE OWNER. CONDITION OF TITLE REPORT, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. GUARANTEE NO. FSBC-T021001710 DATED OCTOBER 22, 2021.

NOTES:

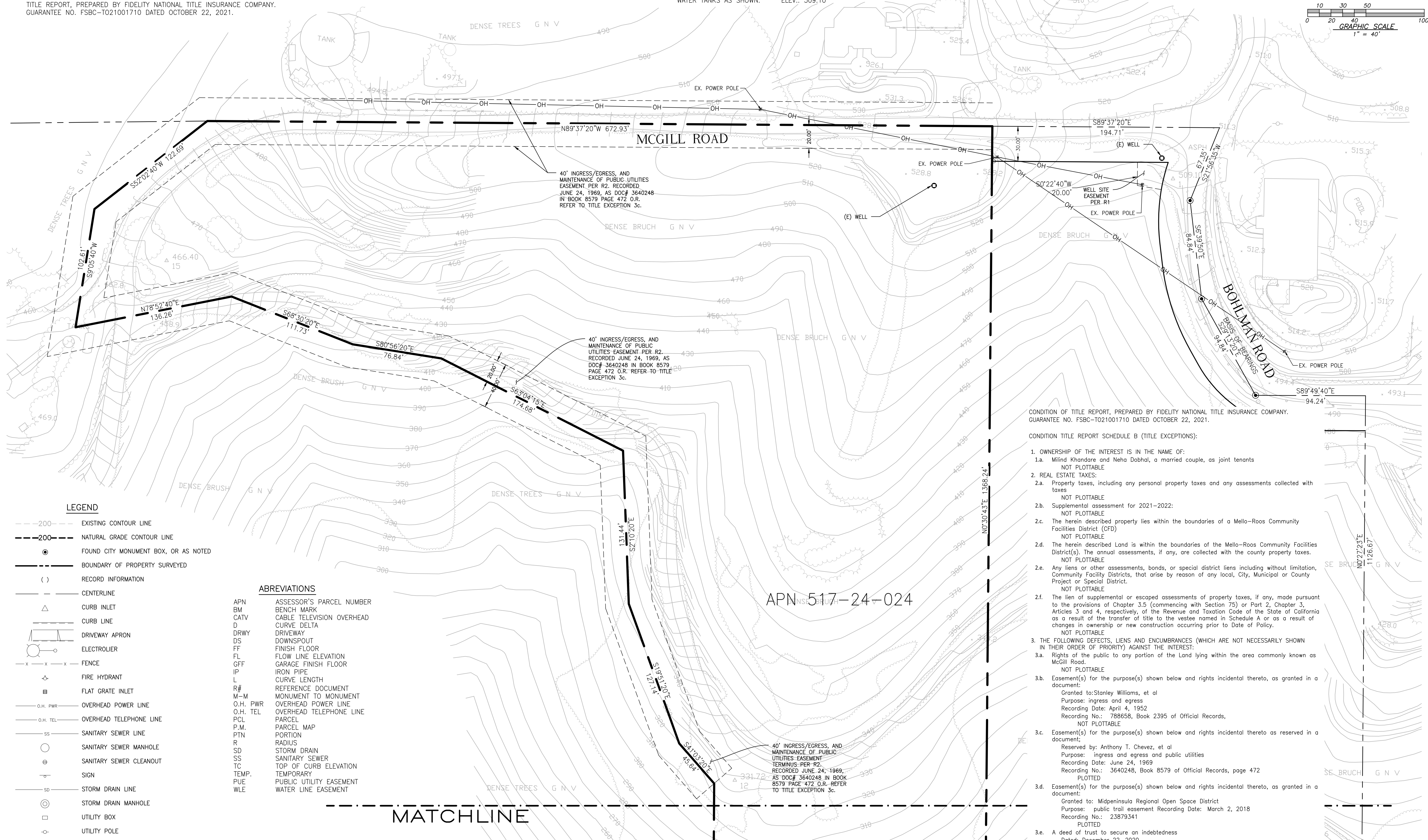
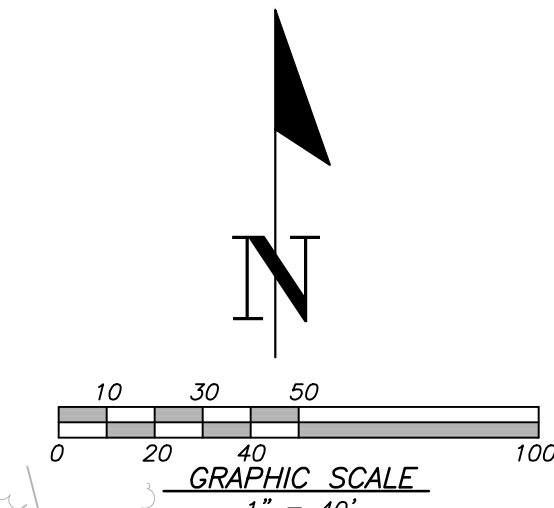
- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.

REFERENCES:
 R1 PARCEL MAP 449-M-1
 R2 GRANT DEED FILE NO. 4404-2313745

BENCH MARK

DESCRIPTION: ASSUMED BENCHMARK, SPIKE AT FLIGHT MARKER, NEAR THE WATER TANKS AS SHOWN: ELEV.: 509.10'

THE BEARING SOUTH 29°13'20" EAST OF THE CENTER LINE OF BOLLMAN ROAD AS SHOWN ON THAT MAP OF PARCEL MAP FILED FOR RECORD IN BOOK 449 OF MAPS PAGE 1, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.



LEGEND

- 200--- EXISTING CONTOUR LINE
- 200--- NATURAL GRADE CONTOUR LINE
- FOUND CITY MONUMENT BOX, OR AS NOTED
- BOUNDARY OF PROPERTY SURVEYED
- () RECORD INFORMATION
- CENTERLINE
- △ CURB INLET
- CURB LINE
- DRIVEWAY APRON
- ELECTROLIER
- FENCE
- ◇ FIRE HYDRANT
- FLAT GRATE INLET
- O.H. PWR OVERHEAD POWER LINE
- O.H. TEL OVERHEAD TELEPHONE LINE
- SS SANITARY SEWER LINE
- SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER CLEANOUT
- SIGN
- SD STORM DRAIN LINE
- STORM DRAIN MANHOLE
- UTILITY BOX
- UTILITY POLE
- W WATER LINE
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ ELECTRIC METER
- ⊕ WATER HEATER
- ⊕ GAS

ABBREVIATIONS

- APN ASSESSOR'S PARCEL NUMBER
- BM BENCH MARK
- CATV CABLE TELEVISION OVERHEAD
- D CURVE DELTA
- DRWY DRIVEWAY
- DS DOWNSPOUT
- FF FINISH FLOOR
- FL FLOW LINE ELEVATION
- GFF GARAGE FINISH FLOOR
- IP IRON PIPE
- L CURVE LENGTH
- R# REFERENCE DOCUMENT
- M-M MONUMENT TO MONUMENT
- O.H. PWR OVERHEAD POWER LINE
- O.H. TEL OVERHEAD TELEPHONE LINE
- PCL PARCEL
- P.M. PARCEL MAP
- PTN PORTION
- R RADIUS
- SD STORM DRAIN
- SS SANITARY SEWER
- TC TOP OF CURB ELEVATION
- TEMP. TEMPORARY
- PUE PUBLIC UTILITY EASEMENT
- WLE WATER LINE EASEMENT

CONDITION OF TITLE REPORT, PREPARED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY. GUARANTEE NO. FSBC-T021001710 DATED OCTOBER 22, 2021.

CONDITION TITLE REPORT SCHEDULE B (TITLE EXCEPTIONS):

- OWNERSHIP OF THE INTEREST IS IN THE NAME OF:
 - Milind Khandare and Neha Dobhal, a married couple, as joint tenants NOT PLOTTABLE
- REAL ESTATE TAXES:
 - Property taxes, including any personal property taxes and any assessments collected with taxes NOT PLOTTABLE
 - Supplemental assessment for 2021-2022: NOT PLOTTABLE
 - The herein described property lies within the boundaries of a Mello-Roos Community Facilities District (CFD) NOT PLOTTABLE
 - The herein described Land is within the boundaries of the Mello-Roos Community Facilities District(s). The annual assessments, if any, are collected with the county property taxes. NOT PLOTTABLE
- Any liens or other assessments, bonds, or special district liens including without limitation, Community Facility Districts, that arise by reason of any local, City, Municipal or County Project or Special District. NOT PLOTTABLE
- The lien of supplemental or escaped assessments of property taxes, if any, made pursuant to the provisions of Chapter 3.5 (commencing with Section 75) or Part 2, Chapter 3, Articles 3 and 4, respectively, of the Revenue and Taxation Code of the State of California as a result of the transfer of title to the vestee named in Schedule A or as a result of changes in ownership or new construction occurring prior to Date of Policy. NOT PLOTTABLE
- THE FOLLOWING DEFECTS, LIENS AND ENCUMBRANCES (WHICH ARE NOT NECESSARILY SHOWN IN THEIR ORDER OF PRIORITY) AGAINST THE INTEREST:
 - Rights of the public to any portion of the Land lying within the area commonly known as McGill Road. NOT PLOTTABLE
 - Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
 Granted to: Stanley Williams, et al
 Purpose: ingress and egress
 Recording Date: April 4, 1952
 Recording No.: 788658, Book 2395 of Official Records, NOT PLOTTABLE
 - Easement(s) for the purpose(s) shown below and rights incidental thereto as reserved in a document:
 Reserved by: Anthony T. Chevez, et al
 Purpose: ingress and egress and public utilities
 Recording Date: June 24, 1969
 Recording No.: 3640248, Book 8579 of Official Records, page 472 PLOTTED
 - Easement(s) for the purpose(s) shown below and rights incidental thereto, as granted in a document:
 Granted to: Midpeninsula Regional Open Space District
 Purpose: public trail easement Recording Date: March 2, 2018
 Recording No.: 23879341 PLOTTED
 - A deed of trust to secure an indebtedness
 Dated: December 22, 2020
 Trustor/Grantor: Milind Khandare and Neha Dobhal, a married couple, as joint tenants
 Trustee: Olivia Todd
 Beneficiary: U.S. Bank National Association
 Recording Date: December 31, 2020
 Recording No.: 24771104 NOT PLOTTABLE
- Water rights, claims or title to water, whether or not disclosed by the public records. NOT PLOTTABLE
- Any easements not disclosed by the public records as to matters affecting title to real property, whether or not said easements are visible and apparent. NOT PLOTTABLE

	REVISIONS
	DATE
	CITY
	BY
<p><i>P. Oscar Osuna</i> PORFIRIO OSCAR OSUNA PLS 8921 EXP. 9-30-22</p>	
<p>OSUNA ENGINEERING INC. Planning Surveying Civil Engineering</p>	
<p>CONSULTING CIVIL ENGINEERS & LAND SURVEYORS TEL: (408) 772-4381 info@osunaengineering.com</p>	
<p>117 BERNAL RD. STE. 70-336 SAN JOSE, CA 95119</p>	
<p>CALIFORNIA Project No.: 2143 Drawn By: O.O. Checked: O.O. Date: 3/19/22</p>	
<p>PRELIMINARY BOUNDARY & TOPOGRAPHIC SURVEY 17025 MCGILL ROAD APN: 517-24-024</p>	
<p>SHEET BT1 OF 2 SHEETS</p>	

MATCHLINE

NOTES:

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REFERENCES:

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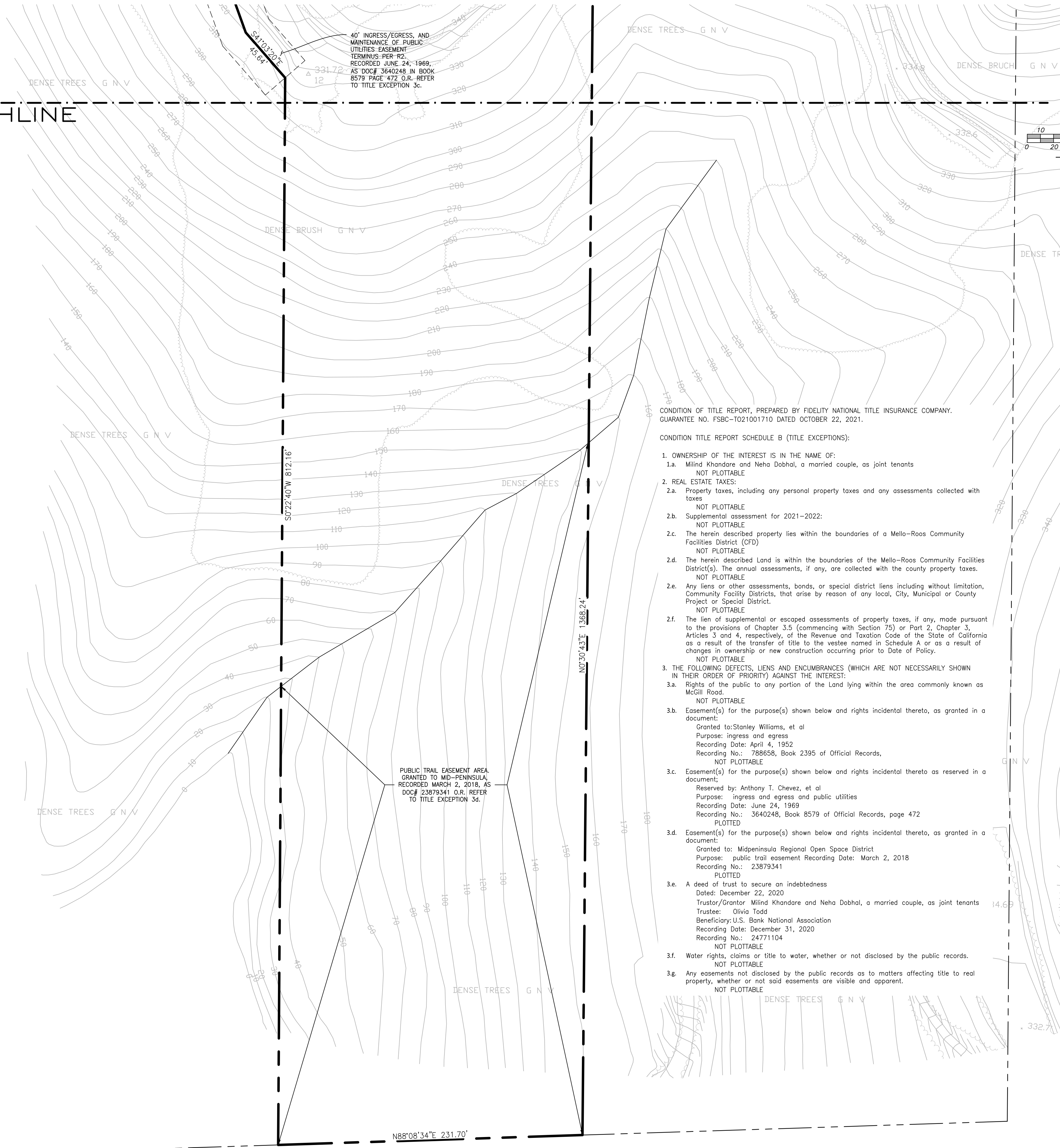
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- SANITARY SEWER MANHOLE
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- PUE PUBLIC UTILITY EASEMENT
- WLE WATER LINE EASEMENT



40' INGRESS/EGRESS, AND MAINTENANCE OF PUBLIC UTILITIES EASEMENT TERMINUS PER R2, RECORDED JUNE 24, 1969, AS DOC# 3640248 IN BOOK 8579 PAGE 472 O.R., REFER TO TITLE EXCEPTION 3c.

PUBLIC TRAIL EASEMENT AREA GRANTED TO MID-PENINSULA, RECORDED MARCH 2, 2018, AS DOC# 23879341 O.R., REFER TO TITLE EXCEPTION 3d.

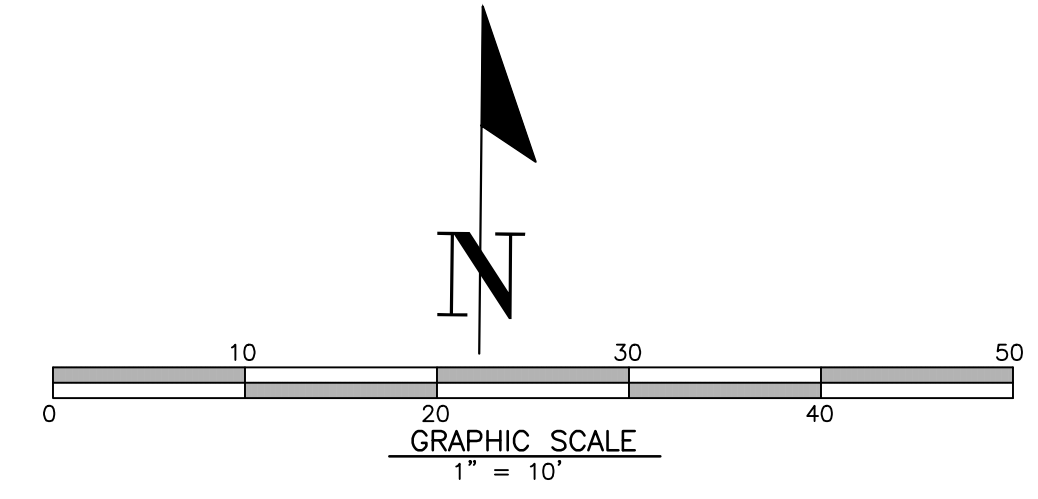
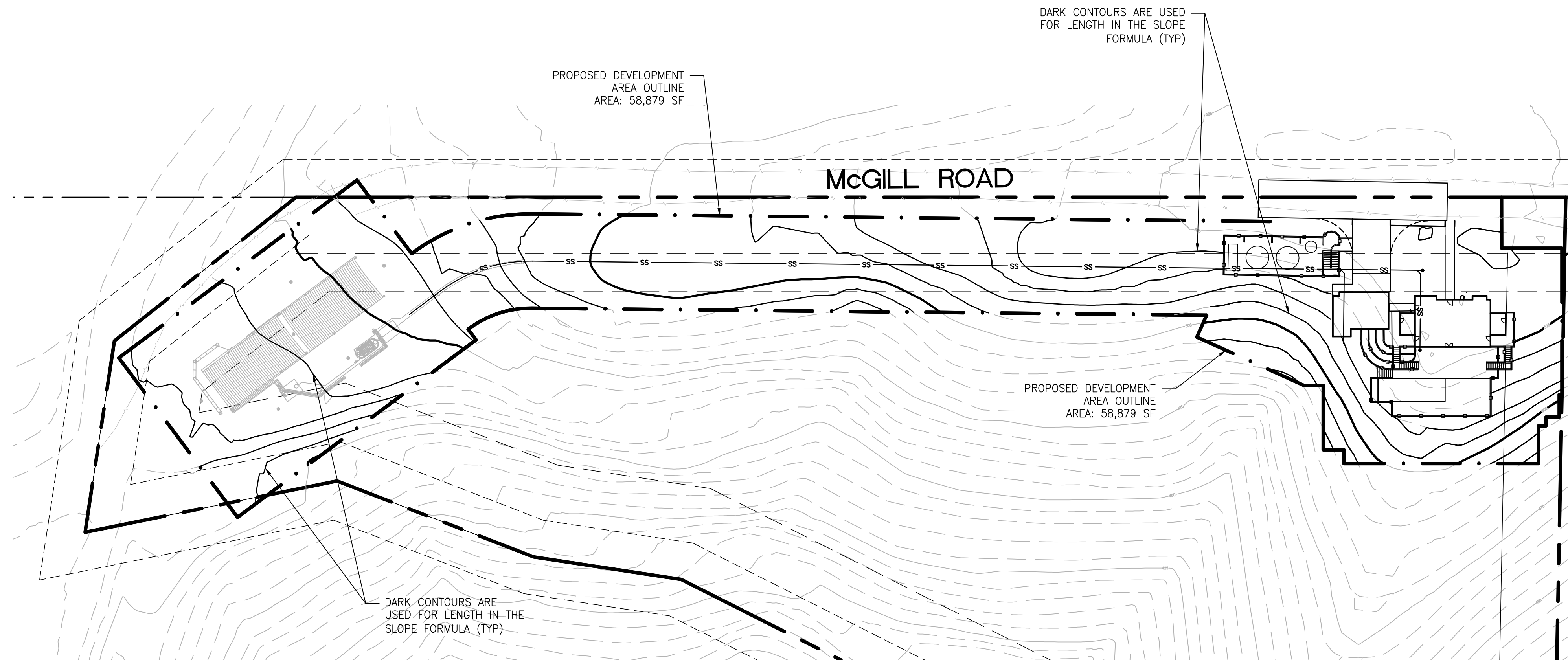
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 - Recording Date: June 24, 1969
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 - Purpose: public trail easement Recording Date: March 2, 2018
 - Recording No.: 23879341 PLOTTED
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 - Dated: December 22, 2020
 - Trustor/Grantor Milind Khandare and Neha Dobhal, a married couple, as joint tenants
 - Trustee: Olivia Todd
 - Beneficiary: U.S. Bank National Association
 - Recording Date: December 31, 2020
 - Recording No.: 24771104 NOT PLOTTABLE
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	REVISIONS
	DATE
	CITY
	BY
<p>P. Oscar Osuna PORFIRIO OSCAR OSUNA P.L.S. 8921 EXP. 9-30-22</p>	
<p>OSUNA ENGINEERING INC. ENGINEERING INC. Planning Surveying Civil Engineering</p>	
<p>CONSULTING CIVIL ENGINEERS & LAND SURVEYORS TEL: (408) 772-4381 info@osunaeengineering.com</p>	
<p>117 BERNAL RD. STE. 70-336 SAN JOSE, CA 95119</p>	
<p>CALIFORNIA Project No.: 2143 Drawn By: O.O. Checked: O.O. Date: 3/19/22</p>	
<p>PRELIMINARY BOUNDARY & TOPOGRAPHIC SURVEY 17025 MCGILL ROAD APN: 517-24-024</p>	
<p>SHEET BT2 OF 2 SHEETS</p>	

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS RESPONSIBILITY SHALL BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



Property Address: 17025 McGill Rd
Saratoga, CA
APN: 517-24-024

Prepared By: Oscar Osuna, PE, PLS
President
OSUNA ENGINEERING INC.

SLOPE CALCULATIONS

COUNTOUR	LENGTH 1	LENGTH 2	LENGTH 3	LENGTH 4	SUB-TOTALS
530	25	75	6		106
525	40	29		36	105
520	49	29		154	232
515	54	41		158	253
510	28	117	34	207	386
505	29	4	171	154	358
500	134	64		231	429
495	68	41	30	84	223
490	20	12	11	59	102
485	66				66
480	104				104
475	121				121
470	142				142
465	195				195
460	98				98
455	74				74
450	10				10
					0
					0
					2898 FT

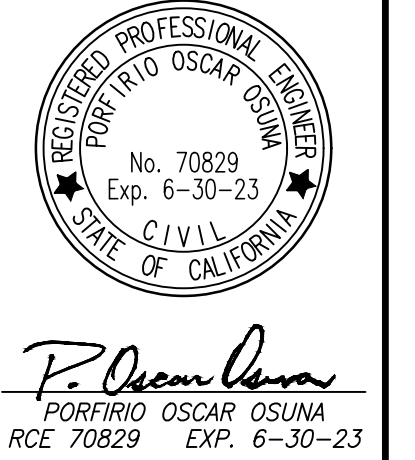
S=PERCENT (%) SLOPE = (I * L*100)/A

I = INTERVAL OF CONTOURS 5
L = LENGTH OF SUM OF CONTOURS 2898 FT
A = PROPOSED DEVELOPMENT AREA 58879 SF

SO:

S = 24.6 %

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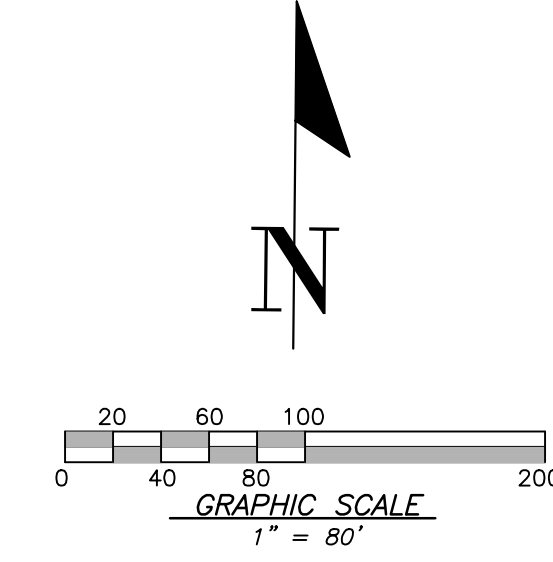
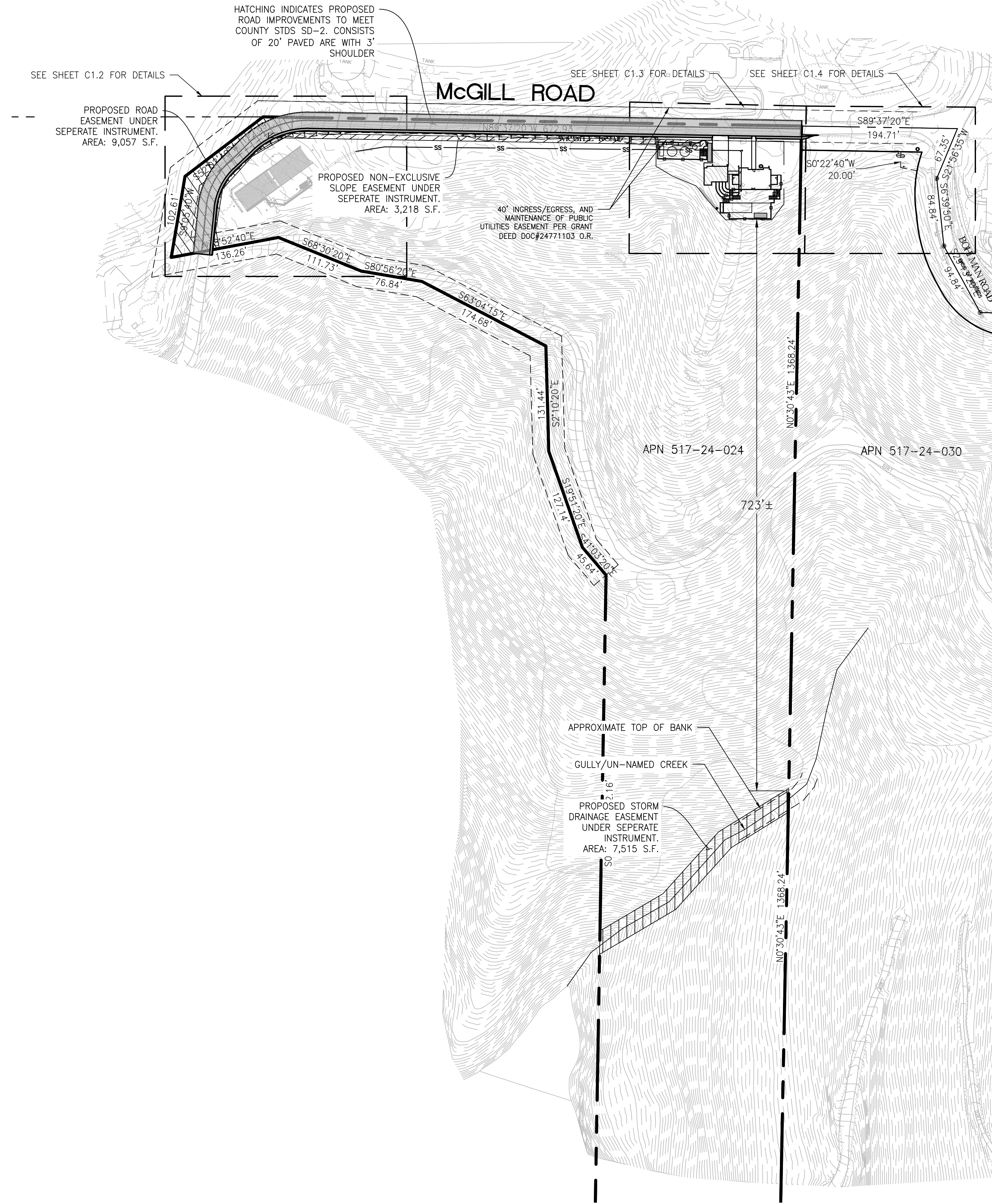
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
117 BERNAL RD. STE. 70-336
SAN JOSE, CA 95119
TEL. (408) 772-4381
info@osunaengineering.com

PRELIMINARY
GRADING & DRAINAGE PLAN
SITE PLAN - AVERAGE SLOPE
17025 MC GILL RD
SARATOGA, CALIFORNIA
Project No.: 2143 | Design: T.N./O.O. | Check: O.O. | Date: 3/28/23

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERING

SHEET
C1.0
OF 18 SHEETS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES AND AGENCIES INVOLVED IN THE PROJECT.



NO.	DATE	BY	CITY	REVISIONS

PROFESSIONAL ENGINEER
 PORFIRIO OSCAR OSUNA
 No. 70829
 Exp. 6-30-23
 CIVIL
 STATE OF CALIFORNIA

P. Oscar Osuna
 PORFIRIO OSCAR OSUNA
 RCE 70829 EXP. 6-30-23

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 info@osunaeengineering.com

PRELIMINARY
 GRADING & DRAINAGE PLAN

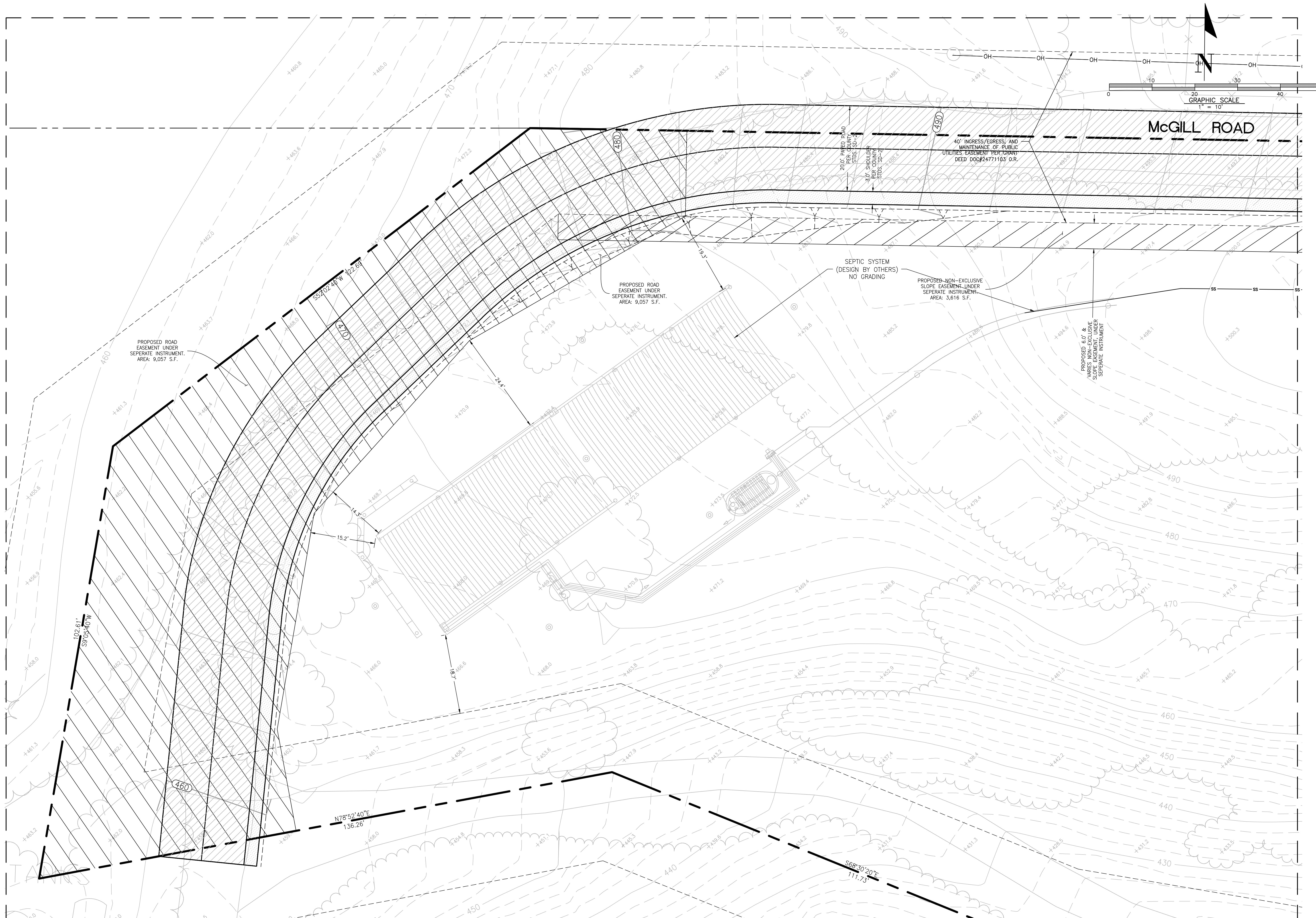
17025 MCGILL RD

SARATOGA, CALIFORNIA
 Project No.: 2143 | Design: T.N./O.O. | Check: O.O. | Date: 3/28/23

SHEET
C1.1
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McGILL ROAD

GRAPHIC SCALE
1" = 10'

PROPOSED ROAD EASEMENT UNDER SEPARATE INSTRUMENT. AREA: 9,057 S.F.

PROPOSED ROAD EASEMENT UNDER SEPARATE INSTRUMENT. AREA: 9,057 S.F.

SEPTIC SYSTEM (DESIGN BY OTHERS) NO GRADING

PROPOSED NON-EXCLUSIVE SLOPE EASEMENT UNDER SEPARATE INSTRUMENT. AREA: 3,616 S.F.

PROPOSED 6.0' WIDE SLOPE EASEMENT UNDER SEPARATE INSTRUMENT

APPROVED FOR ISSUANCE REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERING

PRELIMINARY GRADING & DRAINAGE PLAN
17025 MC GILL RD
SARATOGA, CALIFORNIA
Project No.: 2143 Design: T.N./O.O. Check: O.O. Date: 3/28/23

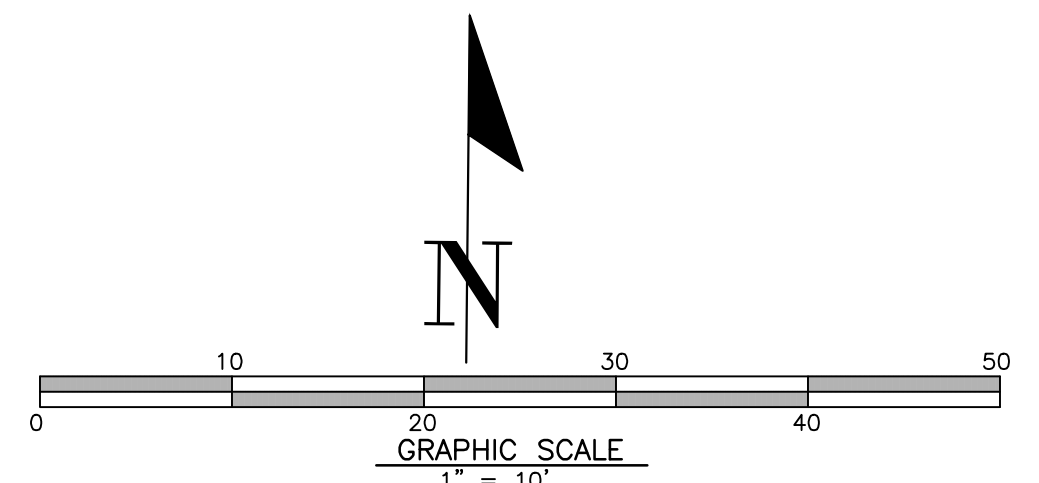
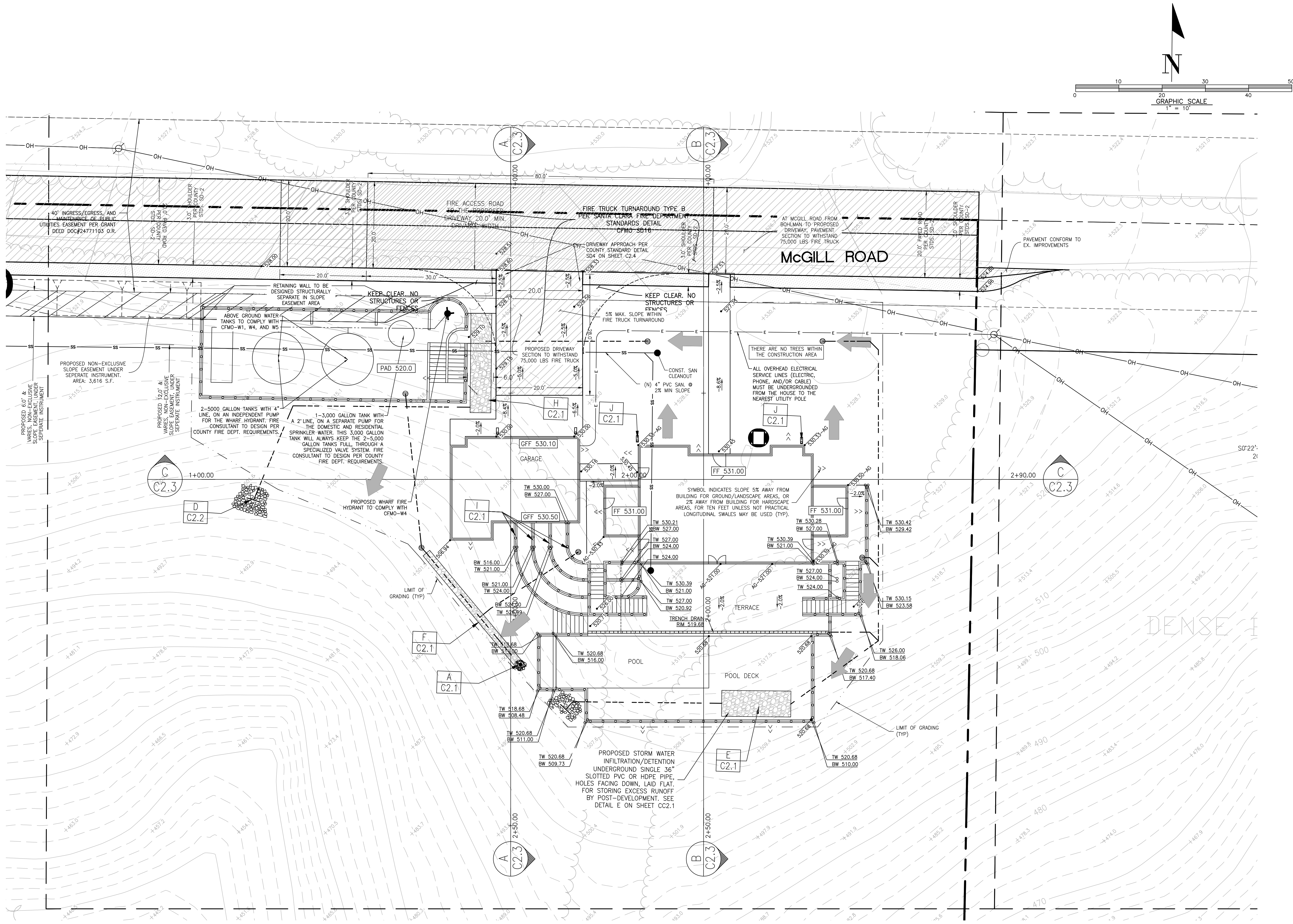
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PROFESSIONAL ENGINEER
No. 70829
Exp. 6-30-23
CIVIL
STATE OF CALIFORNIA
P. Oscar Osuna
PORFIRIO OSCAR OSUNA
RCE 70829 EXP. 6-30-23

NO.	DATE	BY	CITY	REVISIONS

SHEET
C1.2
OF 18 SHEETS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS RESPONSIBILITY SHALL BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS FOR THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE ENGINEER.



NO.	DATE	BY	CITY

Porfirio Oscar Osuna
 REGISTERED PROFESSIONAL ENGINEER
 No. 70829
 Exp. 6-30-23
 CIVIL ENGINEERING
 STATE OF CALIFORNIA

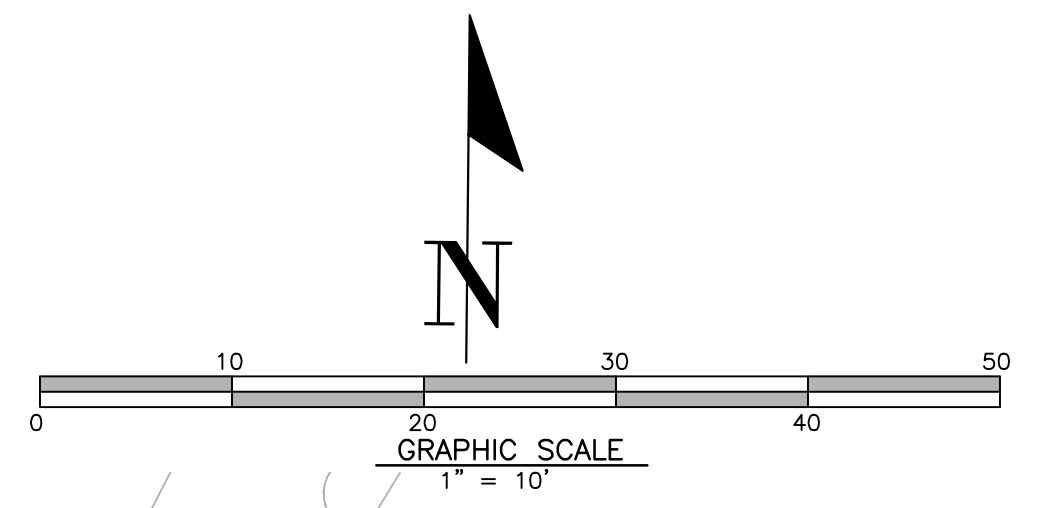
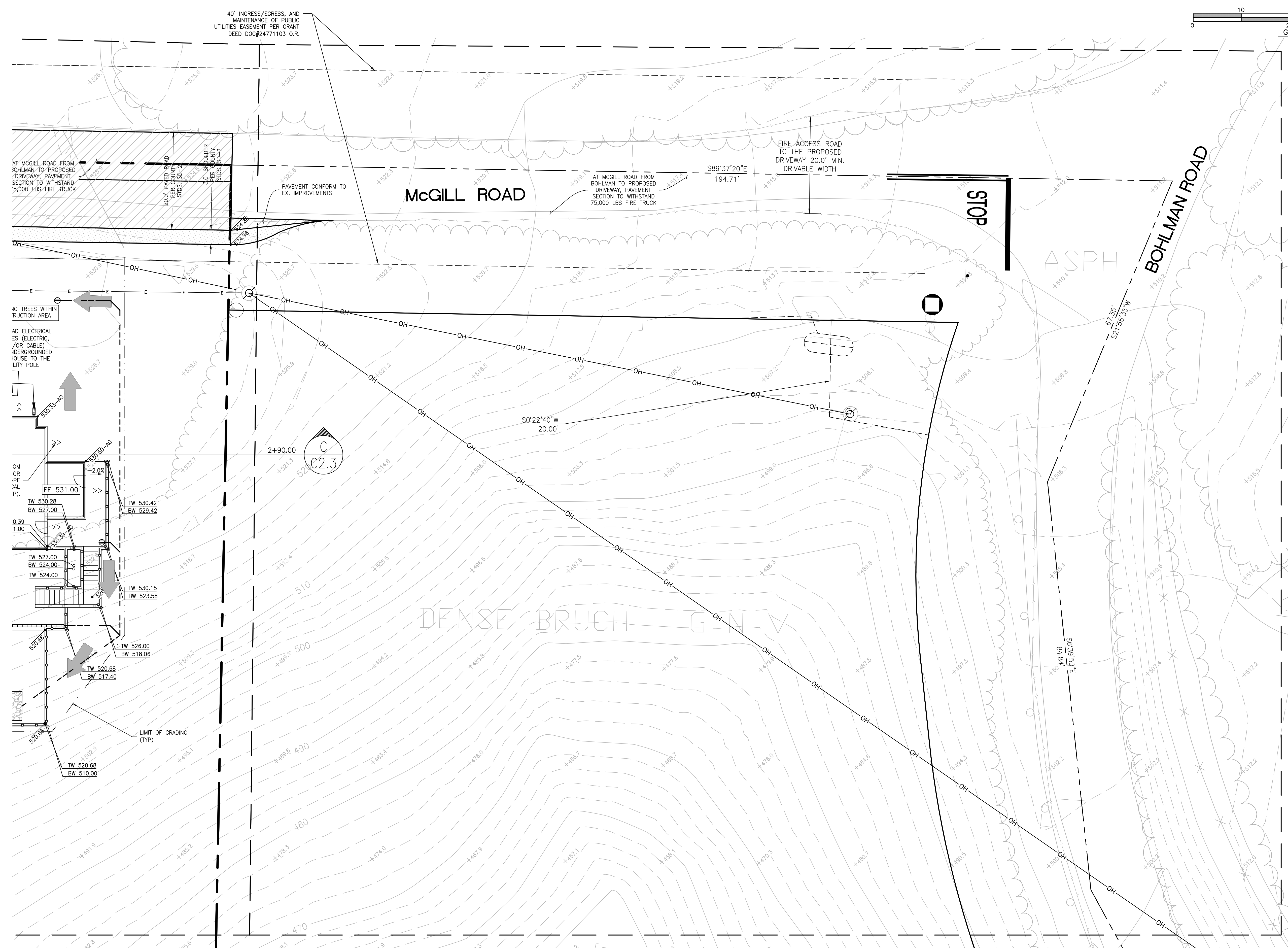
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PRELIMINARY GRADING & DRAINAGE PLAN
 17025 MC GILL RD
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 Project No.: 2143 | Design: T.N./O.O. | Check: O.O. | Date: 3/28/23

SHEET
C1.3
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NO.	DATE	BY	REVISIONS

PROFESSIONAL ENGINEER
 PORFIRIO OSCAR OSUNA
 No. 70829
 Exp. 6-30-23
 CIVIL
 STATE OF CALIFORNIA

P. Oscar Osuna
 PORFIRIO OSCAR OSUNA
 RCE 70829 EXP. 6-30-23

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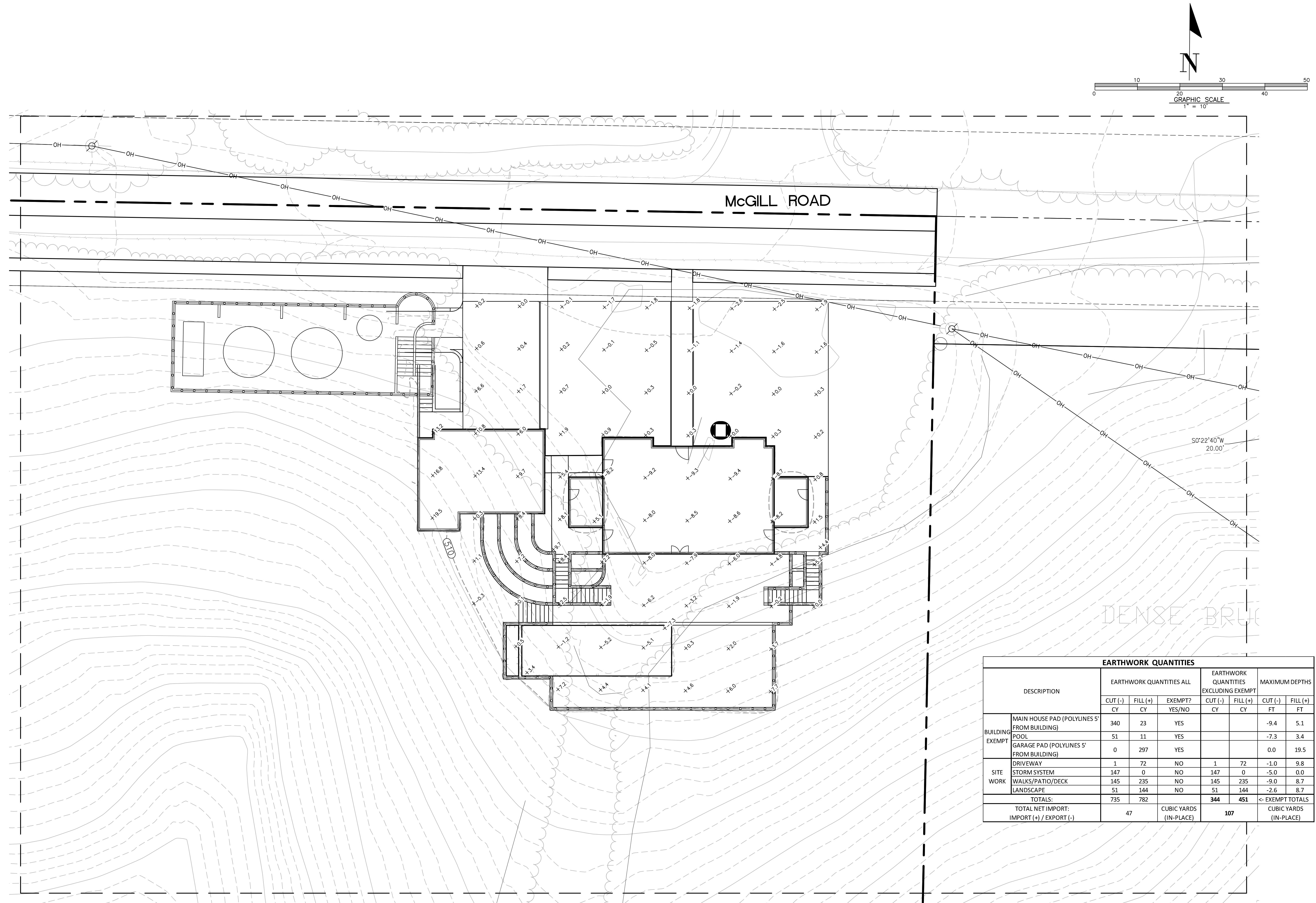
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PRELIMINARY GRADING & DRAINAGE PLAN
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 SARATOGA, CALIFORNIA
 Project No.: 2143 | Design: T.N./O.O. | Check: O.O. | Date: 3/28/23

SHEET C1.4
 OF 18 SHEETS

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EARTHWORK QUANTITIES								
DESCRIPTION	EARTHWORK QUANTITIES ALL			EARTHWORK QUANTITIES EXCLUDING EXEMPT		MAXIMUM DEPTHS		
	CUT (-) CY	FILL (+) CY	EXEMPT? YES/NO	CUT (-) CY	FILL (+) CY	CUT (-) FT	FILL (+) FT	
BUILDING EXEMPT								
MAIN HOUSE PAD (POLYLINES 5' FROM BUILDING)	340	23	YES			-9.4	5.1	
POOL	51	11	YES			-7.3	3.4	
GARAGE PAD (POLYLINES 5' FROM BUILDING)	0	297	YES			0.0	19.5	
SITE WORK								
DRIVEWAY	1	72	NO	1	72	-1.0	9.8	
STORM SYSTEM	147	0	NO	147	0	-5.0	0.0	
WALKS/PATIO/DECK	145	235	NO	145	235	-9.0	8.7	
LANDSCAPE	51	144	NO	51	144	-2.6	8.7	
TOTALS:	735	782		344	451	<- EXEMPT TOTALS		
TOTAL NET IMPORT: IMPORT (+) / EXPORT (-)	47		CUBIC YARDS (IN-PLACE)	107		CUBIC YARDS (IN-PLACE)		

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PRELIMINARY
 GRADING & DRAINAGE PLAN
 EARTHWORK QUANTITIES
 17025 MCGILL ROAD
 SAN JOSE, CALIFORNIA
 Project No.: 2143 Design: J.O. Date: 3/28/23

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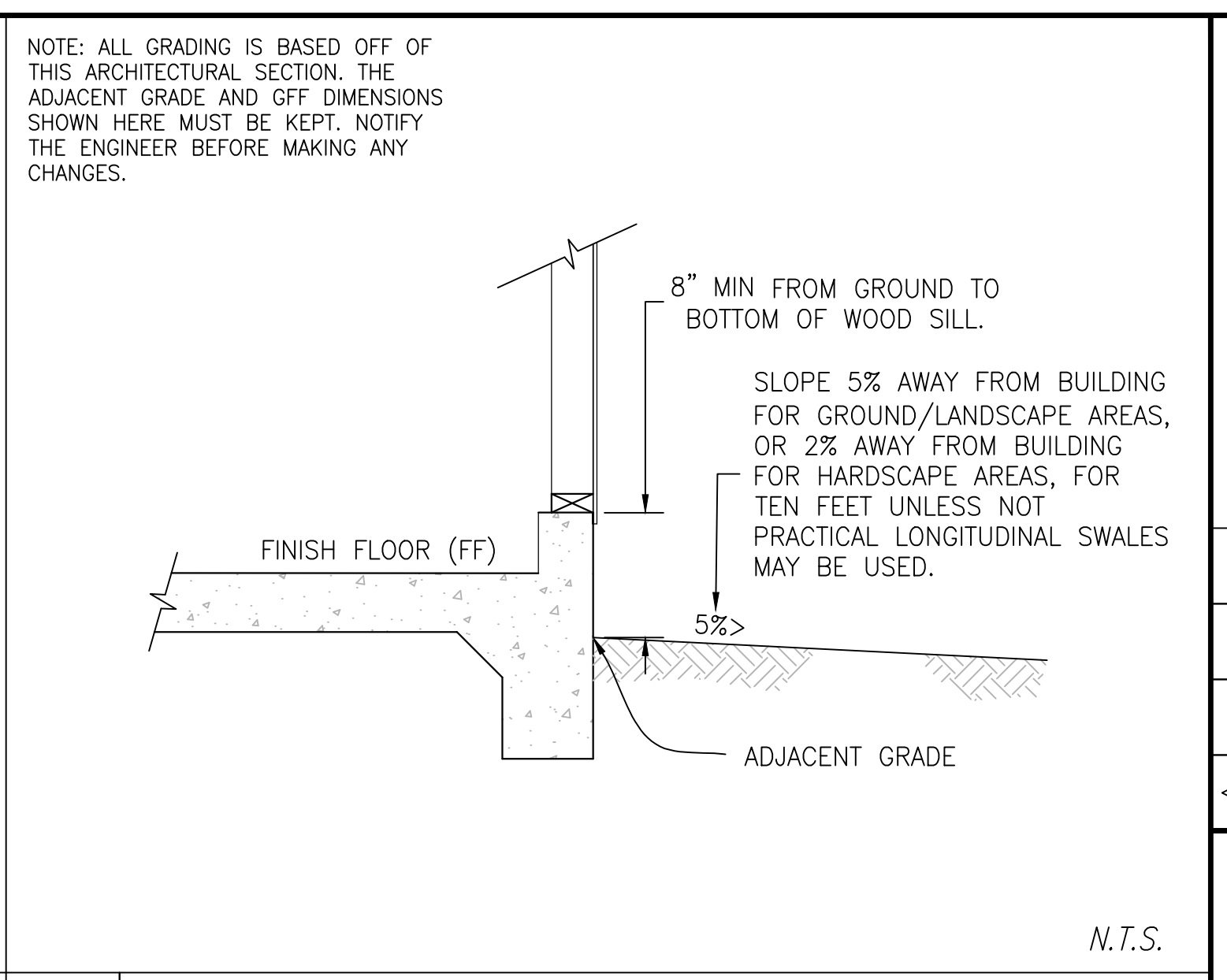
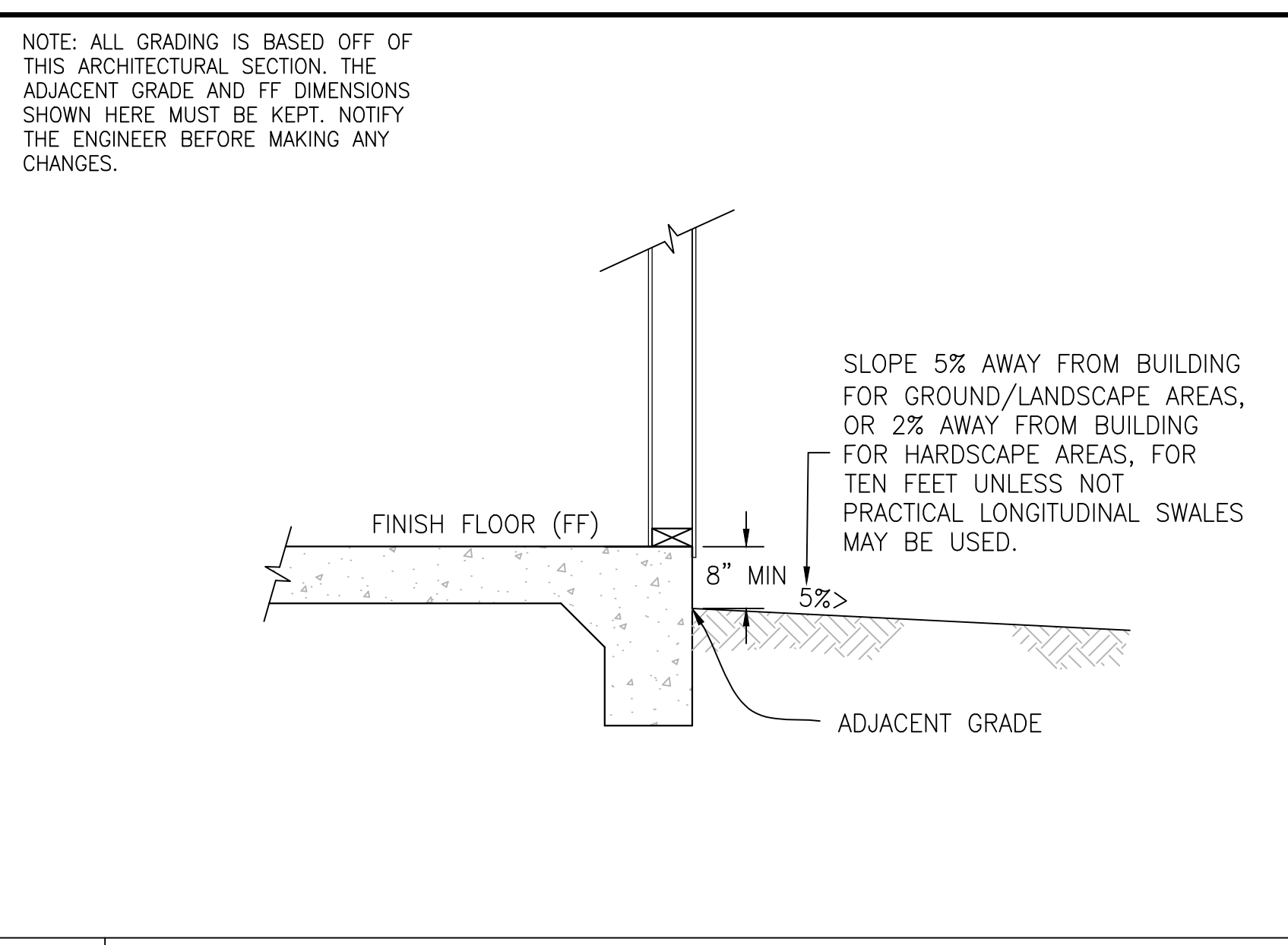
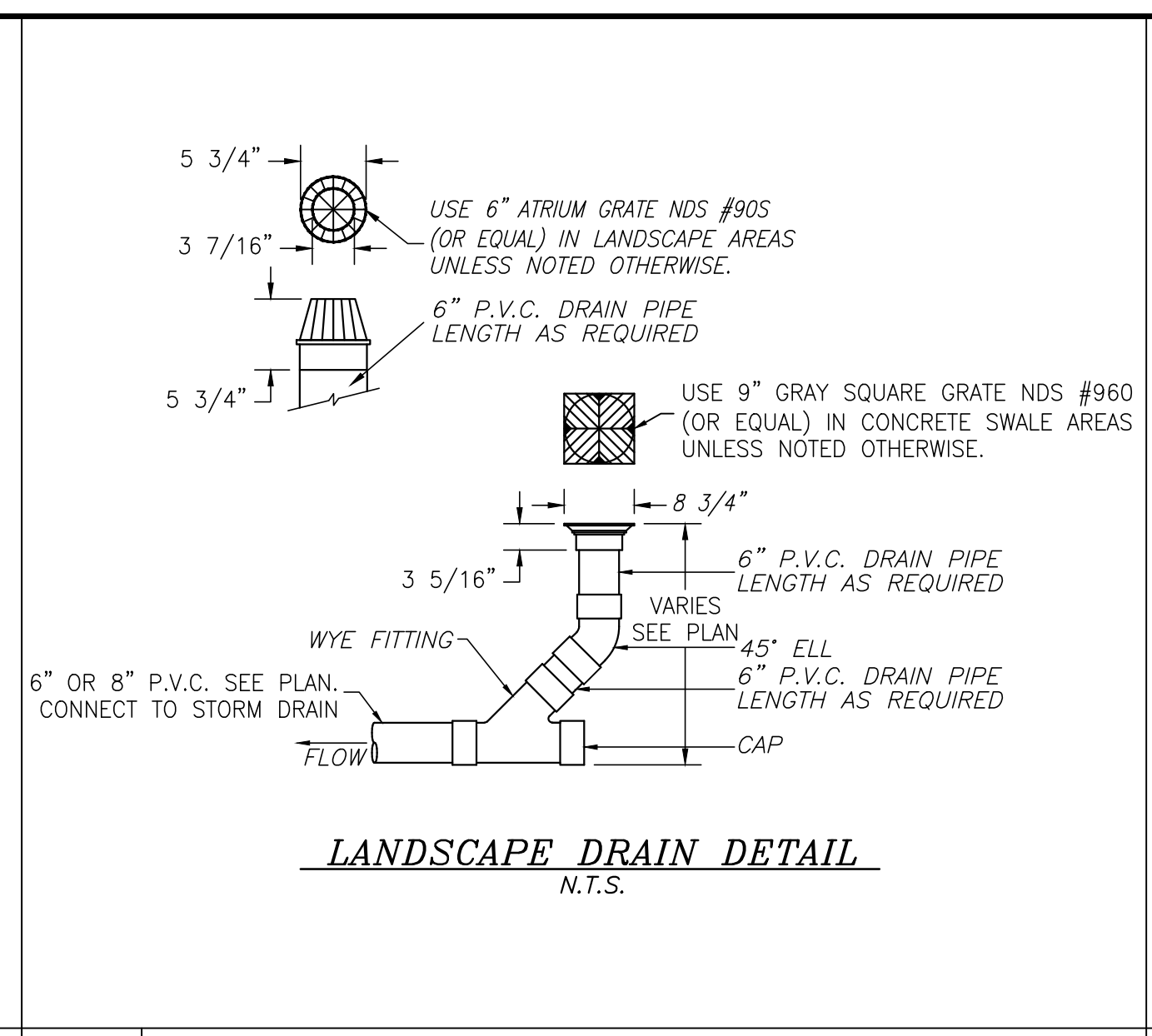
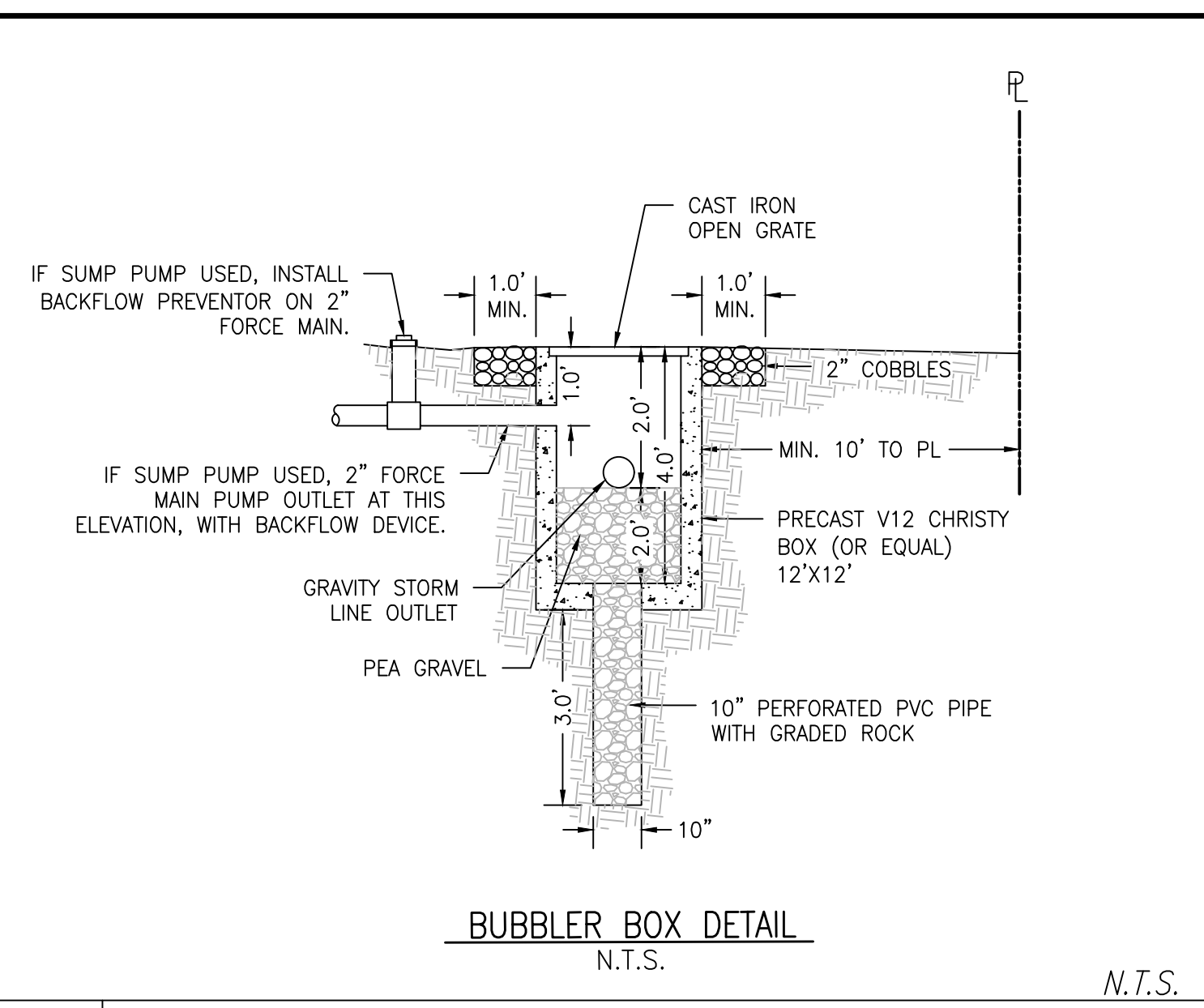
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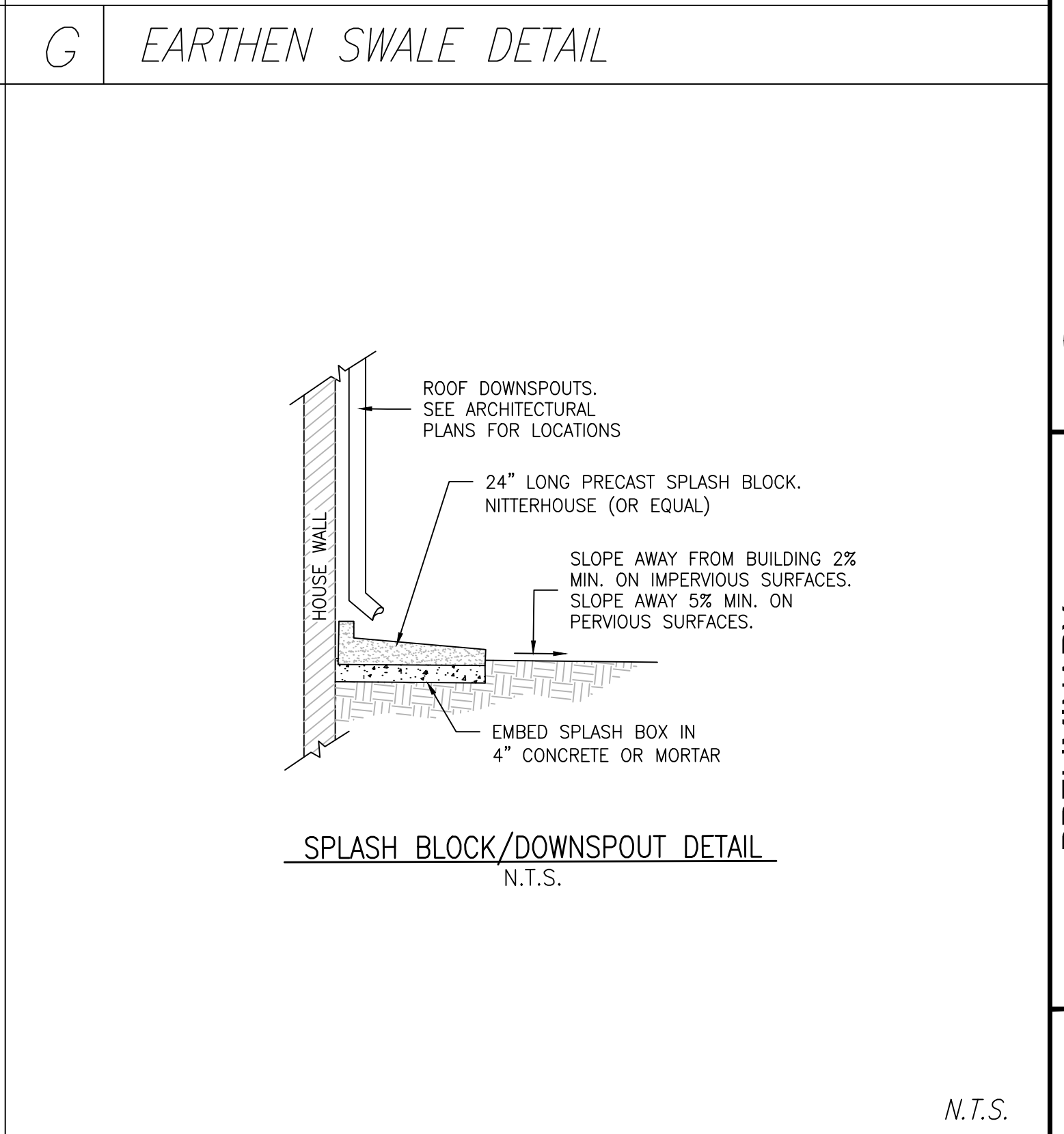
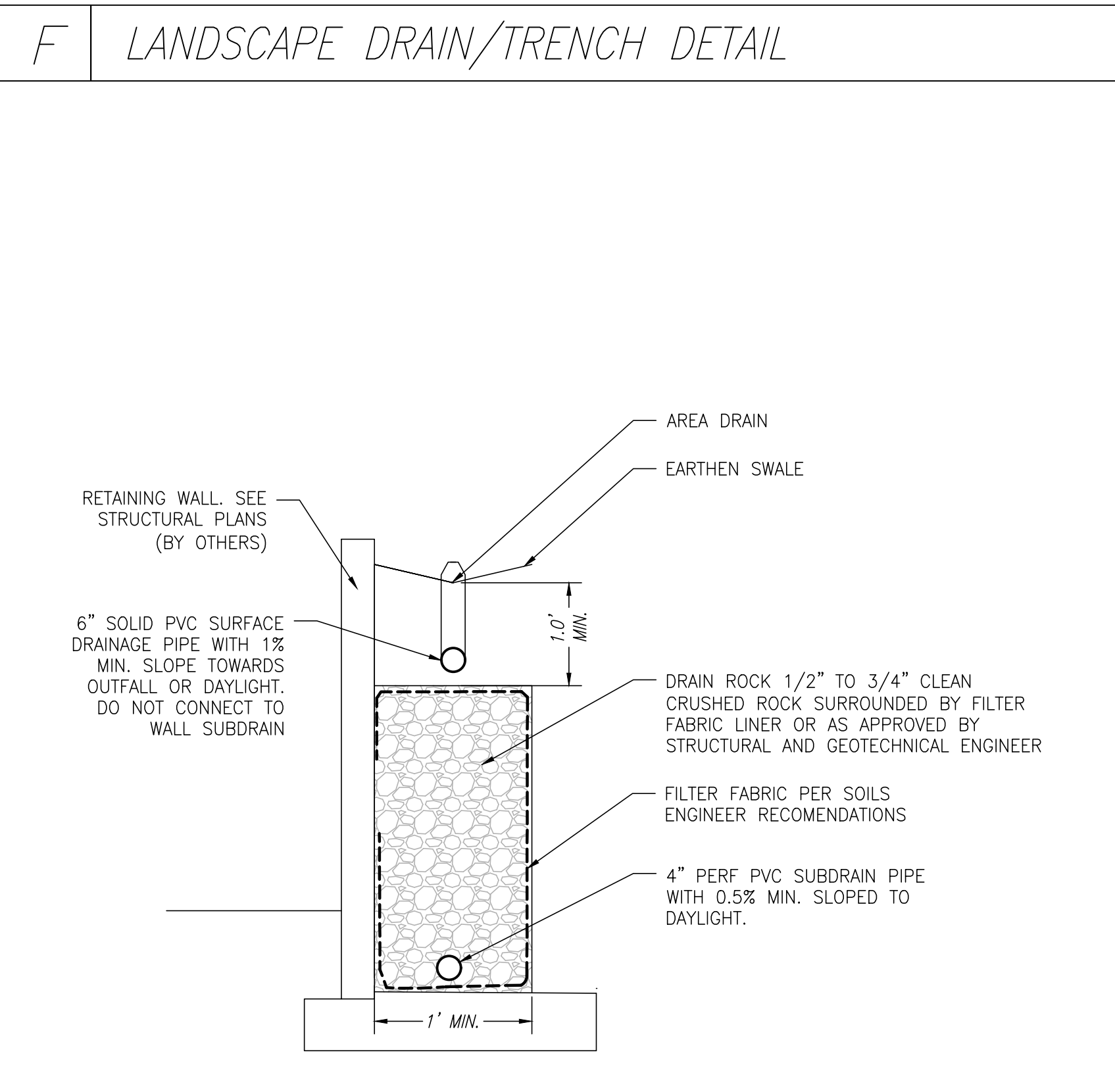
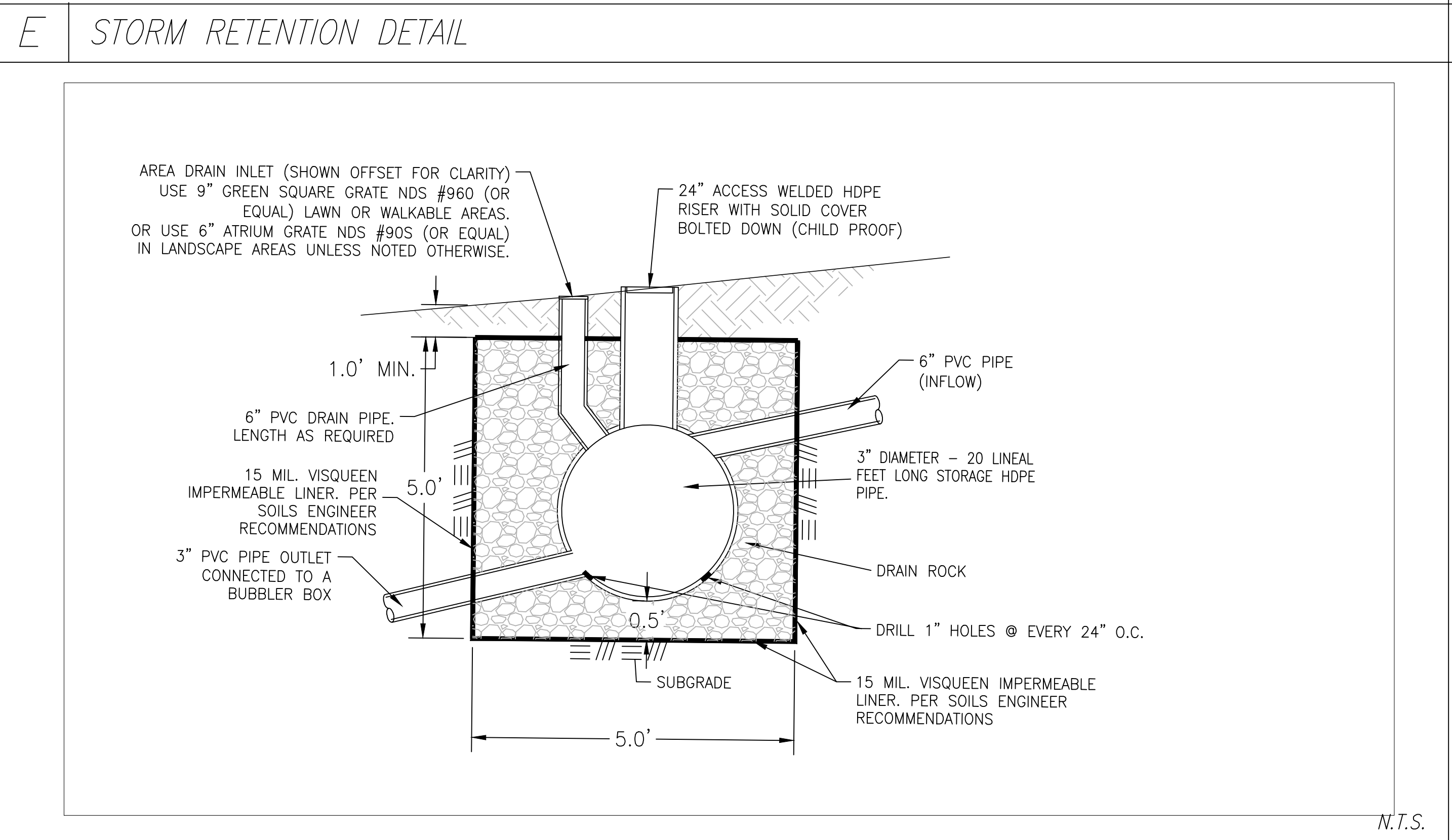
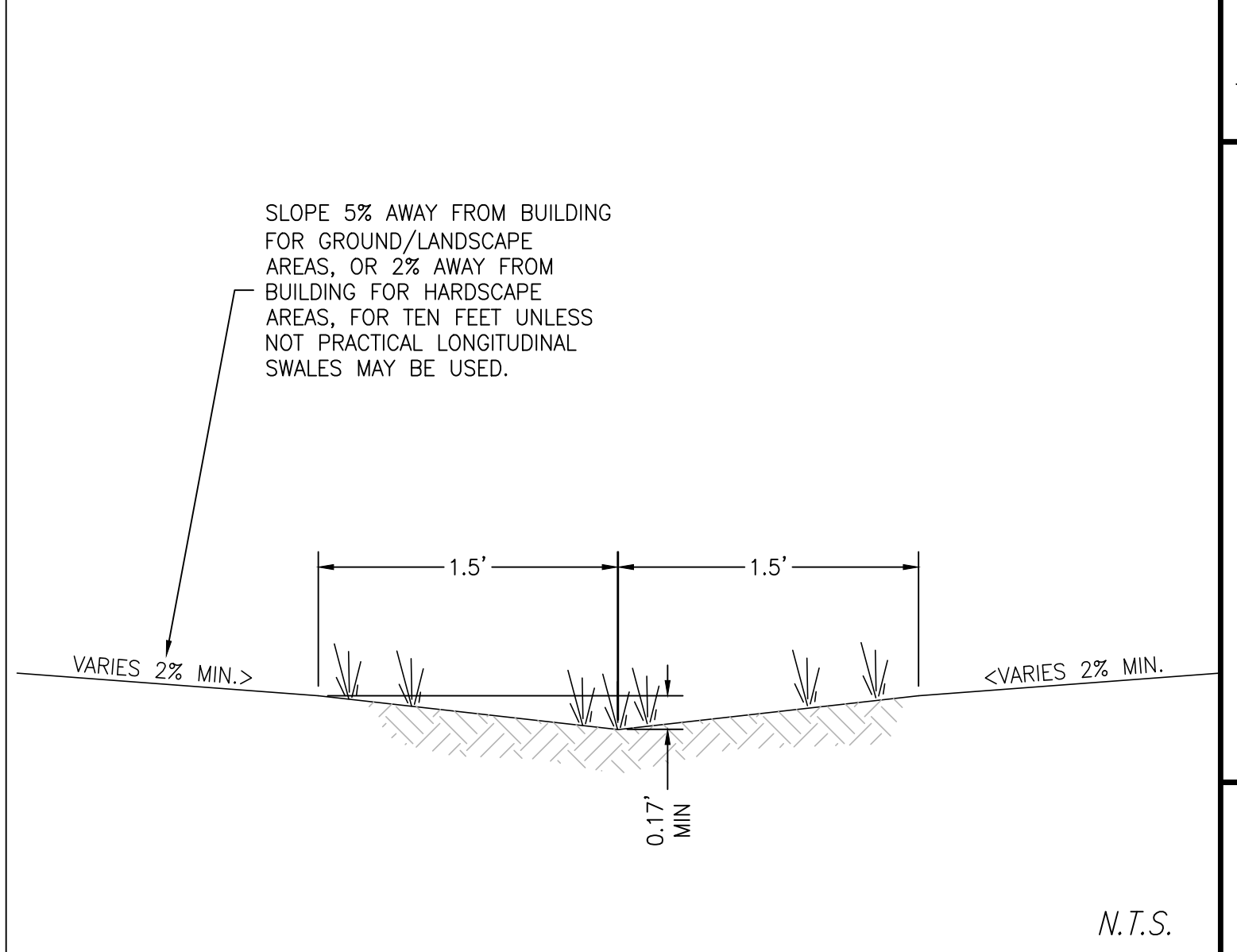
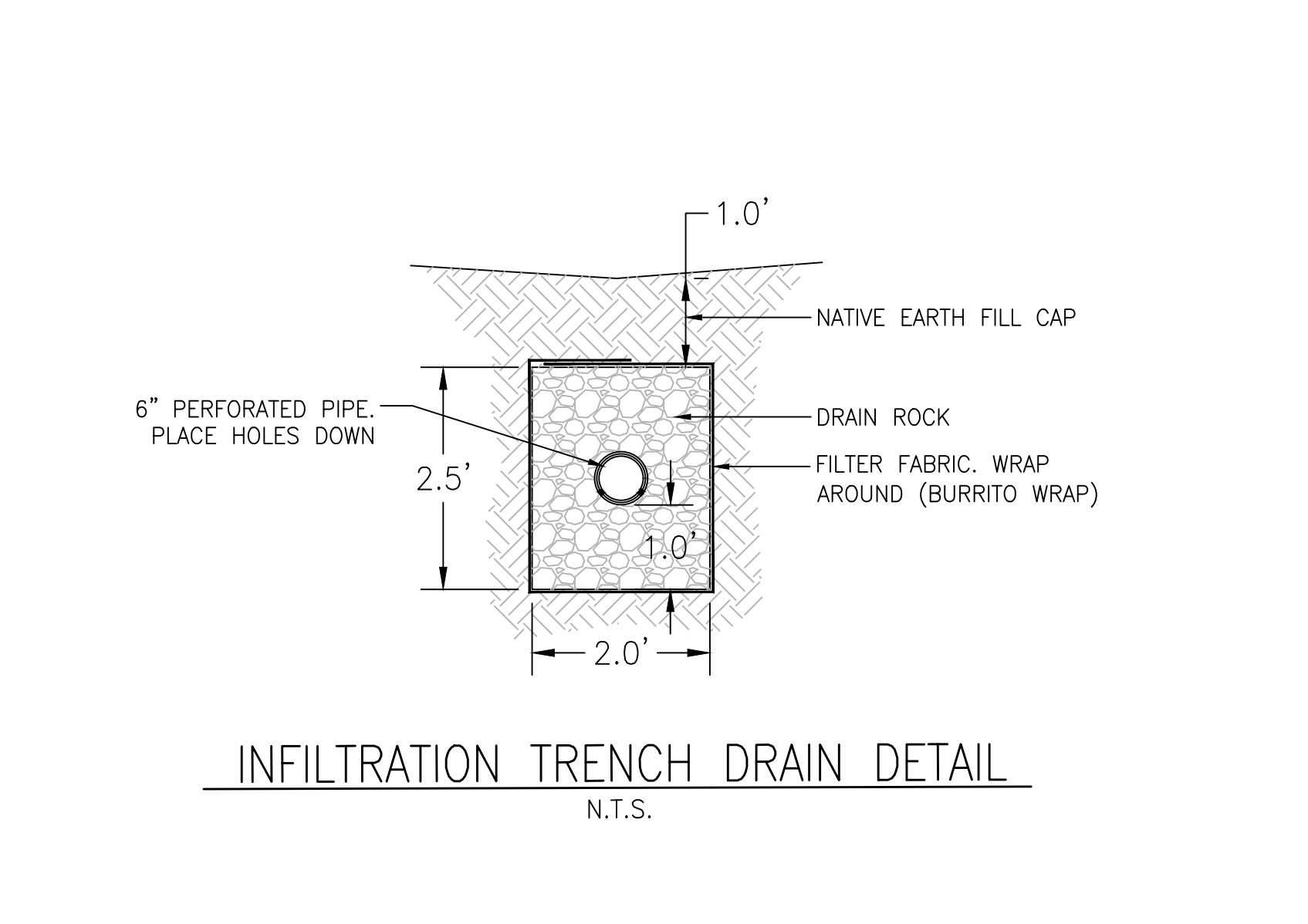
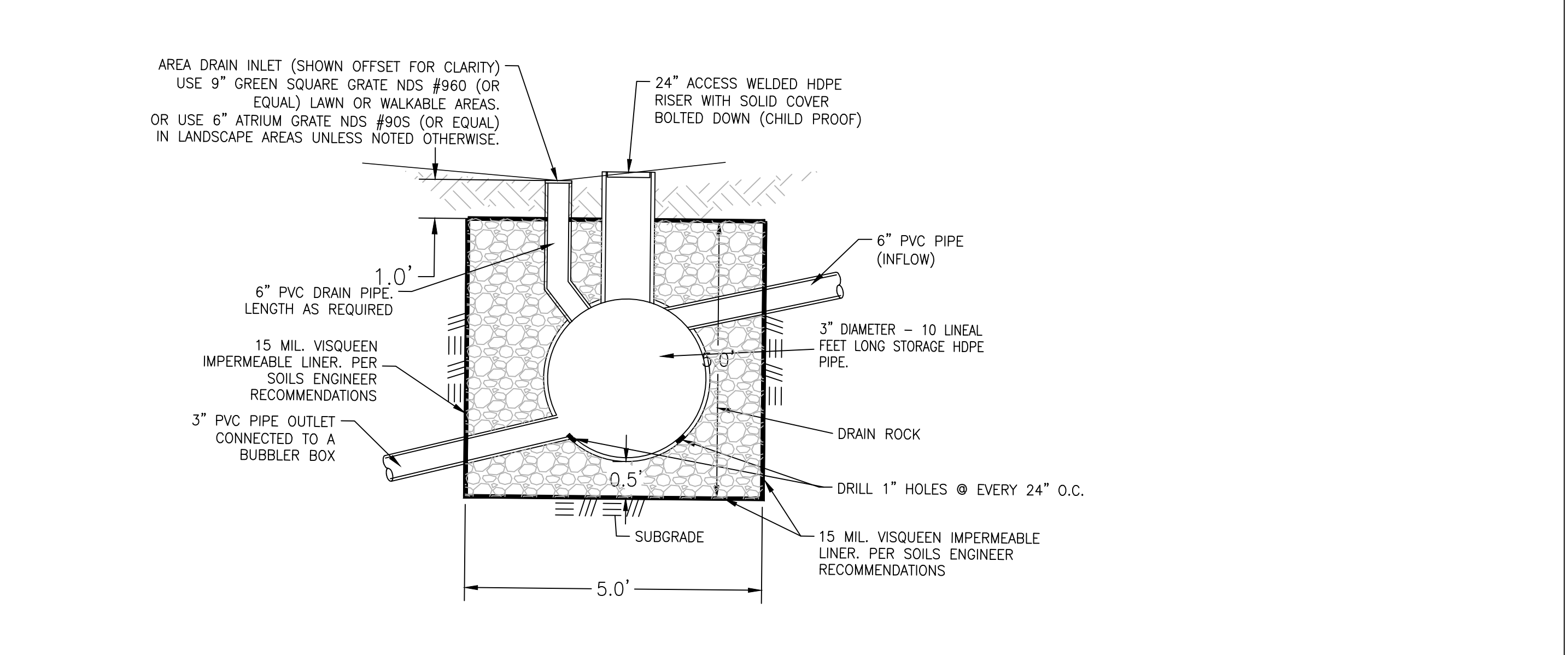


A BUBBLER BOX DETAIL

B AREA DRAIN DETAIL

C TYPICAL FOUNDATION/FF/GROUND SECTION

D TYPICAL FOUNDATION/GFF/GROUND SECTION



H STORM RETENTION DETAIL

I WALL SURFACE AND SUBDRAIN GENERAL DETAIL

J SPLASH BLOCK/DOWNSPOUT DETAIL

NO.	REVISIONS	DATE	BY	CITY

OSUNA ENGINEERING INC.
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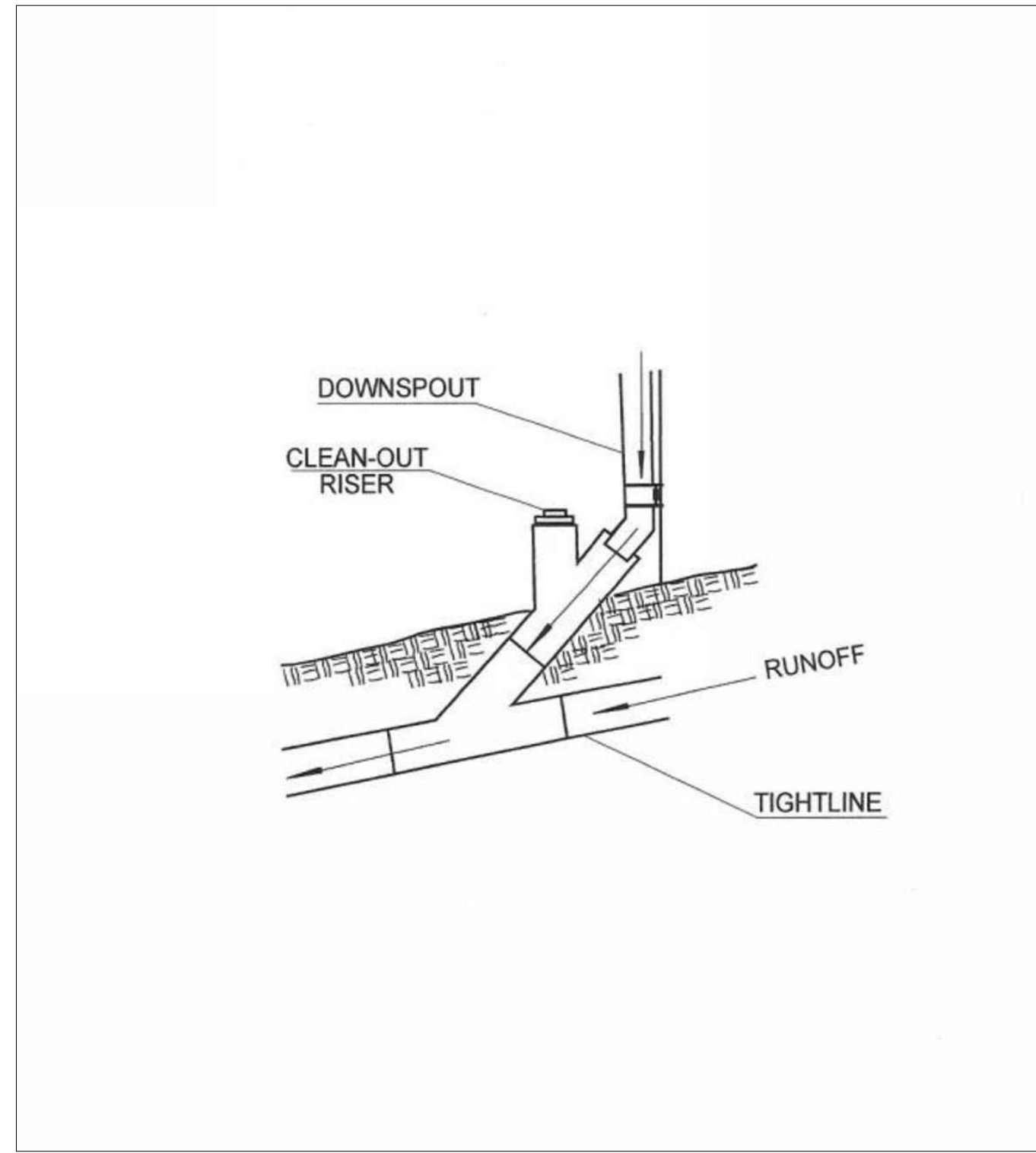
117 BERNAL RD. STE. 70-336
SAN JOSE, CA 95119

CALIFORNIA
Project No.: 2143 | Design: T.N./O.O. | Check: O.O. | Date: 3/28/23

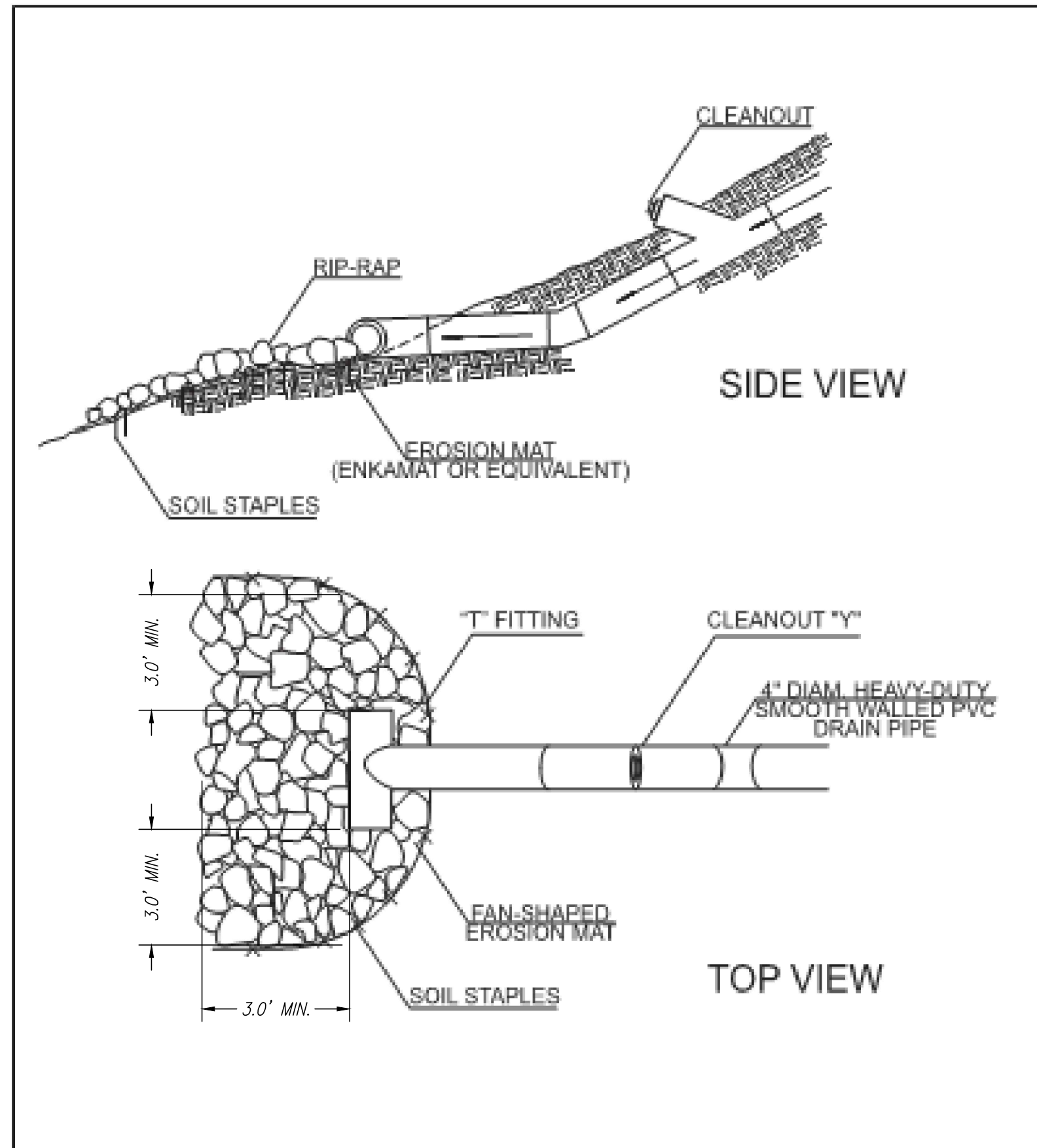
PRELIMINARY GRADING & DRAINAGE PLAN CONSTRUCTION DETAILS
17025 MC GILL RD

SHEET **C2.1**
OF 18 SHEETS

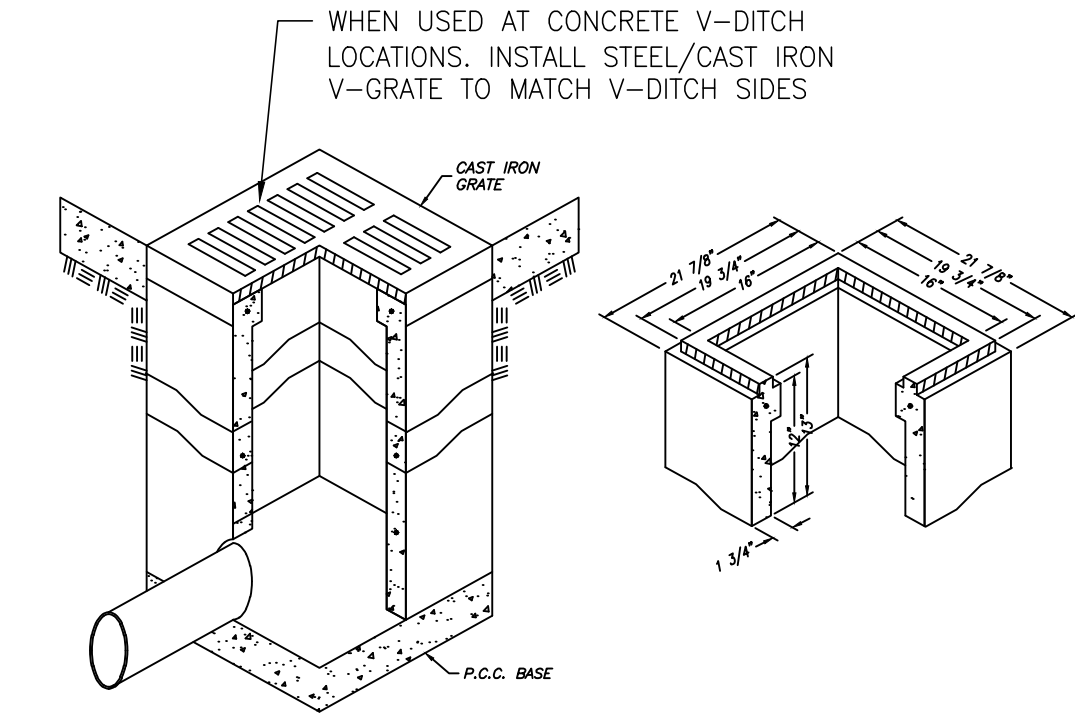
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A DOWNSPOUT CONNECTION DETAIL



D "T" OUTFALL DETAIL



FLAT GRATE INLET
CHRISTY V-64 DRAIN BOX
18 3/8" x 18 3/8" OR EQUAL
N.T.S.

N.T.S.

N.T.S.

B NOT USED

C FLAT GRATE INLET

E NOT USED

F NOT USED

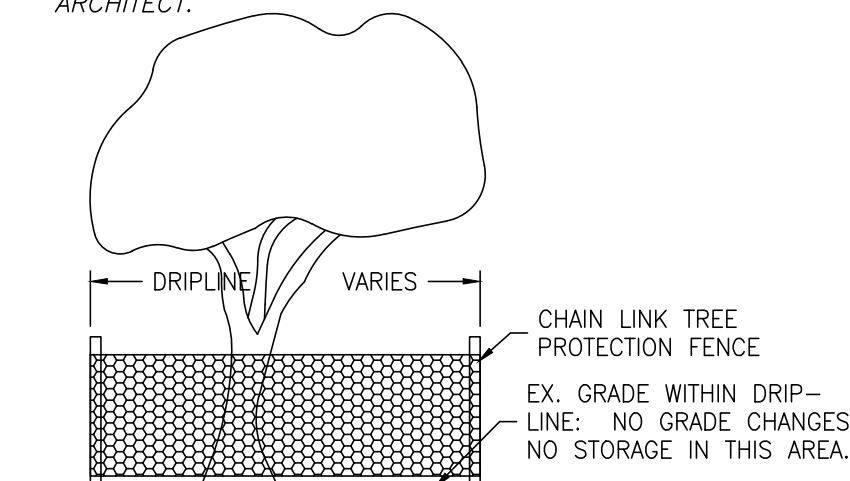
NOTES FOR PROTECTION OF EXISTING PLANTS TO REMAIN:

A. DO NOT STORE MATERIALS OR EQUIPMENT, PERMIT BURNING, OPERATE, OR PARK EQUIPMENT UNDER THE BRANCHES OF ANY EXISTING PLANT TO REMAIN EXCEPT AS ACTUALLY REQUIRED FOR CONSTRUCTION IN THOSE AREAS.

B. PROVIDE BARRICADES, FENCES, OR OTHER BARRIERS AS NECESSARY AT THE DRIP LINE TO PROTECT EXISTING PLANTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION.

C. NOTIFY THE LANDSCAPE ARCHITECT IN ANY CASE WHERE CONTRACTOR FEELS GRADING OR OTHER CONSTRUCTION CALLED FOR BY CONTRACT DOCUMENTS MAY DAMAGE EXISTING PLANTS TO REMAIN.

D. IF EXISTING PLANTS TO REMAIN ARE DAMAGED DURING CONSTRUCTION, CONTRACTOR SHALL REPLACE SUCH PLANTS OF THE SAME SPECIES AND SIZE AS THOSE DAMAGED AT NO COST TO THE OWNER. DETERMINATION OF EXTENT OF DAMAGE AND VALUE OF DAMAGED PLANT SHALL REST SOLELY WITH THE LANDSCAPE ARCHITECT.



TREE PROTECTION DETAIL

N.T.S.

N.T.S.

J TREE PROTECTION

H NOT USED

NO.	DATE	CITY	BY



Porfirio Oscar Osuna
PORFIRIO OSCAR OSUNA
RCE 70829 EXP. 6-30-23

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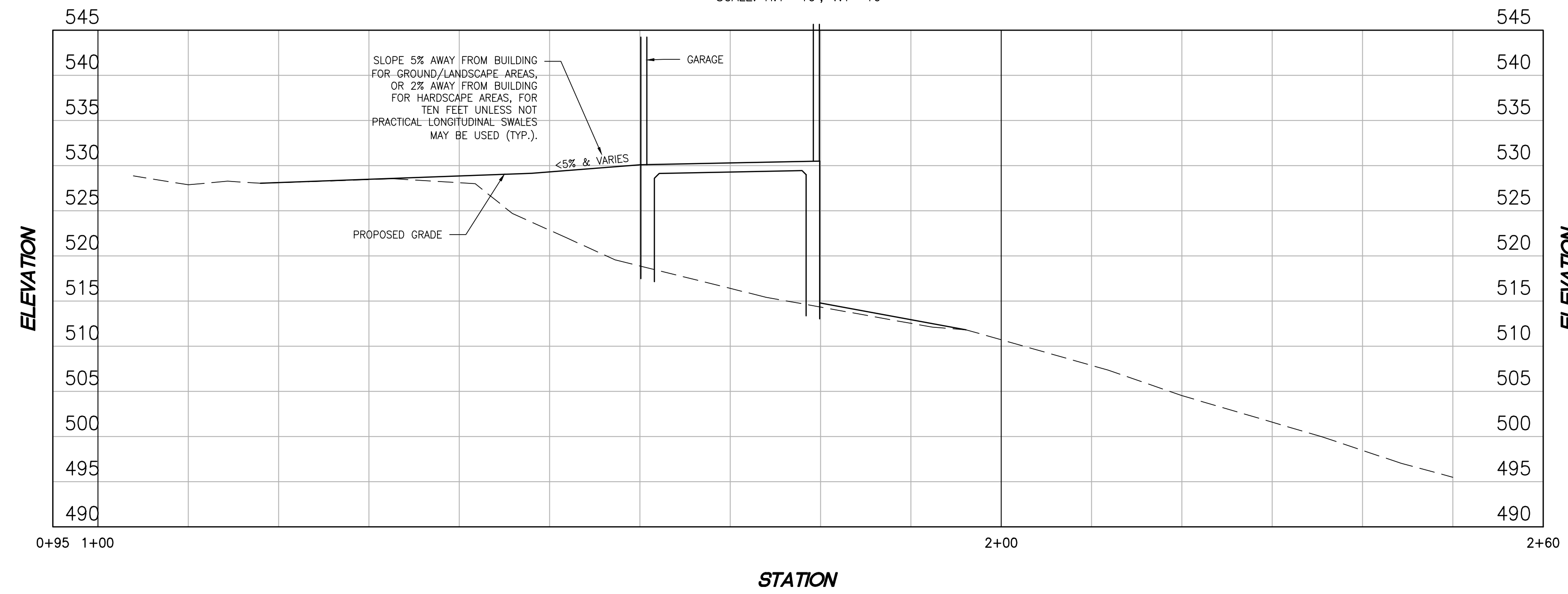
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PRELIMINARY GRADING & DRAINAGE PLAN
CONSTRUCTION DETAILS
17025 MC GILL RD
SARATOGA, CALIFORNIA
Project No.: 2143 | Design: T.N./O.O. | Check: J/28/23

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING
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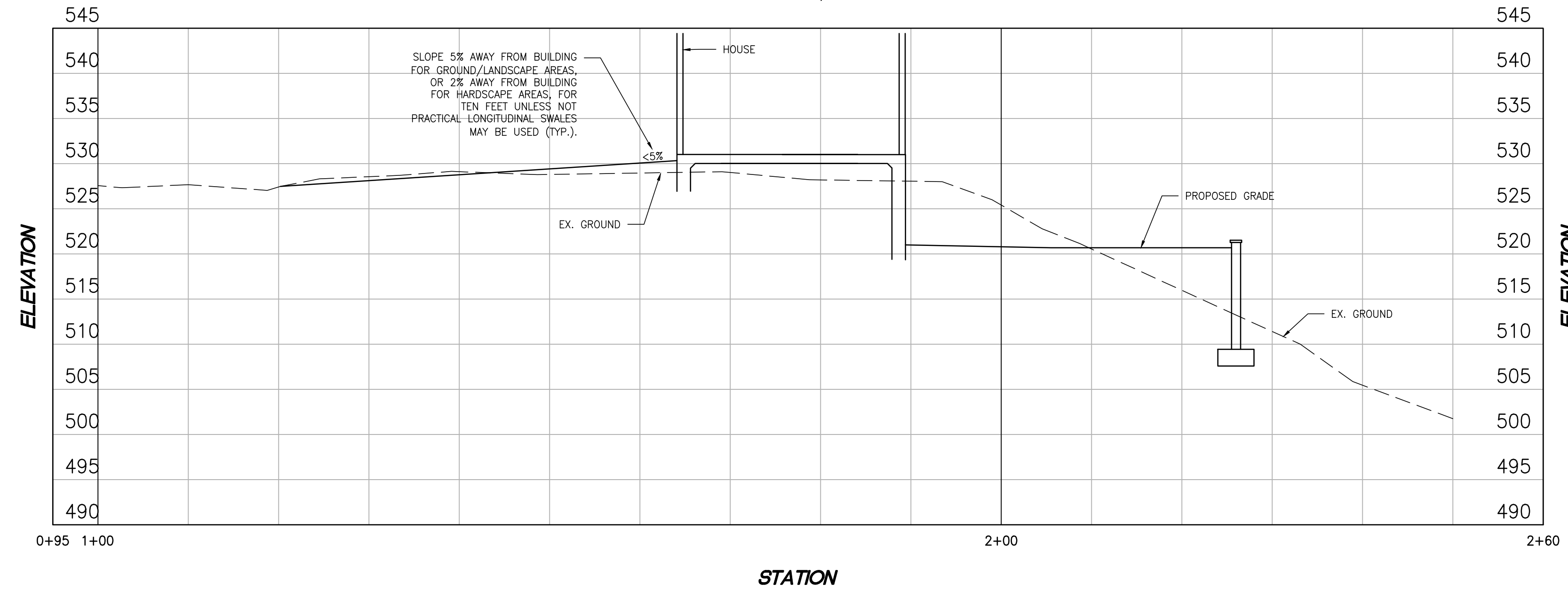
SECTION A PROFILE

SCALE: H:1"=10'; V:1"=10'



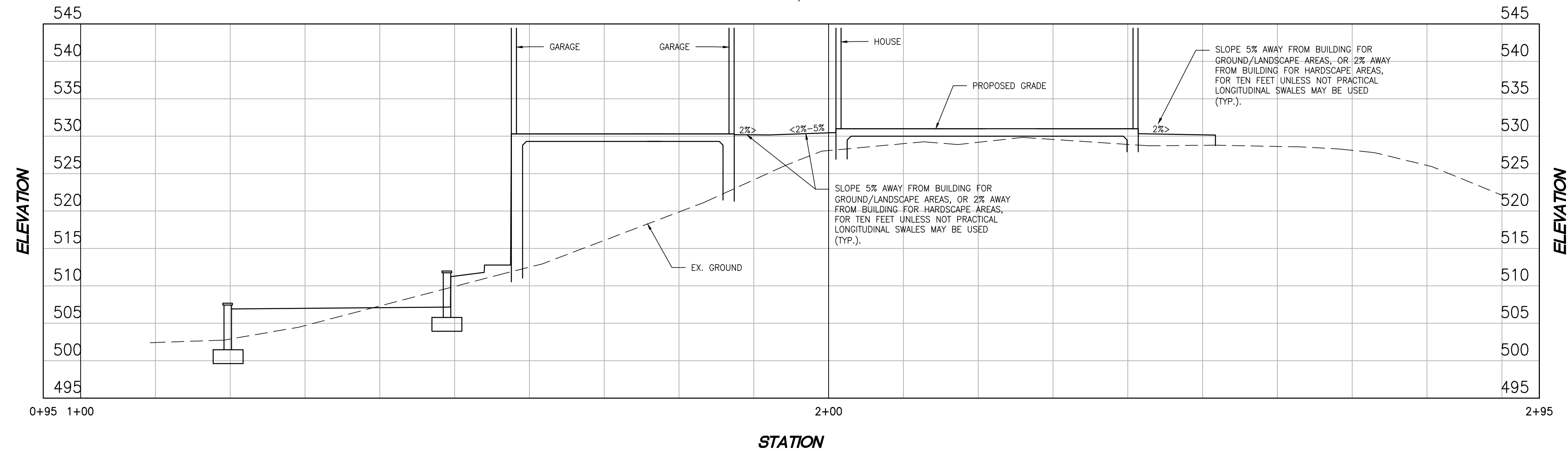
SECTION B PROFILE

SCALE: H:1"=10'; V:1"=10'

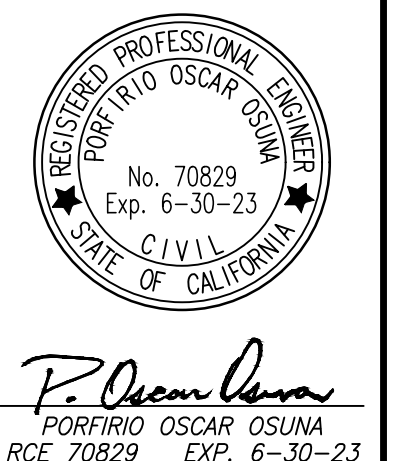


SECTION C PROFILE

SCALE: H:1"=10'; V:1"=10'



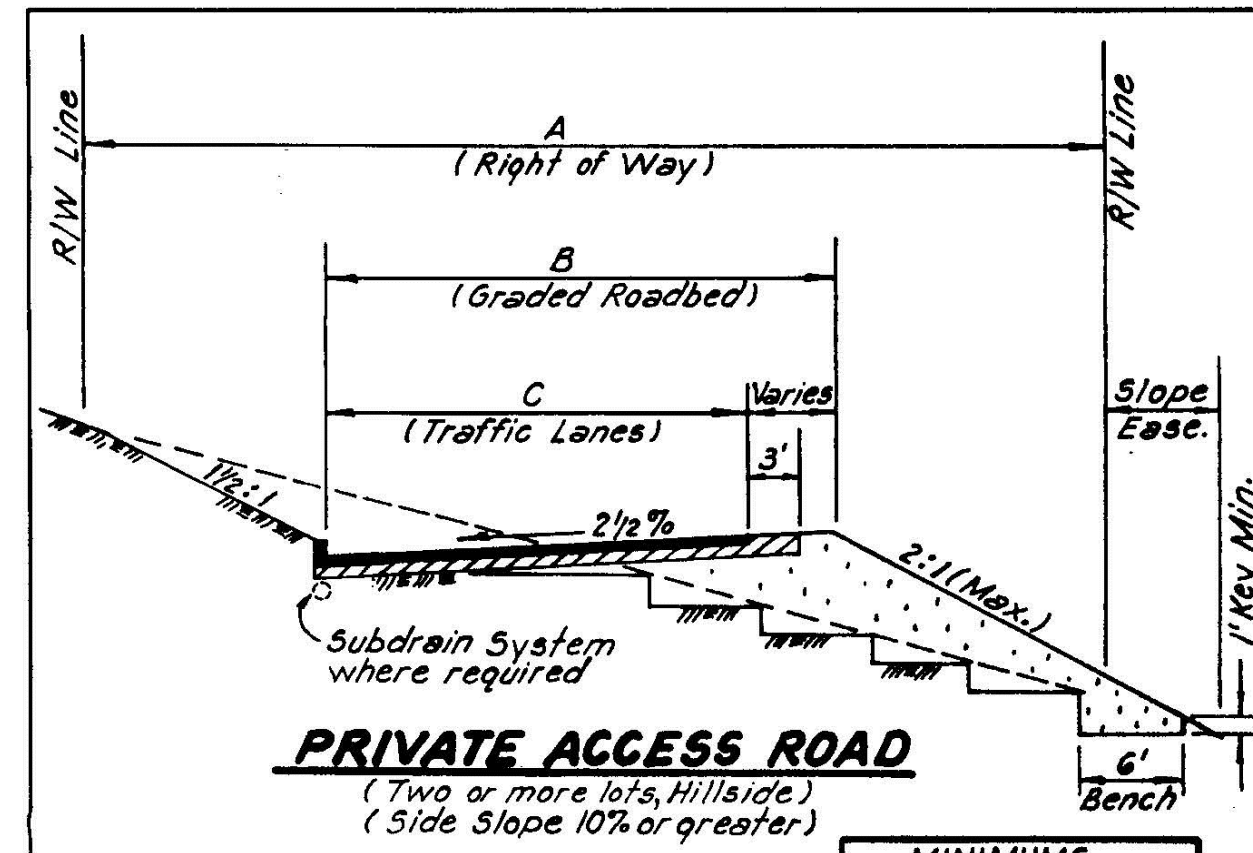
NO.	DATE	BY	CITY	REVISIONS



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PRIVATE ACCESS ROAD
(Two or more lots, Hillside)
(Side Slope 10% or greater)

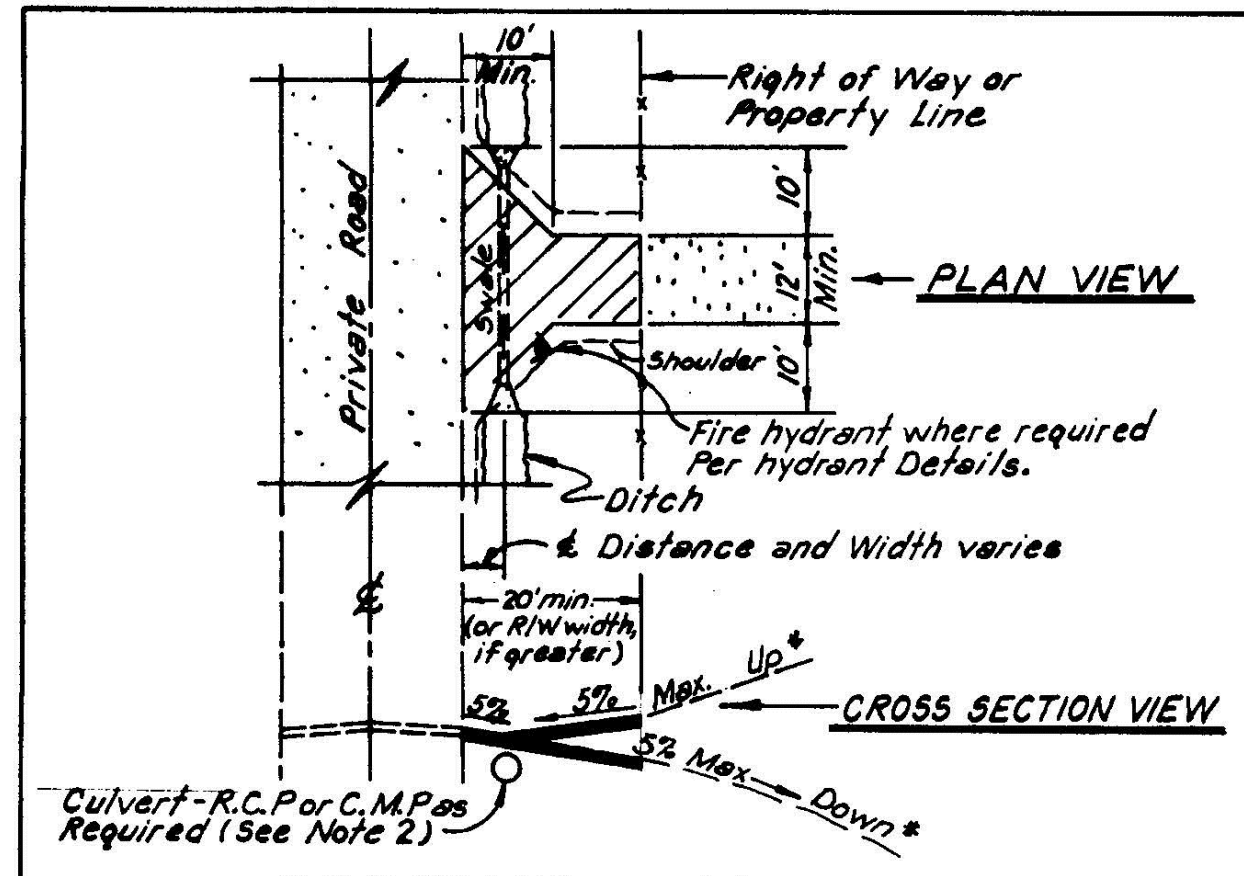
TYPE OF ROAD	MINIMUMS		
	A	B	C
ONE-WAY LOOP (Turnouts as specified)	40'	18'	12'
2+3 LOTS (Ultimate Development)	40'	24'	18'
4 OR MORE LOTS (Ultimate Development)	60'	30'-36'	18'
HALF-ROAD (Initial Construction)	40'	24'	18'
EMERGENCY ACCESS ROAD (with turnouts)	20'	15'	12'

NOTES

- Roads serving 4 or more lots are to be designed for future upgrading to County maintained road standards unless exempted by County Surveyor.
- Base & surfacing - 2 1/2" asphalt on 4" aggregate base, except as otherwise specified by County Surveyor.
- Asphalt dike may be deleted where erosion protection is not needed. (See Chart for Determining Ditch Lining Requirements.)
- See section of manual entitled "Policies & Standards for Roads" for further design and construction information.
- Benching may be deleted where cross is less than 20%.

Approved: <i>P. Osuna</i> Manager / County Surveyor Land Dev., Engineering & Surveying	Date: _____	COUNTY OF SANTA CLARA ENVIRONMENTAL MANAGEMENT / GENERAL SERVICES AGENCY
No. _____	Revision _____	Date _____
PRIVATE ACCESS ROAD (Hillside conditions)		SD 2

* MINIMUM SECTION RECOMMENDED PER
GEOTECHNICAL ENGINEER 3" A.C. ON 8" A.B.



DRIVEWAY APPROACH
Connection to Private Road

* Maximum grade as per Fire Marshal

NOTES

- Culvert plus swale shall accommodate maximum flow. Minimum culvert size to be 12". Culvert shall extend 1' beyond each toe of shoulder. Provide headwalls and/or rip-rap as required. C.M.P. to be not less than 14 gauge.
- Culvert may be omitted where no roadside ditch exists with written approval of County Surveyor.
- Driveway approach base & paving to be same as or better than ultimate private road base & pavement.
- See Driveway section (this manual) for more information.

Approved: <i>P. Osuna</i> Manager / County Surveyor Land Dev., Engineering & Surveying	Date: _____	COUNTY OF SANTA CLARA ENVIRONMENTAL MANAGEMENT / GENERAL SERVICES AGENCY
No. _____	Revision _____	Date _____
DRIVEWAY APPROACH (PRIVATE ROAD)		SD 4

NO.	DATE	CITY	BY	REVISIONS



P. Osuna
PORFIRIO OSCAR OSUNA
RCE 70829 EXP. 6-30-23

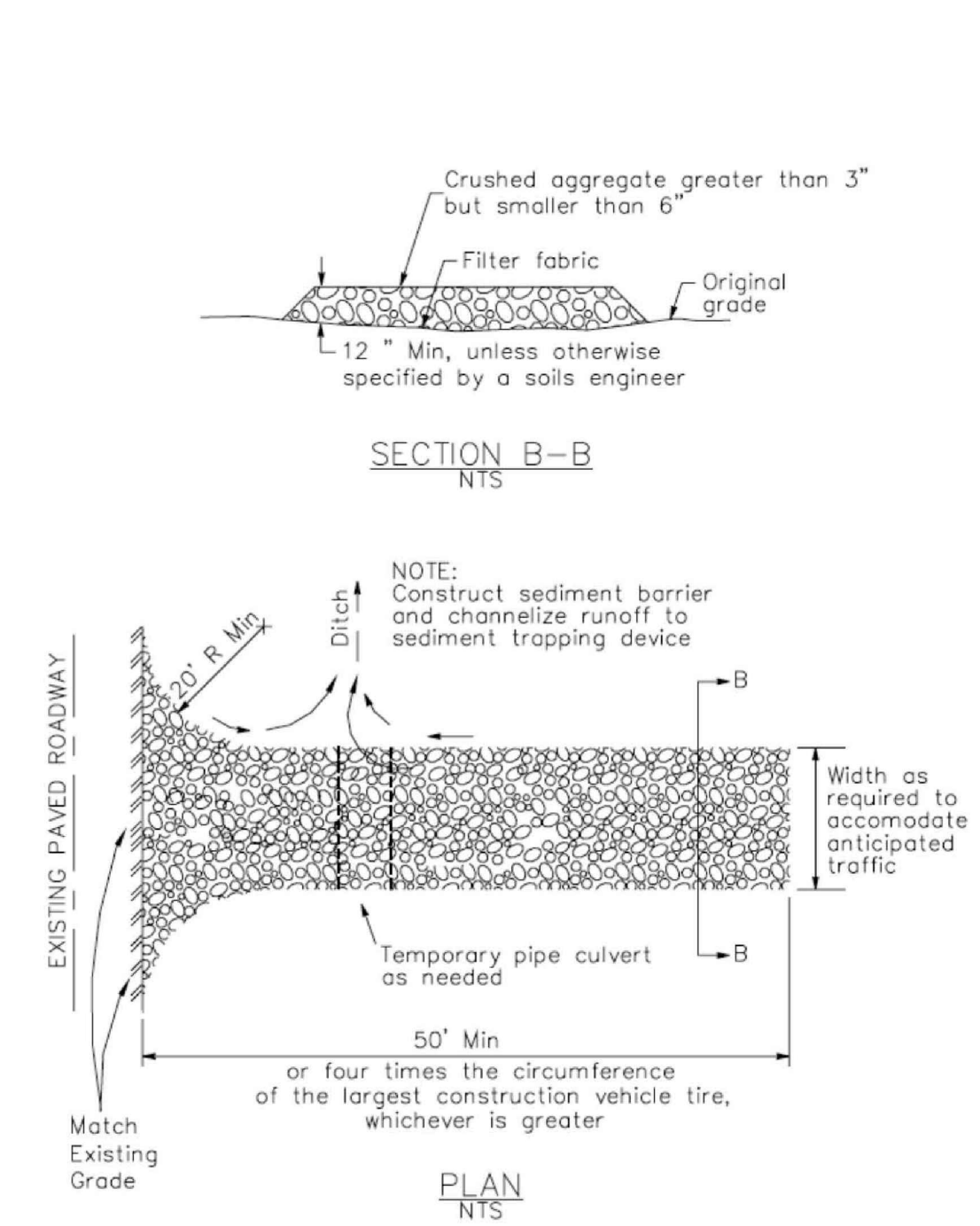
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TEL. (408) 772-4381
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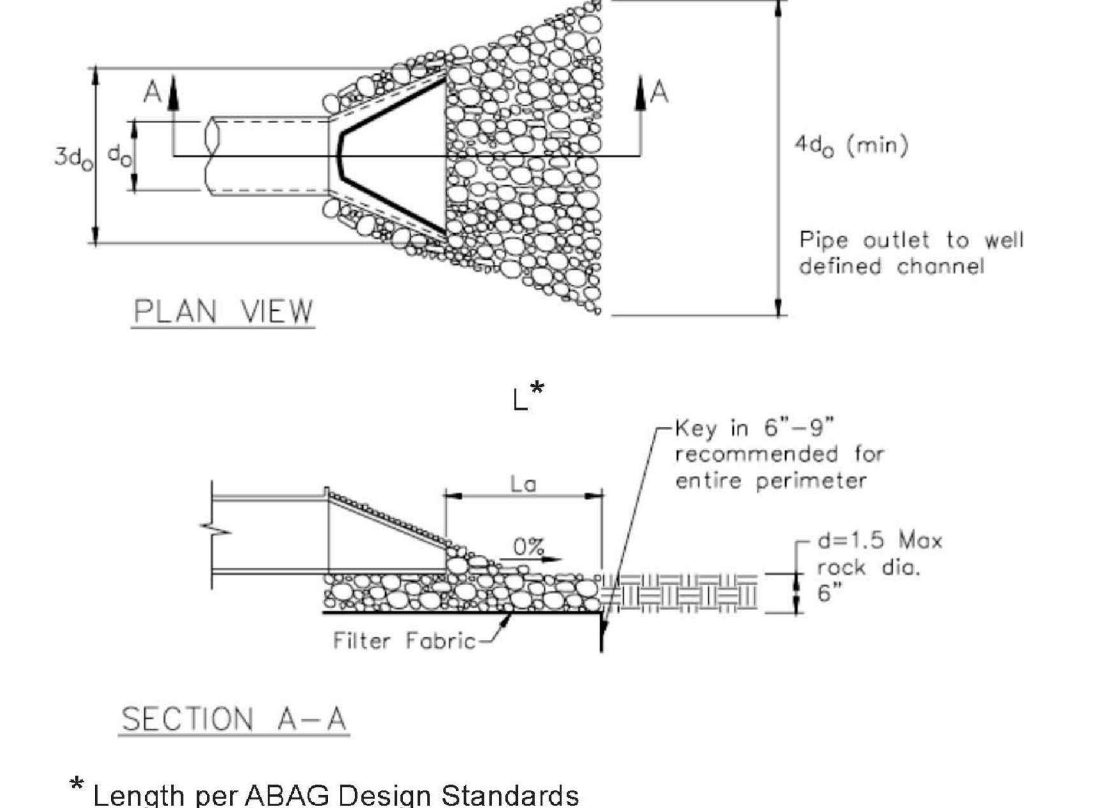
PRELIMINARY
GRADING & DRAINAGE PLAN
COUNTY STANDARD DETAILS
17025 MC GILL RD
SARATOGA, CALIFORNIA
Project No.: 2143 | Design: T.N./C.O. | Check: _____
Date: 3/28/23

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE OBTAINING OF ALL NECESSARY PERMITS AND LICENSES, AND THAT HE SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

3 Stabilized Construction Entrance/Exit
CASQA Detail TC-1

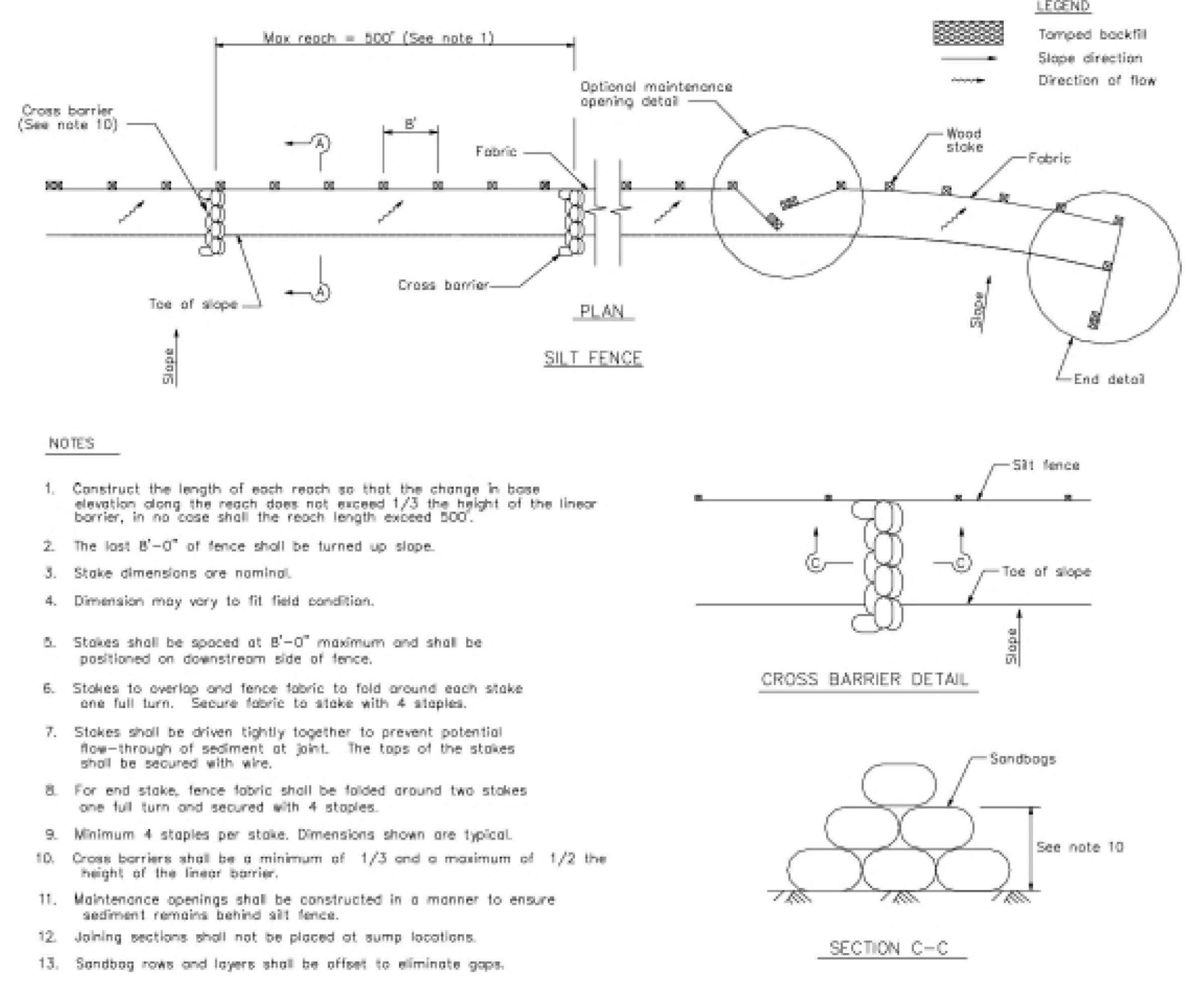


4 Velocity Dissipation Devices
CASQA Detail EC-10

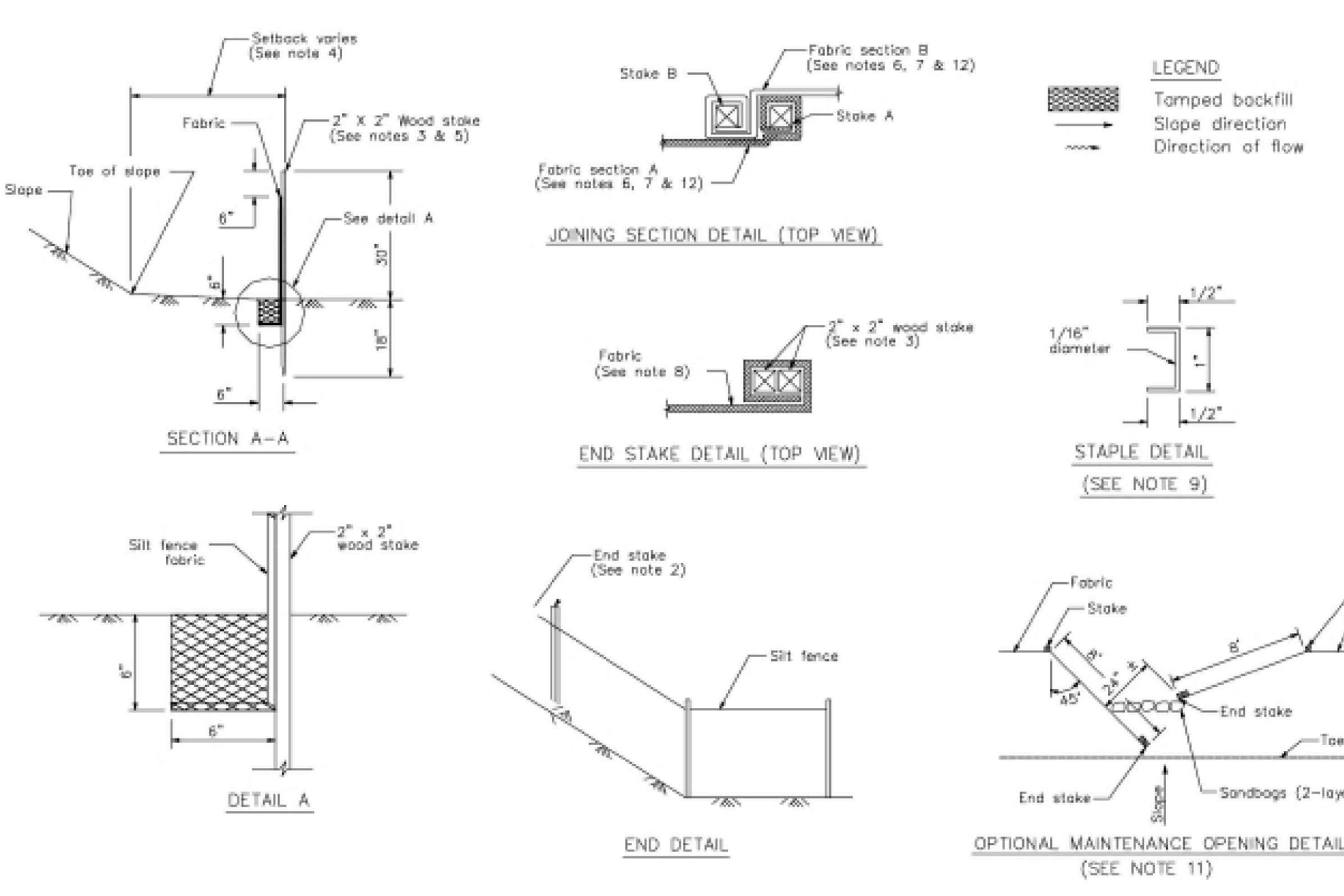


Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

1 Silt Fence
CASQA Detail SE-1



2 Silt Fence
CASQA Detail SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
 - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
 - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
 - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
 - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
 - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Project Information

Best Management Practices and Erosion Control Details Sheet 1
County of Santa Clara



BMP-1

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERING.

PRELIMINARY
GRADING & DRAINAGE PLAN
COUNTY BMP-1
17025 MC GILL RD
SANTA CLARA, CALIFORNIA
Project No.: 2143 Design: T.N./O.O. Check: O.O. Date: 3/28/23

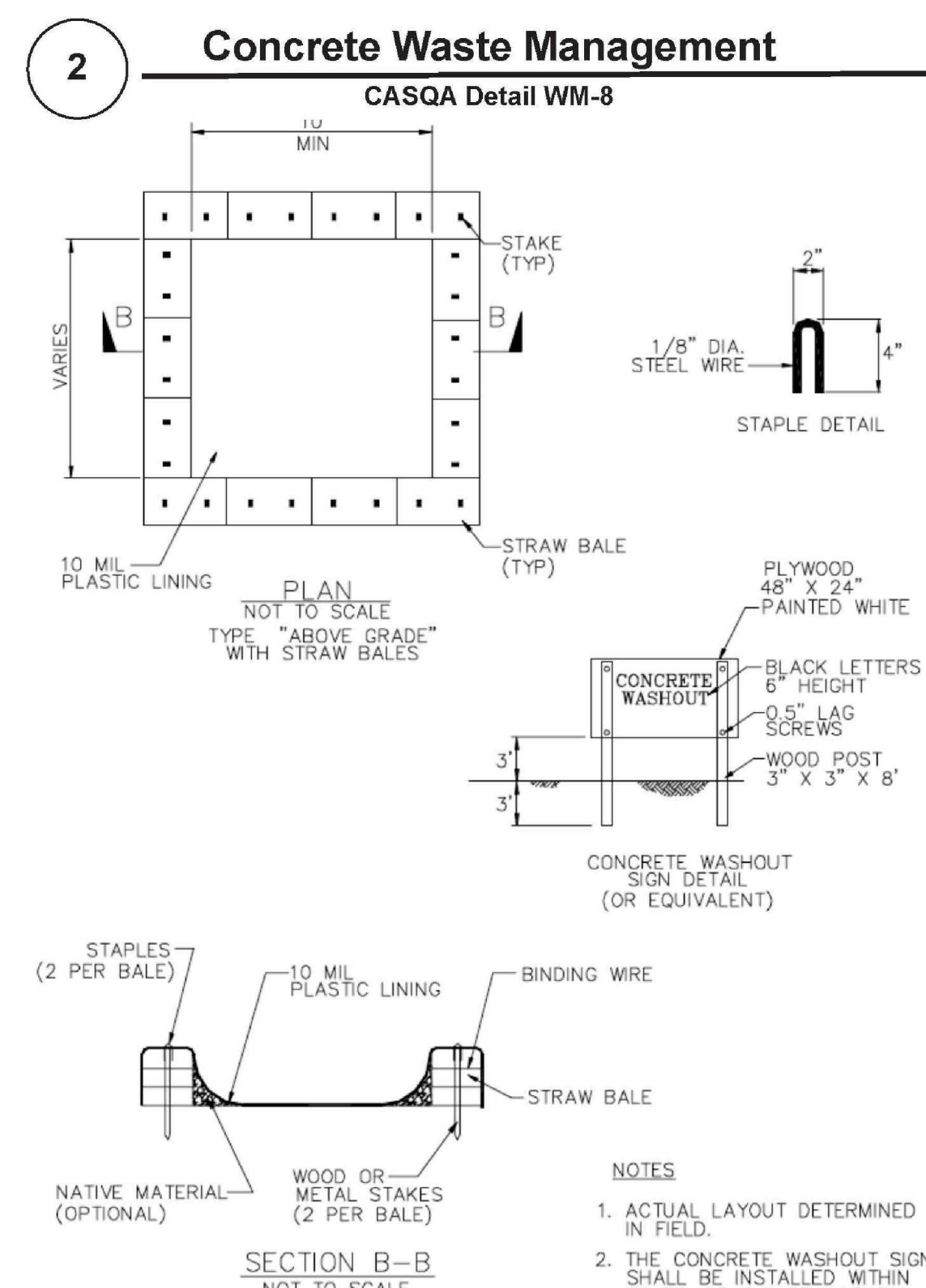
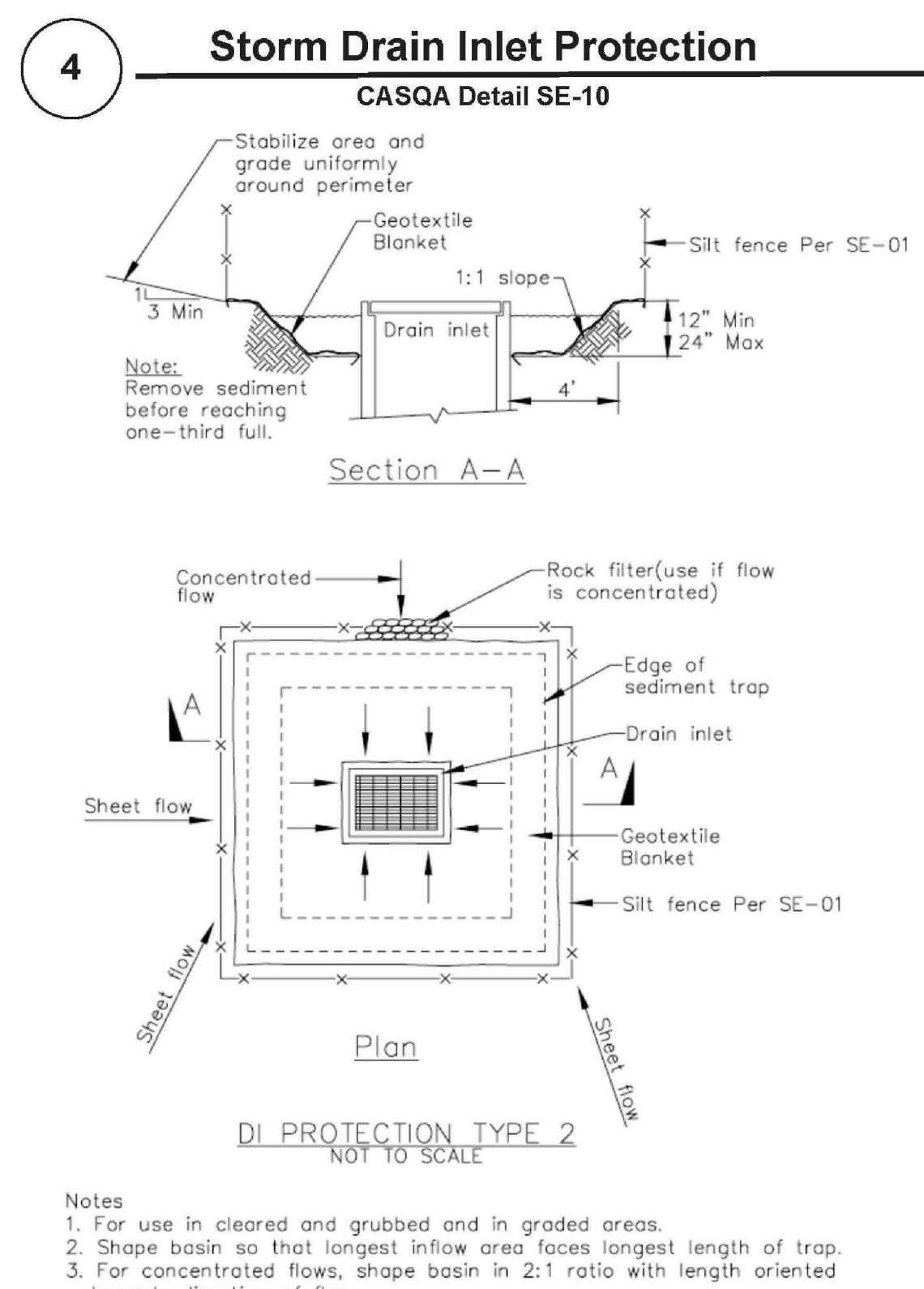
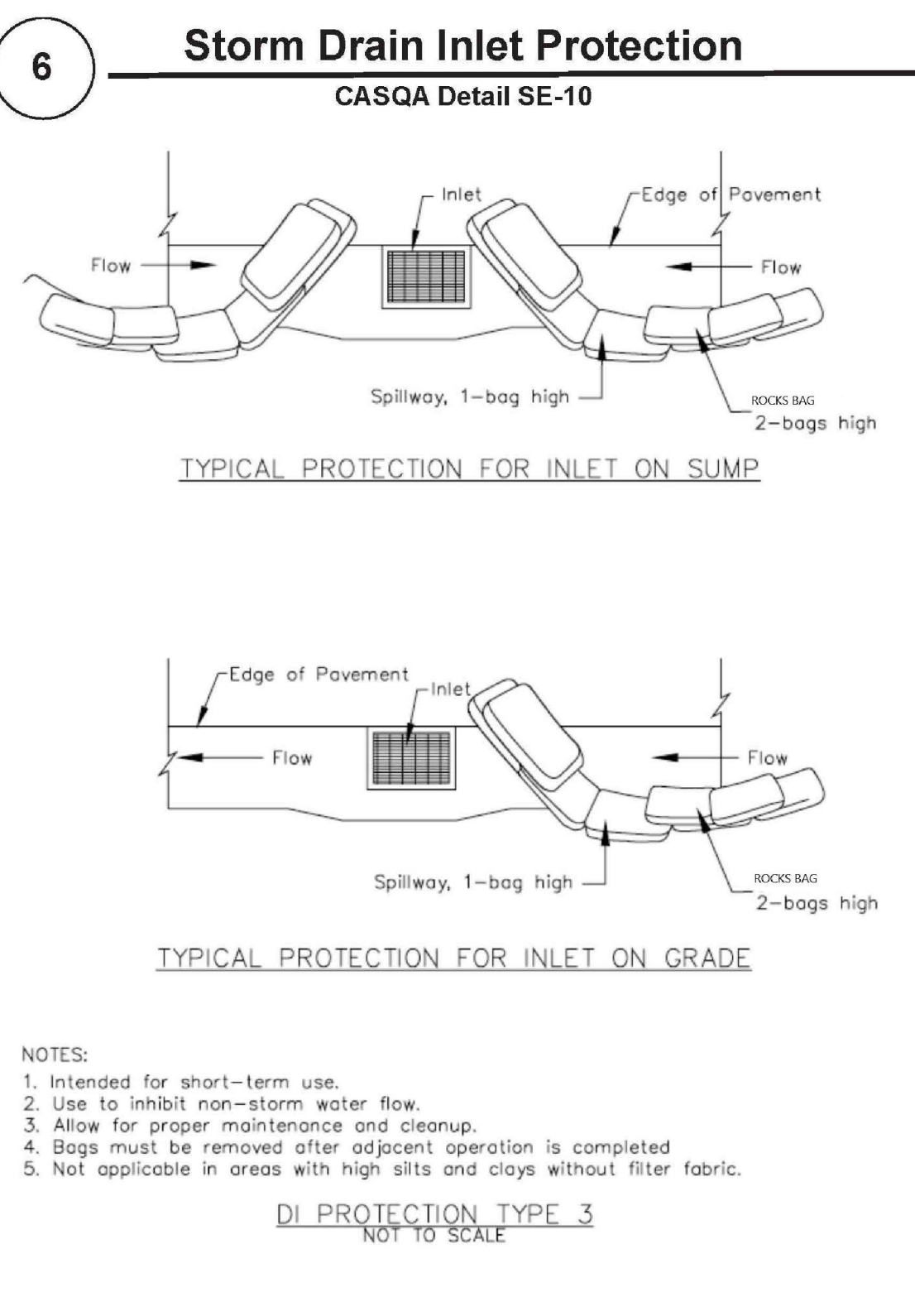
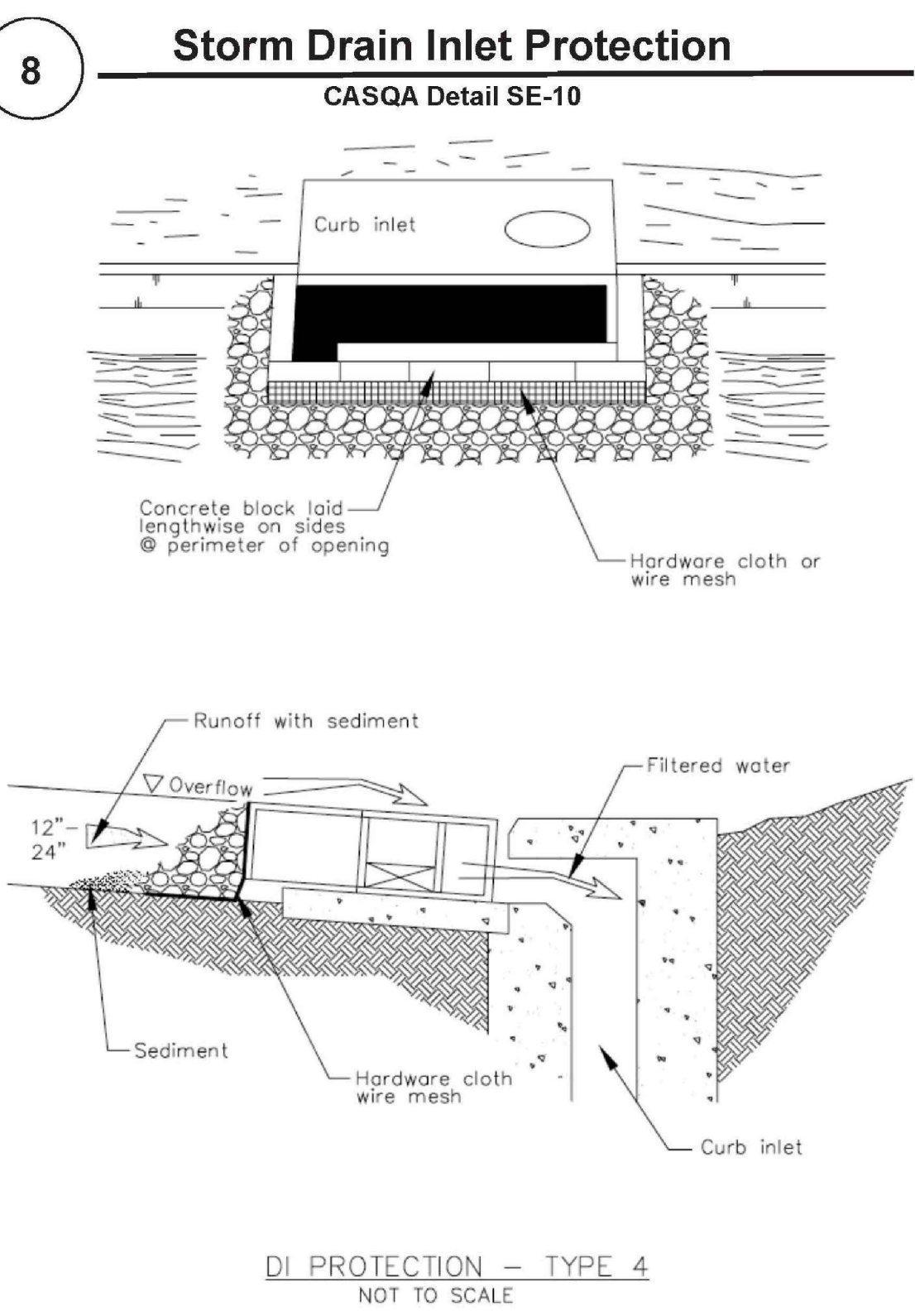
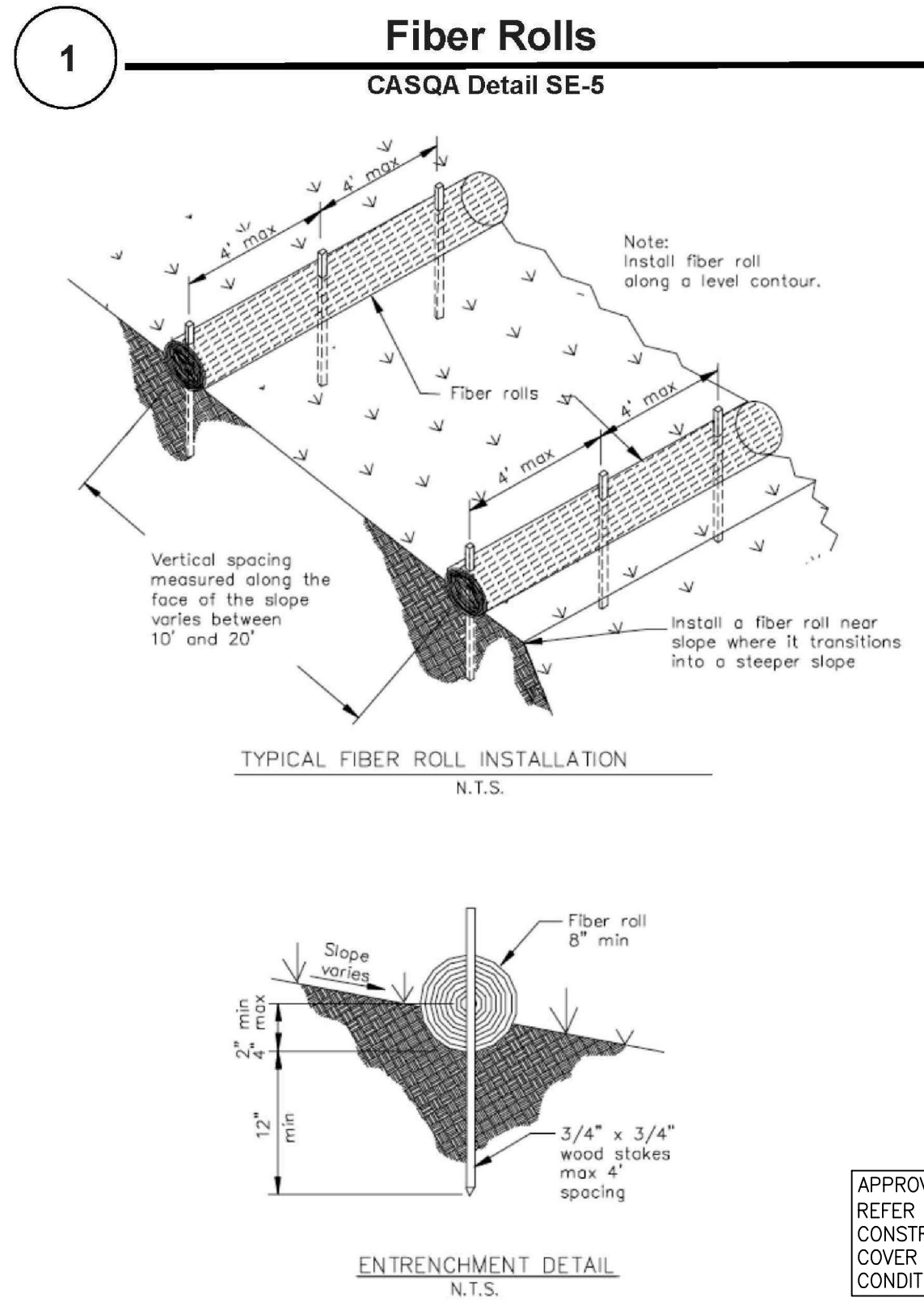
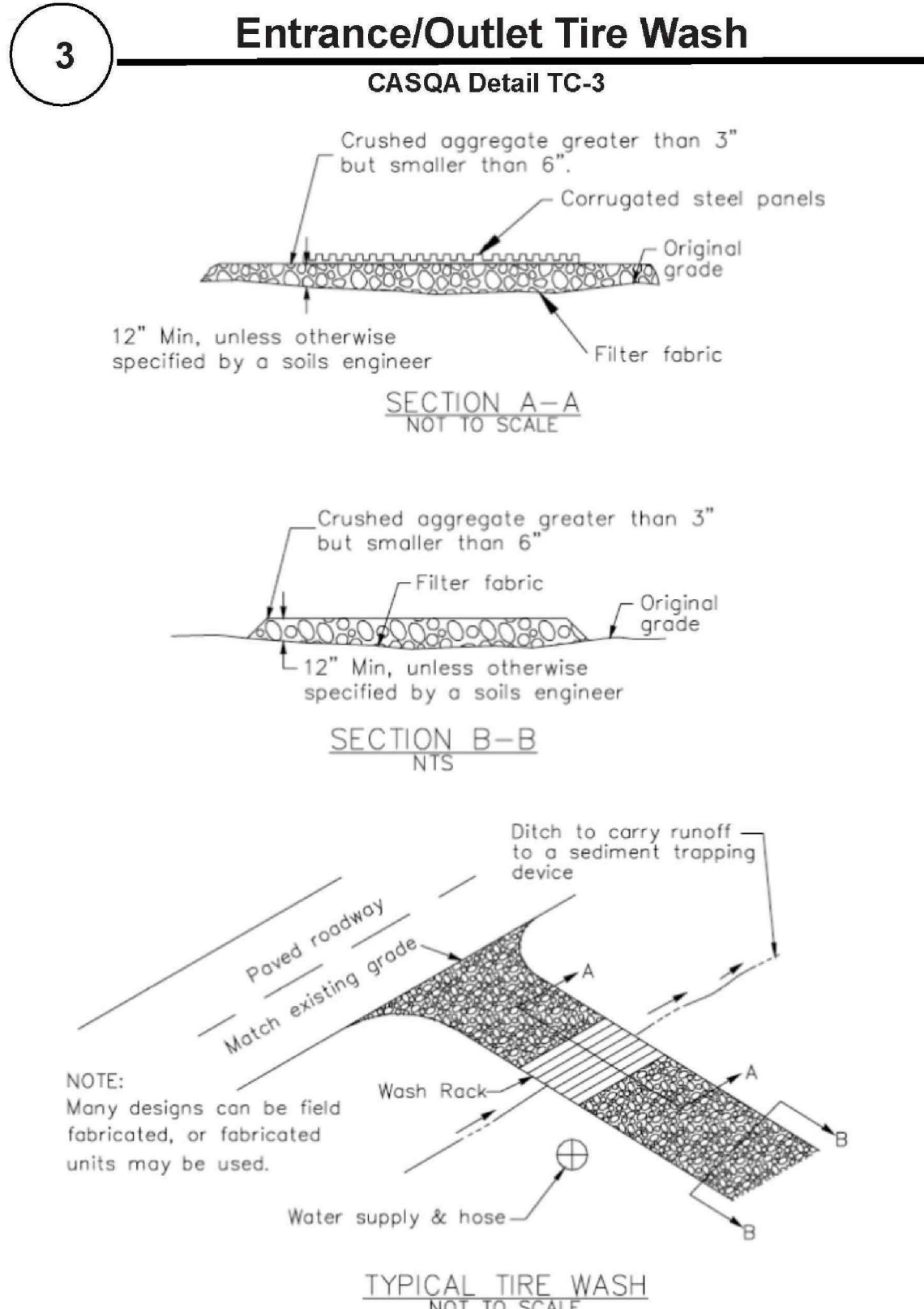
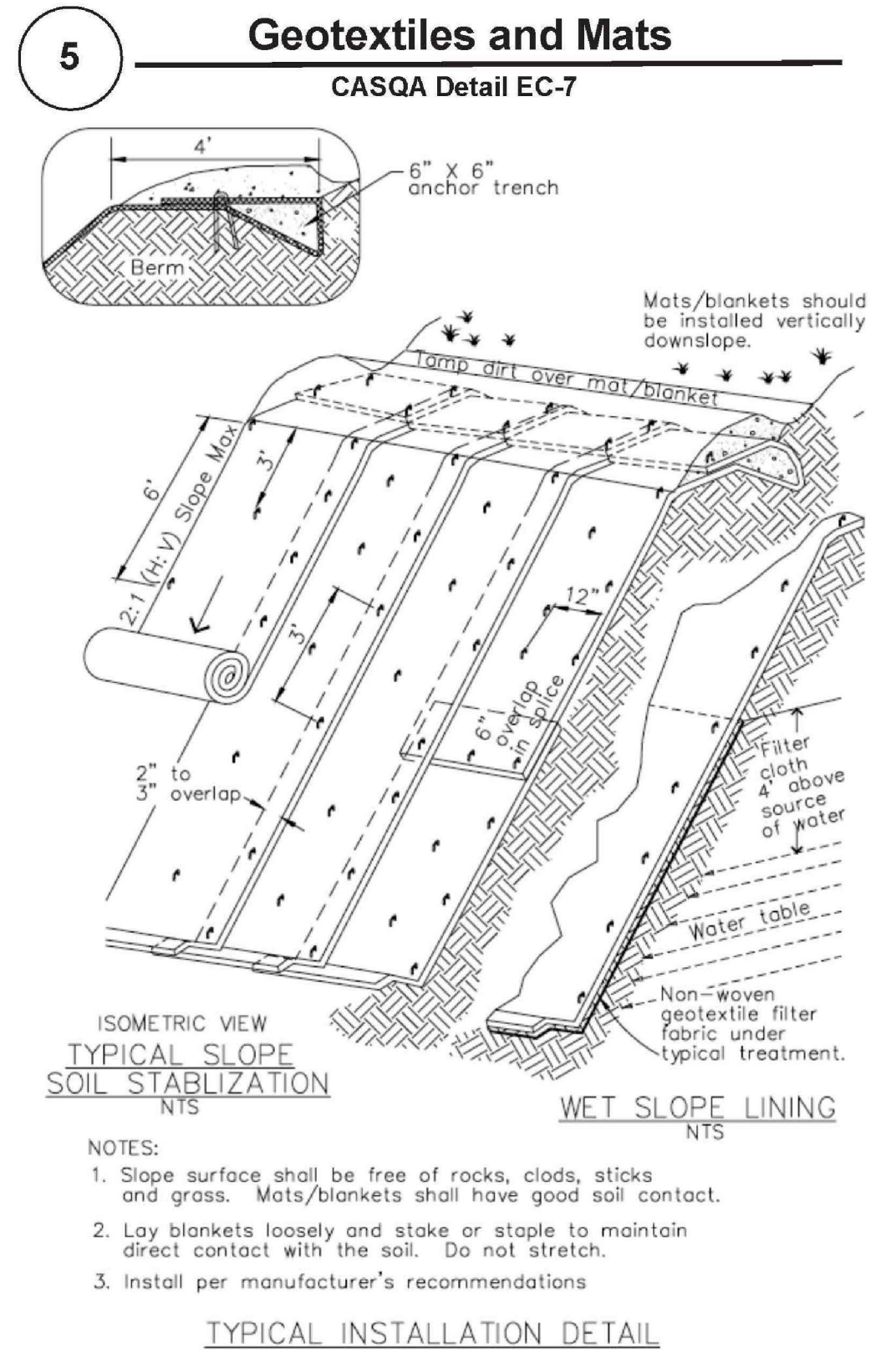
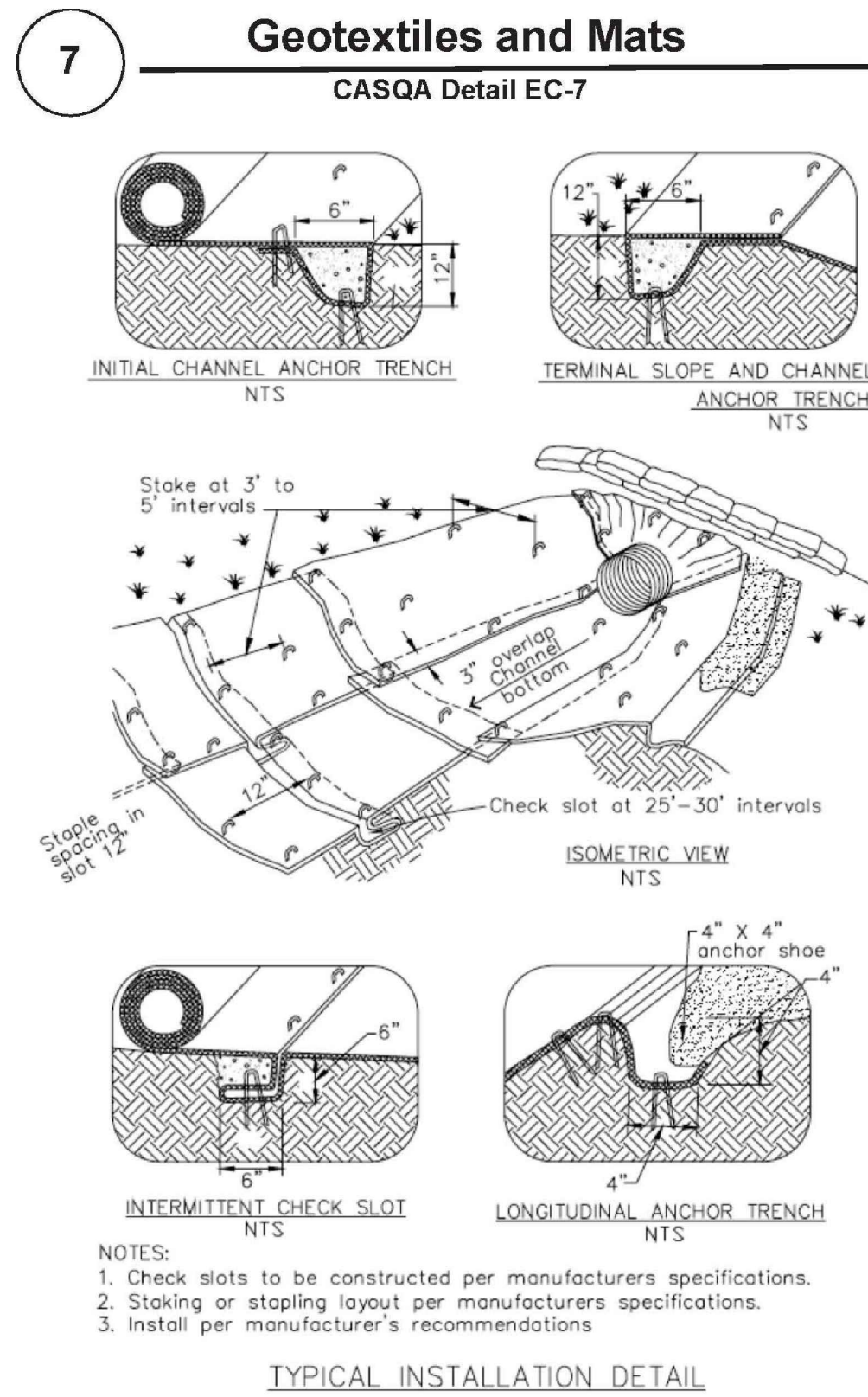
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 Planning | Surveying | Civil Engineering
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 117 BERNAL RD. STE. 70-336
 SAN JOSE, CA 95119
 TEL: (408) 772-4381
 info@osunaengineering.com

REGISTERED PROFESSIONAL ENGINEER
 No. 70829
 Exp. 6-30-23
 CIVIL
 STATE OF CALIFORNIA
 P. Oscar Osuna
 PORFIRIO OSCAR OSUNA
 RCE 70829 EXP. 6-30-23

NO.	DATE	BY	CITY	REVISIONS

SHEET
C3.1
OF 18 SHEETS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING, BUT NOT LIMITED TO, THE PROTECTION OF ALL UTILITIES, THE PROTECTION OF ALL ADJACENT PROPERTIES, THE PROTECTION OF ALL WORKING CONDITIONS, AND THE PROTECTION OF ALL NEIGHBORHOODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.



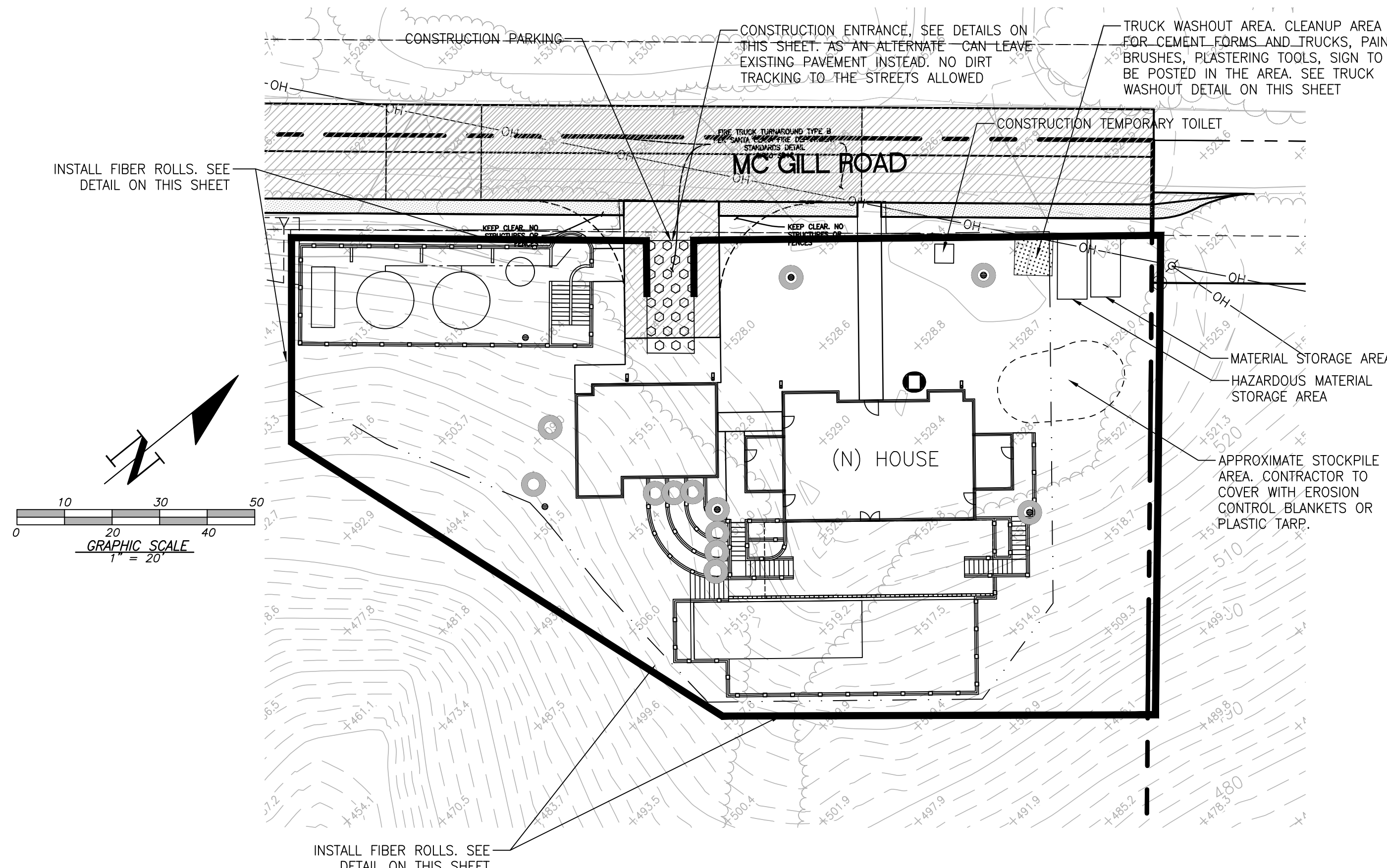
Project Information

NO.	DATE	BY	REVISIONS

OSUNA ENGINEERING INC.
 Planning | Surveying | Civil Engineering
 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
 117 BERNAL RD. STE. 70-336 SAN JOSE, CA 95119
 TEL. (408) 772-4381 info@osunaengineering.com

PRELIMINARY GRADING & DRAINAGE PLAN
 COUNTY BMP-2
 17025 MC GILL RD
 SAN JOSE, CA 95131
 Project No.: 2143 Design: T.N./O.O. Check: O.O. Date: 3/28/23

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND ADJACENT PROPERTIES.



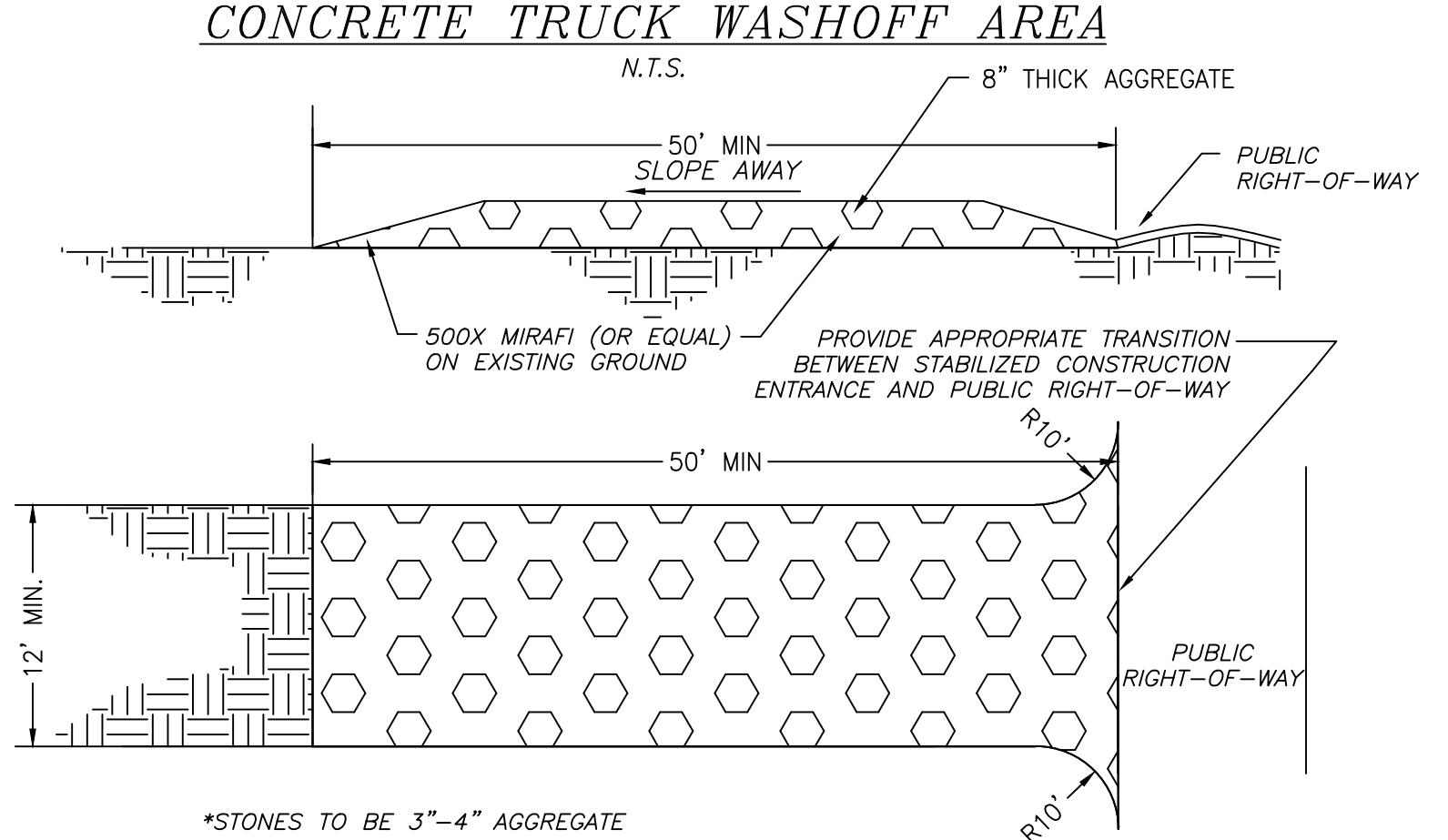
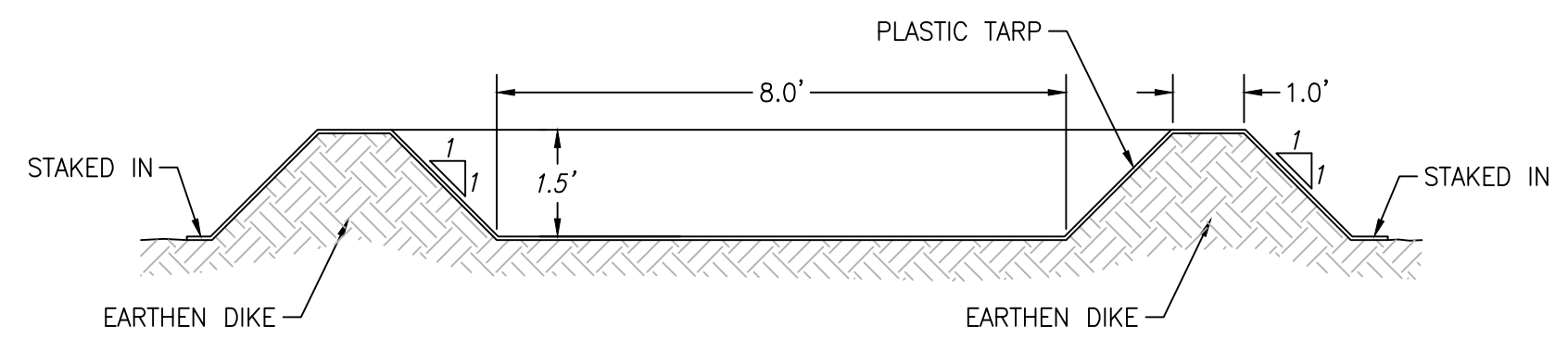
LEGEND

PROPOSED	DESCRIPTION
---	SITE BOUNDARY
○ ○ ○ ○ ○	STABILIZED CONSTRUCTION ENTRANCE 2"-3" ROCK (MIN)
—	FIBER ROLL
○ ○ ○	ROCK BAG CHECK DAMS
○	INLET PROTECTION

MAINTENANCE NOTES

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
- REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.

- NOTES:**
- PROTECT ALL INLETS IN THE PUBLIC STREETS SURROUNDING THE SITE.
 - ALL ON-SITE LANDSCAPE AREA DRAINS TO BE CAPPED OR PROTECTED UNTIL LANDSCAPING IS FINISHED.

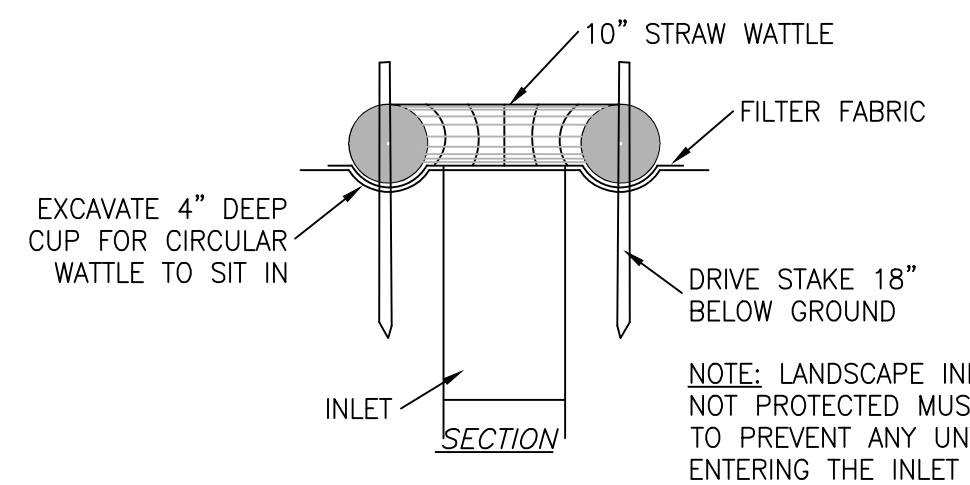
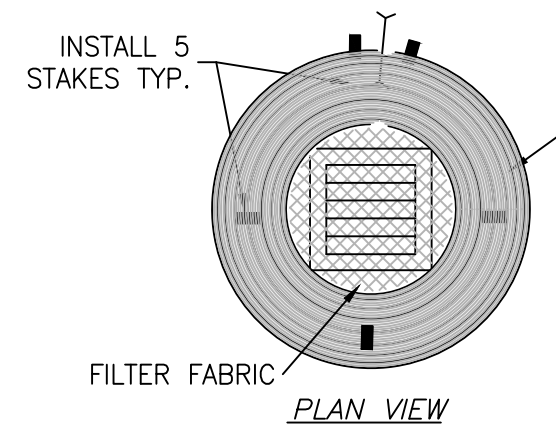


MAINTENANCE:

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT.

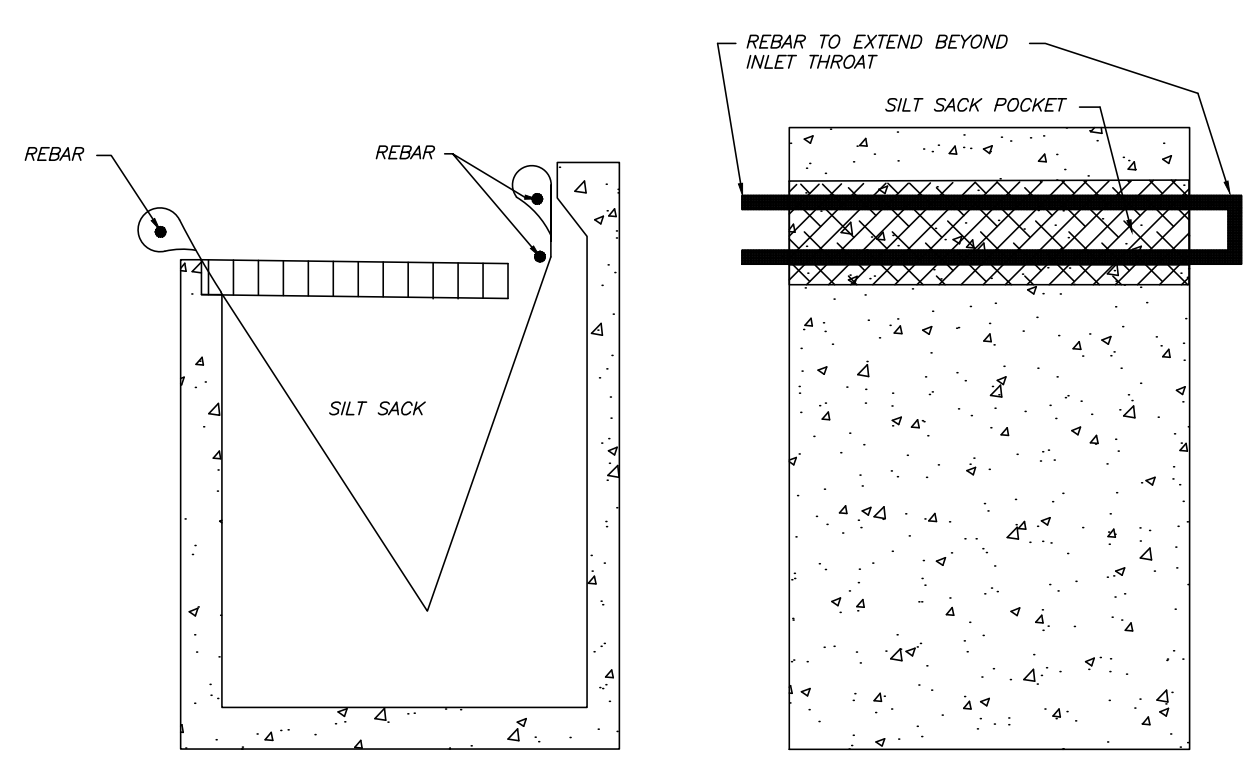
ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY.

WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



ALTERNATE FIBER ROLL INLET PROTECTION MAY BE USED IN LANDSCAPE AREA DRAINS

N.T.S.

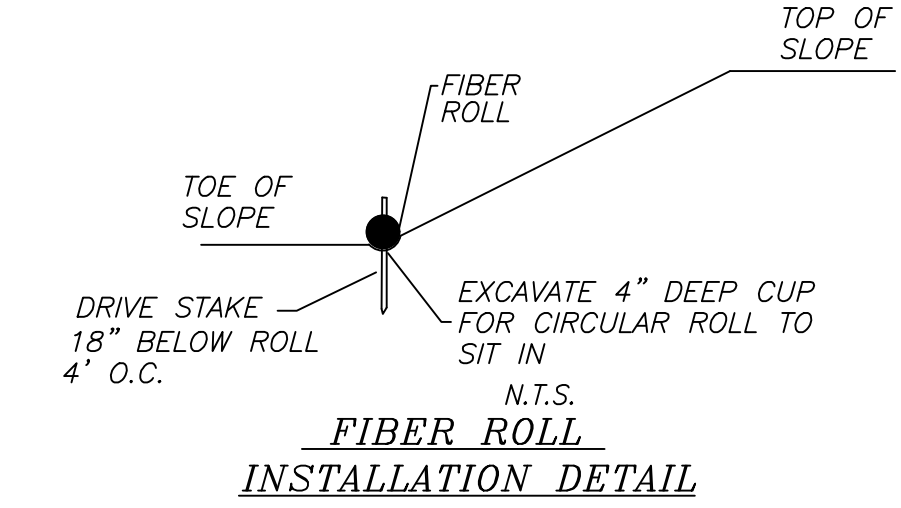
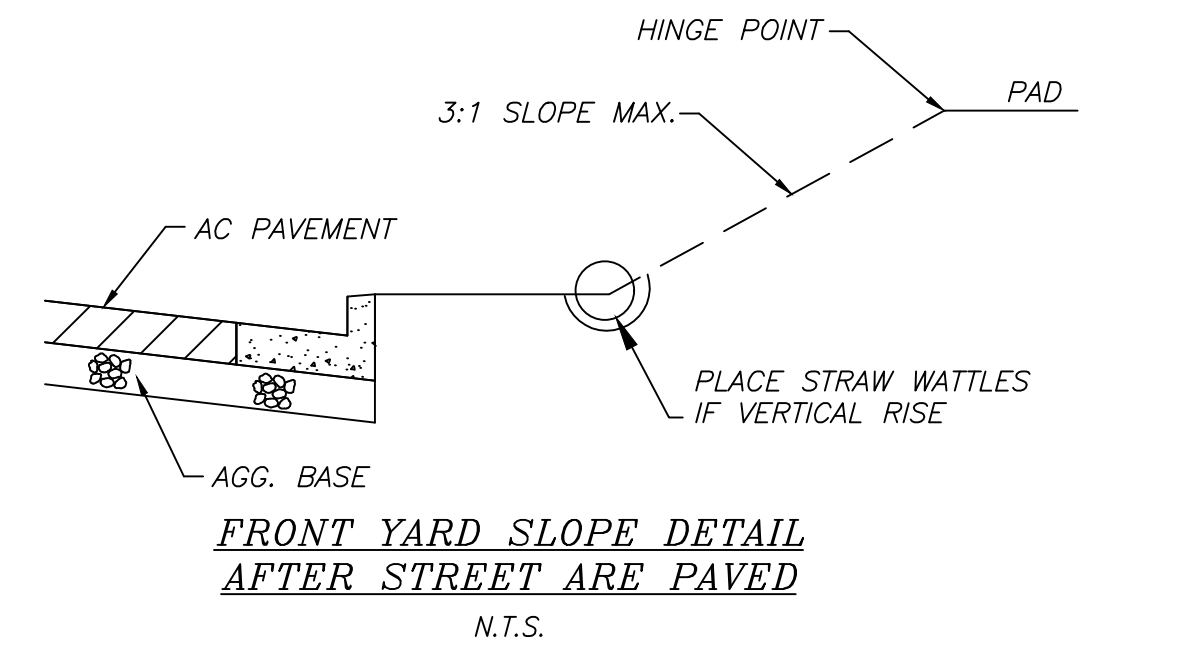


EROSION & SEDIMENT CONTROL NOTES

- NOT USED
- THE DEVELOPER IS RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION BEST MANAGEMENT PRACTICES WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND/OR STOP ORDERS.
- ANY VEHICLE OR EQUIPMENT WASHING/STEAM CLEANING MUST BE DONE AT AN APPROPRIATELY EQUIPPED FACILITY WHICH DRAINS TO THE SANITARY SEWER. OUTDOOR WASHING MUST BE MANAGED IN SUCH A WAY THAT THERE IS NO DISCHARGE OF SOAPS, SOLVENTS, CLEANING AGENTS OR OTHER POLLUTANTS TO THE STORM DRAINS. WASH WATER SHALL DISCHARGE TO THE SANITARY SEWER, SUBJECT TO REVIEW AND APPROVAL OF UNION SANITARY DISTRICT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LITTER CONTROL AND SWEEPING OF ALL PAVED SURFACES DURING CONSTRUCTION.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. EROSION CONTROL MEASURES ARE TO BE FUNCTIONAL PRIOR TO OCTOBER 1ST OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- ALL ON-SITE STORM DRAINS SHALL BE CLEANED IMMEDIATELY BEFORE THE START OF THE RAINY SEASON BEGINNING ON OCTOBER 1ST EACH YEAR, SUBJECT TO THE REVIEW OF THE BUILDING/ENGINEERING INSPECTOR.
- IF RAINY WEATHER BECOMES IMMINENT, GRADING OPERATIONS SHALL BE STOPPED AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PROTECT DISTURBED AREAS.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PER SANTA CLARA COUNTY BMP SHEET 1.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE COUNTY ENGINEER.
- NO STRAW BALES OR SILT FENCES SHALL BE USED AS EROSION CONTROL MEASURES. SILT FENCES MAY ONLY BE USED AS A PHYSICAL BARRIER TO PREVENT VEHICULAR AND PEDESTRIAN TRAFFIC FROM USING NON-APPROVED ACCESS POINTS (E.G. - ALONG RIGHT-OF-WAY).
- ALL DISTURBED AREAS INCLUDING FLAT PADS ARE TO BE TREATED WITH STRAW AND TACKIFIER AT A RATE OF 2 TONS PER ACRE APPROXIMATELY 3 INCHES THICK.

SUPPLEMENTAL EROSION & SEDIMENT CONTROL NOTES

- SEE STANDARD EROSION & SEDIMENT CONTROL NOTES ABOVE.
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS AND/OR PRIVATE ROADS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY. TRACKING TO PUBLIC STREETS AND/OR PRIVATE ROADS NOT ALLOWED.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE COUNTY REPRESENTATIVE OF ANY FIELD CHANGES.
- TO PREVENT EROSION, BEFORE SEPTEMBER 20, ALL SLOPES 3:1 OR STEEPER & GREATER THAN 3 FEET HIGH SHALL BE HYDROSEEDDED ACCORDING TO THE FOLLOWING OR OTHER MIXTURE APPROVED BY THE COUNTY:
 - BLANDO BROME 30 LB/ACRE
 - ANNUAL RYEGRASS 20 LB/ACRE
 - 16-20-0 FERTILIZER 500 LB/ACRE
 - STRAW MULCH 3000 LB/ACRE



APPROVED FOR ISSUANCE REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERING

REVISIONS	DATE	BY

REGISTERED PROFESSIONAL ENGINEER
No. 70829
Exp. 6-30-23
CIVIL
STATE OF CALIFORNIA

P. Oscar Osuna
PORFIRIO OSCAR OSUNA
RCE 70829 EXP. 6-30-23

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117 BERNAL RD. STE. 70-336
SAN JOSE, CA 95119

CALIFORNIA
Project No.: 2143 | Design: T.N./O.O. | Check: O.O. | Date: 3/28/23

PRELIMINARY GRADING & DRAINAGE PLAN
EROSION CONTROL
17025 MC GILL RD

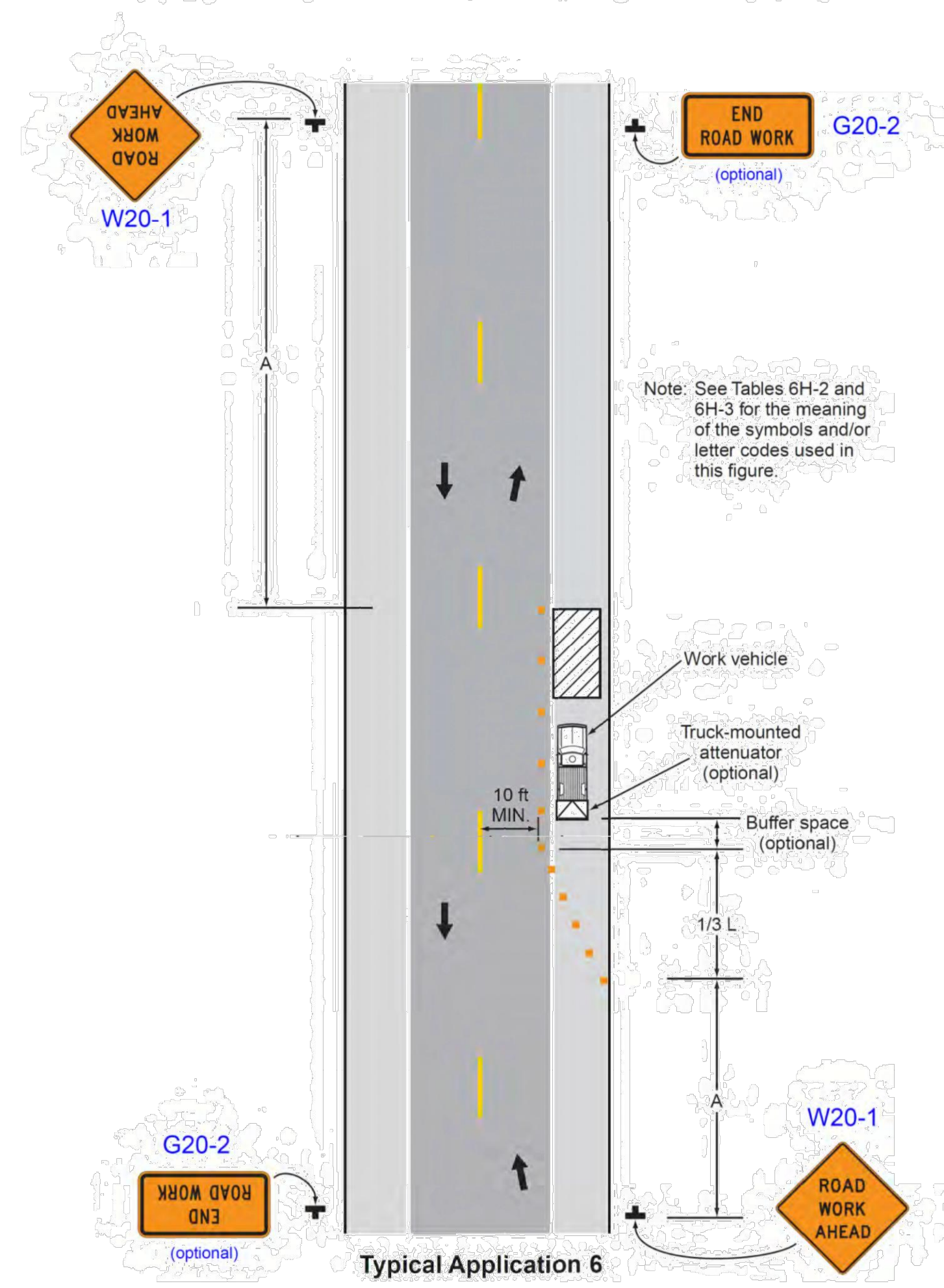
SHEET
C3.3
OF 18 SHEETS

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**Notes for Figure 6H-6—Typical Application 6
Shoulder Work with Minor Encroachment**

- Guidance:**
- All lanes should be a minimum of 10 feet in width as measured to the near face of the channelizing devices.
 - The treatment shown should be used on a minor road having low speeds. For higher-speed traffic conditions, a lane closure should be used.
- Option:**
- For short-term use on low-volume, low-speed roadways with vehicular traffic that does not include longer and wider heavy commercial vehicles, a minimum lane width of 9 feet may be used.
 - Where the opposite shoulder is suitable for carrying vehicular traffic and of adequate width, lanes may be shifted by use of closely-spaced channelizing devices, provided that the minimum lane width of 10 feet is maintained.
 - Additional advance warning may be appropriate, such as a ROAD NARROWS sign.
 - Temporary traffic barriers may be used along the work space.
 - The shadow vehicle may be omitted if a taper and channelizing devices are used.
 - A truck-mounted attenuator may be used on the shadow vehicle.
 - For short-duration work, the taper and channelizing devices may be omitted if a shadow vehicle with activated high-intensity rotating, flashing, oscillating, or strobe lights is used.
 - Vehicle hazard warning signals may be used to supplement high-intensity rotating, flashing, oscillating, or strobe lights.
- Standard:**
- Vehicle-mounted signs shall be mounted in a manner such that they are not obscured by equipment or supplies. Sign legends on vehicle-mounted signs shall be covered or turned from view when work is not in progress.
 - Shadow and work vehicles shall display high-intensity rotating, flashing, oscillating, or strobe lights.
 - Vehicle hazard warning signals shall not be used instead of the vehicle's high-intensity rotating, flashing, oscillating, or strobe lights.
- Guidance:**
- All advance warning signs should be placed so that the path of travel for bicycles is not blocked, while maintaining visibility for road users.
 - When existing accommodations for bicycle travel are disrupted or closed in a long-term duration project (see Section 6G.02) and the roadway width is inadequate for allowing bicyclists and motor vehicles to travel side by side, the Bicycle Warning (W11-1) sign and the SHARE THE ROAD (W16-1P) plaque should be used to advise motorists of the presence of bicyclists in the travel way lanes.
 - Except for short durations and mobile operations, when a highway shoulder is occupied and bicyclists would be sharing a lane with vehicular traffic, as a result of the TTC zone, speed reduction countermeasures should be used to reduce traffic speeds in the TTC zone. Refer to Sections 6C.01 and 6D.03.
 - Except for short durations and mobile operations, when a highway shoulder is occupied and bicyclists would be sharing a lane with vehicular traffic, as a result of the TTC zone, before narrowing the outside lane other measures such as widening the outside shoulder to allow bicyclists and motor vehicles to travel side by side through the TTC zone should be considered.
 - If traffic volumes make it feasible, the two left lanes should be merged into one lane to avoid using the shoulder as a traveled way lane and allowing continued use for emergency purposes and bicycle travel.
 - When existing accommodations for bicycle travel are disrupted or closed in a long-term duration project (see Section 6G.02) and the roadway width is inadequate for allowing bicyclists and motor vehicles to travel side by side, a separate path should be considered for bicyclists.

Figure 6H-6. Shoulder Work with Minor Encroachment (TA-6)



NO.				REVISIONS				BY				DATE				APP'D			
COUNTY OF SANTA CLARA ROADS AND AIRPORTS DEPARTMENT																			
DESIGNED				5-2015				DATE				SUBMITTED							
DRAWN				5-2015				DATE				APPROVED							
CHECKED				5-2015				DATE				SCALE							
STANDARD TRAFFIC CONTROL PLANS - LOCAL SHOULDER WORK																			
WORK ORDER NO.				ADVERTISMENT DATE				CONTRACT NO.				FILE NO.							
XX																			
DRAWING NO. TCP																			
SHEET NO. 04																			
SCALE AS SHOWN																			

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERING

NO.	DATE	BY	CITY	REVISIONS

Porfirio Oscar Osuna
 PORFIRIO OSCAR OSUNA
 RCE 70829 EXP. 6-30-23

OSUNA ENGINEERING INC.
 Planning | Surveying | Civil Engineering

CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
 117 BERNAL RD. STE. 70-336
 SAN JOSE, CA 95119
 TEL. (408) 772-4381
 info@osunaengineering.com

PRELIMINARY
 GRADING & DRAINAGE PLAN
 TRAFFIC CONTROL PLAN
 17025 MC GILL RD
 SARATOGA, CALIFORNIA
 Project No.: 2143 Design: T.N./O.O. Check: J.ZB/23

DESCRIPTION

Non-Exclusive Slope Easement
17025 Mc Gill Rd, Saratoga, CA 95070

The land referred to herein below is situated in the unincorporated area in county of Santa Clara, state of California and is described as follows:

A non-exclusive easement for Slope purposes, over a portion of the northwest 1/4 of the southwest 1/4 of Section 24, Township 8 South, Range 2 West, Mount Diablo base and meridian, and more particularly described as follows described as follows:

BEGINNING at the most northwesterly corner of Parcel A and also lying in the centerline of McGill road, as shown on that certain Parcel Map recorded August 29th, 1979, in Book 449 of Maps at page One, Santa Clara County Records; said northwesterly corner of Parcel A also distant South 89°37'20" East 194.71 feet to the centerline of Bohlman Road; Thence along the westerly line of said Parcel A South 0°22'40" West 20.00 feet, to the southerly line of the 40' Ingress-Egress Easement recorded June 24, 1969, as Document No. 3640248, in Book 8579 Page 472 of Official Records; thence along the southerly line of the 40' Ingress-Egress Easement, said southerly line also running distant 20.00 feet and parallel to the centerline of McGill Road; Thence North 89°37'20" West 122.91 feet to the TRUE POINT OF BEGINNING; Thence South 66°22'29" West 14.75 feet; Thence North 89°37'20" West 529.59 feet; Thence North 0°22'40" East 6.00 feet to said centerline of McGill Road; Thence along said centerline of McGill Road, South 89°37'20" East 543.06 feet to the TRUE POINT OF BEGINNING.

Containing 3,218 S.F., more or less.

This description was prepared by me or under my direction in conformance with the Land Surveyor's Act.

Osuna Engineering, Inc.



Porfirio O. Osuna
PLS 8921



4-19-23

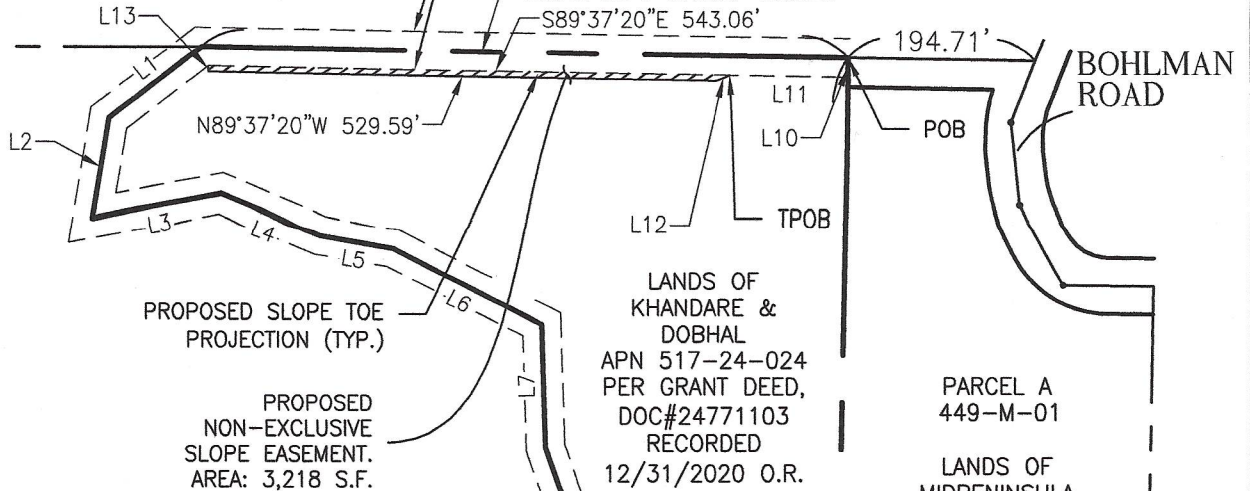
REFERENCES:

R1 PARCEL MAP 517-M-01
 R2 GRANT DEED DOC# 24771103

40' INGRESS/EGRESS EASEMENT.
 RECORDED JUNE 24, 1969, AS DOC#
 3640248 IN BOOK 8579 PAGE 472 O.R.

MCGILL ROAD

N89°37'20"W 672.93' BNDRY.
 S89°37'20"E 543.06'



PROPOSED SLOPE TOE
 PROJECTION (TYP.)

PROPOSED
 NON-EXCLUSIVE
 SLOPE EASEMENT.
 AREA: 3,218 S.F.

LANDS OF
 KHANDARE &
 DOBHAL
 APN 517-24-024
 PER GRANT DEED,
 DOC#24771103
 RECORDED
 12/31/2020 O.R.

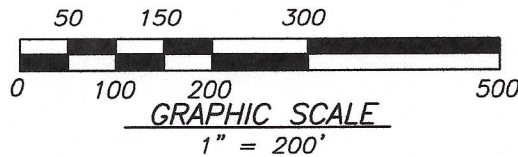
PARCEL A
 449-M-01

LANDS OF
 MIDPENINSULA
 REGIONAL OPEN
 SPACE DISTRICT
 APN 517-24-030

LINE TABLE		
No.	BEARING	LENGTH
L1	S52°02'40"W	122.69'
L2	S9°05'40"W	102.61'
L3	N78°52'40"E	136.26'
L4	S68°30'20"E	111.73'
L5	S80°56'20"E	76.84'
L6	S63°04'15"E	174.68'
L7	S2°10'20"E	131.44'
L8	S19°51'20"E	127.14'
L9	S41°03'20"E	45.64'
L10	S0°22'40"W	20.00'
L11	N89°37'20"W	122.91'
L12	S66°22'29"W	14.75'
L13	N0°22'40"E	6.00'

ABBREVIATIONS

AC ACRES
 APN ASSESSOR'S PARCEL NUMBER
 CL CENTER LINE
 POB POINT OF BEGINNING
 TPOB TRUE POINT OF BEGINNING
 SF SQUARE FEET



4-19-23

**17025 MCGILL ROAD
 SLOPE EASEMENT
 EXHIBIT B**

SARATOGA, CALIFORNIA

DATE: 4/19/23
 SCALE: 1"=200'
 DRAWN BY: O.O.
 CHECKED BY: O.O.
 JOB NO.: 2143

OSUNA ENGINEERING, INC.

6920 SANTA TERESA BLVD. #206
 SAN JOSE, CALIFORNIA 95119
 PH (408) 721-2100

PLS NO. 8921
 PORFIRIO OSCAR OSUNA

Parcel Map Check Report

Client:

Client
 Client Company
 Address 1

Date: 4/19/2023 11:39:31 AM

Prepared by:

Preparer
 Osuna Engineering
 6920 Santa Teresa Blvd

Parcel Name: BOUNDARY - BOUNDARY

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North: 6,360.4909' East: 3,079.1566'

Segment# 1: Line

Course: S 89°37'20" E Length: 672.93'
 North: 6,356.0540' East: 3,752.0720'

Segment# 2: Line

Course: S 0°30'43" W Length: 1,368.24'
 North: 4,987.8686' East: 3,739.8468'

Segment# 3: Line

Course: S 88°08'34" W Length: 231.70'
 North: 4,980.3595' East: 3,508.2685'

Segment# 4: Line

Course: N 0°22'40" E Length: 812.16'
 North: 5,792.5018' East: 3,513.6234'

Segment# 5: Line

Course: N 41°03'20" W Length: 45.64'
 North: 5,826.9177' East: 3,483.6475'

Segment# 6: Line

Course: N 19°51'20" W Length: 127.14'
 North: 5,946.4995' East: 3,440.4644'

Segment# 7: Line

Course: N 2°10'20" W Length: 131.44'
 North: 6,077.8450' East: 3,435.4823'

Segment# 8: Line

Course: N 63°04'15" W Length: 174.68'
 North: 6,156.9556' East: 3,279.7434'

Segment# 9: Line

Course: N 80°56'20" W Length: 76.84'
 North: 6,169.0570' East: 3,203.8623'

Segment# 10: Line

Course: N 68°30'20" W Length: 111.73'
 North: 6,209.9961' East: 3,099.9028'

Segment# 11: Line



Course: S 78°52'40" W Length: 136.26'
 North: 6,183.7112' East: 2,966.2020'

Segment# 12: Line
 Course: N 9°05'40" E Length: 102.61'
 North: 6,285.0313' East: 2,982.4208'

Segment# 13: Line
 Course: N 52°02'40" E Length: 122.69'
 North: 6,360.4918' East: 3,079.1604'

Perimeter: 4,114.06' Area: 10.237Acre
 Error Closure: 0.0039 Course: N 77°20'16" E
 Error North : 0.00085 East: 0.00378

Precision 1: 1,054,887.18

Parcel Name: EASEMENT - NLY EASEMENT TIE

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North:6,336.0544' East:3,751.9401'

Segment# 1: Line
 Course: N 89°37'20" W Length: 122.91'
 North: 6,336.8648' East: 3,629.0328'

Segment# 2: Line
 Course: N 0°22'40" E Length: 20.00'
 North: 6,356.8644' East: 3,629.1646'

Segment# 3: Line
 Course: S 89°37'20" E Length: 122.91'
 North: 6,356.0540' East: 3,752.0720'

Segment# 4: Line
 Course: S 0°22'40" W Length: 20.00'
 North: 6,336.0544' East: 3,751.9401'

Perimeter: 285.83' Area: 0.056Acre
 Error Closure: 0.0000 Course: N 0°00'00" E
 Error North : 0.00000 East: 0.00000

Precision 1: 285,820,000.00

Parcel Name: EASEMENT - SLOPE EASEMENT

Description:

Process segment order counterclockwise: False

Enable mapcheck across chord: False

North:6,340.4455' East:3,085.9763'

Segment# 1: Line
 Course: S 89°37'20" E Length: 543.06'
 North: 6,336.8649' East: 3,629.0245'

Segment# 2: Line	
Course: S 66°22'29" W	Length: 14.75'
North: 6,330.9538'	East: 3,615.5107'
Segment# 3: Line	
Course: N 89°37'20" W	Length: 529.59'
North: 6,334.4456'	East: 3,085.9322'
Segment# 4: Line	
Course: N 0°22'40" E	Length: 6.00'
North: 6,340.4455'	East: 3,085.9718'
Perimeter: 1,093.40'	Area: 0.074Acre
Error Closure: 0.0045	Course: S 89°18'05" W
Error North : -0.00005	East: -0.00448
Precision 1: 242,977.78	