

Wildland Urban Interface Notes

- THIS PROJECT IS LOCATED WITHIN THE DESIGNATED "WILDLAND-URBAN INTERFACE FIRE ZONE. THE BUILDING MATERIALS AND CONSTRUCTION METHOD(S) FOR EXTERIOR WILDFIRE EXPOSURE SHALL COMPLY WITH THE PROVISIONS OF CRC R331 (CALIFORNIA RESIDENTIAL CODE) & CBC CHAPTER 1A CALIFORNIA BUILDING CODE.

THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILING(S) SHALL BE PROTECTED BY ONE OF THE FOLLOWING, CRC R331.7.6.

- NONCOMBUSTIBLE MATERIAL.
- IGNITION-RESISTANT MATERIAL.
- 1 LAYER OF " TYPE "X" GYP. SHEATHING APPLIED BEHIND THE EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING.
- THE EXTERIOR PORTION OF A 1 HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY INCLUDING ASSEMBLIES USING THE GYP. PANE & SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOC. FIRE RESISTANT DESIGN MANUAL.
- PORCH CEILING ASSEMBLIES w/A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE w/TEST PROCEDURES SET FORTH IN SFM STANDARD 12-1A-3.

THE UNDER FLOOR AREA OF ELEVATED OR OVERHANGING BUILDINGS SHALL BE ENCLOSED TO GRADE IN ACCORDANCE w/ THE REQUIREMENTS OF THIS CHAPTER OF THE UNDERSIDE OF THE EXPOSED UNDER FLOOR SHALL CONSIST OF ONE OF THE FOLLOWING, CRC R331.7.1

- NONCOMBUSTIBLE MATERIAL.
- IGNITION-RESISTANT MATERIAL.
- 1-LAYER OF " TYPE "X" GYP. SHEATHING APPLIED BEHIND THE EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING.
- THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY INCLUDING ASSEMBLIES USING THE GYP. PANE & SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOC. FIRE RESISTANT DESIGN MANUAL.
- PORCH CEILING ASSEMBLIES w/A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE w/TEST PROCEDURES SET FORTH IN SFM STANDARD 12-1A-3.

THE UNDERSIDE OF OVERHANGING APPENDAGES SHALL BE ENCLOSE TO GRADE IN ACCORDANCE w/ THE REQUIREMENTS OF THIS CHAPTER OR THE UNDERSIDE OF THE EXPOSED UNDERFLOOR SHALL CONSIST OF ONE OF THE FOLLOWING, CRC R331.7.4

- NONCOMBUSTIBLE MATERIAL.
- IGNITION-RESISTANT MATERIAL.
- 1-LAYER OF " TYPE "X" GYP. SHEATHING APPLIED BEHIND THE EXTERIOR COVERING ON THE UNDERSIDE OF THE CEILING.
- THE EXTERIOR PORTION OF A 1-HOUR FIRE RESISTIVE EXTERIOR WALL ASSEMBLY APPLIED TO THE UNDERSIDE OF THE CEILING ASSEMBLY INCLUDING ASSEMBLIES USING THE GYP. PANE & SHEATHING PRODUCTS LISTED IN THE GYPSUM ASSOC. FIRE RESISTANT DESIGN MANUAL.
- PORCH CEILING ASSEMBLIES w/A HORIZONTAL UNDERSIDE THAT MEET THE PERFORMANCE CRITERIA IN ACCORDANCE w/TEST PROCEDURES SET FORTH IN SFM STANDARD 12-1A-3.

EXTERIOR WINDOWS & EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY w/ONE OF THE FOLLOWING REQUIREMENTS, CRC R331.8.2

- BE CONSTRUCTED OF MULTI-PANE GLAZING w/A MIN. OF ONE TEMP. PANE MEETING THE REQUIREMENTS OF SECTION 2406 SAFETY GLAZING, OR
- BE CONSTRUCTED OF GLASS BLOCK UNITS, OR
- HAVE A FIRE-RESISTANT RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 251, OR D. BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-1A-2.

EXTERIOR DOORS SHALL COMPLY w/ONE OF THE FOLLOWING REQUIREMENTS, CRC R331.8.3

- THE EXTERIOR SURFACE OR CLADDING SHALL BE OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL OR
- SHALL BE CONSTRUCTED OF SOLID CORE WOOD THAT COMPLY WITH THE FOLLOWING REQUIREMENTS:
 - STILES & RAILS SHALL NOT BE LESS THAN 1" THICK.
 - RAISED PANELS SHALL NOT BE LESS THAN 1 1/4" THICK, EXCEPT FOR THE EXT. PERIMETER OF THE RAISED PANEL THAT MAY TAPER TO A TONGUE NOT LESS THAN 1" THICK.
 - HAVE A FIRE-RESISTANT RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 251, OR
 - BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-1A-2.

Deferred Approvals

DEFERRED APPROVALS ARE SUBJECT TO CITY'S APPROVAL

- FIRE SPRINKLER SYSTEM TO BE SUBMITTED AND APPROVED UNDER A SEPARATE PERMIT.

Basis of Design

- ALL WORK TO BE IN CONFORMANCE WITH:
 - CALIFORNIA BUILDING CODE - 2018 EDITION,
 - CALIFORNIA RESIDENTIAL CODE - 2018 EDITION,
 - CALIFORNIA FIRE CODE - 2018 EDITION,
 - CALIFORNIA PLUMBING CODE - 2018 EDITION,
 - CALIFORNIA ELECTRICAL CODE - 2018 EDITION,
 - CALIFORNIA MECHANICAL CODE - 2018 EDITION,
 - CALIFORNIA ENERGY CODE - 2018 EDITION,
 - CALIFORNIA GREEN BUILDING CODE - 2018 EDITION,
 - AND ALL PERTINENT STATE AND LOCAL CODES AND ORDINANCES.

General Notes

- ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF STOTLER DESIGN GROUP PRIOR TO COMMENCING.
- VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.
- CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD AND MANNER OF CONSTRUCTION AND FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.
- CRC R4013, SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10'. IMPERVIOUS AREAS WITHIN 10' OF BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% MIN. AWAY FROM BUILDING
- SEPARATE PERMITS ARE REQUIRED FOR MECHANICAL, ELECTRICAL & PLUMBING WORK.
- THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER. WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.
- ALL EARTHWORK AND SITE DRAINAGE, INCLUDING DRILLED PIER, SPREAD FOOTING, AND MAT SLAB EXCAVATIONS, SWIMMING POOL EXCAVATION, SUBGRADE PREPARATION BENEATH HARDSCAPE, PLACEMENT AND COMPACTION OF ENGINEERED FILL BENEATH HARDSCAPE, UTILITY TRENCH BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT PREPARED BY MURRAY ENGINEERS, INC. DATED MARCH 30, 2011. MURRAY ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-326-0440) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND/OR TEST AS NECESSARY THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.

Fire Department Notes

- THIS PROJECT IS LOCATED WITHIN THE DESIGNATED "WILDLAND-URBAN INTERFACE FIRE ZONE. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CRC R331 (CALIFORNIA RESIDENTIAL CODE) & CBC CHAPTER 1A CALIFORNIA BUILDING CODE
- THE PROPERTY SHALL BE IN A COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN THE CALIFORNIA BUILDING CODE CBC SECTION 101A32.4, FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 5102 PER CRC R331.15.
- FIRE SPRINKLERS REQUIRED** : AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLINGS AS FOLLOWS:
IN ALL NEW ONE- AND TWO-FAMILY DWELLING AND IN EXISTING ONE- AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,600 SQUARE FEET. **EXCEPTION:** A ONE-TIME ADDITION TO AN EXISTING BUILDING THAT DOES NOT TOTAL MORE THAN 1,000 SQUARE FEET OF BUILDING AREA. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC 3132 AS ADOPTED AND AMENDED BY LAHMC.
- APPROVED AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM** : SHALL BE INSTALLED IN ONE- AND TWO-STORY FAMILY DWELLINGS, AND SHALL BE DESIGNED AND INSTALLED PER NFPA 13D 2016 EDITION FOR ALL STRUCTURES.
- WATER SUPPLY REQUIREMENTS** : POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENT SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND / OR FIRE SUPPRESSION WATER SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S), 2016 CFC 903.3.5 AND HEALTH AND SAFETY CODE 1314.1.
- FIRE APPARATUS (ENGINE) ACCESS DRIVEWAY REQUIRED** : PROVIDE AN ACCESS DRIVEWAY WITH A PAVED ALL WEATHER SURFACE, A MINIMUM UNOBSTRUCTED WIDTH OF 14 FEET, VERTICAL CLEARANCE OF 13 FEET 6 INCHES MINIMUM CIRCULATING TURNING RADIUS OF 36 FEET OUTSIDE AND 23 FEET INSIDE, AND A MAXIMUM SLOPE OF 15%. INSTALLATIONS SHALL CONFORM TO FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS SHEET D-1. CFC SEC 503.

Consultants

CIVIL ENGINEER
Hanna Brunetti Associates
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Gilroy, California 95020
(408) 842-2173
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CIVIL

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- E1** Entry Level Electrical Plan
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Project Data

Owner Data

Kais
1975 Hayes Lane
San Martin, California 95046

Lot Data

A.P.N.: 779-46-007
Lot Size: - sq.ft.
Property Submittal Location: Santa Clara County
Existing Uses: Single Family Residence
Zoning District: -
Occupancy Groups: R-3/U
Type Of Construction: V-B
Stories: 2
Slope at Building Site: - %
Average Site Slope: - %
Allowable Floor Area: - sq.ft. - %
Allowable Building Coverage: - sq.ft. - %
Site Setbacks:
Front: 30' Side (1st flr): 30' Rear: 30'
Side (2nd flr): 30'
Maximum Building Height: 35'

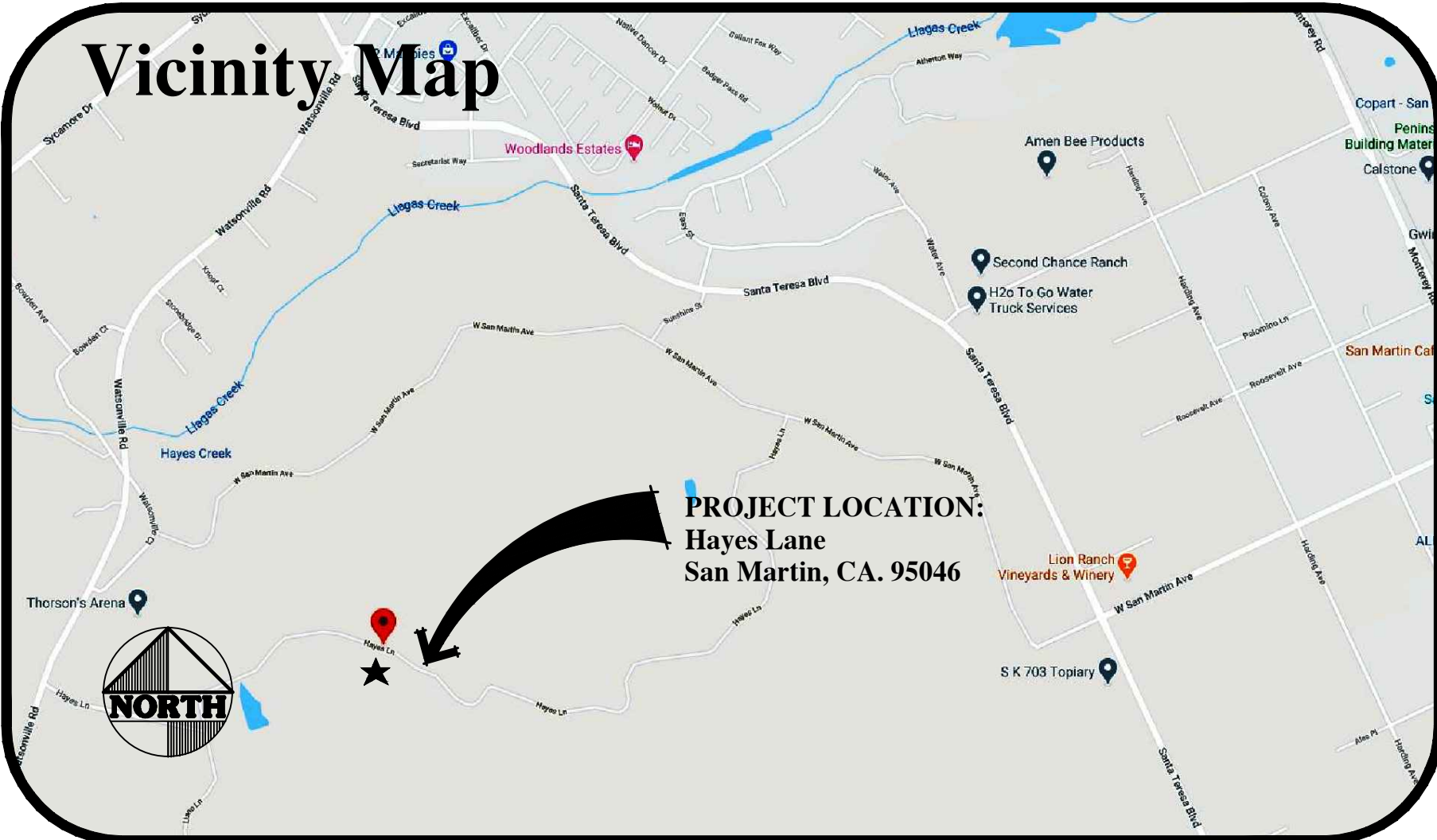
Proposed Conditions

Entry Level Living Area : 2880 sq.ft.
2nd Level Living Area : 2935 sq.ft.
- sq.ft.
Total Floor Area : 5815 sq.ft.
Covered Area Allowed : - sq.ft.
Proposed Covered Area : 0 sq.ft.

Barn

New Accessory Building - Barn

Morgan Hill, California 95037



5150 EL CAMINO REAL, SUITE E20
LOS ALTOS, CALIFORNIA 94022
PHONE: (408) 309-2163
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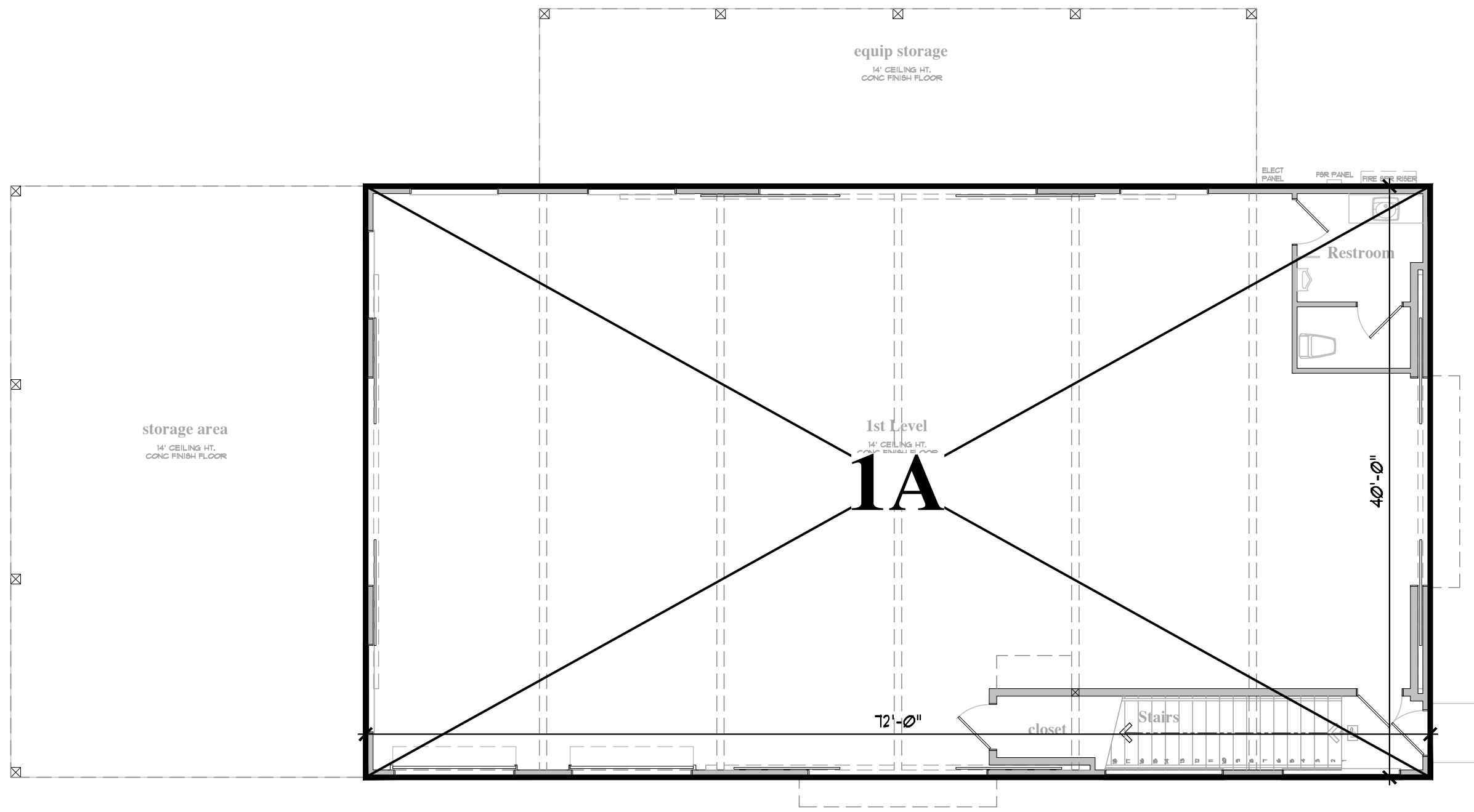
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REVISIONS					

DRAWING TITLE	Title Sheet
JOB TITLE	Barn
JOB ADDRESS	1975 Hayes Lane San Martin, CA. 95046

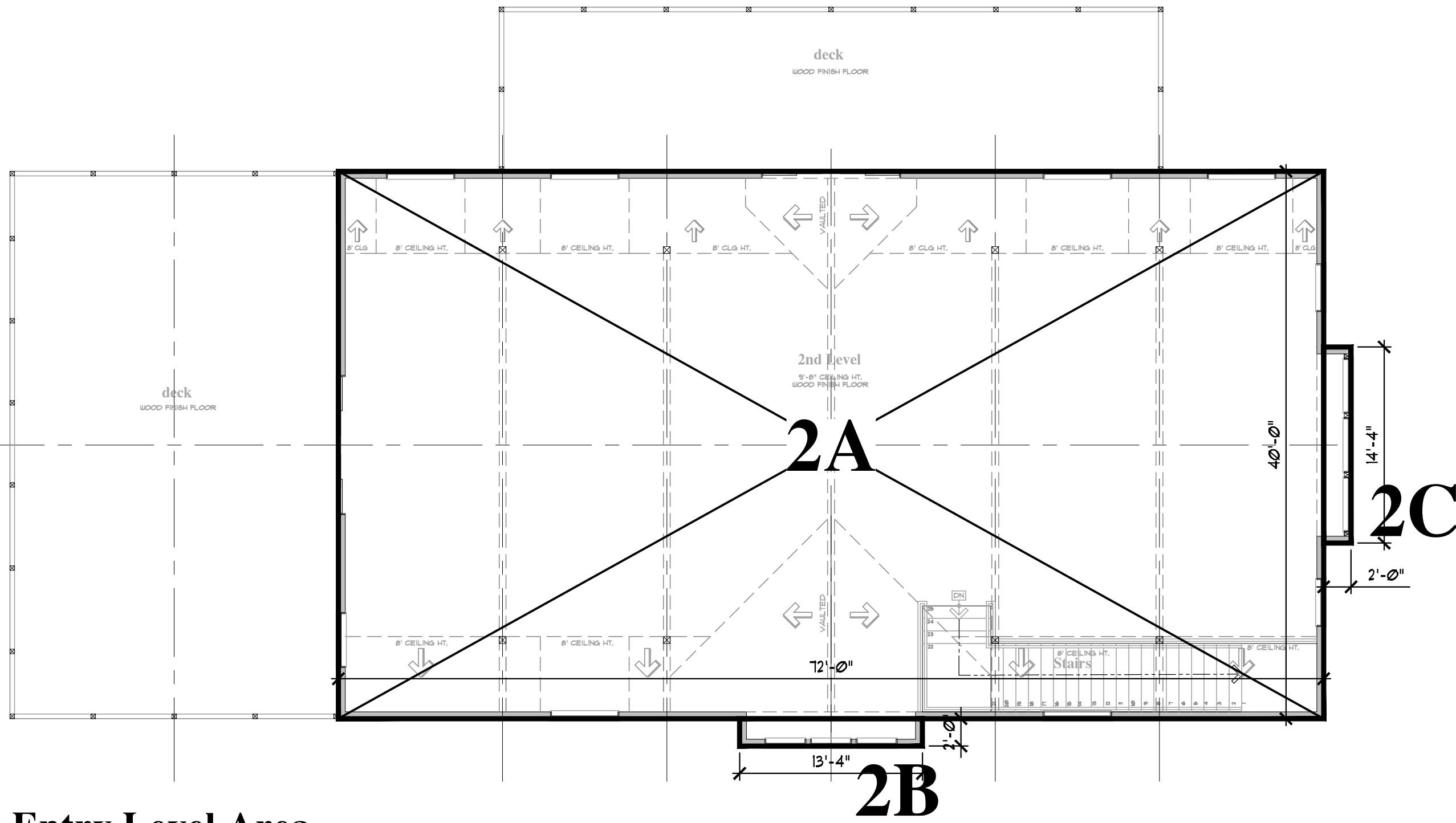
DATE	Apr 14, 2021
SCALE	NONE
PROJECT MANAGER	S. Stotler
DRAWN	SDG
JOB NO.	2001
SHEET	

T1



Entry Level Area

scale: 1/8"=1'-0"



Entry Level Area

scale: 1/8"=1'-0"

Floor Area Ratio Calculations			
	<u>Section</u>	<u>Dimensions</u>	<u>Area (sf.ft.)</u>
<u>Living Area</u>	1A	72'-0" x 40'-0"	2880
	2A	72'-0" x 40'-0"	2880
	2B	13'-4" x 2'-0"	27
	2C	2'-0" x 14'-4"	29
	-	-	0
	-	-	0
Subtotal			5815
<u>Space Above 15' Area</u>			
	None	-	0
	-	-	0
Subtotal			0
<u>Non-Living Area</u>			
	None	-	0
	-	-	0
Subtotal			0
Total Proposed FAR			5815



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WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER. THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS	
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DRAWING TITLE	Floor Area Ratio Diagrams
JOB TITLE	Barn
JOB ADDRESS	1975 Hayes Lane San Martin, CA. 95046

DATE	Apr 14, 2021
SCALE	As Noted
PROJECT MANAGER	S. Stotler
DRAWN	Maw
JOB NO.	2001
SHEET	

T1.1

General Construction Specifications

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY _____ AND DATED _____ THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND _____ OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
2. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
3. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY REGIONAL DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
4. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
5. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
6. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
7. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
8. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 96-18).
9. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
10. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STAKED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM MEASUREMENT FOR CURB.
2. ANY EXISTING LAND STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.
5. IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS' ACT (BUSINESS AND PROFESSIONS CODE) CHAPTER 15 SECTIONS 8771 AND 87251, CALIFORNIA PENAL CODE 605, AND CALIFORNIA GOVERNMENT CODE 27581, ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING ROADWAY/STREET MONUMENT, PROPERTY CORNER, OR ANY OTHER PERMANENT SURVEYED MONUMENT AND/OR AS SHOWN ON THIS TENTATIVE MAP SHALL ENSURE THAT THE CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS. ALL DISTURBED OR DESTROYED MONUMENTS SHALL BE RESET AND FILED IN COMPLIANCE WITH SECTION 8771.

1. CONTRACTOR SHALL NOTIFY PERMITS INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERVISION OF CONSTRUCTION. THE COUNTY WILL NOT PROVIDE PERSONNEL. CONTRACTOR SHALL NOTIFY COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE: (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:

A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)

B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.

2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

CONTRACTOR SHALL NOTIFY UTA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.

ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.

ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY. GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.

TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.

TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE, UNLESS THE TRENCH RESTORATION BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.

BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BENCH FOR THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO A DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHMARKED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL, THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION. AFTER THE FILL AREA IS PLACED, IT SHALL BE MOISTENED WITH THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF THE 10' OR 20' BUFFER ZONE.
5. THE UPPER 2' OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRUPLINE OF THE TREE OR GROVE OF TREES.
 - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - D. SIGNAGE STATING, "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

2. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
3. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT ADVISORY OF THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS: OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
- A. 15 MILES PER HOUR (MPH) SPEED LIMIT
- B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
- C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367.
10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB.
13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. EROSION DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
 - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
 - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
19. EROSION CONTROL PLANS IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLUSION DURING CONSTRUCTION. EROSION CONTROL MEASURES, DEPENDING ON SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CA56120006 / ORDER NO. R2-2009-0047 AND NPDES PERMIT 000000064 / ORDER NO. 013-0001-17.
2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS, WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500' ALONG CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CURBLES ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW. FOR CONVEYANCE OF OVERLAND FLOW, COUNTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

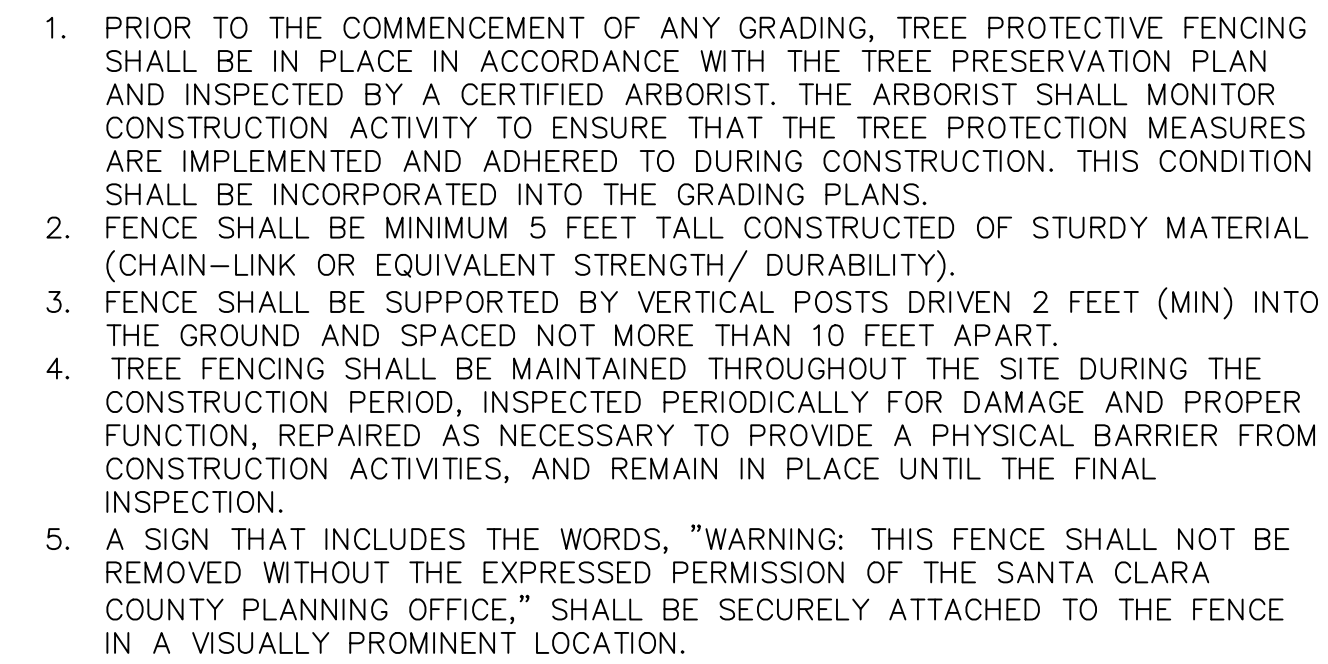
THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (___ WERE) (___ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (*). THERE (___ WERE) (___ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.



1. THE LANDOWNER/CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



1	COVER SHEET
2	OVERALL SITE PLAN
3	PRELIMINARY GRADING & DRAINAGE PLAN
4	DRIVEWAY PROFILE, SECTIONS, DETAILS & NOTES
5	EROSION CONTROL PLAN
BMP1&2	BEST MANAGEMENT PRACTICES

ENGINEER'S NAME: HANNA & BRUNETTI

ADDRESS: 7651 EIGLEBERRY STREET, GILROY CA 95020

PHONE NO. 408 842-2173

FAX NO. 408 842-3662

FOR THE
ASSESSORY BUILDING
ON THE LANDS OF LESLIE
1975 HAYES LANE, SAN MARTIN

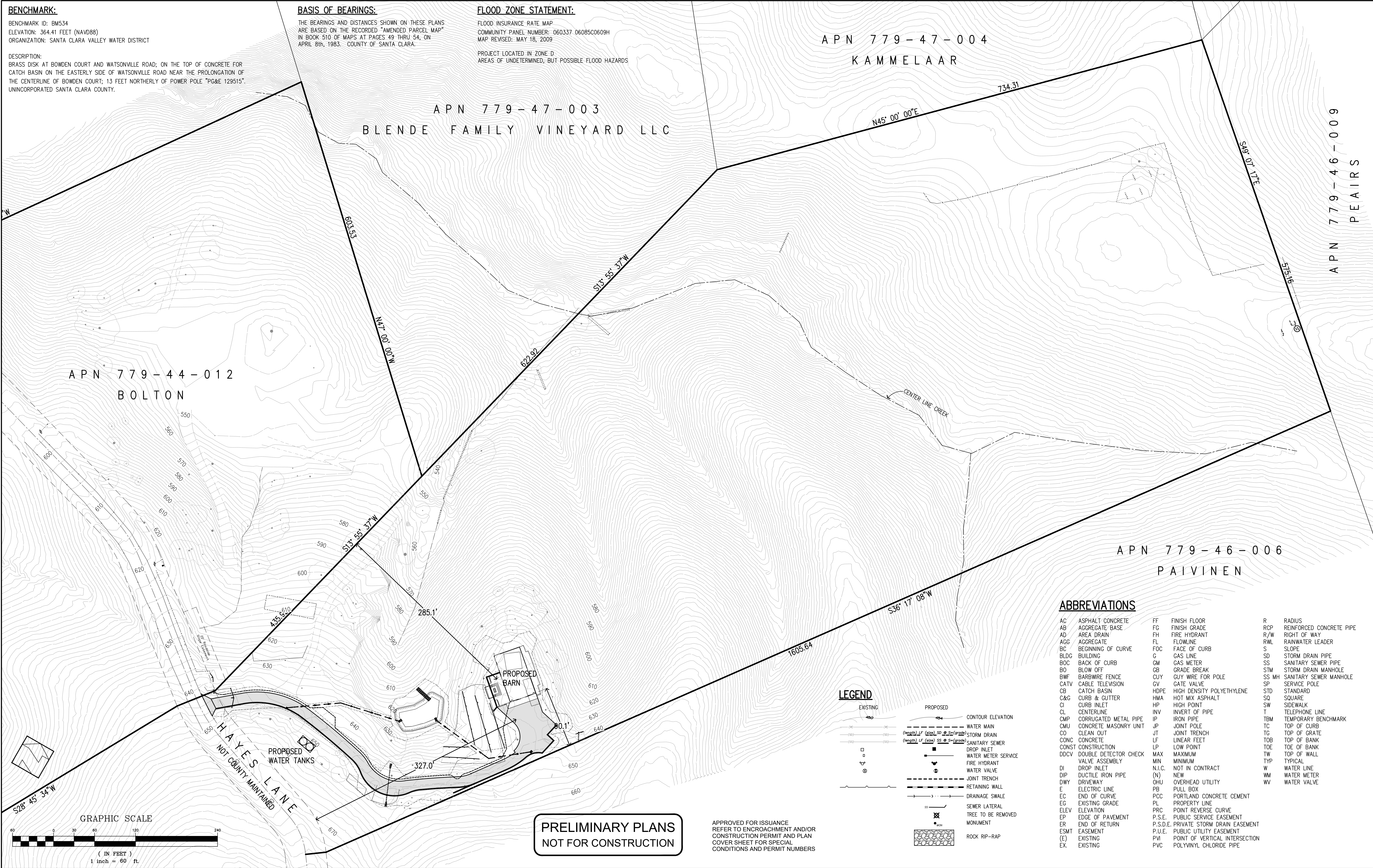
ALL OF PARCEL 17, AS SHOWN UPON THAT CERTAIN MAP ENTITLED
AMENDED PARCEL MAP IN BOOK 510 OF MAPS, AT PAGES 49-54
RECORDED ON JULY 30, 1979

SANTA CLARA COUNTY, CALIFORNIA
A.P.N.: 779-46-007

MARCH 2021			NO SCALE
Revision 1	Date	APN	Sheet 1 of 7
Revision 2	Date	779-46-007	
Revision 3	Date	Co. File X	

PLAN # _____ OF _____ SHEET _____

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

date: _____ 20
Hanna - Brunetti

Amanda Joy Musy-Verdel

R.C.E. # 69278
expires: 6/30/



REFERENCES

UNINCORPORATED
MARCH 2021

Site Plan

Lands of Kais & Leslie - 1975 Hayes Lane - apn 779-46-007

SANTA CLARA COUNTY
CALIFORNIA

SHEET

2

OF 7

JOB NO.

15018

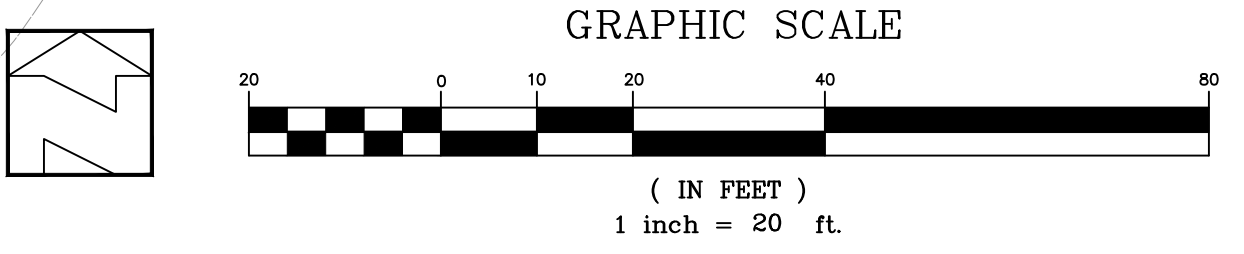
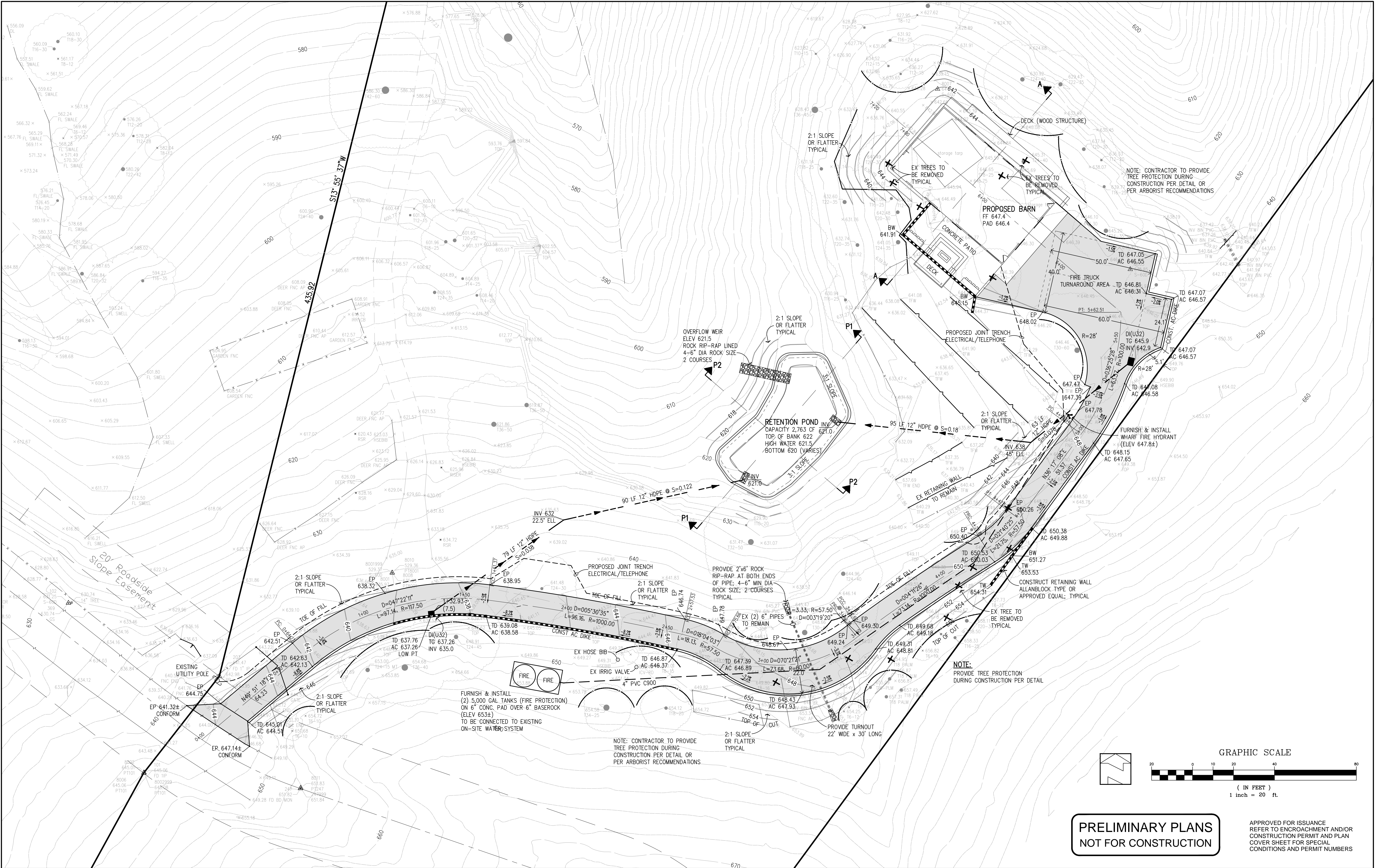
APPLICANT: KAIS AND LESLIE

ROAD: 1975 HAYES LANE

COUNTY FILE NO.:

JOB NO. 15018

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PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1990
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-3682
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: MARCH 2021
HORIZ. SCALE: 1"=20'
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY: _____
DRAWN BY: TM.

date: _____ 20
Hanna - Brunetti
Amanda Joy Musy-Verdel
R.C.E. # 69278
expires: 6/30/

REGISTERED PROFESSIONAL ENGINEER
AMANDA JOY MUSY-VERDEL
NO. 69278
EXP. 6-30-21
CIVIL
STATE OF CALIFORNIA

REFERENCES	

UNINCORPORATED
MARCH 2021

Preliminary Grading & Drainage Plan

Lands of Kais & Leslie - 1975 Hayes Lane - apn 779-46-007

SANTA CLARA COUNTY
CALIFORNIA

SHEET

3

OF 7

JOB NO.

15018

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PROJECT NOTES:

1. THE LOCATION OF THE BUILDING PADS AND/OR FOUNDATIONS ARE TO BE ESTABLISHED BY A PERSON AUTHORIZED TO PRACTICE LAND SURVEYING. A LETTER SIGNED AND SEALED BY THAT AUTHORIZED PERSON, STATING THAT HE/SHE HAS LOCATED THE BUILDING CORNERS, AND THEIR LOCATIONS CONFORM TO COUNTY BUILDING SETBACK REQUIREMENTS PER THE APPROVED BUILDING PLANS IS REQUIRED TO BE SUBMITTED TO THE COUNTY ENGINEER.
2. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE GROUND WHICH ARE SHOWN TO BE REMOVED. ANY OTHER SUCH TREES ARE NOT TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
3. NO TREES ARE TO BE REMOVED
4. PRIOR TO GRADING COMPLETION AND RELEASE OF BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADED SLOPES AND REDUCE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
5. BOTH DRAINFIELDS MUST BE STAKED AND STRUNG PRIOR TO APPROVAL OF THE SEPTIC DESIGN TO VERIFY THAT THE PROPOSED SEPTIC DESIGN WILL ACTUALLY FIT INTO THE PROPOSED LEACHFIELD AREA, AND CONFORM TO ALL REQUIRED SETBACKS.
6. IF ARCHAEOLOGICAL RESOURCES OR HUMAN REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND UNTIL IT CAN BE EVALUATED BY A QUALIFIED ARCHAEOLOGIST. IF THE FIND IS DETERMINED TO BE SIGNIFICANT, APPROPRIATE MITIGATION MEASURES SHALL BE FORMULATED AND IMPLEMENTED.
7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
9. IN THE EVENT THAT ARCHEOLOGICAL FEATURES SHOULD BE DISCOVERED AT ANY TIME DURING THE GRADING, SCRAPING OR EXCAVATION, ALL WORK SHOULD BE HALTED IN THE VICINITY OF THE FIND AND AN ARCHAEOLOGIST SHOULD BE CONTACTED IMMEDIATELY TO EVALUATE THE DISCOVERED MATERIAL TO ASSESS ITS AREAL EXTENT, CONDITION, AND SCIENTIFIC SIGNIFICANCE. IF THE DISCOVERED MATERIAL IS DEEMED POTENTIALLY SIGNIFICANT, A QUALIFIED ARCHAEOLOGIST SHOULD MONITOR ANY SUBSEQUENT ACTIVITY IN THE PROXIMITY.
10. IN THE EVENT THAT HUMAN SKELETAL REMAINS ARE ENCOUNTERED, THE APPLICANT IS REQUIRED BY COUNTY ORDINANCE NO. B6-18 TO IMMEDIATELY NOTIFY THE COUNTY CORONER. UPON DETERMINATION BY THE COUNTY CORONER THAT THE REMAINS ARE NATIVE AMERICAN, THE CORONER SHALL CONTACT THE CALIFORNIA NATIVE AMERICAN HERITAGE COMMISSION, PURSUANT TO SUBDIVISION (c) OF SECTION 7050.5 OF THE HEALTH AND SAFETY CODE AND THE COUNTY COORDINATOR OF INDIAN AFFAIRS. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY CHAPTER. IF ARTIFACTS ARE FOUND ON THE SITE A QUALIFIED ARCHAEOLOGIST SHALL BE CONTACTED ALONG WITH THE COUNTY PLANNING OFFICE. NO FURTHER DISTURBANCE OF THE ARTIFACTS MAY BE MADE EXCEPT AS AUTHORIZED BY THE COUNTY PLANNING OFFICE.
11. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
12. UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
13. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% RELATIVE COMPACTION.
14. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THIS PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
15. AN APPROVED RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH FIRE MARSHAL STANDARD CFMO-SP6 IS REQUIRED TO BE INSTALLED THROUGHOUT THE STRUCTURE.
16. ALL NEW ON-SITE UTILITIES, MAINS AND SERVICES SHALL BE PLACED UNDERGROUND AND EXTENDED TO SERVE THE PROPOSED RESIDENCE.
17. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND CERTIFIED ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGICAL REPORTS SHALL BE SUBMITTED PRIOR TO GRADING COMPLETION AND RELEASE OF BOND.
18. ALL ROOF RUNOFF SHALL BE DIRECTED TO LANDSCAPED OR NATURAL AREAS AWAY FROM BUILDING FOUNDATIONS, TO ALLOW FOR STORM WATER INFILTRATION INTO THE SOIL AND SHEET FLOW.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS AND OTHER SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKER'S DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

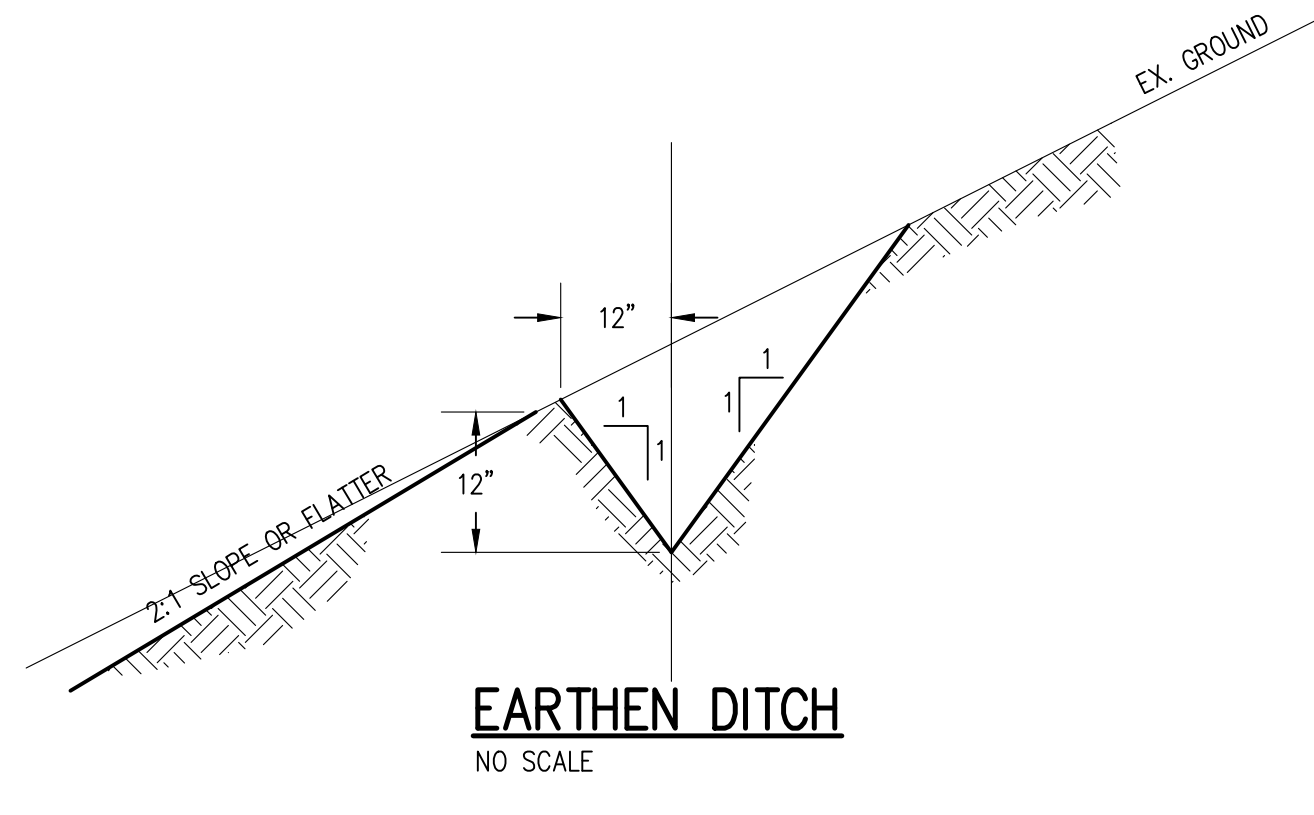
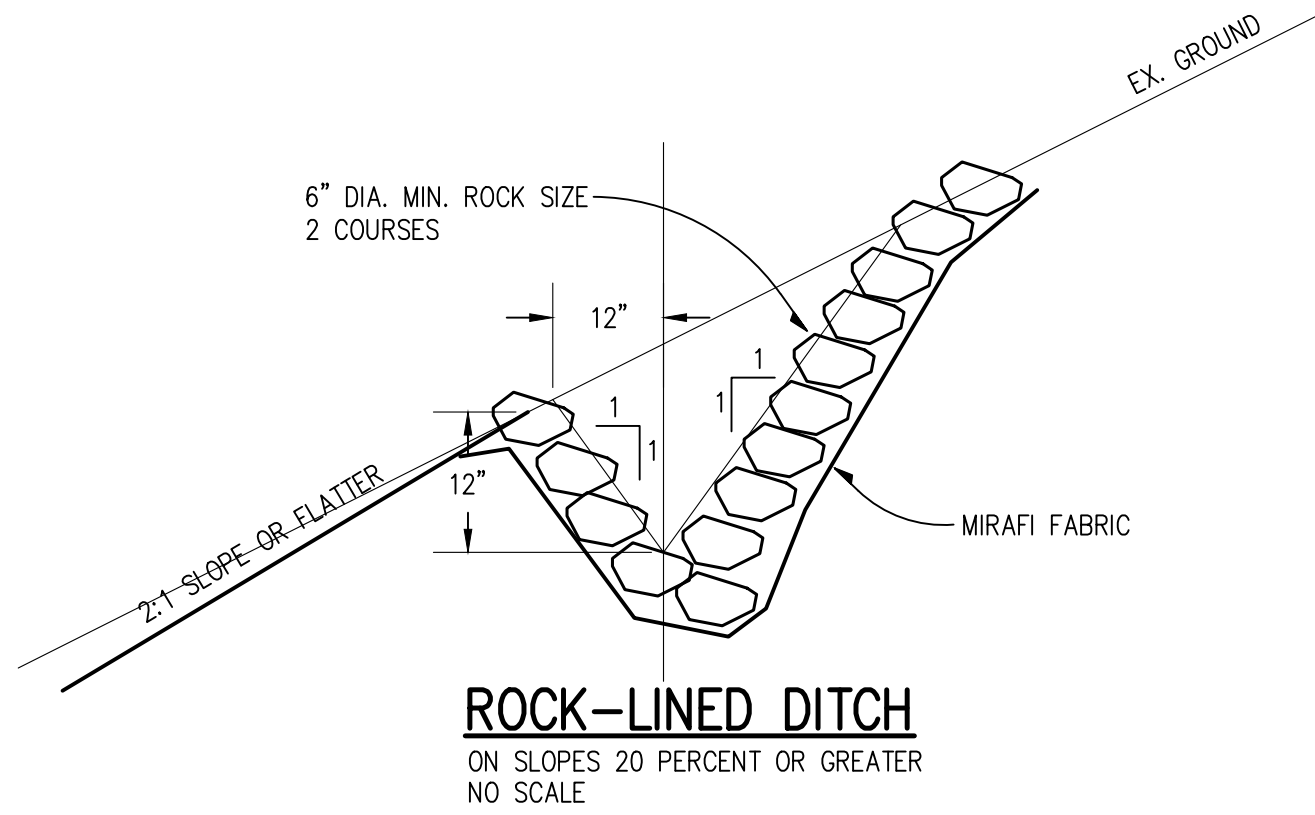
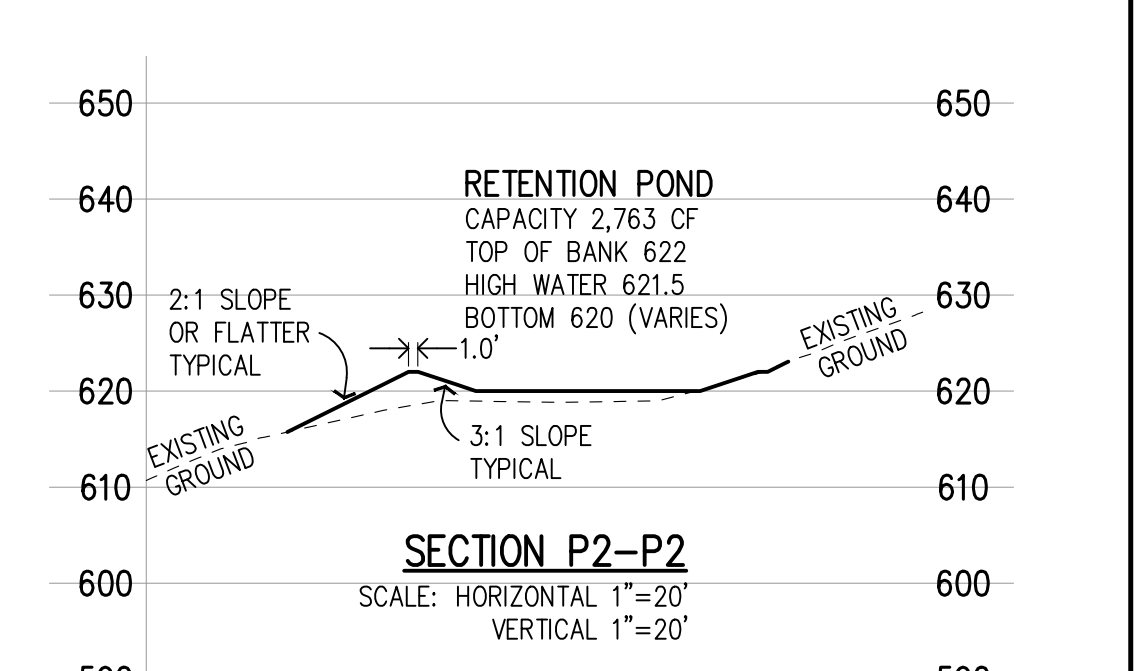
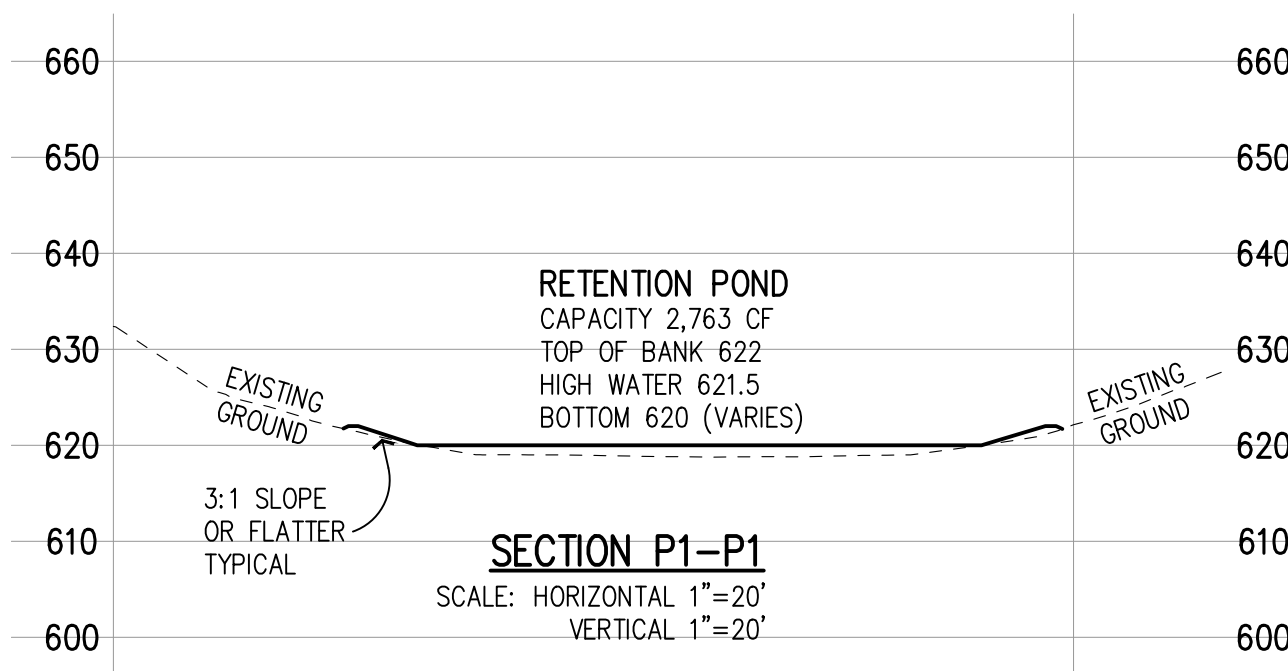
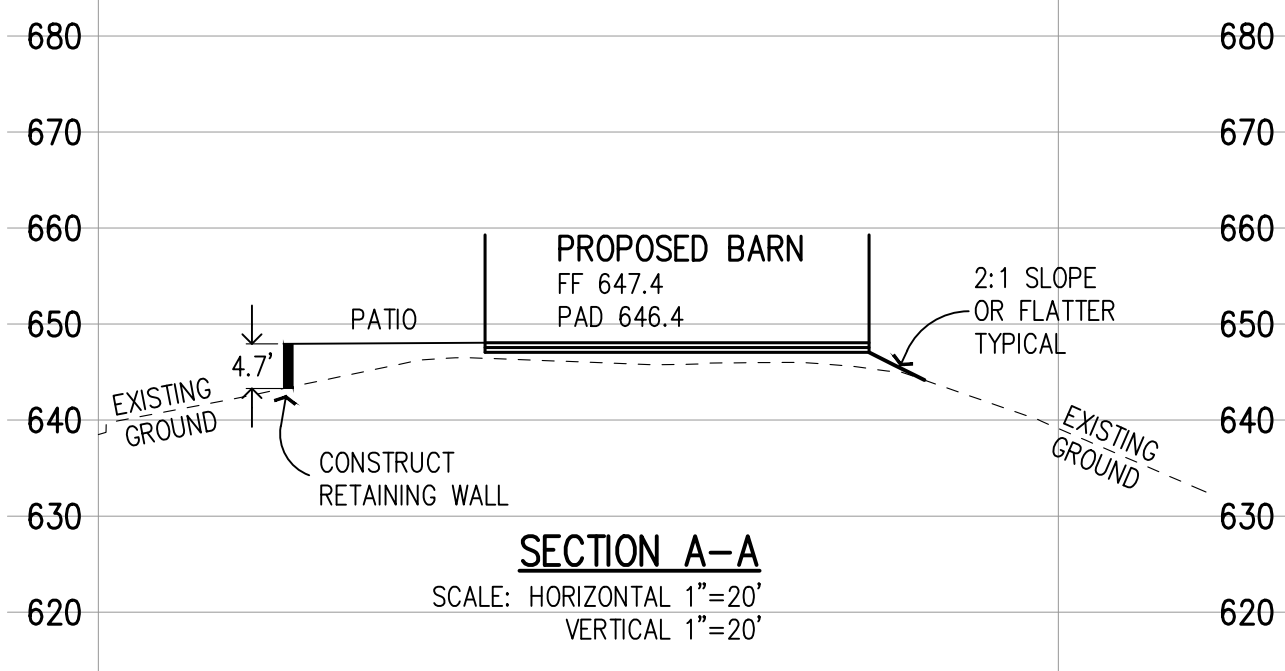
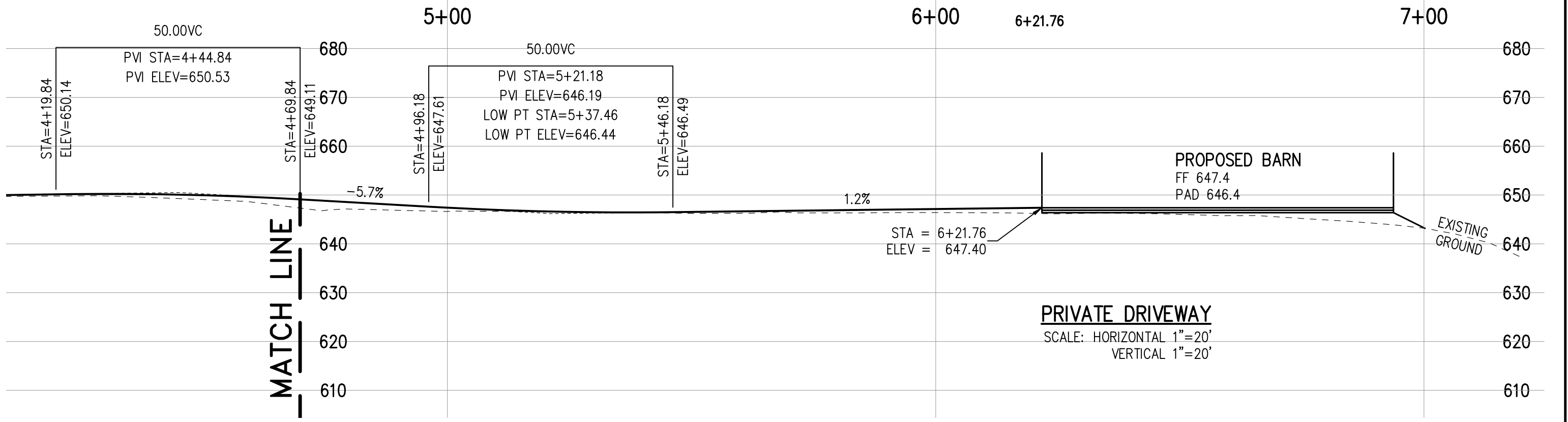
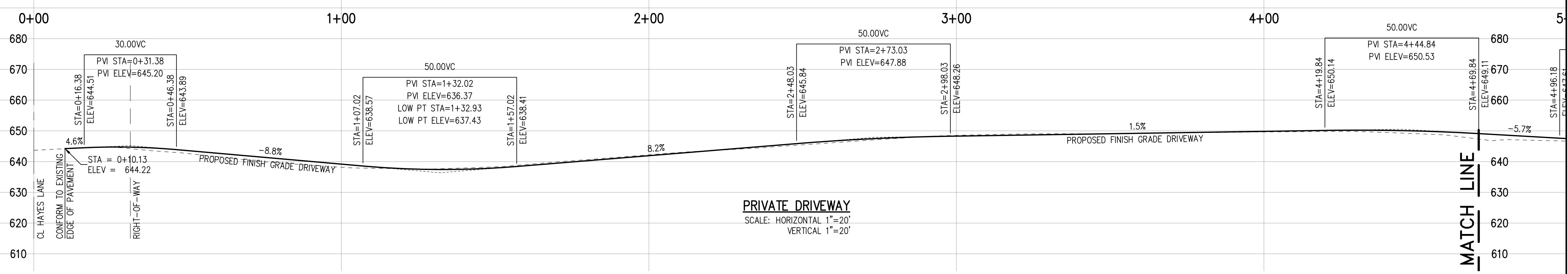
CONTRACTOR TO VERIFY:

CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION OF BUILDING PAD, THE STRUCTURAL SECTION OF FOUNDATION TO DETERMINE BUILDING PAD ELEVATION.

SEE SOILS REPORT AND/OR STRUCTURAL PLANS TO DETERMINE THE ELEVATION OF THE BUILDING FINISH FLOOR AND PAD.

THESE QUANTITIES DO NOT INCLUDE ANY SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION, OR ANY SPECIAL CONDITIONS OR REQUIREMENTS THAT MAY BE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. THESE QUANTITIES IN THE AREA FOR PERMIT PURPOSES ONLY. ALL CONTRACTORS BIDDING ON THIS PROJECT SHOULD MAKE THEIR OWN DETERMINATION OF EARTHWORK QUANTITIES PRIOR TO SUBMITTING A BID.

EXCESS MATERIAL SHALL BE OFF-HAULED. IF LOCATION IS WITHIN THE COUNTY A SEPERATED PERMIT SHALL BE REQUIRED.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1990
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-3682
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE: MARCH 2021
HORIZ. SCALE: 1"=20'
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY:
DRAWN BY: TM.

date: _____ 20
Hanna - Brunetti

Amanda Joy Musy-Verdel

R.C.E. # 69278
expires: 6/30/



REFERENCES

UNINCORPORATED
MARCH 2021

Driveway Profile, Sections, Notes & Details

Lands of Kais & Leslie - 1975 Hayes Lane - apn 779-46-007

APPLICANT: KAIS AND LESLIE

ROAD: 1975 HAYES LANE

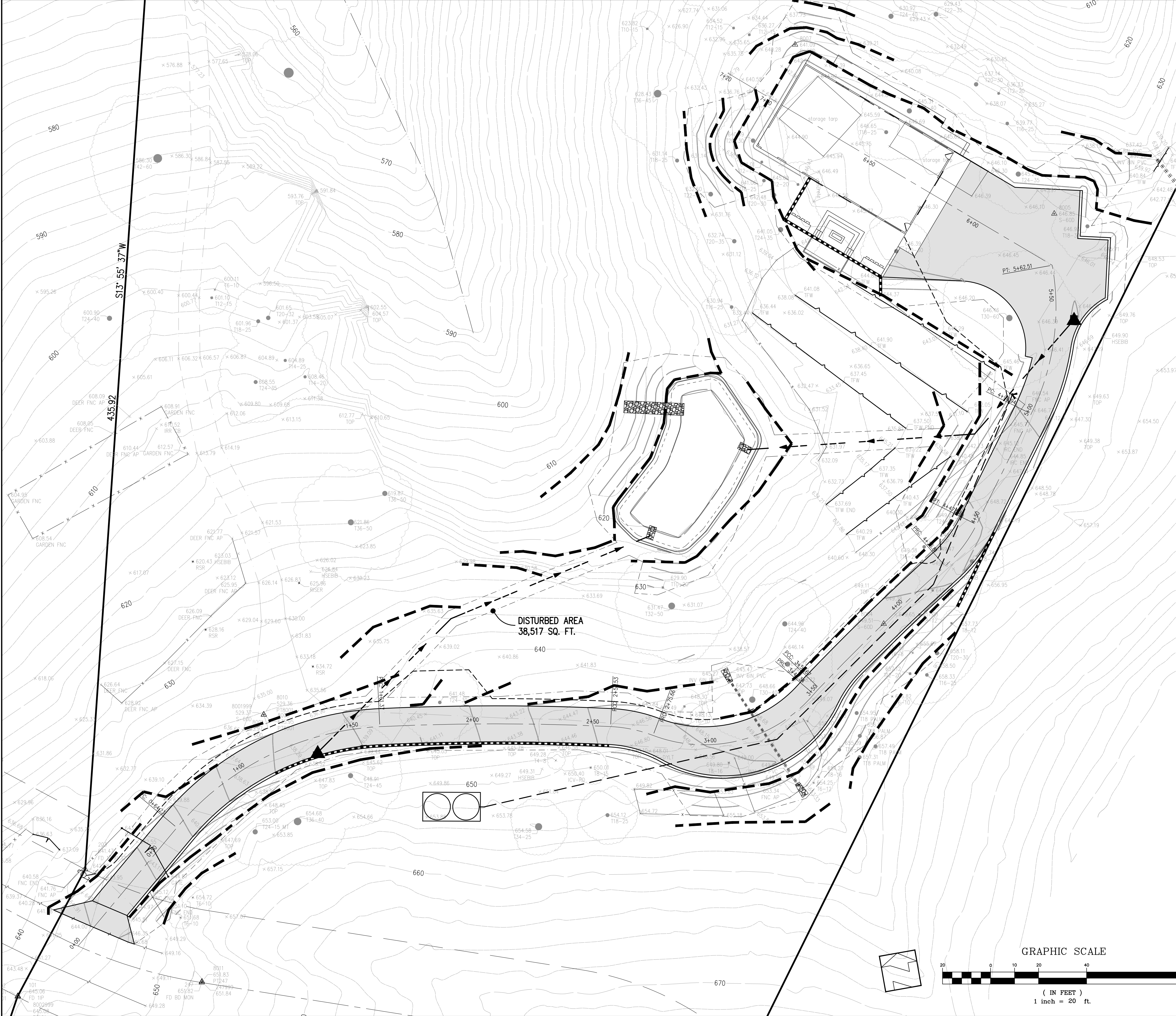
COUNTY FILE NO.:

SANTA CLARA COUNTY
CALIFORNIA

SHEET
4
OF 7
JOB NO.
15018

JOB NO. 15018

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



EROSION CONTROL NOTES

- EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
- NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
- A FIBER ROLL BARRIER PER "DETAIL SE-5" SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
- ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
- THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE COUNTY.
- PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF. OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE COUNTY.
- ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE COUNTY INSPECTOR. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL COUNTY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO COUNTY INSPECTOR'S APPROVAL.
- ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY DURING THE RAINY SEASON. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
- ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
- INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRATOR SHALL MAINATIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE COUNTY INSPECTOR.
- F THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

HYDROSEED TABLE

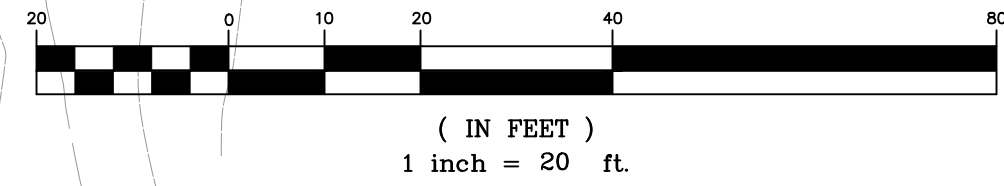
ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

- ALL GRADING WORK BETWEEN OCTOBER 15th AND APRIL 15th IS AT THE DISCRETION OF THE SANTA CLARA COUNTY BUILDING OFFICIAL.
- PROVIDE SHRUBS AND/OR TREES REQUIRED ON SLOPES GREATER THAN 15 FEET IN VERTICAL HEIGHT.
- THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL INSTALL AND MAINTAIN THROUGHOUT THE DURATION OF CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL WITHIN THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, WASTE MATERIALS, AND SEDIMENT CAUSED BY EROSION FROM CONSTRUCTION ACTIVITIES ENTERING THE STORM DRAIN SYSTEM, WATERWAYS, AND ROADWAY INFRASTRUCTURE. BMP'S SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING PRACTICES APPLICABLE TO THE PUBLIC ROAD AND EXPRESSWAY FACILITIES:
 - REDUCTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN/STAGING AREAS.
 - PREVENTION OF TRACKING OF MUD, DIRT AND CONSTRUCTION MATERIALS ONTO PUBLIC ROAD RIGHT OF WAY.
 - PREVENTION OF DISCHARGE OF WATER RUNOFF DURING DRY AND WET WEATHER CONDITIONS ONTO PUBLIC ROAD RIGHT OF WAY
- THE OWNER/OWNER'S CONTRACTOR, AGENT, AND/OR ENGINEER SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY AND ANY PORTION OF THE SITE WHERE STORM WATER RUN-OFF IS DIRECTLY FLOWING INTO THE SANTA CLARA COUNTY MAINTAINED ROAD RIGHT OF WAY SHALL HAVE SEASONALLY APPROPRIATE BMP'S INSTALLED AND MAINTAINED AT ALL TIMES.

LEGEND

- PROVIDE CONSTRUCTION ENTRANCE/EXIT PER DETAIL TC-1
- PROVIDE FIBER ROLL SLOPE PROTECTION PER DETAIL SE-5
- PROVIDE STORM DRAIN INLET PROTECTION PER DETAIL SE-10

GRAPHIC SCALE



PRELIMINARY PLANS
NOT FOR CONSTRUCTION

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REFER TO ENCROACHMENT AND/OR
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DATE: MARCH 2021
HORIZ. SCALE: 1"=20'
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DRAWN BY: TM.

date: _____ 20
Hanna - Brunetti

Amanda Joy Musy-Verdel

R.C.E. # 69278
expires: 6/30/

UNINCORPORATED
MARCH 2021

Erosion Control Plan

Lands of Kais & Leslie - 1975 Hayes Lane - apn 779-46-007

SANTA CLARA COUNTY
CALIFORNIA

SHEET

5

OF 7

JOB NO. 15018

APPLICANT: KAIS AND LESLIE

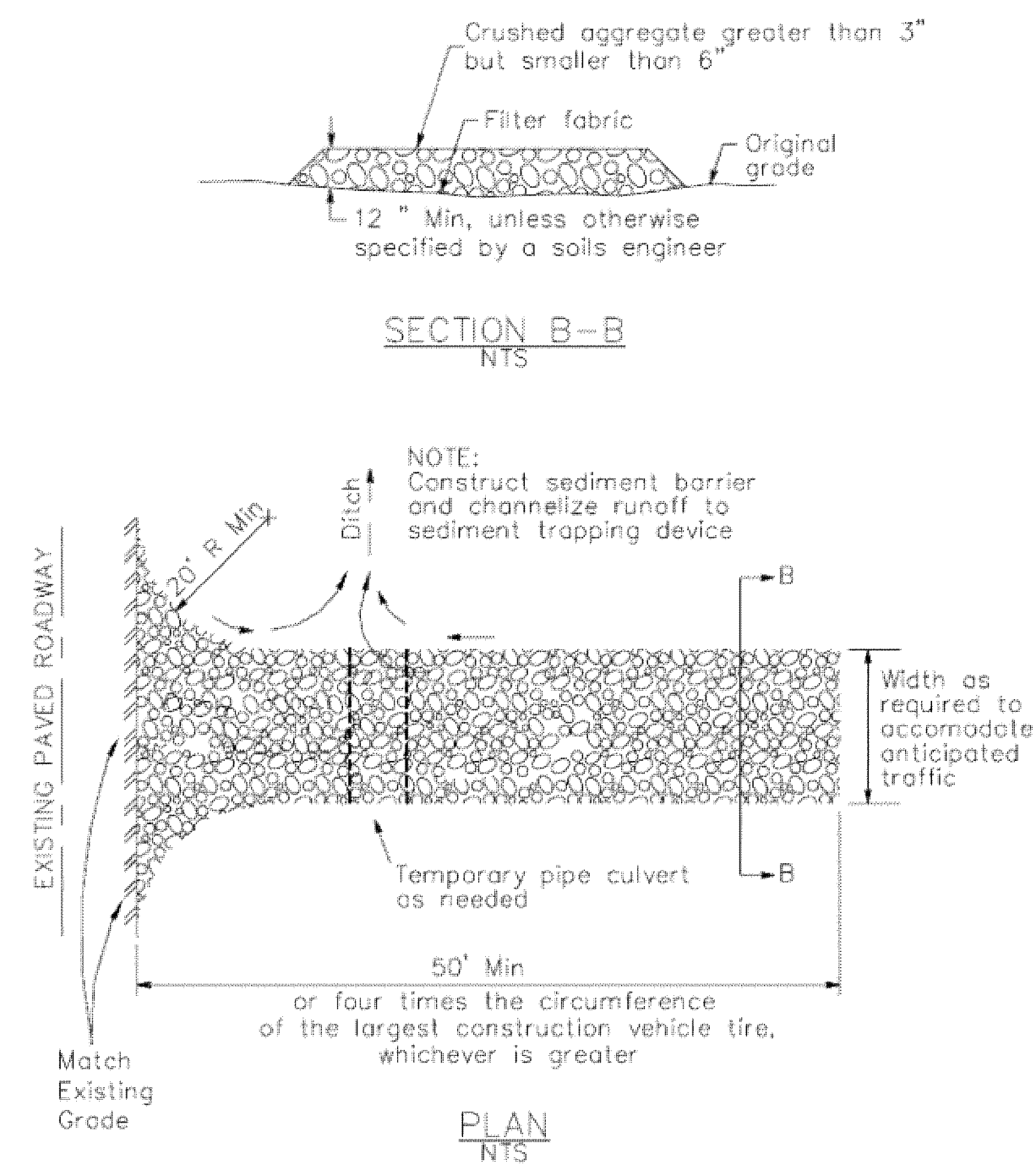
ROAD: 1975 HAYES LANE

COUNTY FILE NO.:

JOB NO. 15018

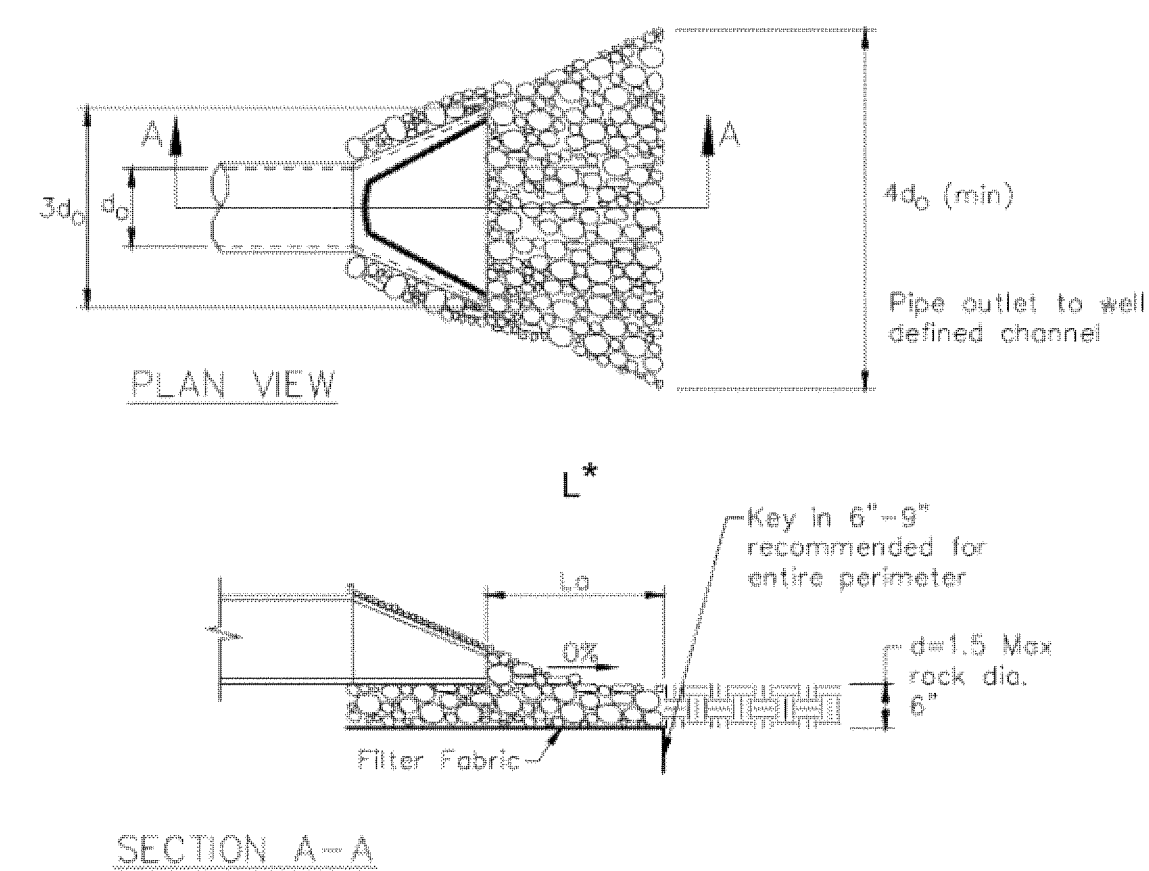
Stabilized Construction Entrance/Exit

CASQA Detail TC-1



Velocity Dissipation Devices

CASQA Detail EC-10

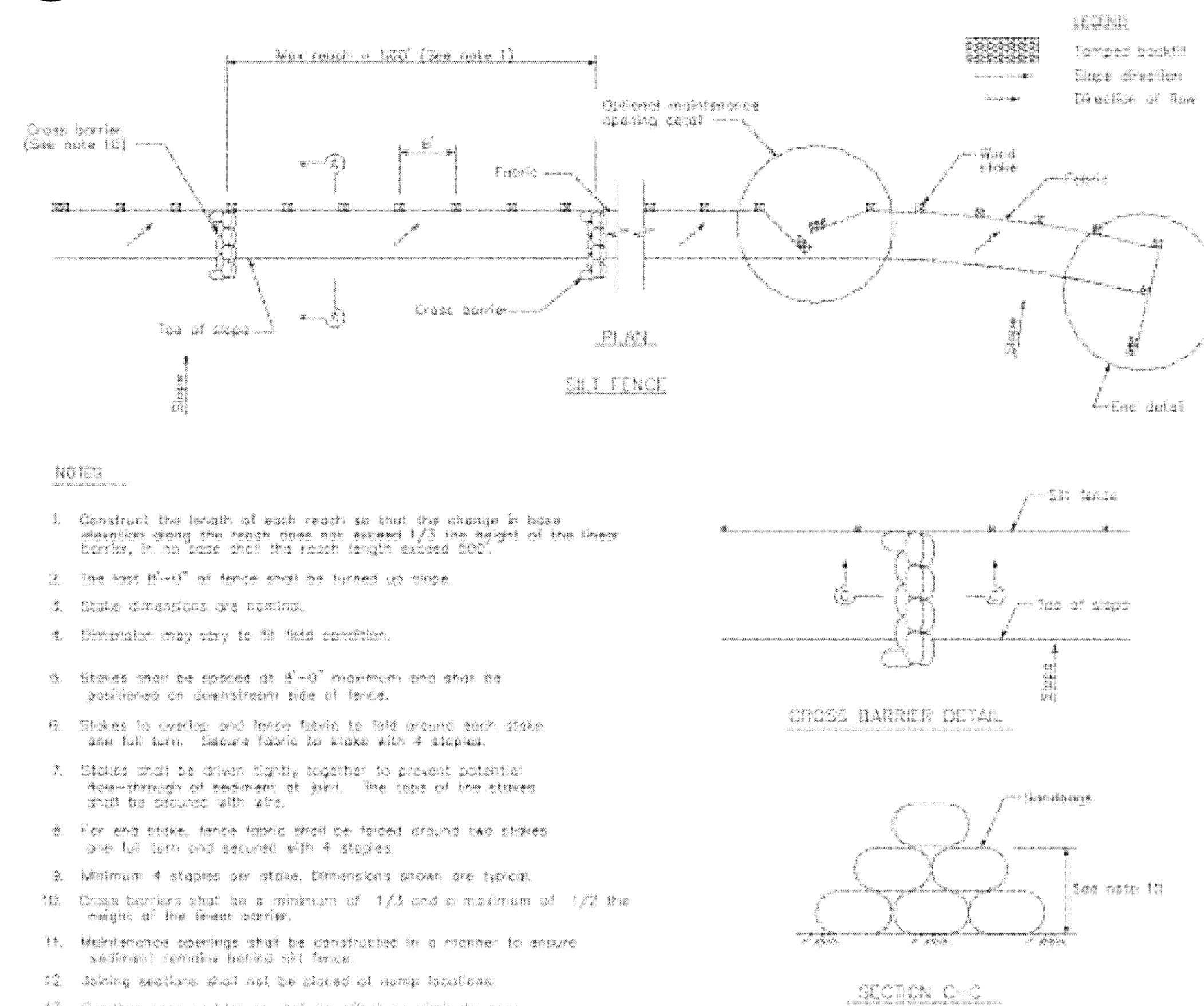


* Length per ABAG Design Standards

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

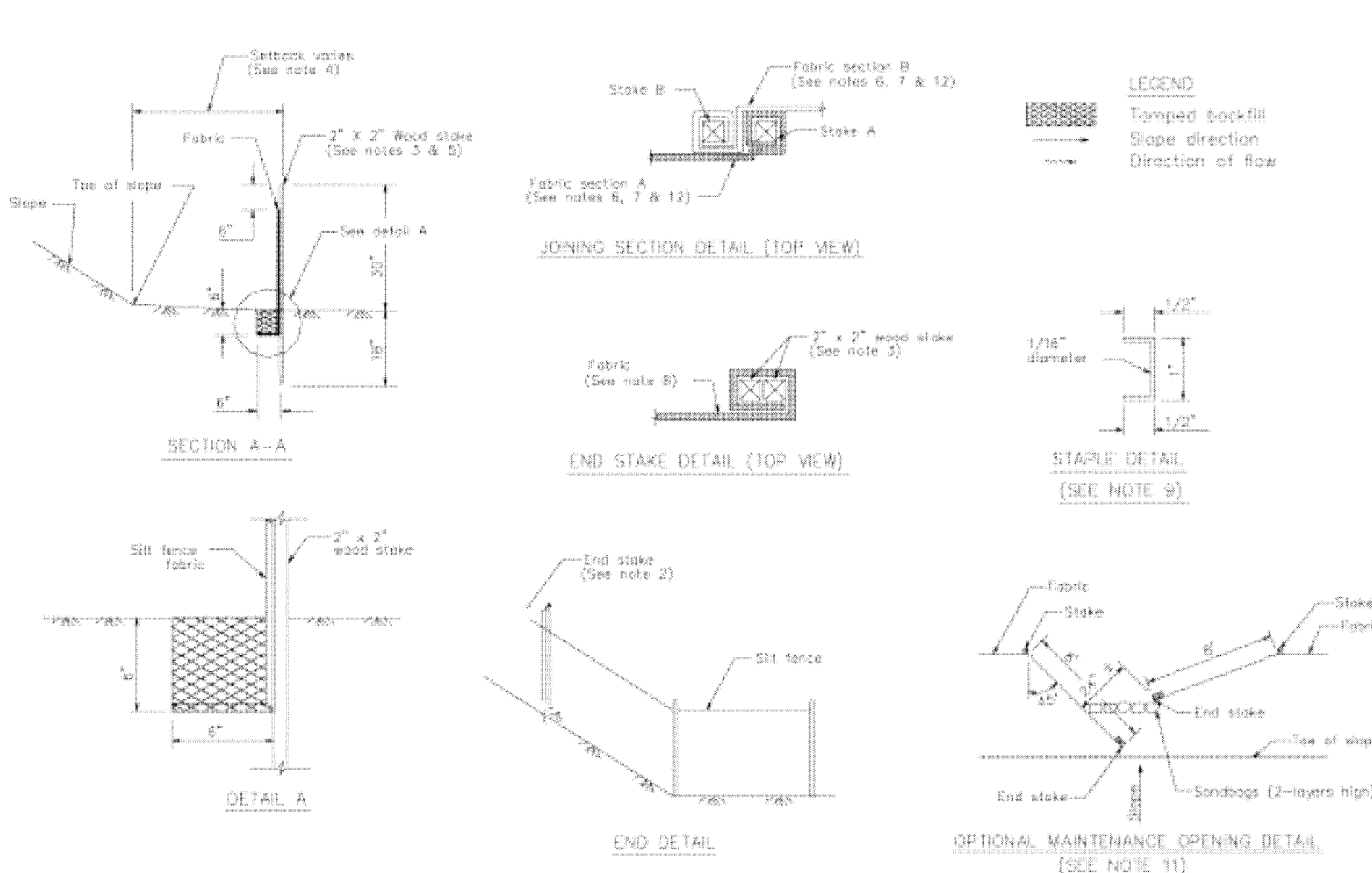
Silt Fence

CASQA Detail SE-1



Silt Fence

CASQA Detail SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

1. **Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-3) or latest.
2. **Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
3. **Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
4. **Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-9) or latest.
5. **Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
6. **Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
7. **Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
8. **Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
9. **Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
10. **Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

1. **Sediment Control Management:**

Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
2. **Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
3. **Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/ or alternative control measures implemented immediately, within 24 hours of the problem being identified.
4. **Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

IMPROVEMENT PLANS

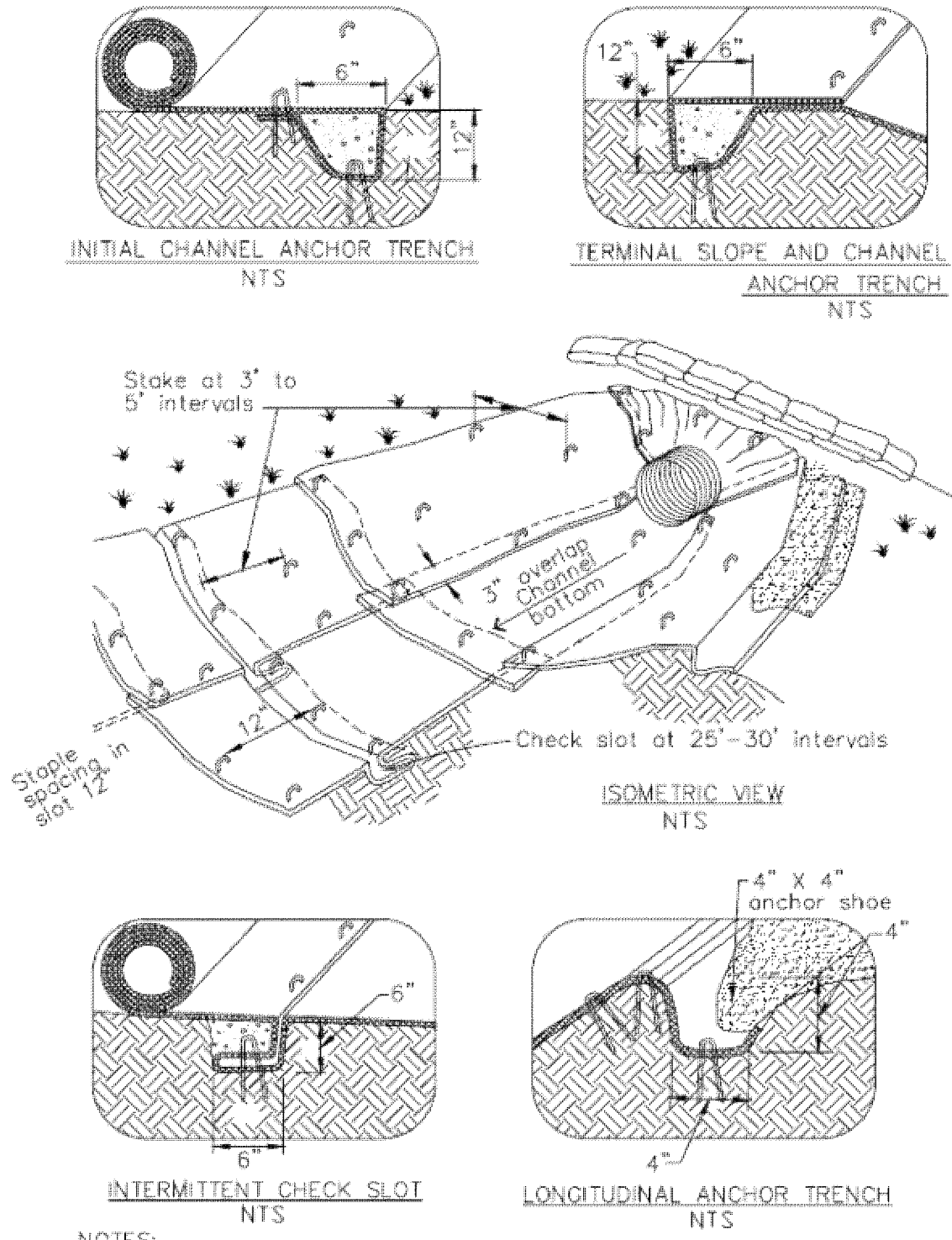
FOR THE
ASSESSORY BUILDING
ON THE LANDS OF LESLIE
1975 HAYES LANE, SAN MARTIN
ALL OF PARCEL 17, AS SHOWN UPON THAT CERTAIN MAP ENTITLED
"AMENDED PARCEL MAP IN BOOK 486 OF MAPS," AT PAGES 49-54
RECORDED ON JULY 30, 1979
SANTA CLARA COUNTY, CALIFORNIA
A.P.N.: 779-46-007

Project Information

7

Geotextiles and Mats

CASQA Detail EC-7

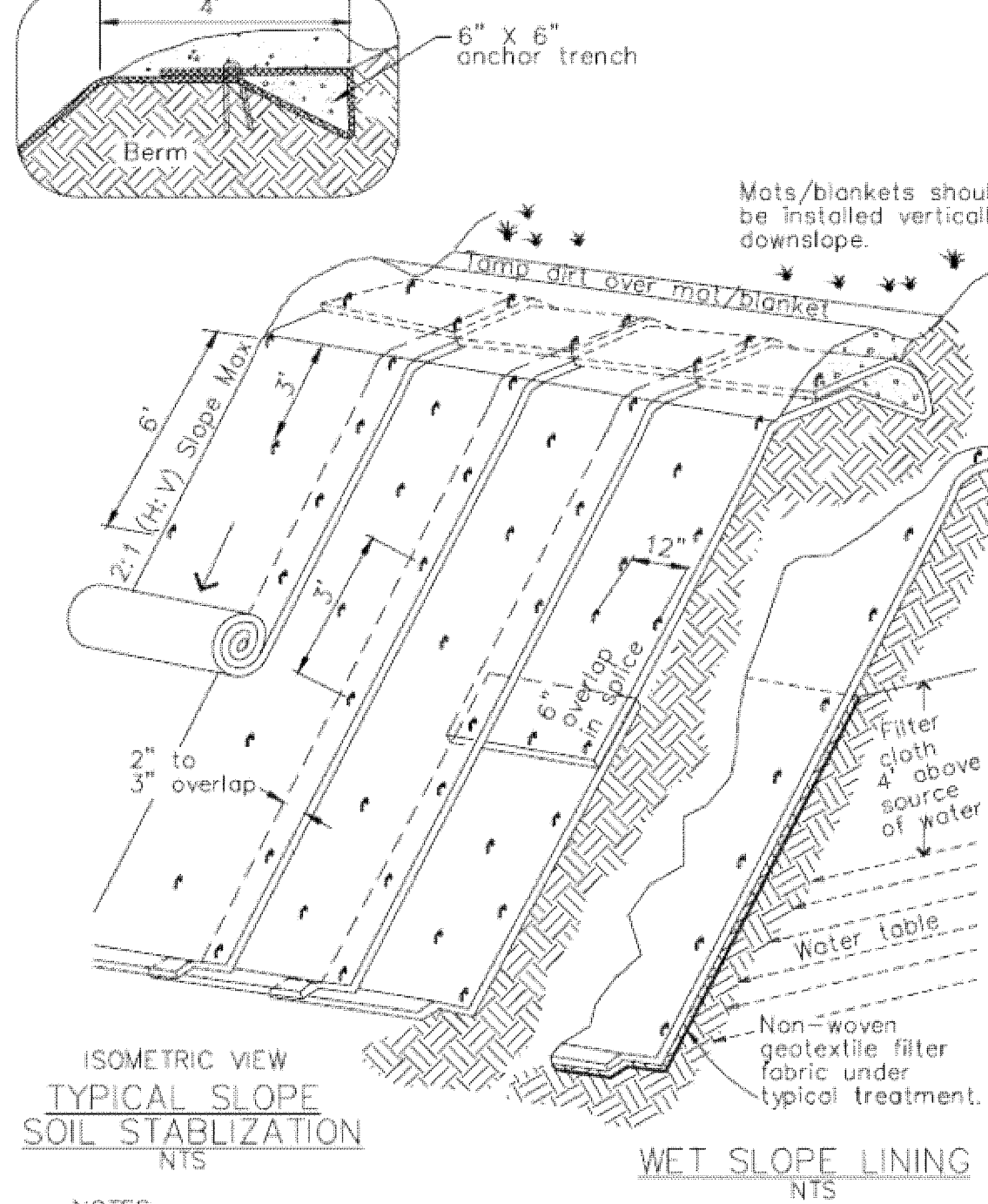


TYPICAL INSTALLATION DETAIL

5

Geotextiles and Mats

CASQA Detail EC-7

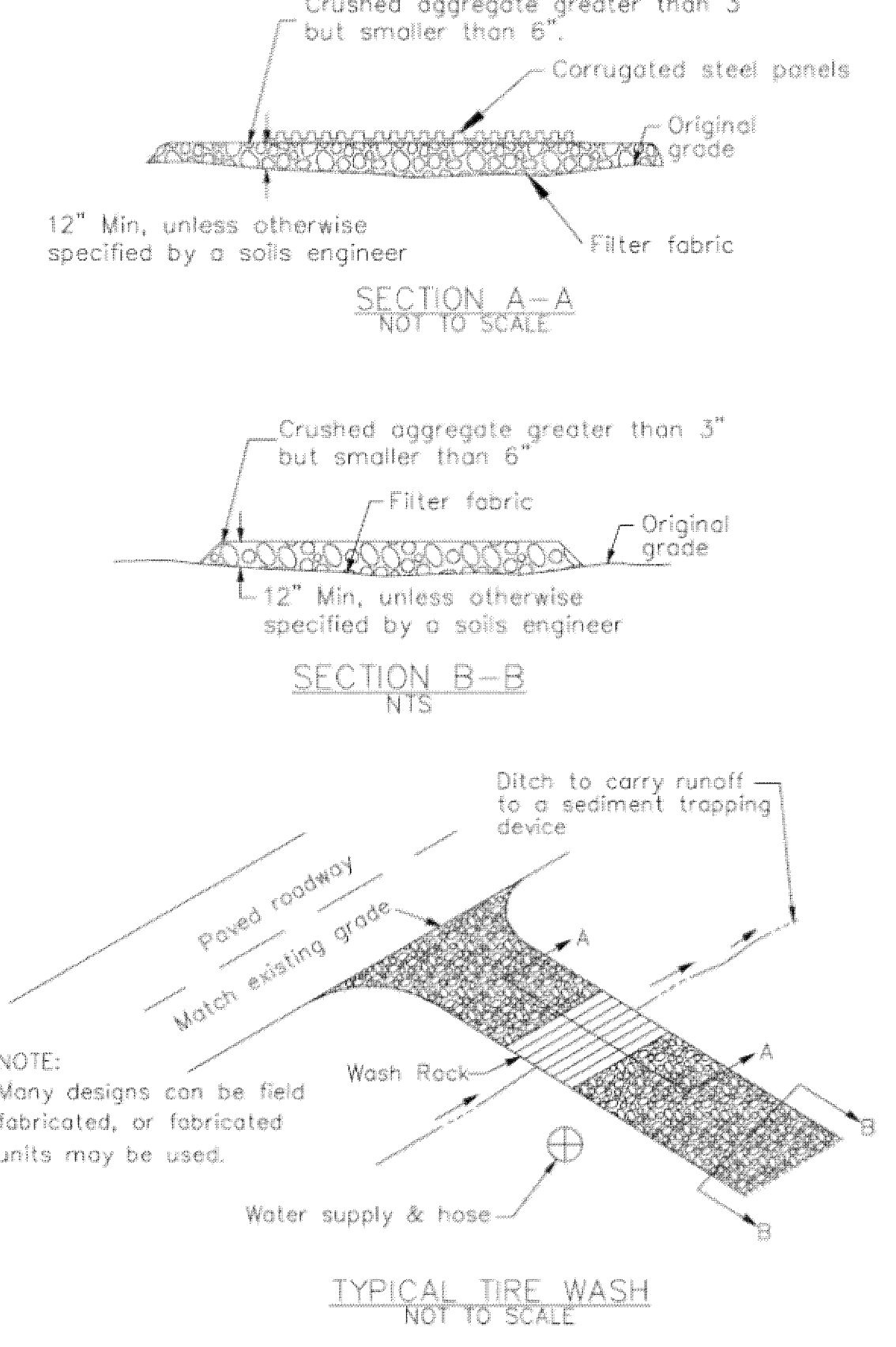


TYPICAL INSTALLATION DETAIL

3

Entrance/Outlet Tire Wash

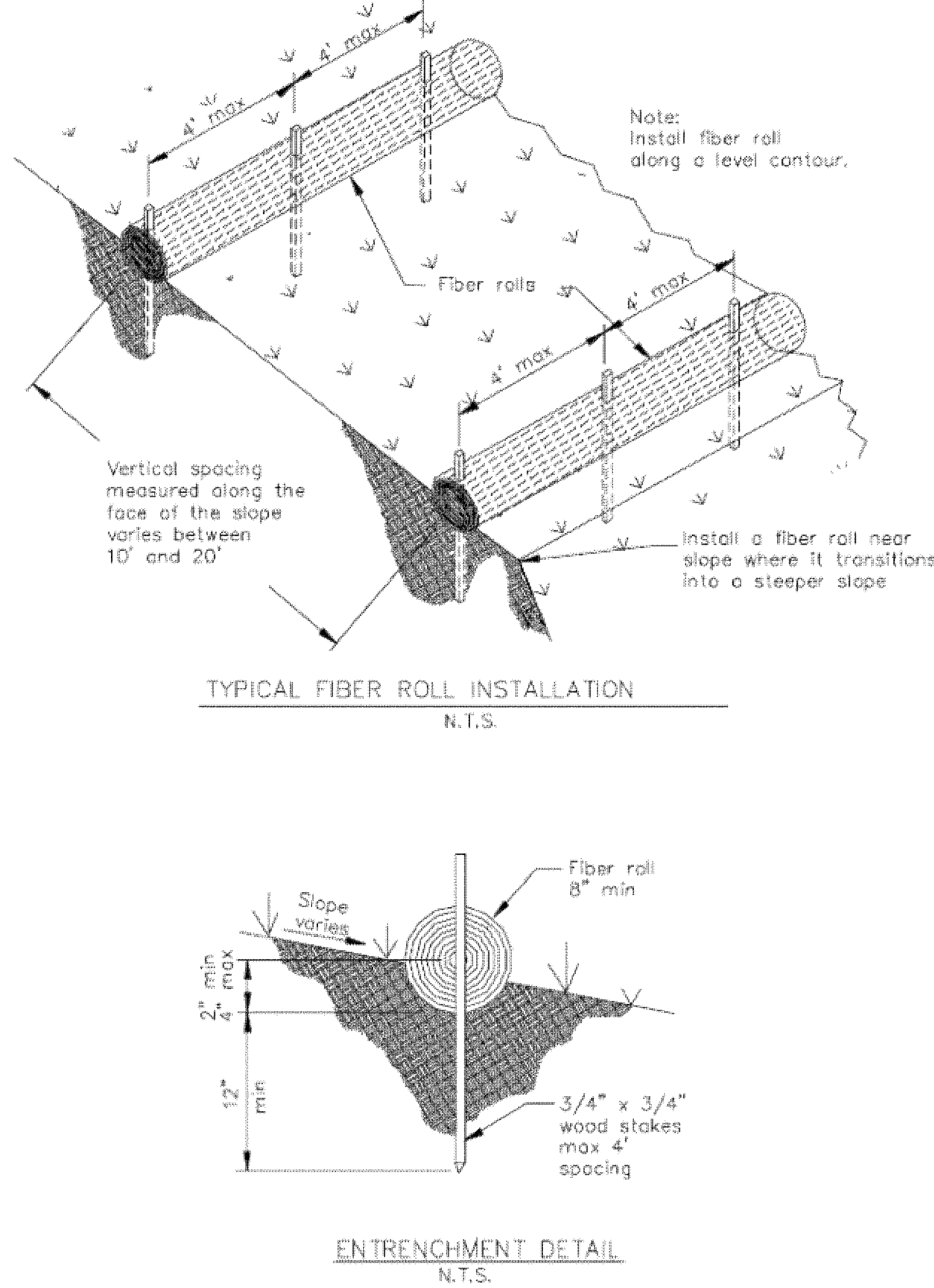
CASQA Detail TC-3



1

Fiber Rolls

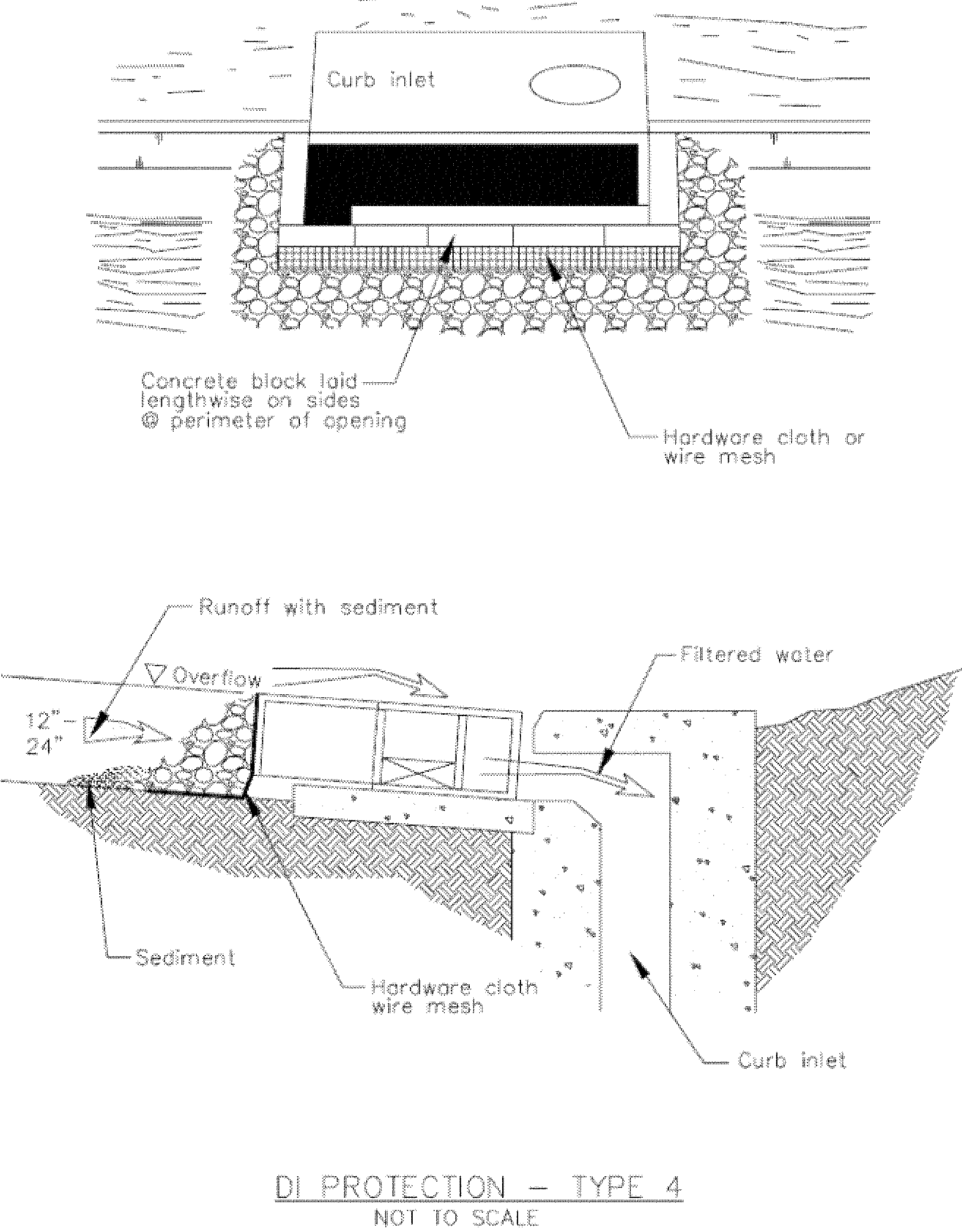
CASQA Detail SE-5



8

Storm Drain Inlet Protection

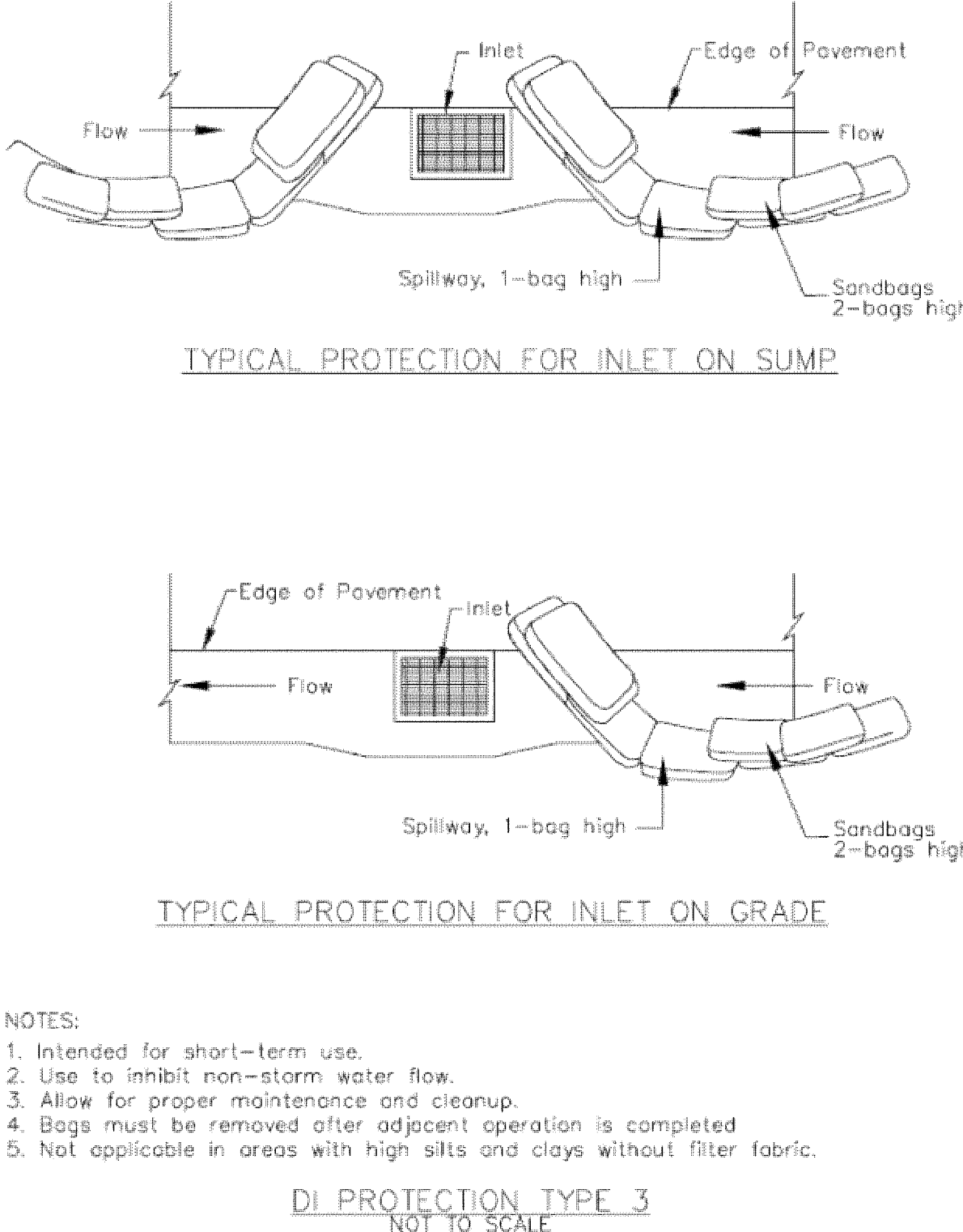
CASQA Detail SE-10



6

Storm Drain Inlet Protection

CASQA Detail SE-10

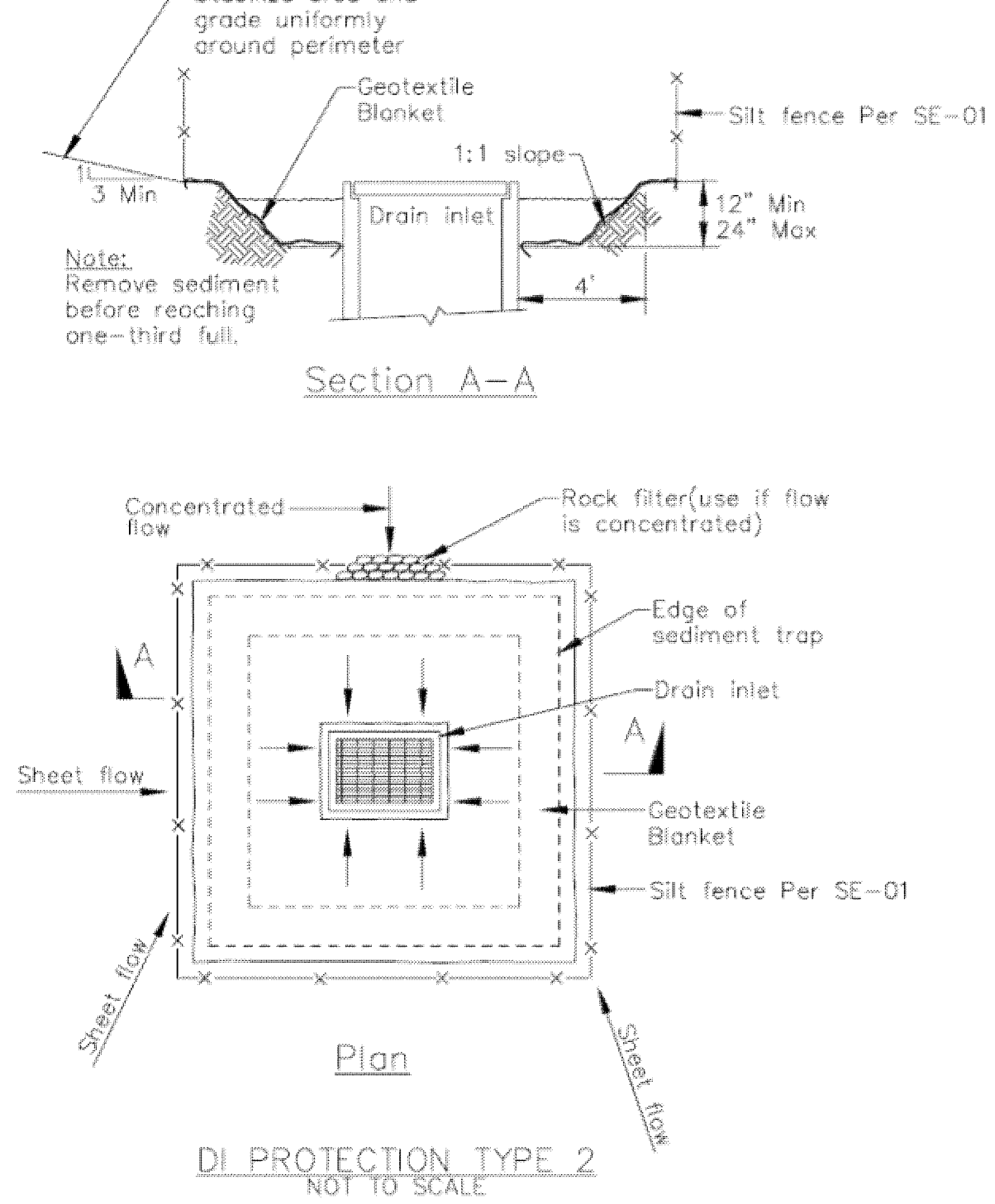


DI PROTECTION TYPE 3
NOT TO SCALE

4

Storm Drain Inlet Protection

CASQA Detail SE-10

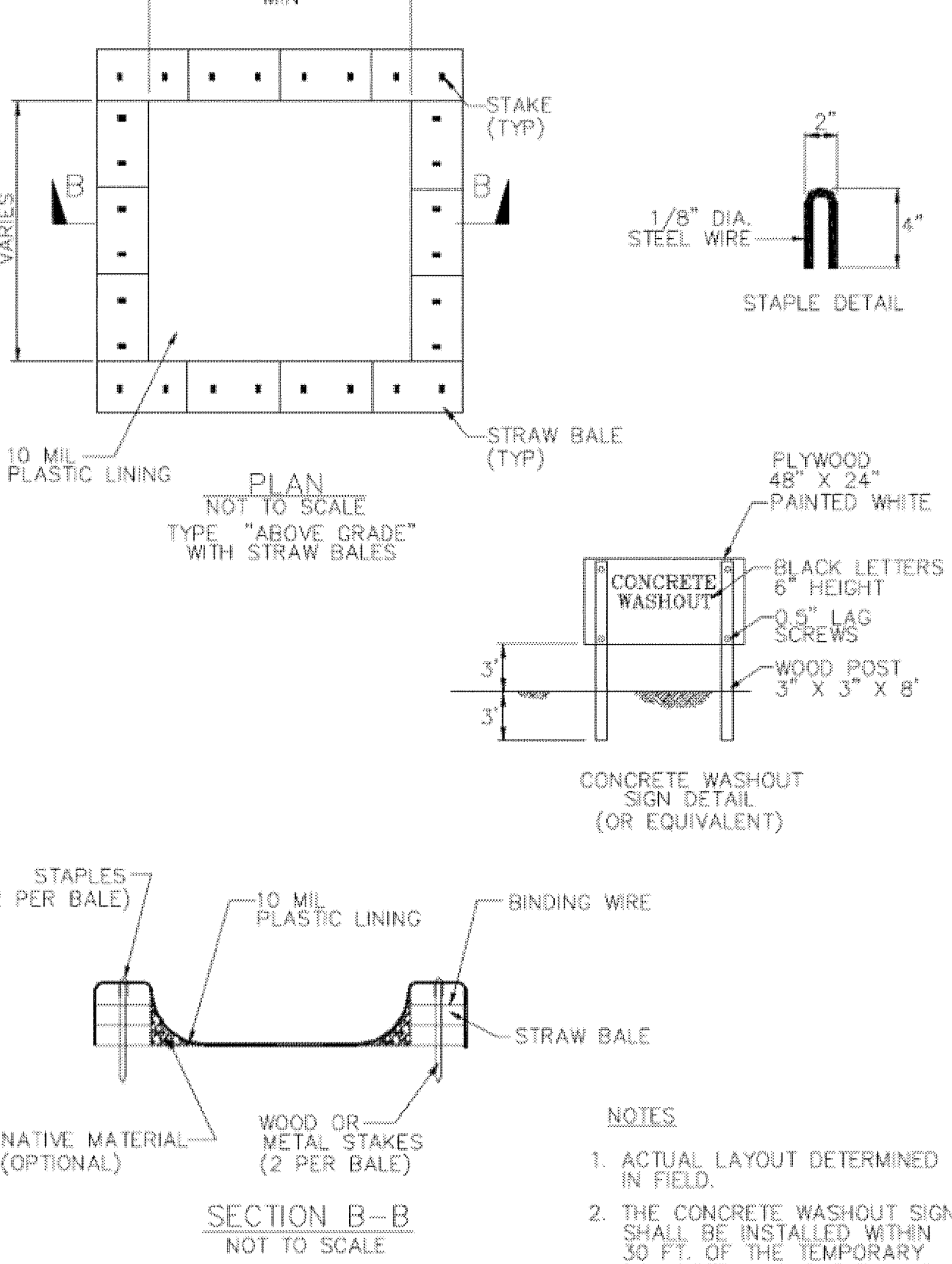


Notes
1. For use in cleared and grubbed and in graded areas.
2. Shape basin so that longest inflow area faces longest length of trap.
3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

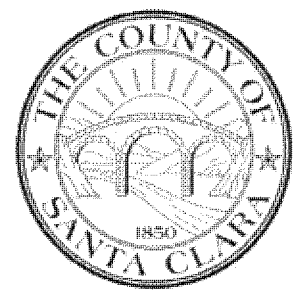
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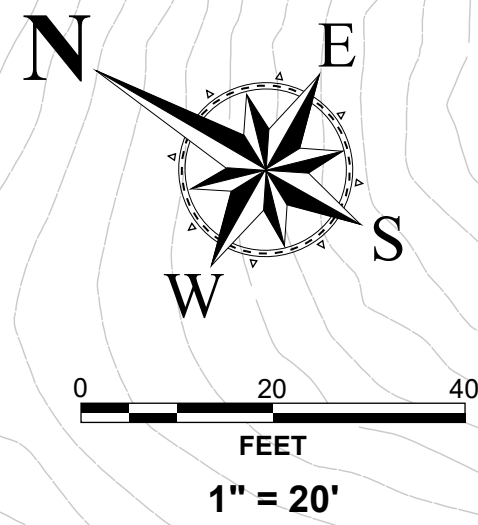
Concrete Waste Management

CASQA Detail WM-8

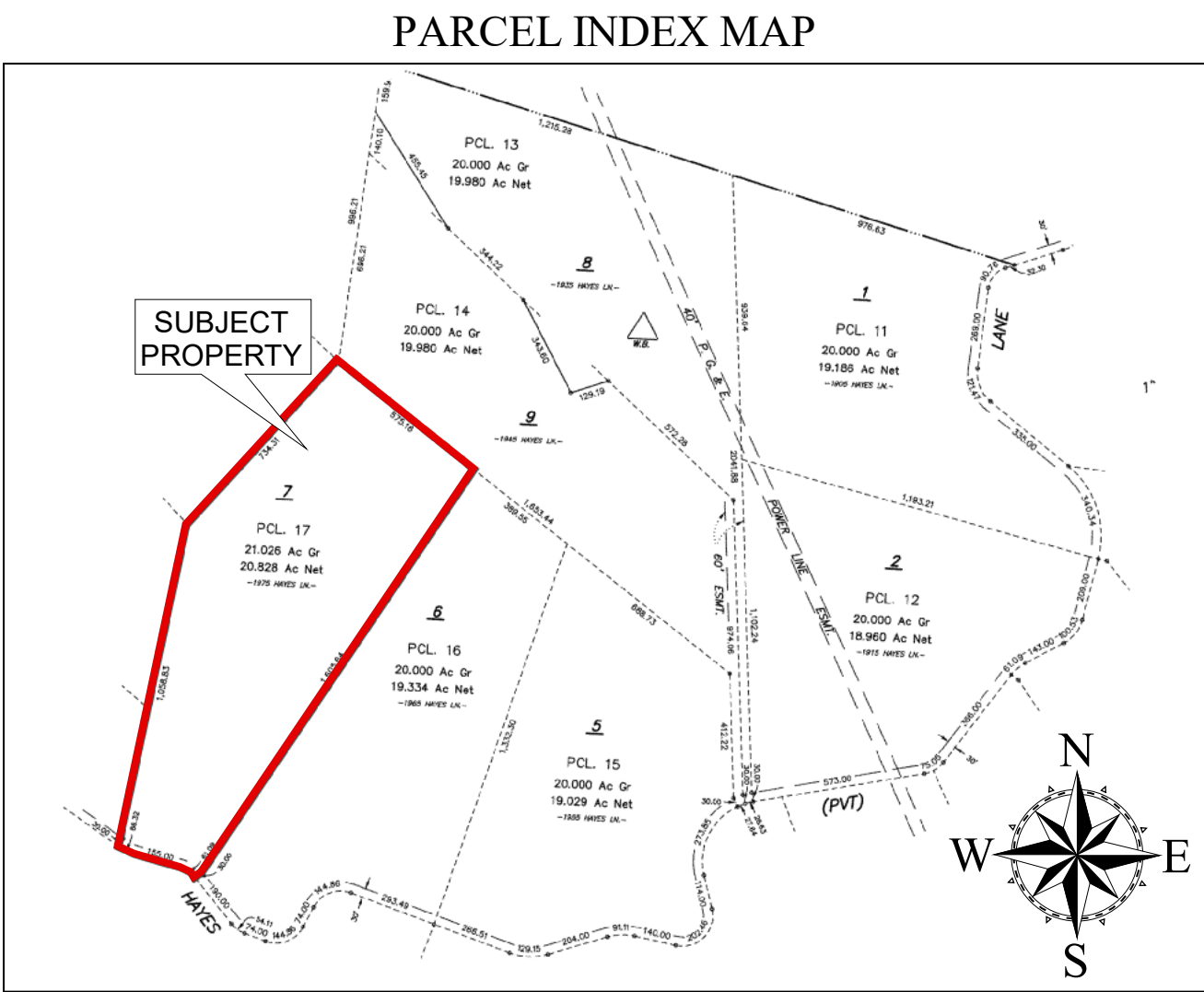
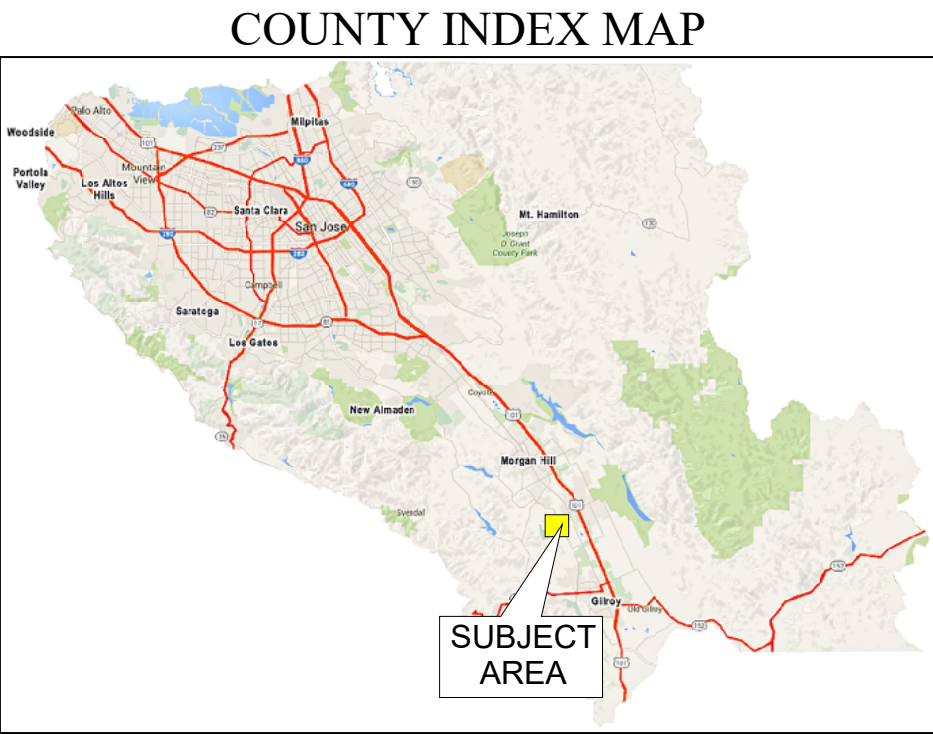


Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.





DISCLAIMER NOTE: THIS MAP WAS PREPARED SOLELY FOR THE PURPOSES OF THE ONSITE WASTEWATER TREATMENT (SEPTIC) SYSTEM (OWTS) DESIGN AND SHOULD NOT BE CONSTRUED AS SUFFICIENT FOR OTHER PURPOSES. LOCATIONS ARE APPROXIMATE. BIOSPHERE CONSULTING, INC. SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGE CAUSED TO UTILITIES DURING CONSTRUCTION. THE LOCATION OF WELLS OR SPRINGS ON NEIGHBORING PROPERTIES HAVE BEEN IDENTIFIED AND LOCATED TO THE BEST OF OUR ABILITY WITHOUT TRESPASSING AND SHALL BE VERIFIED AND CONFIRMED BY COUNTY ENVIRONMENTAL HEALTH. BIOSPHERE CONSULTING, INC. SHALL NOT BE HELD RESPONSIBLE FOR THE LOCATIONS OF WELLS OR SPRINGS THAT MAY BE LOCATED WITHIN ANY REQUIRED SETBACKS FROM THE PROPOSED OR EXISTING OWTS. THE BASE MAP USED ON THIS SHEET HAS BEEN PREPARED OR ANNOTATED BY THIS FIRM USING TAPE AND COMPASS TECHNIQUES, GENERAL TRIANGULATION APPROXIMATIONS OR ESTIMATIONS BASED ON LINE-OF-SIGHT ALIGNMENTS AND BIOSPHERE CONSULTING, INC. ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.



COUNTY E.H. ACCEPTANCE/APPROVAL STAMPS



- Site Evaluation & Mapping
- Soil Analysis & Percolation Testing
- New Development, Upgrade & Repairs
- Residential & Commercial

1315 King Street
Santa Cruz, CA 95060
Tel: (831) 430-9116

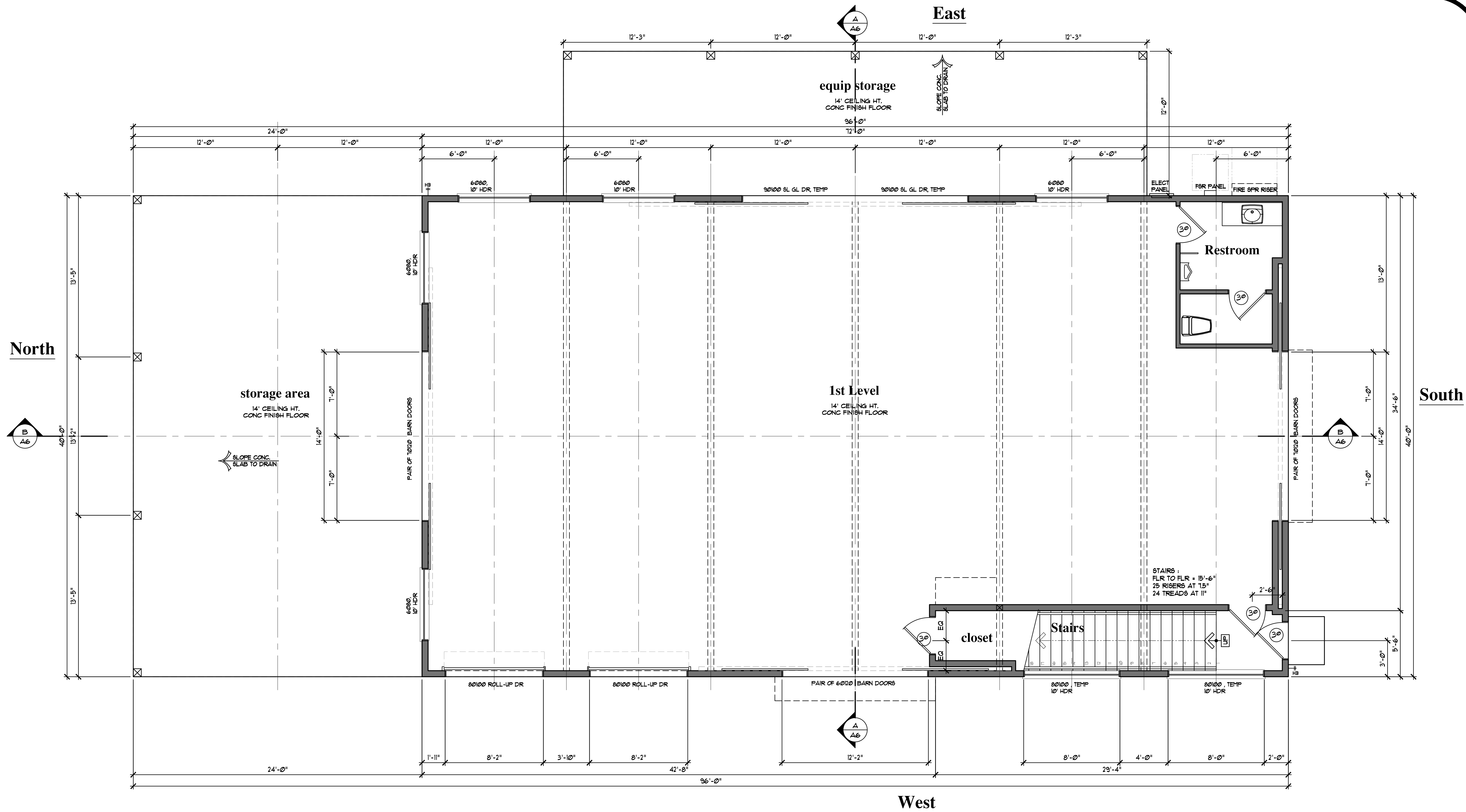
www.biosphere-consulting.com

SITE EVALUATION RESULTS MAP

Project Location:	1954 Hayes Lane, San Martin, California	[Santa Clara County]
Property Owner:	Tom Kais	
Mailing Address:	1954 Hayes Lane, San Martin, CA 95046	
Contact Phone #:	(408) 779-5000 - Jim Leslie	email: jim@jimleslie.com
Date: 7/29/2021	By: David Quinn / Andrew Brownstone	Sheet:
REVISION:		
	Job No.: 21028	APN: 779-44-012
		1 OF 1

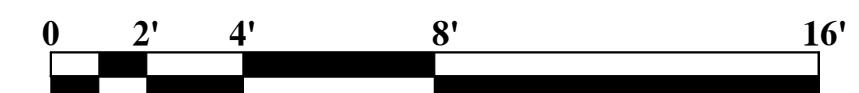


THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. BIOSPHERE CONSULTING, INC. MAINTAINS TITLE OWNERSHIP OF THE PLANS AND SPECIFICATIONS WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



Entry Level Floor Plan

scale: 1/4"=1'-0"



5150 EL CAMINO REAL, SUITE E20
LOS ALTOS, CALIFORNIA 94022
PHONE: (408) 309-2163
FAX: (650) 559-0468
E-MAIL: scott@stotlerdesigngroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS					
1					
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DRAWING TITLE	Entry Level Floor Plan
JOB TITLE	Barn
JOB ADDRESS	1975 Hayes Lane San Martin, CA. 95046

DATE	Apr 14, 2021
SCALE	1/4"=1'-0"
PROJECT MANAGER	B. Stotler
DRAWN	Maw
JOB NO.	2001
SHEET	

A2



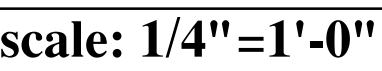
WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL BE LIMITED TO THE PERSONS AUTHORIZED BY THE DESIGNER. ANY UNAUTHORIZED REPRODUCTION OF ANY WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARSED AND PUBLICATION OR REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER. RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. NO REPRODUCTION PRIOR TO THE COMMENCEMENT OF ANY WORK.

[illegible]

DRAWING TITLE	2nd Level Floor Plan
JOB TITLE	Barn
JOB ADDRESS	1975 Hayes Lane San Martin, CA. 95046

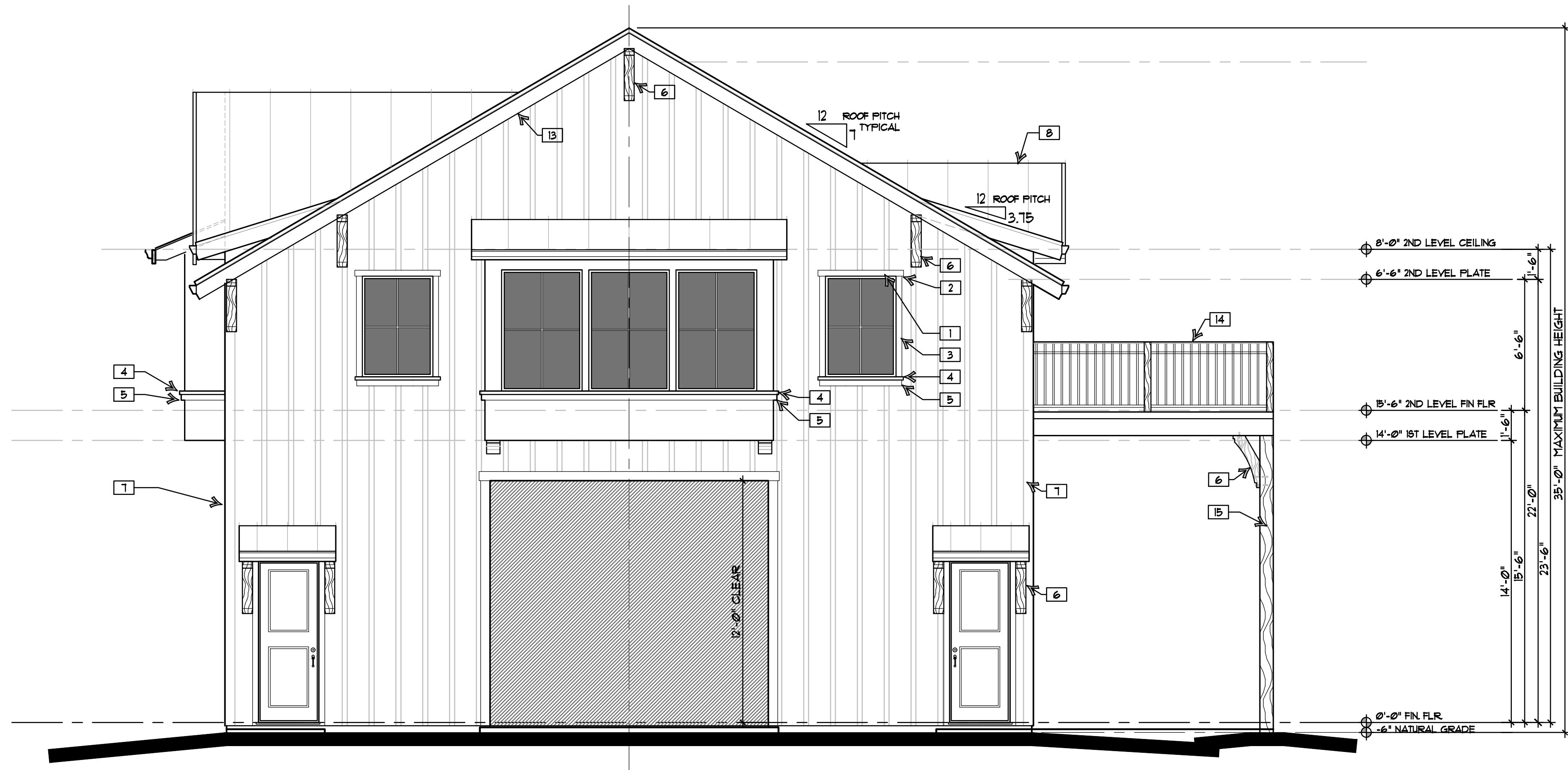
DATE	Apr 14, 2021
SCALE	1/4" = 1' - 0"
PROJECT MANAGER	S. Stotler
DRAWN	Maw
JOB NO.	2001
SHEET	

A3



2nd Level Floor Plan

C:\Dropbox\Projects\2020\2001-Kiss_barn\2001-44.dwg, 4/15/2021 5:07:24 PM



Exterior Elevation - Front - South

scale: 1/4"=1'-0"

Keyed Notes

1. .75"x3.5" 'HARDIETRIM' BD. 4/4 SMOOTH AT WINDOW HEADER TRIM, WITH Z-FLASHING, TYP.
2. PROVIDE 1" OVERLAP AT TOP TRIM.
3. .75"x3.5" 'HARDIETRIM' BD. 4/4 SMOOTH AT WINDOW & DOOR TRIM, TYP.
4. 2x4 S4S ADVANTAGE PLUS SILL, SLOPED FOR DRAINAGE, TYP.
5. .75"x3.5" 'HARDIETRIM' BD. 4/4 SMOOTH AT WINDOW TRIM, TYP.
6. 6x10 SHAPED CORBEL.
7. 2x6 S4S ADVANTAGE PLUS CORNER TRIM, TYP.
8. ROOFING SHALL BE METAL RIBBED ROOFING, MFG'D BY 'TUFF-RIB METAL ROOFING' OR EQUAL, INSTALL PER MFG'S SPECS, o/ CLASS 'A' ROOFING.
9. 5" MIN, 26 GAUGE GALV. FASCIA GUTTER w/ DOWNSPOUTS, AS NECESSARY.
10. 2x8 S4S ADVANTAGE PLUS FASCIA BOARD, TYP.
11. HARDIE PANEL EXTERIOR w/ .75"x2.5" HARDIETRIM BATTENS, o/ 1/2" PLYWOOD SHEATHING (REFER TO STRUCTURAL DWGS) o/ 15 ASPHALT FELT, CRC R103.
12. BARN DOOR AND TRACK.
13. 2x12 DF. GABLE END BARGE RAFTER, PAINTED.
14. 42" HIGH GUARDRAIL.
15. 8x8 POST.

EXTERIOR ELEVATION GENERAL NOTES :

THIS PROJECT IS LOCATED WITHIN THE DESIGNATED "UI" ZONE (WILDLAND-URBAN INTERFACE) FIRE ZONE. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CRC R321 (CALIFORNIA RESIDENTIAL CODE) & CBC CHAPTER 7A CALIFORNIA BUILDING CODE , REFER TO 'WILDLAND-URBAN INTERFACE NOTES' ON SHEET 11.

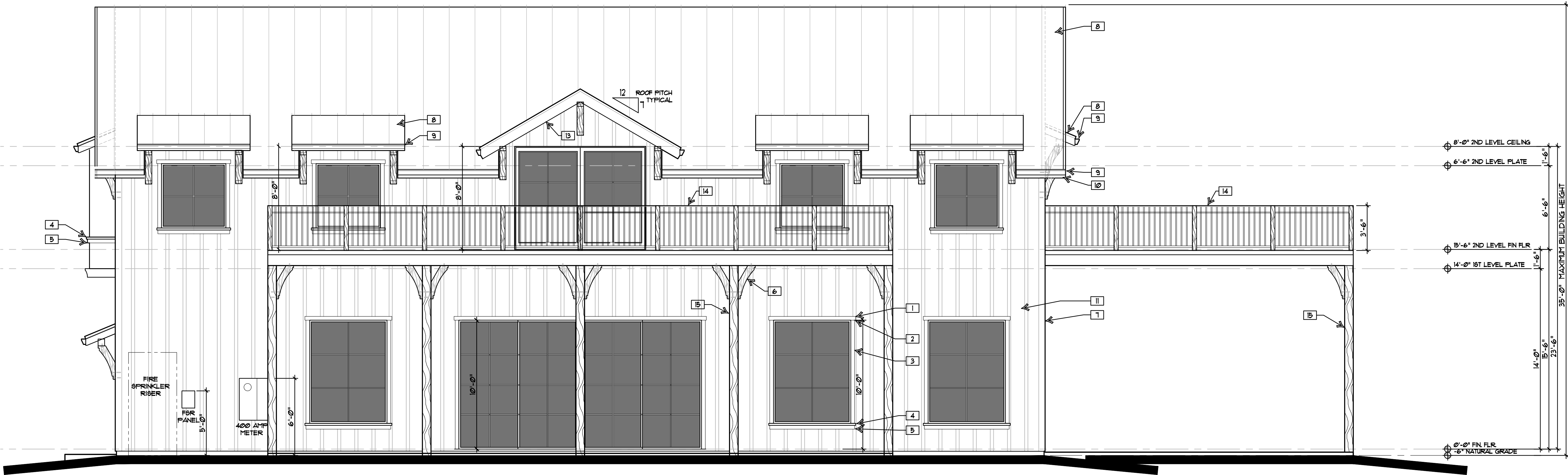
ROOFING-3 : PROVIDE METAL RIBBED ROOFING, MFG'R BY 'TUFF-RIB METAL ROOFING' OR BY OTHERS, INSTALL PER MFGR SPECS, OVER CLASS 'A' UNDERLAYMENT : 150 FELT OR (2)-LAYER 15 FELT o/ 1/2" PLYWOOD SHEATHING w/8d @ 6" O.C.E. & 12"O.C.F, REFER TO STRUCTURAL DRAWINGS FOR PLYWD AND NAILING SPECS.

GUTTER : 5" 26 GA. G.I. FASCIA GUTTER o/2x8 S4S ADVANTAGE PLUS FASCIA BOARD, TYPICAL. PROVIDE SCREEN TO PROTECT FROM LEAF ACCUMULATION.

EAVE SOFFIT : T&G DECKING.

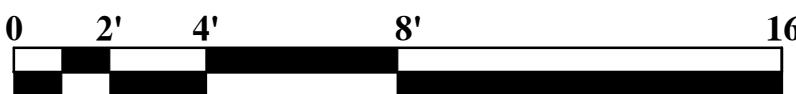
SIDING : HARDIE PANEL EXTERIOR w/ .75"x2.5" HARDIETRIM BATTENS, o/ HARDI PANEL o/ PLYWOOD SHEATHING (REFER TO STRUCTURAL DWGS) o/ WATER RESISTIVE BARRIER

TRIM BOARDS : 2x ADVANTAGE PLUS MATERIAL & HARDIETRIM MATERIAL AS SHOWN



Exterior Elevation - Right Side - East

scale: 1/4"=1'-0"



5150 EL CAMINO REAL, SUITE E20
LOS ALTOS, CALIFORNIA 94022
PHONE: (408) 309-2163
FAX: (650) 559-0458
E-MAIL: scott@stotlerdesigngroup.com

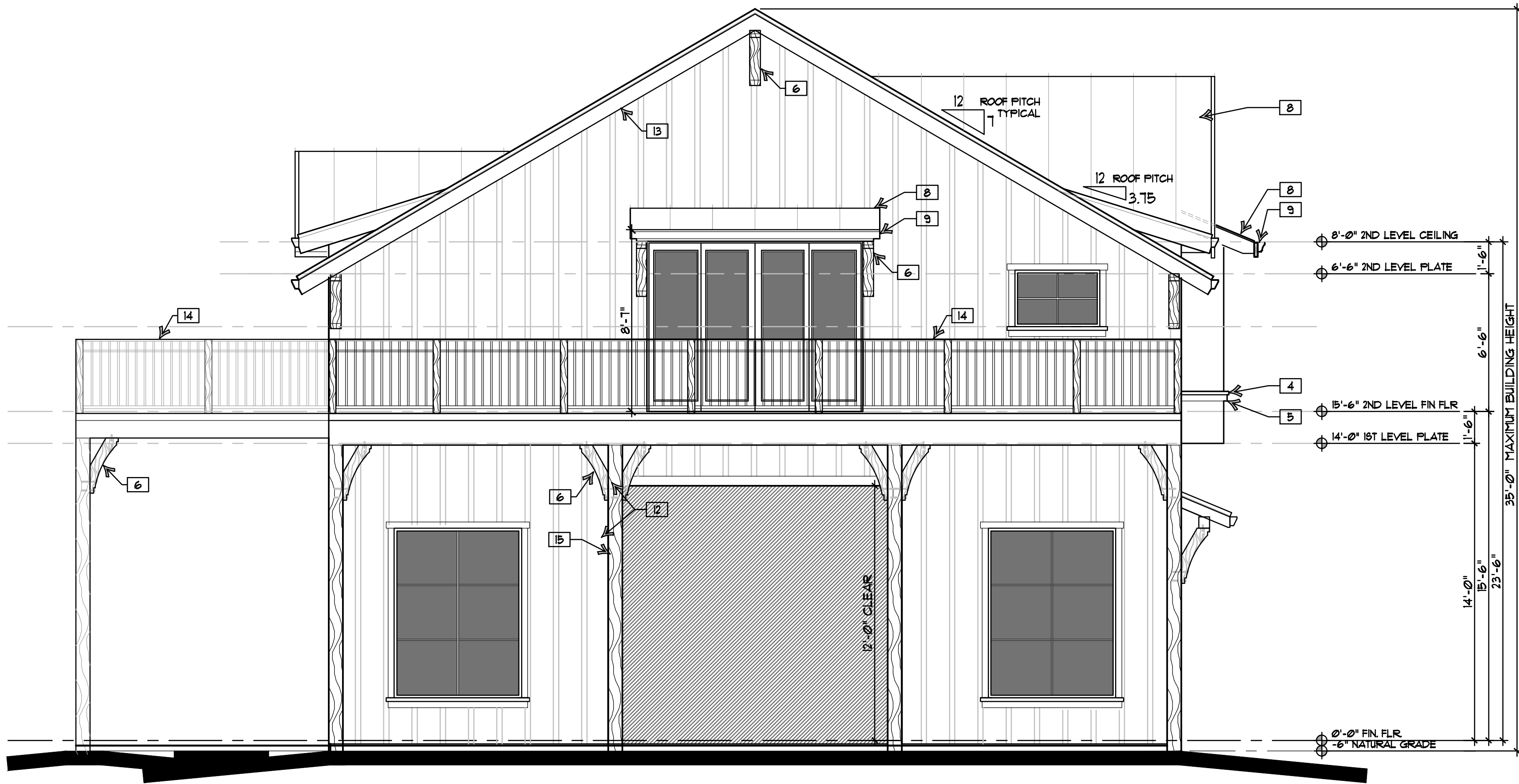
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REVISIONS			
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DRAWING TITLE	Exterior Elevations
JOB TITLE	Barn
JOB ADDRESS	1975 Hayes Lane San Martin, CA. 95046

DATE	Apr 14, 2021
SCALE	1/4"=1'-0"
PROJECT MANAGER	B. Stotler
DRAWN	Maw
JOB NO.	2001
SHEET	

A4



Exterior Elevation - Rear - North

scale: 1/4"=1'-0"

Keyed Notes

1. .75"x3.5" 'HARDIETRIM' BD. 4/4 SMOOTH AT WINDOW HEADER TRIM, WITH Z-FLASHING, TYP.
2. PROVIDE 1" OVERLAP AT TOP TRIM.
3. .75"x3.5" 'HARDIETRIM' BD. 4/4 SMOOTH AT WINDOW & DOOR TRIM, TYP.
4. 2x4 S4S ADVANTAGE PLUS SILL, SLOPED FOR DRAINAGE, TYP.
5. .75"x3.5" 'HARDIETRIM' BD. 4/4 SMOOTH AT WINDOW TRIM, TYP.
6. 6x10 SHAPED CORBEL.
7. 2x6 S4S ADVANTAGE PLUS CORNER TRIM, TYP.
8. ROOFING SHALL BE METAL RIBBED ROOFING, MFG'D BY "TUFF-RIB METAL ROOFING" OR EQUAL, INSTALL PER MFG'S SPEC'S, o/ CLASS "A" ROOFING.
9. 5" MIN, 26 GAUGE GALV. FASCIA GUTTER w/ DOWNSPOUTS, AS NECESSARY.
10. 2x8 S4S ADVANTAGE PLUS FASCIA BOARD, TYP.
11. HARDIE PANEL EXTERIOR w/ .75"x2.5" HARDIETRIM BATTENS, o/ 1/2" PLYWOOD SHEATHING (REFER TO STRUCTURAL DUGS) o/ #5 ASPHALT FELT, CRC R103.
12. BARN DOOR AND TRACK.
13. 2x12 DF. GABLE END BARGE RAFTER, PAINTED.
14. 42" HIGH GUARDRAIL.
15. 8x8 POST

EXTERIOR ELEVATION GENERAL NOTES :

THIS PROJECT IS LOCATED WITHIN THE DESIGNATED "UII" ZONE (WILDLAND-URBAN INTERFACE) FIRE ZONE. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CRC R321 (CALIFORNIA RESIDENTIAL CODE) & CBC CHAPTER 1A CALIFORNIA BUILDING CODE , REFER TO 'WILDLAND-URBAN INTERFACE NOTES' ON SHEET 11.

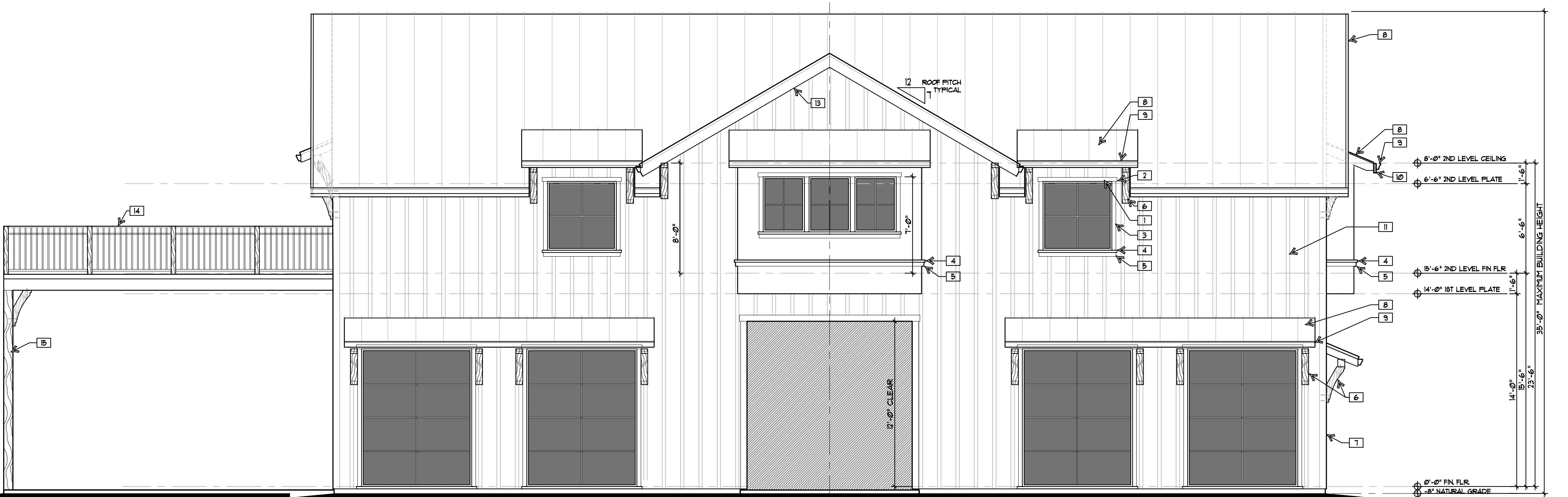
ROOFING-3 : PROVIDE METAL RIBBED ROOFING, MFG'D BY "TUFF-RIB METAL ROOFING" OR BY OTHERS, INSTALL PER MFG'S SPEC'S, OVER CLASS "A" UNDERLAYMENT : #30 FELT OR (2)-LAYER #5 FELT o/ 1/2" PLYWOOD SHEATHING w/8d @ 6" O.C.E. & 12"OCF, REFER TO STRUCTURAL DRAWINGS FOR PLYUD AND NAILING SPEC'S.

GUTTER : 5" 26 GA. G.I. FASCIA GUTTER o/2x8 S4S ADVANTAGE PLUS FASCIA BOARD, TYPICAL. PROVIDE SCREEN TO PROTECT FROM LEAF ACCUMULATION.

EAVE SOFFIT : T&G DECKING.

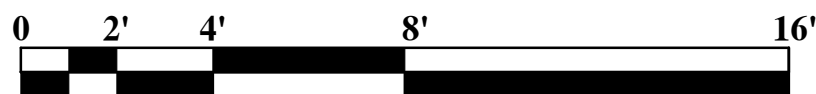
SIDING : HARDIE PANEL EXTERIOR w/ .75"x2.5" HARDIETRIM BATTENS, o/ HARDI PANEL o/ PLYWOOD SHEATHING (REFER TO STRUCTURAL DUGS) o/ WATER RESISTIVE BARRIER

TRIM BOARDS : 2x ADVANTAGE PLUS MATERIAL & HARDIETRIM MATERIAL AS SHOWN



Exterior Elevation - Left Side - West

scale: 1/4"=1'-0"



5150 EL CAMINO REAL, SUITE E20
LOS ALTOS, CALIFORNIA 94022
PHONE: (408) 309-2163
FAX: (650) 559-0458
E-MAIL: scott@stotlerdesigngroup.com

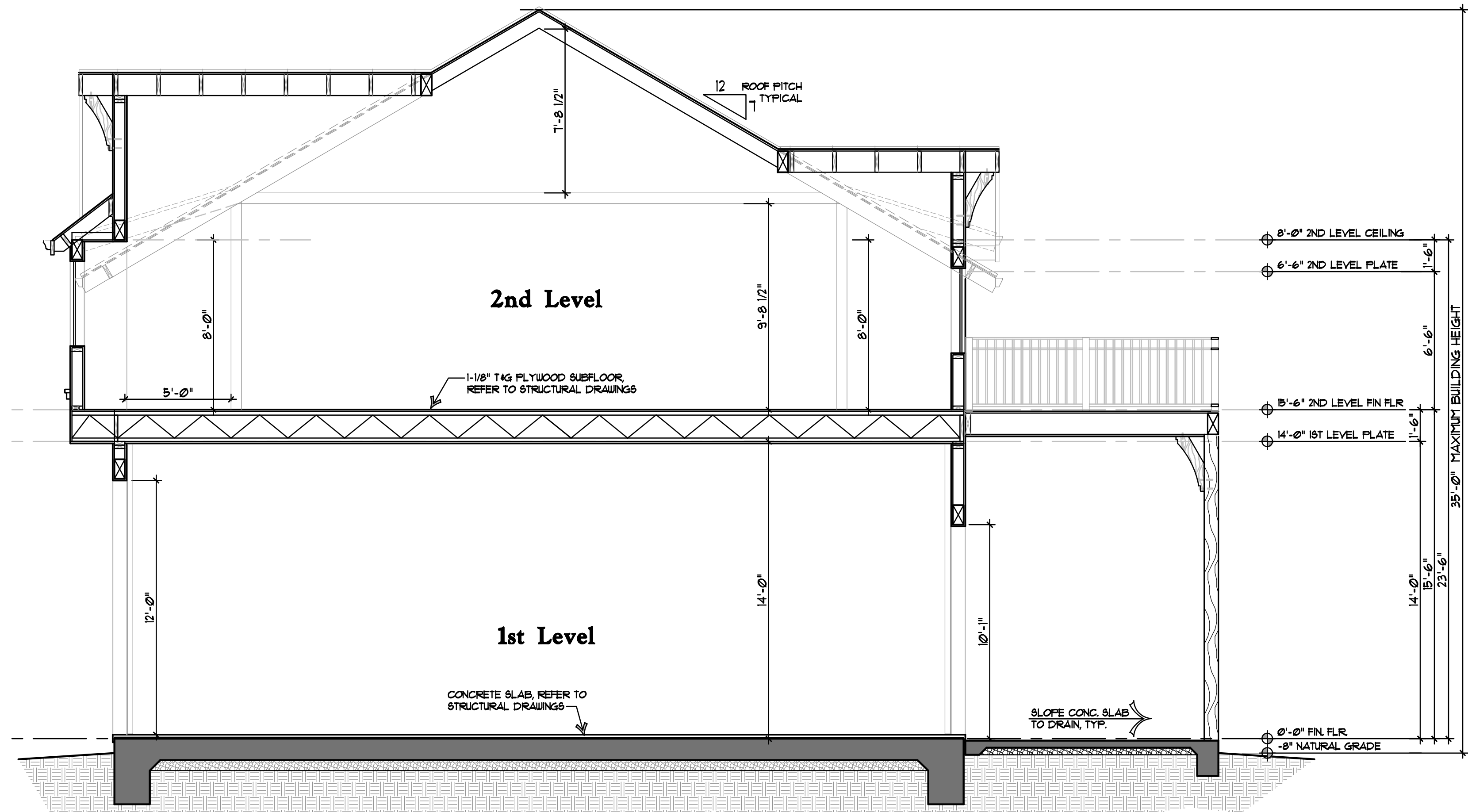
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REVISIONS					
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DRAWING TITLE	Exterior Elevations
JOB TITLE	Barn
JOB ADDRESS	1975 Hayes Lane San Martin, CA. 95046

DATE	Apr 14, 2021
SCALE	1/4"=1'-0"
PROJECT MANAGER	B. Stotler
DRAWN	Maw
JOB NO.	2001
SHEET	

A5



Cross Section - A

scale: 1/4"=1'-0"

Keyed Notes

1. .75"x3.5" 'HARDIETRIM' BD, 4/4 SMOOTH AT WINDOW HEADER TRIM, WITH Z-FLASHING, TYP.
2. PROVIDE 1" OVERLAP AT TOP TRIM.
3. .75"x3.5" 'HARDIETRIM' BD, 4/4 SMOOTH AT WINDOW & DOOR TRIM, TYP.
4. 2x4 S4S ADVANTAGE PLUS SILL, SLOPED FOR DRAINAGE, TYP.
5. .75"x3.5" 'HARDIETRIM' BD, 4/4 SMOOTH AT WINDOW TRIM, TYP.
6. 6x10 SHAPED CORBEL.
7. 2x6 S4S ADVANTAGE PLUS CORNER TRIM, TYP.
8. ROOFING SHALL BE METAL RIBBED ROOFING, MFG'D BY "TUFF-RIB METAL ROOFING" OR EQUAL, INSTALL PER MFG'S SPECS, o/ CLASS "A" ROOFING.
9. 5" MIN, 26 GAUGE GALV. FASCIA GUTTER w/ DOWNSPOUTS, AS NECESSARY.
10. 2x8 S4S ADVANTAGE PLUS FASCIA BOARD, TYP.
11. HARDIE PANEL EXTERIOR w/ .75"x2.5" HARDIETRIM BATTENS, o/ 1/2" PLYWOOD SHEATHING (REFER TO STRUCTURAL DIAGS) o/ #5 ASPHALT FELT, CRC R1023.
12. BARN DOOR AND TRACK.
13. 2x12 D.F. GABLE END BARGE RAFTER, PAINTED.
14. 42" HIGH GUARDRAIL.
15. 8x8 POST

CROSS SECTION GENERAL NOTES :

THIS PROJECT IS LOCATED WITHIN THE DESIGNATED "WUI" ZONE (WILDLAND-URBAN INTERFACE) FIRE ZONE. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CRC R321 (CALIFORNIA RESIDENTIAL CODE) & CBC CHAPTER 1A CALIFORNIA BUILDING CODE , REFER TO 'WILDLAND-URBAN INTERFACE NOTES' ON SHEET 11.

CROSS SECTIONS ARE DIAGRAMMATIC AND USED FOR CONSTRUCTION FRAMING PURPOSES ONLY AND MAY NOT REPRESENT EXACT FRAMING METHODS, CONTRACTOR TO USE FRAMING METHOD OUTLINED IN I.B.C, C.R.C. OR REGISTERED ENGINEERS FRAMING DETAILS, SEE STRUCTURAL FRAMING DRAWINGS AND DETAILS.

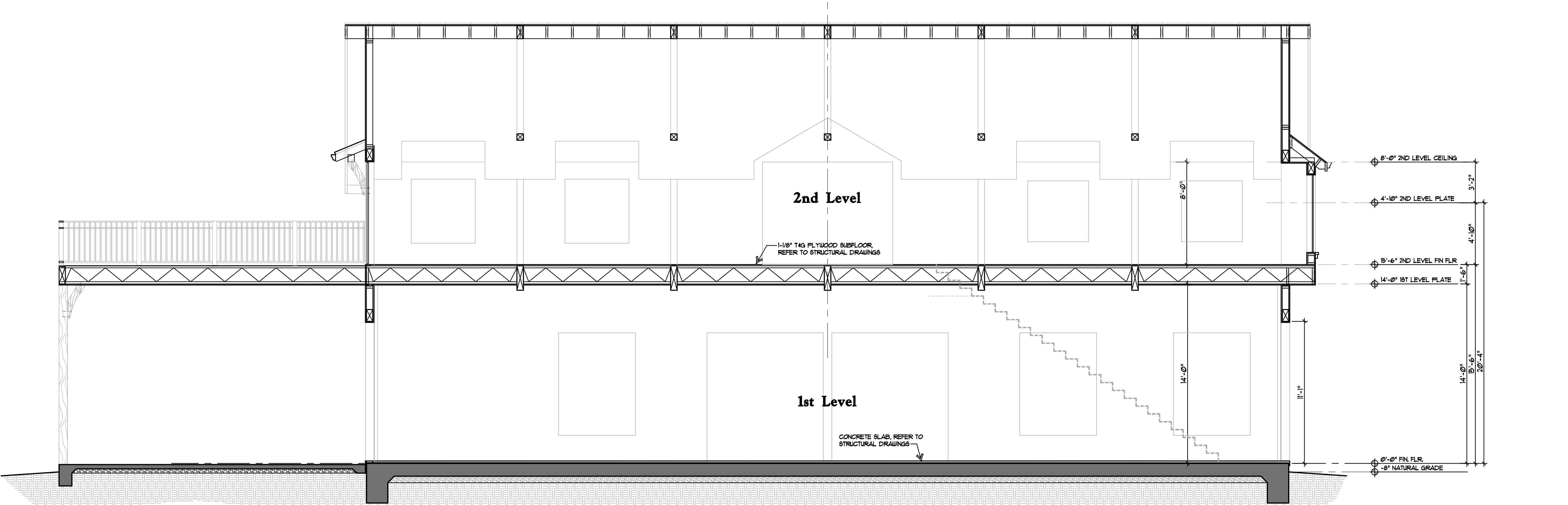
ROOFING-3 : PROVIDE METAL RIBBED ROOFING, MFR BY "TUFF-RIB METAL ROOFING" OR BY OTHERS, INSTALL PER MFR SPECS. OVER CLASS "A" UNDERLAYMENT : #30 FELT OR (2)-LAYER #15 FELT o/ 1/2" PLYWOOD SHEATHING w/8d # 6" O.C.E. & 12"O.C.F, REFER TO STRUCTURAL DRAWINGS FOR PLYWD AND NAILING SPECS.

GUTTER : 5" 26 GA. G.I. FASCIA GUTTER o/2x8 S4S ADVANTAGE PLUS FASCIA BOARD, TYPICAL. PROVIDE SCREEN TO PROTECT FROM LEAF ACCUMULATION.

EAVE SOFFIT : T&G DECKING.

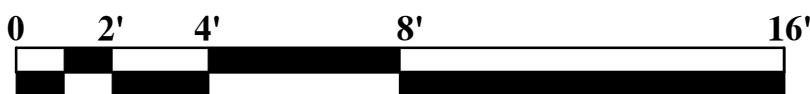
SIDING : HARDIE PANEL EXTERIOR w/ .75"x2.5" HARDIETRIM BATTENS, o/ 1/2" PLYWOOD SHEATHING (REFER TO STRUCTURAL DIAGS) o/ WATER RESISTIVE BARRIER

TRIM BOARDS : 2x ADVANTAGE PLUS MATERIAL & HARDIETRIM MATERIAL AS SHOWN



Cross Section - B

scale: 1/4"=1'-0"



5150 EL CAMINO REAL, SUITE E20
LOS ALTOS, CALIFORNIA 94022
PHONE: (408) 309-2163
FAX: (650) 559-0458
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WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY OTHER DIMENSIONS SHOWN ON THESE PLANS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARIED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF STOTLER DESIGN GROUP, INC. THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

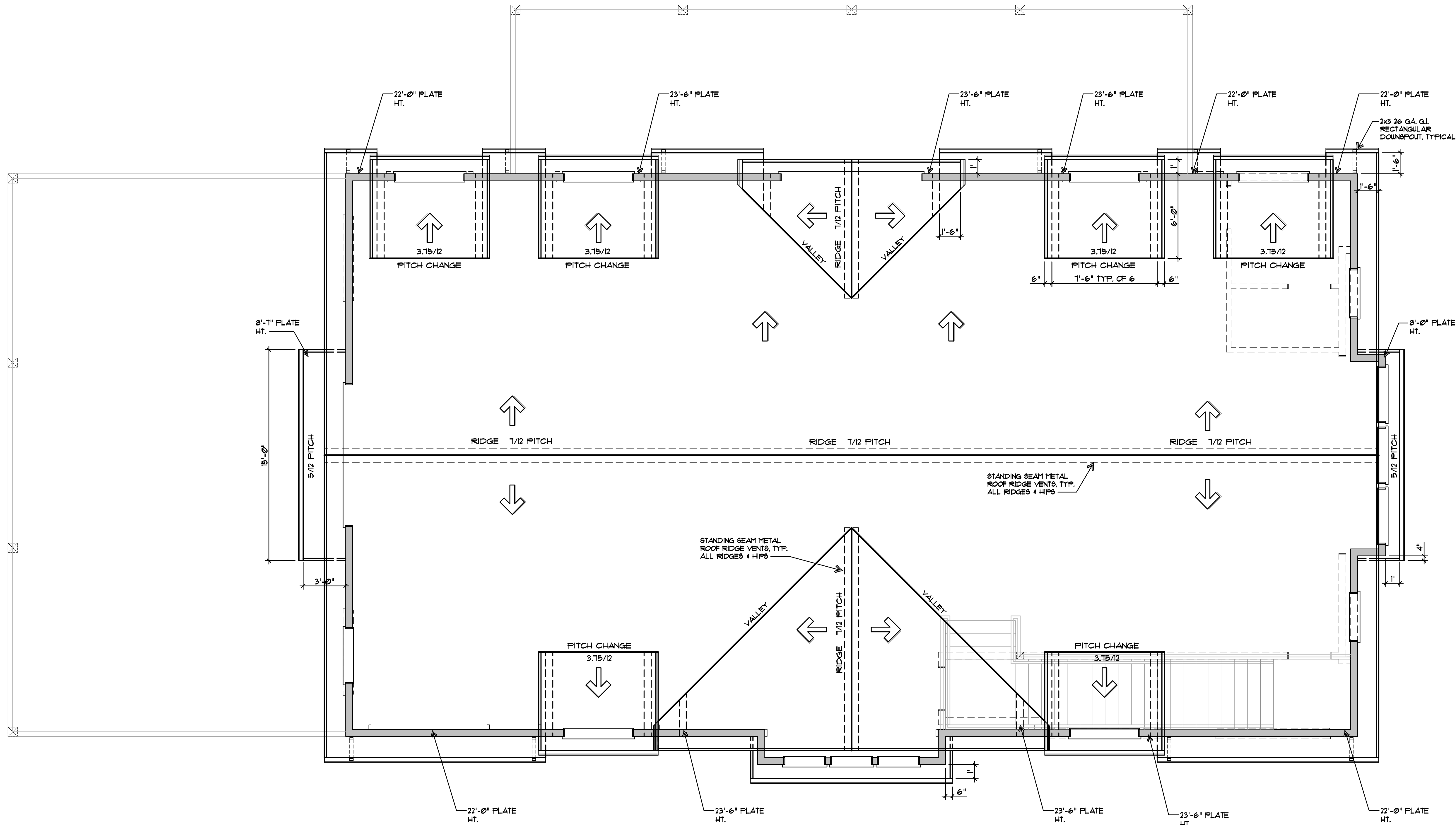
REVISIONS					

DRAWING TITLE	Cross Sections
JOB TITLE	Barn
JOB ADDRESS	1975 Hayes Lane San Martin, CA. 95046

DATE	Apr 14, 2021
SCALE	1/4"=1'-0"
PROJECT MANAGER	B. Stotler
DRAWN	Maw
JOB NO.	20201
SHEET	

A6

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Roof Plan

scale: 1/4"=1'-0"

GENERAL ROOF PLAN NOTES:

THIS PROJECT IS LOCATED WITHIN THE DESIGNATED "UII" ZONE (WILDLAND-URBAN INTERFACE) FIRE ZONE. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CRC R321 (CALIFORNIA RESIDENTIAL CODE) & CBC CHAPTER 1A CALIFORNIA BUILDING CODE , REFER TO "WILDLAND-URBAN INTERFACE NOTES" ON SHEET 11.

ROOF COVERING SHALL BE NON-COMBUSTIBLE (I.E. CEMENT SHINGLES/SHEETS, CONCRETE SLAB ROOF, FERROUS OR COPPER SHINGLES/SHEETS, SLATE SHINGLES, CLAY OR CONCRETE ROOFING TILE, ETC.), OR HAS A CLASS-A RATING, (UII REQUIREMENT)

ROOFING-3 : PROVIDE METAL RIBBED ROOFING, MFR BY "TUFF-RIB METAL ROOFING" OR BY OTHERS, INSTALL PER MFR SPECS. OVER CLASS "A" UNDERLAYMENT : #30 FELT OR (2)-LAYER #5 FELT o/ 1/2" PLYWOOD SHEATHING w/8d @ 6" O.C. & 12"OCF. REFER TO STRUCTURAL DRAWINGS FOR PLYUD AND NAILING SPECS.

EAVE SOFFIT : 1x6 DECKING.

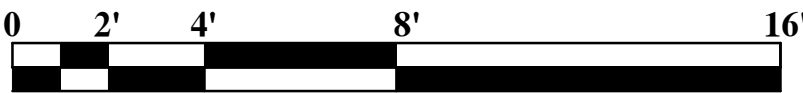
PLATE HEIGHT TO BE 22'-0", UNO.

ROOF SLOPE IS TO BE 1/12, TYPICAL UNO.

OVERHANGS ARE TO BE 18" AT EAVES & 18" AT RAKES, TYPICAL UNO.

ARROWS INDICATE DIRECTION OF ROOF SLOPE.

PROVIDE 26 GA. MIN. GALV. SMT. MTL. FLASHING AS NECESSARY, AT EAVES, & AND ALL POINT TO PROTECT FROM WEATHERING, TYP.



5150 EL CAMINO REAL, SUITE E20
LOS ALTOS, CALIFORNIA 94022
PHONE: (408) 309-2163
FAX: (650) 559-0458
E-MAIL: scott@stotlerdesigngroup.com

WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE PARIED AND PUBLICATION IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF THE DESIGNER. THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

REVISIONS					
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DRAWING TITLE	Roof Plan
JOB TITLE	Barn
JOB ADDRESS	1975 Hayes Lane San Martin, CA. 95046

DATE	Apr 14, 2021
SCALE	1/4"=1'-0"
PROJECT MANAGER	S. Stotler
DRAWN	Maw
JOB NO.	2001
SHEET	

A7