# NEW SINGLE FAMILY HOUSE

LOT-74, 1516 ARBOR AVE LOS ALTOS, CA



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GRADING & DRAINAGE PLAN

TRAFFIC CONTROL PLAN

TOPOGRAPHIC MAP

UTILITY PLAN

DEFERRED SUBMITTALS

EROSION CONTROL PLAN

STANDARD DETAILS & NOTES

#### ZONING COMPLIANCE

THE PROJECT SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING

CITY OF LOS ALTOS ORDINANCE APN: 331-10-074

TYPE OF CONSTRUCTION: V-B & SPRINKLED ZONE: R1E-20-n1

LOT AREA: 11,500 SF HISTORICAL: NO

NEW TWO STOREY ALLOWABLE FLOOR AREA 4950 Sq.ft. MAX

13-DEC-2021

13-DEC-2021

13-DEC-2021

13-DEC-2021

13-DEC-2021

13-DEC-2021

13-DEC-2021

13-DEC-2021

TOTAL FLOOR AREA

CONTACT INFO

MAIN HOUSE LIVING AREA 3,636 SF JADU = 499 SF DETACHED GARAGE = 499 SF

TOTAL COUNTABLE AREA 4,634 SF

SANDEEP & MANJU

SARDANA

650-619-6124

650-889-8650

SYSTEMS

LANDSCAPE ARCHITECT: GREGORY LEWIS

LIVIO BUILDING

408-262-1899

831-359-0960

RW ENGINEERING

# **ZONING COMPLIANCE**

	EXISTING	PROPOSED	Allowed/Required
LOT COVERAGE  LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6FT IN HEIGHT	1,965 SF	3,070 SF (26.70 %) FIRST LEVEL = 1,735 Sq.ft, PATIO = 337 Sq.ft, D.GARAGE = 499 Sq.ft. JADU = 499 Sq.ft.	3,789.6 + 500 = 4,289.6 SF (37 %)
FLOOR AREA	1,965 SF	4,135 SF (36%)	<u>4,150</u> SF
MEASURED TO THE OUTSIDE SURFACE OF EXTERIOR WALLS		FIRST LEVEL = 1,735 Sq.ft, SECOND LEVEL = 1,901 Sq.ft D.GARAGE = 499 Sq.ft	(43 %)
JADU		499 SF	500 SF
SETBACKS (MAIN HOUSE)			
FRONT	<u>50</u> feet	30 feet	<u>30</u> feet
REAR	<u>120</u> feet	<u>121</u> feet	<u>25</u> feet
RIGHT SIDE (1st/2nd)	<u>10</u> feet	<u>10</u> feet/ 10 feet	10 feet / 10 feet
LEFT SIDE (1st/2nd)	<u>9' 6"</u> feet	<u>10</u> feet/ <u>10</u> feet	10 feet / 10 feet
HEIGHT	14 feet	<u>26' 6"</u> feet	<u>27</u> feet

### SQUARE FOOTAGE BREAKDOWN

	Existing	Change In	Total Proposed
HABITABLE LIVING AREA INCLUDES HABITABLE BASEMENT AREAS	1,556 Square feet	4,135 Square feet  MAIN HOUSE = 3636 JADU = 499	<u>5,569</u> Square feet
NON-HABITABLE AREA  DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES	409 Square feet	499_Square feet	499_Square feet

### LOT CALCULATIONS

11,500 Square feet NET LOT AREA

LANDSCAPE BREAKDOWN

TOTAL HARDSCAPE AREA (EXISTING AND PROPOSED): EXISTING SOFTSCAPE (UNDISTURBED): NEW SOFTSCAPE (NEW OR REPLACED LANDSCAPING)AREA: SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA

<u>5,511</u> Sq. ft. <u>0</u> Sq. ft. <u>5,989</u> Sq. ft. 11,500 Sq.ft (Net Lot Area)

1.	FIRE SPRINKLERS IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS NOTE THAT PER CRC 313.3.7, A SIGN OR VALVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING: WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN.	OWNER:  ARCHITECT:  CIVIL ENGINEER /LAND SURVEYOR:

#### GENERAL NOTES

- I. HERS VERIFICATION REQUIRED FOR THE HVAC COOLING, HVAC DISTRIBUTION SYSTEM FAN SYSTEMS, AND IAQ (INDOOR AIR QUALITY). PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.
- 2. AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10 IN ACCORDANCE WITH CGBSC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING.
- 3. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR.
- 4. PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING
- THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT. 5. PRIOR TO OCCUPANCY OF THE BUILDING, PROVIDE A LETTER FROM THE CERTIFIED GREENPOINT RATER THAT VERIFIES COMPLIANCE
- WITH THE CHECKLIST AND THE MINIMUM REQUIRED POINTS WERE ACHIEVED.
- 6. PROPERTY LINE SURVEY WILL BE COMPLETED BY LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO
- 7. BUILDING HEIGHT VERIFICATION WILL BE COMPLETED BY LICENSED SURVEYOR AND PROVIDED TO THE BUILDING INSPECTOR PRIOR TO FRAMING INSPECTION
- 8. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE BUILDING INSPECTOR AT ROUGH INSPECTION

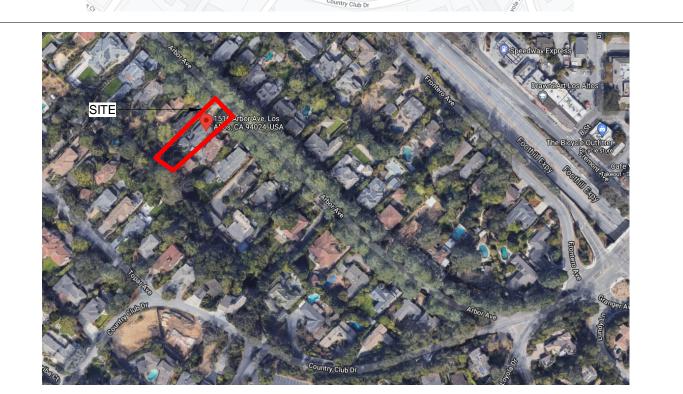
#### SCOPE OF WORK

DEMOLITION OF  $\underline{1,965}$  SF OF EXISTING RESIDENCE STRUCTURE, NEW CONSTRUCTION OF  $\underline{3,070}$  SF SINGLE FAMILY RESIDENCE OVER LOT  $\underline{11,500}$  SF

#### **VICINITY MAP** N.T.S

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#### NOTES:

# SARDANA'S RESIDENCE

#### **REVISIONS:**

REV.	DESCRIPTION	DATE	REV BY
1	REVISED AS PER COMMENTS	10-DEC-2021	SAGAR

- ALL DIMENSIONS ARE IN FEET AND INCHES. DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED.
- ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/ WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS- - UNLESS OTHERWISE MENTIONED.
- IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION.
- THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION.
- ·LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE
- THE SMALLER SCALE DRAWINGS AND DETAILS. THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE (FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.)



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PROJECT: 1516 ARBOR AVE LOS ALTOS

DRG NO: A-1.001

TITLE SHEET

DATE: 11-NOV-2021

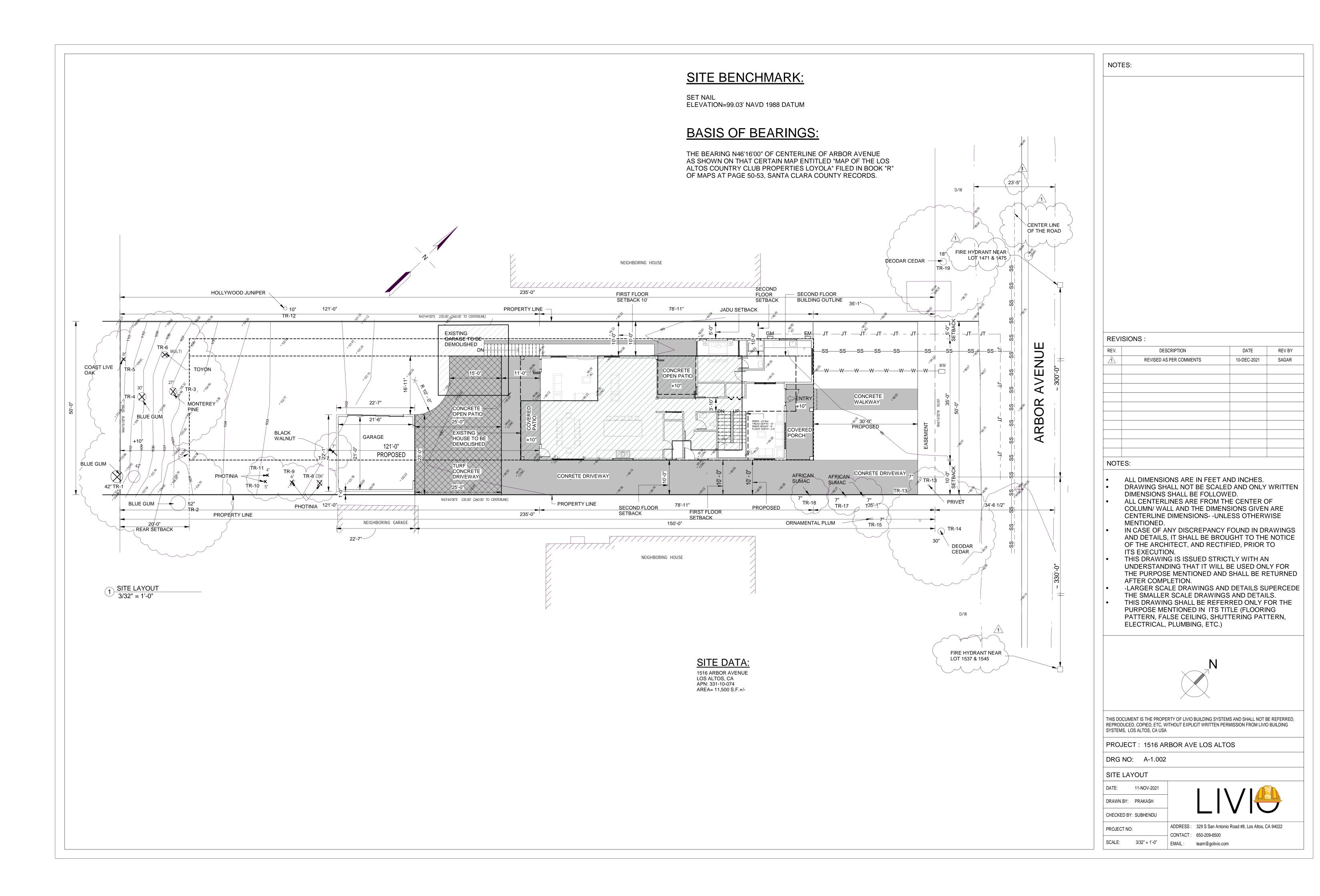
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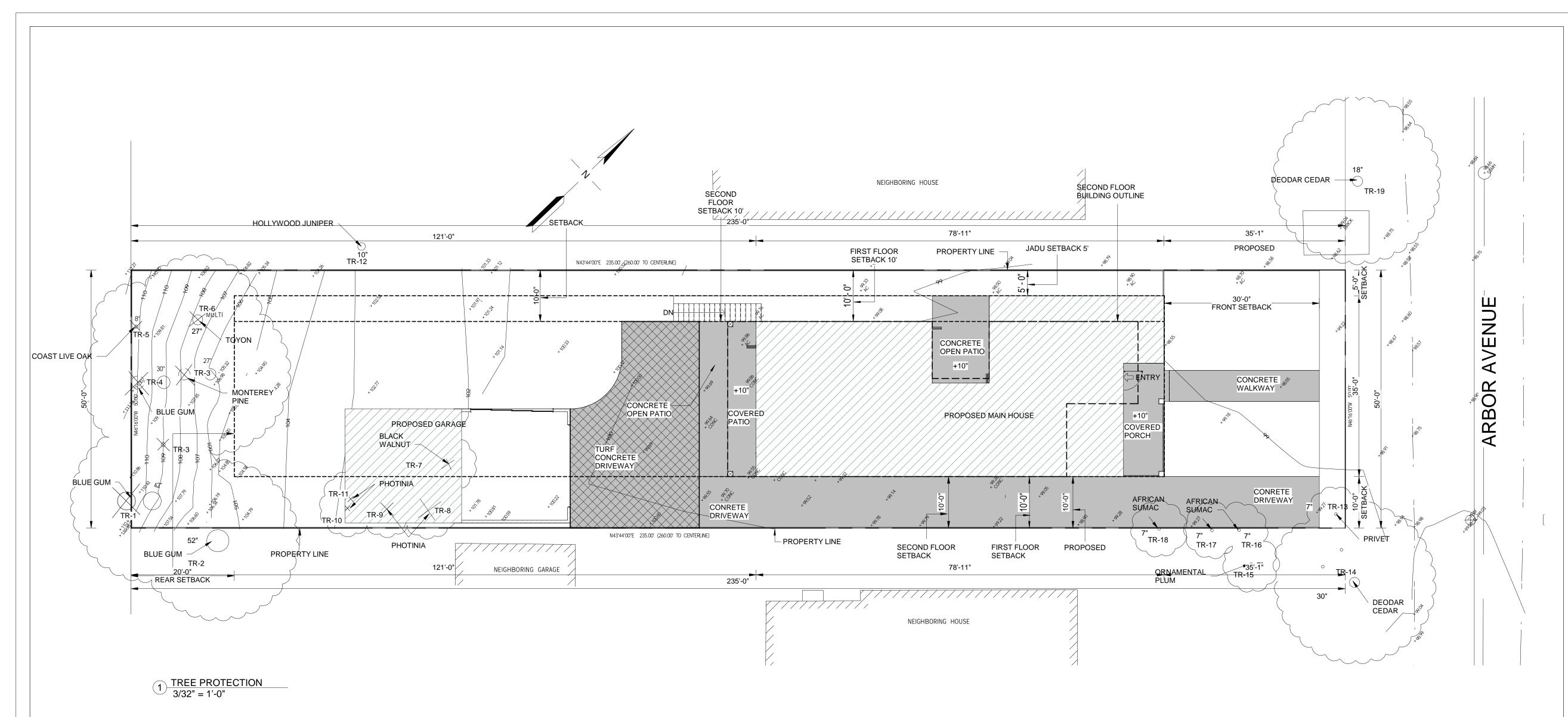


PROJECT NO: SCALE: 1/4" = 1'-0"

ADDRESS: 329 S San Antonio Road #8, Los Altos, CA 94022 CONTACT: 650-209-6500

EMAIL: team@golivio.com





SITE DATA: 1516 ARBOR AVENUE LOS ALTOS, CA APN: 331-10-074

AREA= 12,632 S.F.+/-

TREE SIZE NOTE NAME OF TREE 42" TO BE REMOVED BLUE GUM TR-1 TR-2 52" PROTECTED BY CITY BLUE GUM TR-3 TO BE REMOVED MONTEREY PINE BLUE GUM TR-4 TO BE REMOVED 30" TR-5 COAST LIVE OAK TO BE REMOVED TR-6 TOYON 10" TO BE REMOVED TR-7 TO BE REMOVED BLACK WALNUT PHOTINIA TR-8 TO BE REMOVED TR-9 TO BE REMOVED PHOTINIA TR-10 TO BE REMOVED PHOTINIA TR-11 TO BE REMOVED PHOTINIA TR-12 10" HOLLYWOOD JUNIPER TR-13 PRIVET 30" TR-14 PROTECTED BY CITY DEODAR CEDER TR-15 ORNAMENTAL PLUM TR-16 AFRICAN SUMAC AFRICAN SUMAC TR-17 TR-18 AFRICAN SUMAC PROTECTED BY CITY DEODAR CEDER TR-19 18"

TOTAL 19

<u>TABLE</u>

TOTAL NUMBER OF TREES EXISTED AT SITE -

TREE PROTECTION NOTE:
TREE PROTECTION FENCING AROUND
TREES NO. 2,14,19 (DRIP LINE)
PROTECTED BY CITY ORDINANCE

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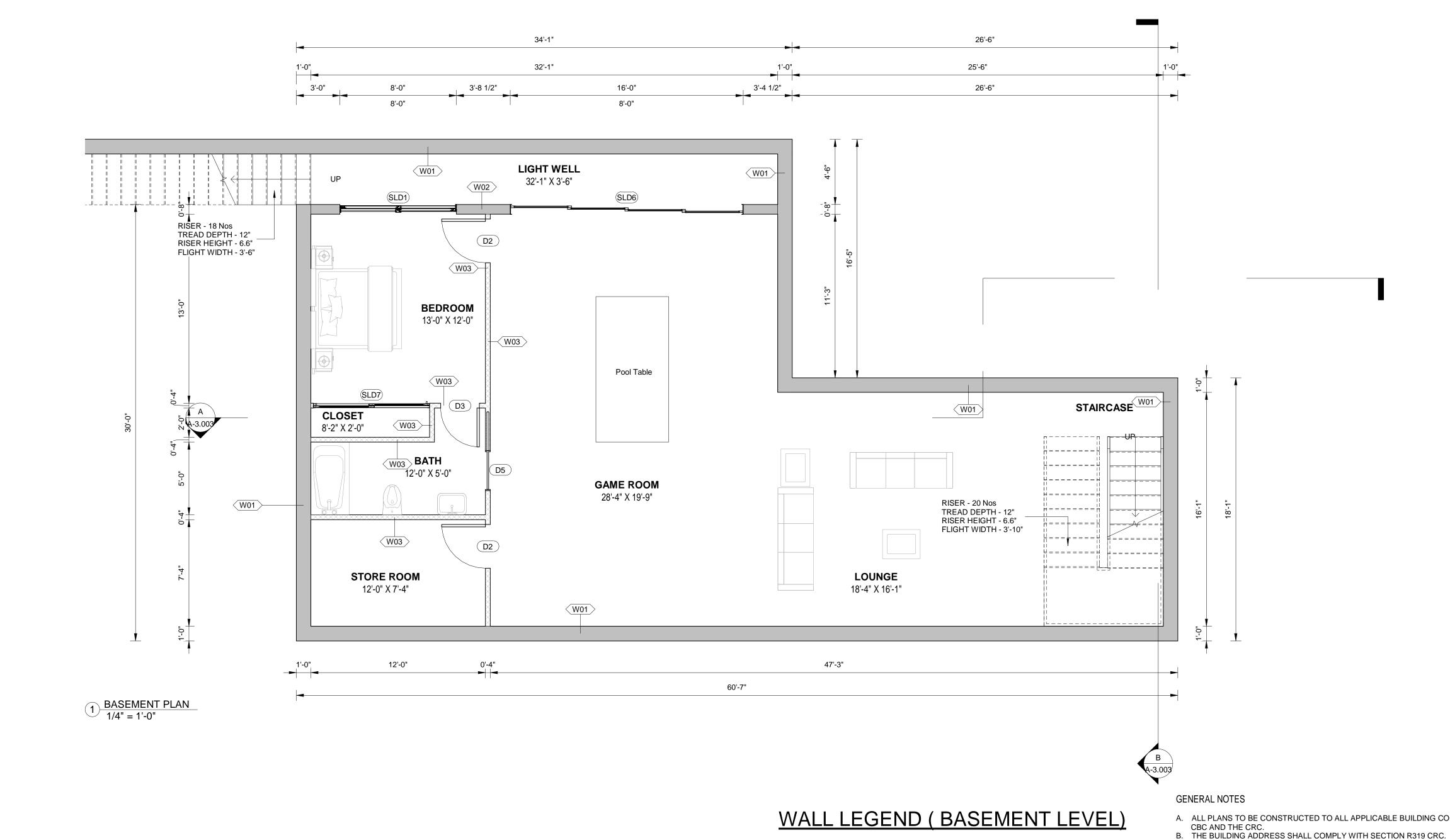
ADDRESS: 329 S San Antonio Road #8, Los Altos, CA 94022

CONTACT: 650-209-6500

EMAIL: team@golivio.com

PROJECT NO:

SCALE: As indicated



TYPICAL 12" CONCRETE WALL TYPICAL 8" CONCRETE WALL W03 TYPICAL 2x4 INT WALLS @16" OC

W04 TYPICAL 2x6 EXT WALLS @16" OC

- A. ALL PLANS TO BE CONSTRUCTED TO ALL APPLICABLE BUILDING CODES, INCLUDING THE 2019
- C. ALL WALLS IN SHOWER AREAS WILL BE PROTECTED UP TO 72" A.F.F. PER SECTION R307 CRC.
- D. WALL FRAMING SHALL BE 2x6 AT 16" O.C. WITH 1/2" EXTERIOR SHEATHING AT EXTERIOR WALLS AND 2x4 AT 16" O.C. WITH 5/8" GYP. BOARD AT INTERIOR WALLS. SHEAR WALL PANELS AND SPECIAL FRAMING CONDITIONS WILL BE NOTED IN THE STRUCTURAL DRAWINGS.
- E. INTERIOR STAIR CONSTRUCTION -VERIFY VERTICAL DISTANCE IN FIELD. MAXIMUM RISE SHALL NOT EXCEED 7.75" AND MINIMUM TREAD SHALL NOT BE LESS THAN 10". HANDRAILS AS REQUIRED. CLEAR VERTICAL HEAD HEIGHT SHALL BE 6'-8" MINIMUM.
- F. PROVIDE 1/2" GYP. BOARD AT WALLS AND CEILING UNDER STAIR USABLE ENCLOSED SPACES.
- G. THE MINIMUM HEIGHT OF ALL GUARDRAILS SHALL BE 42". SPACING OF PICKETS IS TO BE LESS THAN 4" O.C. THE SPACE BELOW THE BOTTOM RAIL OF THE GUARD SHALL NOT EXCEED 4". CRC SECTION R312.1.3
- H. STANDARD DOOR FRAMING SHALL OCCUR 4" FROM RETURN WALL UNLESS OTHERWISE NOTED. HARDWARE PER OWNER.
- I. ALL EXTERIOR DOORS SHALL HAVE A LANDING WITH A MAXIMUM 7.75" STEP.
- J. ALL BEDROOMS SHALL HAVE A WINDOW THAT MEETS EGRESS REQUIREMENTS. THIS WINDOW SHALL BE DESIGNATE BY AN (E) AFTER THE WINDOW SIZE AND STYLE. EGRESS WINDOWS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20 INCHES. GRADE FLOOR AND BELOW GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5 SQ FT. EGRESS WINDOWS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. WINDOWS BELOW GRADE SHALL BE PROVIDED WITH A WINDOW WELL. CRC R310.2
- P. ALL OTHER WINDOWS SHALL BE OPERABLE UNLESS OTHERWISE SPECIFIED.
- Q. ALL GLAZING IN SLIDING GLASS DOORS, SHOWER ENCLOSURES, AND OTHER REQUIRED SAFETY LOCATIONS SHALL HAVE SAFETY TEMPERED GLASS. CRC R308.4
- R. BALCONY FLOOR SHALL BE 2" BELOW FINISH FLOOR AND SLOPED 1/4" PER FOOT AWAY FROM DOORS. DOOR OPENINGS SHALL BE PROPERLY FLASHED. DRAINAGE PIPE WILL GO THROUGH FASCIA TO GUTTER OVER GARAGE DOOR.
- S. EXTERIOR A/C UNITS ARE ANCHORED TO 3" CONCRETE SLABS SHOWN ON PLANS.

NOTES:

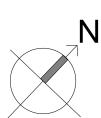
#### REVISIONS:

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#### | NOTES:

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ELECTRICAL, PLUMBING, ETC.)



THIS DOCUMENT IS THE PROPERTY OF LIVIO BUILDING SYSTEMS AND SHALL NOT BE REFERRED, REPRODUCED, COPIED, ETC, WITHOUT EXPLICIT WRITTEN PERMISSION FROM LIVIO BUILDING SYSTEMS, LOS ALTOS, CA USA

PROJECT: 1516 ARBOR AVE LOS ALTOS

DRG NO: A-2.001

BASEMENT FLOOR PLAN

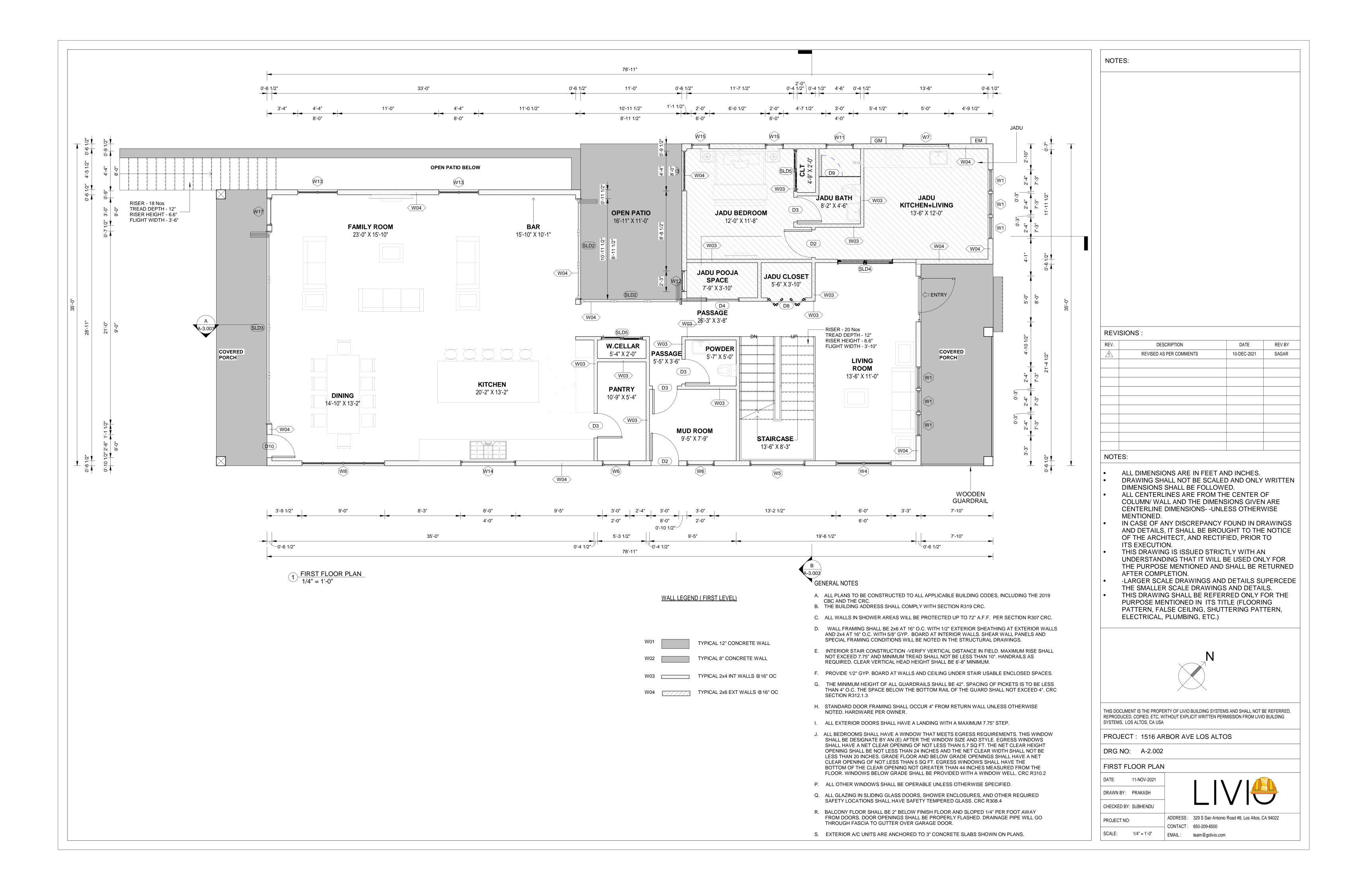
DATE: 11-NOV-2021 DRAWN BY: PRAKASH

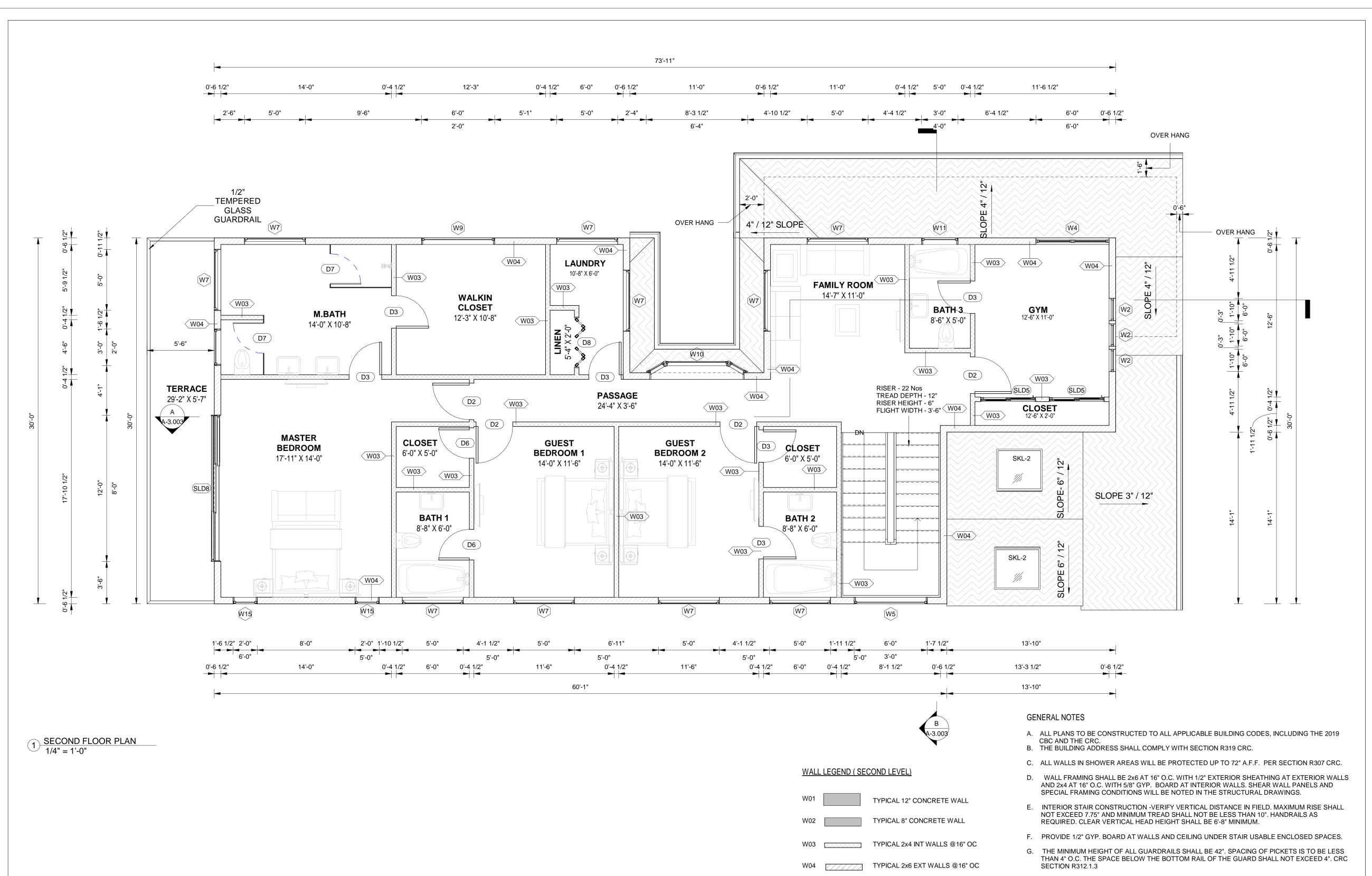
CHECKED BY: SUBHENDU



ADDRESS: 329 S San Antonio Road #8, Los Altos, CA 94022 PROJECT NO: CONTACT: 650-209-6500 SCALE: 1/4" = 1'-0"

EMAIL: team@golivio.com





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	BY: PRAKASH	11	\ /	

ADDRESS: 329 S San Antonio Road #8, Los Altos, CA 94022

CONTACT: 650-209-6500

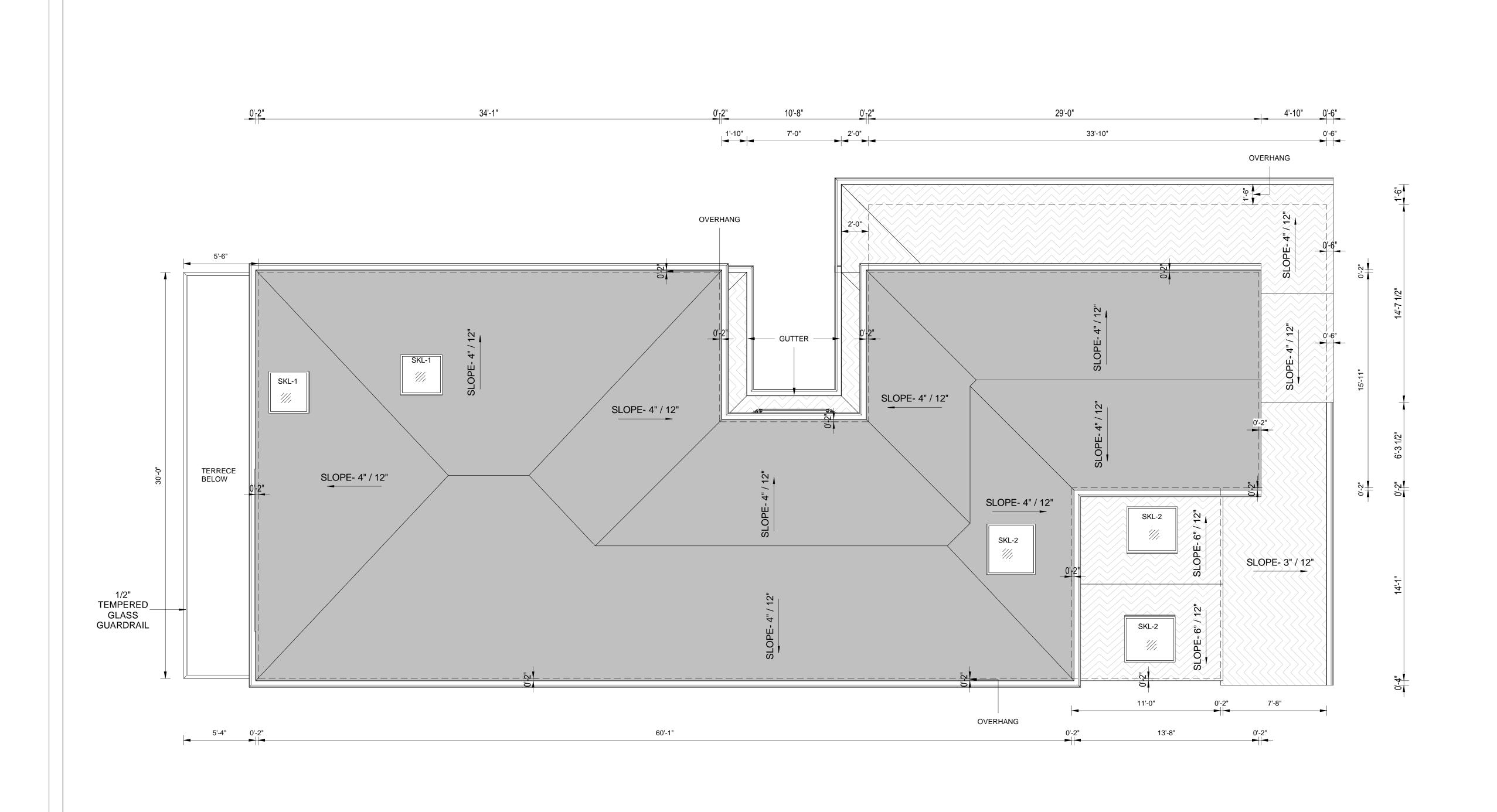
EMAIL: team@golivio.com

DRAWN BY: PRAKASH

CHECKED BY: SUBHENDU

SCALE: 1/4" = 1'-0"

PROJECT NO:



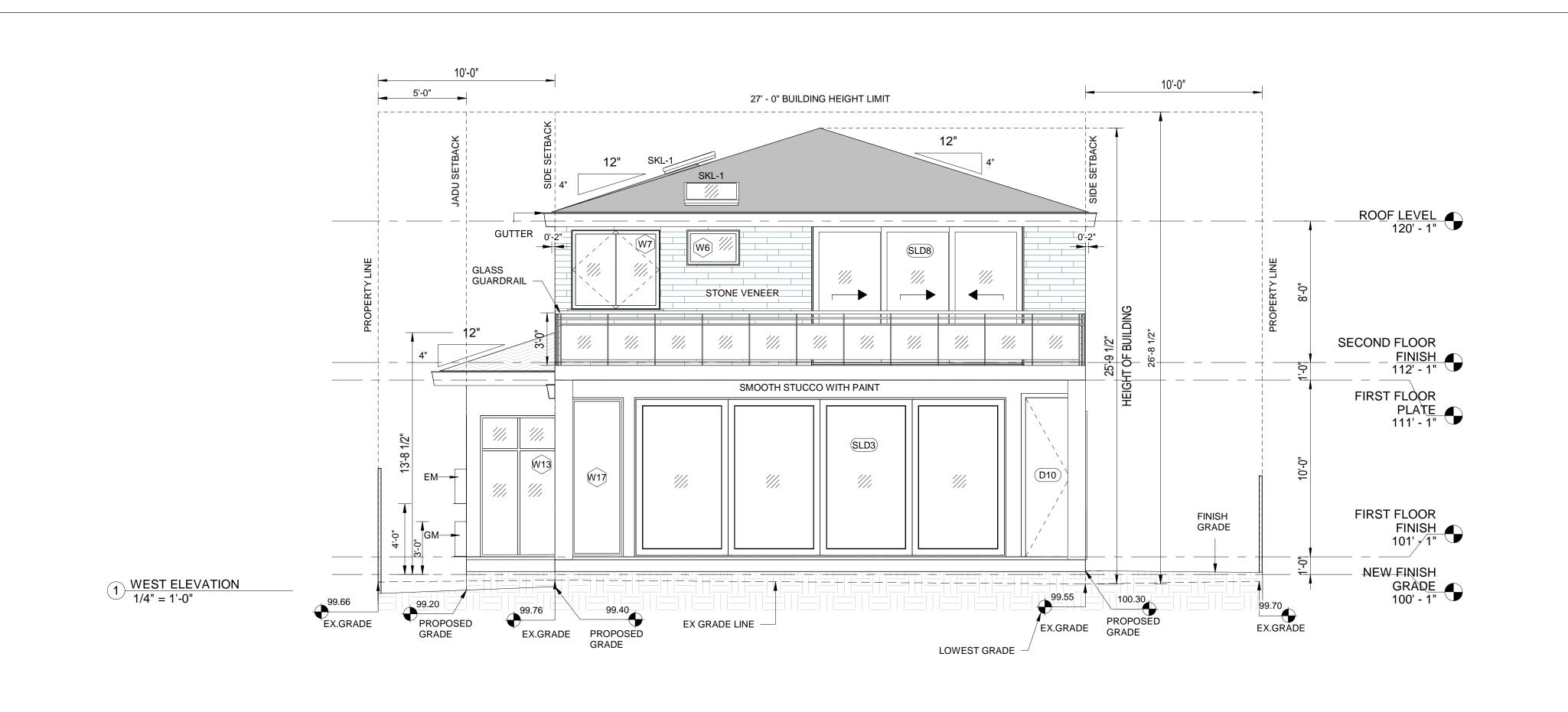
1 ROOF LEVEL PLAN 1/4" = 1'-0"

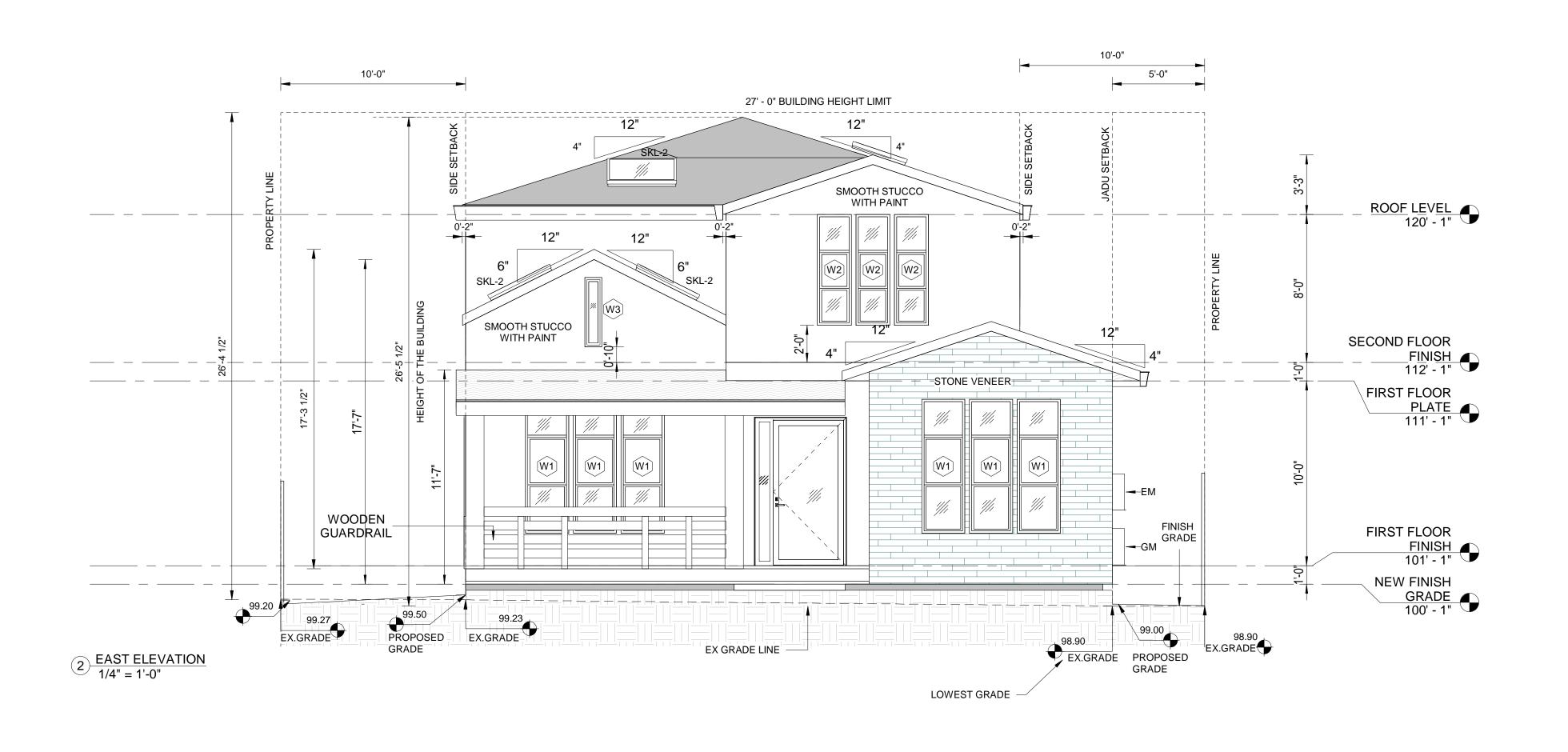
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NOTES: DESCRIPTION REVISED AS PER COMMENTS 10-DEC-2021 SAGAR ALL DIMENSIONS ARE IN FEET AND INCHES. DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED. ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/ WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS- -UNLESS OTHERWISE IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION. THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION. ·LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE THE SMALLER SCALE DRAWINGS AND DETAILS. THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE (FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.) THIS DOCUMENT IS THE PROPERTY OF LIVIO BUILDING SYSTEMS AND SHALL NOT BE REFERRED, REPRODUCED, COPIED, ETC, WITHOUT EXPLICIT WRITTEN PERMISSION FROM LIVIO BUILDING SYSTEMS, LOS ALTOS, CA USA PROJECT: 1516 ARBOR AVE LOS ALTOS ADDRESS: 329 S San Antonio Road #8, Los Altos, CA 94022 CONTACT: 650-209-6500 EMAIL: team@golivio.com



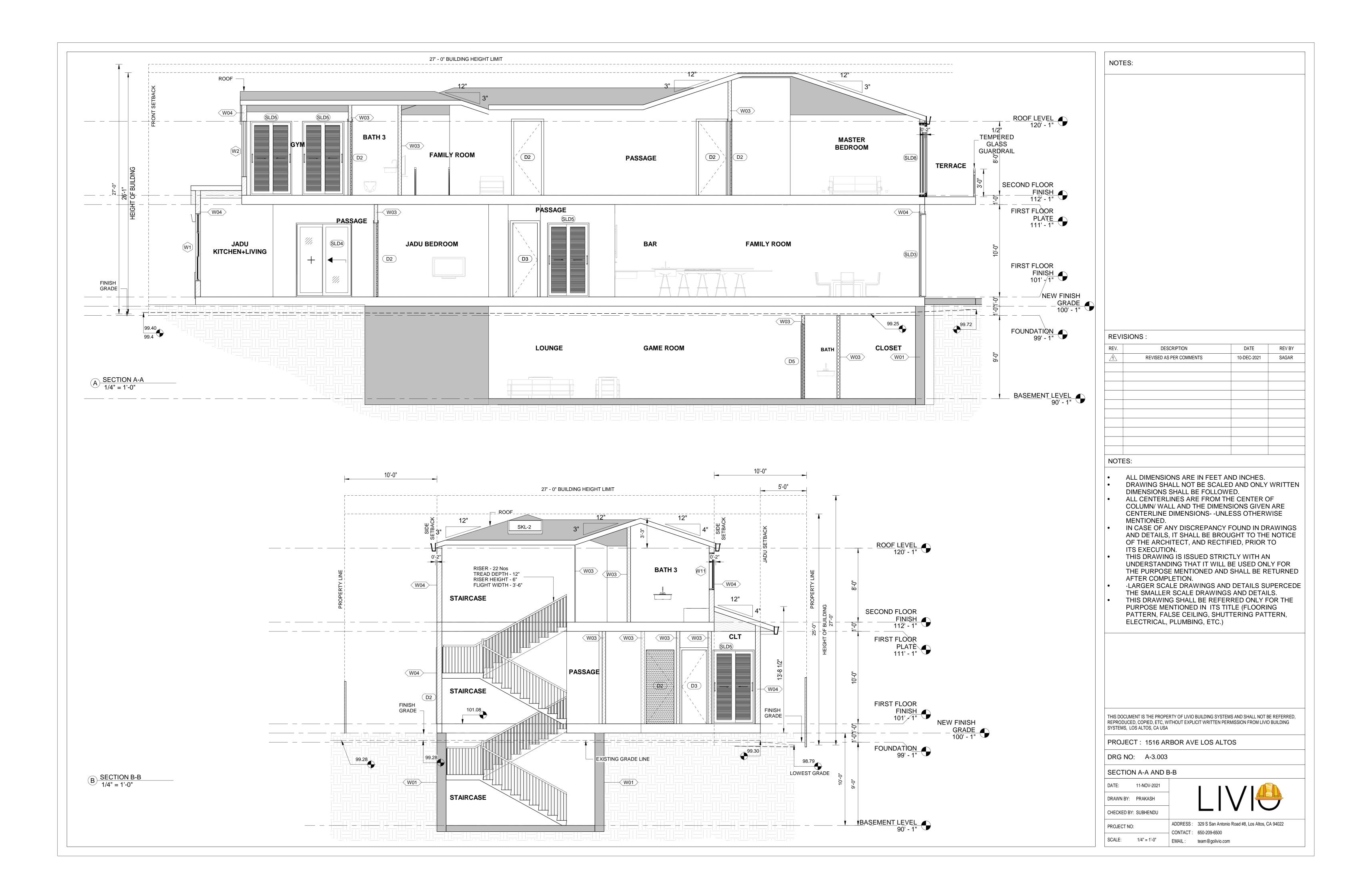
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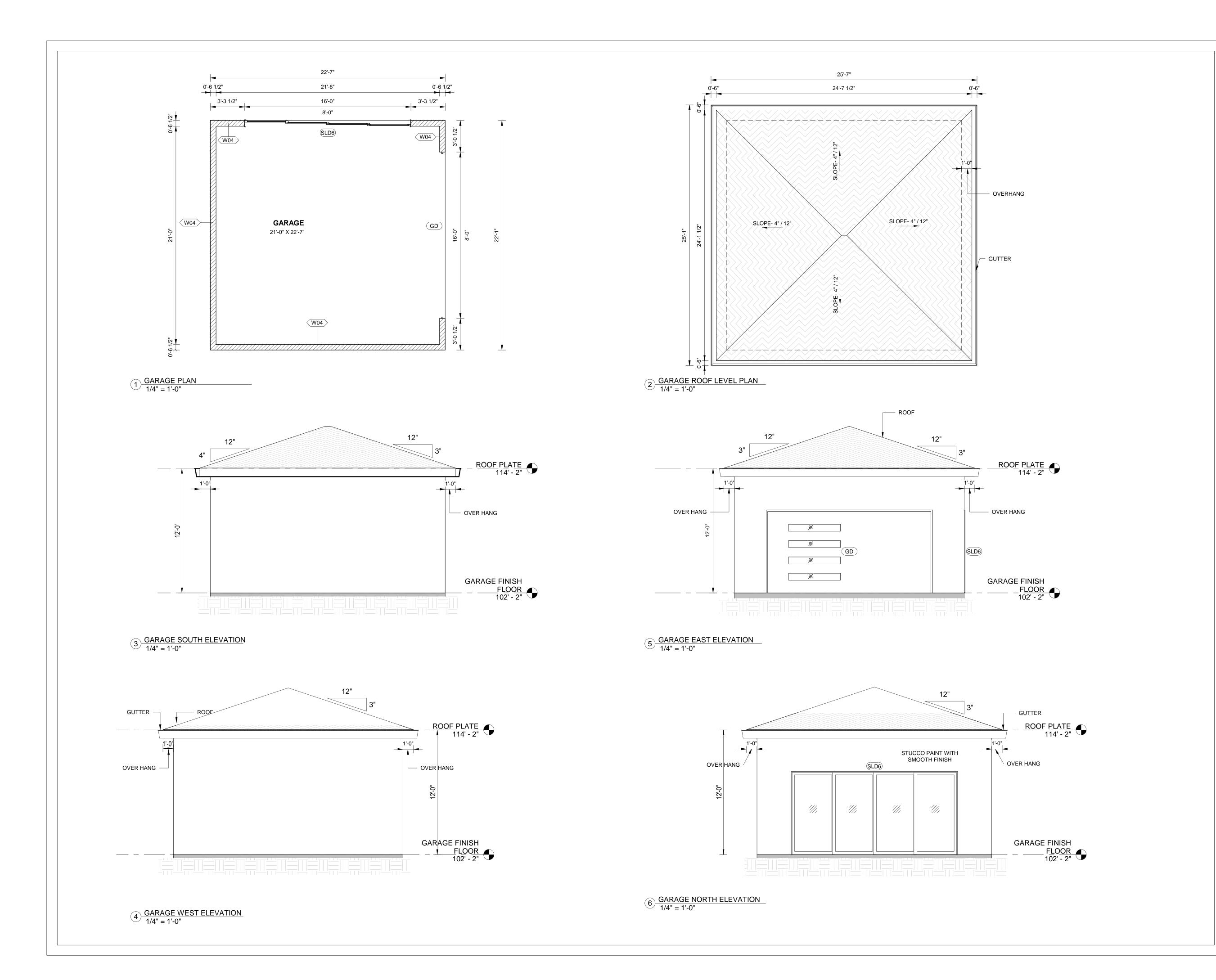


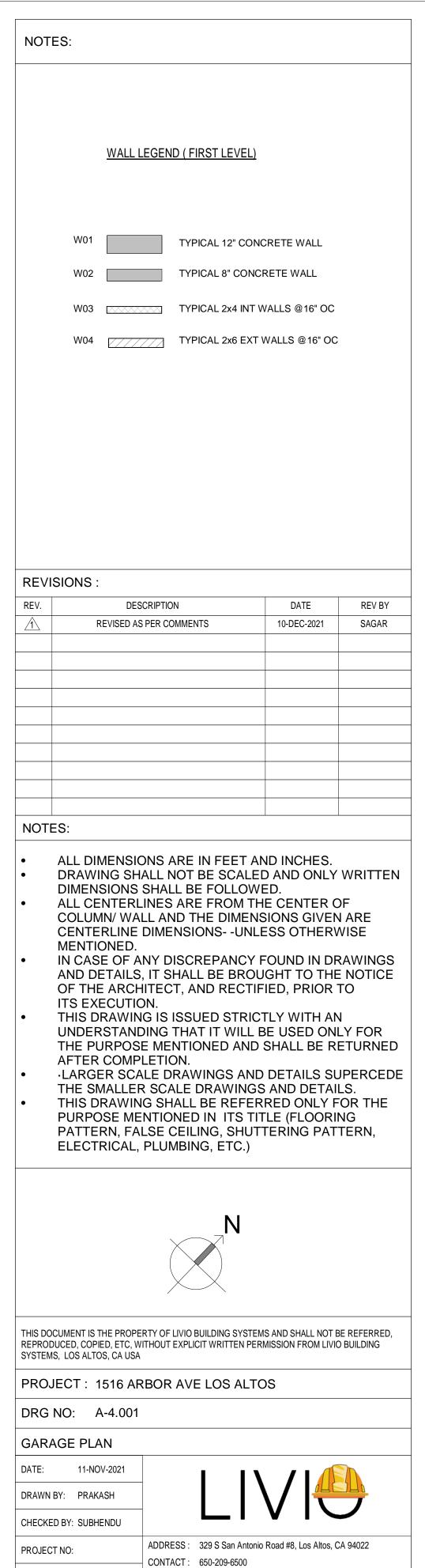


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NOTES:

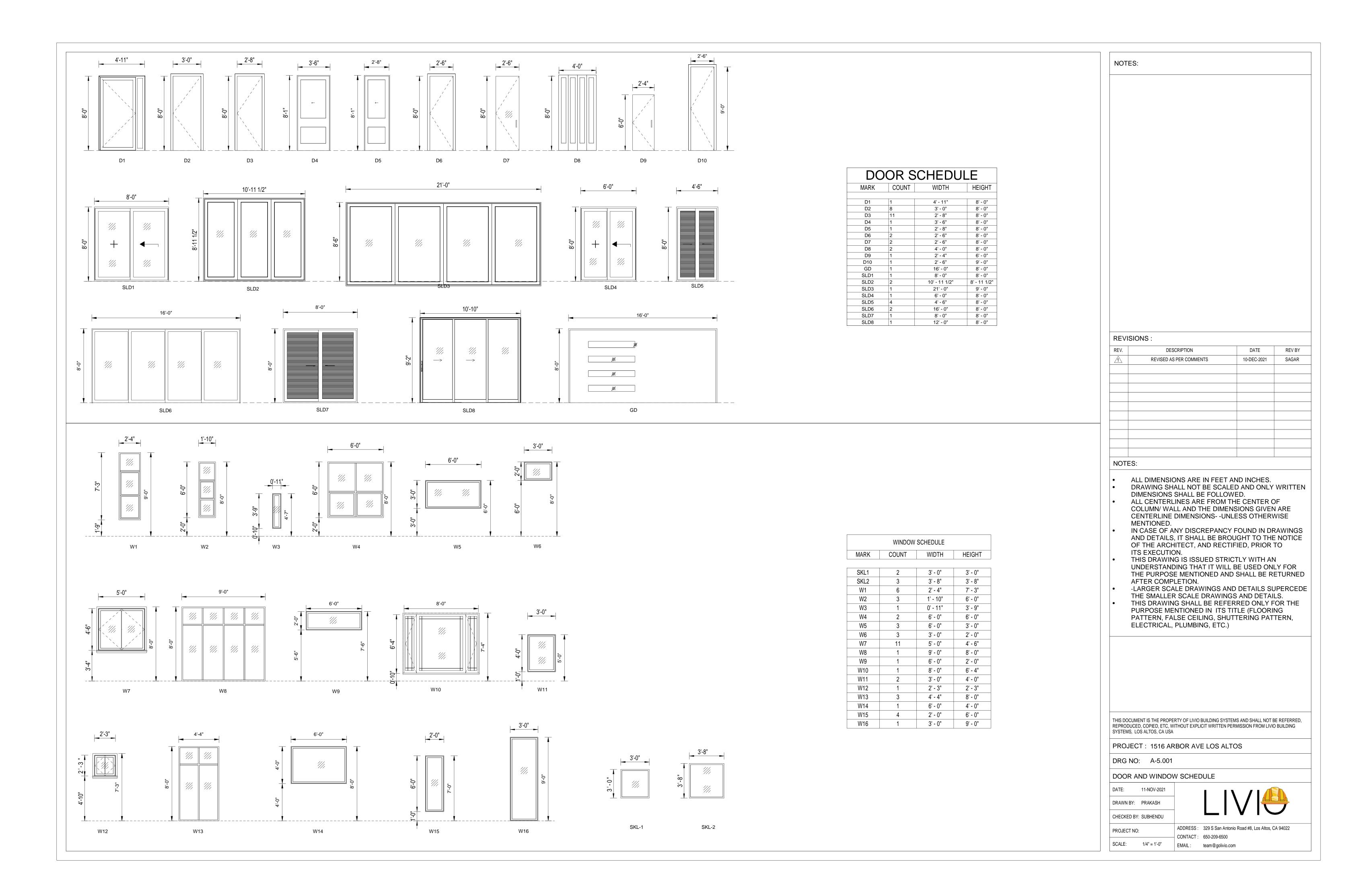


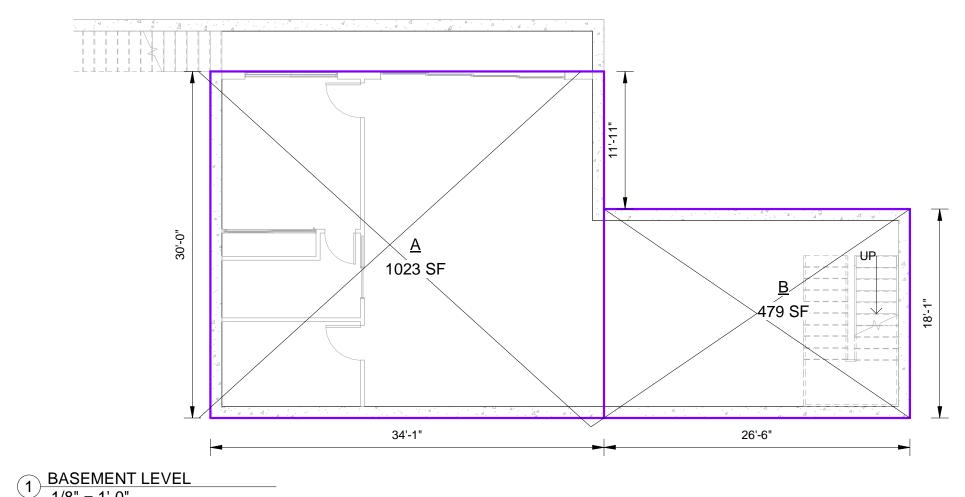




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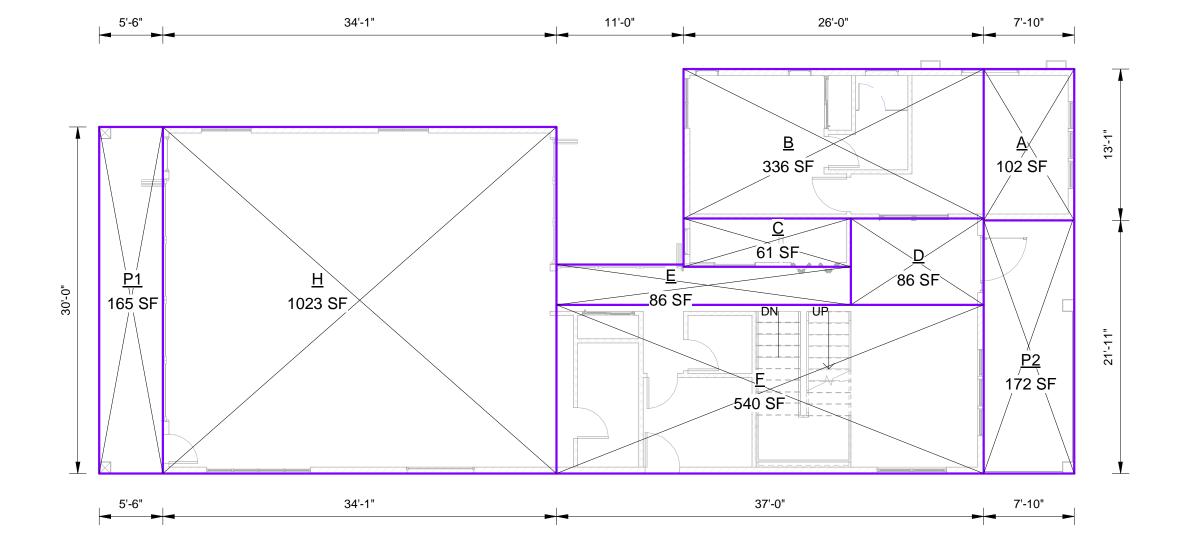


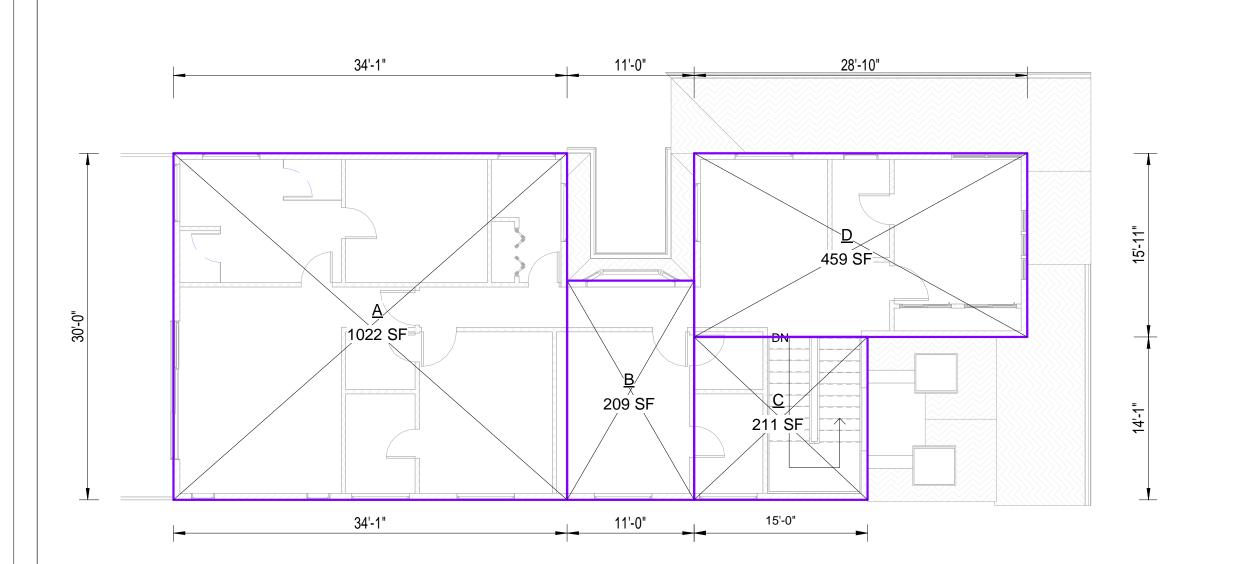


1 BASEMENT LEVEL 1/8" = 1'-0"

3 FIRST FLOOR FINISH 1/8" = 1'-0"

 $4 \frac{\text{SECOND FLOOR F}}{1/8" = 1'-0"}$ 





AREA CALCULATION BASEMENT				
MARK	AREA LENGTH	AREA WIDTH	AREA	
А	30' - 0"	34' - 1"	1023 SF	
В	18' - 1"	26' - 6"	479 SF	
Grand total: 2			1502 SF	

AREA CALCULATION FIRST FLOOR						
MARK	AREA LENGTH	AREA WIDTH	AREA			
D	7' - 6"	12	86 SF			
E	3' - 4"	26	86 SF			
F	14' - 7"	37	540 SF			
Н	30' - 0"	34	1023 SF			
TOTAL: 4			1735 SF			

AREA CALCULATION JADU					
MARK	AREA LENGTH	AREA WIDTH	AREA		
А	7' - 10"	13	102 SF		
В	12' - 11"	26	336 SF		
С	4' - 3"	15	61 SF		
TOTAL: 3			499 SF		

AREA CALCULATION PORCH						
MARK	AREA LENGTH	AREA WIDTH	AREA			
P1	5' - 6"	30	165 SF			
P2	7' - 10"	22	172 SF			
TOTAL: 2			337 SF			

AREA CALCULATION SECOND FLOOR						
MARK	AREA LENGTH	AREA WIDTH	AREA			
А	30'-0"	34	1022 SF			
В	11'-0"	19	209 SF			
С	14'-1"	15	211 SF			
D	15'-11"	29	459 SF			
TOTAL: 4			1901 SF			

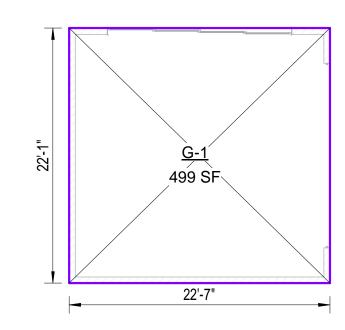
FIRST LEVEL AREA + SECOND LEVEL AREA + JADU + DETACHED GARAGE = TOTAL FLOOR AREA 1,735 + 1,901 + 499 + 499 = 4,634 SF

ALLOWABLE FLOOR AREA = 4634 SF

FIRST LEVEL AREA + PATIO AREA + JADU + DETACHED GARAGE = TOTAL LOT COVERAGE AREA 1,735 + 337 + 499 + 499 = 3,070 SF

ALLOWABLE LOT COVERAGE AREA = 3789.6 + 500 = 4289.6 SF

BASEMENT FLOOR AREA = 1502 SF



2 DETACHED GARAGE 1/8" = 1'-0"

AREA CALCULATION DETACHED GARAGE					
MARK AREA LENGTH AREA WIDTH AREA					
G-1	22' - 1"	23	499 SF		
TOTAL: 1			499 SF		

REV.	ISIONS :	CRIPTION	DATE	REV BY
1		PER COMMENTS	10-DEC-2021	SAGAR
NOT	FS:			
•	DRAWING SH DIMENSIONS ALL CENTERL COLUMN/ WA	ALL NOT BE SC SHALL BE FOLI INES ARE FRO LL AND THE DII DIMENSIONS	ET AND INCHES. CALED AND ONLY LOWED. M THE CENTER ( MENSIONS GIVER UNLESS OTHER)	OF N ARE
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#### **EXTERIOR COLOR / MATERIAL SCHEDULE** CODE MATERIAL / APPLICATION COLOR **MANUFACTURE BLACK** METAL ROOFING GAF OR EQ M1 CONCRETE GREY **BLUE STREAK QUARRY** FLOOR & DECOR ,ACME CREAM BRICK OR EQ STONE VENEER SMOOTH STUCCO WHITE **WOODEN SIDING BROWN** JAMES HARDIE OR EQ **BLACK** GARAGE DOOR CLOPAY DOOR OR EQ METAL WINDOW FRAMES **BLACK** MILGARD OR EQ MILGARD OR EQ SLIDING GLASS DOOR **BLACK ACCORDION GLASS DOOR BLACK** LACANTINA DOOR OR EQ VIEWRAIL OR EQ GLASS GUARDRAIL **BLACK** BROWN STAIRSUPPLIES OR EQ WOODEN GUARDRAIL M10

\* NOTES: EXACT COLORS TO BE VERIFIED w/ OWNER & ARCHITECT





NOTES:

WOODEN GUARDRAIL M10 GLASS GUARDRAIL M9

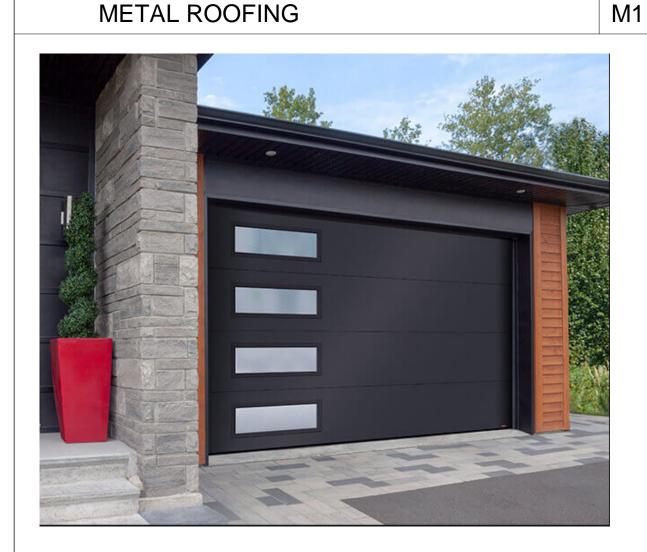






STONE VENEER

M3





CONCRETE DRIVEWAY & WALKWAY





WHITE SMOOTH STUCCO

REVISIONS: DESCRIPTION REVISED AS PER COMMENTS 10-DEC-2021 SAGAR NOTES: ALL DIMENSIONS ARE IN FEET AND INCHES. DRAWING SHALL NOT BE SCALED AND ONLY WRITTEN DIMENSIONS SHALL BE FOLLOWED. ALL CENTERLINES ARE FROM THE CENTER OF COLUMN/ WALL AND THE DIMENSIONS GIVEN ARE CENTERLINE DIMENSIONS- -UNLESS OTHERWISE IN CASE OF ANY DISCREPANCY FOUND IN DRAWINGS AND DETAILS, IT SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT, AND RECTIFIED, PRIOR TO ITS EXECUTION. THIS DRAWING IS ISSUED STRICTLY WITH AN UNDERSTANDING THAT IT WILL BE USED ONLY FOR THE PURPOSE MENTIONED AND SHALL BE RETURNED AFTER COMPLETION. ·LARGER SCALE DRAWINGS AND DETAILS SUPERCEDE THE SMALLER SCALE DRAWINGS AND DETAILS. THIS DRAWING SHALL BE REFERRED ONLY FOR THE PURPOSE MENTIONED IN ITS TITLE (FLOORING PATTERN, FALSE CEILING, SHUTTERING PATTERN, ELECTRICAL, PLUMBING, ETC.) THIS DOCUMENT IS THE PROPERTY OF LIVIO BUILDING SYSTEMS AND SHALL NOT BE REFERRED, REPRODUCED, COPIED, ETC, WITHOUT EXPLICIT WRITTEN PERMISSION FROM LIVIO BUILDING SYSTEMS, LOS ALTOS, CA USA PROJECT: 1516 ARBOR AVE LOS ALTOS DRG NO: A-7.001 MATERIAL BOARD DATE: 11-NOV-2021 DRAWN BY: PRAKASH CHECKED BY: SUBHENDU ADDRESS: 329 S San Antonio Road #8, Los Altos, CA 94022 PROJECT NO: CONTACT: 650-209-6500 SCALE: 12" = 1'-0" EMAIL: team@golivio.com

GARAGE DOOR M5 METAL WINDOW FRAME M6 SLIDING GLASS DOOR M7 ACCORDION GLASS DOOR M8 s

M2

### COUNTY OF SANTA CLARA General Construction Specifications

#### GENERAL CONDITIONS

ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY

THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS. 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.

DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.

DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL

DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN

UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. 5. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE

ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.

UPON DISCOVERING OR UNFARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (4008) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730 NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18).

THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

#### <u>construction staking</u>

THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.

ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR

LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY 14. TOTAL DISTURBED AREA FOR THE PROJECT AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR

## CONSTRUCTION INSPECTION

BUILDING FOUNDATION.

PRIOR TO THE COMMENCEMENT OF GRADING.

PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR

GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION

OF WORK AND SITE. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE

#### SITE PREPARATION (CLEARING & GRUBBING)

EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN

AS FOLLOWS: A) TO A MINIMUM DEPTH OF 2' BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE) B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE

IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE 2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

# JTILITY LOCATION, TRENCHING & BACKFILL

CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR

GENERAL INFORMATION ONLY. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED

OUTSIDE THE PAVED AREAS. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS

DIRECTED BY THE COUNTY. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE

COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

#### RETAINING WALLS

REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING CONTINUAL CONTROL OF THE COUNTY INSPECTOR. INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL

SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

#### GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.

2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN. 4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE

THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

REMOVED OUTSIDE OF CUT. FILL OR ROADWAY AREAS.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE/BASEMENT	550	0	9.6'
DETACHED GARAGE	30	0	2'
HARDSCAPE	5	10	1'
LANDSCAPE	5	0	1'
DRIVEWAY	0	35	1'
OFFSITE IMPROVEMENTS			
TOTAL	590	45	
EARTHWORK QUANTITIES S INFORMATION ONLY. CON OWN QUANTITIES TAKE-OI	ITRACTORS A		

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP

NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD. 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.

9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% 10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION 11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED

BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY. 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.

13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.

15. WDID NO. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT 16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:

FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.

FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT

http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY. 2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR 3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

# AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE ACCESS ROADS AND DRIVEWAYS

DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).

LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING. 3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES

AND LOCAL RESIDENTS. 4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

#### STREET<u>LIGHTING</u>

DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

#### SANITARY SEWER

THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.

2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

# PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE

#### AIR QUALITY, LANDSCAPING AND EROSION CONTROL

WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.

3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING

AREAS AT CONSTRUCTION SITES. 4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING

AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER

SWEEPING IS PROHIBITED ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR

PROPER OPERATION OF THE VEHICLE. 7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR. 8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE

RUNNING IN PROPER CONDITION PRIOR TO OPERATION. 9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.

A. 15 MILES PER HOUR (MPH) SPEED LIMIT 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR

POLLUTION COMPLAIN HOTLINE OF 1-800-334-6367. 10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING. 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE

GROWTH. 12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SD8. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.

14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE

15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.

16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR. 17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE

LIMITED TO THE FOLLOWING; A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND

EQUIPMENT LAYDOWN / STAGING AREAS. B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.

PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. 18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN

YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE

SANTA CLARA COUNTY ROAD RIGHT-OF-WAY. 19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS. DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

### STORM DRAINAGE AND STORMWATER MANAGEMENT

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CASO00004/ ORDER NO. 2013-0001-DWQ.

2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN

OPEN AREA FOR SHEET FLOW. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND

STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

#### AS-BUILT PLANS STATEMENT

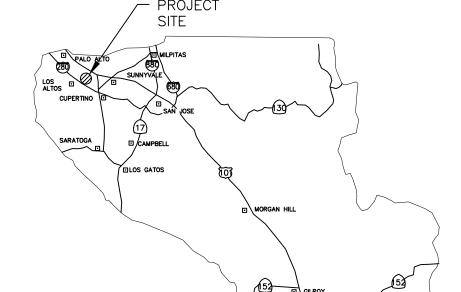
THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (^). THERE (\_\_\_WERE) \_ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL (Δ).

#### SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPYOF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTERCONSTRUCTION.

#### GEOTECHNICAL ENGINEER OBSERVATION

A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



# COUNTY LOCATION MAP

#### SURVEY MONUMENT PRESERVATION

1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION

2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE

CONSTRUCTION ACTIVITY. 3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.

#### BENCHMARK

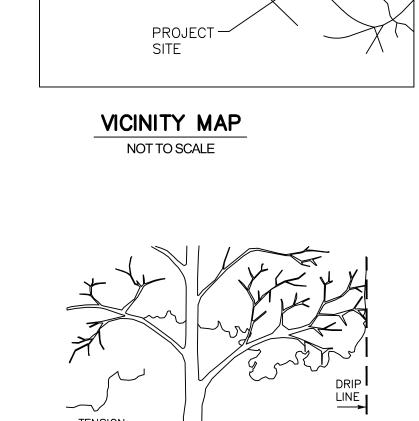
SET NAIL FOR SITE BENCHMEARK FLEVATION=99.03' NAVD 1988 DATUM

ISSUED BY: \_\_\_\_\_

ENCROACHMENT PERMIT NO.

#### BASIS OF BERINGS

THE BEARING N46°16'00"W OF CENTERLINE OF ARBOR AVENUE AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE LOS ALTOS COUNTRY CLUB PROPERTIES LOYOLA" FILED IN BOOK "R" OF MAPS AT PAGE 50-53, SANTA CLARA COUNTY RECORDS.

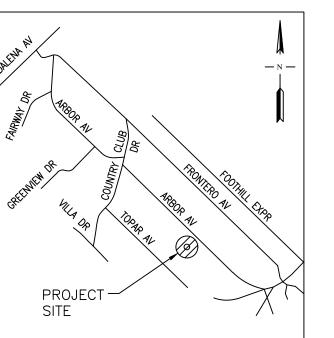


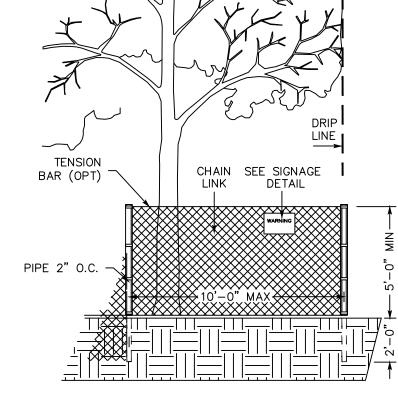
1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES. ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION

(CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).

3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO HE GROUND AND SPACED NOT MORE THAN 10 FEET APART 4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD. INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL

REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.





#### EXISTING TREE PROTECTION DETAILS

SHALL BE INCORPORATED INTO THE GRADING PLANS.

2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL

5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE

#### COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING GRADING / DRAINAGE PERMIT NO. \_\_\_\_\_ ISSUED BY: \_\_\_\_\_ DATE:\_\_\_

### ENGINEER'S STATEMENT

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHUOT AN

ENCROACHEMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION

MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS

I HEARBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED BUILDING SITE APPROVAL AND CONDITIONS OF APPROVAL PERTAINING THERETO.



50541 R.C.E. NO. 6/30/23 RENEWAL DATE

#### COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER. PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

R.C.E. NO. EXPIRATION DATE

# **GRADING & DRAINAGE PLAN 1516 ARBOR AVENUE** LOS ALTOS, CA

#### SCOPE OF WORK

WITHIN RIGHT-OF-WAY COVERED UNDER ENCROACHMENT PERMIT

- RECONSTRUCT EX. AC DRIVEWAY TO COUNTY STD. B4A DRIVEWAY.
- 2. INSTALL NEW UNDERGROUND UTILITIES AND TEMPORARY CONSTRUCTION POWER BY RESPECTIVE UTILITY COMPANIES.
- INSTALL AND MAINTAIN PROPER BMPS. 4. INSTALL, MAINTAIN AND REMOVAL OF TRAFFIC CONTROL

#### OUTSIDE RIGHT-OF-WAY COVERED UNDER BUILDING PERMIT

- 1. CLEARING OF ORGANIC AND FOREIGN MATERIALS FROM AREA TO BE GRADED. REMOVAL AND DISPOSING OF THESE MATERIAL TO THE COUNTY APPROVED DUMP SITES.
- INSTALL EROSION AND SEDIMENTATION CONTROL. GRADING FOR THE PROPOSED BUILDING PAD.
- DEVELOP GROUND COVER ON ALL EXPOSED DISTURBED SURFACES.
- 5. CONSTRUCT NEW BUILDING STRUCTURE, HARDSCAPE, DRIVEWAY, DETENTION BASIN. AND ALL UTILITIES UPGRADES & CONNECTIONS.
- 6. CLEAN UP THE SITE.

#### **LEGEND**

DESCRIPTION TO BE CONST. PROPERTY LINE LIMITS OF WORK OR BOUNDARY RIGHT-OF-WAY CURB AND GUTTER SIDEWALK CITY SURVEY MONUMENT SEPTIC TANK SANITARY SEWER LINE — SS — STORM SEWER — W — STORM SEWER LINE — SD — (D) MH D) MH STORM DRAIN MANHOLE DRAINAGE INLET ELECTROLIER <del>\_\_\_\_</del> EDGE OF PAVEMENT \_/// PAVING CONFORM OR OVERLAY TO FORM SMOOTH A.C. TRANSITION EX. TREE TO BE REMOVED CONTOUR LINE WATER METER ☐ WM WM POWER POLE AND OVERHEAD WIRE OH----O- JP SPOT ELEVATION × 21.16

## SHEET INDEX TITLE SHEET DEMOLITION PLAN GRADING & DRAINAGE STANDARD DETAILS TRAFFIC CONTROL PLAN EROSION CONTROL COUNTY BMP 1 COUNTY BMP 2 ROBERT WANG ENGINEER'S NAME: RW ENGINEERING, INC. ADDRESS: 505 ALTAMONT DRIVE MILPITAS, CA 95035 (408) 262-1899 PHONE NO.

### TITLE SHEET

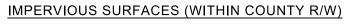
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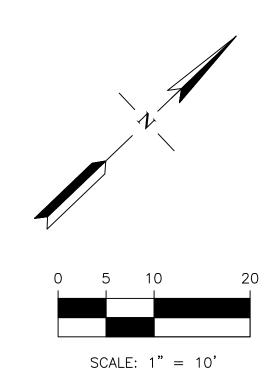
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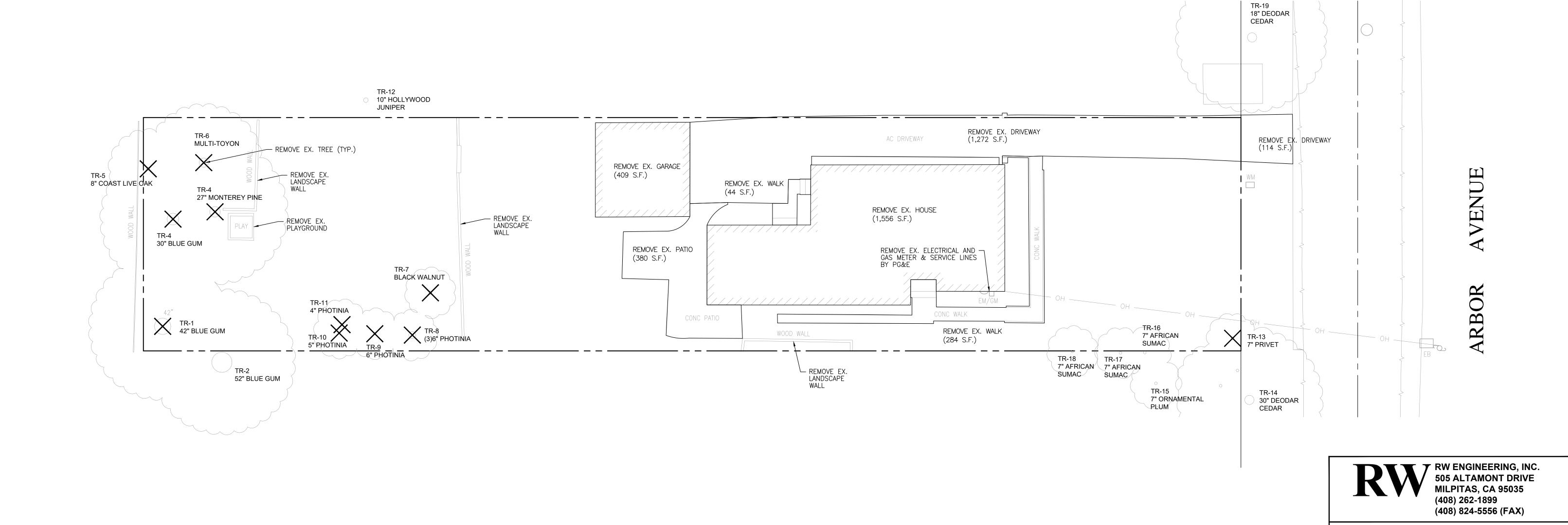


LOCATION	EXISTING (SF)	PROPOSED (SF)	
DRIVEWAY	1,272	1,250	
HOUSE & GARAGE	1,965	2,703	
WALKWAY	328	210	
PORCH & PATIO	380	941	NET CHANGE
TOTAL	3,945	5,104	+1,159



LOCATION	EXISTING (SF)	PROPOSED (SF)	
DRIVEWAY	144	167	NET CHANGE
TOTAL	144	167	23





**DEMOLITION PLAN** 

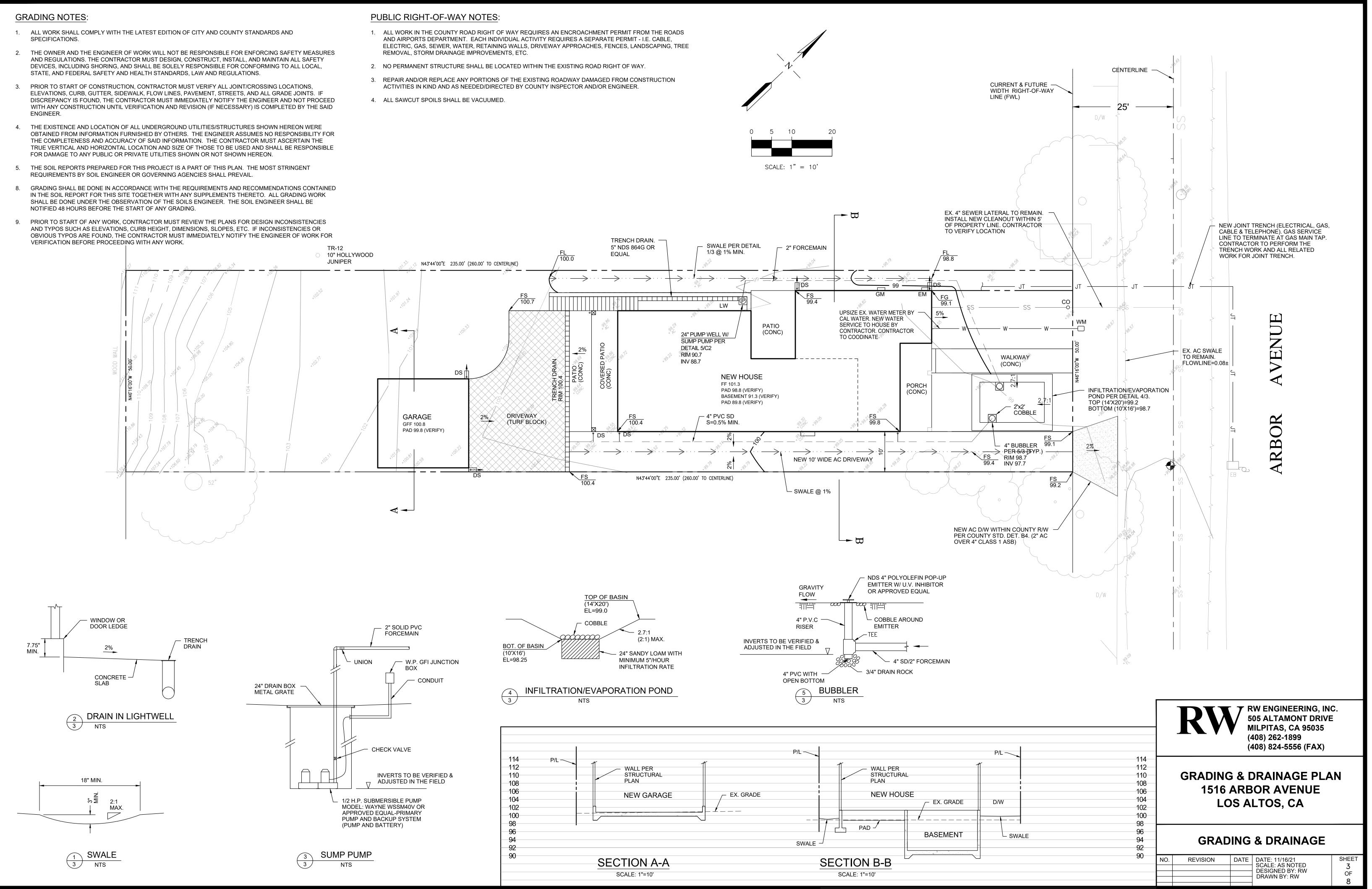
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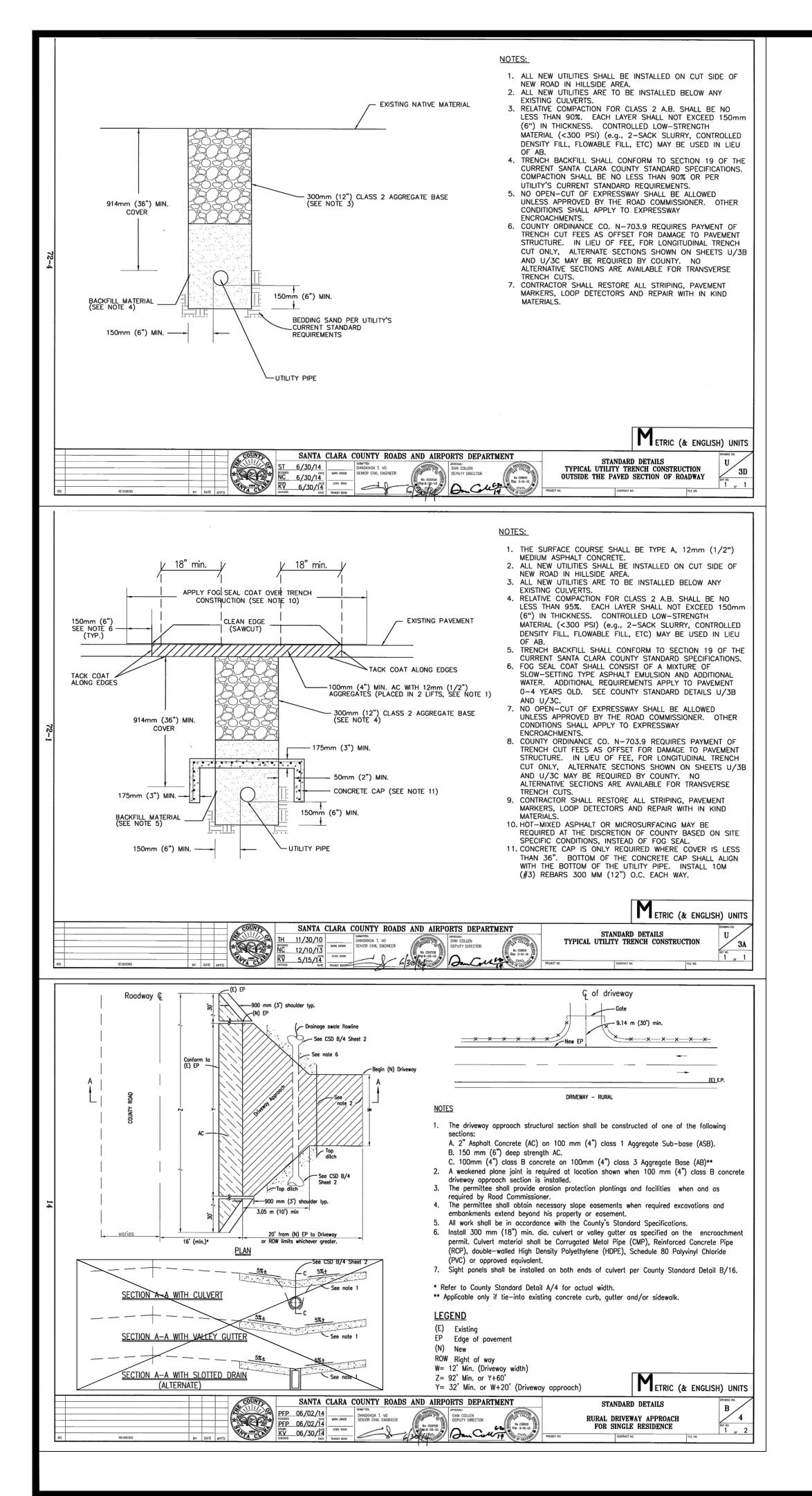
**GRADING & DRAINAGE PLAN** 

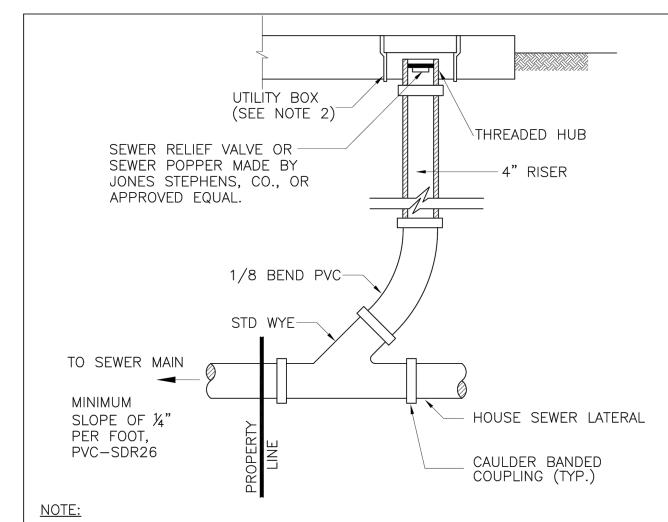
**1516 ARBOR AVENUE** 

LOS ALTOS, CA

DATE: 11/16/21 SCALE: AS NOTED DESIGNED BY: RW DRAWN BY: RW







SEWER LATERAL FROM THE HOUSE SHALL BE CONSTRUCTED PER BUILDING DEPARTMENT REQUIREMENTS.

2. IN DRIVEWAY OR PLANTED AREA, USE CHRISTY TYPE G5 TRAFFIC BOX WITH G5C LID OR EQUAL. LID SHALL CONTAIN THE LETTERS "SEWER".

3. WHEN INSTALLED IN PLANTED AREAS, CLEANOUT BOX SHALL BET SET A MINIMUM OF 1-1/2" ABOVE GRADE.

4. OWNER IS RESPONSIBLE FOR MAINTENANCE, REPAIR, AND REPLACE OF LATERAL, FROM THE BUILDUNG TO THE MAIN CONNECTION INCLUDING THE WYE AT THE MAIN, SEWER RELIEVE VALVE AND BACKFLOW PREVENTOR.

5. INSTALL BACKFLOW PREVENTOR "CLEAN CHECK" EXTENDABLE BACKWATER VALVE, OR APPROVED EQUAL, UPSTREAM OF PROPERTY LINE CLEANOUT.

VERTICAL SEWER LATERAL CLEANOUT

1/13/2011

ADOPTED BY CITY COUNCIL DATE:

STANDARD DETAIL SCALE: NONE

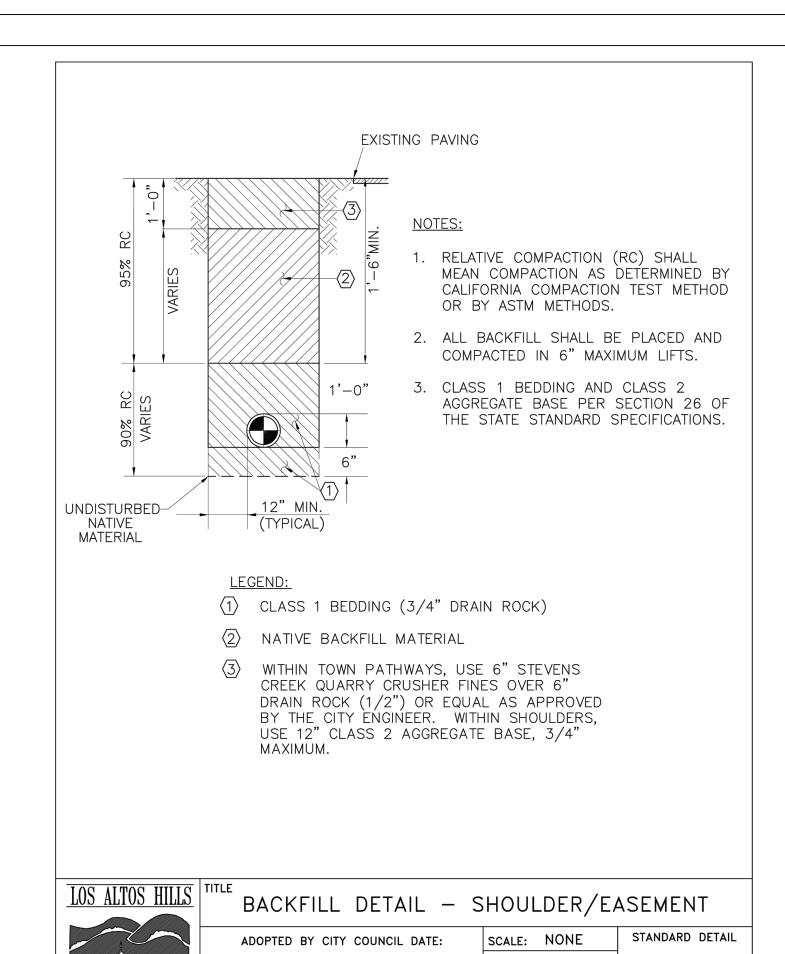
DATE: 1/4/2011

UT-2

CALIFORNIA 26379 FREMONT ROAD, LOS ALTOS HILLS, CA 94022 · Phone: (650) 941-7222

#### **GENERAL NOTES FOR SEWER LATERAL CONNECTIONS**

- 1. All References to "Town" in these general notes shall mean Town of Los Altos Hills Public Works
- 2. All sanitary sewer workmanship and materials shall conform to requirements of current Town Standard Details, Construction Standards, and the City Engineer.
- 3. The approval of these plans by the Town shall be interpreted to mean that the sanitary sewer design shown on these plans meets the Town's Standards. The Town's approval in no way guarantees any
- other aspect of this plan or its accuracy relative to actual field conditions. 4. The City Engineer is authorized to require modifications during construction.
- 5. The contractor shall contact the Town at 650-941-7222, two (2) working days in advance of beginning any sanitary sewer work. The contractor shall thereafter keep the Town Inspector informed of his schedule for sanitary sewer work.
- 6. Prior to commencement of excavation work, the contractor shall contact all utility companies by calling Underground Service Alert (USA) at 1-800-227-2600 at least forty-eight (48) hours prior to
- start of construction. 7. The contractor shall field verify the location of all utilities before beginning any excavation.
- 8. The contractor shall obtain any and all permits required by the Town before beginning any sanitary
- 9. Contractor shall obtain encroachment permit prior to any work in the Town right-of-way. A preconstruction meeting is required with the Public Works Department.
- 10. Applicant shall provide sufficient deposit to the Town for inspection, testing, community outreach, staff time, arborist, traffic consultants, safety specialist and other services as determined by the City Engineer. Any outstanding deposit shall be paid in full prior to final sign off.
- 11. Sewer connection permits shall be issued by the Town for all proposed new connections.
- 12. Existing sanitary sewer service shall be maintained at all times. The contractor shall use whatever means necessary (e.g. pumps, bypass lines, etc.) to maintain this service during construction.
- 13. Prior to commencing any sanitary sewer work in easements, the contractor shall provide the Town with adequate evidence that all affected property owners (and tenants where applicable) were notified forty-eight (48) hours prior to the date of work and that they have updated that notice in a timely manner when those dates have changed.
- 14. All sanitary sewer work constructed without inspection by the Town shall be removed and reconstructed with inspection.
- 15. All sanitary sewer laterals shall be 4" PVC-SDR 26 or approved equal, one per lot and marked with the letter 'S' on a post per Town's standards.
- 16. Sewer laterals shall be a minimum of 4' below top of curb or finished ground at property line unless
- authorized by the City Engineer. 17. The contractor shall be responsible for verifying the elevation of all existing storm drains and sewers
- to be extended or connected prior to commencing work. 18. Traffic Control Plan shall be prepared by a licensed Traffic Engineer. Traffic Control Plan shall be in
- accordance with Town's construction standards and subject to review and approval of the City Engineer prior to permit issuance.
- 19. Two open traffic lanes are required during all non-working hours. One travel lane may be closed during work hours when flaggers are present.
- 20. Sewer trenches and permanent pavement within right-of-way and/or easements shall conform to Town's Standard Detail UT-1 and UT-2.
- 21. Comply with Cal/OSHA Title 8 Regulations paying special attention to Chapter 4 Division of Industrial Safety, Subchapter 4, Article 6 regarding Excavations. The contractor shall install



1/13/2011

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"protective systems" for trenches deeper than 5 feet in depth and "access and egress" for trenches greater than 4 feet in depth as per Cal/OSHA requirements.

- 22. No open trenches in the street right-of-way will be allowed overnight. All trenches shall be backfill the same day the trench was excavated, except that portion of the trench or excavation to be used for connecting the extension of the installation. That said portion shall be adequately barricaded and protected to the satisfaction of the City Engineer or his representative. Excavations or trenches for poured in place concrete manhole may remain open for a period not to exceed seven days, providing said excavation or trenches are adequately barricaded, fenced, and plated with skid resistant steel plate of adequate thickness and flushed with pavement. The number of plates to be utilized each day shall be approved by the City Engineering or his representative.
- 23. 'Tracer Wire' shall be installed along the top of the pipe for all sections of the sewer line. The wire shall be solid copper AWG #10 with an insulated jacket. Detector tape shall also be installed within top 12" of pavement.
- 24. The Town is not responsible for cleaning private sewer laterals. The property owner is fully responsible for maintenance, repair, and replacement of the (a) lateral from the house to the main including wye connection at the main, (b) overflow, and (c) backflow devices.
- 25. All works to be done to the satisfaction of the City Engineer.



RW ENGINEERING, INC. **505 ALTAMONT DRIVE** MILPITAS, CA 95035 (408) 262-1899 (408) 824-5556 (FAX)

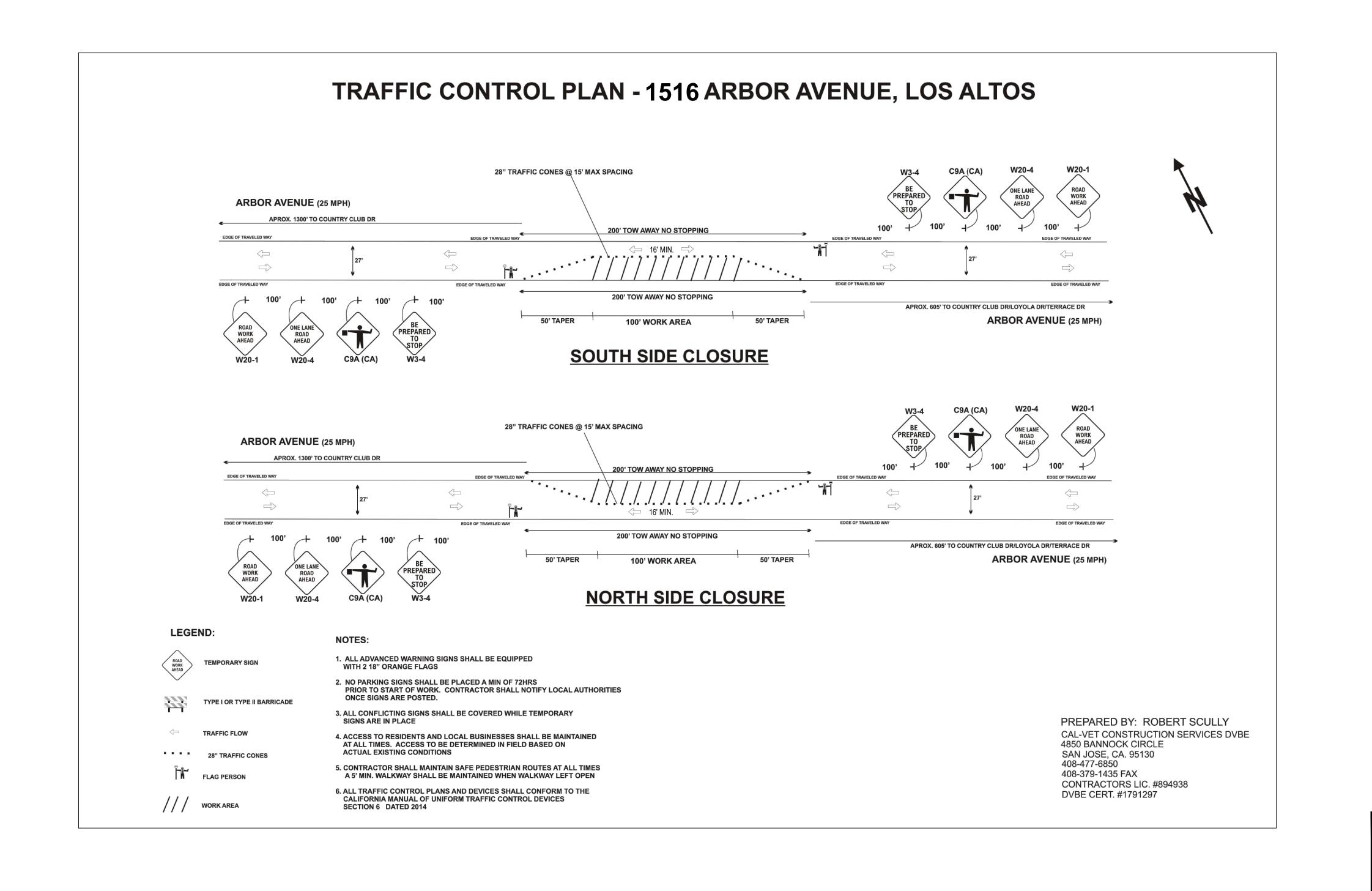
OF

**GRADING & DRAINAGE PLAN 1516 ARBOR AVENUE** LOS ALTOS, CA

STANDARD DETAILS & NOTES

SCALE: AS NOTED DESIGNED BY: RW DRAWN BY: RW

ROAD: ARBOR AVENUE COUNTY FILE NO .: APPLICANT:





RW ENGINEERING, INC. 505 ALTAMONT DRIVE MILPITAS, CA 95035 (408) 262-1899 (408) 824-5556 (FAX)

GRADING & DRAINAGE PLAN 1516 ARBOR AVENUE LOS ALTOS, CA

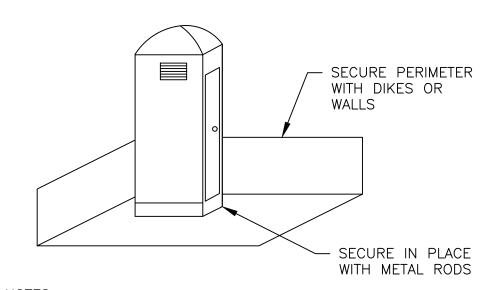
STANDARD DETAILS & NOTES

REVISION	DATE	DATE: 11/16/21	SHEET
		SCALE: AS NOTED DESIGNED BY: RW	5
		DRAWN BY: RW	OF
		510 ((()))	8

GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL

SEDIMENT/EROSION CONTROL MEASURES SHOWN ON THIS SHEET ARE THE MINIMUM REQUIREMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES AS DEEMED NECESSARY TO ASSURE ADEQUATE PROTECTION DURING THE PROGRESS OF CONSTRUCTION AND

CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY."



LOCATE PORTABLE TOILET IN CONVINIENT LOCATION.
 PREPARE LEVEL SURFACE AND PROVIDE CLEAR ACCESS TO THE TOILET FOR SERVICING AND FOR ON—SITE PERSONNEL.
 SECURE PERIMETR CONTROL FOR SPILL/PROTECTION LEAK.

APPLICANT:

PORTABLE TOILET NOT TO SCALE

#### NOTES:

AT THE CONTRACTOR'S EXPENSE.

- 1. "THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) WITHIN THE SANTA CLARA COUNTY ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN—OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY ROAD RIGHT OF WAY. THE BMPs ARE USED THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WASTE MATERIALS, AND SEDIMENT CAUSED BY EROSION FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM, WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

  i. REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGE FROM THE CONSTRUCTION
  - SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS,

    ii. PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIAL ONTO PUBLIC ROAD RIGHT OF WAY, AND

    iii. PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER
- 2. "THE OWNER/OWNER'S CONTRACTOR, AGENT AND/OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY ROAD RIGHT OF WAY."

### GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- 2. OWNER/ CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- 3. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.

  4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- 5. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- 6. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- 7. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.

#### EROSION AND SEDIMNET CONTROL MEASURES

- 1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- 2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY AND COUNTY.
- 3. CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS. (ALSO INCLUDE THIS NOTE ON GRADING PLANS.)
- 4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY AND COUNTY.
- 5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE—STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH.
- 6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF
- 7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS
- 8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.
- 1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
- B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
- C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.

  D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
- E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- F. RILLS AND GULLIES MUST BE REPAIRED.

2. ROCK BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.

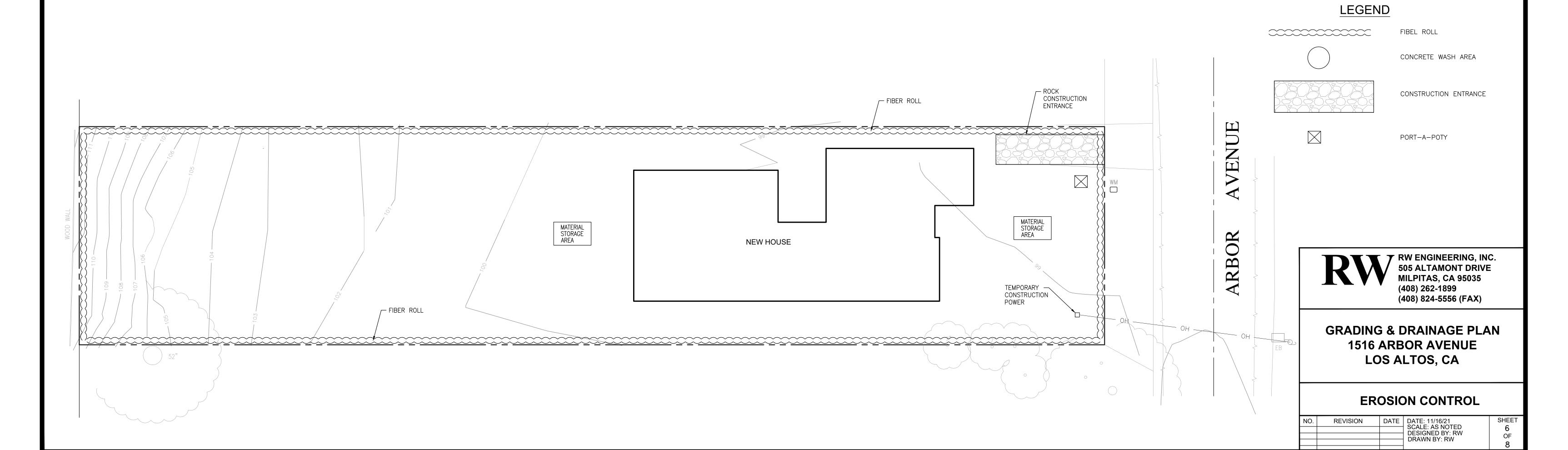
#### **HYDROSEEDING:**

MAINTENANCE NOTES

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, CALTRANS STANDARD SPECIFICATIONS, AND UNDER THE DIRECTION OF THE SOIL ENGINEER IN THE FIELD.
- 2. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS AVAILABLE FROM PACIFIC COAST SEED, LIVERMORE (925) 373-4417:

FIBER (HYDROSTRAW AND TACK MULCH)
COLOR (GREEN TO GOLD)
FERTILIZER (16-20-0)
M-BINDER
WATER, AS REQUIRED FOR APPLICATION

2500 LBS/ACRE 55 LBS/ACRE 350 LBS/ACRE 125 LB/ACRE

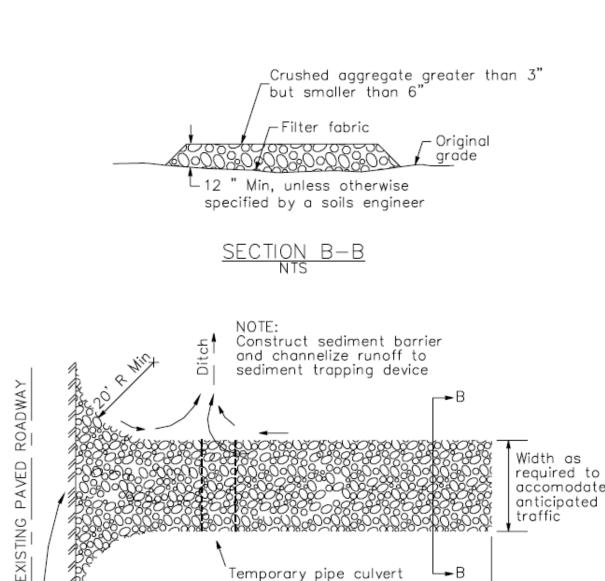


COUNTY FILE NO .:

ROAD: ARBOR AVENUE

## **Stabilized Construction Entrance/Exit**

#### **CASQA Detail TC-1**



50' Min

Existing

PLAN VIEW

SECTION A-A

\* Length per ABAG Design Standards

Grade

or four times the circumference

of the largest construction vehicle tire,

**Velocity Dissipation Devices** 

CASQA Detail EC-10

4do (min)

-Key in 6"-9"

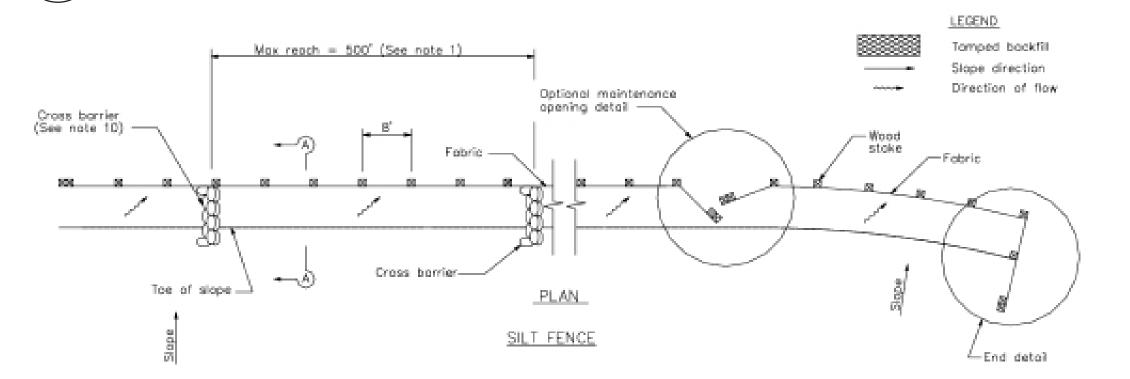
entire perimeter

Pipe outlet to well

defined channel

whichever is greater

# **Silt Fence**

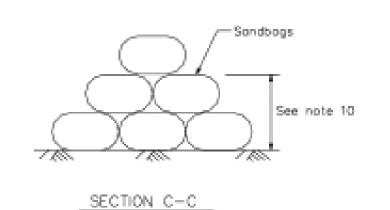


**CASQA Detail SE-1** 

#### NOTES

- 1. Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/3 the height of the linear borrier, in no case shall the reach length exceed 500
- The last 8'-0" of fence shall be turned up slope.
- Stake dimensions are naminal.
- 4. Dimension may very to fit field condition.
- 5. Stakes shall be spaced at 8'-0" maximum and shall be positioned on downstream side of fence.
- 6. Stakes to overlap and fence fabric to fold around each stake one full turn. Secure fabric to stake with 4 staples.
- 7. Stokes shall be driven tightly together to prevent potential flow-through of sediment at joint. The tops of the stakes
- 8. For end stake, fence fabric shall be folded around two stakes one full turn and secured with 4 staples.
- Minimum 4 staples per stake. Dimensions shown are typical.
- 10. Cross barriers shall be a minimum of 1/3 and a maximum of 1/2 the height of the linear barrier.
- 11. Maintenance openings shall be constructed in a manner to ensure sediment remains behind silt fence.
- 12. Joining sections shall not be placed at sump locations.
- Sandbag rows and layers shall be offset to eliminate gaps.

CROSS BARRIER DETAIL

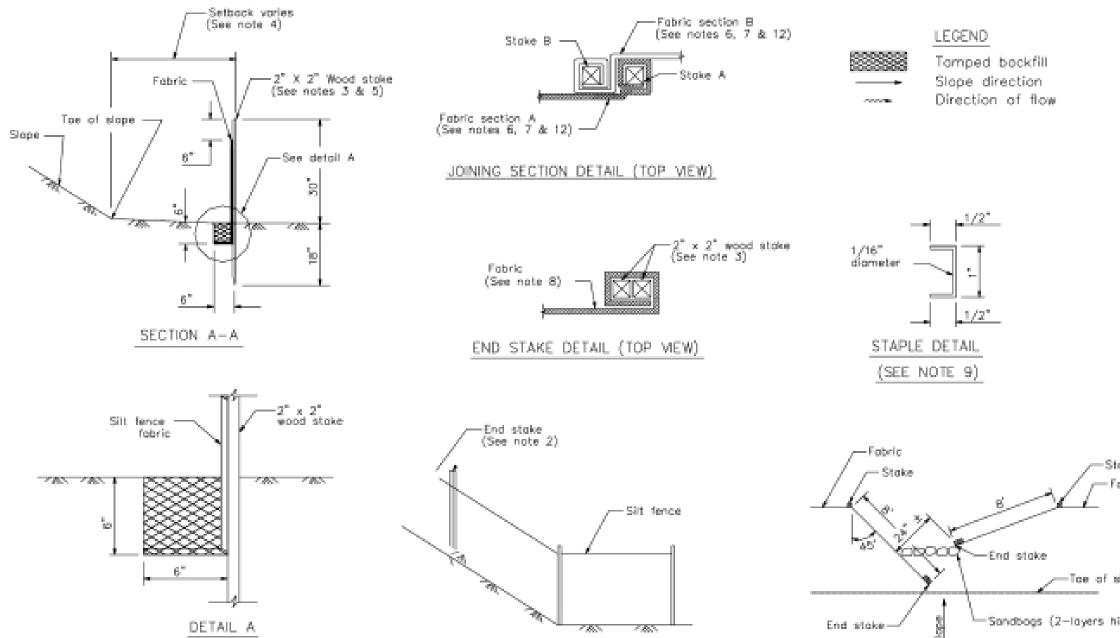


OPTIONAL MAINTENANCE OPENING DETAIL

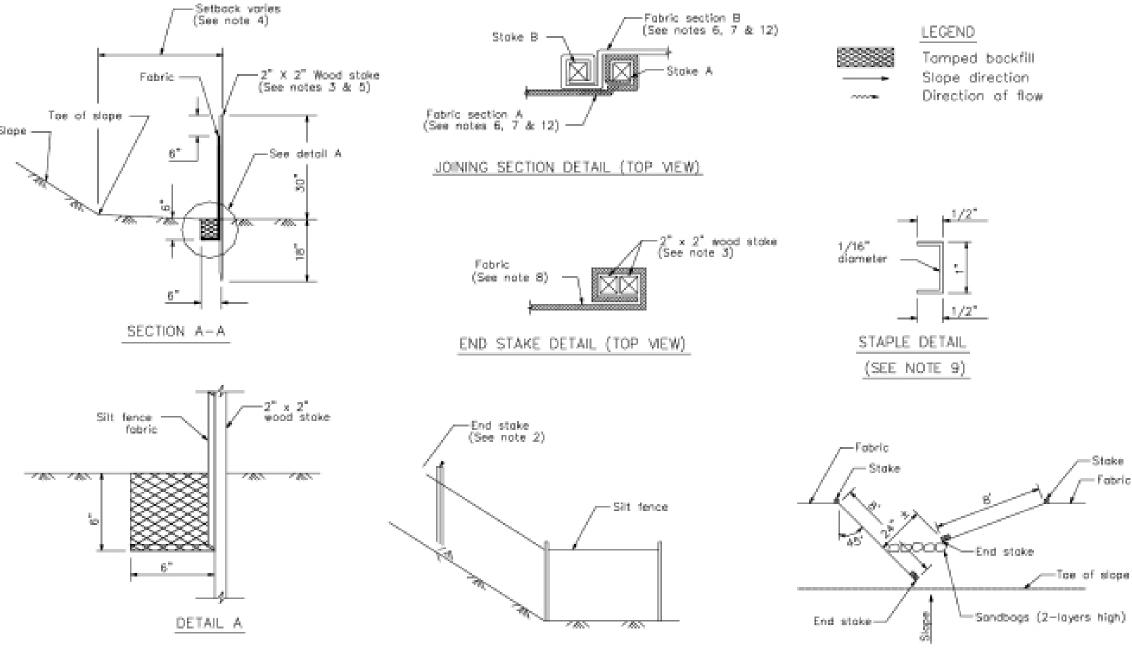
(SEE NOTE 11)

# Silt Fence

# CASQA Detail SE-1



END DETAIL



#### STANDARD BEST MANAGEMENT PRACTICE NOTES

- 1. Solid and Demolition Waste Management: Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or
- 2. <u>Hazardous Waste Management</u>: Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- 3. Spill Prevention and Control: Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- 4. <u>Vehicle and Construction Equipment Service and Storage</u>: An area shall be designated for the maintenance, where onsite maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- 5. Material Delivery, Handling and Storage: In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- 6. <u>Handling and Disposal of Concrete and Cement</u>: When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- . <u>Pavement Construction Management</u>: Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- 6. Contaminated Soil and Water Management: Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or
- . <u>Sanitary/Septic Water Management</u>: Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or
- 10. Inspection & Maintenance: Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

#### STANDARD EROSION CONTROL NOTES

1. Sediment Control Management

<u>Tracking Prevention & Clean Up</u>: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

<u>Dust Control</u>: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures(tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.

- 2. <u>Erosion Control</u>: During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- 3. <u>Inspection & Maintenance</u>: Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/ or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- 4. <u>Project Completion</u>: Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- 5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- 6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Information Project

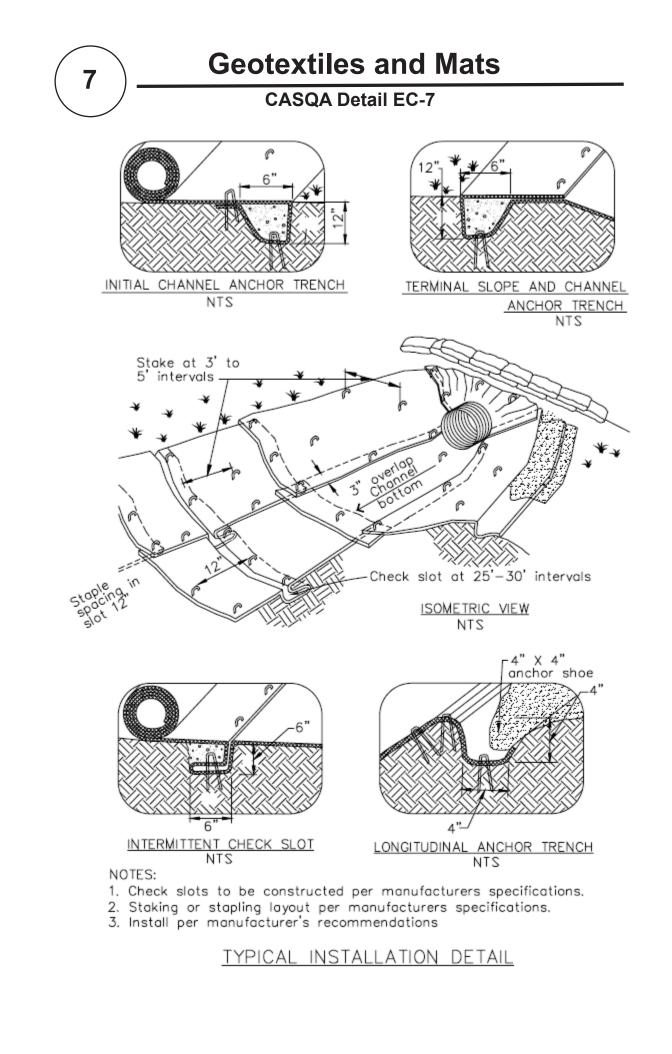
Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

> Best Management Practices and Erosion Control Details Sheet 1 County of Santa Clara



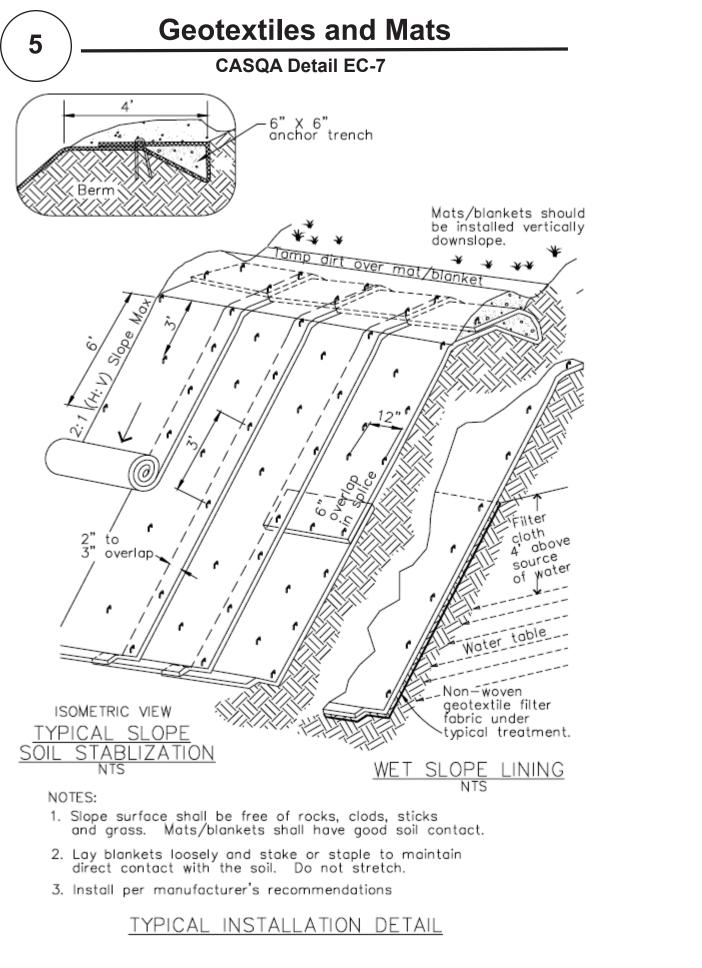


BMP-2



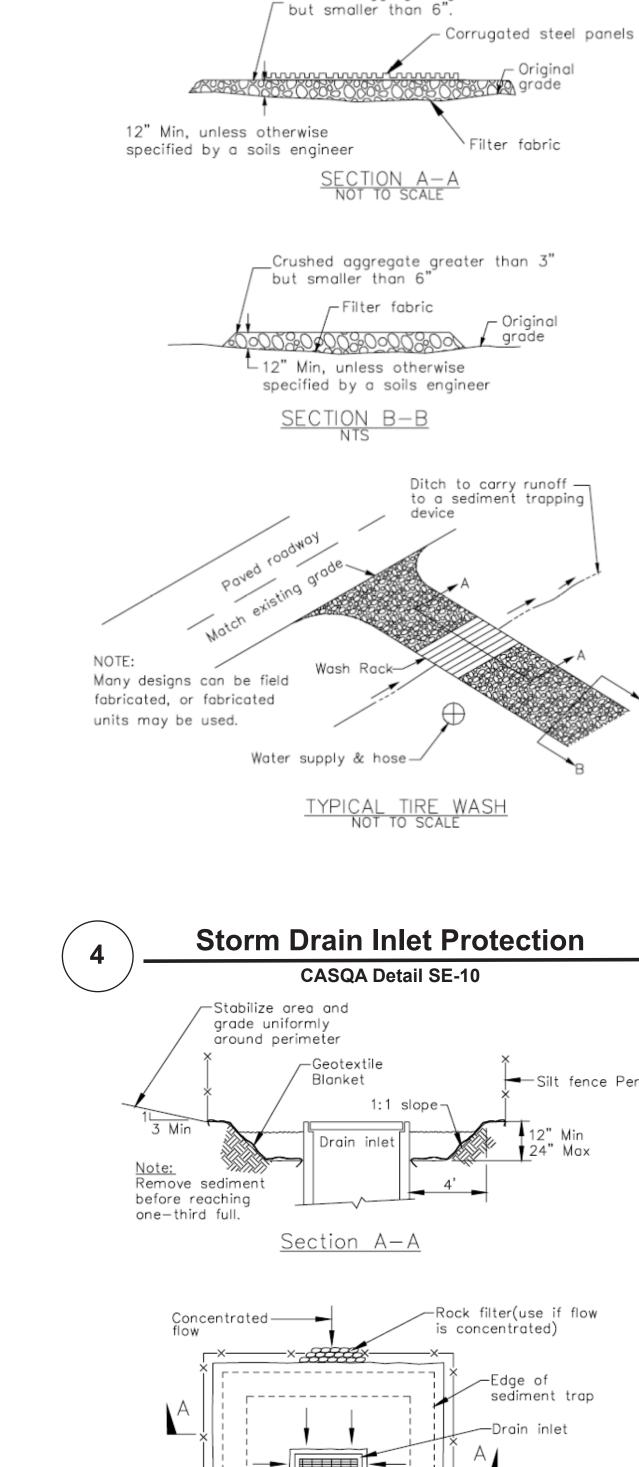
**Storm Drain Inlet Protection** 

CASQA Detail SE-10



**Storm Drain Inlet Protection** 

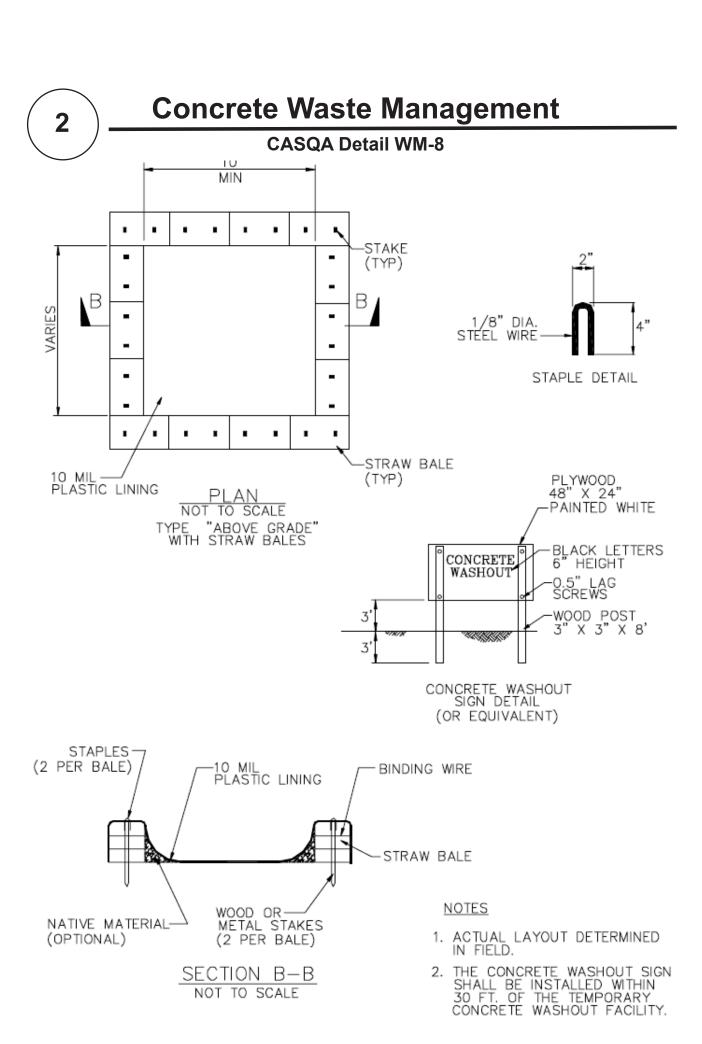
**CASQA Detail SE-10** 



**Entrance/Outlet Tire Wash** 

CASQA Detail TC-3

Crushed aggregate greater than 3"



Fiber Rolls

**CASQA Detail SE-5** 

TYPICAL FIBER ROLL INSTALLATION

Vertical spacing measured along the face of the slope varies between

10' and 20'

Install fiber roll along a level contour.

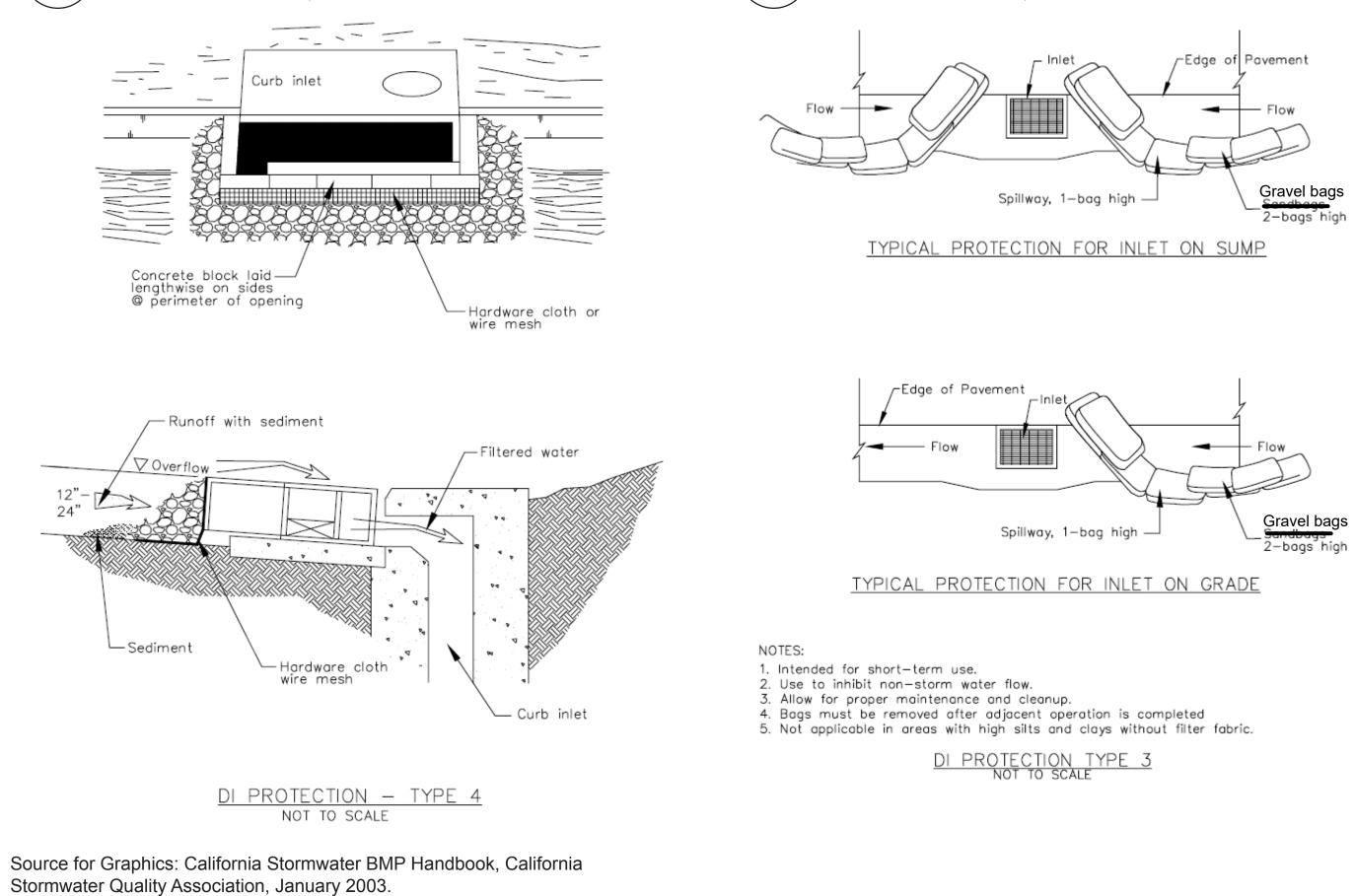
\_Install a fiber roll near

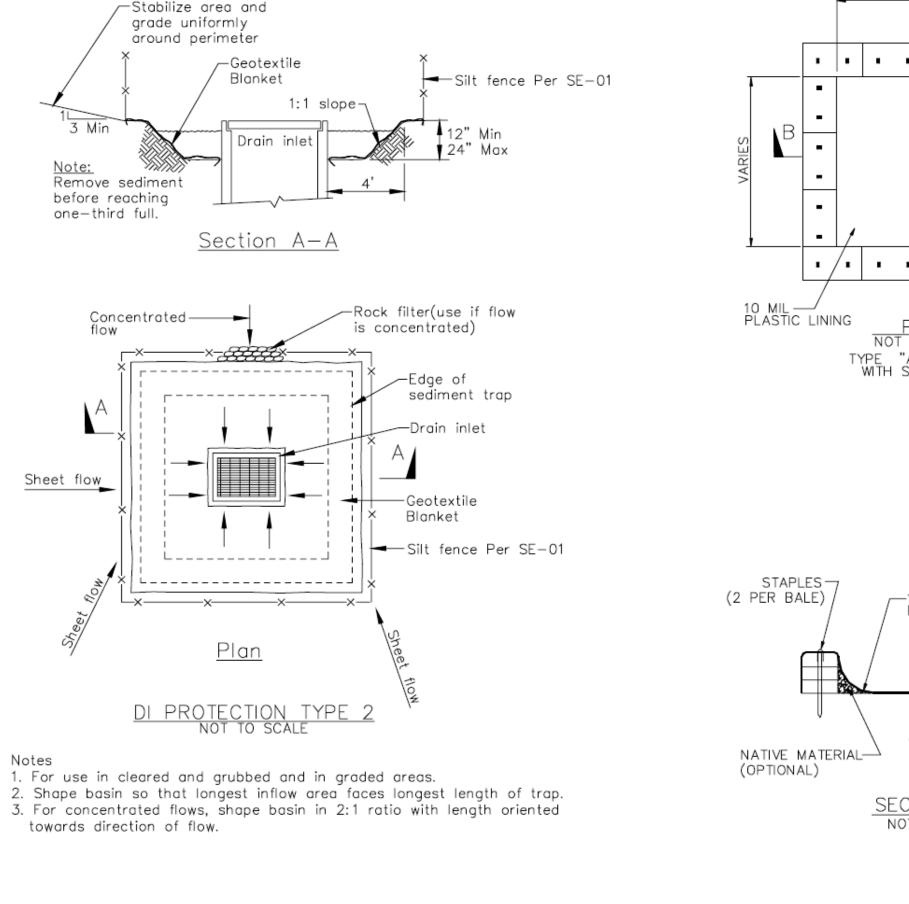
into a steeper slope

wood stakes max 4'

ENTRENCHMENT DETAIL

slope where it transitions

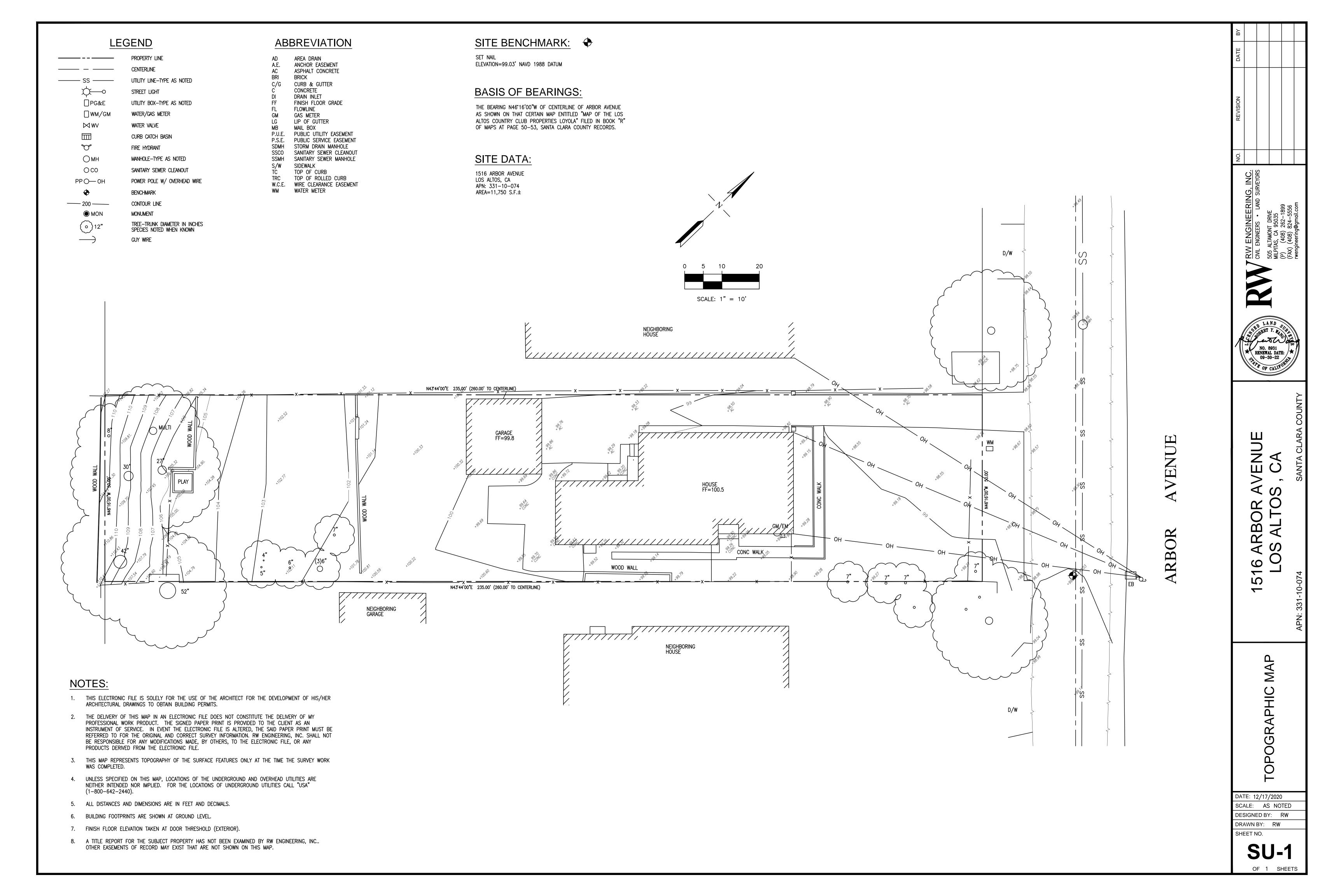


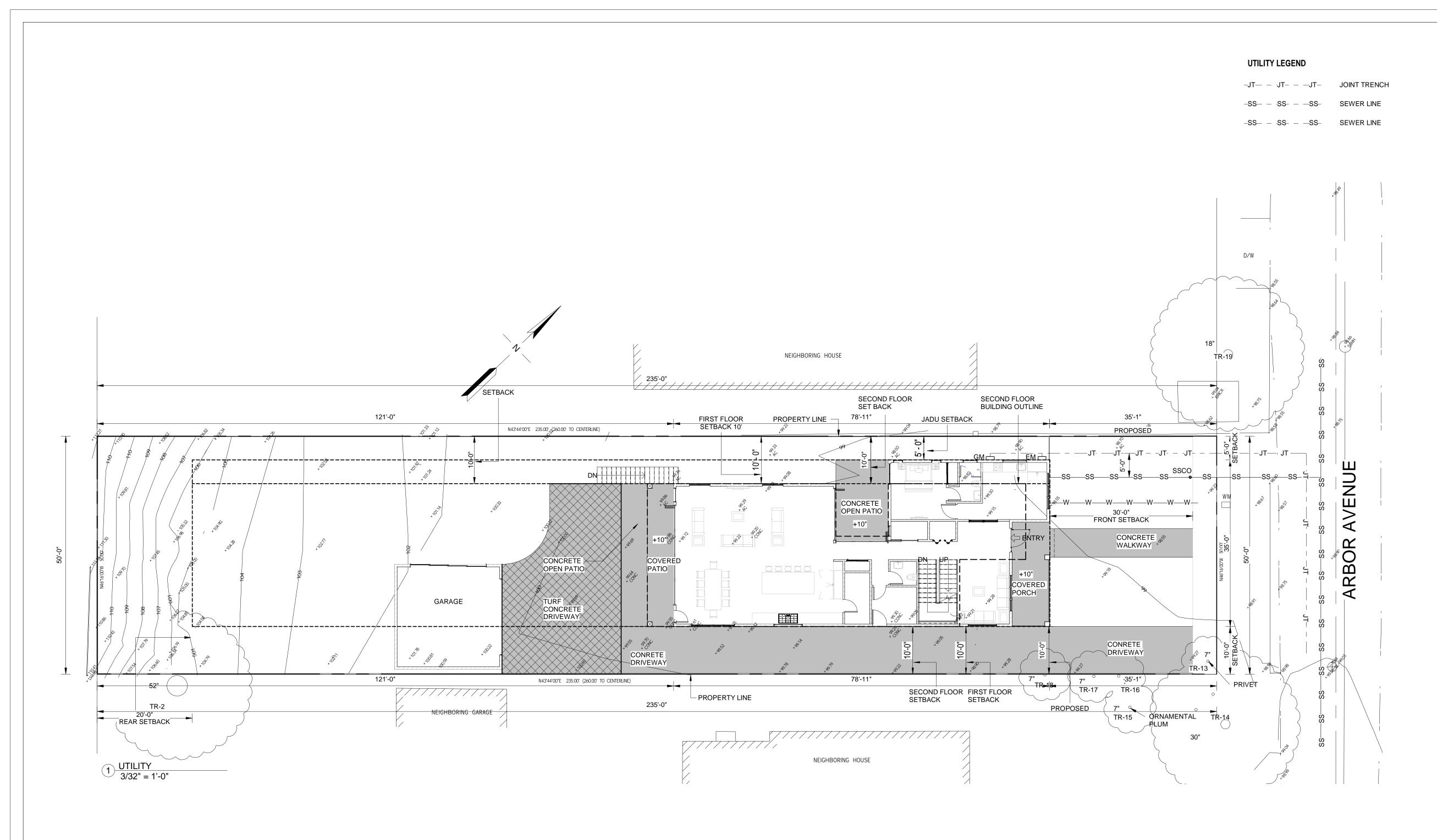




Best Management Practices and Erosion Control Details Sheet 2 County of Santa Clara

Available from www.cabmphandbooks.com.





SITE DATA: 1516 ARBOR AVENUE LOS ALTOS, CA APN: 331-10-074 AREA= 12,632 S.F.+/-

REV.	ISIONS :	CRIPTION	DATE	REV BY
1	_	PER COMMENTS	10-DEC-2021	SAGAR
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