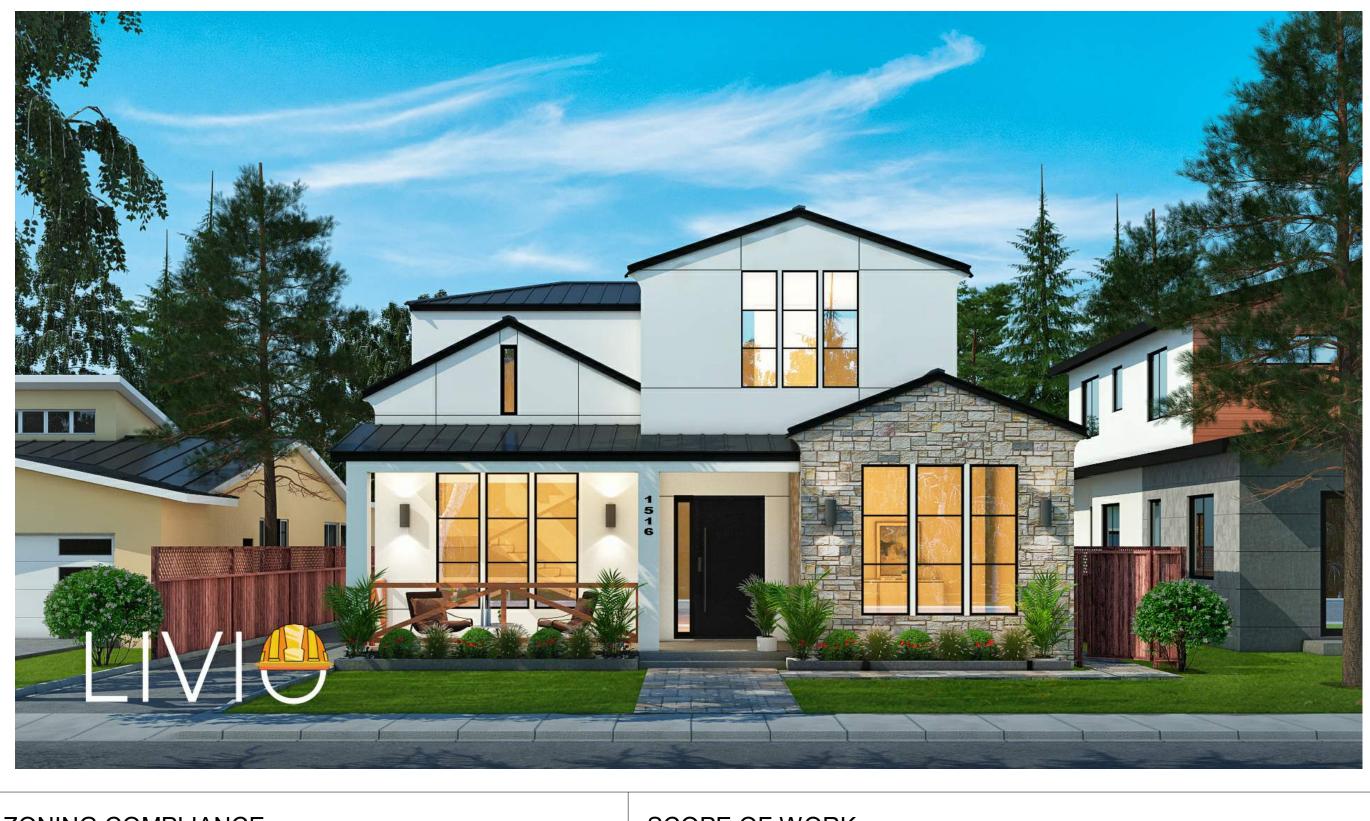
# NEW SINGLE FAMILY HOUSE

LOT-74, 1516 ARBOR AVE LOS ALTOS, CA

SHEET II	NDEX		ZONING CO	MPLIANCE	
DRG NUMBER	DARWING NAME	DATE			
A-1.001	TITLE SHEET	27-SEPT-2021			
A-1.002	SITE LAYOUT	27-SEPT-2021		BUILDING CODE (C RESIDENTIAL COD	
A-1.003	TREE PROTECTION PLAN	27-SEPT-2021		MECHANICAL COD	
A-2.001	BASEMENT FLOOR PLAN	27-SEPT-2021	2019 CALIFORNIA		
A-2.002	FIRST FLOOR PLAN	27-SEPT-2021		ELECTRICAL CODE	<u> </u>
A-2.003	SECOND FLOOR PLAN	27-SEPT-2021	2019 CALIFORNIA 2019 CALIFORNIA		
A-2.004	ROOF LEVEL PLAN	27-SEPT-2021	STANDARDS COD		
A-3.001	SOUTH AND NORTH ELEVATION	27-SEPT-2021			
A-3.002	WEST AND EAST ELEVATION	27-SEPT-2021	CITY OF LOS ALTO	OS ORDINANCE	
A-3.003	SECTION A-A AND B-B	27-SEPT-2021	APN : 331-10-074		
A-4.001	GARAGE PLAN	27-SEPT-2021	TYPE OF CONSTR	UCTION : VB & SPF	
A-5.001	DOOR AND WINDOW SCHEDULE	27-SEPT-2021	ZONE: R1E-20-n1		
A-6.001	AREA CALCULATION	27-SEPT-2021			
A-7.001	MATERIAL BOARD	27-SEPT-2021	LOT AREA: 12,632	SF	
C-1	GRADING & DRAINAGE TITLE SHEET	27-SEPT-2021	HISTORICAL: NO		
C-2	DEMOLITION PLAN	27-SEPT-2021	NEW STRUCTURE		
C-3	GRADING & DRAINAGE PLAN	27-SEPT-2021		Y ALLOWABLE FLC	OR AREA
C-4	STANDARD DETAILS & NOTES	27-SEPT-2021	4763.2 Sq.ft. MAX		
C-5	TRAFFIC CONTROL PLAN	27-SEPT-2021	TOTAL FLOOR AR	FΔ	
C-6	EROSION CONTROL PLAN	27-SEPT-2021			
C-7	BMP-1	27-SEPT-2021	MAIN HOUSE LIVI	NG AREA 3,600 SF	
C-8	BMP-2	27-SEPT-2021	JADU = 497 SF		
SU-1	TOPOGRAPHIC MAP	27-SEPT-2021	DETACHED GARA	GE = 499 SF	
U-1	UTILITY PLAN	27-SEPT-2021	TOTAL COUNTABL	E AREA 4 596 SE	
DEFERRED SUE	BMITTALS		CONTACT INFO		GENERAL NO
	RINKLERS IN ACCORDANCE WITH NFPA 13D AND STA IAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL B		OWNER :	SANDEEP & MANJU SARDANA	1. HERS VER PROVIDE
WARNIN	F VALVE TO THE WATER DISTRIBUTION SYSTEM STA G, THE WATER SYSTEM FOR THIS HOME SUPPLIES F I FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICE:	IRE SPRINKLERS THAT REQUIRE		650-619-6124 650-889-8650	2. AT FINAL I THROUGH
SPRINKL SHUTOF	SE THE PRESSURE OR AUTOMATICALLY SHUT OFF 1 .ER SYSTEM, SUCH AS WATER SOFTENERS, FILTRAT F VALVES, SHALL NOT BE ADDED TO THIS SYSTEM W	ION SYSTEMS AND AUTOMATIC	ARCHITECT:	LIVIO BUILDING SYSTEMS	3. ALL ADHE VERIFICAT
SPRINKL	ER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO	NOT REMOVE THIS SIGN.	CIVIL ENGINEER /LAND SURVEYOR:	RW ENGINEERING 408-262-1899	4. PRIOR TO THE FRAM
			LANDSCAPE ARCHITECT:	GREGORY LEWIS 831-359-0960	5. PRIOR TO WITH THE
					<ol> <li>PROPERT FOUNDAT</li> <li>BUILDING TO FRAMII</li> <li>INSTALLAT TO THE BU</li> </ol>



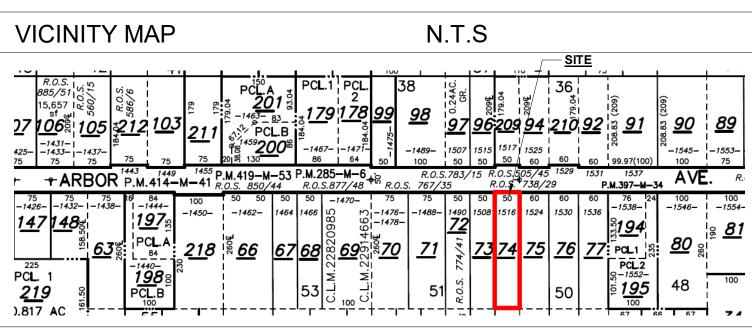
# ZONING COMPLIANCE

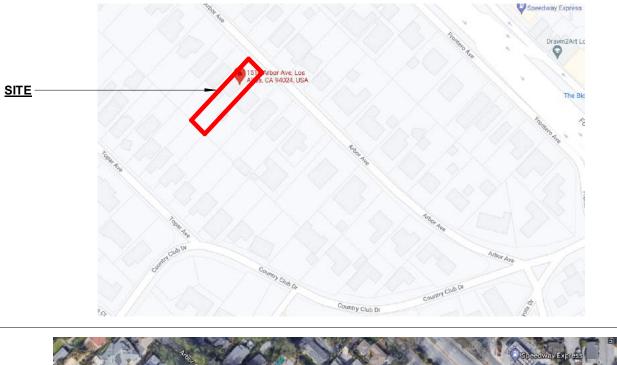
	EXISTING	PROPOSED	Allowed/Required		
LOT COVERAGE LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6FT IN HEIGHT	<u>1,965_SF</u>	3,070 SF (24 %) FIRST LEVEL = 1,699 Sq.ft, PATIO = 375 Sq.ft, D.GARAGE = 499 Sq.ft. JADU = 497 Sq.ft.	<u>3,789.6 + 500 = 4,289.6</u> SF ( <u>34 %</u> )		
FLOOR AREA MEASURED TO THE OUTSIDE SURFACE OF EXTERIOR WALLS	<u>1,965_SF</u>	4,099 SF FIRST LEVEL = 1,699 Sq.ft, SECOND LEVEL = 1,901 Sq.ft D.GARAGE = 499 Sq.ft 497 SF	<u>4,763.2</u> SF <u>( 38 %</u> )		
SETBACKS (MAIN HOUSE)					
FRONT REAR RIGHT SIDE (1st/2nd) LEFT SIDE (1st/2nd)	50 feet <u>120</u> feet <u>10 f</u> eet <u>9' 6" f</u> eet	<u>30' 1"</u> feet <u>127</u> feet <u>10</u> feet <u>/ 10</u> feet <u>10</u> feet <u>/ 10</u> feet	<u>30</u> feet <u>25</u> feet <u>10</u> feet / 10 feet <u>10</u> feet <u>/ 10</u> feet		
HEIGHT	<u>14 </u> feet	<u>_26' 9"_</u> feet	<u>27</u> feet		
SQUAR	SQUARE FOOTAGE BREAKDOWN				
	Existing	Change In	Total Proposed		

HABITABLE LIVING AREA INCLUDES HABITABLE BASEMENT AREAS	<u>1,556</u> Square feet	<u>5,569</u> Squa MAIN HOUSE = 50 JADU = 497		<u>5,569_</u> Square feet
NON-HABITABLE AREA DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES	409 Square feet	<u>499_</u> Square	e feet	<u>499_</u> Square feet
L	OT CALC	JLATION	IS	
NET LOT AREA			<u>12,632</u> Square	e feet
LANDSCAPE BREAKDOWN	EXISTING SOFTSCAP	TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED): EXISTING SOFTSCAPE (UNDISTURBED): NEW SOFTSCAPE (NEW OR REPLACED LANDSCAPING)AREA: SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA		6,232Sq. ft. 0Sq. ft. EA: 6,400Sq. ft. <u>12,632_</u> Sq.ft <u>(Net Lot Area)</u>

# SCOPE OF WORK

DEMOLITION OF <u>1,965</u> SF OF EXISTING RESIDENCE STRUCTURE, NEW CONSTRUCTION OF <u>3,070</u> SF SINGLE FAMILY RESIDENCE OVER LOT <u>12,632</u> SF



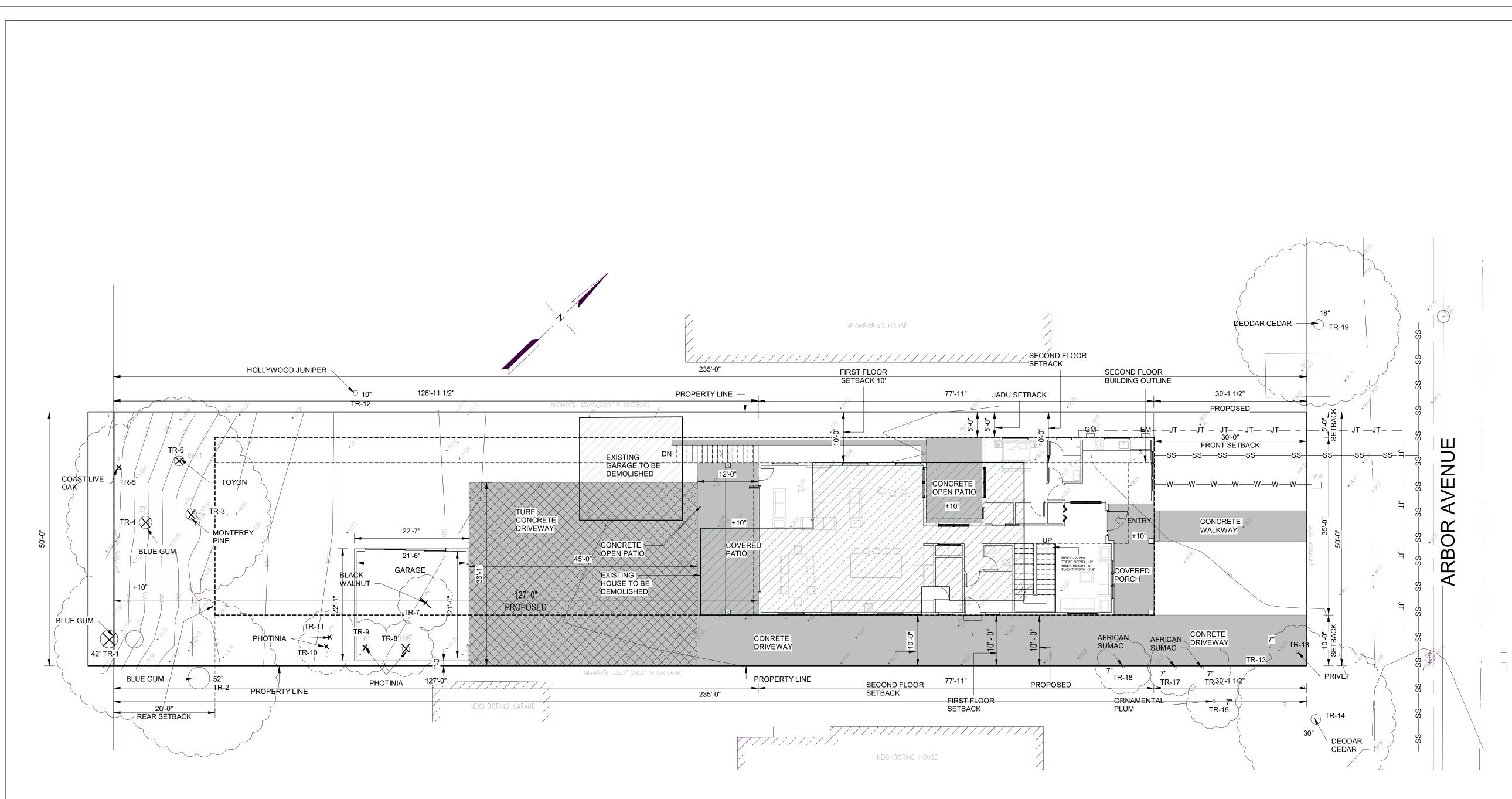


### NOTES

- /ERIFICATION REQUIRED FOR THE HVAC COOLING, HVAC DISTRIBUTION SYSTEM FAN SYSTEMS, AND IAQ (INDOOR AIR QUALITY). DE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. L INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1
- IGH 10 IN ACCORDANCE WITH CGBSC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING. HESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD CATION BY THE BUILDING INSPECTOR.
- TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING AMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT.
- TO OCCUPANCY OF THE BUILDING, PROVIDE A LETTER FROM THE CERTIFIED GREENPOINT RATER THAT VERIFIES COMPLIANCE THE CHECKLIST AND THE MINIMUM REQUIRED POINTS WERE ACHIEVED.
- RTY LINE SURVEY WILL BE COMPLETED BY LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO ATION INSPECTION NG HEIGHT VERIFICATION WILL BE COMPLETED BY LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR AMING INSPECTION LLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED E BUILDING INSPECTOR AT ROUGH INSPECTION

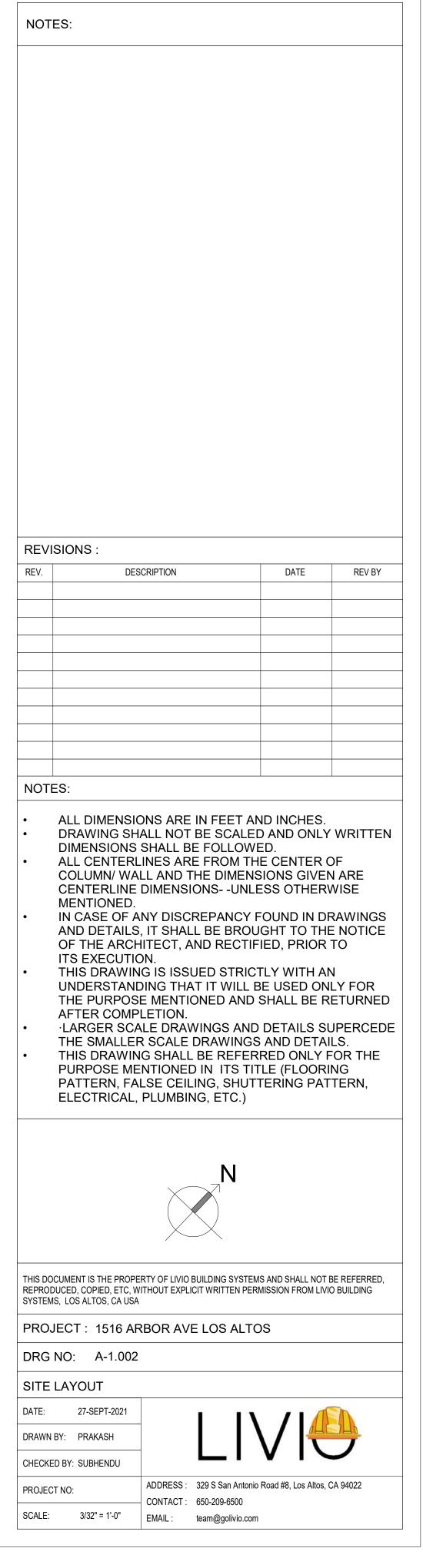


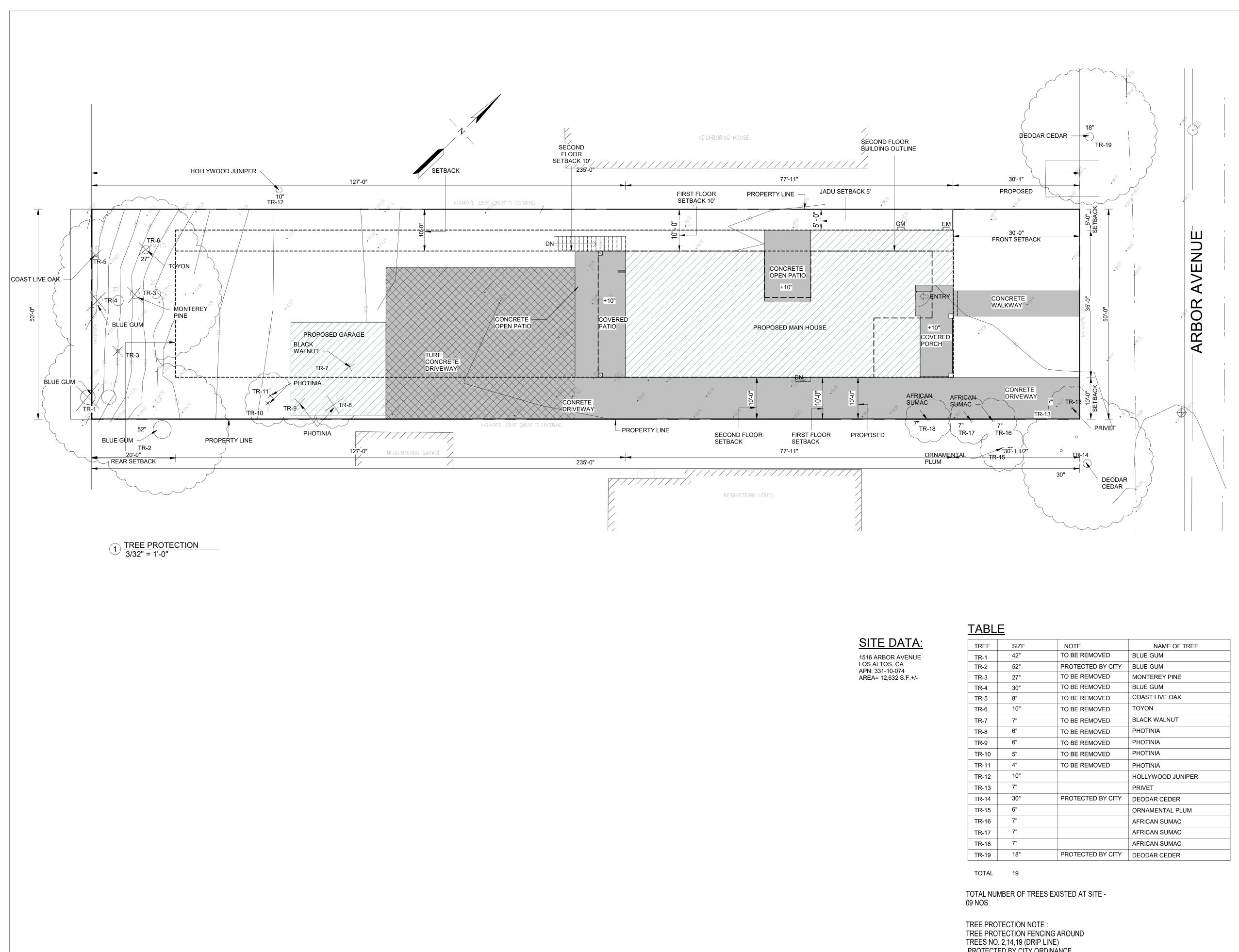
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•	OF THE ARCHITECT, AND RECTIF ITS EXECUTION. THIS DRAWING IS ISSUED STRIC				
	UNDERSTANDING THAT IT WILL E	E USED ON	LY FOR		
•	AFTER COMPLETION. ·LARGER SCALE DRAWINGS AND THE SMALLER SCALE DRAWINGS		-		
•	THIS DRAWING SHALL BE REFER PURPOSE MENTIONED IN ITS TIT	RED ONLY F LE (FLOORI	OR THE		
	PATTERN, FALSE CEILING, SHUT ELECTRICAL, PLUMBING, ETC.)	IERING PAT	IERN,		
THIS DOCUMENT IS THE PROPERTY OF LIVIO BUILDING SYSTEMS AND SHALL NOT BE REFERRED, REPRODUCED, COPIED, ETC, WITHOUT EXPLICIT WRITTEN PERMISSION FROM LIVIO BUILDING SYSTEMS, LOS ALTOS, CA USA					
PRO	JECT: 1516 ARBOR AVE LOS ALTC	)S			
	NO: A-1.001				
DATE:	27-SEPT-2021	11 1			
DRAWN	BY: PRAKASH	V 🖊	1		
	ED BY: SUBHENDU	Road #8, Los Altos, C	CA 94022		
PROJEC SCALE:	T NO: 1/4" = 1'-0" ADDRESS : 329 S San Antonio CONTACT : 650-209-6500 EMAIL : team@golivio.com	. τουα πυ, LUS ΑΙΙΟS, (	<i>,,,,</i> ,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		



1 SITE LAYOUT 3/32" = 1'-0"

> SITE DATA: 1516 ARBOR AVENUE LOS ALTOS, CA APN: 331-10-074 AREA= 12,632 S.F.+/-





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	Α	В	L	E

REE	SIZE	NOTE	NAME OF TREE
-R-1	42"	TO BE REMOVED	BLUE GUM
-R-2	52"	PROTECTED BY CITY	BLUE GUM
-R-3	27"	TO BE REMOVED	MONTEREY PINE
-R-4	30"	TO BE REMOVED	BLUE GUM
R-5	8"	TO BE REMOVED	COAST LIVE OAK
R-6	10"	TO BE REMOVED	TOYON
R-7	7"	TO BE REMOVED	BLACK WALNUT
-R-8	6"	TO BE REMOVED	PHOTINIA
-R-9	6"	TO BE REMOVED	PHOTINIA
R-10	5"	TO BE REMOVED	PHOTINIA
R-11	4"	TO BE REMOVED	PHOTINIA
R-12	10"		HOLLYWOOD JUNIPER
R-13	7"		PRIVET
R-14	30"	PROTECTED BY CITY	DEODAR CEDER
R-15	6"		ORNAMENTAL PLUM
R-16	7"		AFRICAN SUMAC
R-17	7"		AFRICAN SUMAC
R-18	7"		AFRICAN SUMAC
R-19	18"	PROTECTED BY CITY	DEODAR CEDER

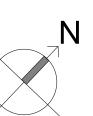
PROTECTED BY CITY ORDINANCE

**REVISIONS** : DESCRIPTION REV. DATE REV BY NOTES: ALL DIMENSIONS ARE IN FEET AND INCHES. DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED. ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/ WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS- - UNLESS OTHERWISE MENTIONED. IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION.

NOTES:

THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION. ·LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE

THE SMALLER SCALE DRAWINGS AND DETAILS. THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE (FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.)



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PROJECT: 1516 ARBOR AVE LOS ALTOS

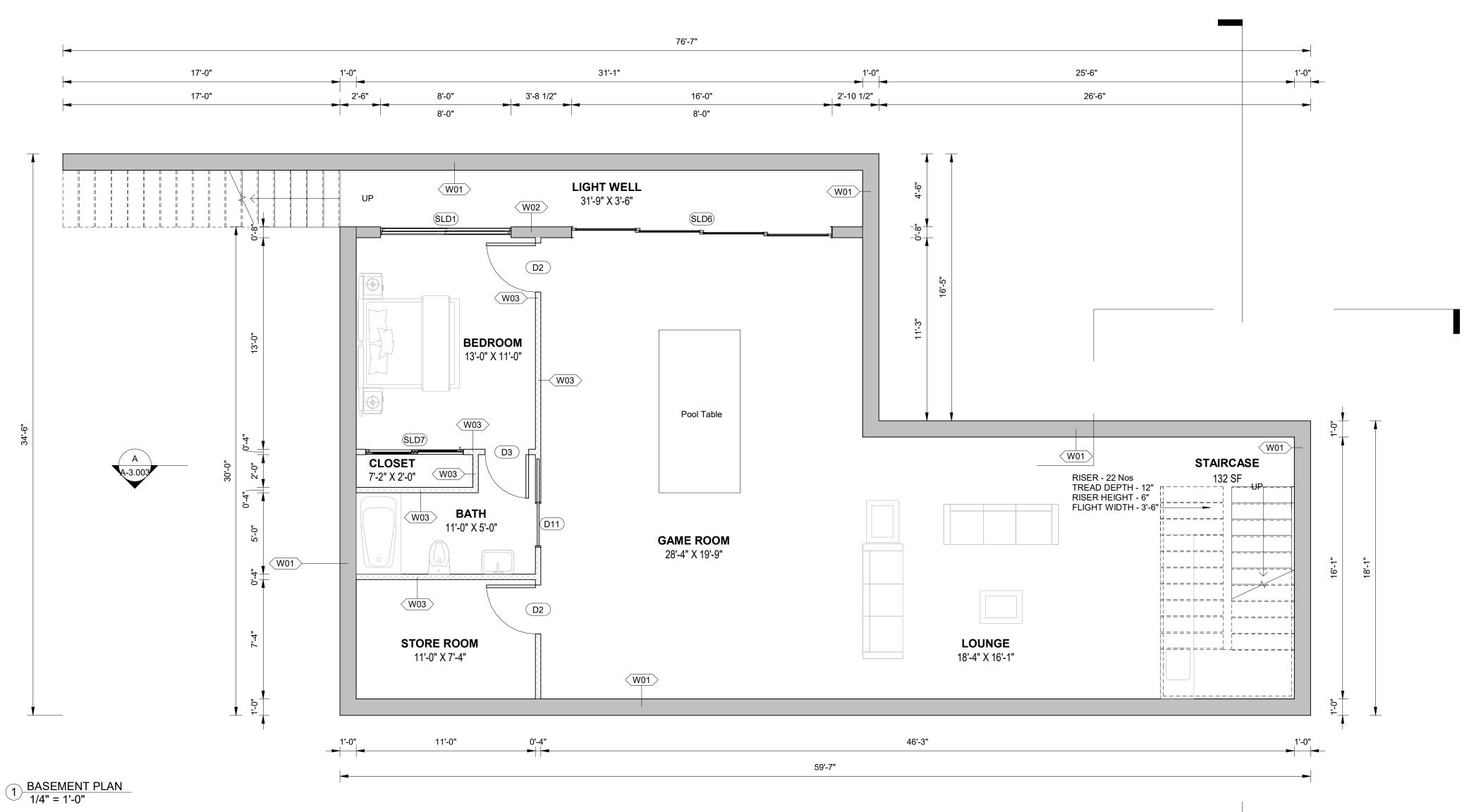
### DRG NO: A-1.003

### TREE PROTECTION PLAN

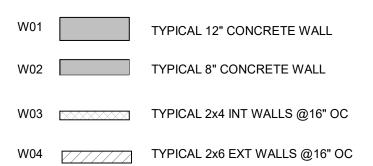
DATE:	27-SEPT-2021		1 11 7
DRAWN BY:	PRAKASH		
CHECKED BY:	SUBHENDU		
PROJECT NO:		ADDRESS :	329 S San Antonio Road #8, L
		CONTACT :	650-209-6500

, Los Altos, CA 94022 SCALE: As indicated EMAIL : team@golivio.com

C



# WALL LEGEND ( BASEMENT LEVEL)



### GENERAL NOTES

В **A**-3.003∕

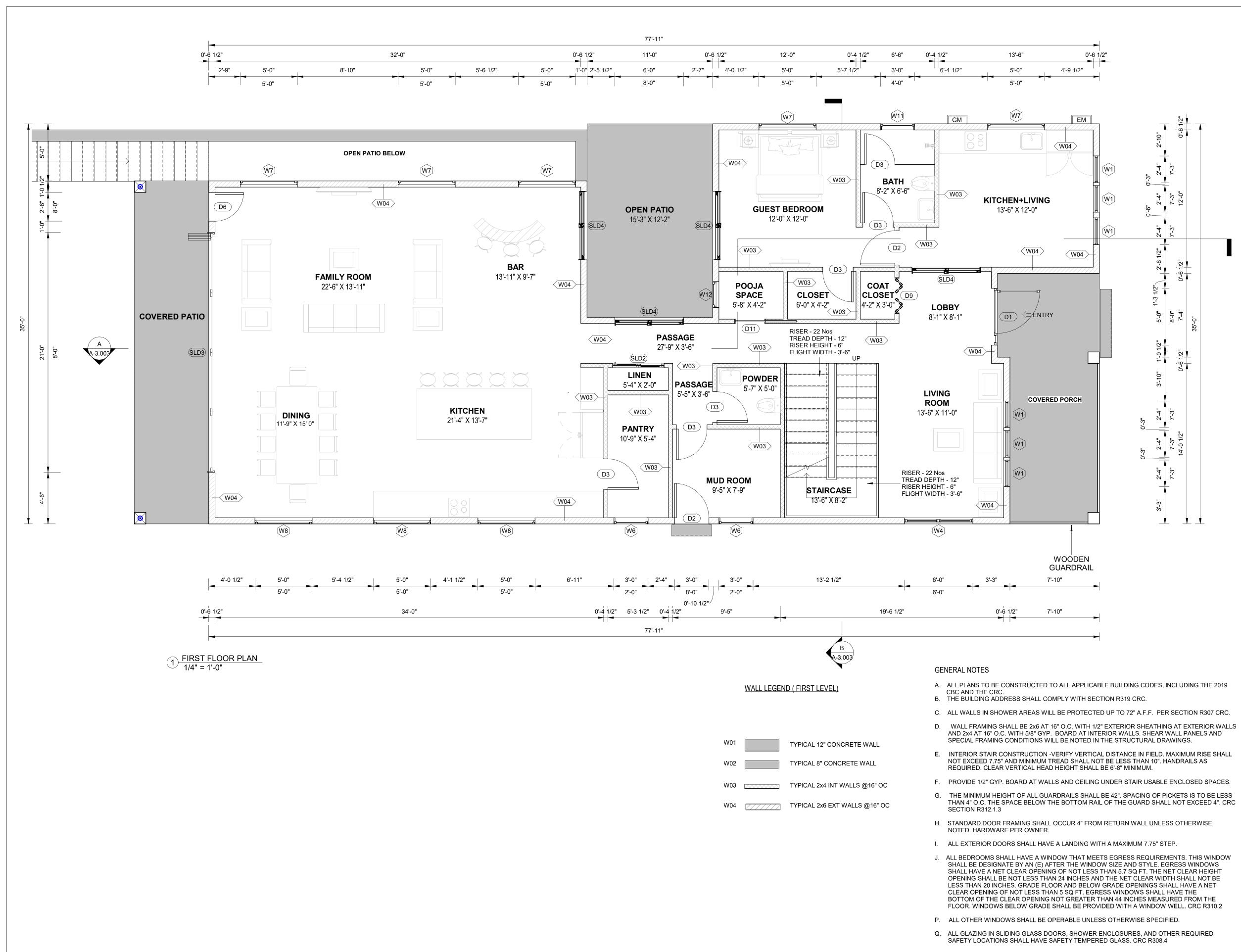
- A. ALL PLANS TO BE CONSTRUCTED TO ALL APPLICABLE BUILDING CODES, INCLUDING THE 2019 CBC AND THE CRC.
- B. THE BUILDING ADDRESS SHALL COMPLY WITH SECTION R319 CRC.
- C. ALL WALLS IN SHOWER AREAS WILL BE PROTECTED UP TO 72" A.F.F. PER SECTION R307 CRC.
- D. WALL FRAMING SHALL BE 2x6 AT 16" O.C. WITH 1/2" EXTERIOR SHEATHING AT EXTERIOR WALLS AND 2x4 AT 16" O.C. WITH 5/8" GYP. BOARD AT INTERIOR WALLS. SHEAR WALL PANELS AND SPECIAL FRAMING CONDITIONS WILL BE NOTED IN THE STRUCTURAL DRAWINGS.
- E. INTERIOR STAIR CONSTRUCTION -VERIFY VERTICAL DISTANCE IN FIELD. MAXIMUM RISE SHALL NOT EXCEED 7.75" AND MINIMUM TREAD SHALL NOT BE LESS THAN 10". HANDRAILS AS REQUIRED. CLEAR VERTICAL HEAD HEIGHT SHALL BE 6'-8" MINIMUM.
- G. THE MINIMUM HEIGHT OF ALL GUARDRAILS SHALL BE 42". SPACING OF PICKETS IS TO BE LESS THAN 4" O.C. THE SPACE BELOW THE BOTTOM RAIL OF THE GUARD SHALL NOT EXCEED 4". CRC SECTION R312.1.3
- H. STANDARD DOOR FRAMING SHALL OCCUR 4" FROM RETURN WALL UNLESS OTHERWISE NOTED. HARDWARE PER OWNER.
- I. ALL EXTERIOR DOORS SHALL HAVE A LANDING WITH A MAXIMUM 7.75" STEP.
- J. ALL BEDROOMS SHALL HAVE A WINDOW THAT MEETS EGRESS REQUIREMENTS. THIS WINDOW SHALL BE DESIGNATE BY AN (E) AFTER THE WINDOW SIZE AND STYLE. EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 INCHES. GRADE FLOOR AND BELOW GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5 SQ FT. EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. WINDOWS BELOW GRADE SHALL BE PROVIDED WITH A WINDOW WELL. CRC R310.2
- P. ALL OTHER WINDOWS SHALL BE OPERABLE UNLESS OTHERWISE SPECIFIED.
- SAFETY LOCATIONS SHALL HAVE SAFETY TEMPERED GLASS. CRC R308.4 R. BALCONY FLOOR SHALL BE 2" BELOW FINISH FLOOR AND SLOPED 1/4" PER FOOT AWAY
- S. EXTERIOR A/C UNITS ARE ANCHORED TO 3" CONCRETE SLABS SHOWN ON PLANS.

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DRAWN	BY: PRAKASH			$\mathbf{V}$	<b>J</b>
	ED BY: SUBHENDU	ADDRESS :		Road #8, Los Altos, C	
PROJEC	2T NO: 1/4" = 1'-0"	CONTACT :	650-209-6500	1 10au 770, LUS AILOS, L	טדע סדע סדע סדע סדע סדע ע
OUALE:	1/4 - I-U	EMAIL :	team@golivio.com		

F. PROVIDE 1/2" GYP. BOARD AT WALLS AND CEILING UNDER STAIR USABLE ENCLOSED SPACES.

Q. ALL GLAZING IN SLIDING GLASS DOORS, SHOWER ENCLOSURES, AND OTHER REQUIRED

FROM DOORS. DOOR OPENINGS SHALL BE PROPERLY FLASHED. DRAINAGE PIPE WILL GO THROUGH FASCIA TO GUTTER OVER GARAGE DOOR.



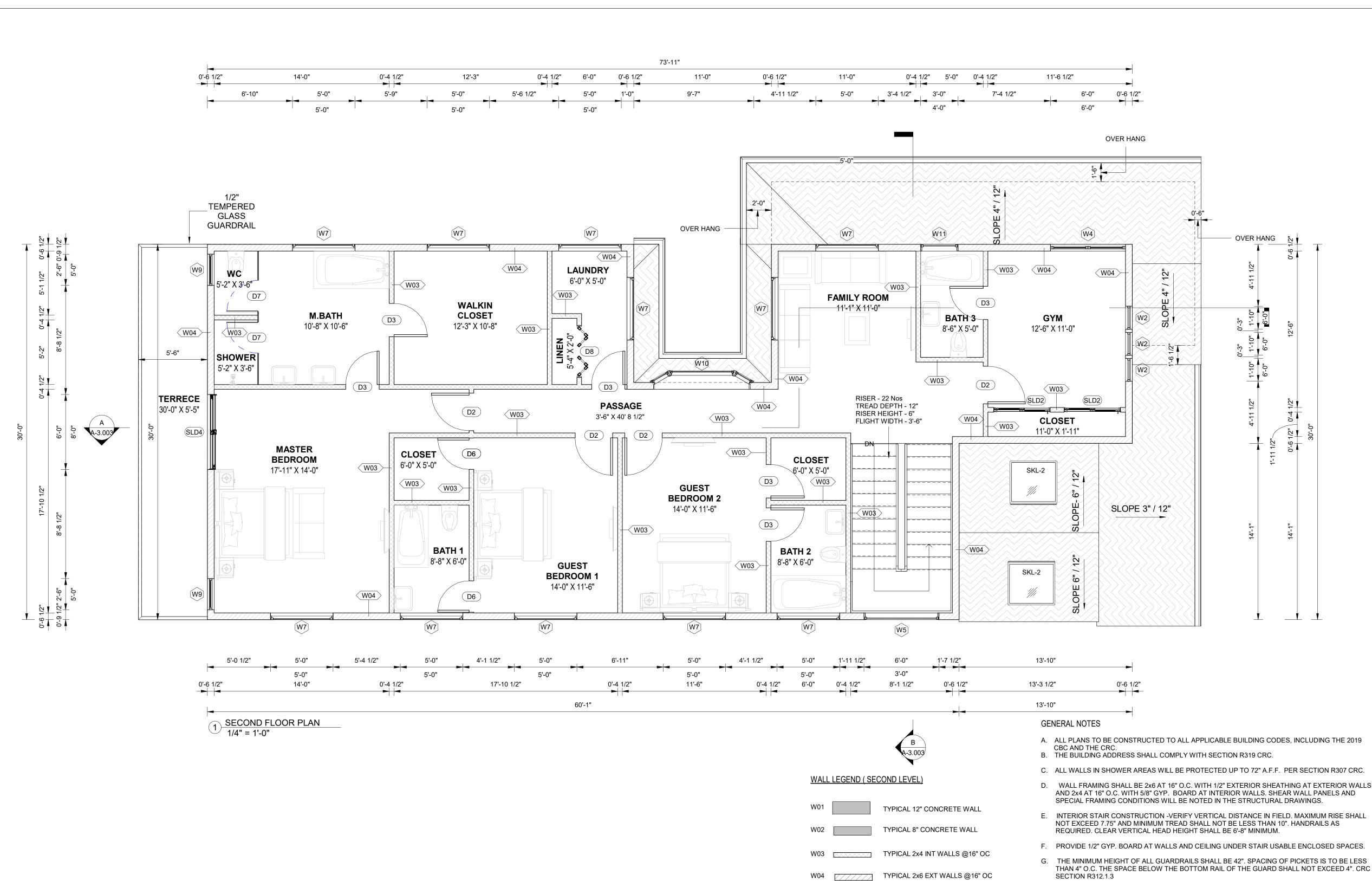
- R. BALCONY FLOOR SHALL BE 2" BELOW FINISH FLOOR AND SLOPED 1/4" PER FOOT AWAY FROM DOORS. DOOR OPENINGS SHALL BE PROPERLY FLASHED. DRAINAGE PIPE WILL GO THROUGH FASCIA TO GUTTER OVER GARAGE DOOR.
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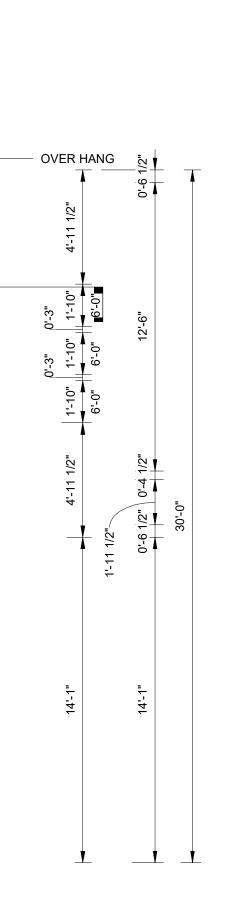
ADDRESS: 329 S San Antonio Road #8, Los Altos, CA 94022 CONTACT : 650-209-6500 EMAIL : team@golivio.com

PROJECT NO:

SCALE: 1/4" = 1'-0"



- H. STANDARD DOOR FRAMING SHALL OCCUR 4" FROM RETURN WALL UNLESS OTHERWISE NOTED. HARDWARE PER OWNER.
- I. ALL EXTERIOR DOORS SHALL HAVE A LANDING WITH A MAXIMUM 7.75" STEP.
- J. ALL BEDROOMS SHALL HAVE A WINDOW THAT MEETS EGRESS REQUIREMENTS. THIS WINDOW SHALL BE DESIGNATE BY AN (E) AFTER THE WINDOW SIZE AND STYLE. EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 INCHES. GRADE FLOOR AND BELOW GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5 SQ FT. EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. WINDOWS BELOW GRADE SHALL BE PROVIDED WITH A WINDOW WELL. CRC R310.2
- P. ALL OTHER WINDOWS SHALL BE OPERABLE UNLESS OTHERWISE SPECIFIED.
- Q. ALL GLAZING IN SLIDING GLASS DOORS, SHOWER ENCLOSURES, AND OTHER REQUIRED SAFETY LOCATIONS SHALL HAVE SAFETY TEMPERED GLASS. CRC R308.4
- R. BALCONY FLOOR SHALL BE 2" BELOW FINISH FLOOR AND SLOPED 1/4" PER FOOT AWAY FROM DOORS. DOOR OPENINGS SHALL BE PROPERLY FLASHED. DRAINAGE PIPE WILL GO THROUGH FASCIA TO GUTTER OVER GARAGE DOOR.
- S. EXTERIOR A/C UNITS ARE ANCHORED TO 3" CONCRETE SLABS SHOWN ON PLANS.



- A. ALL PLANS TO BE CONSTRUCTED TO ALL APPLICABLE BUILDING CODES, INCLUDING THE 2019
- D. WALL FRAMING SHALL BE 2x6 AT 16" O.C. WITH 1/2" EXTERIOR SHEATHING AT EXTERIOR WALLS AND 2x4 AT 16" O.C. WITH 5/8" GYP. BOARD AT INTERIOR WALLS. SHEAR WALL PANELS AND
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- F. PROVIDE 1/2" GYP. BOARD AT WALLS AND CEILING UNDER STAIR USABLE ENCLOSED SPACES.
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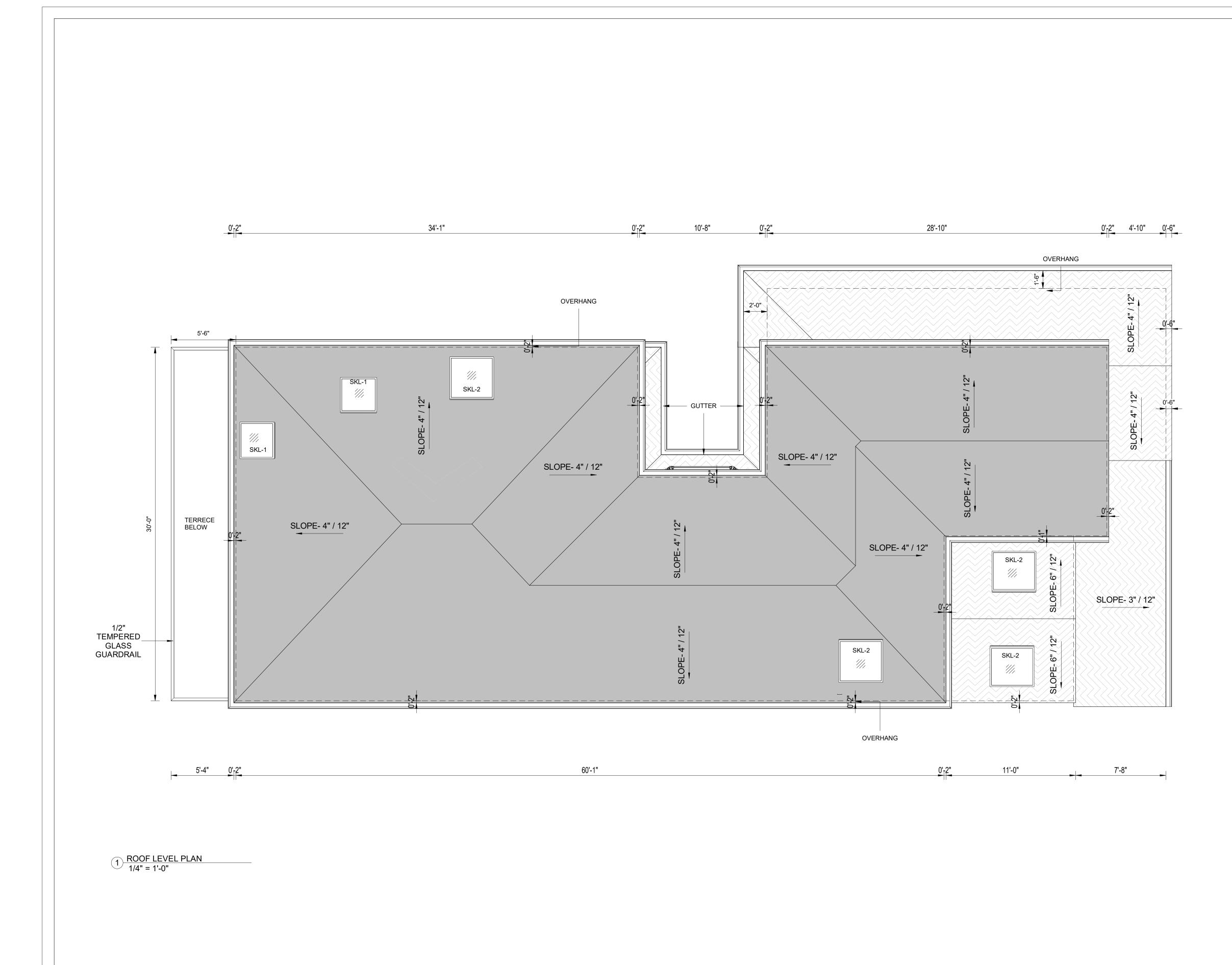
SCALE: 1/4" = 1'-0" EMAIL : team@golivio.com

DRG NO: A-2.003

### SECOND ELOOR PLAN

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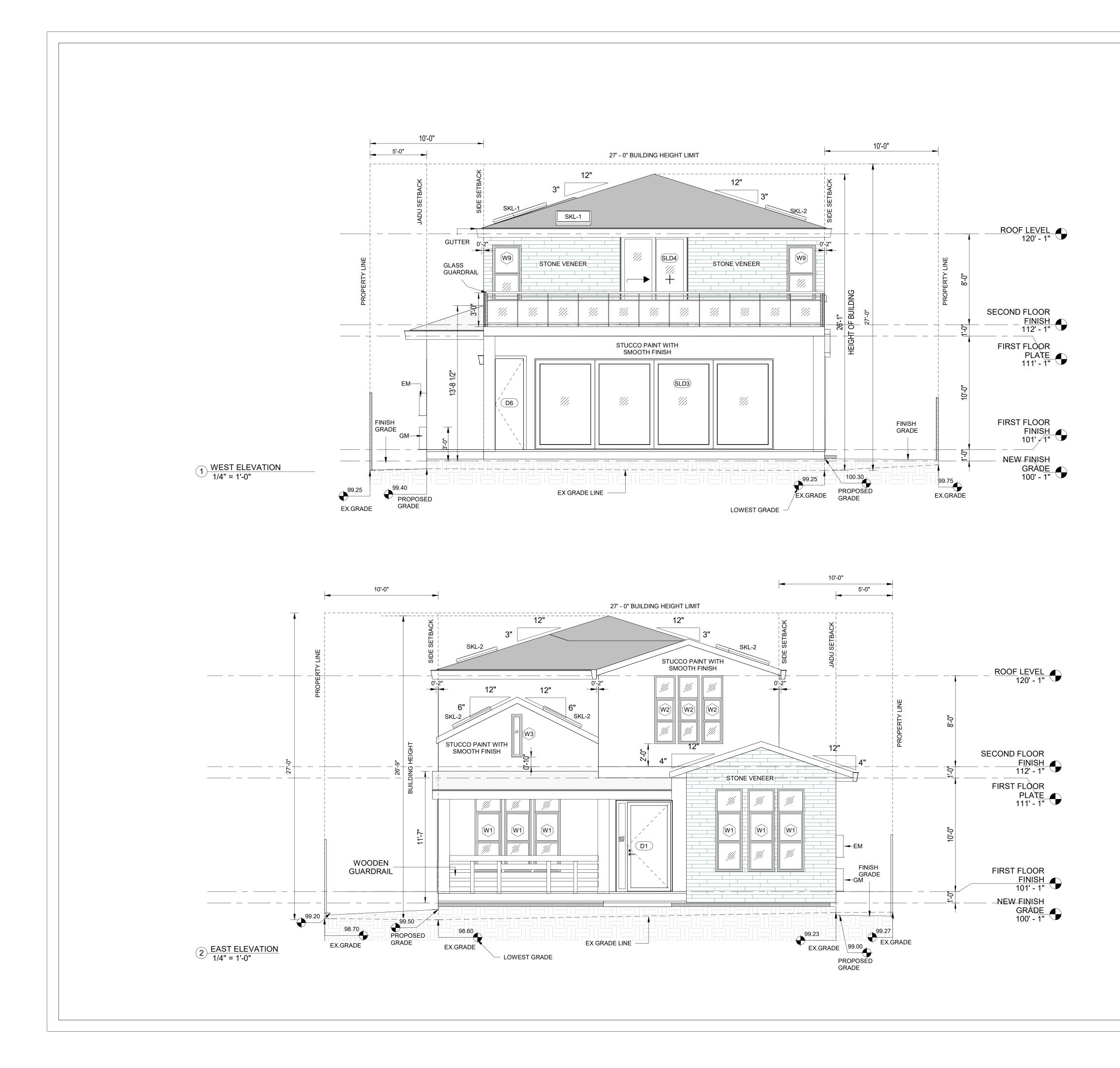
ESS: 329 S San Antonio Road #8, Los Altos, CA 94022 CONTACT : 650-209-6500



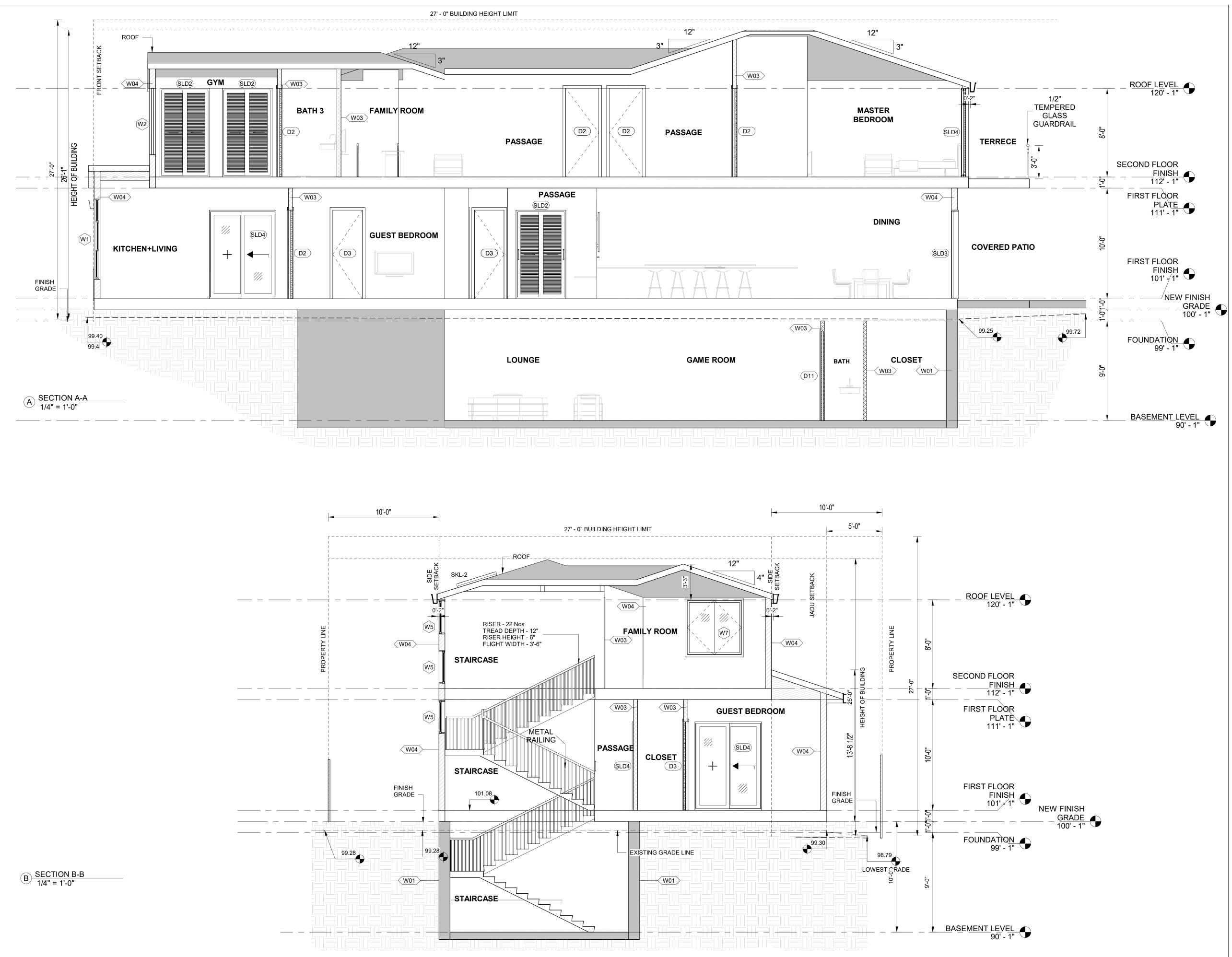
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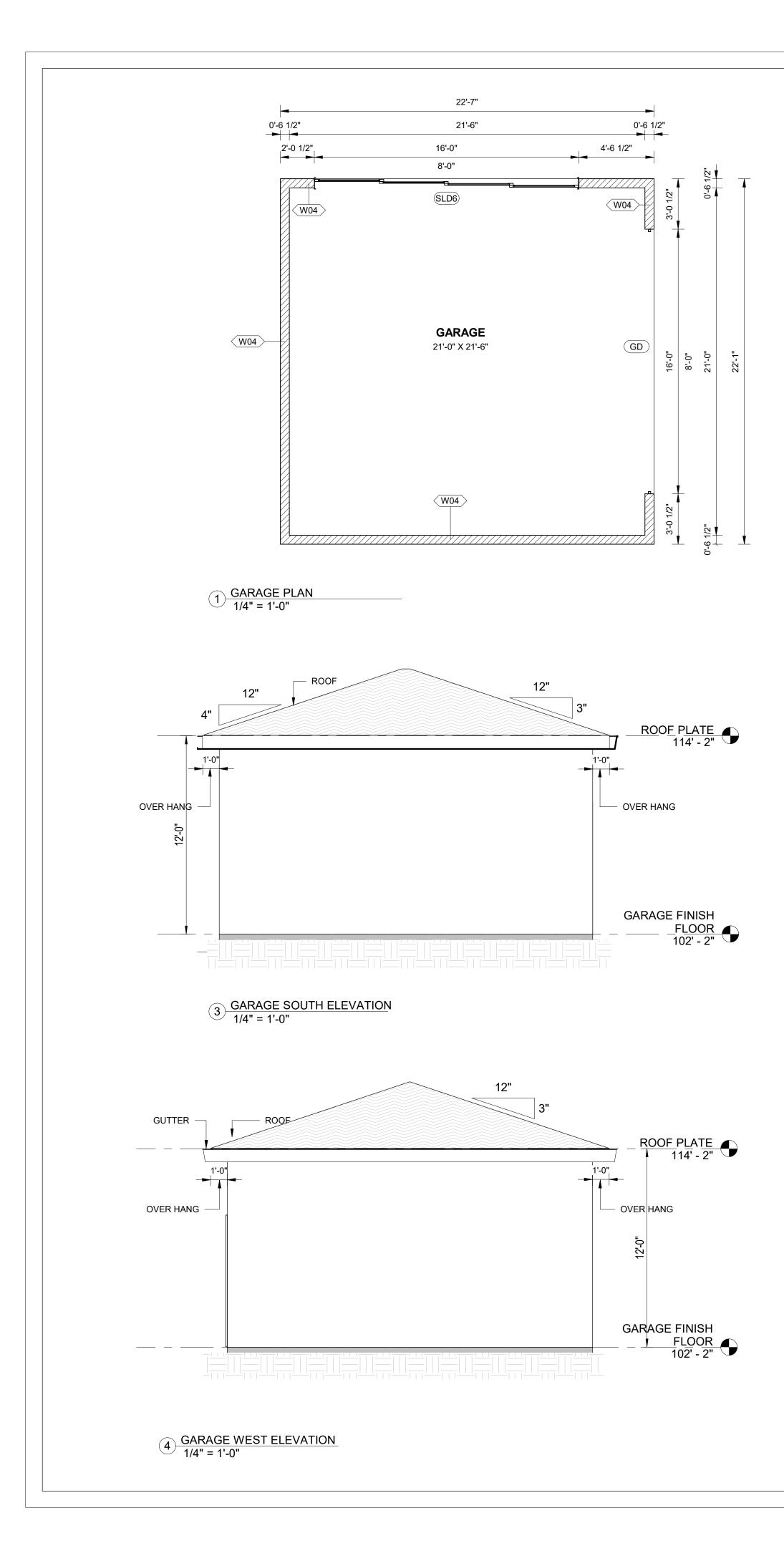


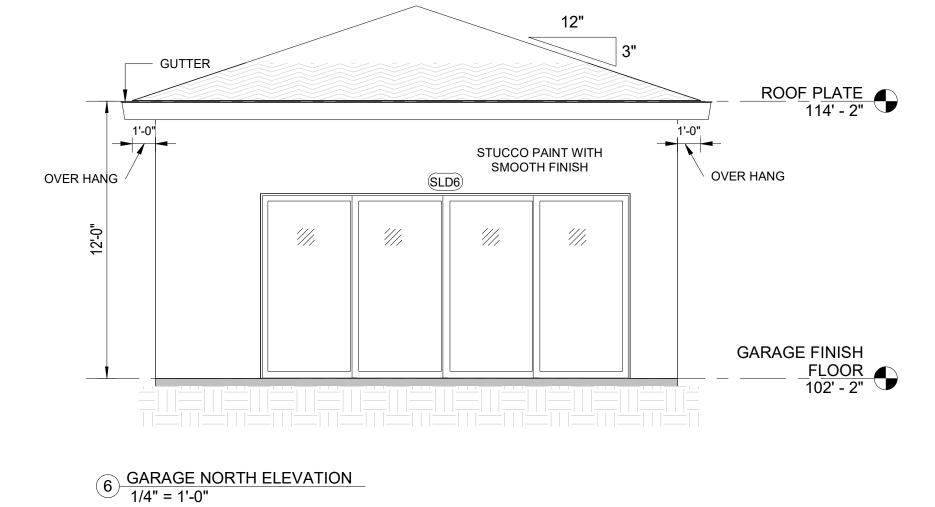
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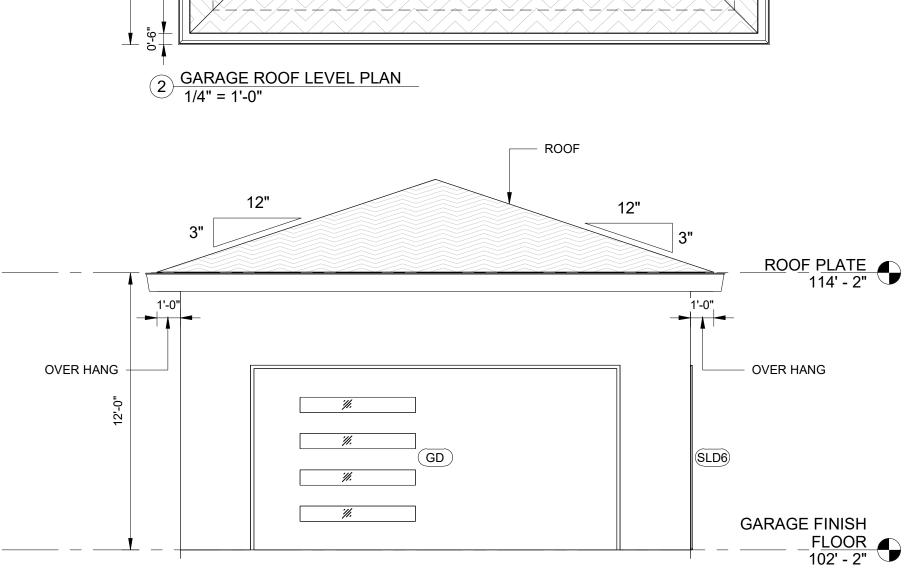


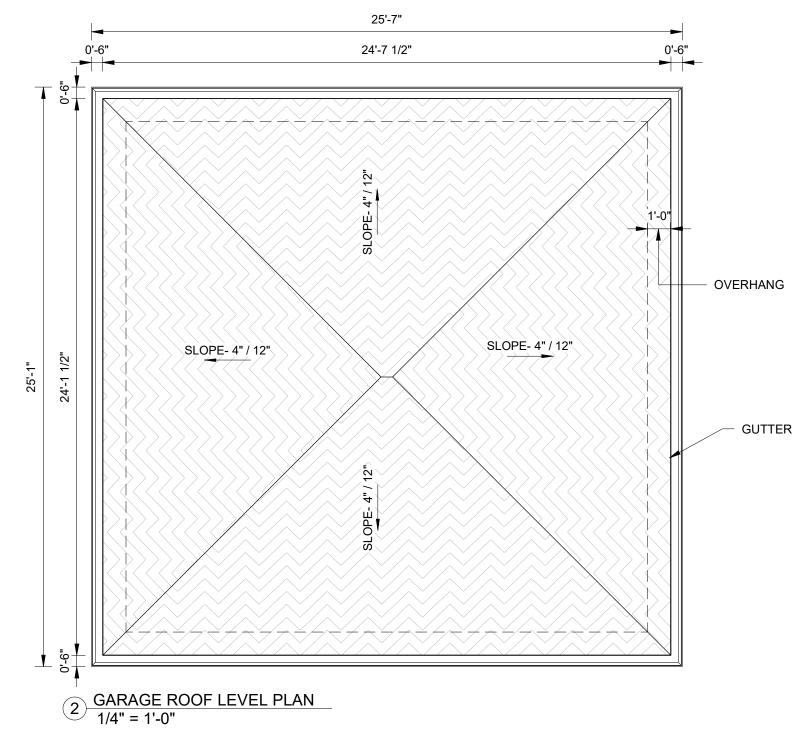
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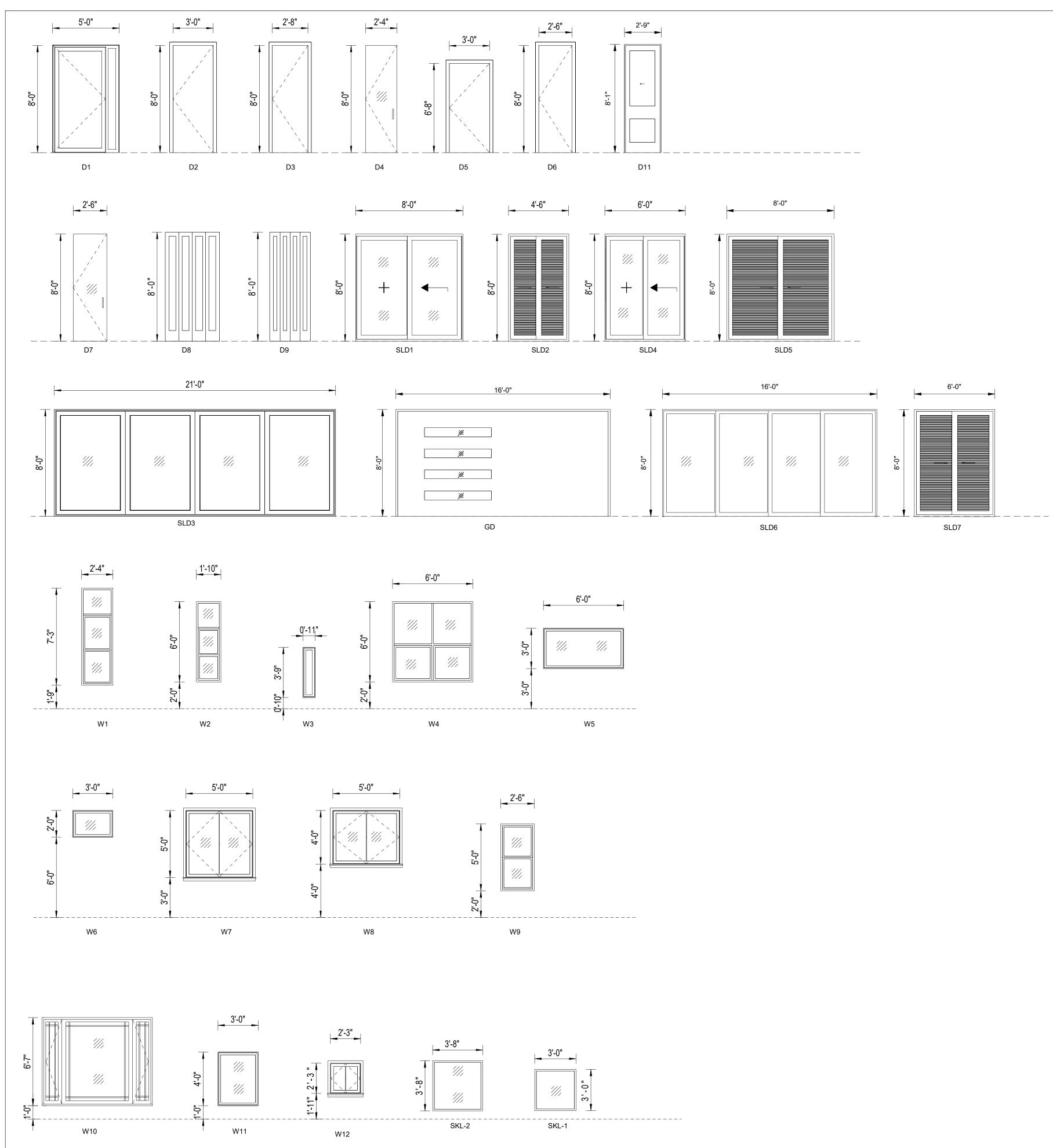


### 5 GARAGE EAST ELEVATION 1/4" = 1'-0"





NOTES:				
WALL I	<u>EGEND ( FIRST LEVEL)</u>			
W01	TYPICAL 12" CON	CRETE WALL		
W02	TYPICAL 8" CONC	RETE WALL		
W03	TYPICAL 2x4 INT	WALLS @16" OC		
W04	TYPICAL 2x6 EXT	WALLS @16" OC		
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	RBOR AVE LOS ALT	OS		
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DRG NO: A-4.001				
DRG NO: A-4.001 GARAGE PLAN				
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GARAGE PLAN         DATE:       27-SEPT-2021         DRAWN BY:       PRAKASH		VI		
GARAGE PLAN DATE: 27-SEPT-2021	ADDRESS : 329 S San Antoni	D Road #8, Los Altos, (	<b>A</b> 94022	

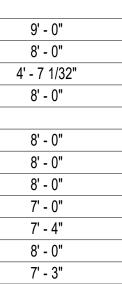


DOOR SCHEDULE WIDTH HEIGHT H MARK COUNT 4' - 11" 3' - 0" 2' - 8" 2' - 6" 8' - 0" 8' - 0" 8' - 0" D2 D3 D6 D7 13 8' - 0" 3 2' - 6" 4' - 0" 8' - 0" D8 8' - 0" D8 D9 D11 GD SLD1 SLD2 SLD3 3' - 0" 2' - 8" 8' - 0" 8' - 0" 16' - 0" 8' - 0" 4' - 6" 8' - 0" 8' - 0" 8' - 0" 21' - 0" 8' - 0" SLD4 SLD6 SLD7 8' - 0" 8' - 0" 8' - 0" 6' - 0" 16' - 0" 6' - 0"

		WINDOW SC	CHEDULE	
MARK	COUNT	WIDTH	HEIGHT	HEAD HE
SKL1	2	3' - 0"	3' - 0"	
SKL2	4	3' - 8"	3' - 8"	
W1	6	2' - 4"	7' - 3"	9' - (
W2	3	1' - 10"	6' - 0"	8' - (
W3	1	0' - 11"	3' - 9"	4' - 7 1
W4	2	6' - 0"	6' - 0"	8' - (
W5	3	6' - 0"	3' - 0"	
W6	2	3' - 0"	2' - 0"	8' - (
W7	16	5' - 0"	5' - 0"	8' - (
W8	3	5' - 0"	4' - 0"	8' - (
W9	2	2' - 6"	5' - 0"	7' - (
W10	1	8' - 0"	6' - 4"	7' - 4
W11	2	3' - 0"	4' - 0"	8' - (
W12	1	2' - 3"	2' - 3"	7' - 3

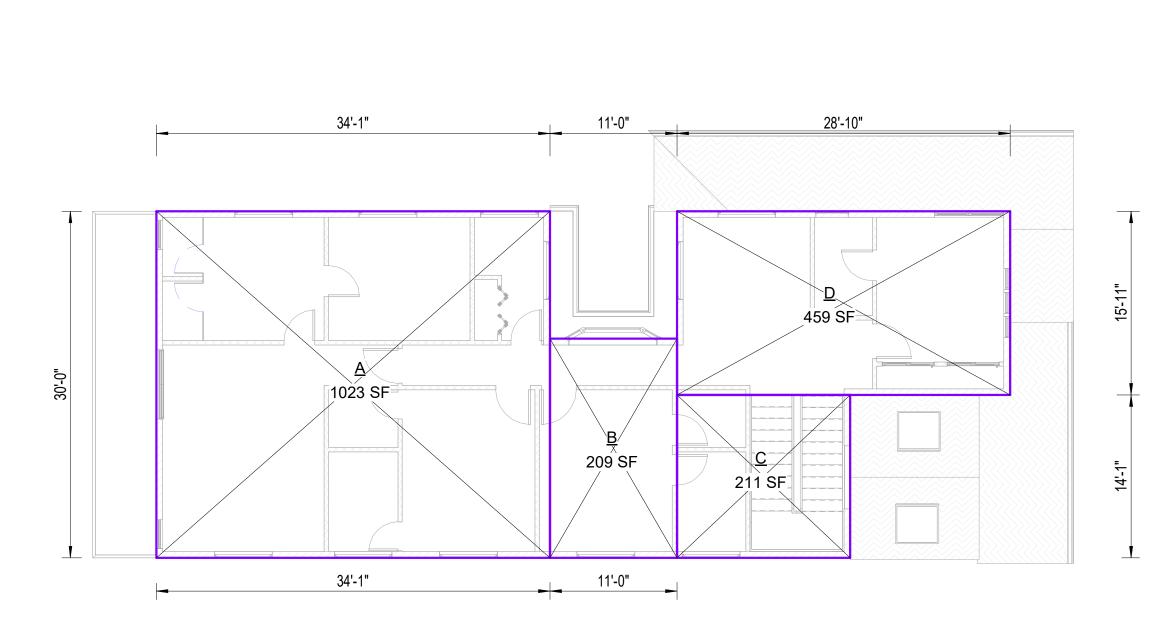
EAD HEIGHT
8' - 0"
8' - 0"
8' - 0"
8' - 0"
8' - 0"
8' - 0"
8' - 0"
8' - 0"
11' - 1"
8' - 0"
8' - 0"
8' - 0"
8' - 0"
8' - 0"
8' - 0"

HEAD HEIGHT

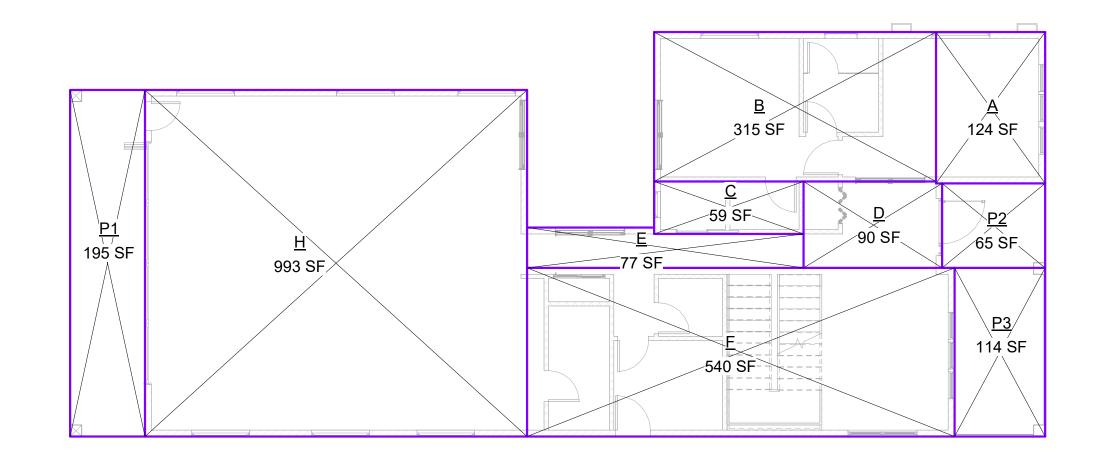


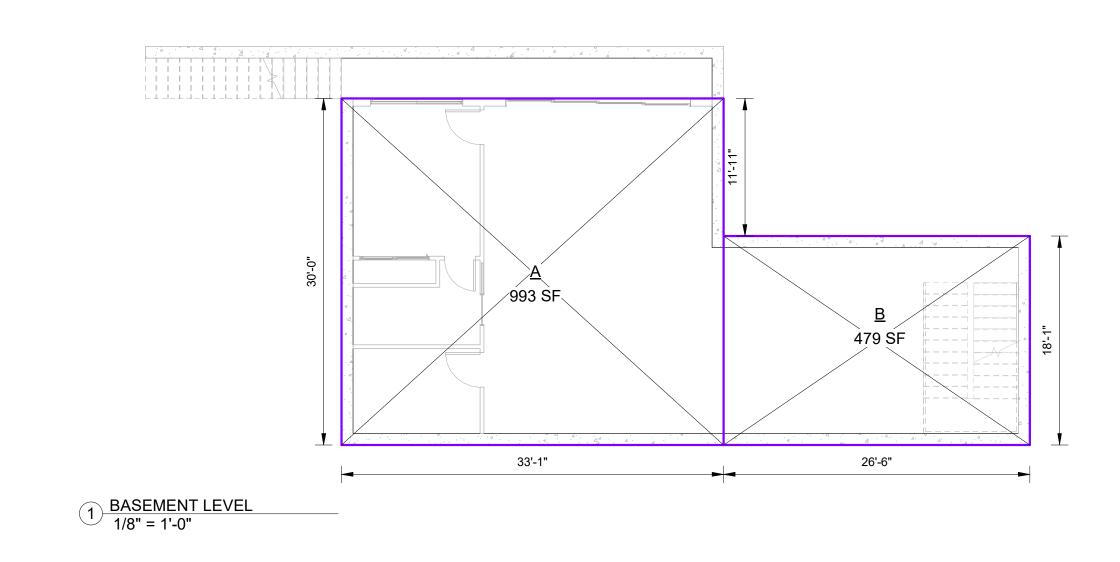
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DRG NO: A-5.001 DOOR AND WINDO DATE: 27-SEPT-2021 DRAWN BY: PRAKASH		DULE		CA 94022





3 FIRST FLOOR FINISH 1/8" = 1'-0"





AREA CALCULATION BASEMENT					
MARK AREA LENGTH AREA WIDTH AREA					
A	30' - 0"	33' - 1"	993 SF		
В	18' - 1"	26' - 6"	479 SF		
Grand total: 2	·		1472 SF		

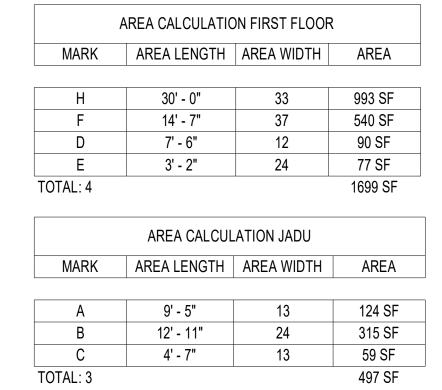
FIRST	LEVEL AREA + SECOND LEVEL AREA +	- JA
1,699	+ 1,901 + 497 + 499 = 4,596 SF	

ALLOWABLE FLOOR AREA = 4763.2 SF

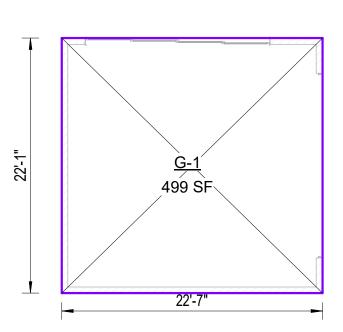
FIRST LEVEL AREA + PATIO AREA + JADU + DETACHED GARAGE = TOTAL LOT COVERAGE AREA 1,699 + 375 + 497 + 499 = 3,070 SF

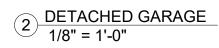
ALLOWABLE LOT COVERAGE AREA = 3789.6 + 500 = 4289.6 SF

BASEMENT FLOOR AREA = 1472 SF

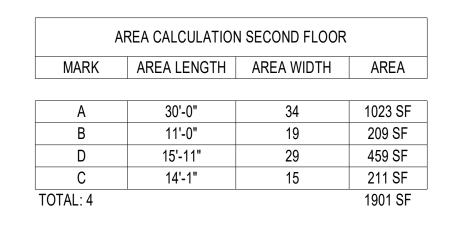


AREA CALCULATION PORCH					
MARK AREA LENGTH AREA WIDTH AREA					
P1	6' - 6"	30	195 SF		
P3	7' - 10"	15	114 SF		
P2	7' - 4"	9	65 SF		
TOTAL: 3			375 SF		





AREA CALCULATION DETACHED GARAGE				
MARK	AREA LENGTH	AREA WIDTH	AREA	
G-1	22' - 1"	23	499 SF	
TOTAL: 1			499 SF	



+ JADU + DETACHED GARAGE	= TOTAL FLOOR ARE

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•	AFTER COMP ·LARGER SCA	LETION. LE DRAWINGS AND	DETAILS SU	JPERCEDE
•	THIS DRAWIN	R SCALE DRAWINGS G SHALL BE REFER NTIONED IN ITS TIT	RED ONLY F	OR THE
	PATTERN, FA	LSE CEILING, SHUT PLUMBING, ETC.)	<b>\</b>	
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	ED BY: SUBHENDU			ノ
PROJEC			Road #8, Los Altos, C	CA 94022
SCALE:	1/8" = 1'-0"	CONTACT : 650-209-6500 EMAIL : team@golivio.com		

	EXTERIOR COLOR / MATERIAL SCHEDULE					
ΟF	MATERIAL / APPLICATION	CODE	COLOR	MANUFACTURE		
ROOF	METAL ROOFING	M1	BLACK	GAF OR EQ		
	CONCRETE	M2	GREY	-		
WALL	BLUE STREAK QUARRY STONE VENEER	M3	CREAM	FLOOR & DECOR ,ACME BRICK OR EQ		
Š	SMOOTH STUCCO	M4	WHITE	-		
	WOODEN SIDING		BROWN	JAMES HARDIE OR EQ		
	GARAGE DOOR	M5	BLACK	CLOPAY DOOR OR EQ		
	METAL WINDOW FRAMES	M6	BLACK	MILGARD OR EQ		
SC.	SLIDING GLASS DOOR	M7	BLACK	MILGARD OR EQ		
SIM	ACCORDION GLASS DOOR	M8	BLACK	LACANTINA DOOR OR EQ		
	GLASS GUARDRAIL	M9	BLACK	VIEWRAIL OR EQ		
	WOODEN GUARDRAIL	M10	BROWN	STAIRSUPPLIES OR EQ		

\* NOTES: EXACT COLORS TO BE VERIFIED w/ OWNER & ARCHITECT M10 WOODEN GUARDRAIL CONCRETE DRIVEWAY & WALKWAY M1 M2 STONE VENEER M3

No.

SLIDING GLASS DOOR

M6



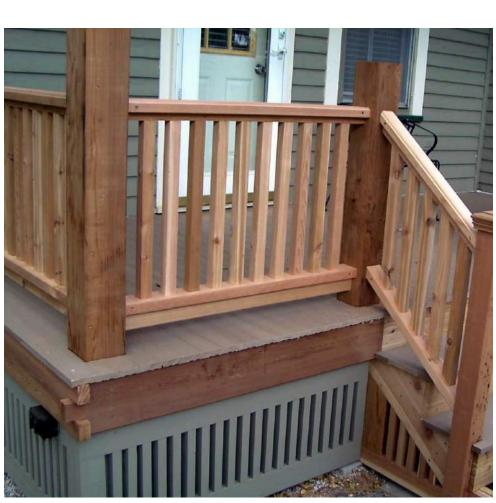


METAL ROOFING -------

GARAGE DOOR

M5

METAL WINDOW FRAME

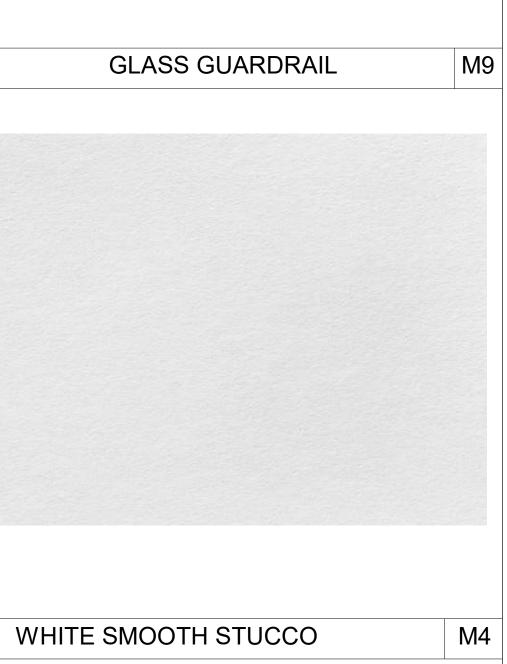






M7





GLASS	DOOR	

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THE SMALLER S	EDRAWINGS AND CALE DRAWINGS SHALL BE REFER	AND DETAI	LS.
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MATERIAL BOARD			
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CHECKED BY: SUBHENDU PROJECT NO: AD		Road #8, Los Altos, (	<b>A</b> 94022

### COUNTY OF SANTA CLARA General Construction Specifications

### GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY
- THIS REPORT IS SUPPLEMENTED BY: 1) THESE DATED PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS. 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE
- PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN
- ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR
- OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. 5.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES
- CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS. UPON DISCOVERING OR UNFARTHING ANY BURIAL SITE AS EVIDENCED BY
- HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (4008) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).
- THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

### <u>construction staking</u>

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY 14. TOTAL DISTURBED AREA FOR THE PROJECT AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK
- ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

### CONSTRUCTION INSPECTION

- PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL, CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

### SITE PREPARATION (CLEARING & GRUBBING)

- AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE <u>ACCESS</u> ROADS AND DRIVEWAYS EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AS FOLLOWS: A) TO A MINIMUM DEPTH OF 2' BELOW THE FINISHED GRADE OF PROPOSED
- ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE) B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE 2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

### JTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND
- WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING
- UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN 1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS
- DIRECTED BY THE COUNTY. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

### ETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING CONTINUAL CONTROL OF THE COUNTY INSPECTOR. INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

### GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
- 2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
- 4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT. FILL OR ROADWAY AREAS. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING
- AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY. 6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH		
RESIDENCE/BASEMENT	550	0	9.6'		
DETACHED GARAGE	30	0	2'		
HARDSCAPE	5	10	1'		
LANDSCAPE	5	0	1'		
DRIVEWAY	0	35	1'		
OFFSITE IMPROVEMENTS	OFFSITE IMPROVEMENTS				
TOTAL	590	45			
EARTHWORK QUANTITIES SHOWN ON THIS TABLE ARE FOR INFORMATION ONLY. CONTRACTORS ARE TO PERFORM THEIR					

OWN QUANTITIES TAKE-OFF.

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD. 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER
- BEFORE IT IS BROUGHT TO THE SITE. 9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE
- CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% 10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION
- 11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
- 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA. 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE
- DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
- 6.750 SF.
- 15. WDID NO.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT 16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

### TREE PROTECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROP DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING: FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE
  - OF THE TREE OR GROVE OF TREES. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR
  - DAMAGE AND PROPER FUNCTION. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
  - SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
  - 2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND
  - DEVELOPMENT ENGINEERING INSPECTOR 3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
- LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING. 3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING
- PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS 4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON
- THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

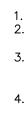
### STREET LIGHTING

DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

- SANITARY SEWER
- THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY. 2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL
- CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

### PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE



### AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD. 3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. 4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY
- POWDER SWEEPING IS PROHIBITED. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- 7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR. 8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION. 9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES
- THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED. A. 15 MILES PER HOUR (MPH) SPEED LIMIT 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
- TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAIN HOTLINE OF 1-800-334-6367.
- 10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING. 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- 12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SD8. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- 14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE 15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY
- RELEASE BY THE BUILDING INSPECTION OFFICE. 16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR. 17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE
- LIMITED TO THE FOLLOWING; A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS. B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION
- MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET
- WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. 18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY. 19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS. DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION
- CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

### STORM DRAINAGE AND STORMWATER MANAGEMENT

- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004/ ORDER NO. 2013-0001-DWQ. 2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

### AS-BUILT PLANS STATEMENT

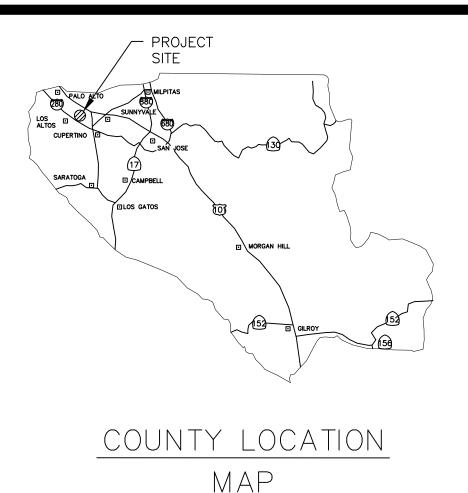
THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (^). THERE (\_\_\_WERE) \_ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL ( $\Delta$ ).

### SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPYOF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTERCONSTRUCTION.

### GEOTECHNICAL ENGINEER OBSERVATION

A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



### SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
- 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
- 3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

### BENCHMARK

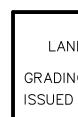
SET NAIL FOR SITE BENCHMEARK FLEVATION=99.03' NAVD 1988 DATUM

### BASIS OF BERINGS

THE BEARING N46'16'00"W OF CENTERLINE OF ARBOR AVENUE AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE LOS ALTOS COUNTRY CLUB PROPERTIES LOYOLA" FILED IN BOOK "R" OF MAPS AT PAGE 50-53, SANTA CLARA COUNTY RECORDS.

- INSPECTION.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS ISSUED BY: \_\_\_\_\_ DATE: \_\_\_\_\_



NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHUOT AN ENCROACHEMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

### ENGINEER'S STATEMENT

ENCROACHMENT PERMIT NO.

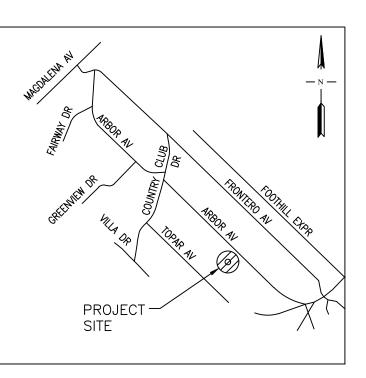
I HEARBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED BUILDING SITE APPROVAL AND CONDITIONS OF APPROVAL PERTAINING THERETO.



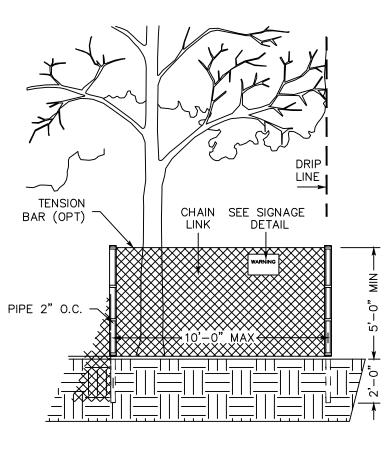
### COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER. PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

R.C.E. NO.



VICINITY MAP NOT TO SCALE



### EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS. 2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL

(CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY). 3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO HE GROUND AND SPACED NOT MORE THAN 10 FEET APART 4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD. INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION. REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL

5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

ID	COUNTY OF SANTA DEVELOPMENT ENGINEER	
IG	/ DRAINAGE PERMIT NO	
	Y:	DATE:

50541	
R.C.E. NO.	
6/30/23	
RENEWAL DATE	

# EXPIRATION DATE

# **GRADING & DRAINAGE PLAN 1516 ARBOR AVENUE** LOS ALTOS, CA

### SCOPE OF WORK

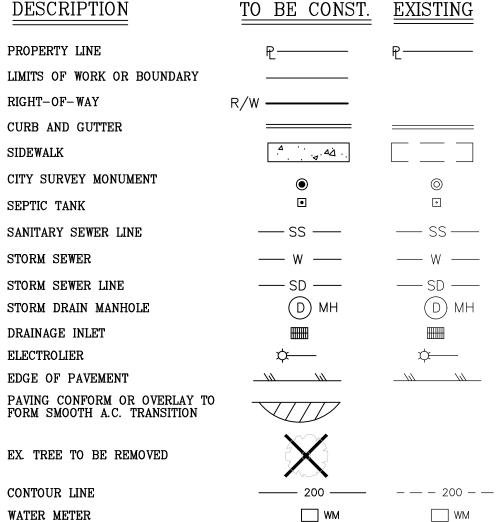
WITHIN RIGHT-OF-WAY COVERED UNDER ENCROACHMENT PERMIT

- RECONSTRUCT EX. AC DRIVEWAY TO COUNTY STD. B4A DRIVEWAY.
- 2. INSTALL NEW UNDERGROUND UTILITIES AND TEMPORARY CONSTRUCTION POWER BY RESPECTIVE UTILITY COMPANIES.
- INSTALL AND MAINTAIN PROPER BMPS. 4. INSTALL, MAINTAIN AND REMOVAL OF TRAFFIC CONTROL

### OUTSIDE RIGHT-OF-WAY COVERED UNDER BUILDING PERMIT

- 1. CLEARING OF ORGANIC AND FOREIGN MATERIALS FROM AREA TO BE GRADED. REMOVAL AND DISPOSING OF THESE MATERIAL TO THE COUNTY APPROVED DUMP SITES.
- INSTALL EROSION AND SEDIMENTATION CONTROL.
- GRADING FOR THE PROPOSED BUILDING PAD. DEVELOP GROUND COVER ON ALL EXPOSED DISTURBED SURFACES.
- 5. CONSTRUCT NEW BUILDING STRUCTURE, HARDSCAPE, DRIVEWAY,
- DETENTION BASIN. AND ALL UTILITIES UPGRADES & CONNECTIONS.
- 6. CLEAN UP THE SITE.

### LEGEND



WATER METER POWER POLE AND OVERHEAD WIRE SPOT ELEVATION

WM ОН — О- ЈР × 21.16

SHEET INDEX					
1	TITLE SHEET				
2	DEMOLITION PLAN				
3	GRADING & DRAINAGE				
4	STANDARD DETAILS				
5	TRAFFIC CONTROL PLAN				
6	EROSION CONTROL				
7	COUNTY BMP 1				
8	COUNTY BMP 2				
ENGIN	NEER'S NAME:				
ADDR	ESS: 505 ALTAMONT DRIVE MILPITAS, CA 95035				
PHON	IE NO. <u>(408)</u> 262–1899				
FAX NO. (408) 824-5556					
TITLE SHEET					
Revisio	n 1 Date APN	Sheet			

Date

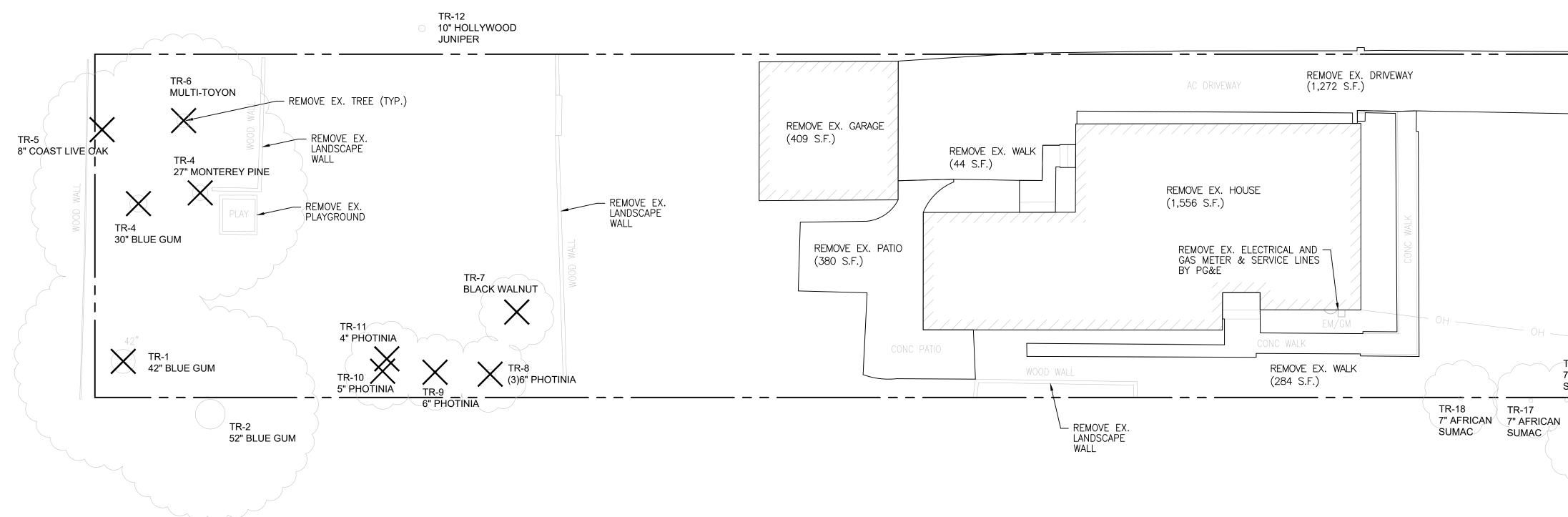
Date

Revision 2

Revision 3

331-10-074

Co. File

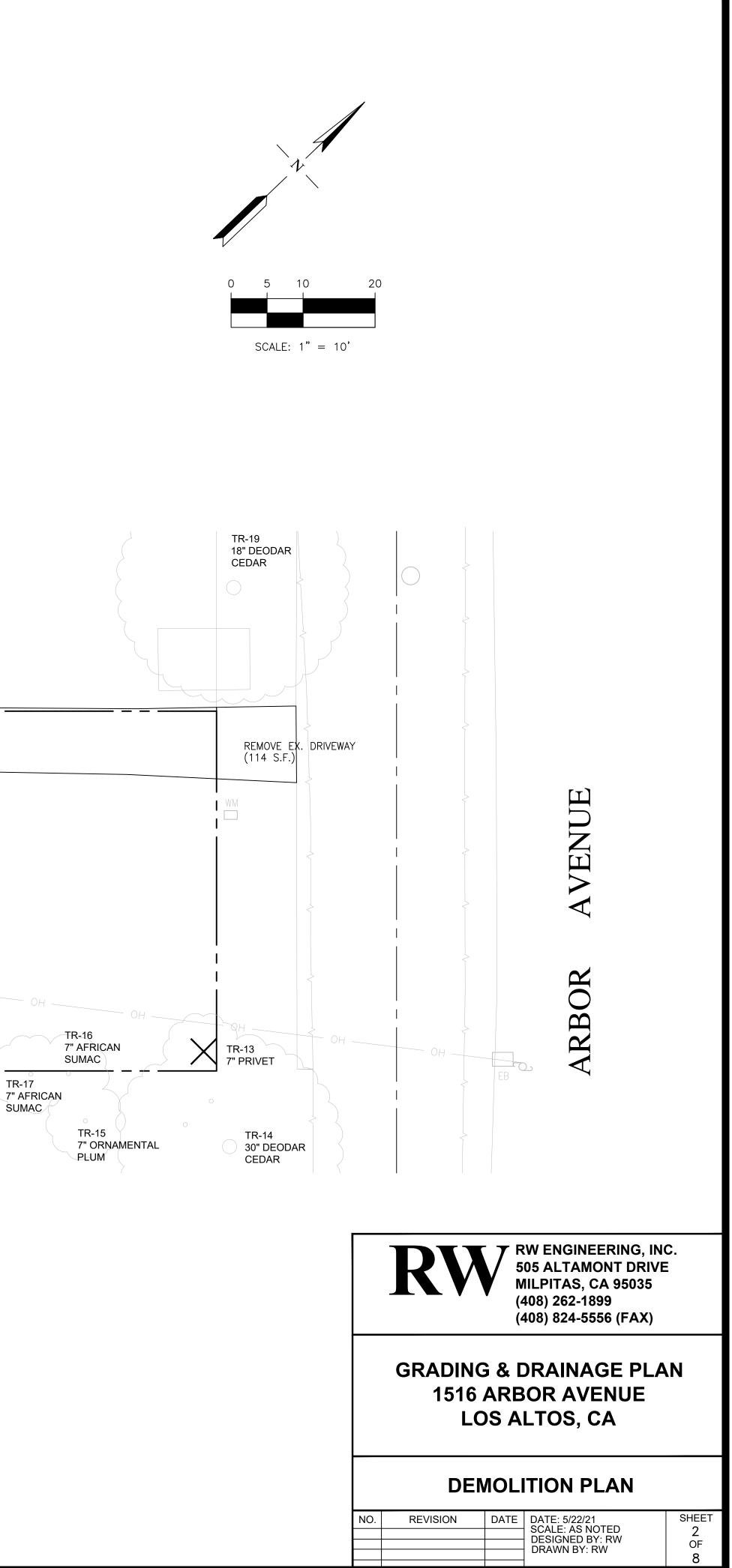


### IMPERVIOUS SURFACES (OUTSIDE COUNTY R/W)

LOCATION	EXISTING (SF)	PROPOSED (SF)	
DRIVEWAY	1,272	2,823	
HOUSE & GARAGE	1,965	2,695	
WALKWAY	328	180	
PORCH & PATIO	380	950	NET CHANGE
TOTAL	3,945	6,648	+2,703

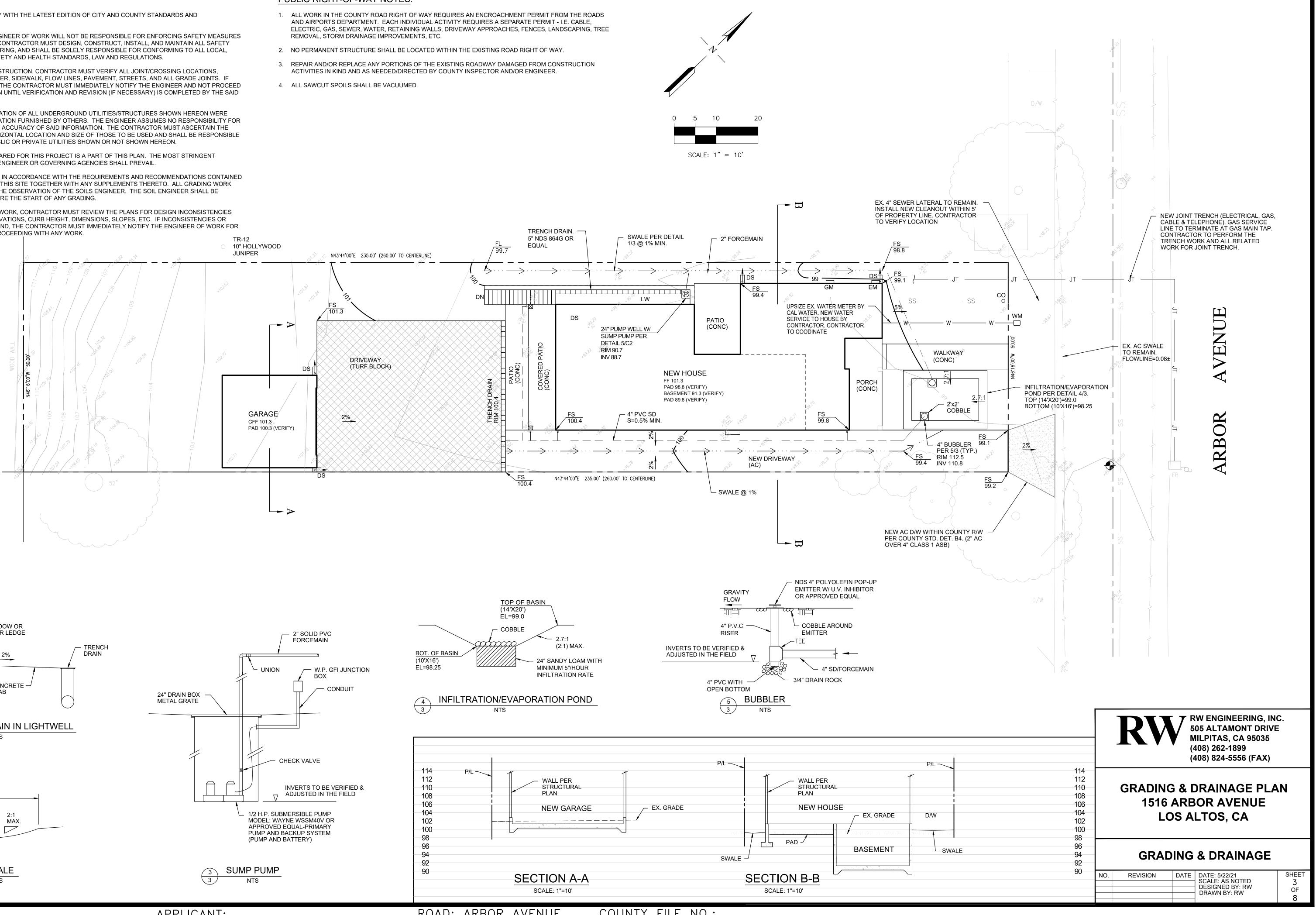
### IMPERVIOUS SURFACES (WITHIN COUNTY R/W)

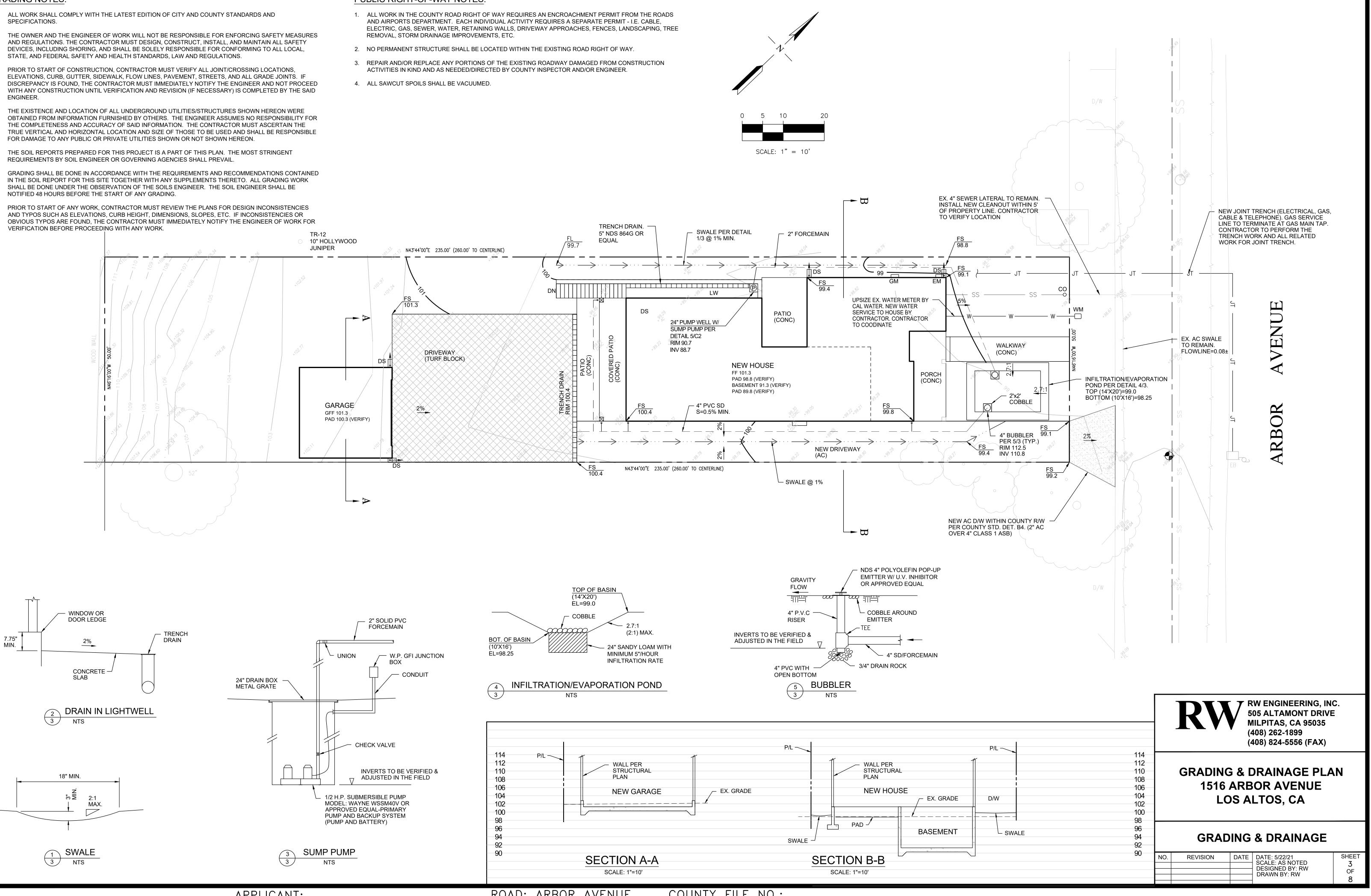
LOCATION	EXISTING (SF)	PROPOSED (SF)	
DRIVEWAY	144	167	NET CHANGE
TOTAL	144	167	23



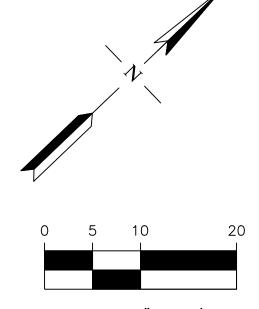
### **GRADING NOTES:**

- 1. ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF CITY AND COUNTY STANDARDS AND SPECIFICATIONS.
- 2. THE OWNER AND THE ENGINEER OF WORK WILL NOT BE RESPONSIBLE FOR ENFORCING SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR MUST DESIGN, CONSTRUCT, INSTALL, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAW AND REGULATIONS.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY ALL JOINT/CROSSING LOCATIONS, 3. ELEVATIONS, CURB, GUTTER, SIDEWALK, FLOW LINES, PAVEMENT, STREETS, AND ALL GRADE JOINTS. IF WITH ANY CONSTRUCTION UNTIL VERIFICATION AND REVISION (IF NECESSARY) IS COMPLETED BY THE SAID ENGINEER.
- 4. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES/STRUCTURES SHOWN HEREON WERE OBTAINED FROM INFORMATION FURNISHED BY OTHERS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND ACCURACY OF SAID INFORMATION. THE CONTRACTOR MUST ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF THOSE TO BE USED AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.
- 8. IN THE SOIL REPORT FOR THIS SITE TOGETHER WITH ANY SUPPLEMENTS THERETO. ALL GRADING WORK SHALL BE DONE UNDER THE OBSERVATION OF THE SOILS ENGINEER. THE SOIL ENGINEER SHALL BE NOTIFIED 48 HOURS BEFORE THE START OF ANY GRADING.
- PRIOR TO START OF ANY WORK, CONTRACTOR MUST REVIEW THE PLANS FOR DESIGN INCONSISTENCIES 9 AND TYPOS SUCH AS ELEVATIONS, CURB HEIGHT, DIMENSIONS, SLOPES, ETC. IF INCONSISTENCIES OR OBVIOUS TYPOS ARE FOUND, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER OF WORK FOR VERIFICATION BEFORE PROCEEDING WITH ANY WORK.

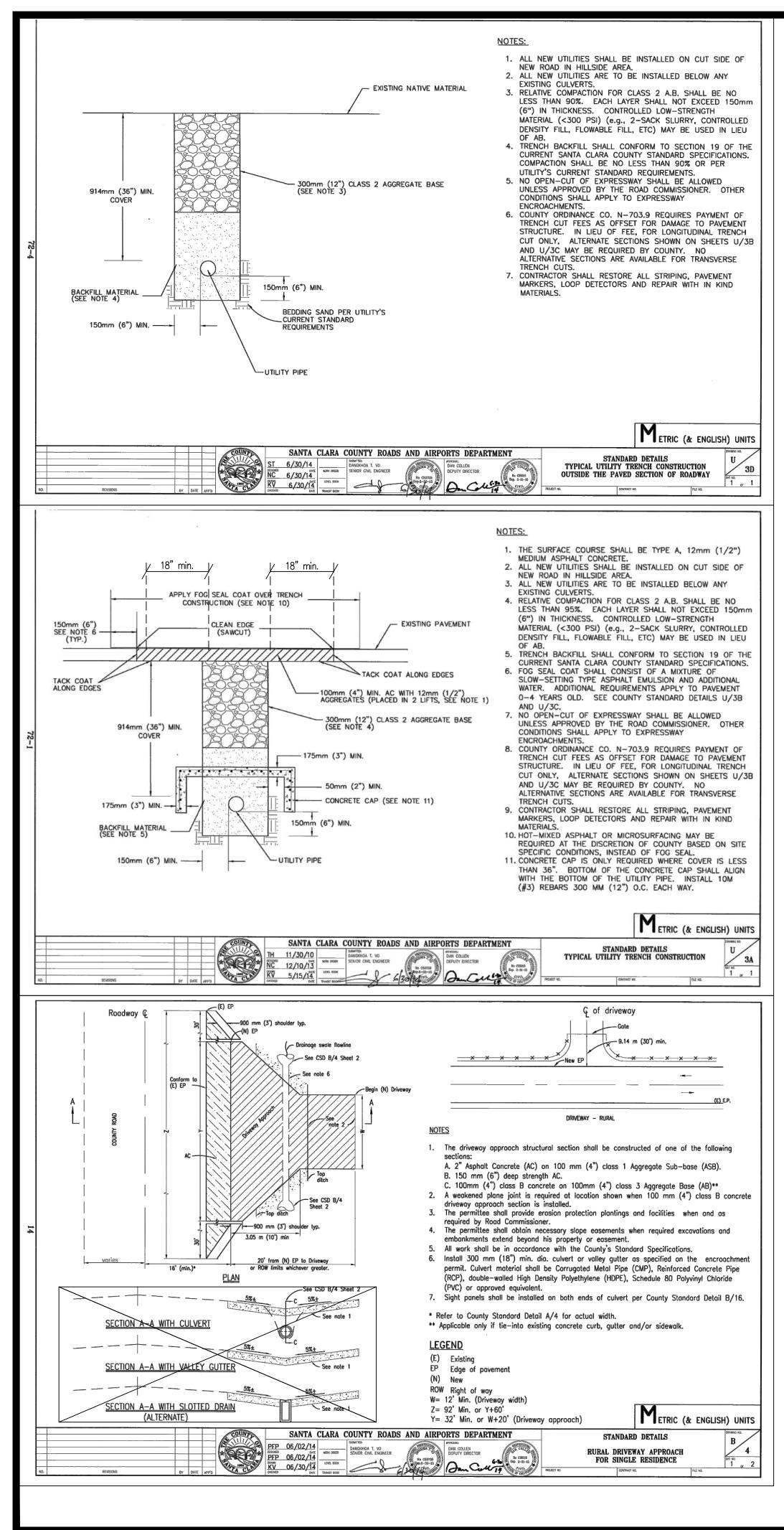




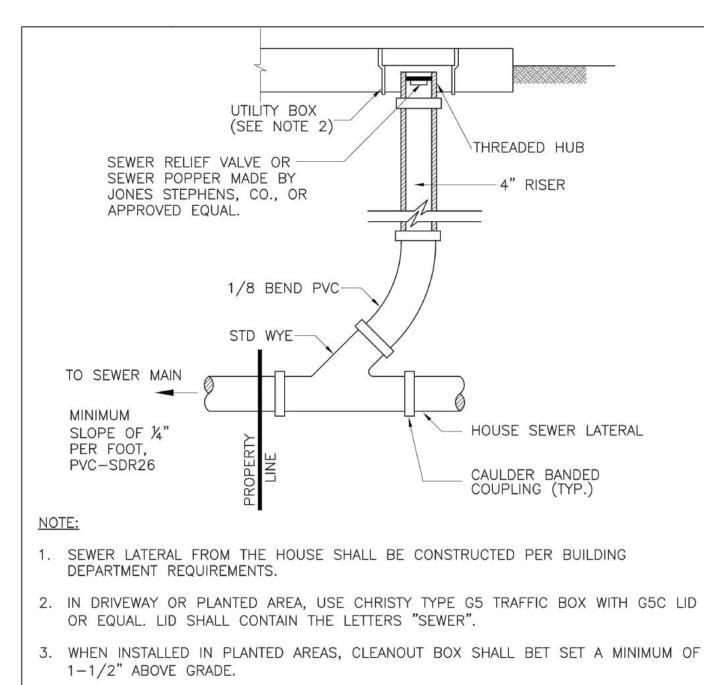
### PUBLIC RIGHT-OF-WAY NOTES:



ROAD: ARBOR AVENUE COUNTY FILE NO .:

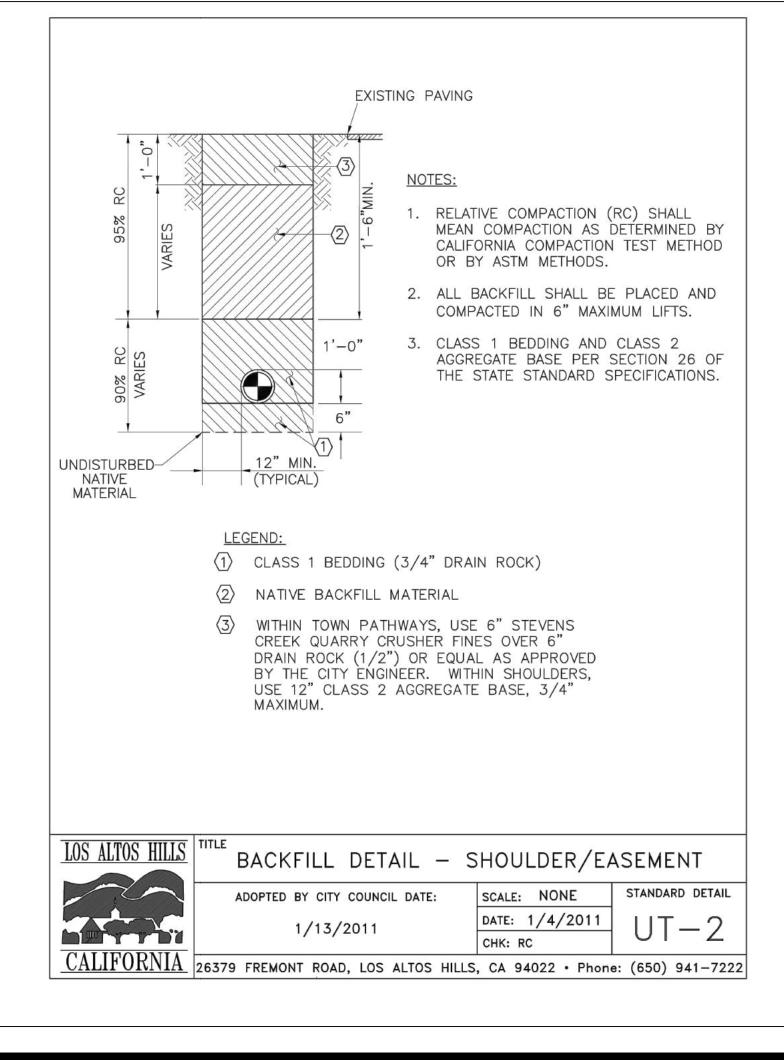


**APPLICANT:** 



- 4. OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACE OF LATERAL, FROM THE BUILDUNG TO THE MAIN CONNECTION INCLUDING THE WYE AT THE MAIN, SEWER RELIEVE VALVE AND BACKFLOW PREVENTOR.
- 5. INSTALL BACKFLOW PREVENTOR "CLEAN CHECK" EXTENDABLE BACKWATER VALVE, OR APPROVED EQUAL, UPSTREAM OF PROPERTY LINE CLEANOUT.

LOS ALTOS HILLS	VERTICAL SEWER L	ATERAL CLEA	ANOUT
	ADOPTED BY CITY COUNCIL DATE: 1/13/2011	SCALE: NONE DATE: 1/6/2011 CHK: RC	standard detail
CALIFORNIA	26379 FREMONT ROAD, LOS ALTOS HILLS		e: (650) 941-7222



- **GENERAL NOTES FOR SEWER LATERAL CONNECTIONS**
- Department. Standard Details, Construction Standards, and the City Engineer.
- 3. The approval of these plans by the Town shall be interpreted to mean that the sanitary sewer design shown on these plans meets the Town's Standards. The Town's approval in no way guarantees any other aspect of this plan or its accuracy relative to actual field conditions.
- 4. The City Engineer is authorized to require modifications during construction. 5. The contractor shall contact the Town at 650-941-7222, two (2) working days in advance of beginning any sanitary sewer work. The contractor shall thereafter keep the Town Inspector informed of his schedule for sanitary sewer work.
- 6. Prior to commencement of excavation work, the contractor shall contact all utility companies by calling Underground Service Alert (USA) at 1-800-227-2600 at least forty-eight (48) hours prior to start of construction.
- 7. The contractor shall field verify the location of all utilities before beginning any excavation. 8. The contractor shall obtain any and all permits required by the Town before beginning any sanitary sewer work.
- 9. Contractor shall obtain encroachment permit prior to any work in the Town right-of-way. A preconstruction meeting is required with the Public Works Department. 10. Applicant shall provide sufficient deposit to the Town for inspection, testing, community outreach,
- staff time, arborist, traffic consultants, safety specialist and other services as determined by the City Engineer. Any outstanding deposit shall be paid in full prior to final sign off.
- 11. Sewer connection permits shall be issued by the Town for all proposed new connections. 12. Existing sanitary sewer service shall be maintained at all times. The contractor shall use whatever means necessary (e.g. pumps, bypass lines, etc.) to maintain this service during construction.
- 13. Prior to commencing any sanitary sewer work in easements, the contractor shall provide the Town with adequate evidence that all affected property owners (and tenants where applicable) were notified forty-eight (48) hours prior to the date of work and that they have updated that notice in a timely manner when those dates have changed.
- 14. All sanitary sewer work constructed without inspection by the Town shall be removed and reconstructed with inspection.
- 15. All sanitary sewer laterals shall be 4" PVC-SDR 26 or approved equal, one per lot and marked with the letter 'S' on a post per Town's standards. 16. Sewer laterals shall be a minimum of 4' below top of curb or finished ground at property line unless authorized by the City Engineer.
- 17. The contractor shall be responsible for verifying the elevation of all existing storm drains and sewers
- to be extended or connected prior to commencing work. 18. Traffic Control Plan shall be prepared by a licensed Traffic Engineer. Traffic Control Plan shall be in accordance with Town's construction standards and subject to review and approval of the City
- Engineer prior to permit issuance. 19. Two open traffic lanes are required during all non-working hours. One travel lane may be closed during work hours when flaggers are present.
- 20. Sewer trenches and permanent pavement within right-of-way and/or easements shall conform to Town's Standard Detail UT-1 and UT-2.
- 21. Comply with Cal/OSHA Title 8 Regulations paying special attention to Chapter 4 Division of Industrial Safety, Subchapter 4, Article 6 regarding Excavations. The contractor shall install

greater than 4 feet in depth as per Cal/OSHA requirements.

- 22. No open trenches in the street right-of-way will be allowed overnight. All trenches shall be backfill the same day the trench was excavated, except that portion of the trench or excavation to be used for connecting the extension of the installation. That said portion shall be adequately barricaded and protected to the satisfaction of the City Engineer or his representative. Excavations or trenches for poured in place concrete manhole may remain open for a period not to exceed seven days, providing said excavation or trenches are adequately barricaded, fenced, and plated with skid resistant steel plate of adequate thickness and flushed with pavement. The number of plates to be utilized each day shall be approved by the City Engineering or his representative.
- 23. 'Tracer Wire' shall be installed along the top of the pipe for all sections of the sewer line. The wire shall be solid copper AWG #10 with an insulated jacket. Detector tape shall also be installed within top 12" of pavement.
- 24. The Town is not responsible for cleaning private sewer laterals. The property owner is fully responsible for maintenance, repair, and replacement of the (a) lateral from the house to the main including wye connection at the main, (b) overflow, and (c) backflow devices. 25. All works to be done to the satisfaction of the City Engineer.

1. All References to "Town" in these general notes shall mean Town of Los Altos Hills Public Works

2. All sanitary sewer workmanship and materials shall conform to requirements of current Town

"protective systems" for trenches deeper than 5 feet in depth and "access and egress" for trenches

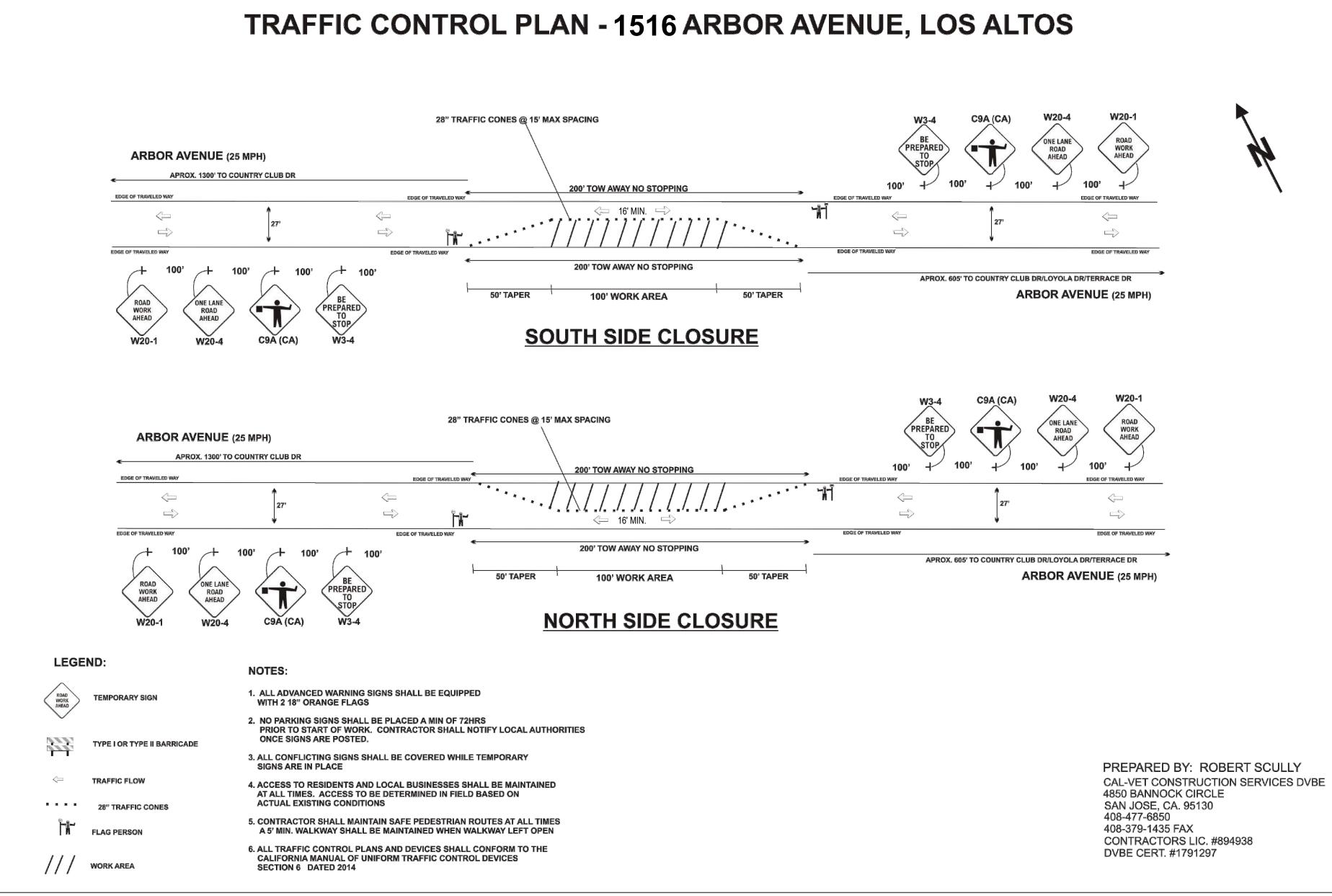


**RW ENGINEERING, INC.** 505 ALTAMONT DRIVE MILPITAS, CA 95035 (408) 262-1899 (408) 824-5556 (FAX)

# **GRADING & DRAINAGE PLAN 1516 ARBOR AVENUE** LOS ALTOS, CA

# **STANDARD DETAILS & NOTES**

NO.	REVISION	DATE	DATE: 5/22/21	SHEET
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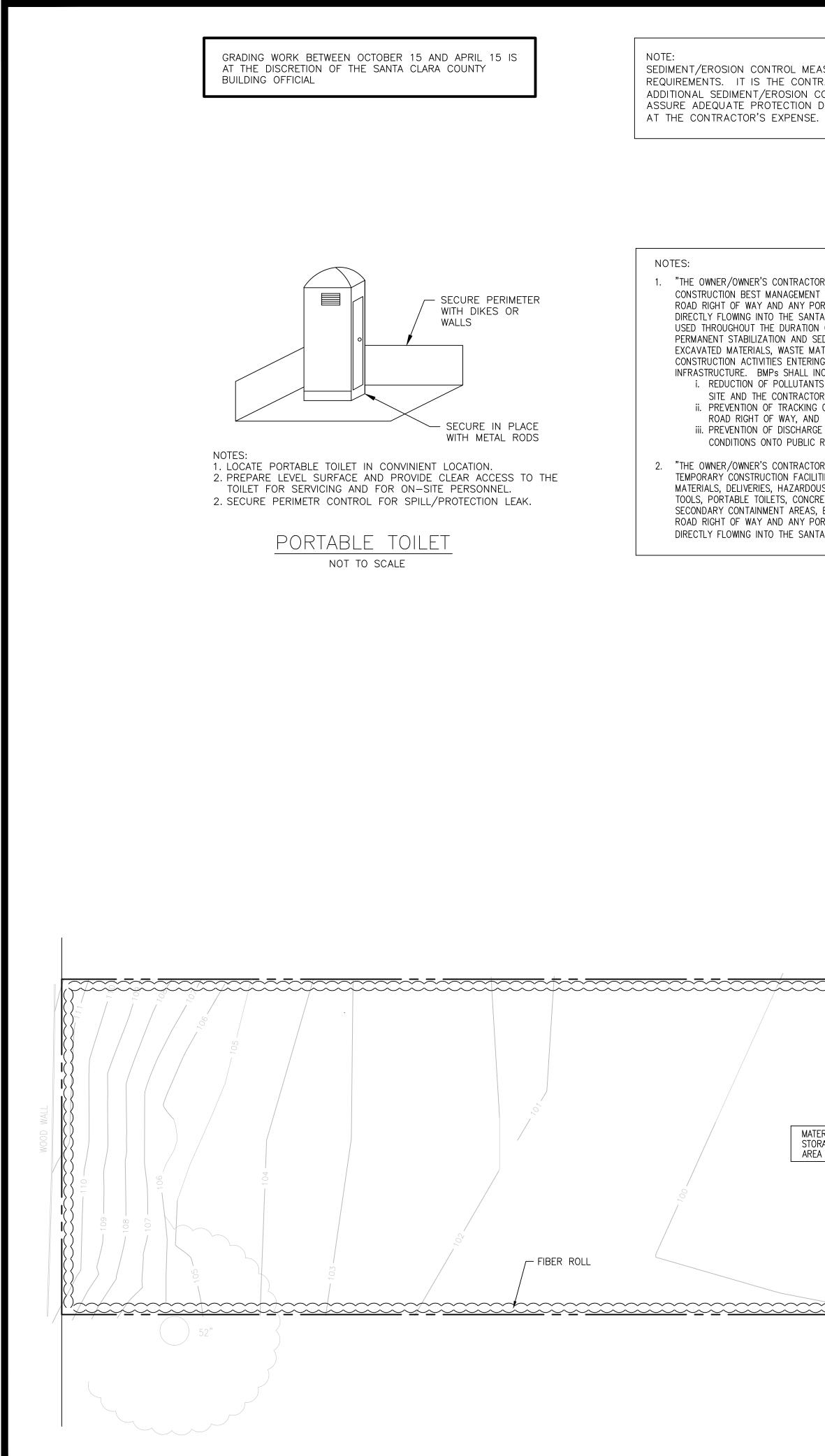


**7** RW ENGINEERING, INC. 505 ALTAMONT DRIVE MILPITAS, CA 95035 (408) 262-1899 (408) 824-5556 (FAX)

# **GRADING & DRAINAGE PLAN 1516 ARBOR AVENUE** LOS ALTOS, CA

# **STANDARD DETAILS & NOTES**

NO.	REVISION	DATE		SHEET
			SCALE: AS NOTED	5
			DESIGNED BY: RW	OF
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SEDIMENT/EROSION CONTROL MEASURES SHOWN ON THIS SHEET ARE THE MINIMUM REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES AS DEEMED NECESSARY TO ASSURE ADEQUATE PROTECTION DURING THE PROGRESS OF CONSTRUCTION AND

1. "THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) WITHIN THE SANTA CLARA COUNTY ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY ROAD RIGHT OF WAY. THE BMPs ARE USED THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT CONSTRUCTION MATERIALS. EXCAVATED MATERIALS, WASTE MATERIALS, AND SEDIMENT CAUSED BY EROSION FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM, WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING: i. REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGE FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS. ii. PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIAL ONTO PUBLIC iii. PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER

CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY."

2. "THE OWNER/OWNER'S CONTRACTOR, AGENT AND/OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY ROAD RIGHT OF WAY."

# GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.

- 2. OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- 4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- EXISTING DRAINAGE SWALES AND WATER COURSES.
- 7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

EROSION AND SEDIMNET CONTROL MEASURES

- ARE ACCEPTED BY THE CITY AND COUNTY.
- THIS NOTE ON GRADING PLANS.)
- COUNTY.
- BLOWN STRAW 3) TACKIFIER AND MULCH.
- SEDIMENT.
- SHEET

FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES. MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS: A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY. B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED. C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED. D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT. E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE. F. RILLS AND GULLIES MUST BE REPAIRED.

2. ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.

# HYDROSEEDING:

- ENGINEER IN THE FIELD.
- FOLLOWING PROPORTIONS AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE (925) 373-4417:

FIBER (HYDROSTRAW AND TACK MULCH) COLOR (GREEN TO GOLD) FERTILIZER (16-20-0)M-BINDER WATER, AS REQUIRED FOR APPLICATION

/		FIBER ROLL	ROCK CONSTRUCTION ENTRANCE
MATERIAL STORAGE AREA	NEW HOUSE		MATERIAL STORAGE AREA
	<u></u>		

3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK

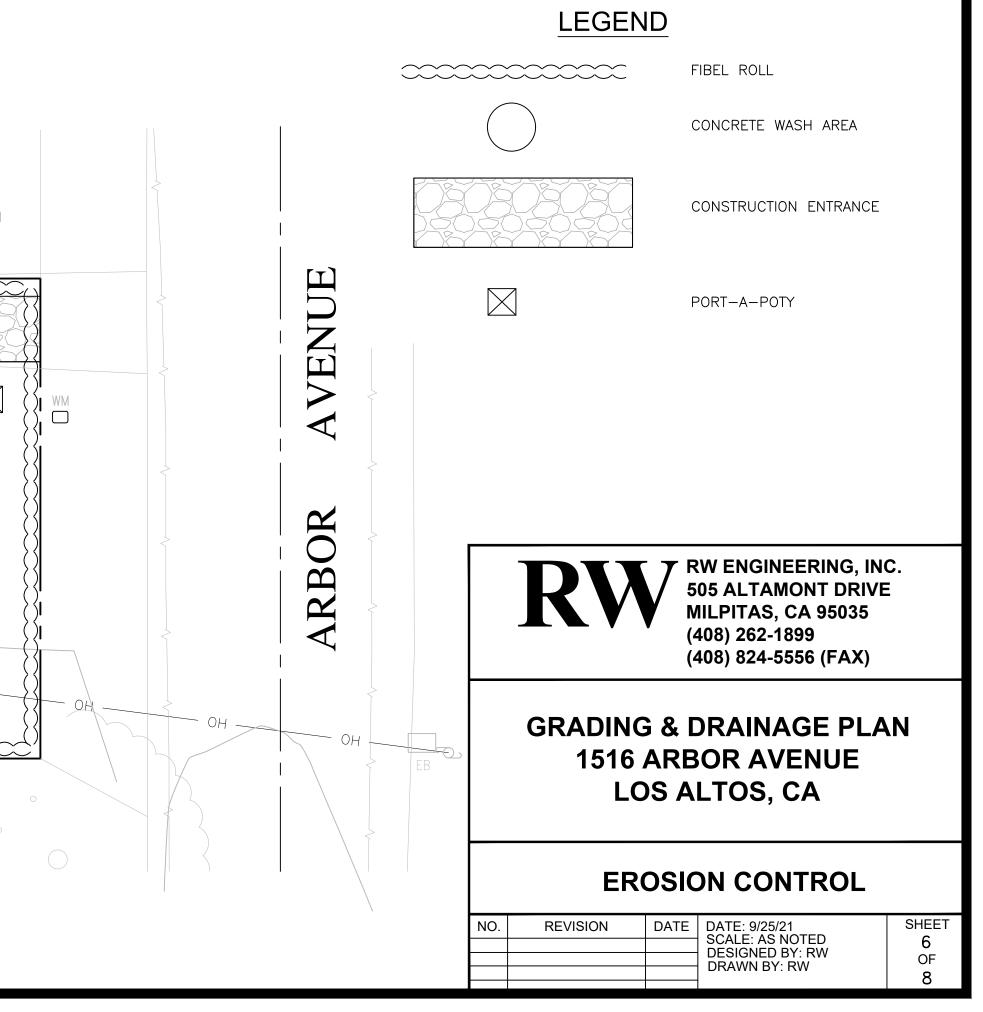
5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING 6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.

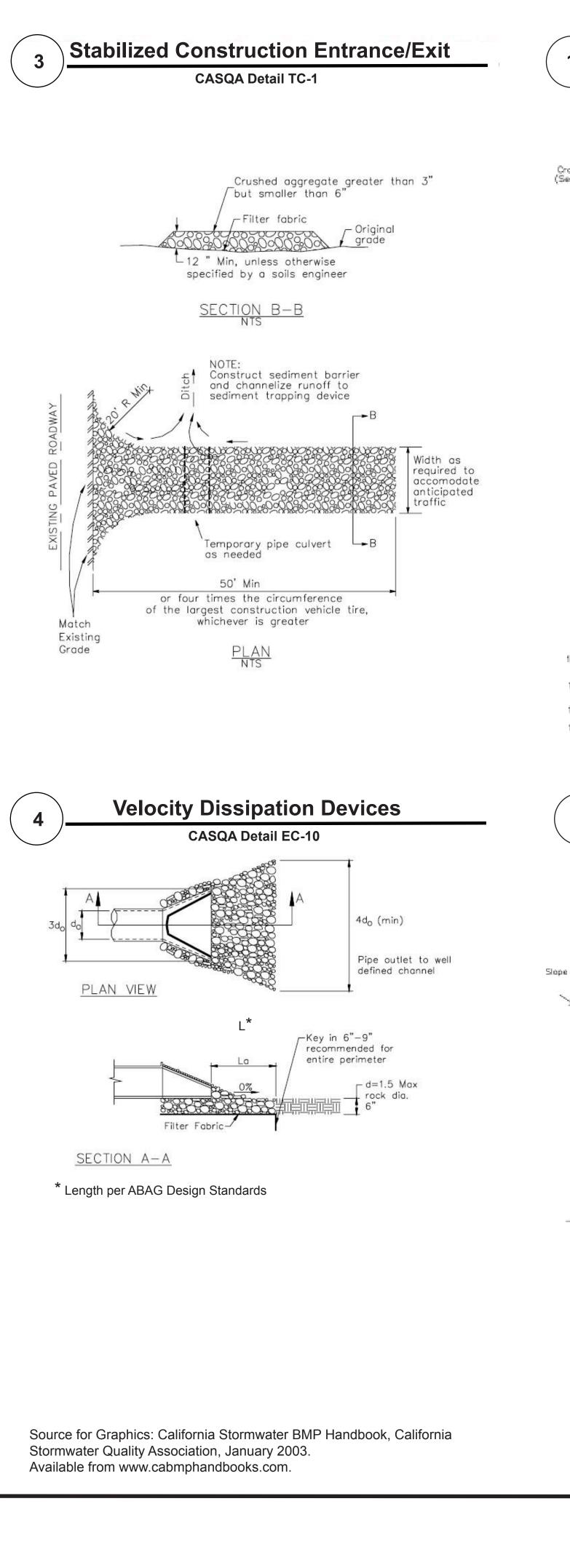
1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES. 2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS 3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. (ALSO INCLUDE 4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND 5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) 6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF 7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS 8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE

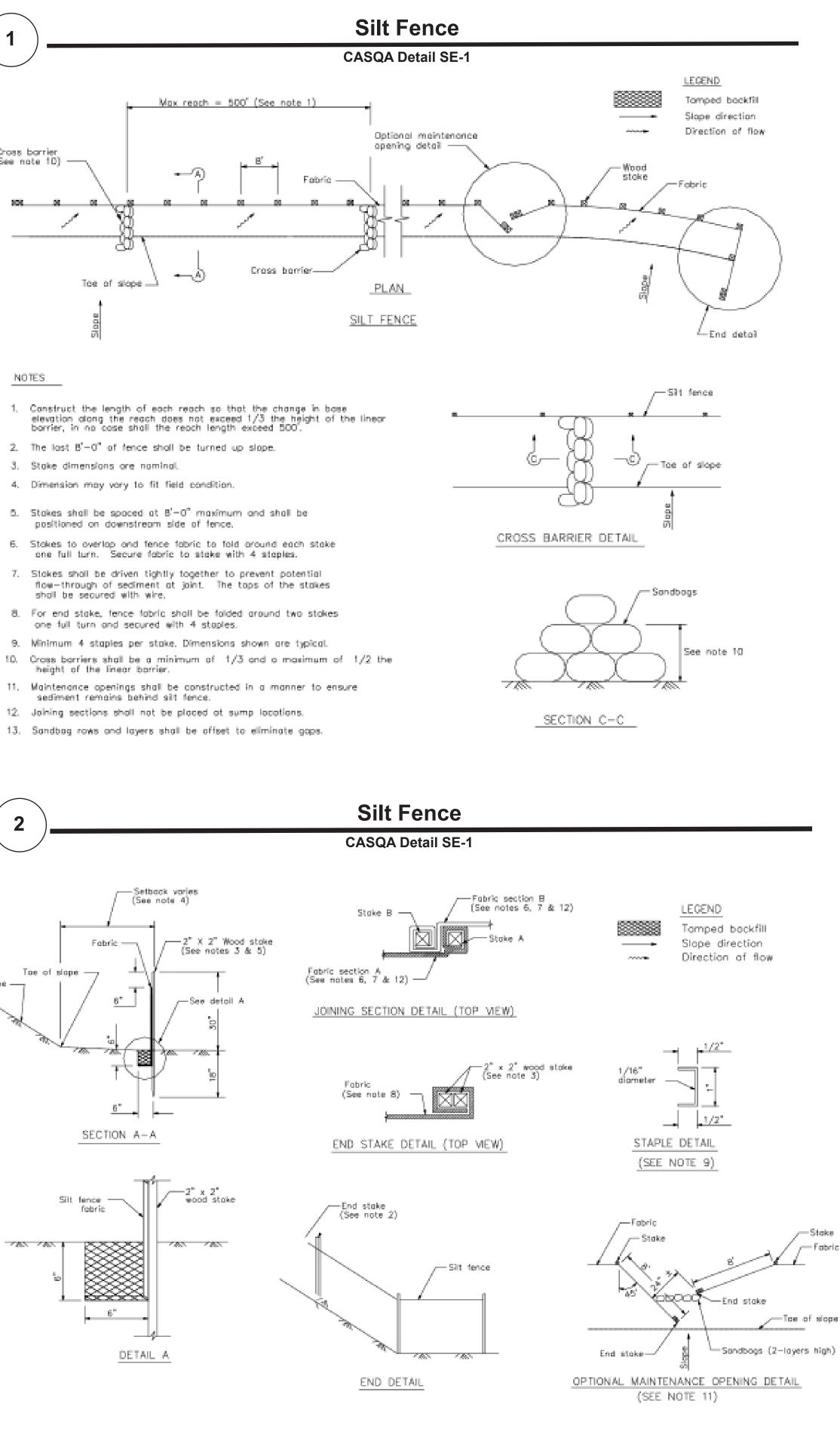
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALTRANS STANDARD SPECIFICATIONS, AND UNDER THE DIRECTION OF THE SOIL

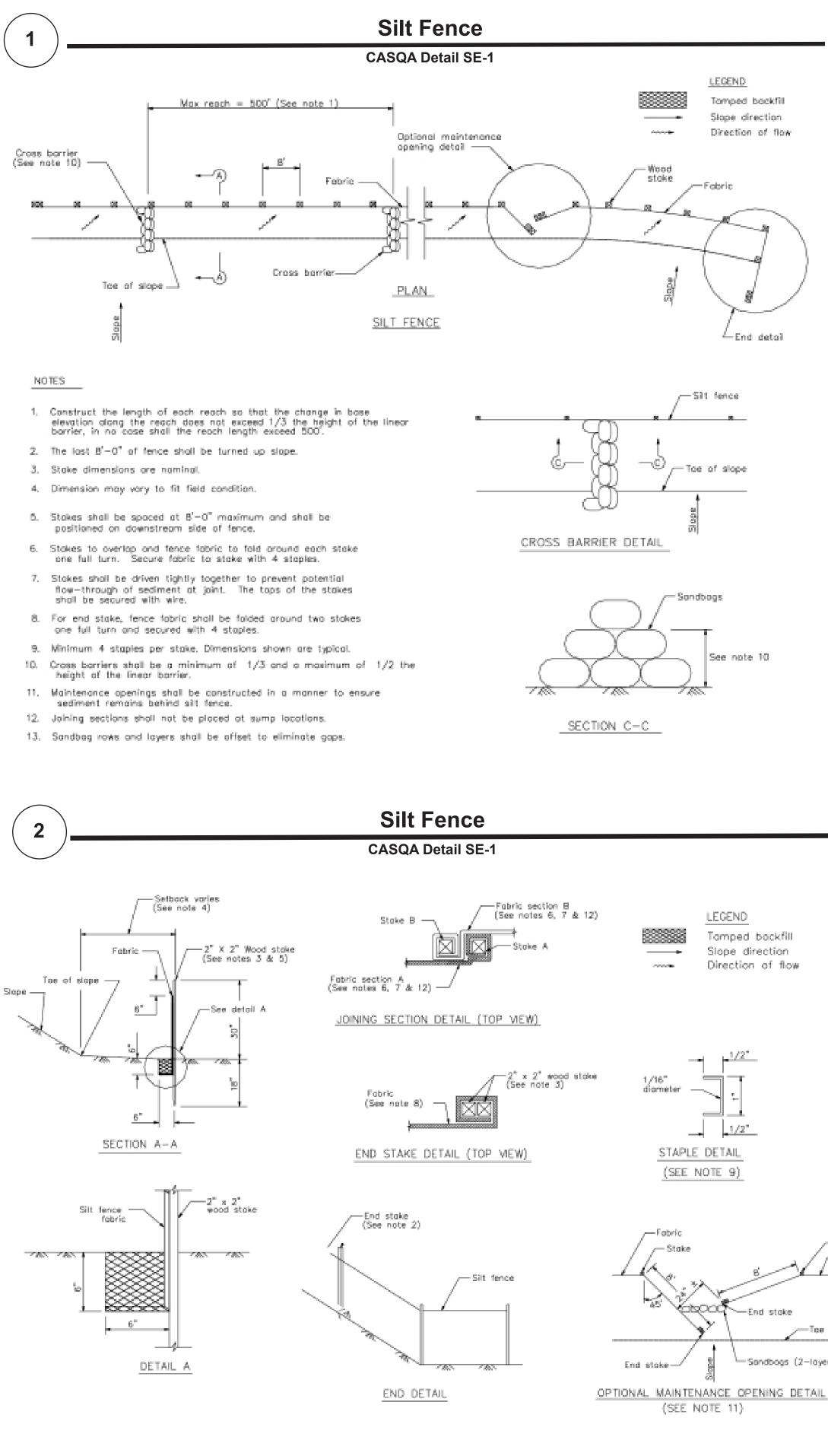
2. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE

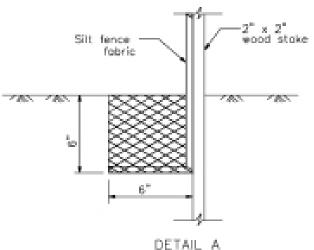
2500 LBS/ACRE 55 LBS/ACRE 350 LBS/ACRE 125 LB/ACRE











**APPLICANT:** 

### **ROAD: ARBOR AVENUE**

FILE NO.:

### STANDARD BEST MANAGEMENT PRACTICE NOTES

- 1. Solid and Demolition Waste Management: Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- 2. <u>Hazardous Waste Management</u>: Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- 3. <u>Spill Prevention and Control</u>: Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- 4. <u>Vehicle and Construction Equipment Service and Storage</u>: An area shall be designated for the maintenance, where onsite maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- 5. <u>Material Delivery, Handling and Storage</u>: In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- 6. <u>Handling and Disposal of Concrete and Cement</u>: When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- . <u>Pavement Construction Management</u>: Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- 5. <u>Contaminated Soil and Water Management</u>: Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- . <u>Sanitary/Septic Water Management</u>: Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- 10. Inspection & Maintenance: Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

Best Management Practices and Erosion Control Details Sheet 1 County of Santa Clara

### **STANDARD EROSION CONTROL NOTES**

1. Sediment Control Management

Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

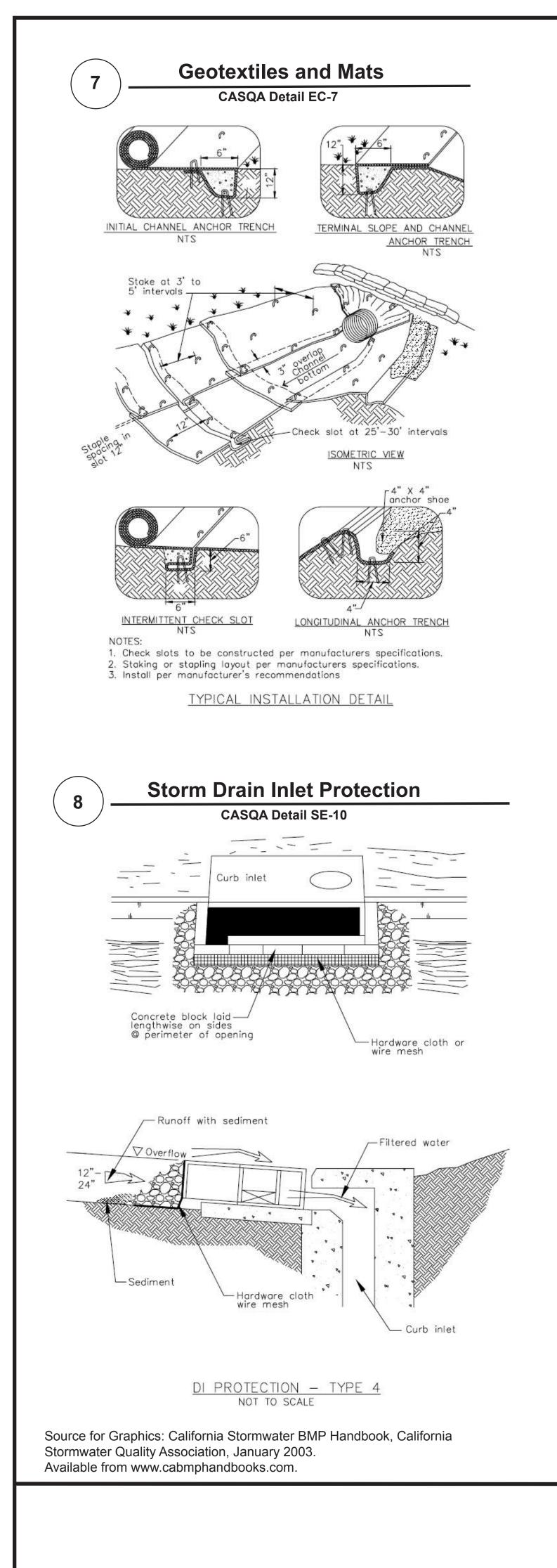
Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures(tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.

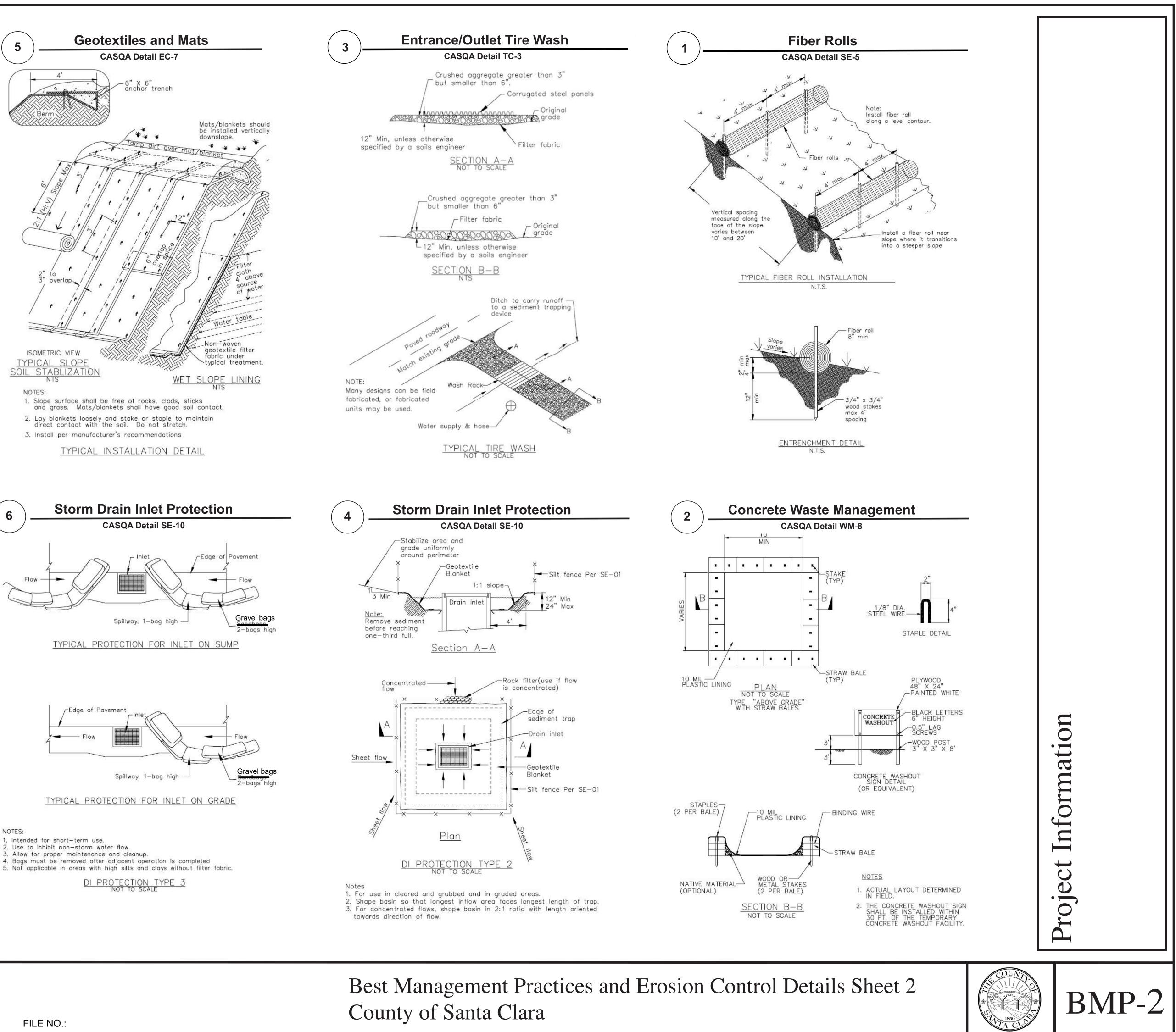
- 2. Erosion Control: During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- 3. <u>Inspection & Maintenance</u>: Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/ or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- 4. <u>Project Completion</u>: Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- 5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- 6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

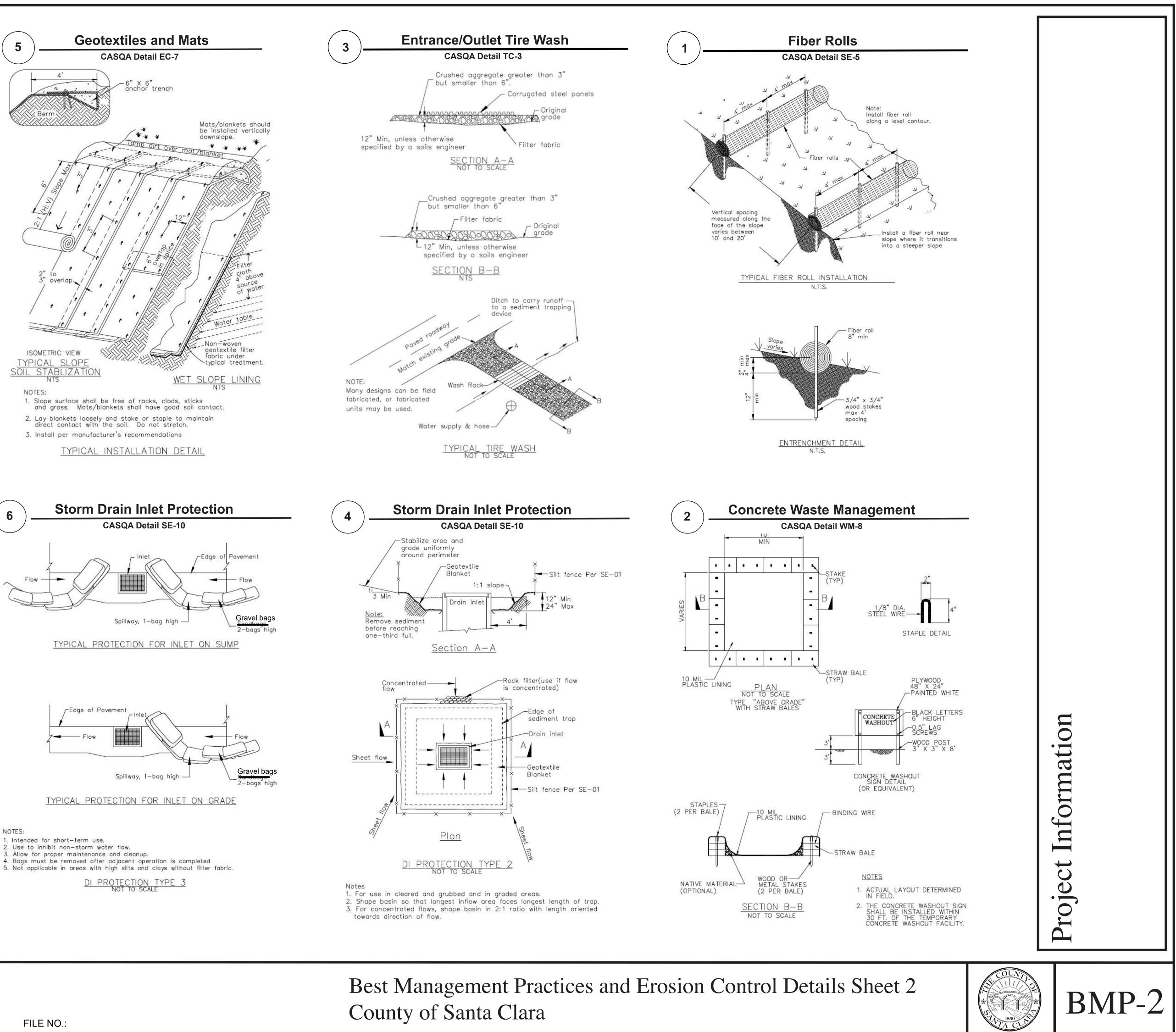
# Information Project

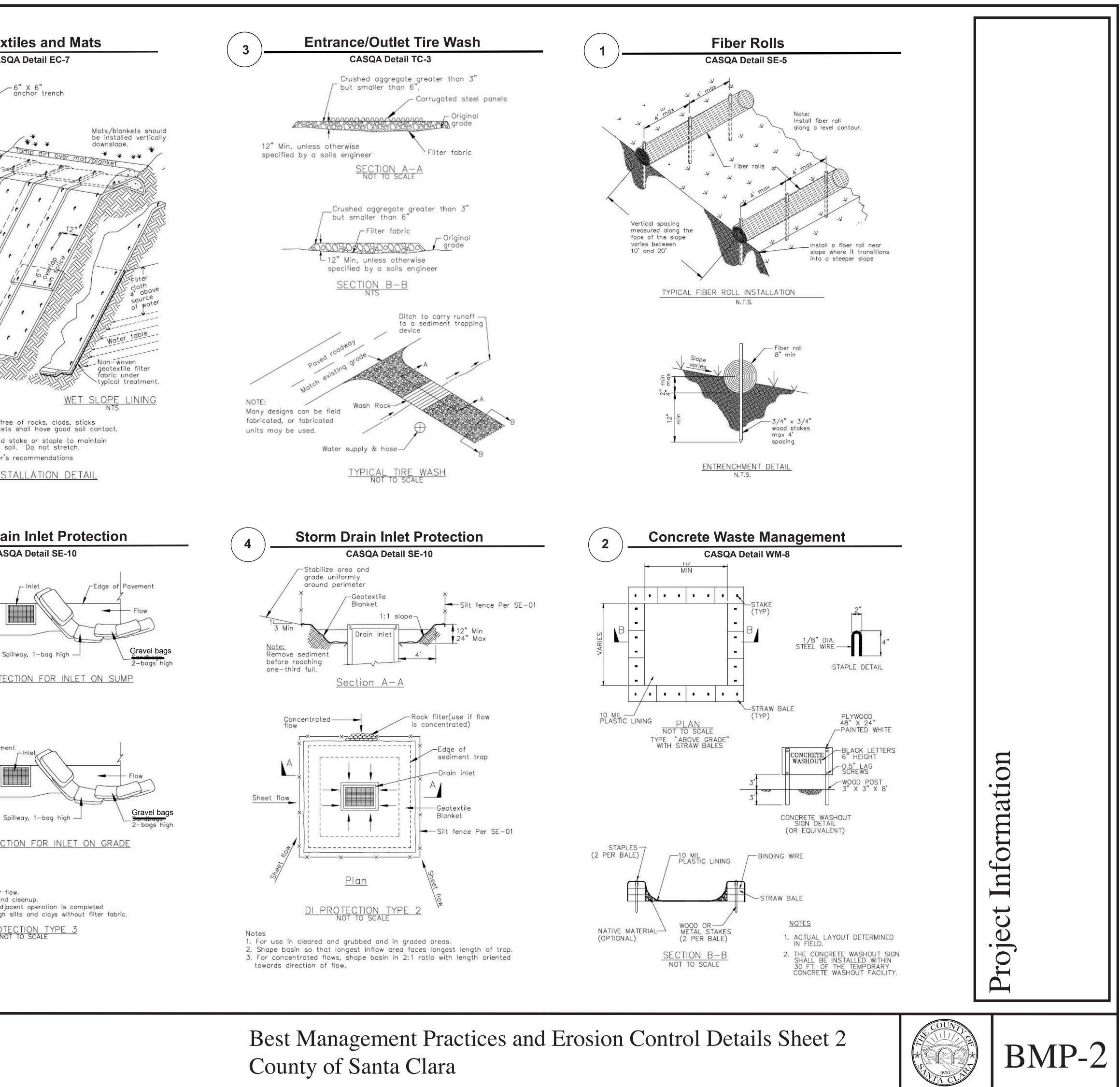
BMP-1

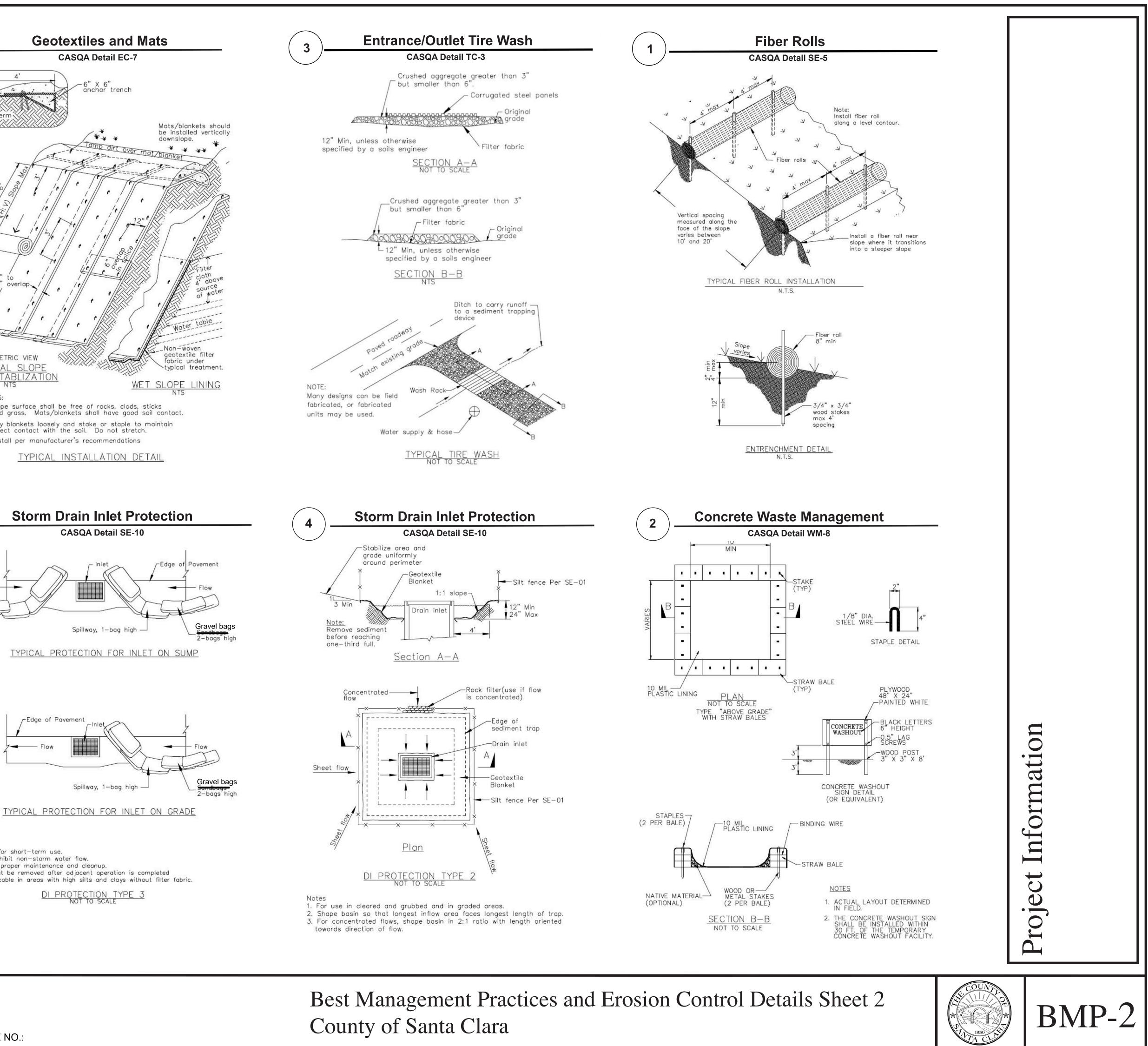






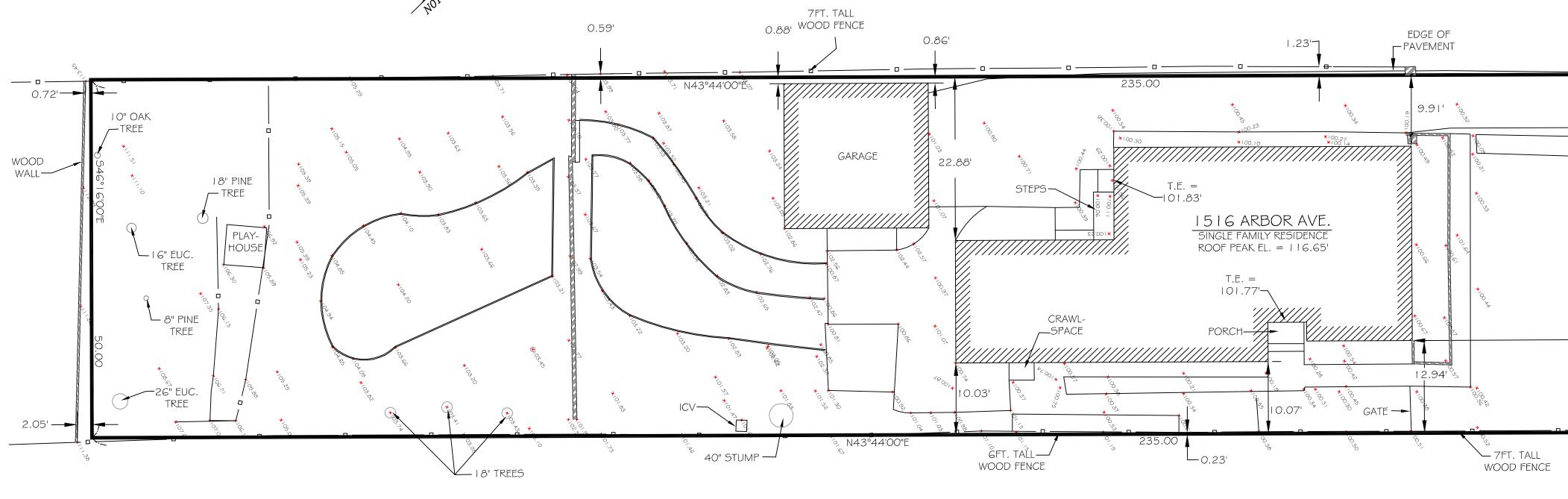






**APPLICANT**:

ROAD: ARBOR AVENUE



### LEGAL DESCRIPTION

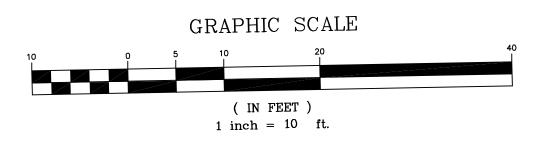
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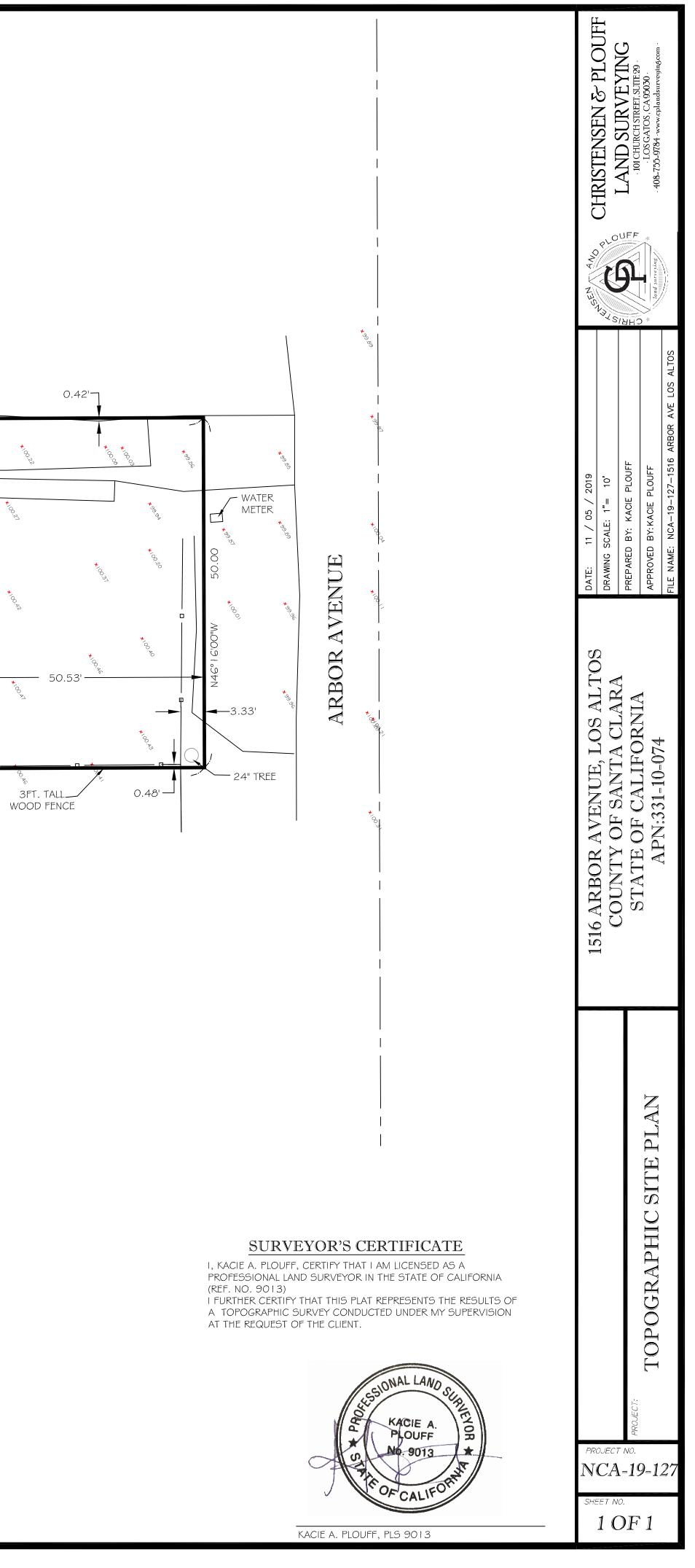
### SURVEYOR'S NOTES

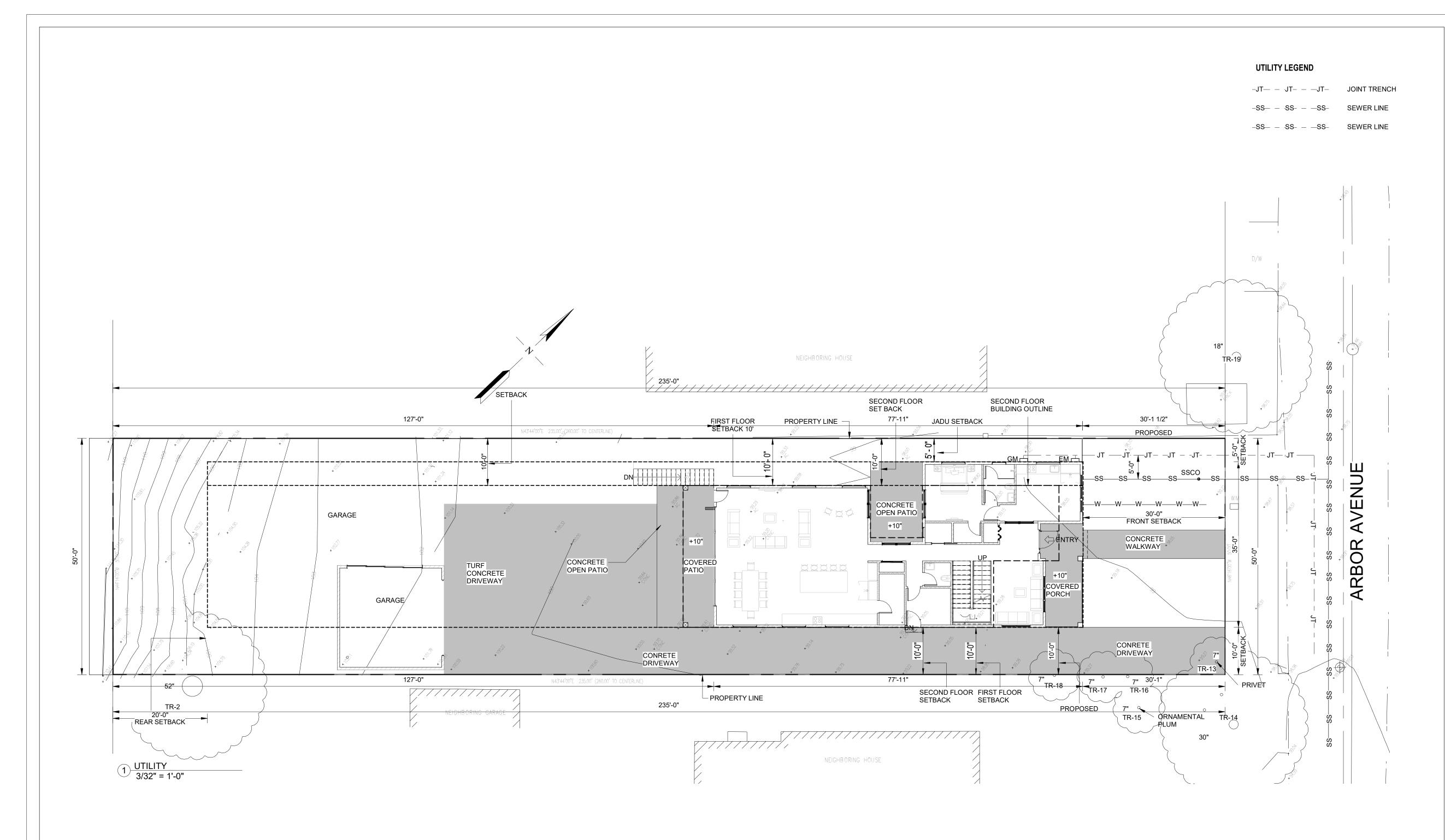
I . PROJECT BENCHMARK: PROJECT IS ON ASSUMED DATUM.

2. ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY, SMALLER TREES AND SHRUBS ARE NOT SHOWN.

3. DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.







SITE DATA: 1516 ARBOR AVENUE LOS ALTOS, CA APN: 331-10-074 AREA= 12,632 S.F.+/-

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	ED BY: SUBHENDU		VIN	
		ADDRESS : 329 S San Antonio CONTACT : 650-209-6500	Road #8, Los Altos, (	CA 94022