

STANFORD UNIVERSITY
LASUEN KNOB AND TUBE

PROJECT #2021-0021
572 MAYFIELD AVE., STANFORD, CA 94305

ASX SUBMITTAL

PROJECT DESCRIPTION

LASUEN HOUSE WAS ORIGINALLY DESIGNED IN 1900 BY THE FIRST UNIVERSITY ARCHITECT, CHARLES EDWARD HODGES, AS A DUPLEX TO HOUSE FACULTY OR STAFF MEMBERS. IT MEETS CRITERION #3 FOR LISTING ON THE CALIFORNIA REGISTER OF HISTORICAL RESOURCES. THE PROJECT SCOPE IS TO IMPROVE THE SAFETY OF THIS BUILDING BY REMOVING THE EXISTING EXTERIOR FIRE ESCAPE LADDERS AND THE KNOB AND TUBE THROUGHOUT THE BUILDING. IN LIEU OF THE EXTERIOR FIRE ESCAPE LADDERS, WE ARE PROPOSING AN INTERNAL OPEN STAIR TO SERVE AS A FIRE EXIT WITHIN THE EXISTING BUILDING ENVELOPE. THERE IS NO ADDITION OF SQUARE FOOTAGE PROPOSED. THE SCOPE OF WORK ALSO INCLUDES UPGRADES AND RECONFIGURATION OF RESTROOMS FOR USER EFFICIENCY AND THE RESTORATION OF WOOD WINDOWS WITH NO EXTERIOR CHANGES. THE UPGRADES ARE INTENDED TO ADDRESS SEVERAL DEFERRED MAINTENANCE ITEMS.

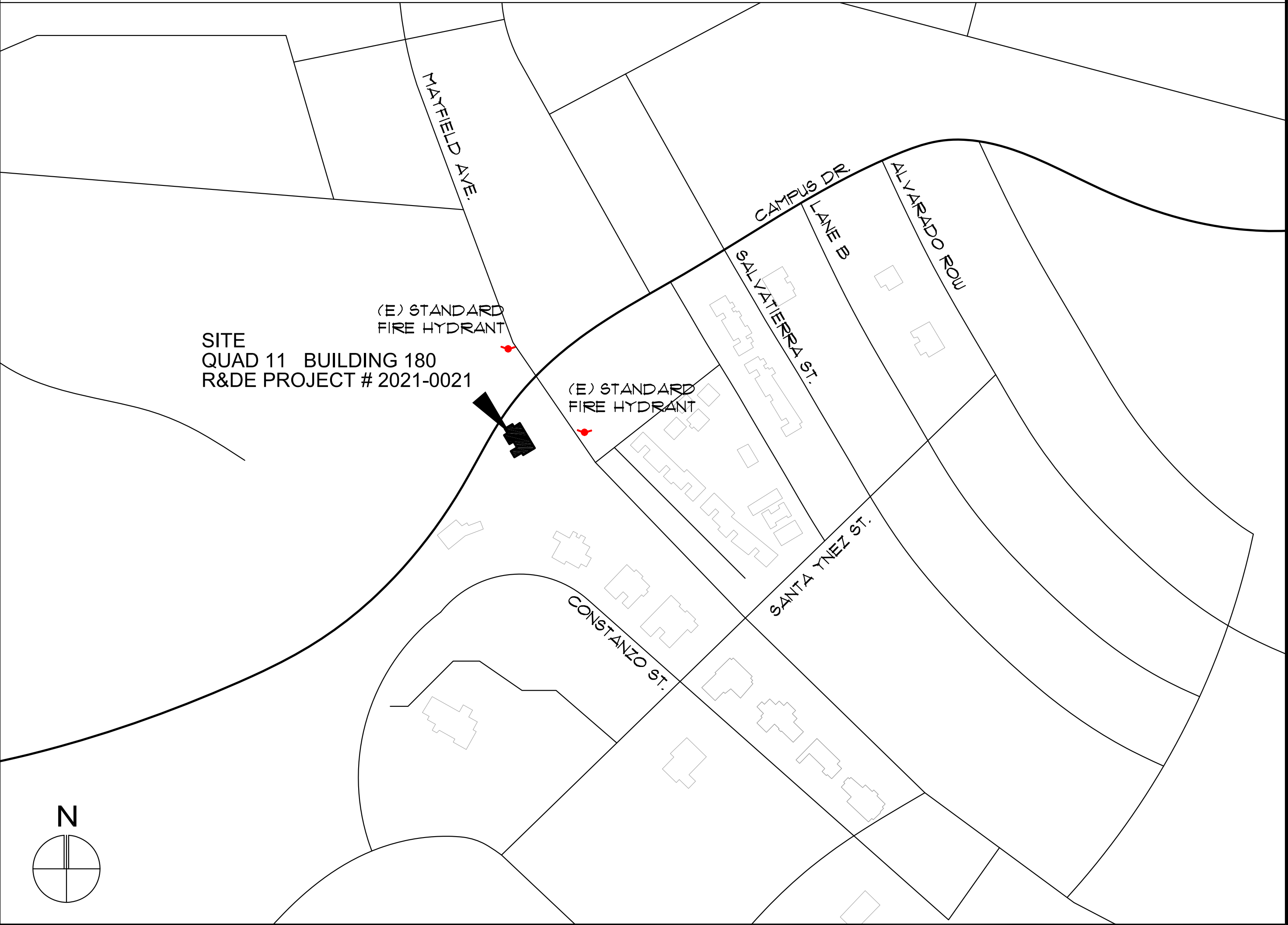
PROJECT DATA AND FLOOR AREA

GENERAL INFO		
ADDRESS:	572 MAYFIELD AVENUE, STANFORD, CA 95305	
QUAD & BUILDING #:	11-180	
STANFORD PROJECT #:	2021-0021	
HISTORICAL DESIGNATION:	HISTORICALLY SIGNIFICANT	
OCCUPANCY:	R-2	
OCCUPANCY OF REMODEL AREA:	R-2	
CONSTRUCTION TYPE:	V-B	
FIRE PROTECTION:	FULLY SPRINKLERED W/ FIRE ALARM	
USE		
EXISTING:	ADM. OFFICES & GUEST ROOMS	
PROPOSED:	ADM. OFFICES & GUEST ROOMS	
BUILDING HEIGHT		
BUILDING FLOOR AREA	3 STORIES	
TOTAL FLOOR AREA:	EXISTING	PROPOSED
	6,850 SF	6,850 SF
1ST FLOOR	2,424 SF	2,424 SF
2ND FLOOR	2,231 SF	2,231 SF
3RD FLOOR	2,193 SF	2,193 SF
EXISTING TOTAL BUILDING AREA ----- 6,850 SQ. FT. (NO CHANGE)		

SHEET INDEX

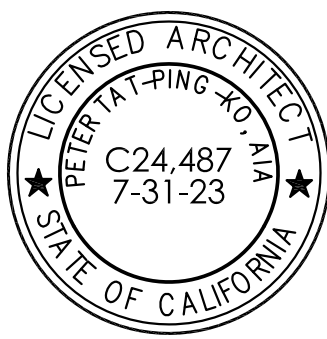
ASX-0.0	TITLE SHEET
ASX-1.0	ASSESSOR'S PARCEL MAP - COUNTY OF SANTA CLARA
ASX-1.1	TOPOGRAPHIC SURVEY PLAN
ASX-1.2	GRADING AND DRAINAGE PLAN
ASX-1.3	EXISTING SITE PLAN
ASX-1.4	PROPOSED SITE PLAN
ASX-2.1	PROPOSED & EXISTING NORTH ELEVATIONS
ASX-2.2	PROPOSED & EXISTING WEST ELEVATIONS
ASX-2.3	PROPOSED & EXISTING SOUTH ELEVATIONS
ASX-2.4	PROPOSED & EXISTING EAST ELEVATIONS
ASX-3.1	EXISTING & DEMOLITION ROOF PLAN
ASX-3.2	PROPOSED ROOF PLAN
ASX-3.3	EXISTING & DEMOLITION FIRST FLOOR PLAN
ASX-3.4	PROPOSED FIRST FLOOR PLAN
ASX-3.5	EXISTING & DEMOLITION SECOND FLOOR PLAN
ASX-3.6	PROPOSED SECOND FLOOR PLAN
ASX-3.7	EXISTING & DEMOLITION THIRD FLOOR PLAN
ASX-3.8	PROPOSED THIRD FLOOR PLAN

VICINITY MAP



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LASUEN
KNOB AND TUBE
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ASX PLANNING APPLICATION 10/26/2021

PROJECT NO. 21-101
DATE JAN 8th, 2021
DRAWN BY
SCALE

TITLE SHEET
SHEET
ASX-0.0

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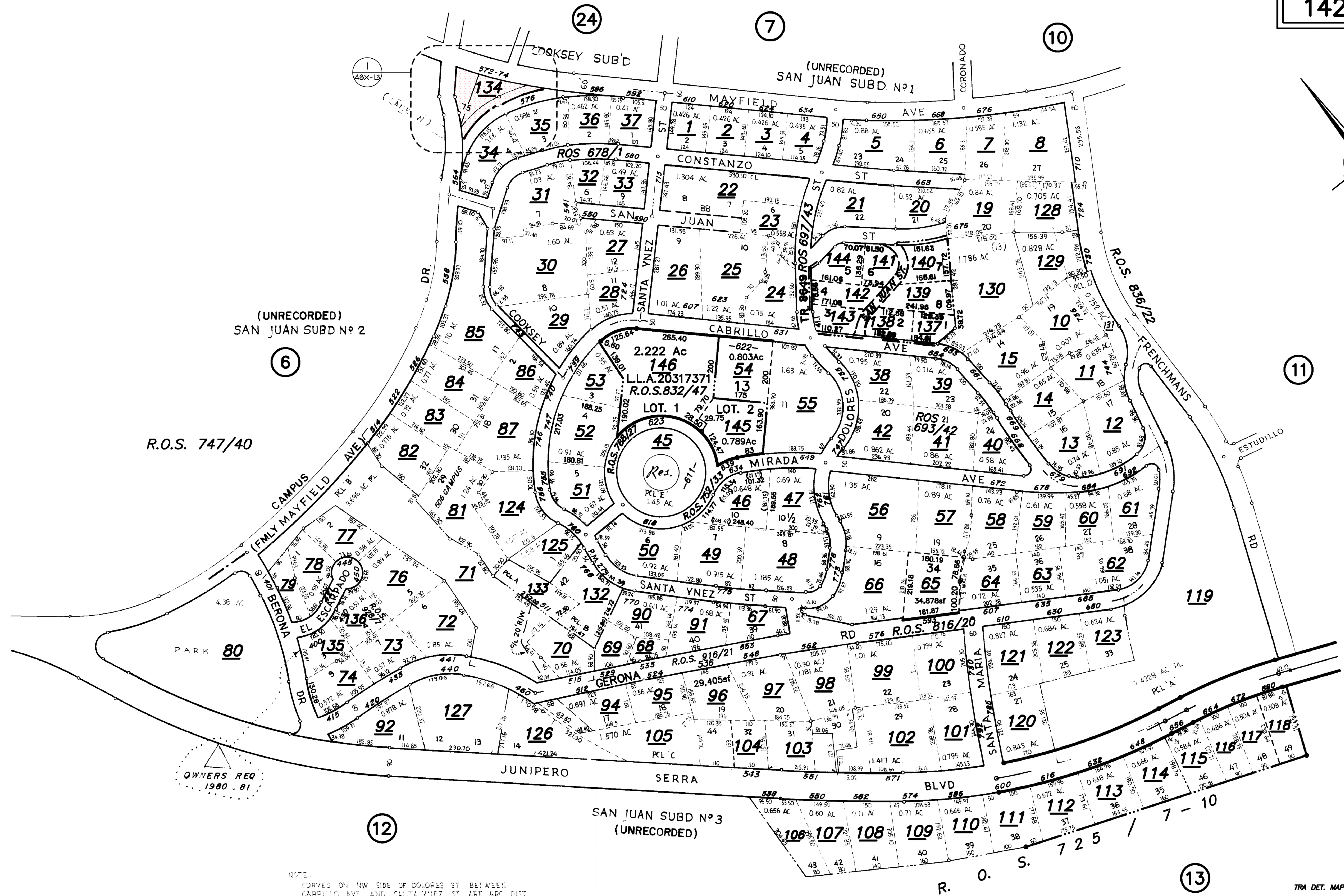
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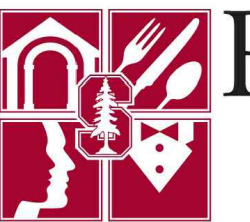
ASSESSOR'S SHEET
PARCEL MAP
ASX-1.0
COUNTY OF SANTA CLARA



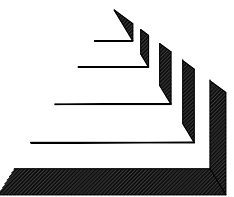
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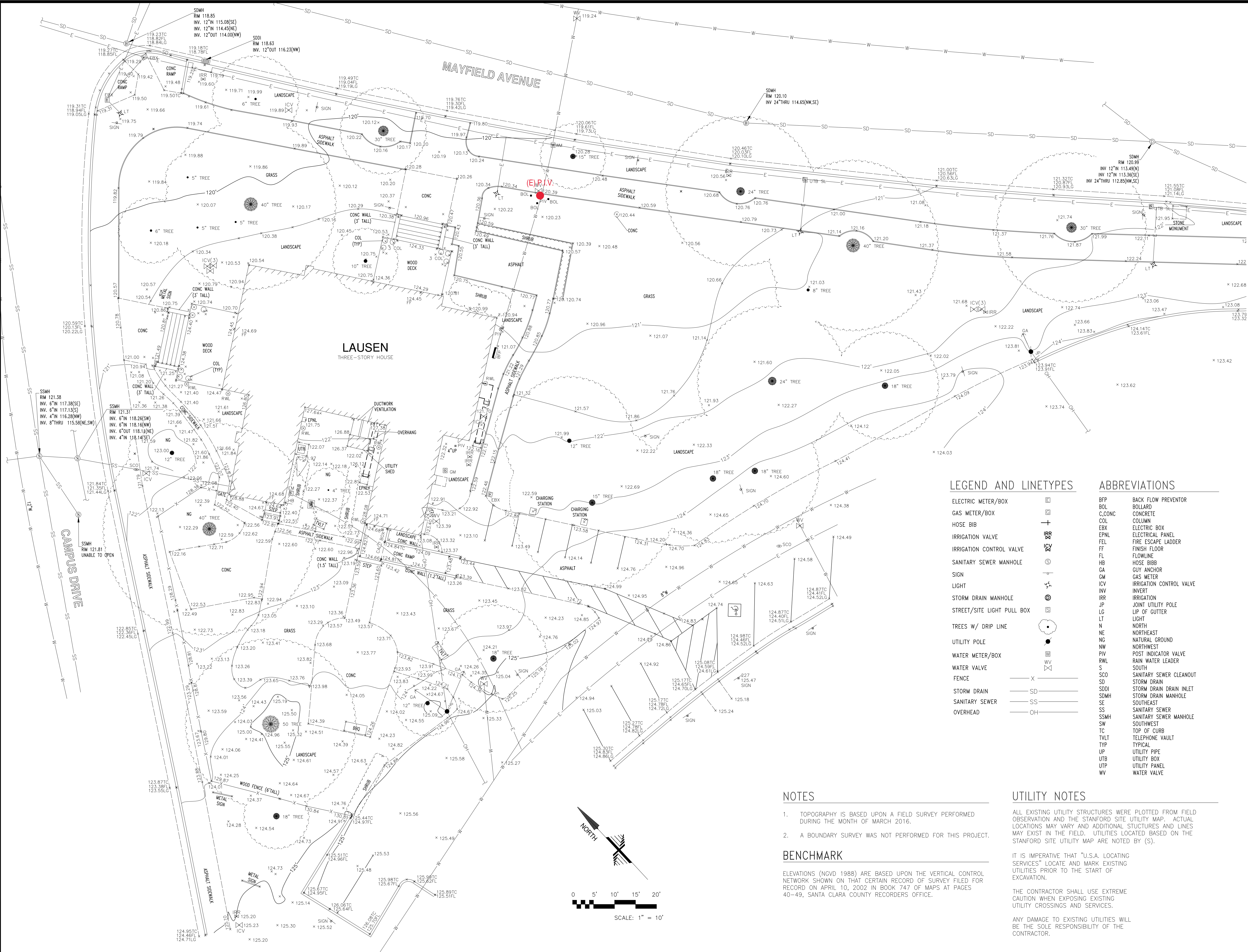
HOHBACH-LEWIN, INC.
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(650) 617-5930, Fax (650) 617-5932



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TOPOGRAPHIC SURVEY PLAN SHEET
ASX-1.1



LEGEND AND LINETYPES

ELECTRIC METER/BOX	⊞
GAS METER/BOX	⊞
HOSE BIB	+
IRRIGATION VALVE	⊞
IRRIGATION CONTROL VALVE	⊞
SANITARY SEWER MANHOLE	⊞
SIGN	⊞
LIGHT	⊞
STORM DRAIN MANHOLE	⊞
STREET/SITE LIGHT PULL BOX	⊞
TREES W/ DRIP LINE	⊞
UTILITY POLE	⊞
WATER METER/BOX	⊞
WATER VALVE	⊞
FENCE	X
STORM DRAIN	SD
SANITARY SEWER	SS
OVERHEAD	OH

ABBREVIATIONS

BFP	BACK FLOW PREVENTOR
BOL	BOLLARD
C.CONC	CONCRETE
COL	COLUMN
EBX	ELECTRIC BOX
EPNL	ELECTRICAL PANEL
FEL	FIRE ESCAPE LADDER
FF	FINISH FLOOR
FL	FLOWLINE
HB	HOSE BIBB
GA	GUY ANCHOR
GM	GAS METER
ICV	IRRIGATION CONTROL VALVE
INV	INVERT
IRR	IRRIGATION
JP	JOINT UTILITY POLE
LG	LIP OF GUTTER
LT	LIGHT
N	NORTH
NE	NORTHEAST
NG	NATURAL GROUND
NW	NORTHWEST
PIV	POST INDICATOR VALVE
RWL	RAIN WATER LEADER
S	SOUTH
SCO	SANITARY SEWER CLEANOUT
SD	STORM DRAIN
SDDI	STORM DRAIN DRAIN INLET
SDMH	STORM DRAIN MANHOLE
SE	SOUTHEAST
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SW	SOUTHWEST
TC	TOP OF CURB
TVLT	TELEPHONE VAULT
TYP	TYPICAL
UP	UTILITY PIPE
UTB	UTILITY BOX
UTP	UTILITY PANEL
WV	WATER VALVE

NOTES

- TOPOGRAPHY IS BASED UPON A FIELD SURVEY PERFORMED DURING THE MONTH OF MARCH 2016.
- A BOUNDARY SURVEY WAS NOT PERFORMED FOR THIS PROJECT.

BENCHMARK

ELEVATIONS (NGVD 1988) ARE BASED UPON THE VERTICAL CONTROL NETWORK SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED FOR RECORD ON APRIL 10, 2002 IN BOOK 747 OF MAPS AT PAGES 40-49, SANTA CLARA COUNTY RECORDERS' OFFICE.

UTILITY NOTES

ALL EXISTING UTILITY STRUCTURES WERE PLOTTED FROM FIELD OBSERVATION AND THE STANFORD SITE UTILITY MAP. ACTUAL LOCATIONS MAY VARY AND ADDITIONAL STRUCTURES AND LINES MAY EXIST IN THE FIELD. UTILITIES LOCATED BASED ON THE STANFORD SITE UTILITY MAP ARE NOTED BY (S).

IT IS IMPERATIVE THAT "U.S.A. LOCATING SERVICES" LOCATE AND MARK EXISTING UTILITIES PRIOR TO THE START OF EXCAVATION.

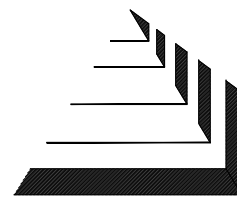
THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN EXPOSING EXISTING UTILITIES CROSSINGS AND SERVICES.

ANY DAMAGE TO EXISTING UTILITIES WILL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

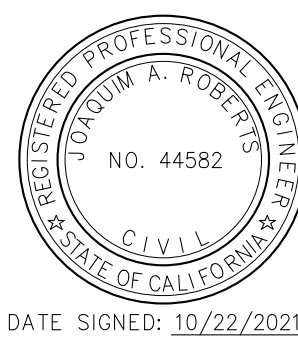
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DATE SIGNED: 10/22/2021

ASX PLANNING APPLICATION 10/26/2021

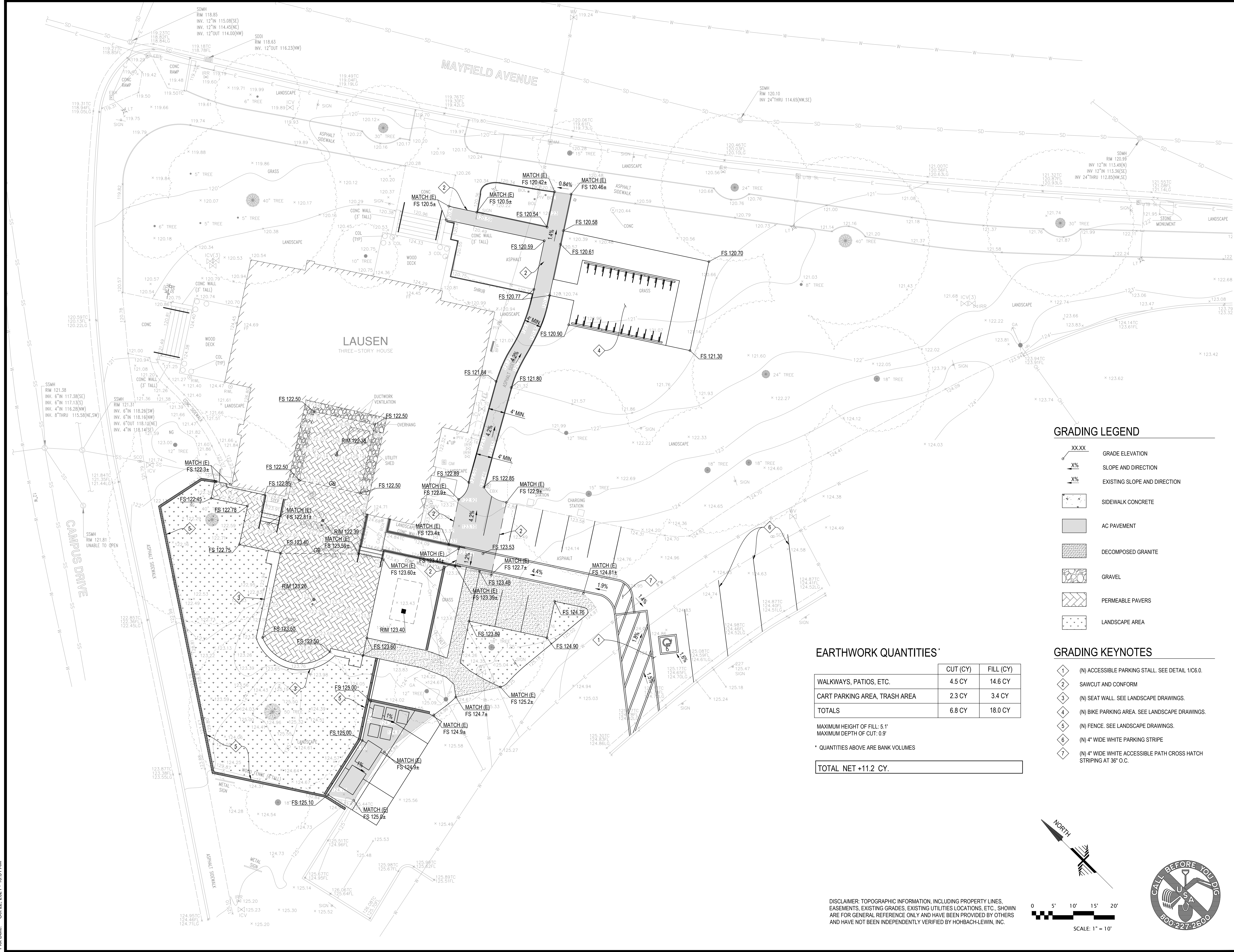
REF. NORTH PROJECT NO. 21-101
DATE JAN 8th 2021
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SCALE AS NOTED

GRADING
AND
DRAINAGE
PLAN

SHEET

ASX-1.2

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MAYFIELD AVE.

2
ASX-21

(E) ASPHALT CONCRETE PAVING SIDEWALK

(E) P.I.V.

(E) 36" LIVE OAK

(E) 8" COAST LIVE OAK

(E) BARK MULCH AREA, TYP.

(E) 24" COAST LIVE OAK

(E) 12" COAST LIVE OAK

(E) 18" COAST LIVE OAK

(E) DRIVEWAY AND PARKING TO REMAIN

(E) 12" COAST LIVE OAK

(E) GOLF-CART TYPE VEHICLE PARKING

(E) ACCESSIBLE RAMP

(E) ASPHALT CONCRETE PAVING TO BE RE-SURFACED AND RESTRIPTED

(E) 18" COAST LIVE OAK

(E) 12" FAN PALM

(E) LANDSCAPE AREA TO REMAIN

(E) 50" COAST REDWOOD

2
ASX-23

(E) 40" FAN PALM

(E) LANDSCAPE AREA TO REMAIN

(E) 40" FAN PALM

EXISTING LASUEN HOUSE
3 STORIES

SEE SHEET ASX-31 FOR
ENLARGED EXISTING ROOF PLAN

(E) COURTYARD

CAMPUS DRIVE

(E) ASPHALT CONCRETE PAVING SIDEWALK

25'-0" SETBACK

(E) 40" COAST LIVE OAK

(E) 50" COAST REDWOOD

2
ASX-23

(E) 40" FAN PALM

LEGEND

---	PROPERTY LINE
---	LINE OF BUILDING BELOW
-o-o-	(E) COMPOSITE WOOD FENCE TO BE REPLACED
---	(E) ITEMS TO BE REMOVED/DEMOLISHED
[Pattern]	(E) BARK MULCH
[Pattern]	(E) LANDSCAPE

TABULATIONS

EXISTING SITE COVERAGE	
(E) BUILDING FOOTPRINT	2,941 SF.
(E) BUILDING FLOOR AREA	6,850 SF.
(E) IMPERVIOUS SURFACE AREA (INCLUDING PARKING & DRIVEWAY)	5,130 SF.
(E) LANDSCAPE AREA	13,989 SF.

KET NOTES

- (E) 6'-0" HEIGHT WOOD FENCE TO BE REPLACED IN KIND.
- (E) FIRE ESCAPE LADDERS TO BE REMOVED. THEY SHALL REMAIN INTACT UNTIL SUCH TIME AS SUFFICIENT EGRESS FOR CONSTRUCTION PERSONNEL IS INSTALLED AND FUNCTIONAL.

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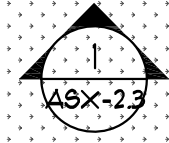
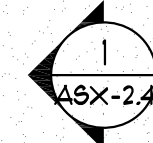
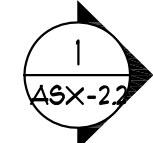


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SHEET
EXISTING SITE PLAN AND TREES **ASX-1.3**

MAYFIELD AVE.



CAMPUS DRIVE

(E) ASPHALT CONCRETE PAVING SIDEWALK

(E) P.I.V.

(E) 36" LIVE OAK

(E) 8" COAST LIVE OAK

(E) BARK MULCH AREA, TYP.

(E) 24" COAST LIVE OAK

(E) 12" COAST LIVE OAK

(E) 18" COAST LIVE OAK

(E) DRIVEWAY AND PARKING TO REMAIN

(E) 12" COAST LIVE OAK

(E) GOLF-CART TYPE VEHICLE PARKING

(E) ACCESSIBLE RAMP

15'-0" SETBACK

(E) ASPHALT CONCRETE PAVING TO BE RE-SURFACED AND RESTRIPTED

(E) 18" COAST LIVE OAK

(E) 12" FAN PALM

(E) LANDSCAPE AREA TO REMAIN

(E) 50" COAST REDWOOD

(E) 40" FAN PALM

EXISTING LASUEN HOUSE
3 STORIES

SEE SHEET ASX-32 FOR
ENLARGED EXISTING ROOF PLAN

(N) BIKE PARKING AREA

(E) 40" FAN PALM

(E) LANDSCAPE AREA TO REMAIN

(E) 10" SHRUB

(E) 12'-6" TYP. ROOF OVERHANG

40'-0" SETBACK

25'-0" SETBACK

LEGEND

---	PROPERTY LINE
---	LINE OF BUILDING BELOW
-o-o-o-	(N) WOOD FENCE, 5'-11" HEIGHT
[Pattern]	(E) BARK MULCH
[Pattern]	(E) LANDSCAPE
[Pattern]	(N) PERMEABLE PATIO PAVERS AT (E) COURTYARD
[Pattern]	(N) DECOMPOSED GRANITE (DG) IN BIKE PARKING AREA
[Pattern]	(N) CONCRETE PAD AT NEW TRASH ENCLOSURE AREA
---	ACCESSIBLE PATH OF TRAVEL

TABULATIONS

EXISTING SITE COVERAGE	
(E) BUILDING FOOTPRINT	2,941 SF.
(E) BUILDING FLOOR AREA	6,850 SF.
(E) IMPERVIOUS SURFACE AREA (INCLUDING PARKING & DRIVEWAY)	5,130 SF.
(E) LANDSCAPE AREA	13,989 SF.

KEY NOTES

- (N) 5'-11" HEIGHT WOOD FENCE.
- PROVIDE (N) ACCESSIBLE PARKING STALL IN COMPLIANCE WITH CURRENT CODES.
- (N) DORMER IN EXISTING HIP ROOF. SIZE AND DESIGN TO MATCH EXISTING DORMER IN THE SOUTH WING.

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PROPOSED
SITE PLAN

SHEET

ASX-1.4

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PROPOSED EAST ELEVATION 1' = 1/4" 1



EXISTING & DEMO EAST ELEVATION 1' = 1/4" 2



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PROPOSED & EXISTING EAST ELEVATIONS SHEET
ASX-2.1

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PROPOSED NORTH ELEVATION 1' = 1/4" 1



EXISTING & DEMO NORTH ELEVATION 1' = 1/4" 2



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PROPOSED & EXISTING NORTH ELEVATION SHEET
ASX-2.2

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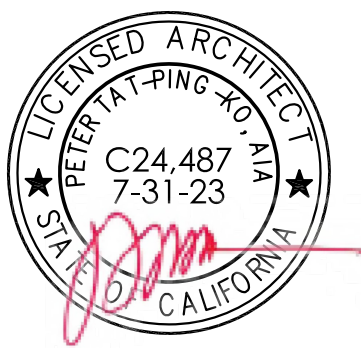
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PROPOSED WEST ELEVATION 1' = 1/4" 1



EXISTING & DEMO WEST ELEVATION 1' = 1/4" 2



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PROPOSED & EXISTING WEST ELEVATION SHEET
ASX-2.3



PROPOSED SOUTH ELEVATION 1' = 1/4" 1



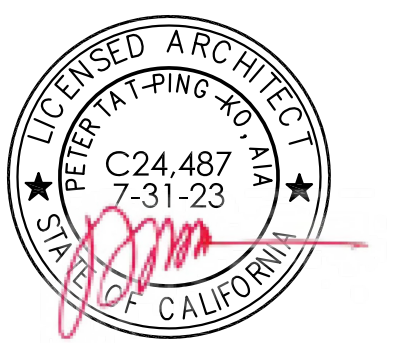
EXISTING & DEMO SOUTH ELEVATION 1' = 1/4" 2

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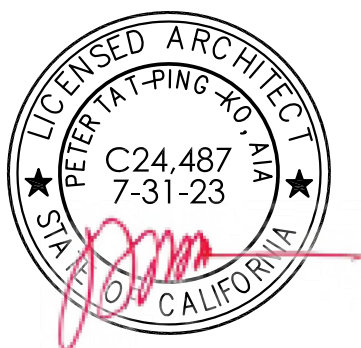


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PROPOSED & EXISTING SOUTH ELEVATION SHEET
ASX-2.4

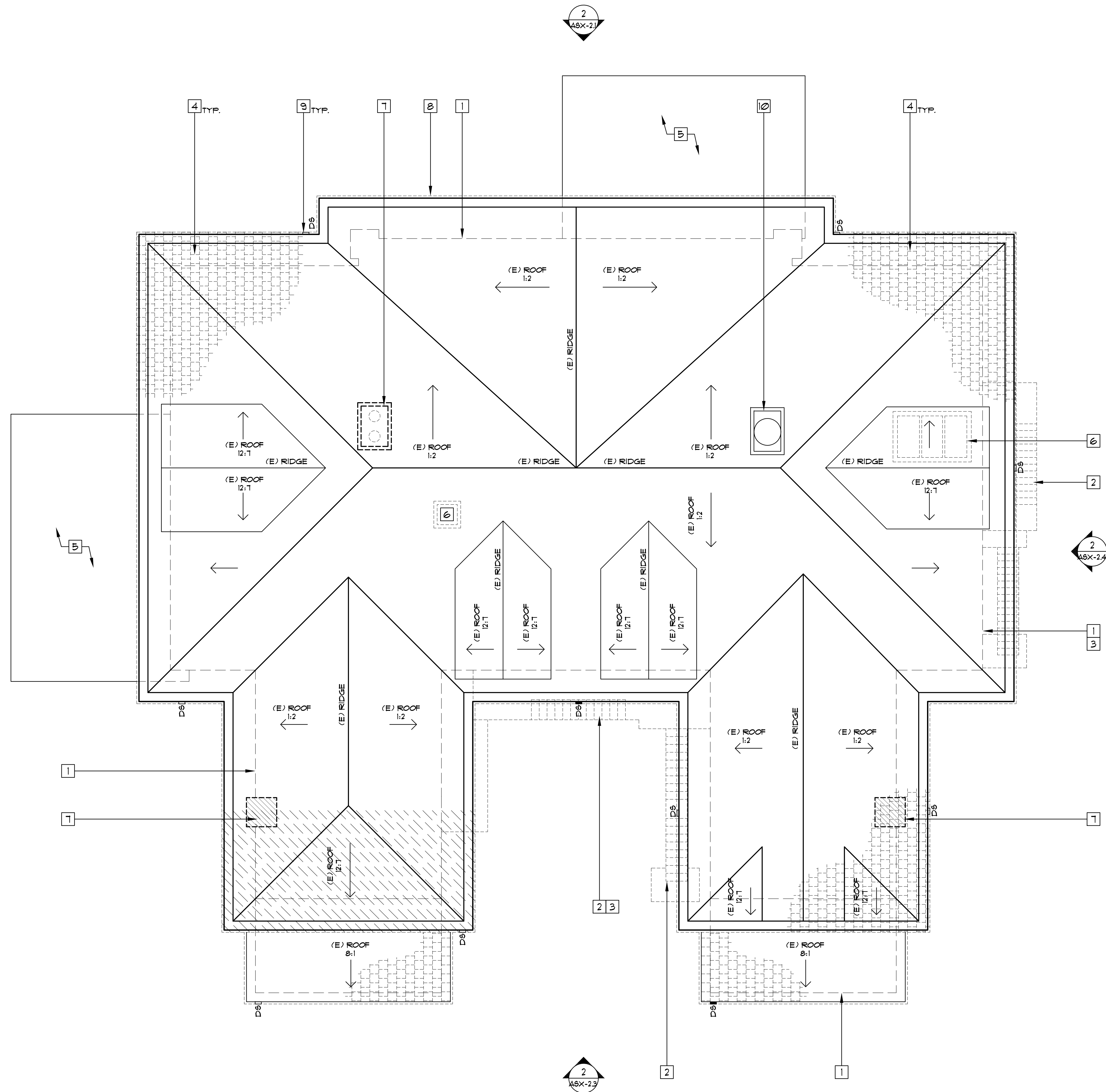
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EXISTING & DEMOLITION
ROOF PLAN
SHEET
ASX-3.1



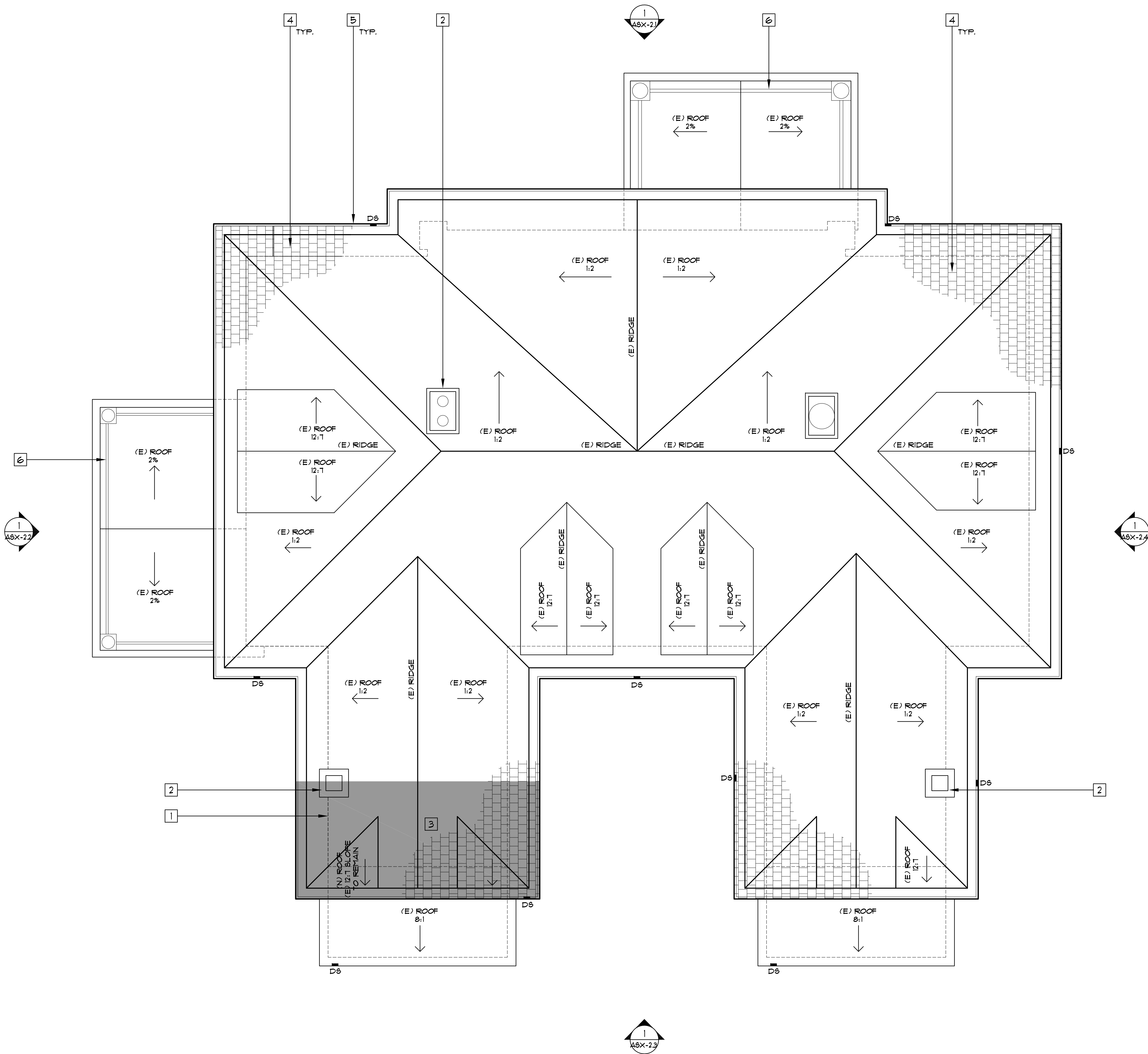
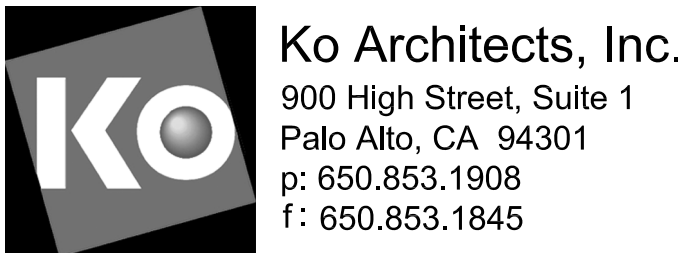
LEGEND

- LINE OF BUILDING BELOW
- - - ITEM TO BE DEMOLISHED
- > DENOTES DIRECTION OF SLOPE
- Ds (E) GUTTER AND DOWNSPOUT (2" DIA. MIN.) TO BE REPLACED
- INDICATES AREA OF DEMOLITION TO ACCOMMODATE NEW DORMER
- INDICATES EXISTING ASPHALT SHINGLES TO BE REMOVED AND REPLACED IN KIND.

KET NOTES

- 1 LINE OF BUILDING BELOW
- 2 EXTERIOR FIRE ESCAPE LADDERS & ALL ASSOCIATED EXTERIOR WALL MOUNTED EXIT LIGHT FIXTURES TO BE REMOVED.
- 3 COMPLETE, REPAIR & PATCH EXTERIOR WALLS/EAVES/ROOF AS NECESSARY ONCE EXTERIOR FIRE ESCAPE LADDER HAS BEEN REMOVED.
- 4 (E) ASPHALT SHINGLES TO BE REPLACED THROUGHOUT
- 5 (E) BUILT-UP ROOF TO BE REPLACED
- 6 (E) SKYLIGHT TO BE REMOVED
- 7 (E) BRICK CHIMNEY TO BE DEMOLISHED. PLEASE REFER TO SHEET ASX-3.2, KEYNOTE #1 FOR ADDITIONAL SCOPE OF WORK PROPOSED.
- 8 (E) GUTTERS TO BE REMOVED AND REPLACED
- 9 (E) DOWNSPOUTS TO BE REMOVED AND REPLACED
- 10 (E) FIREPLACE CHIMNEY TO REMAIN

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LEGEND

- LINE OF BUILDING BELOW
- - - ITEM TO BE DEMOLISHED
- > DENOTES DIRECTION OF SLOPE
- DS ■ (N) GUTTER DRAIN AND DOWNSPOUT
- INDICATES (N) ROOF FRAMING S&D.
- PROVIDE (N) COMPOSITE SHINGLE ROOF BY GAF TIMBERLINE ULTRA HD, COLOR: CHARCOAL.

KET NOTES

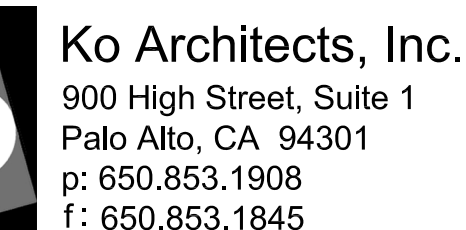
- 1 LINE OF BUILDING BELOW
- 2 (N) WOOD FRAMED PROTRUSIONS TO MIMIC (E) BRICK CHIMNEYS. STUCCO FINISH
- 3 (N) DORMER, SIZE & DESIGN TO MATCH EXISTING
- 4 PROVIDE (N) ASPHALT SHINGLES TO REPLACE EXISTING FOR THE ENTIRE BUILDING ROOF, GAF TIMBERLINE ULTRA HD, COLOR: CHARCOAL
- 5 PROVIDE (N) GUTTER AND DOWNSPOUT
- 6 PROVIDE (N) 4 PLY BUILT-UP ROOF, FIX AND REPAIR WOOD BALUSTER



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SHEET
PROPOSED
ROOF
PLAN
ASX-3.2



- (E) WALLS TO REMAIN, 2x WOOD FRAME
- (E) WALLS TO BE DEMOLISHED
- (E) ITEMS TO BE DEMOLISHED
- (E) WINDOWS TO REMAIN, TYP.
- (E) WINDOWS TO BE REMOVED AND REPLACED
- FOOTPRINT OF ROOF LINE ABOVE
- A
- 101
- INDICATES ROOM NAME
- INDICATES ROOM NUMBER

KET NOTES

1. EXISTING METAL FIRE ESCAPE LADDERS & ALL ASSOCIATED EXTERIOR WALL MOUNTED EXIT LIGHT FIXTURES TO BE REMOVED, THEY SHALL REMAIN INTACT UNTIL SUCH TIME AS SUFFICIENT EGRESS FOR CONSTRUCTION PERSONNEL IS INSTALLED AND FUNCTIONAL.
2. EXISTING EXTERIOR LIGHTING TO BE REPLACED.
3. EXISTING GAS FURNACE TO BE REMOVED
4. EXISTING STORAGE BOX TO BE REMOVED
5. EXISTING HISTORIC WOOD STAIR, BALUSTERS, NEWEL POST, BASE AND HANDRAIL TO REMAIN
6. EXISTING FLOOR FINISH (CARPET, RESILIENT) TO BE REMOVED
7. EXISTING CEILING TO BE REMOVED
8. SURFACES TO BE OPENED AS NECESSARY FOR REMOVAL OF KNOB & TUBE WIRING. (E) FRAMING TO REMAIN, SALVAGE TRIM BASE, SILL, ETC. FOR POSSIBLE REUSE.
9. ALL OBSOLETE EQUIPMENT, PANELS, CONDUITS, OUTLETS, SWITCHES AND SURFACE MOUNTED WIRING TO BE REMOVED. FIRE SPRINKLERS TO BE REMOVED, REPLACE AND CONCEALED.
10. EXISTING EXTERIOR CONCRETE RAMP & STAIRS TO REMAIN, TYP.
11. EXISTING PLUMBING FIXTURES TO BE REMOVED
12. EXISTING BRICK FIREPLACE TO BE REMOVED, THE WALL AND HEARTH TILE AT ROOM# 103 IS TO BE PROTECTED, PRESERVED AND REINSTALLED. PLEASE REFER TO SHEET AS-X-3.4, KEYNOTE #5 FOR ADDITIONAL SCOPE OF WORK PROPOSED.
13. EXISTING EXTERIOR STAIRS TO BE REMOVED
14. (E) EXHAUST FAN TO BE REMOVED.
15. (E) DOOR TO BE REUSED, REVERSE SWING
16. (E) WATER HEATER TO BE REMOVED



ASX PLANNING APPLICATION 1026202

REF. NORTH	PROJECT NO. 21-10
	DATE JAN 8th, 2022
	DRAWN BY LCR
	SCALE AS NOTED

**EXISTING
& DEMOLITION
FIRST
FLOOR PLAN**

ASX SUBMITTAL



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900 High Street, Suite 1
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p: 650.853.1908
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LEGEND

- (E) WALLS TO REMAIN, 2x WOOD FRAME
- (N) INTERIOR WALLS
- (N) 1 HR RATED WALLS
- (E) WINDOWS TO REMAIN, TYP.
- FOOTPRINT OF ROOF LINE ABOVE
- INDICATES ROOM NAME
INDICATES ROOM NUMBER

KET NOTES

- (E) EXTERIOR STAIRS & CONCRETE RAMP TO REMAIN.
- (N) EXTERIOR WOOD STAIRS.
- (E) HISTORIC WOOD STAIR, BALUSTERS, NEWEL POSTS, BASE AND HANDRAILS TO REMAIN. RE-SAND AND REFINISH TO MATCH THE EXISTING BROWN PAINT COLOR.
- (N) WOOD FRAMED IMITATION FIREPLACE TO MIMIC EXISTING ONES. REFER TO DETAIL 11/A4B3 FOR TILE SPECIFICATIONS.
- (N) WOOD FRAMED PROTRUSIONS TO MIMIC (E) BRICK CHIMNEYS. PROVIDE STUCCO FINISH.
- EXISTING DOOR TO BE RE-USED. REVERSE SWING TO ACCOMMODATE NEW DESIGN.
- DOOR NEEDS TO BE FIRE RATED, SELF CLOSING, TIGHT FIT AND SMOKE RATED. SEE DOOR SCHEDULE ON SHEET A4.2.
- (N) SLIDING POCKET DOOR TO MATCH THE EXISTING ONE AT THE LOUNGE ROOM #11. PROVIDE LOCK. INVESTIGATE WALL BEHIND FIREPLACE FOR AN EXISTING SLIDING DOOR TO USE.
- (N) SHEET CARPET: SOUNDBLOCK BY TARKETT, MODEL #1472, WIDTH: 6' FINISH: ICE CAVE 68202. PROVIDE BACKING: POWERBOND RS (FEEL 4 S RICK) EXTRA-CUSHION. VENDOR: TANDUS, TONYA SHARMA, 925-404-4143, tonya.sharma@tarkett.com
- (N) SHEET CARPET: ABRASIVE ACTION BY TARKETT, MODEL # 02518, FINISH: WINTER GRAY 19103. WALK-OFF MATT, CONTINUOUS ROLL. VENDOR: TANDUS, TONYA SHARMA, 925-404-4143, tonya.sharma@tarkett.com
- (N) SHEET CARPET: FLEXUS COLOUR IV BY TARKETT, MODEL # 02519, FINISH: BLACK BIRD 19512. VISION ACCENT STRIP (ON TOP AND BOTTOM STEP OF EACH STAIR FLIGHT). VENDOR: TANDUS, TONYA SHARMA, 925-404-4143, tonya.sharma@tarkett.com
- PROVIDE (N) LVT FLOOR PLANKS: MANNINGTON COMMERCIAL, CITY PARK, MODEL: CPC104, FINISH: MADISON MAPLE REPPER BARK. PROVIDE QUATER ROUND TO MATCH PAINTING BASE. NOTE: IN ROOM 102A, 102B, 101, 102B, 112, 113 AND 114 EXISTING PLANKS ARE NEW AND MAY REMAIN. PROTECT DURING CONSTRUCTION.
- ROOMS
(N) MIRROR ON WALL BEHIND ENTRANCE DOOR OF STUDENT ROOMS - PALO ALTO GLASS, DIMENSIONS: 20"x60" WITH BEVELED EDGE. INSTALL 12" FROM THE FLOOR.
- (N) ROBE HOOK - BOBRICK, MODEL: B-211, FINISH: CHROME, 1 PER CLOSET.
- (N) CLOSET MELAMINE COVERED PLYWOOD SHELF, CLOSET ROD (3' MIN. PER STUDENT) & ROD ENDS (2 PER ROD)
- (N) TOWEL BAR INSIDE CLOSET DOORS - GAMCO TB SERIES, 1" DIAM, 18" (TB2) LONG, 1/8 GA STAINLESS STEEL TUBING. PROVIDED W/ MOUNTING. FINISH: SATIN CHROME, 1 PER CLOSET.
- (N) 18"x12" BULLETIN BOARD W/MOUNTING HARDWARE - A-1 VISUAL SERVICES, SERIES 200, FRAME: ANODIZED BRONZE.
- (N) PROVIDE ACCESSIBLE AUTOMATIC OPENERS TO ROOM 102 AND ENTRY 114. SPEC TO BE PROVIDED BY STANFORD.



ASX PLANNING APPLICATION 10/26/2021

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PROPOSED
FIRST
FLOOR PLAN

SHEET
ASX-3.4

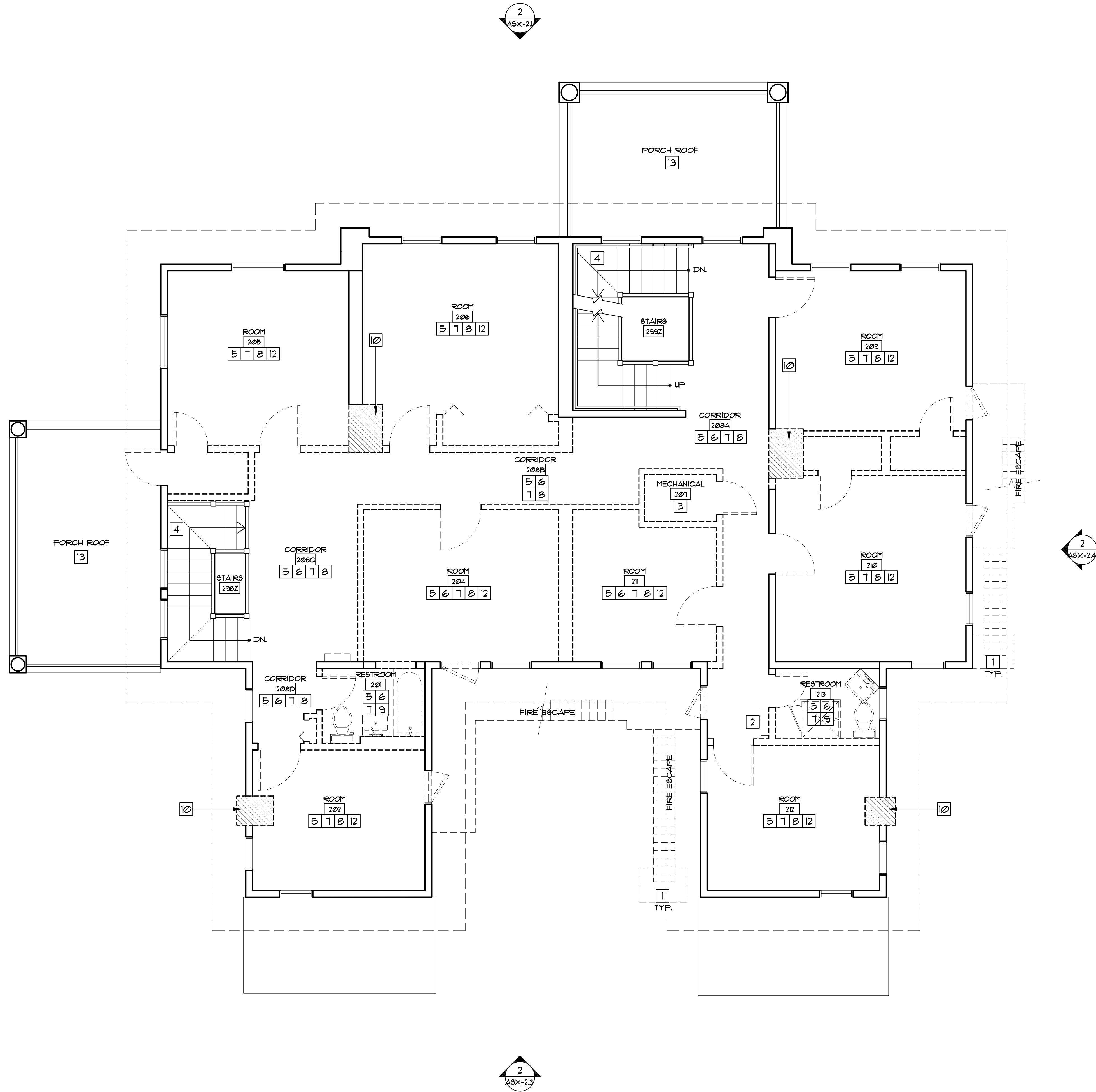
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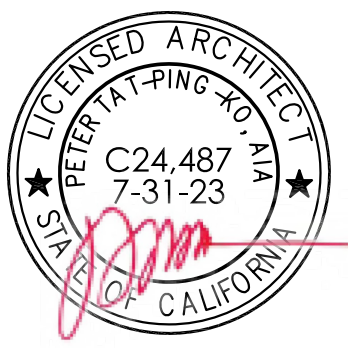


LEGEND

- (E) WALLS TO REMAIN, 2x WOOD FRAME
- (E) WALLS TO BE DEMOLISHED
- (E) ITEMS TO BE DEMOLISHED
- (E) WINDOWS TO REMAIN, TYP.
- (E) WINDOWS TO BE REMOVED AND REPLACED
- FOOTPRINT OF ROOF LINE ABOVE
- INDICATES ROOM NAME
INDICATES ROOM NUMBER

KEY NOTES

- EXTERIOR METAL FIRE ESCAPE LADDERS & ALL ASSOCIATED EXTERIOR WALL MOUNTED EXIT LIGHT FIXTURES TO BE REMOVED. THEY SHALL REMAIN INTACT UNTIL SUCH TIME AS SUFFICIENT EGRESS FOR CONSTRUCTION PERSONNEL IS INSTALLED AND FUNCTIONAL.
- EXISTING ELECTRIC PANEL TO BE REMOVED
- EXISTING GAS FURNACE TO BE REMOVED
- EXISTING HISTORIC WOOD STAIR, BALUSTERS, NEWEL POST, BASE AND HANDRAIL TO REMAIN. RE-SAND AND REFINISH TO MATCH THE EXISTING BROWN PAINT COLOR.
- EXISTING FLOOR FINISH (CARPET, RESILIENT) TO BE REMOVED
- EXISTING CEILING TO BE REMOVED
- SURFACES TO BE OPENED AS NECESSARY FOR REMOVAL OF KNOB & TUBE WIRING. (E) FRAMING TO REMAIN, SALVAGE TRIM BASE, SILL, ETC. FOR POSSIBLE REUSE.
- ALL OBSOLETE EQUIPMENT, PANELS, CONDUITS, OUTLETS, SWITCHES AND SURFACE MOUNTED WIRING TO BE REMOVED. FIRE SPRINKLERS TO BE REMOVED, REPLACE AND CONCEALED.
- EXISTING PLUMBING FIXTURES TO BE REMOVED
- EXISTING BRICK FIREPLACE AND CHIMNEYS TO BE REMOVED.
- WOOD STEPS TO BE REMOVED TYP.
- EXISTING LIGHTS AND FANS TO BE REMOVED
- EXISTING BUILT-UP PORCH ROOF TO BE REPLACED. REPAIR EXTERIOR WOOD ELEMENTS AS NECESSARY



ASX PLANNING APPLICATION 10/26/2021

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EXISTING & DEMOLITION
SECOND FLOOR PLAN
SHEET
ASX-3.5

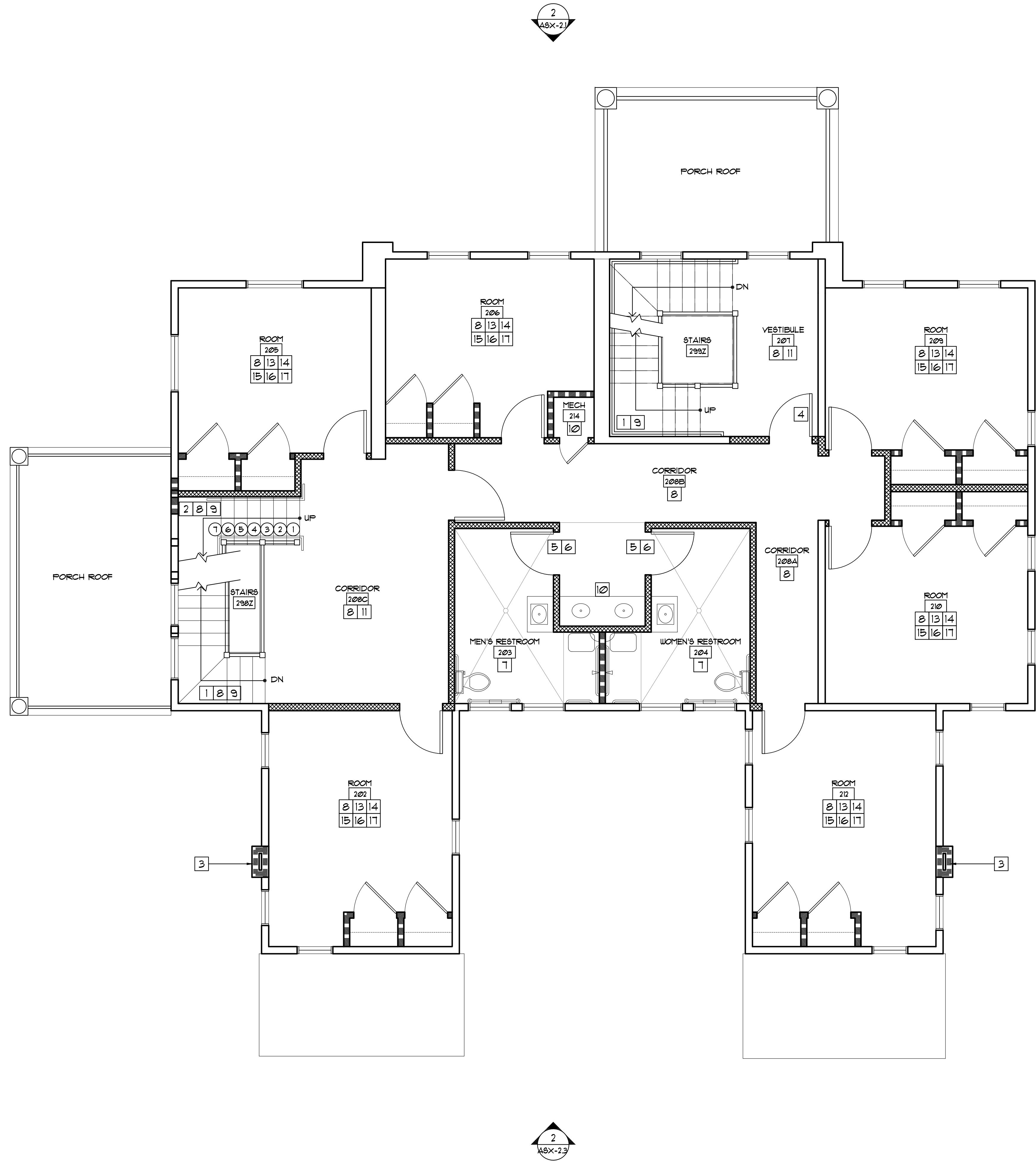
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LEGEND

- (E) WALLS TO REMAIN, 2x WOOD FRAME
- (N) INTERIOR WALLS
- (N) 1 HR RATED WALLS
- (E) WINDOWS TO REMAIN, TYP.
- FOOTPRINT OF ROOF LINE ABOVE
- INDICATES ROOM NAME
- INDICATES ROOM NUMBER

KEY NOTES

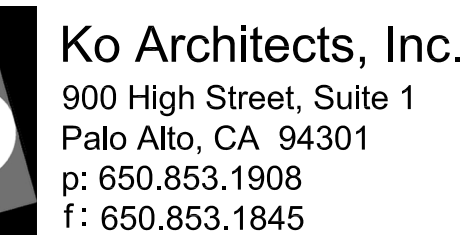
- (E) INTERIOR HISTORIC WOOD STAIR, BALUSTERS, NEWEL POSTS, BASE AND HANDRAILS TO REMAIN. RE-SAND AND REFINISH TO MATCH THE EXISTING BROWN PAINT COLOR.
- (N) INTERIOR WOOD STAIRS - REFER TO STRUCTURAL DRAWINGS AND TO THE INTERIOR STAIR WALL SECTIONS ON SHEET A11 FOR MORE INFORMATION.
- (N) WOOD FRAMED PROTRUSIONS TO MIMIC (E) BRICK CHIMNEYS. PROVIDE STUCCO FINISH.
- DOOR NEEDS TO BE FIRE RATED, SELF CLOSING, TIGHT FIT AND SMOKE RATED. SEE DOOR SCHEDULE ON SHEET A4.2.
- (N) DOOR SIGNS - ACTION SIGNS, COLOR: STANFORD TAUPE BACKGROUND W/ WHITE RAISED LETTERS/NUMBERS, FONT: GARAMOND UPPER CASE 3/4", FINISH: 3M3D (VACUUM SEALED) WITH RASTER STYLE BRAILLE. SEE DETAIL 10 ON SHEET A8.5 FOR MORE INFORMATION.
- (N) WALL MOUNTED FLEXIGLASS SIGNS - ACTION SIGNS, COLOR: STANFORD TAUPE BACKGROUND W/ WHITE RAISED LETTERS/NUMBERS, FONT: GARAMOND UPPER CASE 3/4", FINISH: 3M3D (VACUUM SEALED) WITH RASTER STYLE BRAILLE, DIMENSIONS: 6" W x 8" H.
- REFER TO SHEET A3.2 FOR RESTROOMS ENLARGED FLOOR PLANS, INTERIOR ELEVATIONS AND SPECIFICATIONS.
- (N) SHEET CARPET: SOUNDBLOCK BY TARKETT, MODEL 11412, WIDTH: 6', FINISH: ICE CAVE 68202. PROVIDE BACKING: POWERBOND RS (PEEL & STICK) EXTRA-CUSHION. VENDOR: TANDUS, TONYA SHARMA, 925-404-4143, tonya.sharma@tarkett.com
- (N) SHEET CARPET: FLEXUS COLOUR IV BY TARKETT, MODEL: 02815, FINISH: BLACK BIRD 18512, VISION ACCENT STRIP ON TOP AND BOTTOM STEP OF EACH STAIR FLIGHT. VENDOR: TANDUS, TONYA SHARMA, 925-404-4143, tonya.sharma@tarkett.com
- PROVIDE (N) LVT FLOOR PLANKS: MANNINGTON COMMERCIAL, CITY PARK, MODEL: CPC104, FINISH: MADISON MAPLE REPPER BARK. PROVIDE QUATER ROUND TO MATCH PAINTING BASE.
- ADD NEW WAINSCOT.
- ADD NEW BOARD AND BATTENS.
- ROQ:15
- (N) MIRROR ON WALL BEHIND ENTRANCE DOOR OF STUDENT ROOMS - PALO ALTO GLASS, DIMENSIONS: 20"x60" WITH BEVELED EDGE. INSTALL 12" FROM THE FLOOR.
- (N) ROBE HOOK - BOBRICK, MODEL: B-211, FINISH: SATIN NICKEL, 1 PER CLOSET.
- (N) CLOSET MELAMINE COVERED PLYWOOD SHELF, CLOSET ROD (3' MIN. PER STUDENT) & ROD ENDS (2 PER ROD)
- (N) TOWEL BAR INSIDE CLOSET DOORS - GAMCO TB SERIES, 1" DIAM. 18" (TB2) LONG, 18 GA STAINLESS STEEL TUBING. PROVIDED W/ MOUNTING. FINISH: SATIN CHROME, 1 PER CLOSET.
- (N) 18"x12" BULLETIN BOARD W/ MOUNTING HARDWARE - A-1 VISUAL SERVICES, SERIES 200, FRAME: ANODIZED BRONZE.



ASX PLANNING APPLICATION 10/26/2021

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PROPOSED
SECOND
FLOOR PLAN
SHEET
ASX-3.6



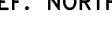
- (E) WALLS TO REMAIN, 2x WOOD FRAME
- (E) WALLS TO BE DEMOLISHED
- (E) ITEMS TO BE DEMOLISHED
- (E) WINDOWS TO REMAIN, TYP.
- (E) WINDOWS TO BE REMOVED AND REPLACED
- FOOTPRINT OF ROOF LINE ABOVE
- A
- 101
- INDICATES ROOM NAME
- INDICATES ROOM NUMBER

KET NOTES

1. EXISTING METAL FIRE ESCAPE LADDERS & ALL ASSOCIATED EXTERIOR WALL MOUNTED EXIT LIGHT FIXTURES TO BE REMOVED. THEY SHALL REMAIN INTACT UNTIL SUCH TIME AS SUFFICIENT EGRESS FOR CONSTRUCTION PERSONNEL IS INSTALLED AND FUNCTIONAL.
2. EXISTING ELECTRIC PANEL TO BE REMOVED
3. EXISTING GAS FURNACE TO BE REMOVED
4. EXISTING HISTORIC WOOD STAIR, BALUSTERS, NEWEL POST, BASE AND HANDRAIL TO REMAIN. RE-SAND AND REFINISH TO MATCH THE EXISTING BROWN PAINT COLOR
5. EXISTING FLOOR FINISH (CARPET, RESILIENT) TO BE REMOVED
6. EXISTING CEILING TO BE REMOVED
7. SURFACES TO BE OPENED AS NECESSARY FOR REMOVAL OF KNOB & TUBE WIRING. (E) FRAMING TO REMAIN, SALVAGE TRIM BASE, SILLS, ETC. FOR POSSIBLE REUSE.
8. ALL OBSOLETE EQUIPMENT, PANELS, CONDUITS, OUTLETS, SWITCHES, & SURFACE MOUNTED WIRING TO BE REMOVED. FIRE SPRINKLERS TO BE REMOVED, REPLACE AND CONCEALED.
9. EXISTING PLUMBING FIXTURES TO BE REMOVED
10. EXISTING BRICK FIREPLACE TO BE REMOVED
PLEASE REFER TO SHEET ASX-3.2, KEYNOTE *3 FOR ADDITIONAL SCOPE OF WORK PROPOSED.
11. WOOD STEPS TO BE REMOVED, TYP.
12. EXISTING LIGHTS AND FANS TO BE REMOVED



ASX PLANNING APPLICATION 10.26.202

REF. NORTH	PROJECT NO. 21-101
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EXISTING
& DEMO
THIRD
FLOOR PLAN

SHEET

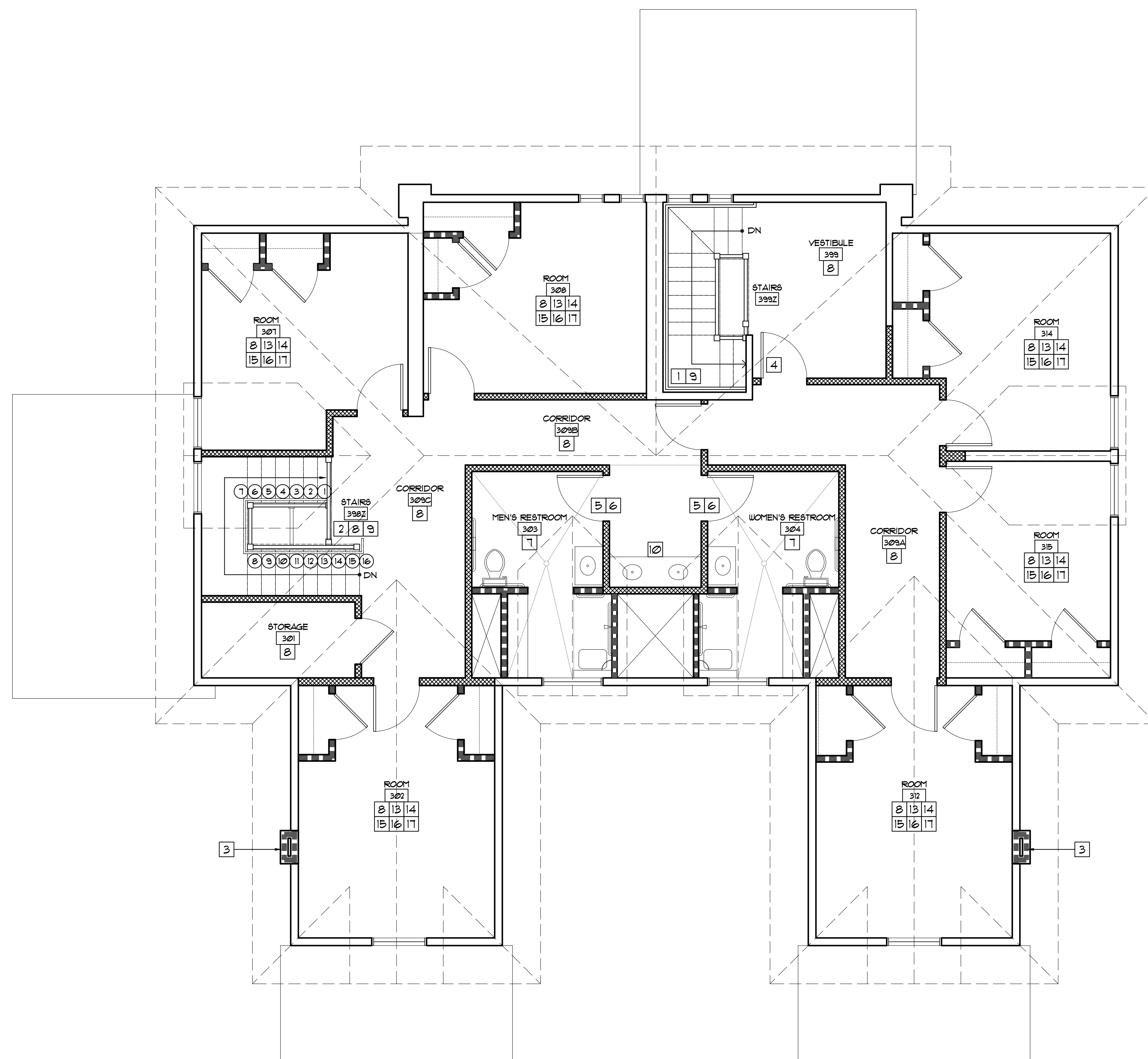
ASX-3.7



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(E) WALLS TO REMAIN, 2x WOOD FRAME

(N) INTERIOR WALLS

(N) 1 HR RATED WALLS

(E) WINDOWS TO REMAIN, TYP.

FOOTPRINT OF ROOF LINE ABOVE

A
101

INDICATES ROOM NAME
INDICATES ROOM NUMBER

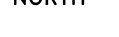
- 1 (E) INTERIOR HISTORIC WOOD STAIR, BALUSTERS, NEUEL POSTS, BASE AND HANDRAILS TO REMAIN, RE-SAND AND REFINISH TO MATCH THE EXISTING BROWN PAINT COLOR.
- 2 (N) INTERIOR WOOD STAIRS - REFER TO STRUCTURAL DRAWINGS AND TO THE INTERIOR STAIR WALL SECTIONS ON SHEET A.1. FOR MORE INFORMATION.
- 3 (N) WOOD FRAMED PROTRUSIONS TO MIMIC (E) BRICK CHIMNEYS. PROVIDE STUCCO FINISH.
- 4 DOOR NEEDS TO BE FIRE RATED, SELF CLOSING, TIGHT FIT AND SMOKE RATED. SEE DOOR SCHEDULE ON SHEET A4.2.
- 5 (N) DOOR SIGNS - ACTION SINGS, COLOR: STANFORD TAUPE BACKGROUND W/ WHITE RAISED LETTERS/NUMBERS, FONT: GARAMOND UPPER CASE 3/4", FINISH: 3"X3" (DETAIL 10 SEaled) WITH RASTER STYLE BRaille. SEE VACUUM ON SHEET A8.5 FOR MORE INFORMATION.
- 6 (N) WALL MOUNTED FLEXIGLASS SIGNS - ACTION SINGS, COLOR: STANFORD TAUPE BACKGROUND W/ WHITE RAISED LETTERS/NUMBERS, FONT: GARAMOND UPPER CASE 3/4", FINISH: 3"X3" (DETAIL 10 SEaled) WITH RASTER STYLE BRaille, DIMENSIONS: 6'W x 8'H.
- 7 REFER TO SHEET A3.2 FOR RESTROOMS ENLARGED FLOOR PLANS, INTERIOR ELEVATIONS AND SPECIFICATIONS.
- 8 (N) SHEET CARPET: SOUNDBLOCK BY TARKETT, MODEL #1412, WIDTH: 6'. FINISH: ICE CAVE 68202. PROVIDE BACKING: FIBERGLASS RS (FEEL 4 S RICK) EXTRA-CUSHION. VENDOR: TANDUS, TONYA SHARMA, 925-404-4143, tonya.sharma@tarkett.com
- 9 (N) SHEET CARPET, FLEXUS COLOUR IV BY TARKETT, MODEL # 02785, FINISH: BLACK BIRD 18512, VISION ACCENT STRIP (ON TOP AND BOTTOM STEP OF EACH STAIR FLIGHT). VENDOR: TANDUS, TONYA SHARMA, 925-404-4143, tonya.sharma@tarkett.com
- 10 PROVIDE (N) LVT FLOOR PLANKS: MANNINGTON COMMERCIAL, CITY PARK, MODEL: CFC104, FINISH: MADISON MAPLE REPPER BARK. PROVIDE QUATER ROUND TO MATCH PAINTING BASE.
- 11 ADD NEW WAINSCOT.
- 12 ADD NEW BOARD AND BATTENS.

ROOFS

- 13 (N) MIRROR ON WALL BEHIND ENTRANCE DOOR OF STUDENT ROOFS - PALO ALTO GLASS, DIMENSIONS: 20'x60" WITH BEVELED EDGE. INSTALL 12" FROM THE FLOOR.
- 14 (N) ROBE HOOK - BOBBICK, MODEL: B-211, FINISH: SATIN NICKEL, 1 PER CLOSET.
- 15 (N) CLOSET MELAMINE COVERED, PLYWOOD SHELF, CLOSET ROD (3 MIN. PER STUDENT) 4 ROD ENDS (2 PER ROD)
- 16 (N) TOWEL BAR INSIDE CLOSET DOORS - GAFMCO TB SERIES, 1/4" LAM, 18" (TB3) LONG, 18 GA STAINLESS STEEL TUBING. PROVIDED W/ MOUNTING, FINISH: SATIN CHROME, 1 PER CLOSET.
- 17 (N) 18"x12" BULLETIN BOARD MOUNTING HARDWARE - A-1 VISUAL SERVICES, SERIES 200, FRAME: ANODIZED BRONZE.



ASX PLANNING APPLICATION 1026.202

REF. NORTH	PROJECT NO.	21-10
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SHEET

PROPOSED THIRD FLOOR PLAN