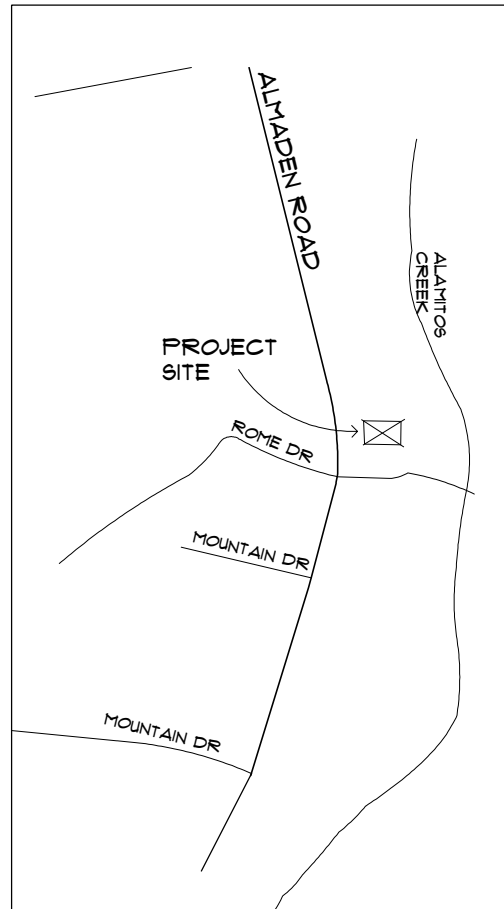


PARCEL MAP

NOT TO SCALE

Santa Clara County REBUILD Determination and Points Allocation ¹					
A. Existing Residence					
1a Footings ³	Existing L.F. ²	New/modified or Removed L.F.	Ratio	Maximum Points	Resulting Points
	908.75	0	0.00		
1b Slab - structural slabs and basement areas	Existing Area	Replaced/ Modified Area	Ratio		
	600	0	0.00		
Subtotal				25	0.00
2 Walls - interior and exterior in linear feet ⁴	Existing L.F. ²	New/modified or Removed L.F.	Ratio	Maximum Points	Resulting Points
	908.75	171.45	0.19	50	9.43
3 Roof ⁵	Existing S.F.	Roof S.F.	Ratio	Maximum Points	Resulting Points
	3693	104	0.03	25	0.70
Existing Residence Subtotal					10.14
B. Proposed Additions					
First floor and upper story additions ^{6,7}	Area in S.F.		Ratio 1 pt/ 40 S.F. ⁴	Sub-Total Points	
	10		1.00		1
C. Cumulative rebuild points from permits issued within last 2 years:					
TOTAL POINT ALLOCATION ⁸					11.14

REBUILD CALCULATIONS



VICINITY MAP

NOT TO SCALE

SPECIAL NOTES TO OWNER

SITE DRAINAGE
ALL DRAINAGE FACILITIES SHOULD BE DILIGENTLY MAINTAINED DURING THE LIFE OF THE STRUCTURE - DIRECTING SURFACE AND SUBSURFACE WATERS AWAY FROM THE BUILDING TO ENSURE THAT THE FOUNDATIONS WILL NOT BE ADVERSELY AFFECTED BY SUCH WATER AND IN ADDITION, TO PREVENT WATER INTRUSION INTO THE BUILDING. THIS IS PARTICULARLY IMPORTANT DURING PERIODS OF PROLONGED AND INTENSE RAINFALL.

CONCRETE
UNDER NORMAL CONDITIONS, AND FOR CONVENTIONAL BUILDINGS SUCH AS THE SUBJECT MATTER, REINFORCED CONCRETE DEVELOPS CRACKS. THE CRACKS ARE DUE TO INHERENT SHRINKAGE OF CONCRETE, CREEP, AND RESTRAINING EFFECTS OF WALLS AND OTHER STRUCTURAL ELEMENTS TO WHICH THE BEAMS/SLABS ARE TIED.

THE CRACKS ARE NORMALLY COSMETIC, AND THE SLAB MAINTAINS ITS SERVICEABILITY AND STRENGTH REQUIREMENTS. IT IS POSSIBLE THAT A NUMBER OF HAIRLINE CRACKS, WHICH NORMALLY BE SPREAD OVER A WIDE AREA, WILL INTEGRATE INTO A SINGLE CRACK WITH A WIDTH EXCEEDING 0.01 INCH. IT IS EMPHASIZED THAT, ALTHOUGH SPECIAL EFFORT IS MADE TO REDUCE THE POTENTIAL CAUSES AND NUMBER OF SUCH CRACKS, IT IS NOT PRACTICAL TO PROVIDE TOTAL ARTICULATION BETWEEN THE FLOOR SLAB SYSTEM AND ITS SUPPORTS, AND THEREBY ACHIEVE COMPLETE INHIBITION.

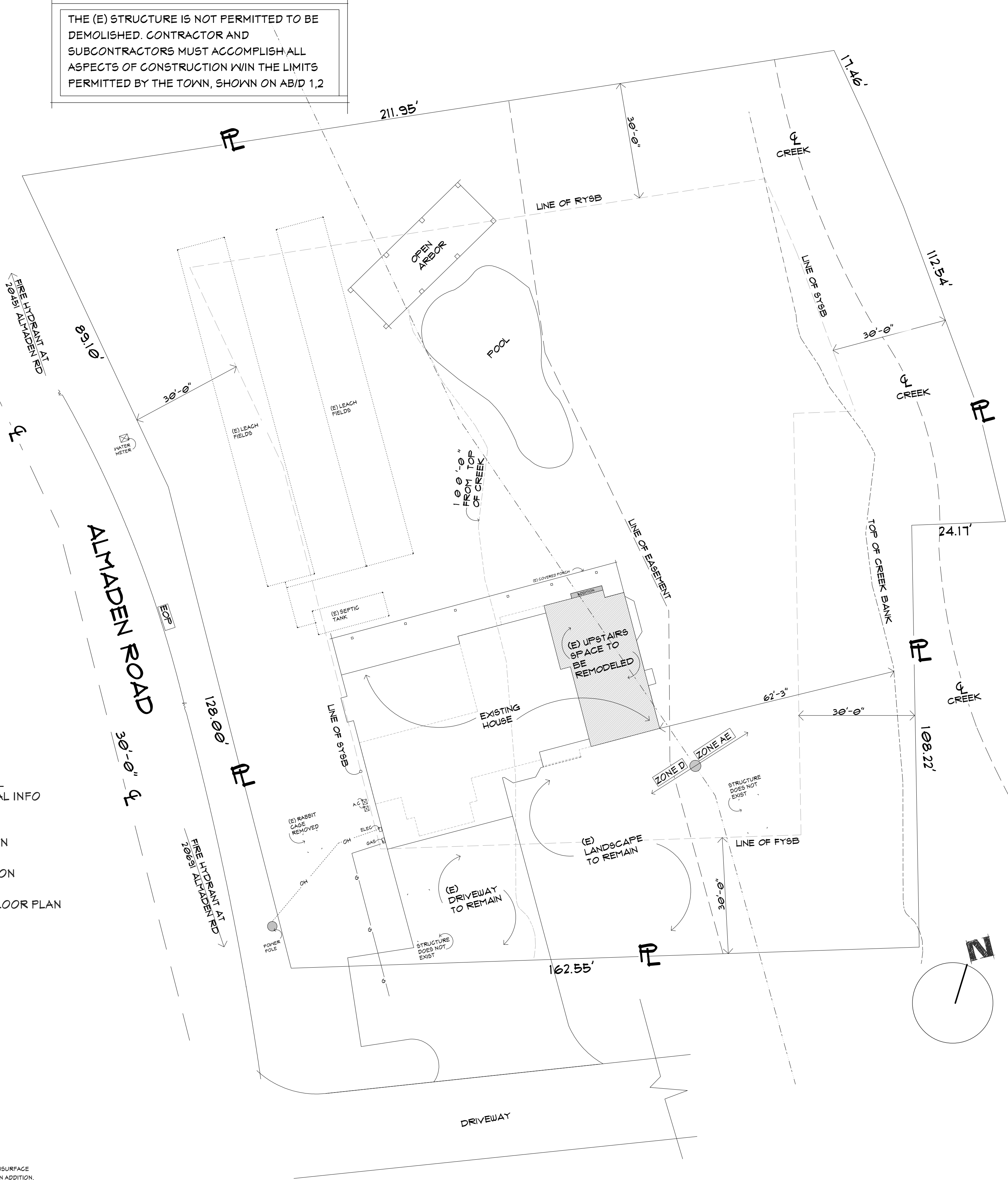
MOST SUCH CRACKS DEVELOP OVER THE FIRST TWO YEARS OF THE LIFE OF THE FLOOR SLAB SYSTEM. CRACKS THAT ARE WIDER THAN 0.01 INCH MAY NEED TO BE PRESSURE EPOXIED.

THE OBJECT OF THE JOINTS PROVIDED IS TO ALLOW MOVEMENT. MOVEMENT DUE TO CREEP AND SHRINKAGE MAY NOT BE NOTICEABLE AT THE JOINTS UP TO TWO YEARS AFTER CONSTRUCTION BEYOND WHICH MOVEMENTS DUE TO VARIATION IN TEMPERATURE WILL PERSIST.

EXPANSION AND CONTRACTION
THE EFFECTS OF NORMAL EXPANSIONS AND CONTRACTION CAN BE SEEN IN SUCH THINGS AS SMALL CRACKS IN THE FOUNDATION, DRYWALL, GEMENT, PLASTER, AND PAINT - ESPECIALLY WHERE MOLDINGS MEET AT MITERED CORNERS, WHERE TILE GROUT MEETS THE TUB OR SINK, ETC. SHRINKAGE OF WOOD IN YOUR HOME IS ALSO INEVITABLE. THIS WILL BE MOST NOTICEABLE DURING THE FIRST YEAR FOLLOWING COMPLETION OF THE CONSTRUCTION, BUT TYPICALLY CONTINUES INTO THE SECOND YEAR.

THESE CONSTRUCTION DOCUMENTS MAKE EVERY ATTEMPT TO MINIMIZE CRACKS CAUSED BY EXPANSION AND CONTRACTION.

THE (E) STRUCTURE IS NOT PERMITTED TO BE DEMOLISHED. CONTRACTOR AND SUBCONTRACTORS MUST ACCOMPLISH ALL ASPECTS OF CONSTRUCTION WITHIN THE LIMITS PERMITTED BY THE TOWN, SHOWN ON AB/D 1,2



SITE PLAN

1/16" = 1'-0"

SITE NOTES:
- NO GRADING PROPOSED
- (E) SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED
- (N) DOWNSPOUTS W/ SPLASH BLOCKS TO DIVERT RUNOFF ONTO VEGETATED AREAS

TREE PROTECTION MEASURES WILL BE INSTALLED AROUND ALL PROTECTED TREES AS REQUIRED BY SECTION 23.10.1005

LAND DEVELOPMENT ENGG.
(E) HOUSE STRUCTURAL VALUE = \$ 2,119,500.00
PROPOSED IMPROVEMENT COSTS= \$ 160,000.00
= 8% OF STRUCTURAL VALUE

ABBREVIATION & SYMBOL LEGEND
(E) EXISTING
(P) PROPOSED
FYSB FRONT YARD SET BACK
RYSB REAR YARD SET BACK
SYSB SIDE YARD SET BACK
— G — GAS LINE
— P — PROPERTY LINE
— PP — POWER POLE
— OH — OVERHEAD ELEC LINE
— S — SEWER LINE
— W — WATER LINE

OWNERS

JOE & CHERYL DERMER
20530 ALMADEN RD, SAN JOSE, CA 95120
408-592-1619

PROJECT DESCRIPTION

ADD A 10 SF BAY WINDOW AND REMODEL AN EXISTING MASTER BEDROOM, MASTER BATH, MASTER CLOSET & LAUNDRY ROOM

SITE DATA

APN 742-05-013
ZONING COUNTY
LOT SIZE 42688.8 SF

EXISTING HOUSE AREA

(E) LOWER FLOOR LEVEL 2378.0 SF
(E) UPPER FLOOR LEVEL 2335.9 SF
(E) TOTAL LIVING AREA: 4713.9 SF

ADDED LIVING 10.0 SF
(N) TOTAL LIVING AREA: 4723.9 SF

(E) GARAGE 750.7 SF

REMODEL AREA

MASTER BEDRM 759 SF
LAUNDRY AREA 59 SF
TOTAL 818 SF

APPLICABLE BUILDING CODES

ALL WORK SHALL COMPLY WITH THE CURRENTLY ADOPTED 2019 CBC, CMG, CFG, CEG, CAL-GREEN AS AMENDED BY THE STATE OF CALIFORNIA AND THE TOWN OF LOS GATOS.

GENERAL CONTRACTOR NOTES

1. DUE DILIGENCE: CONTRACTOR SHALL VISIT SITE AND REVIEW ALL DRAWINGS. INCLUDE DEMOLITION AS REQUIRED TO COMPLETE THE NEW WORK INCLUDING ANY CONSTRUCTION, PLUMBING, ELECTRICAL, MECHANICAL, AND THE FINISH TRADES TO COMPLETE THE PROJECT.
2. SCOPE OF CONTRACT: THE SCOPE OF THIS CONTRACT IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, SCAFFOLDING AND HANDLING OF MATERIALS FOR PROPER SERVICE INCIDENTAL TO PERFORMING AND COMPLETING THE WORK OUTLINED IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL FURNISH WORK OMITTED ON THE PLAN, NECESSARY FOR THE PROPER COMPLETION OF THE WORK PER INTENT OF THE PLANS. THE CONTRACTOR SHALL INDICATE TO THE SUBCONTRACTORS THE JURISDICTION OF THEIR TRADE AS IT APPLIES TO THIS JOB. ALL WORK PERSONS AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR INDIVIDUAL TRADES.
3. EXISTING CONDITIONS: THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING A PROPOSAL FOR THE WORK AND SHALL NOT START ANY WORK UNTIL SATISFIED THAT THE ACTUAL SITE CONDITIONS ARE AS SET FORTH ON THE DRAWINGS. ONCE HAVING STARTED WORK, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE WHATEVER ADJUSTMENTS, CORRECTIONS, OR REPAIRS AS REQUIRED TO COMPLETE THE PROJECT.
4. PERMITS & INSPECTIONS: THE OWNER SHALL PAY NET FOR ALL PERMITS AND FEES REQUIRED BY THE LOCAL AGENCY. THE CONTRACTOR SHALL SECURE AND VERIFY ALL INSPECTIONS WHEN REQUIRED AS PER LOCAL CITY AND/OR COUNTY REQUIREMENTS, INCLUDING ANY INSPECTIONS SPECIAL OR OTHERWISE THAT ARE REQUIRED BY THE BUILDING CODES PER LOCAL BUILDING DEPARTMENT.
5. CODES: ALL WORK UNDER THIS CONTRACT SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES AND LOCAL ORDINANCES. ALL PUBLIC AGENCIES HAVING JURISDICTION, INCLUDING THE LATEST UNIFORM BUILDING CODE, STATE, COUNTY AND LOCAL REQUIREMENTS.
6. INSURANCE, SAFETY AND WORKMANSHIP: THE CONTRACTOR SHALL CARRY HIS/HER OWN WORKMAN'S COMPENSATION AND LIABILITY INSURANCE AS REQUIRED. THE CONTRACTOR ALONE IS RESPONSIBLE FOR SITE SAFETY. ALL WORK SHALL BE DONE BY PERSONS SKILLED IN THEIR RESPECTIVE TRADES AND IN ACCORDANCE WITH THE BEST RECOGNIZED PRACTICE FOR EACH TRADE. ALL WORKMANSHIP SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS, WHERE APPLICABLE. WORKMANSHIP THAT DOES NOT COMPLY WITH THE OBVIOUS INTENT OF THE CONTRACT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
7. DIMENSIONS & DISCREPANCIES: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS AND ELEVATIONS AT THE JOB SITE AND BRING ANY DISCREPANCIES TO THE ARCHITECT'S ATTENTION. VERIFY DIMENSIONED ARCHITECTURAL PLANS AS THEY RELATE TO THE STRUCTURAL DIMENSIONS CONTROLLED BY OR RELATING TO PLUMBING, ELECTRICAL AND MECHANICAL CONSTRUCTION. DO NOT SCALE STRUCTURAL DRAWINGS. VERIFY TYPE AND SIZE OF METAL WORK AGAINST APPROPRIATE MEMBER SIZE BEFORE ORDERING HARDWARE. VERIFY STRUCTURAL DIMENSIONS CONTROLLED BY OR RELATING TO PLUMBING, ELECTRICAL AND MECHANICAL CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER, ARCHITECT AND ENGINEER OF ERRORS OR OMISSIONS ON THE PLANS, WHICH MIGHT AFFECT THE COMPLETION OF THE PROJECT.
8. PRECEDENCE & SUBSTITUTION: IN GENERAL, LARGER SCALE DETAILS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DETAILS. IN CASE OF DISCREPANCIES OR WHERE THE INTENT OF THE PLANS OR SPECIFICATIONS IS NOT CLEAR, REQUEST CLARIFICATION BEFORE PROCEEDING WITH THE WORK. WHERE A NAME BRAND OR MANUFACTURER'S PRODUCT IS SPECIFIED, IT IS USED AS A MEASURE OF THE QUALITY, UTILITY OR AS A STANDARD. PRODUCTS OF SIMILAR CONSTRUCTION AND/OR EQUAL VALUE CAN BE OFFERED FOR THE OWNER'S APPROVAL.
9. CHANGE ORDER: MAKE NO DEVIATION FROM THE PLANS OR SPECIFICATIONS WITHOUT NOTIFICATION TO THE OWNER, ARCHITECT AND ENGINEER. OBTAIN WRITTEN AUTHORIZATION FOR CHANGES INVOLVING COST, PRIOR TO COMMENCING WITH ANY CHANGES.
10. CLEAN UP: DURING EXECUTION OF THE WORK, THE JOB SITE SHALL BE KEPT CLEAN AT ALL TIMES. UPON COMPLETION, WINDOWS SHALL BE WASHED AND FLOORS SWEEPED. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED AND THE PROJECT SITE RAKED CLEAN AND LEVEL. ALL CLEANING OF CONCRETE, STUCCO AND PAINTING TOOLS, ETC TO BE DONE AT A PLACE DESIGNATED BY THE OWNER.

LETTERS, EVIDENCE, FORMS AND SCHEDULES

1. BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(B)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.
2. HERE VERIFICATION REQUIRED PER TITLE 24 ANALYSIS, SHEET T-1, PAGE 2. PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO PROJECT BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.
3. A COMPLETED CP2R-LS-016 FORM MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.
4. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN C6056 SECTION 4.504.

ALL ELECTRICAL, PLUMBING AND MECHANICAL INSTALLATIONS SHALL BE DESIGN BUILD BY THE SPECIFIC SUBCONTRACTOR(S) AND SHALL, IN ANY CASE CONFORM TO THE LATEST EDITIONS OF THE APPLICABLE CODES

VERIFY ALL FINISHES W/ INTERIOR DESIGNER
CONTACT # 451.395.5843

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION - ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT

Print date :

01.18.22

JAY PLETT
ARCHITECT

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Los Gatos, CA 95030

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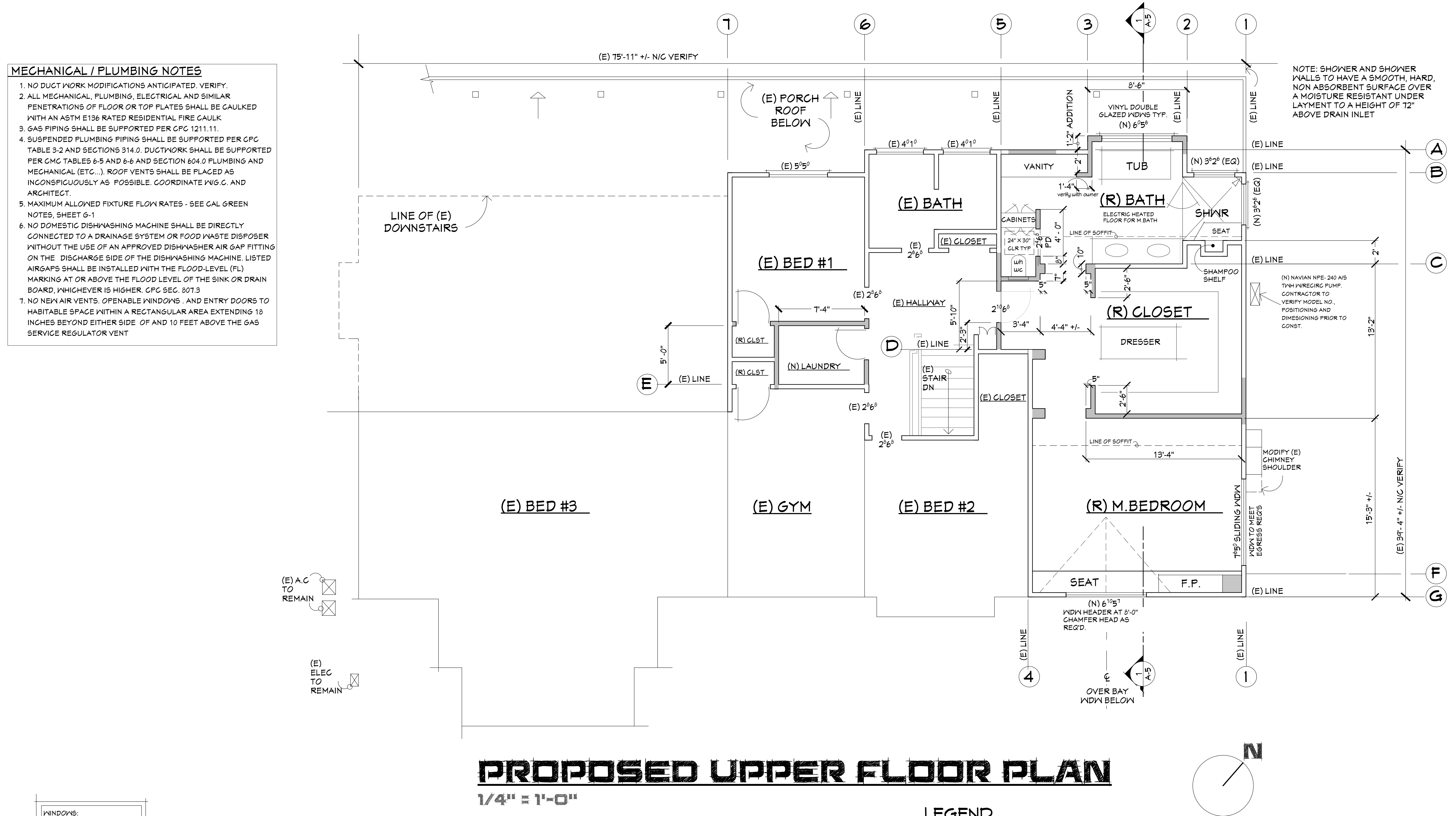
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WINDOWS:
VERIFY EXACT WDW SIZES
AND MFRER WITH ARCHITECT
PRIOR TO STARTING CONST.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS
PRIOR TO CONSTRUCTION - ANY DISCREPANCIES SHALL BE
BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT,
PRIOR TO CONTINUING WITH CONSTRUCTION

CONTRACTOR AND SUBCONTRACTORS SHALL COORDINATE WITH ARCHITECT TO PLACE ALL THROUGH ROOF VENTS, JACKS AND COLD AIR RETURNS AS INCONSPICUOUSLY AS POSSIBLE WITHIN ZONES HIGHLIGHTED ON ROOF PLAN

CONTRACTOR SHALL VERIFY ALL DIMENSIONS
AND CONDITIONS PRIOR TO CONSTRUCTION -
ANY DISCREPANCIES SHALL BE BROUGHT TO
THE IMMEDIATE ATTENTION OF THE ARCHITECT

THE EXISTING STRUCTURE IS NOT PERMITTED TO BE DEMOLISHED. CONTRACTOR AND SUBCONTRACTORS MUST ACCOMPLISH ALL ASPECTS OF CONSTRUCTION WITHIN THE LIMITS PERMITTED BY THE TOWN, SHOWN ON AB/D - 1,2

PLUMBING NOTES:
PROVIDE A MINIMUM 4"
DIAMETER DRAINAGE PIPE
FOR (4) OR MORE WATER
CLOSET FIXTURES ON THE
SAME HORIZONTAL BRANCH
OR DRAIN

ALL ELECTRICAL, PLUMBING AND MECHANICAL INSTALLATIONS SHALL BE DESIGN BUILD BY THE SPECIFIC SUBCONTRACTOR(S) AND SHALL IN ANY CASE CONFORM TO THE LATEST EDITIONS OF THE APPLICABLE CODES

NON-COMPLIANT PLUMBING FIXTURE REPLACEMENT REQUIREMENTS:
ALL BUILDINGS UNDERGOING PERMIT ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT

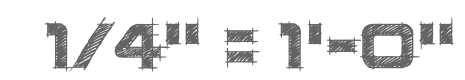
LEGEND

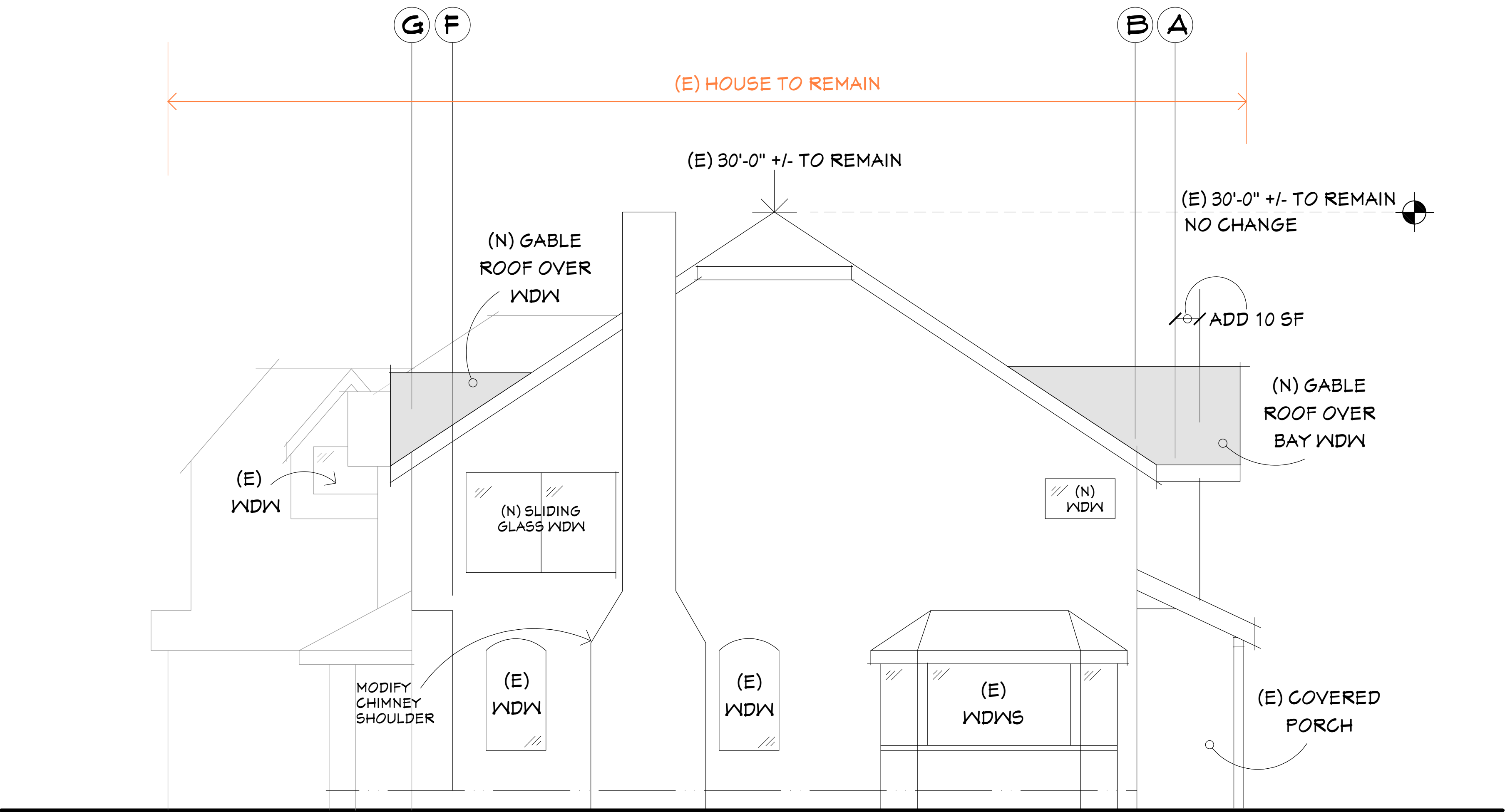
EXISTING WALL

NEW WALL

OVER BAY
WDW BELOW

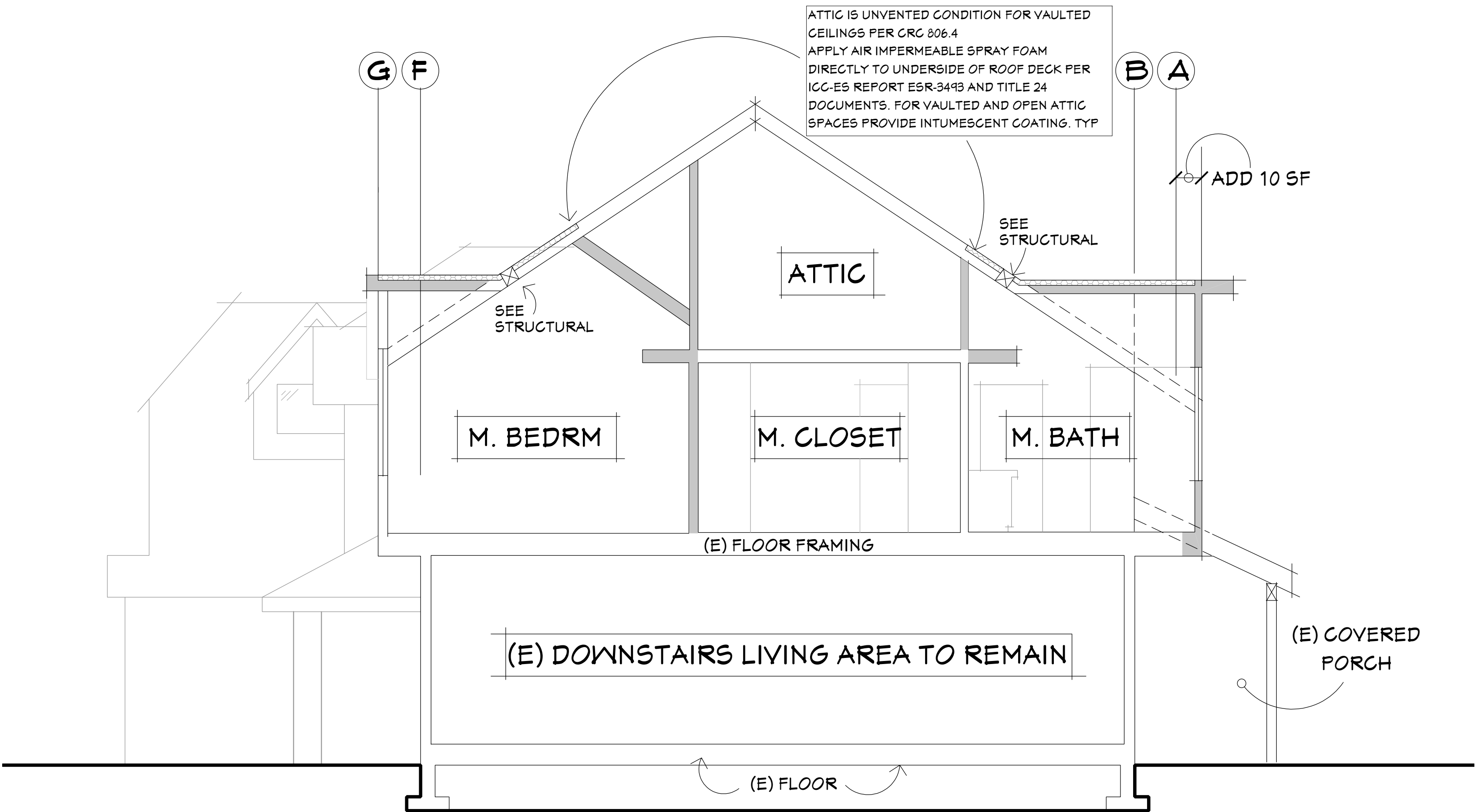
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RIGHT (EAST) ELEVATION

1/4" = 1'-0"



SECTION

1/4" = 1'-0"

WINDOWS:
(N) WDW TO BE VINYL
VERIFY EXACT WDW SIZES
AND REFER WITH ARCHITECT
PRIOR TO ORDERING

THE EXISTING STRUCTURE IS NOT PERMITTED
TO BE DEMOLISHED. CONTRACTOR AND
SUBCONTRACTORS MUST ACCOMPLISH ALL
ASPECTS OF CONSTRUCTION WITHIN THE LIMITS
PERMITTED BY THE TOWN, SHOWN ON AB/D - 1,2

CONTRACTOR SHALL VERIFY ALL DIMENSIONS
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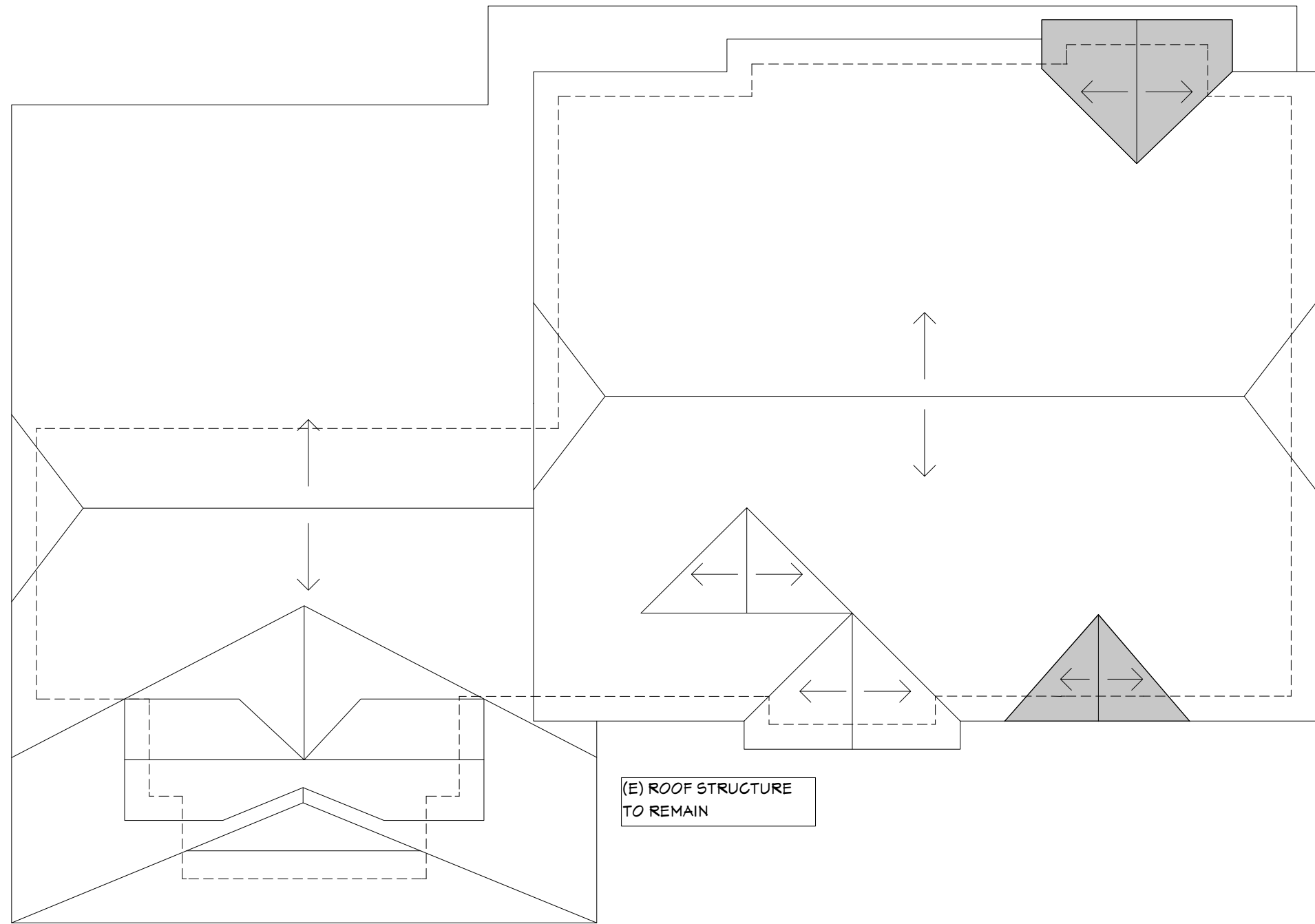
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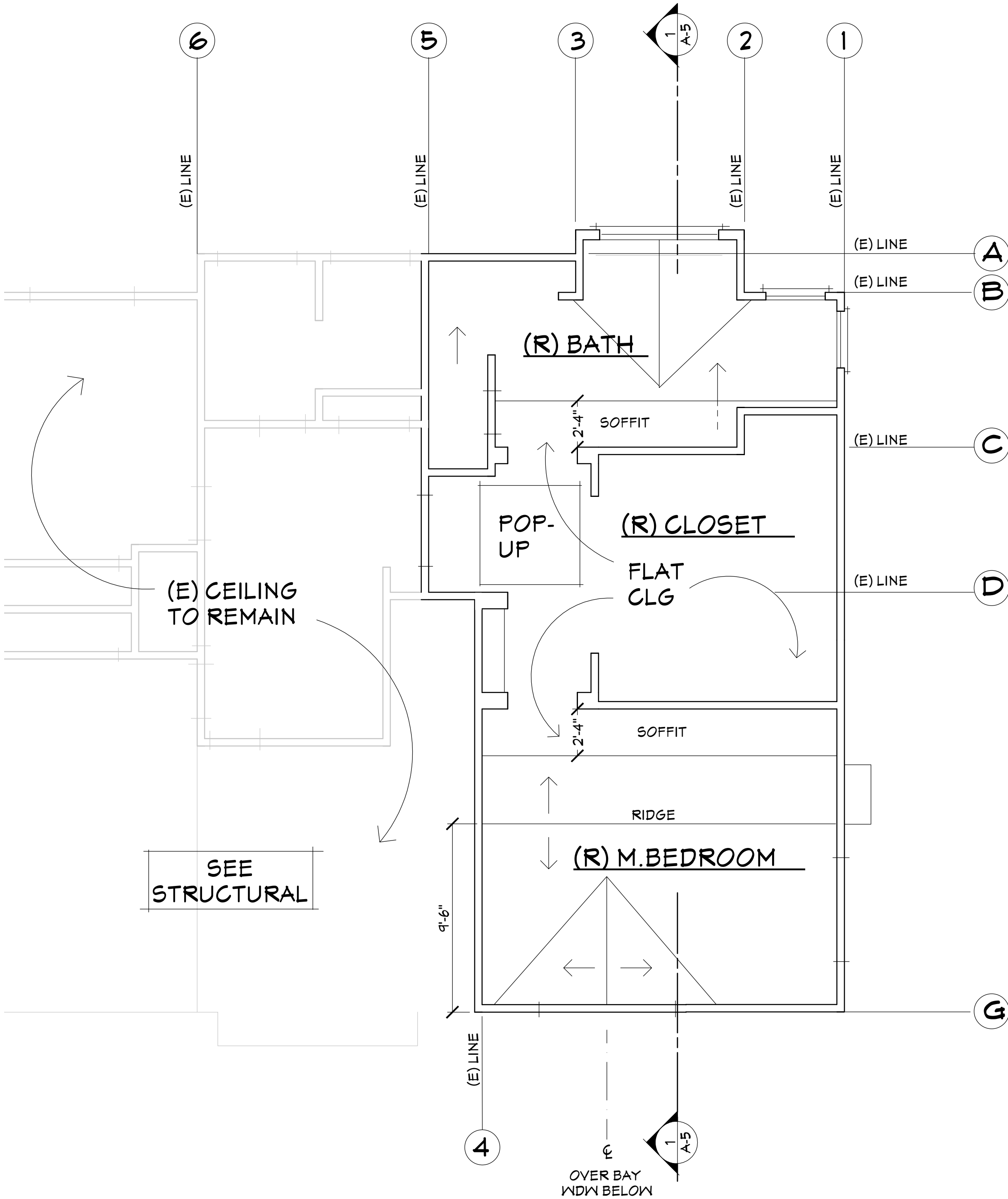


ROOF PLAN

1/8" = 1'-0"

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CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION - ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT



REFLECTED CEILING

1/4" = 1'-0"

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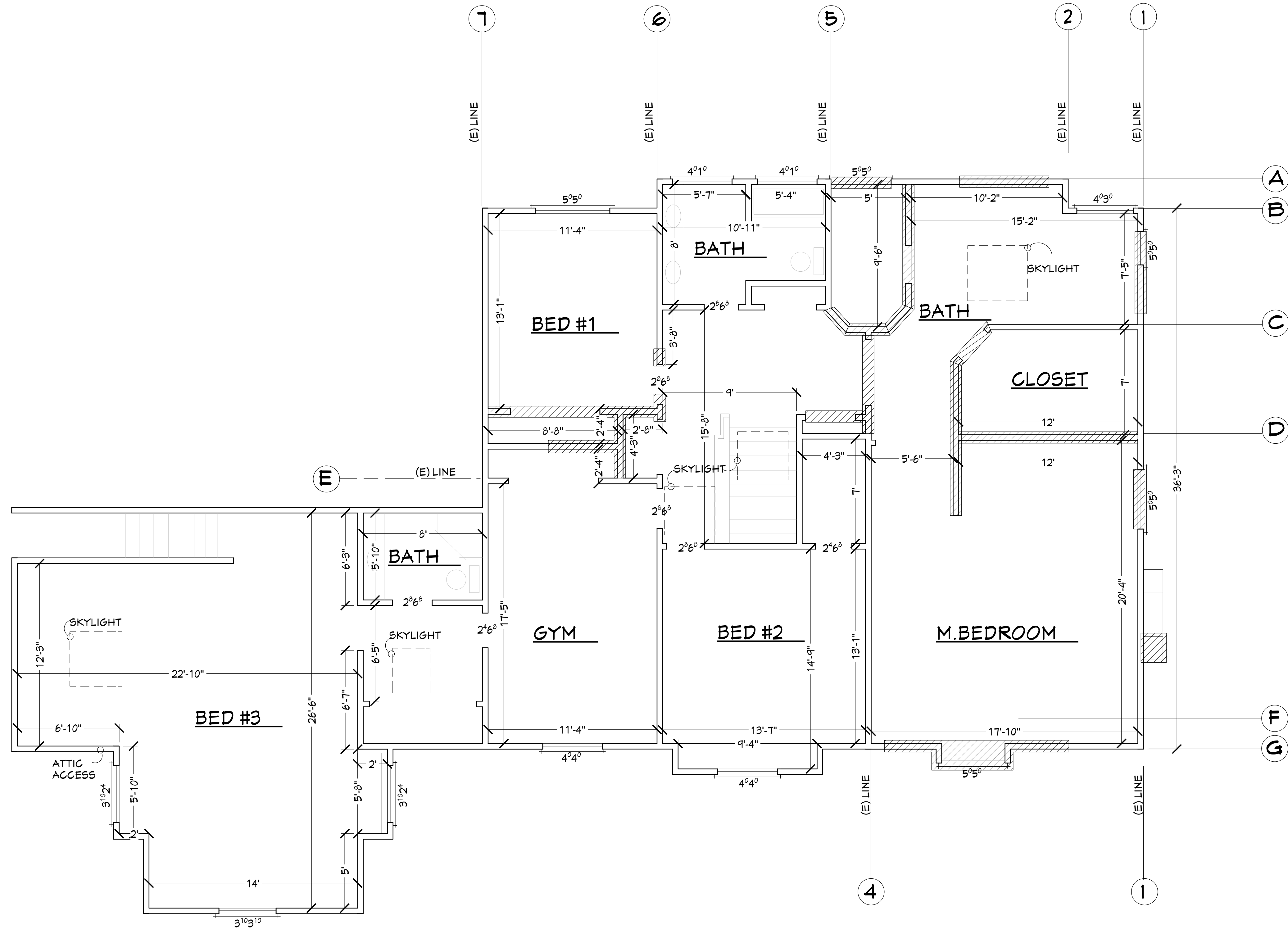
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AS BUILT / DEMO - UPPER FLOOR PLAN

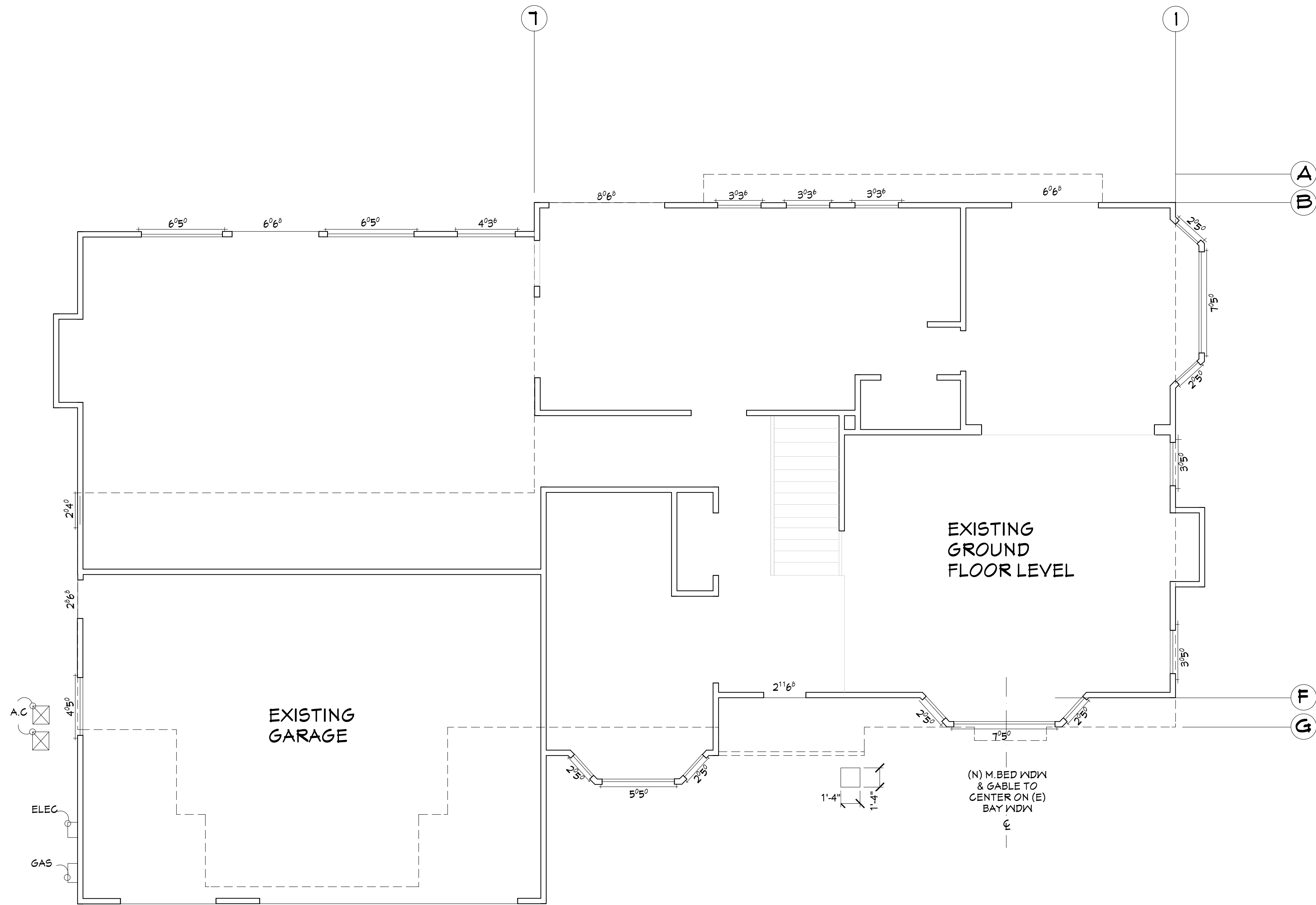
1/4" = 1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION - ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT

THE (E) STRUCTURE IS NOT PERMITTED TO BE DEMOLISHED. CONTRACTOR AND SUBCONTRACTORS MUST ACCOMPLISH ALL ASPECTS OF CONSTRUCTION WITHIN THE LIMITS PERMITTED BY THE TOWN, SHOWN ON AB/D 1,2



AS BUILT / DEMO - GROUND FLOOR PLAN
1/4" = 1'-0"

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION - ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT

THE (E) STRUCTURE IS NOT PERMITTED TO BE DEMOLISHED. CONTRACTOR AND SUBCONTRACTORS MUST ACCOMPLISH ALL ASPECTS OF CONSTRUCTION WITHIN THE LIMITS PERMITTED BY THE TOWN, SHOWN ON AB/D 1,2

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AB/D-2