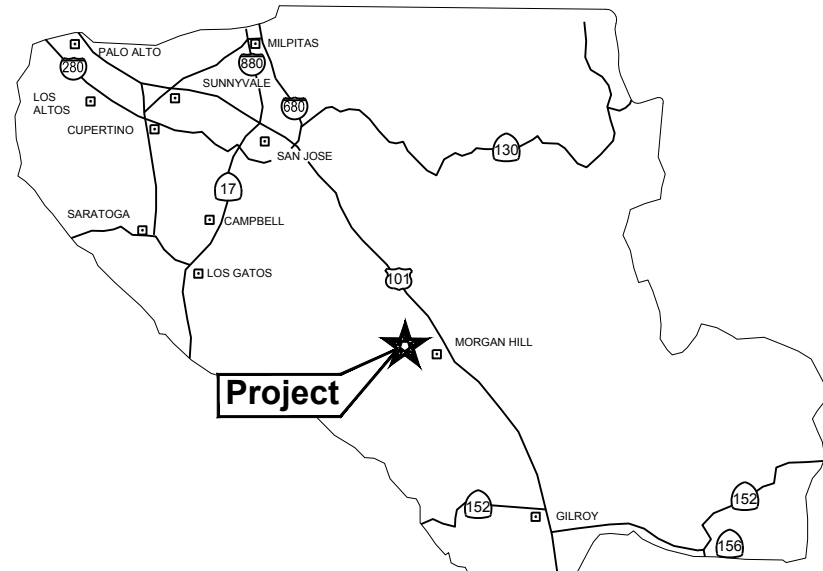
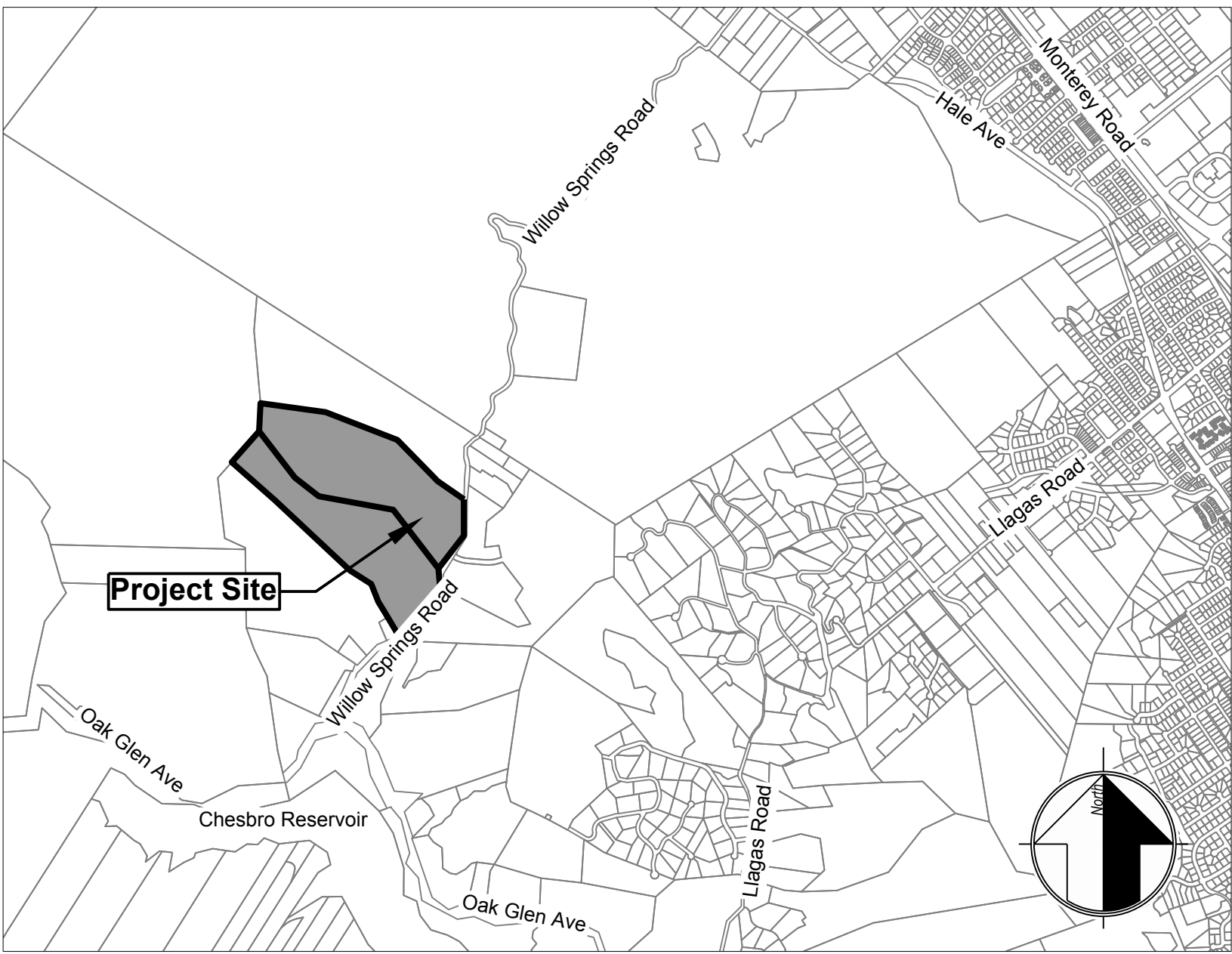


Violation Earthwork Quantities					
	Cut	Fill	Net	Max Cut	Max Fill
Buildings A-E	1,054 cy	1,123 cy	69 cy (fill)	5.00'	3.65'
Building F	341 cy	451 cy	110 cy (fill)	3.33'	2.59'
Driveway	492 cy	313 cy	179 cy (cut)	4.50'	3.65'
Total	1,887 cy	1,887 cy	balanced		

Violation Impervious Area Summary	
House Building C	1,900 SF
Storage Building D	1,840 SF
Garage Building E	3,010 SF
House Building F	2,016 SF
Existing Driveway	33,350 SF
Total New Impervious Area	42,116 SF



COUNTY LOCATION MAP



Vicinity Map

Applicant/Owner:

Linda Nickell
2075 Willow Springs Road
Morgan Hill, CA
408.452.1632
linickell7@gmail.com

Engineer:

Allen Andrade LS7741, RCE 58384
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
allena@mhengineering.com

Project Information:

APN 712-12-001
Present Use: Residential
Present Zoning: HS-d1-sr
Sanitary Sewer: Private On-Site System
Gas and Electric: PG&E
Water: Existing well
Telephone: As Shown
Existing Improvements: As Shown
Area: 120.64 ac

Boundary Note: Property lines shown on this plan are based on record data from "F" M 38 and boundary monumentation measured to date.

Flood Zone: The property lies wholly in Zone D, areas in which flood hazards are undetermined, but possible, per FEMA Firm Panel 06085C0440H, effective May 18, 2009.

Basis of Bearings: The bearings shown on this map are based on the centerline of Willow Springs Road as found monumented and recorded as North 00° 45' 00" West, on that Map thereof recorded in Book F of Maps at Page 38, Santa Clara County Records.

Project Description

1. Legalize all other structures identified to remain with building permits and a use permit.
2. Legalize all grading in violation with grading approval and a grading permit.
3. Legalize all retaining walls with building permits.
4. Propose fire truck turnaround, turnouts, and wharf hydrants to meet State Response Area and County fire requirements.
5. Demolish building 'I' with demolition permit

Existing Structures:

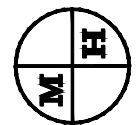
No.	Size (±)	SF (±)	Year Built	Description
(A)	24'x32'	768 sf	pre 1960	Old House (demolished Nov. 2011)
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(C)	24'x83'	2013 sf	1960±	House (to remain)
(D)	46'x43'	1702 sf	1960±	Storage Building (to remain)
(E)	50'x59'	2782 sf	1960±	Garage (to remain)
(F)	30'x68'	2131 sf	1970±	House (to remain)
(G)	24'x16'	384 sf	n/a	Shade Awning
(H)	6'x10'	60 sf	2000	Well Shed (to remain)
(I)	20'x48'	960 sf	1970±	Quonset Hut (to be removed)
(J)	50'x90'	4500 sf	1940±	Old House (removed, demo permit issued)

Sheet Index

1. Overall Site plan
2. Site Plan with Aerial Image
3. Preliminary Grading Plan - Existing Conditions
4. Preliminary Grading Plan - Proposed Conditions
5. Floor Plan and Elevations - House "C"
6. Floor Plan and Elevations - Storage Building "D"
7. Floor Plan and Elevations - Garage "E"
8. Floor Plan and Elevations - House "F"

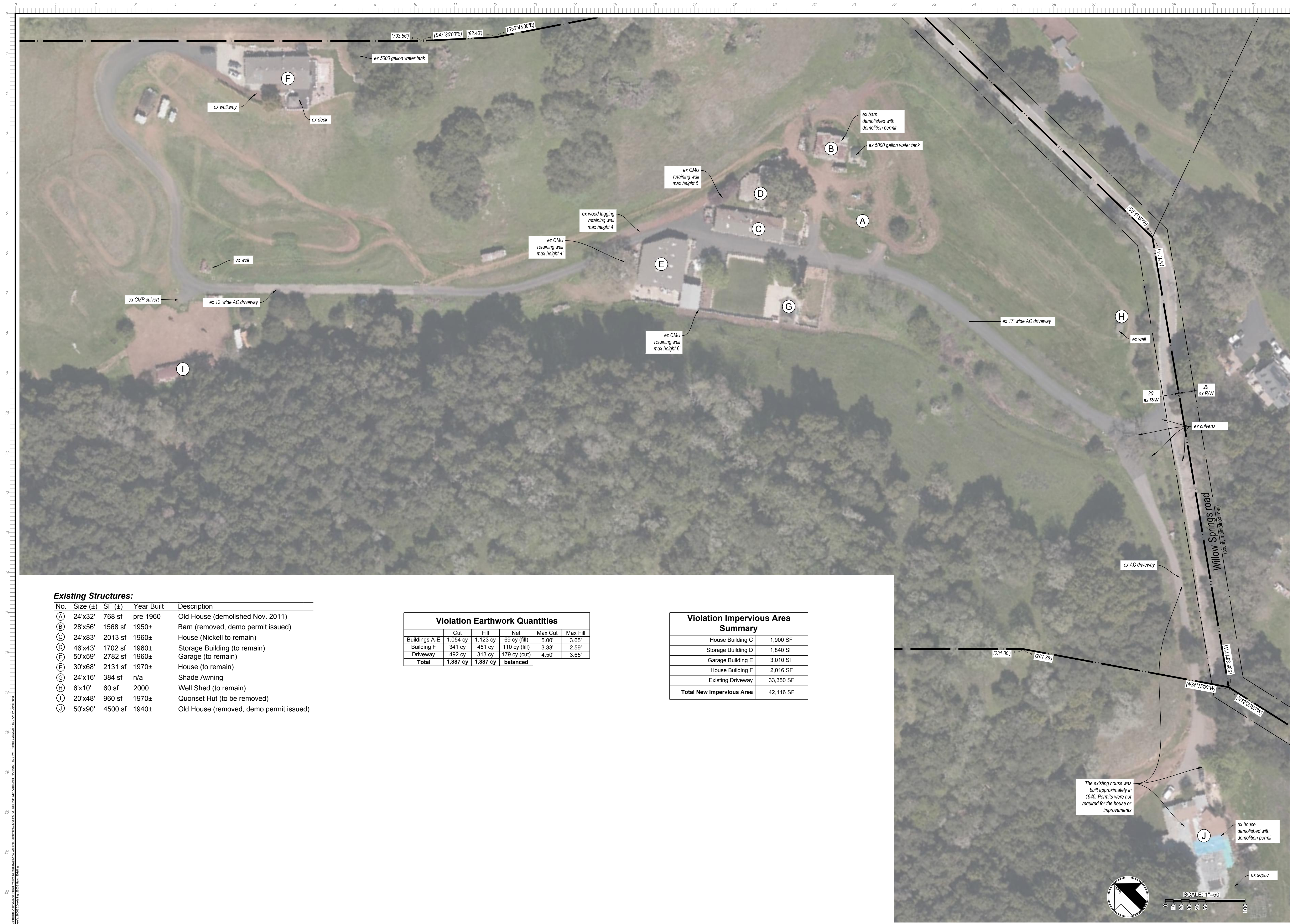


MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037



Nickell - Overall Site Plan
2075 Willow Springs Rd - APN 712-12-001

DATE:	6/1/2021	JOB NO.	28008
SCALE:	1" = 200'	SHEET	1
DRAWN BY:	DF	OF	8
CHECKED BY:	DF		



Existing Structures:

No.	Size (±)	SF (±)	Year Built	Description
(A)	24'x32'	768 sf	pre 1960	Old House (demolished Nov. 2011)
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06/24/2021 1:52 PM
FOR PLANCHECK ONLY

REGISTERED PROFESSIONAL ENGINEER
DAVID L. FARINA
No. 92432
EXP. 06-30-2023
CIVIL
STATE OF CALIFORNIA

FOR PLANCHECK ONLY
signature shall be provided upon approval

MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

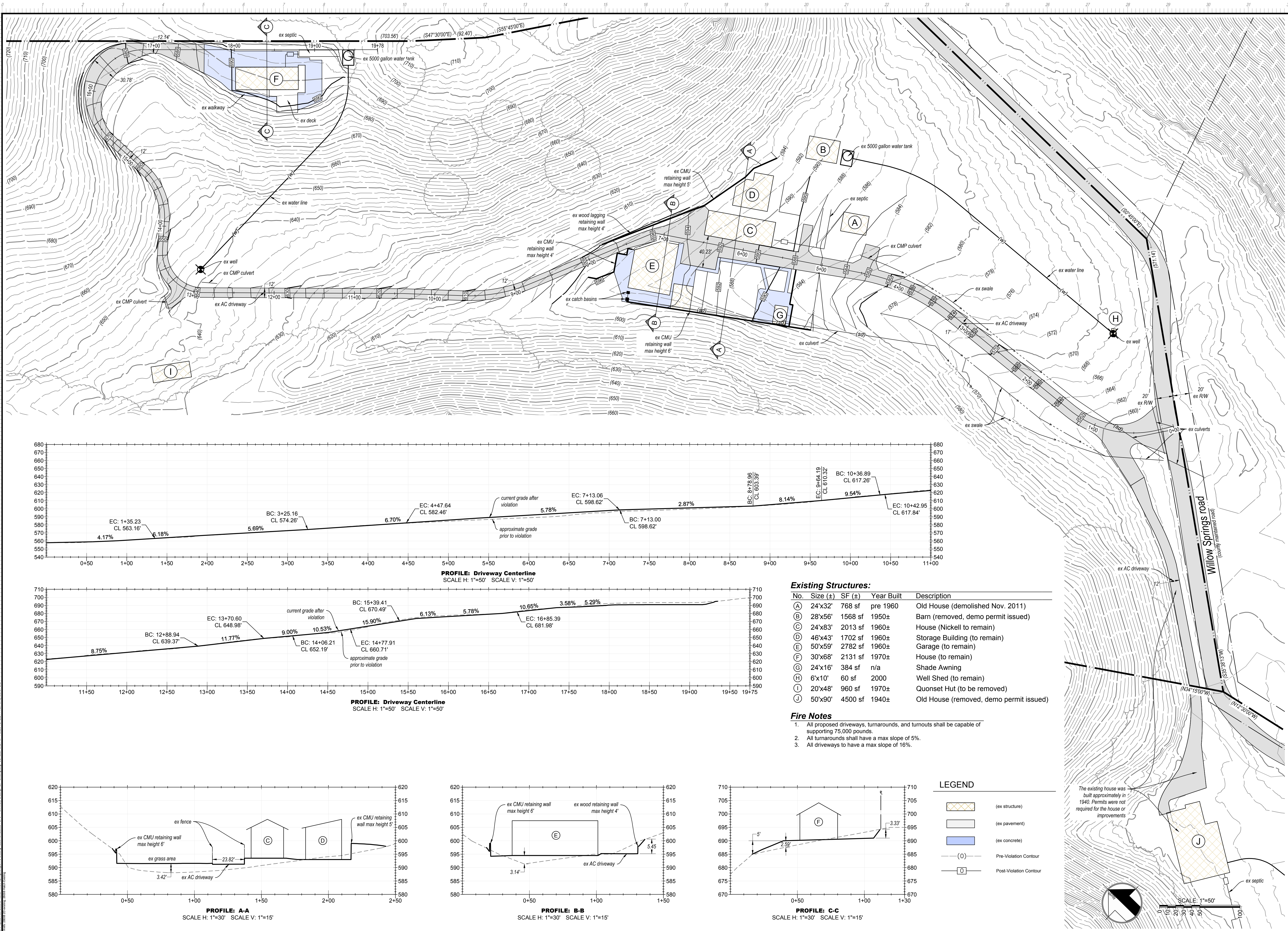
Site Plan with Aerial Image

2075 Willow Springs Rd - APN 712-12-001

DATE: 6/1/2021
SCALE: 1" = 50'
DRAWN BY: DF
CHECKED BY: DF

JOB NO.
28008

SHEET
2
OF
8



06/24/2021 1:52 PM
FOR PLANCHHECK ONLY
REGISTERED PROFESSIONAL ENGINEER
No. 92432
EXP. 06-30-2023
CIVIL
STATE OF CALIFORNIA
FOR PLANCHHECK ONLY
signature and seal must be placed over approval

MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Preliminary Grading Plan - Existing Conditions
2075 Willow Springs Rd - APN 712-12-001

Existing Structures:

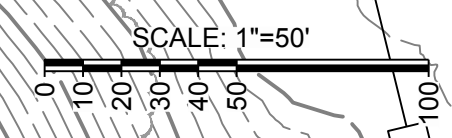
No.	Size (±)	SF (±)	Year Built	Description
(A)	24'x32'	768 sf	pre 1960	Old House (demolished Nov. 2011)
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- Fire Notes**
1. All proposed driveways, turnarounds, and turnouts shall be capable of supporting 75,000 pounds.
 2. All turnarounds shall have a max slope of 5%.
 3. All driveways to have a max slope of 16%.

LEGEND

- (ex structure)
- (ex pavement)
- (ex concrete)
- () Pre-Violation Contour
- () Post-Violation Contour

The existing house was built approximately in 1940. Permits were not required for the house or improvements

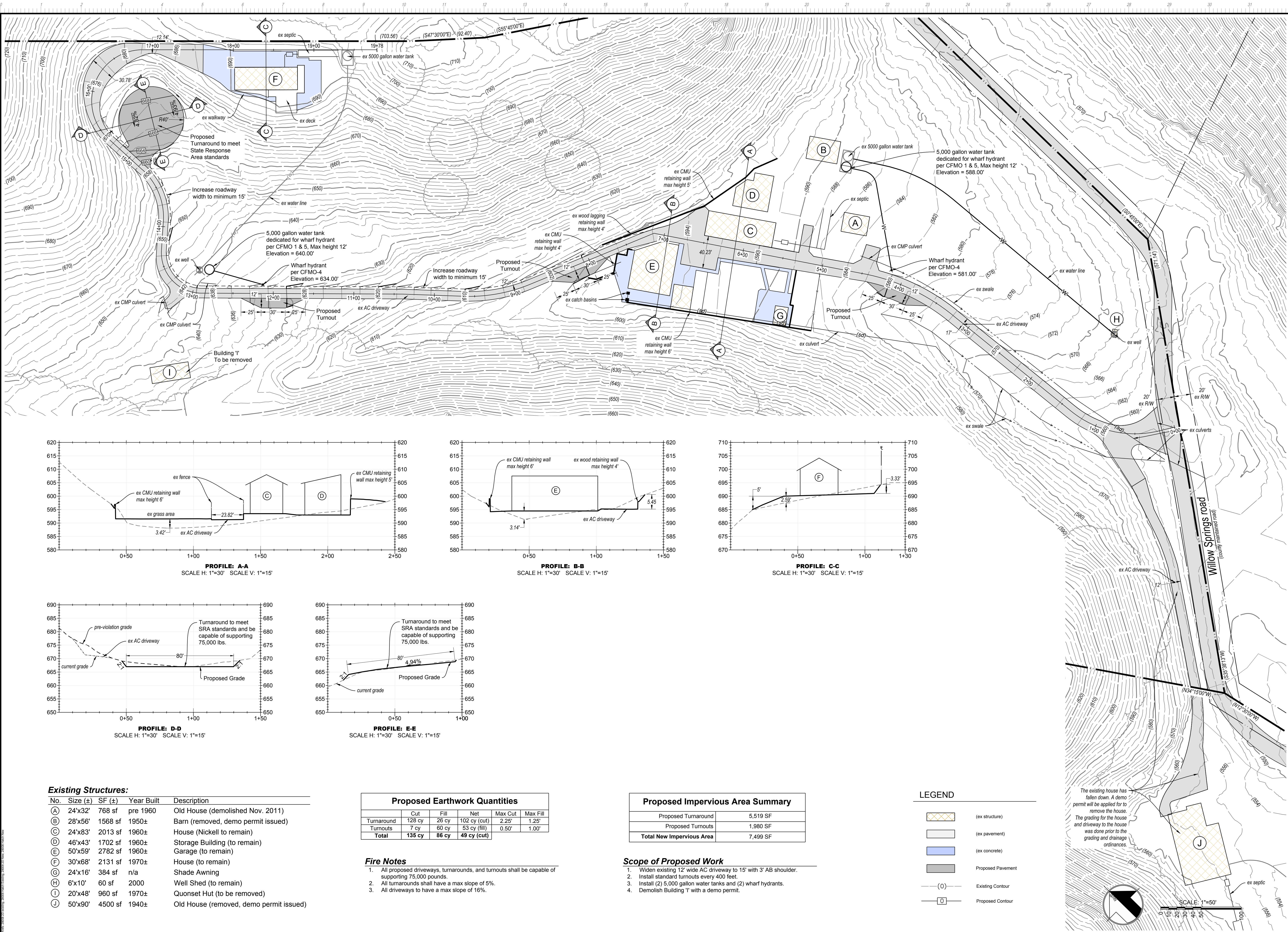


APPLICANT: Nickell

ROAD: Willow Springs Road

COUNTY FILE NO.: ----

PROJECT: 2075 Willow Springs Road Preliminary Grading Plan - Existing Conditions
DATE: 06/24/2021 1:52 PM
DRAWN BY: DF
CHECKED BY: DF
SHEET 3 OF 8



Existing Structures:

No.	Size (±)	SF (±)	Year Built	Description
(A)	24'x32'	768 sf	pre 1960	Old House (demolished Nov. 2011)
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(J)	50'x90'	4500 sf	1940±	Old House (removed, demo permit issued)

Proposed Earthwork Quantities

	Cut	Fill	Net	Max Cut	Max Fill
Turnaround	128 cy	26 cy	102 cy (cut)	2.25'	1.25'
Turnouts	7 cy	60 cy	53 cy (fill)	0.50'	1.00'
Total	135 cy	86 cy	49 cy (cut)		

Fire Notes

- All proposed driveways, turnarounds, and turnouts shall be capable of supporting 75,000 pounds.
- All turnarounds shall have a max slope of 5%.
- All driveways to have a max slope of 16%.

Proposed Impervious Area Summary

Proposed Turnaround	5,519 SF
Proposed Turnouts	1,980 SF
Total New Impervious Area	7,499 SF

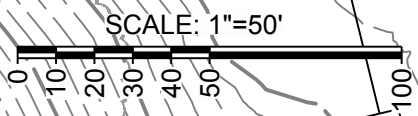
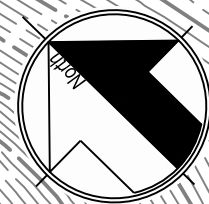
Scope of Proposed Work

- Widen existing 12' wide AC driveway to 15' with 3' AB shoulder.
- Install standard turnouts every 400 feet.
- Install (2) 5,000 gallon water tanks and (2) wharf hydrants.
- Demolish Building 'I' with a demo permit.

LEGEND

- (ex structure)
- (ex pavement)
- (ex concrete)
- Proposed Pavement
- Existing Contour
- Proposed Contour

The existing house has fallen down. A demo permit will be applied for to remove the house. The grading for the house and driveway to the house was done prior to the grading and drainage ordinances.



MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

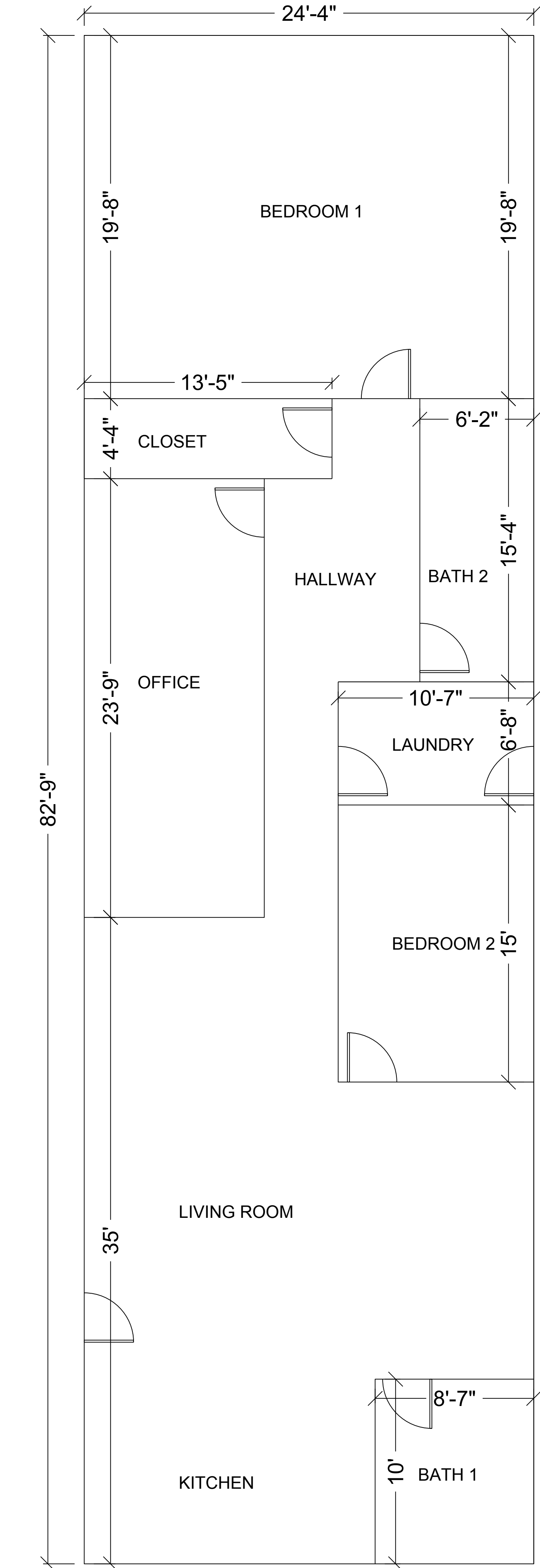
Preliminary Grading Plan - Proposed Conditions
2075 Willow Springs Rd - APN 712-12-001

DATE: 6/1/2021
SCALE: 1" = 50'
JOB NO: 28008
DRAWN BY: DF
CHECKED BY: DF
SHEET 4 OF 8

APPLICANT: Nickell

ROAD: Willow Springs Road

COUNTY FILE NO.: ----



 FLOOR PLAN - HOUSE "C" - 2,013 SF
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
N.T.S.



SOUTH ELEVATION
N.T.S.



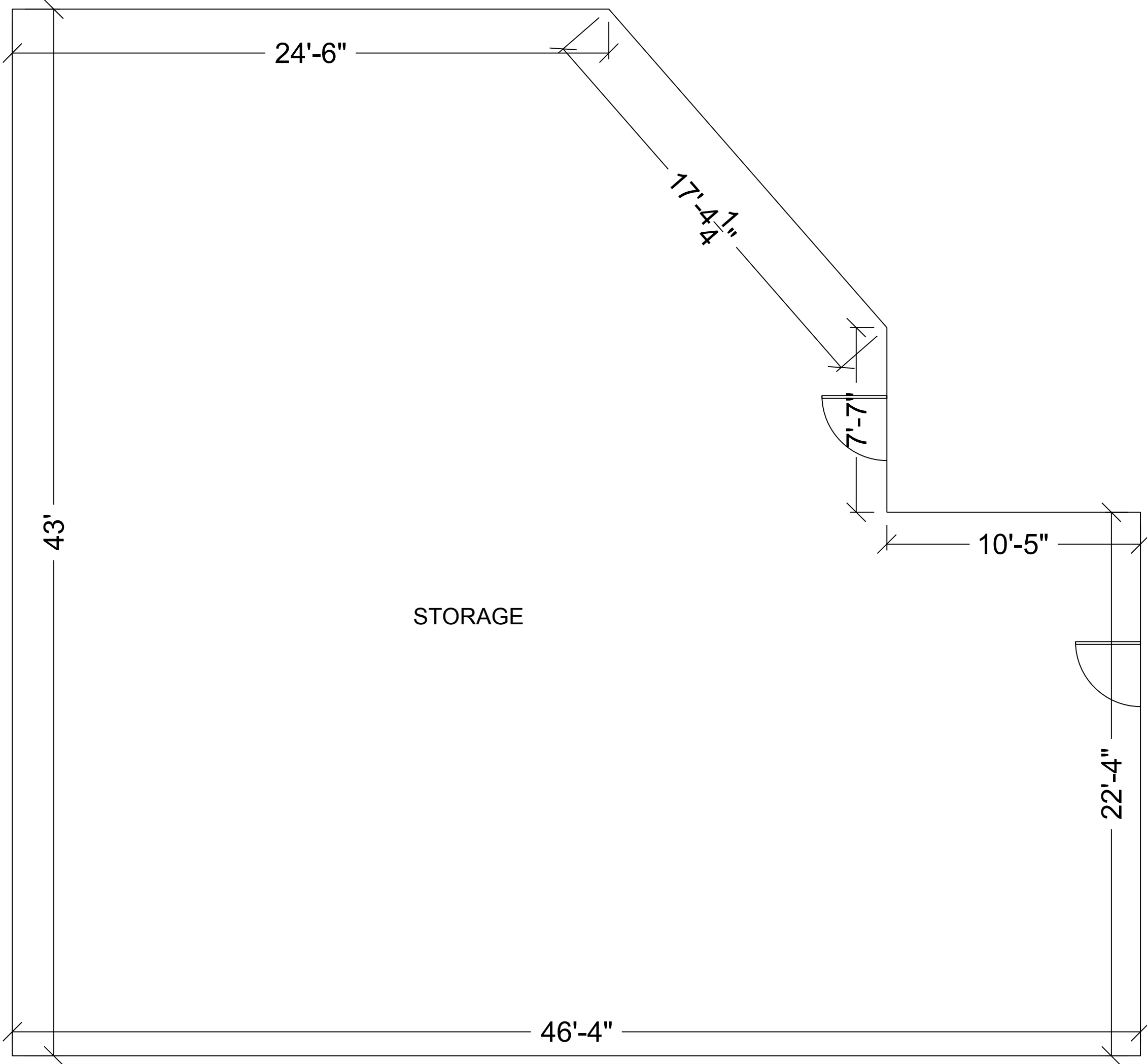
WEST ELEVATION
N.T.S.



EAST ELEVATION
N.T.S.

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1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32



 FLOOR PLAN - STORAGE BUILDING "D" - 1,702 SF
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
N.T.S.



SOUTH ELEVATION
N.T.S.



EAST ELEVATION
N.T.S.



EAST ELEVATION
N.T.S.



WEST ELEVATION
N.T.S.

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NORTH ELEVATION
N.T.S.



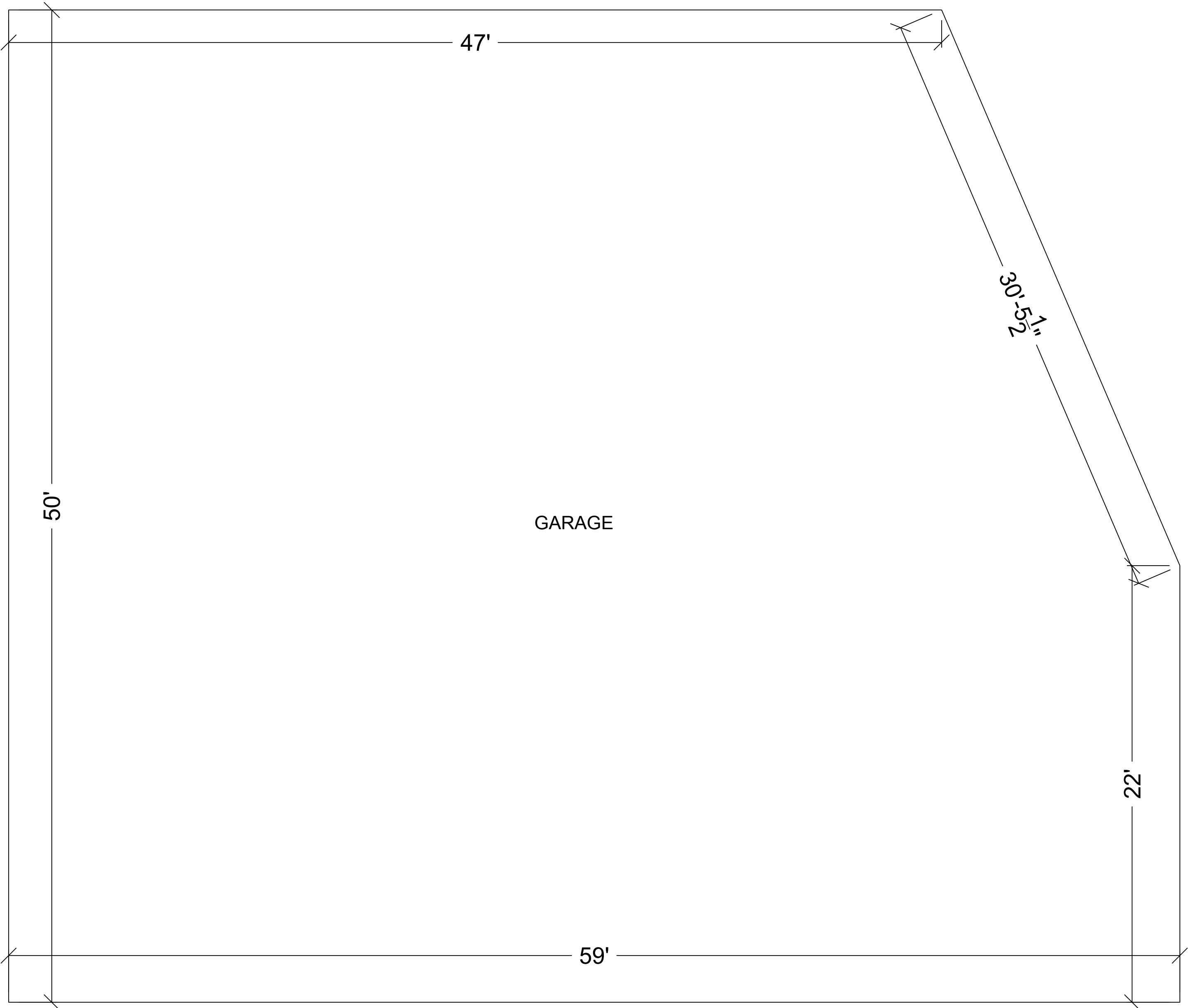
SOUTH ELEVATION
N.T.S.



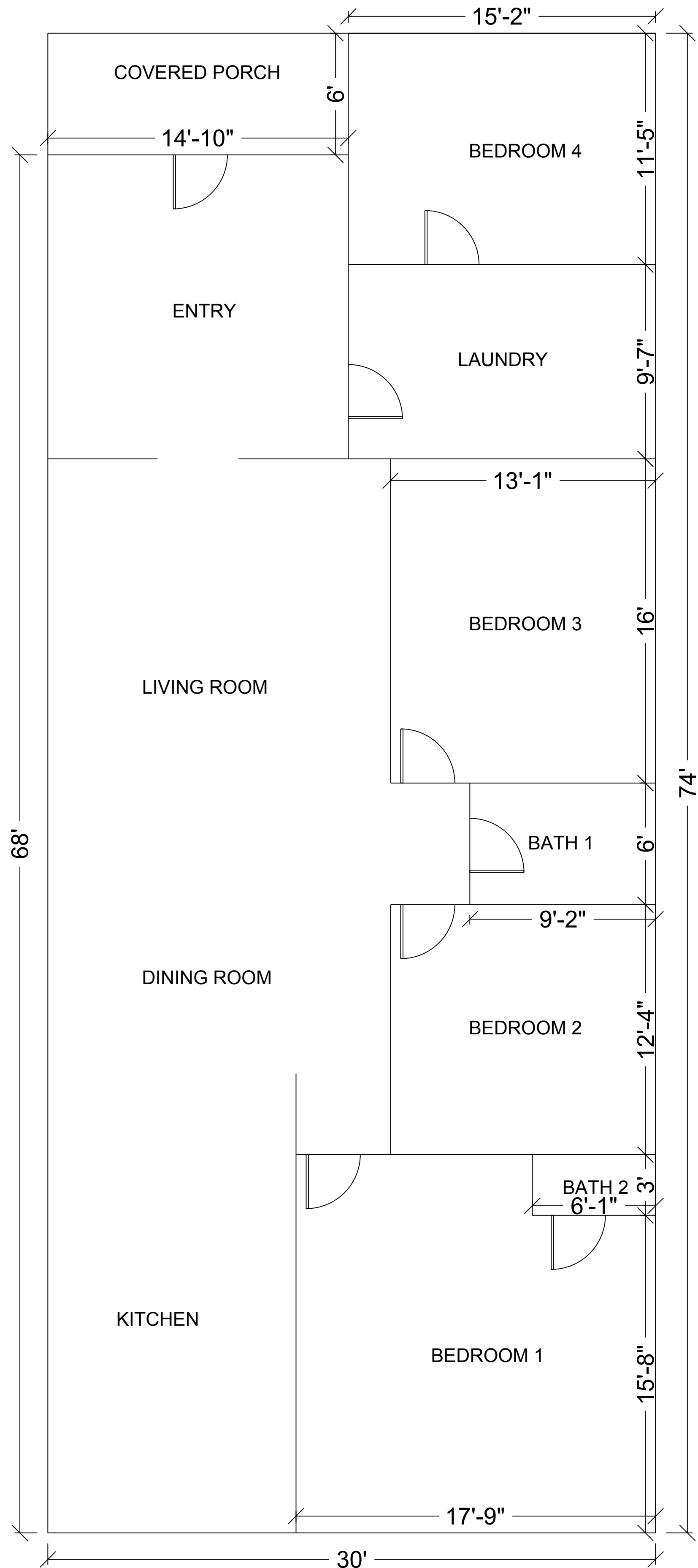
WEST ELEVATION
N.T.S.



EAST ELEVATION
N.T.S.



 FLOOR PLAN - Garage "E" - 2,782 SF
SCALE 1/4" = 1'-0"



 FLOOR PLAN - House "F" - 2,131 SF
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
N.T.S.



SOUTH ELEVATION
N.T.S.



WEST ELEVATION
N.T.S.



EAST ELEVATION
N.T.S.