

County of Santa Clara

Department of Planning and Development
Planning Office

County Government Center, East Wing, 7th Floor
70 West Hedding Street
San Jose, California 95110-1705
(408) 299-5770 FAX (408) 288-9198
www.sccplanning.org



November 26, 2021

Dermer, Joseph and Cheryl Trustees
c/o Jay Plett Architect LLC
20530 Almaden Road
San Jose, CA. 95120

FILE NUMBER: PLN21-189
SUBJECT: Design Review Exemption Application (DRX)
SITE LOCATION: 20530 Almaden Road, San Jose (APN: 742-05-013)
DATE RECEIVED: November 3, 2021

Dear Mr. Plett,

Resubmittals are made via the internet, to do so, follow the instructions at the following URL: <https://www.sccgov.org/sites/dpd/Iwantto/Permits/Pages/Permits.aspx>. Before resubmitting, please consult me as this process is dynamic and at the time you choose to resubmit the process may have changed and / or been enhanced. The resubmitted materials must include all requested information. Once the information is submitted, Planning Office personnel will distribute the plans, reports, etc. to the appropriate staff or agency for their review.

If you have any questions about the information being requested, you should first call the person whose name is listed as the contact person for that item. He or she represents a specialty or office and can provide details about the requested information.

AS NOTED ABOVE, PRIOR TO RESUBMITTAL PLEASE E-MAIL ME TO DISCUSS THE PROCESS.

Please submit one (1) electronic copy of the revised plans / resubmittal documents with a written response addressing the following items.

PLANNING OFFICE

Contact Valerie Negrete at (408) 299-5791 or valerie.negrete@pln.sccgov.org regarding the following comments:

HI District

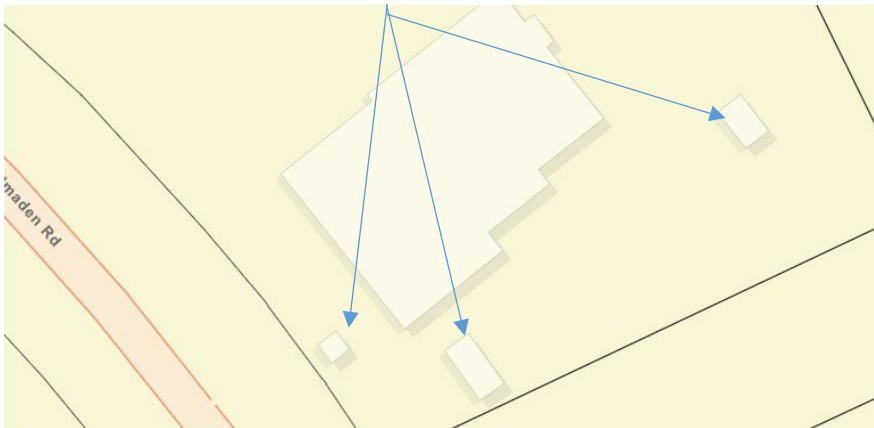
1. The subject parcel is located in an "h1" zoning overlay district and the home was created by converting a historic barn (County File No. 2912-47-46-86A). As such any exterior improvements will require review by the Historical Committee. In order to make an assessment of the remodel, provide an historic report indicating the exact features of the

home that need to be maintained in order to be consistent with the historic character of the building and neighborhood. The report shall provide general background and information as to the historic nature of the home.

2. Submit a detailed scope of work describing the exterior changes and provide samples and product details of all replacement and new features such as roofing, gables or windows.

Project Plans

3. Revise plans to indicate a 100' setback from the creek bank of Alματος Creek, (Condition of approval of 2912-86A). A biologist may need to determine this line if it is within 10 feet of this setback. Please note that no structures are allowed within this setback.
4. Indicate on plans all easements for clarity. There was a water district easement that does not appear on plans.
5. Provide a side-by-side floor plan exhibit showing the existing and proposed floor plans. Because the home is within close proximity to the rear creek setback, staff will need to be able to determine what is existing and what is proposed. Plans do show some of this work but this information will be necessary for future report preparation.
6. County aerial photos indicate other structures on the property which do not have building permits according to our system. Please update plans to show all structures on lot with their respective building permit numbers for clarity (see below). In order to conduct a building permit search please contact the Permit Center and speak with a permit technician, you may need to submit a public records request for this information.



Source: County GIS System

Design Review

7. As part of Design Review requirements, color samples that show the exterior material(s) with Light Reflective Values (LRVs) of 45 or less are required. The applicant provided the materials photo of the actual color on a color board. Please insert the color samples and identify the light reflective value (LRV) of each material on the color board.
8. Details of materials will need to be provided, please see Comment No. 2.

FIRE MARSHAL OFFICE

Contact Alex Goff at (408) 299-5763 or alex.goff@sccfd.org for information regarding the following items.

9. Comments will be provided separately.

DEPARTMENT OF ENVIRONMENTAL HEALTH

Contact Darrin Lee at (408) 918-3435 or darrin.lee@cep.sccgov.org for information regarding the following items.

10. On revised site plan, locate and show the following: (a) accurate overlay the existing onsite wastewater treatment system (OWTS) including septic tank and dispersal fields and (b) locate and show existing pool.
11. For additional assistance in locating the existing OWTS, follow the provided hyperlink and complete the online request form to obtain an as-built drawing for septic permit #29578. <https://cepascc-ca.nextrequest.com/>
12. Contact the Department of Environmental Health (Jeff Camp, 408-918-3473) for OWTS clearance. This is a separate submittal to Environmental Health and subject to completion of a service application and payment of fees.

LAND DEVELOPMENT ENGINEERING

Contact Eric Gonzales at (408) 299-5716 or eric.gonzales@pln.sccgov.org for information regarding the following items.

13. In order to determine whether substantial improvements are being made to the property and to determine the extent of floodplain requirements for the project (if any), provide the cost of improvements for the remodel. If the cost exceeds 50 percent of the market value of the building (please provide value), it must be brought up to current floodplain management standards. The project area is located within FEMA Flood Zone AE.

GEOLOGY

Contact Jim Baker at (408) 299-5774 or jim.baker@pln.sccgov.org for information regarding the following items.

14. Submit a geotechnical report that includes an evaluation of potential for liquefaction-related ground deformation to occur at the site which is located within State and County Liquefaction Hazard Zones. Incorporate any recommended mitigation measures into the plans. Pay the appropriate report review fee when uploading an unsecured pdf of the report into the Documents portal of Accela.

Prior to resubmittal, please feel free to contact me to schedule an appointment so we can meet and discuss my comments regarding the project.

Please make sure the requested changes are made for the revised plan sets and documents that are needed for the resubmittal. **Resubmittals are only accepted by appointment with the assigned project planner.** If the requested information is not submitted within **180 days**, you will be required to pay a fee of 10% of the application fee at the time the information is submitted. All requested information must be submitted no later than **one (1) year** from the date of this letter. **PARTIAL RESUBMITTALS WILL NOT BE PROCESSED.** Fees required at the time of resubmittal will be those in effect at that time.

November 26, 2021
File #PLN21-189
Almaden Avenue

Please note that the Design Review Exemption Application have been charged a minimum fee and will be charged additional fees to continue processing when the initial payment is exhausted.

In submitting this land use application, the owner/applicant included an initial application fee. Application fees are categorized as "fixed fees" and "billable fees", based on the particular application types. "Fixed fee" applications do not require any additional fees to continue processing. However, when funds associated with a "billable fee" application have been spent, an additional deposit will be required to continue processing the application.

If you have questions regarding the application, please contact me at (408) 299-5791 or valerie.negrete@pln.sccgov.org.

Warm regards,



Valerie Negrete
Senior Planner

cc:

Darrin Lee, DEH
Aric Gonzales, LDE
Jim Baker, Geology
Alex Golf, FMO