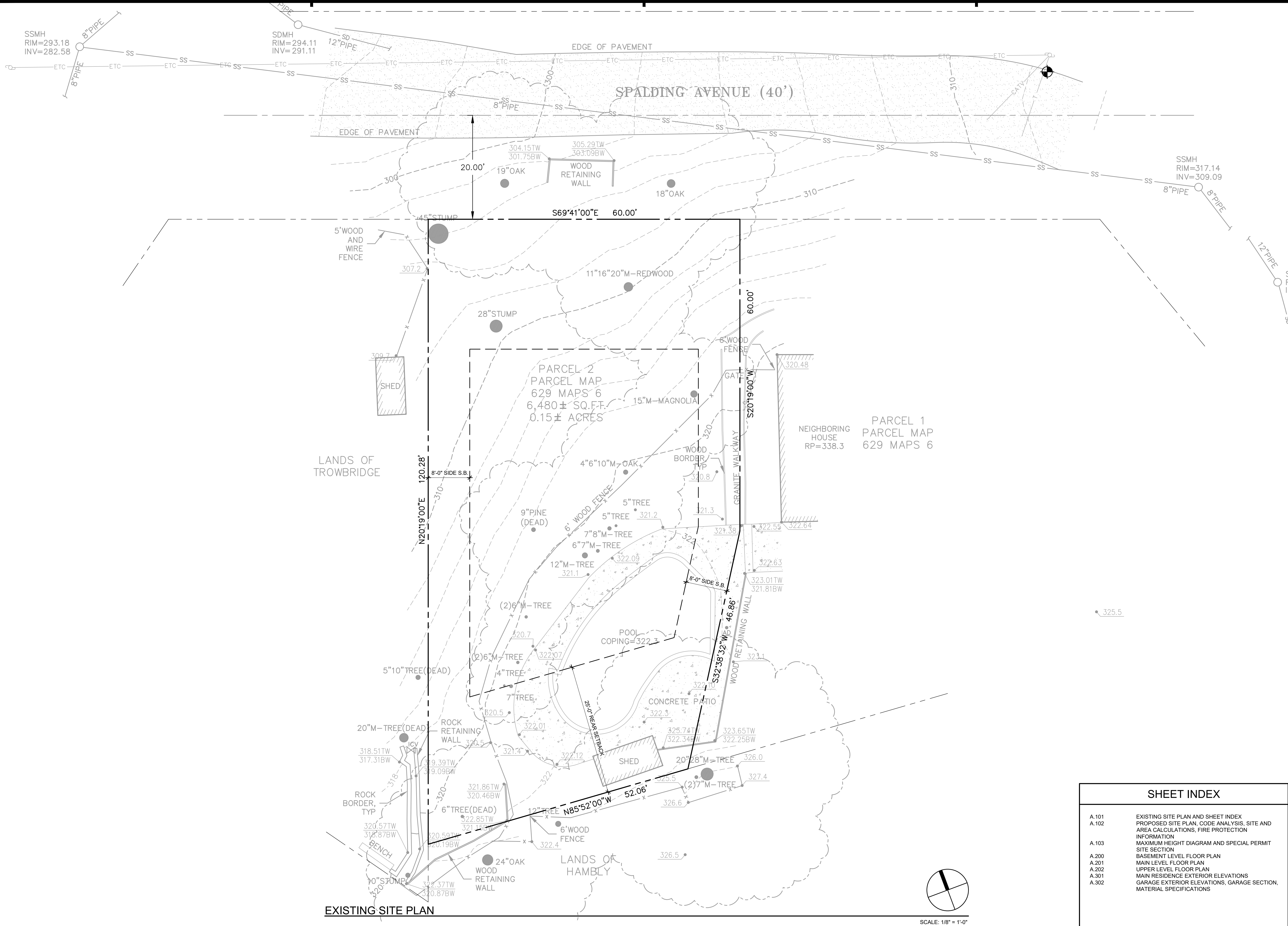




SHEET INDEX	
A.101	EXISTING SITE PLAN AND SHEET INDEX
A.102	PROPOSED SITE PLAN, CODE ANALYSIS, SITE AND AREA CALCULATIONS, FIRE PROTECTION INFORMATION
A.103	MAXIMUM HEIGHT DIAGRAM AND SPECIAL PERMIT SITE SECTION
A.200	BASEMENT LEVEL FLOOR PLAN
A.201	MAIN LEVEL FLOOR PLAN
A.202	UPPER LEVEL FLOOR PLAN
A.301	MAIN RESIDENCE EXTERIOR ELEVATIONS
A.302	GARAGE EXTERIOR ELEVATIONS, GARAGE SECTION, MATERIAL SPECIFICATIONS

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Project: CONRAD RESIDENCE
23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111

Title: EXISTING SITE PLAN

Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21

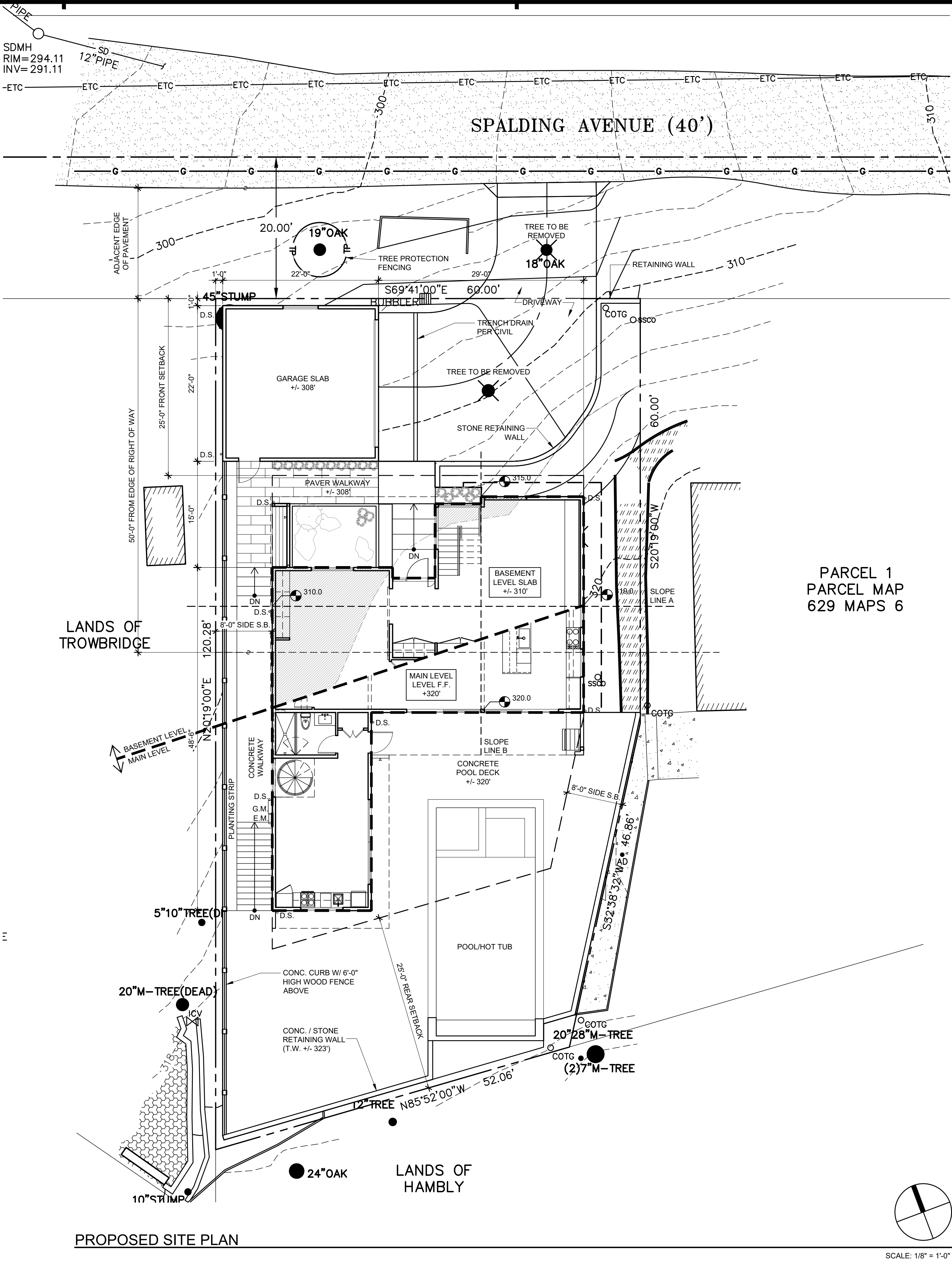
SL	SL	AW
Designer:	Drawn By:	Date:
9/08/21	202/01	AS SHOWN

Sheet: A.101

FLOOR AREA CALCULATION	
MAIN RESIDENCE TOTAL:	2284
BASEMENT (SHADED PORTION ON PLANS)	309.67
MAIN LEVEL	1102.29
UPPER LEVEL	852.04
ADU TOTAL:	790.4
ADU MAIN LEVEL	395.2
ADU UPPER LEVEL	395.2
TOTAL FLOOR AREA	3054.4
FAR CALCULATION	
GROSS FLOOR AREA	3054.4
FIRST 800 SQ. FT. OF ADU DISCOUNTED	790.4
GARAGE AREA (DISCOUNTED IF <500 S.F.)	484
NET FLOOR AREA	2264
LOT AREA	6480.3
MAXIMUM FAR	0.35
MAXIMUM ALLOWABLE FLOOR AREA	2268.1
PROPOSED FAR	0.35
SEE SHEETS A.200, A.201, A.202 FOR FLOOR AREA DIAGRAMS	
BASEMENT AREA CALCULATION	
TOTAL BASEMENT AREA	1.476
EXPOSED BASEMENT AREA (WHERE THE MAIN LEVEL FINISH FLOOR IS GREATER THAN 4 FT ABOVE GRADE)	309.67
EXPOSED BASEMENT AREA / TOTAL BASEMENT AREA	20.98%
(50% MAXIMUM)	
SLOPE CALCULATION	
FOR BUILDING SITE APPROVAL	
$S = (.00229 \times L) / A$	AVERAGE SLOPE: 24.61%
L: COMBINED LENGTH OF CONTOUR LINES IN FEET	799.3
A: DEVELOPMENT AREA (ACRES)	0.15
(.00229 = MULTIPLIER TO CONVERT SQ.FT. TO ACRES)	
SLOPE CALCULATION	
FOR PARKING STRUCTURES ON SLOPING LOTS PER SCC20.4.20.020 F	
ELEV. POINT AT EDGE OF PAVEMENT	299
ELEV. AT POINT 50 FEET FROM RIGHT OF WAY	310
Δ IN ELEVATION	11
IF ELEVATION 50 FEET BACK FROM THE EDGE OF THE RIGHT OF WAY DIFFERS MORE THAN 10 FEET FROM THE ELEVATION OF THE EDGE OF PAVEMENT A GARAGE MAY BE LOCATED IN FRONT OR SIDE YARDS, SEE SHEET A.103 FOR MORE INFORMATION	

FIRE PROTECTION INFORMATION	
NFPA 13 FIRE SPRINKLER DESIGN TO BE A DEFERRED SUBMITTAL	
TOTAL LIVING AREA:	3430.3 SQ.FT.
GARAGE AREA:	484 SQ. FT.
CONSTRUCTION TYPE:	R3 / U
FIRE SPRINKLERS TO PROVIDE 1,000 GPM @ 20 PSI FOR 2 HR.S PER SCC CFMO-W1	
WATER SOURCE:	CALIFORNIA WATER SERVICE CO.
WILD LAND INTERFACE:	NO
STATE RESPONSIBILITY AREA:	NO

CODE ANALYSIS	
ZONING:	R1E-1Ac-n1
APN:	331-02-111
HISTORIC PARCEL:	NO
NEAREST CREEK:	MAGDALENA CREEK
SANTA CLARA VALLEY HABITAT AREA:	NO
HAZARDOUS SITE:	NO
NO LANDSCAPING PROPOSED	



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Project:
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Title:
PROPOSED SITE PLAN

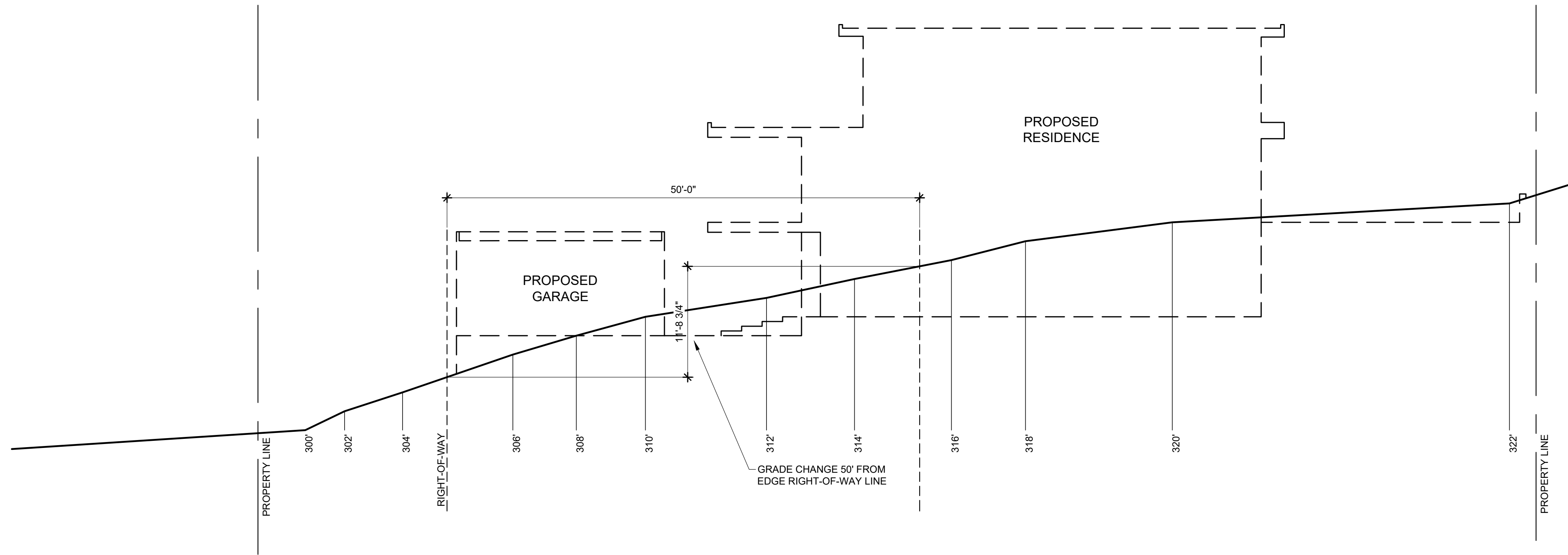
Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21

Designer:	SL
Drawn By:	SL, AW
Date:	9/08/21
Project No.:	202101
Scale:	AS SHOWN

Sheet:

A.102

SITE SECTION



SCALE: 1/8" = 1'-0"

1

MAX. HEIGHT DIAGRAM



SCALE: NOT TO SCALE

2

Sheet:

A.103

Designer: SL
Drawn By: SL, AW
Date: 9/08/21
Project No.: 202101
Scale: AS SHOWN

Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21

Project: CONRAD RESIDENCE
23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111
Title: SITE DIAGRAMS



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BASEMENT LEVEL FLOOR PLAN

RESIDENCE LIVING AREA: 1,488 SF
RESIDENCE AREA TO BE ASSESSED (SHADED AREA): 310 SF

FLOOR PLAN LEGEND

(N) CONSTRUCTION

X-X

APPLIANCE / PLUMBING FIXTURE CALL OUT

204A

DOOR CALL-OUT, SEE SCHEDULE ON SHT A.002

I

WINDOW CALL-OUT, SEE SCHEDULE ON SHT A.002

1

A.801

DETAIL NUMBER

1

A.801

SHEET WHERE OCCURS

1

A.401

VIEW DIRECTION

1

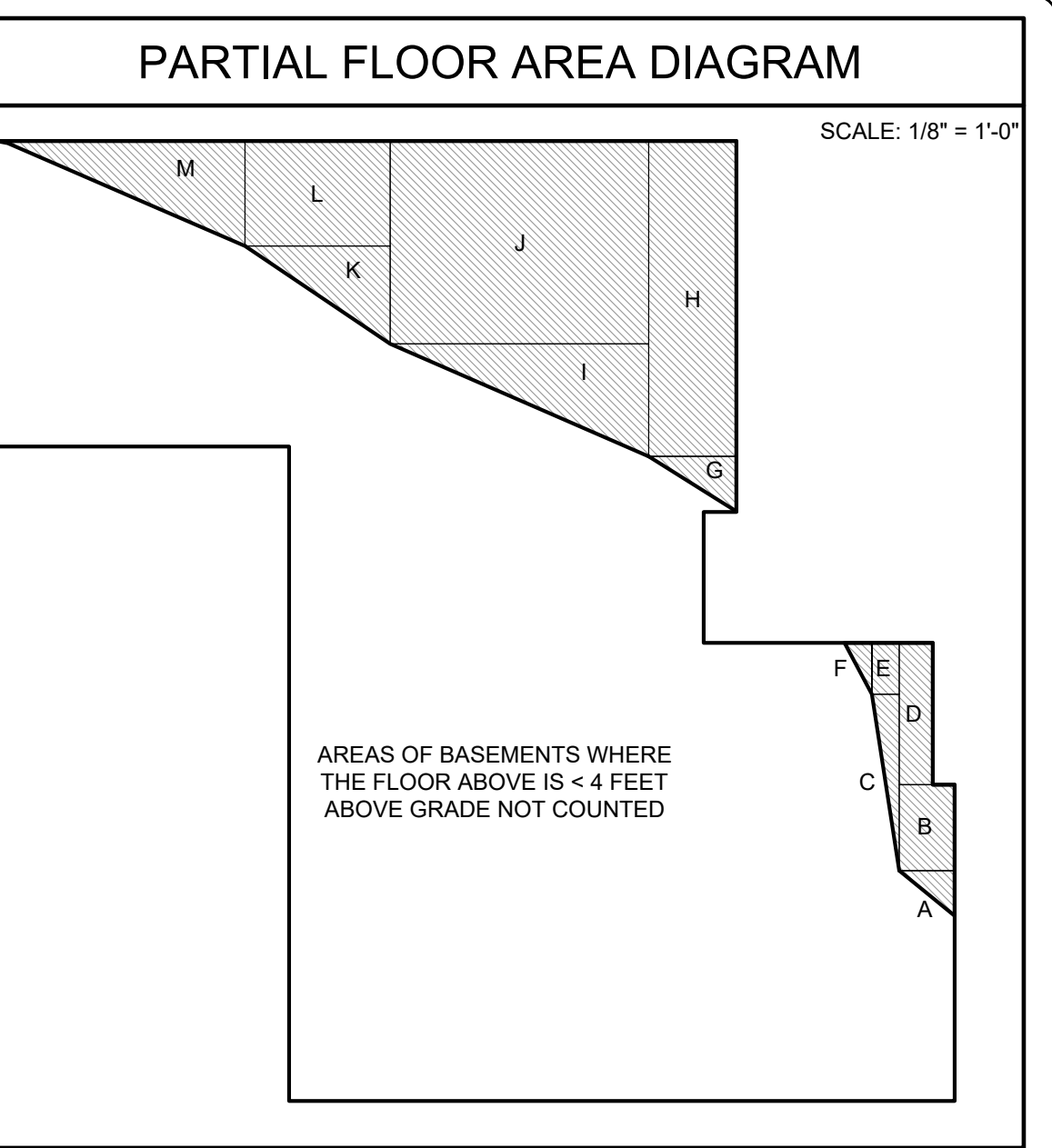
A.401

SECTION NUMBER

1

A.401

SHEET WHERE OCCURS



BASEMENT FLOOR AREA CALCULATION		
POLYGON	DIMENSION (FT.)	AREA (SQ.FT.)
A	2.54 x 2.07	2.63
B	2.54 x 3.94	10.02
C	1.25 x 8.08	5.04
D	1.54 x 6.5	10.03
E	1.25 x 2.35	2.94
F	1.26 x 2.35	1.48
G	4.02 x 2.52	5.08
H	4.02 x 14.45	58.07
I	11.84 x 5.16	30.56
J	11.84 x 9.29	110.13
K	6.66 x 4.49	14.93
L	6.66 x 4.80	31.99
M	11.39 x 4.80	26.69
TOTAL		309.57



Project: CONRAD RESIDENCE
23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111

Title: BASEMENT LEVEL FLOOR PLAN

Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21

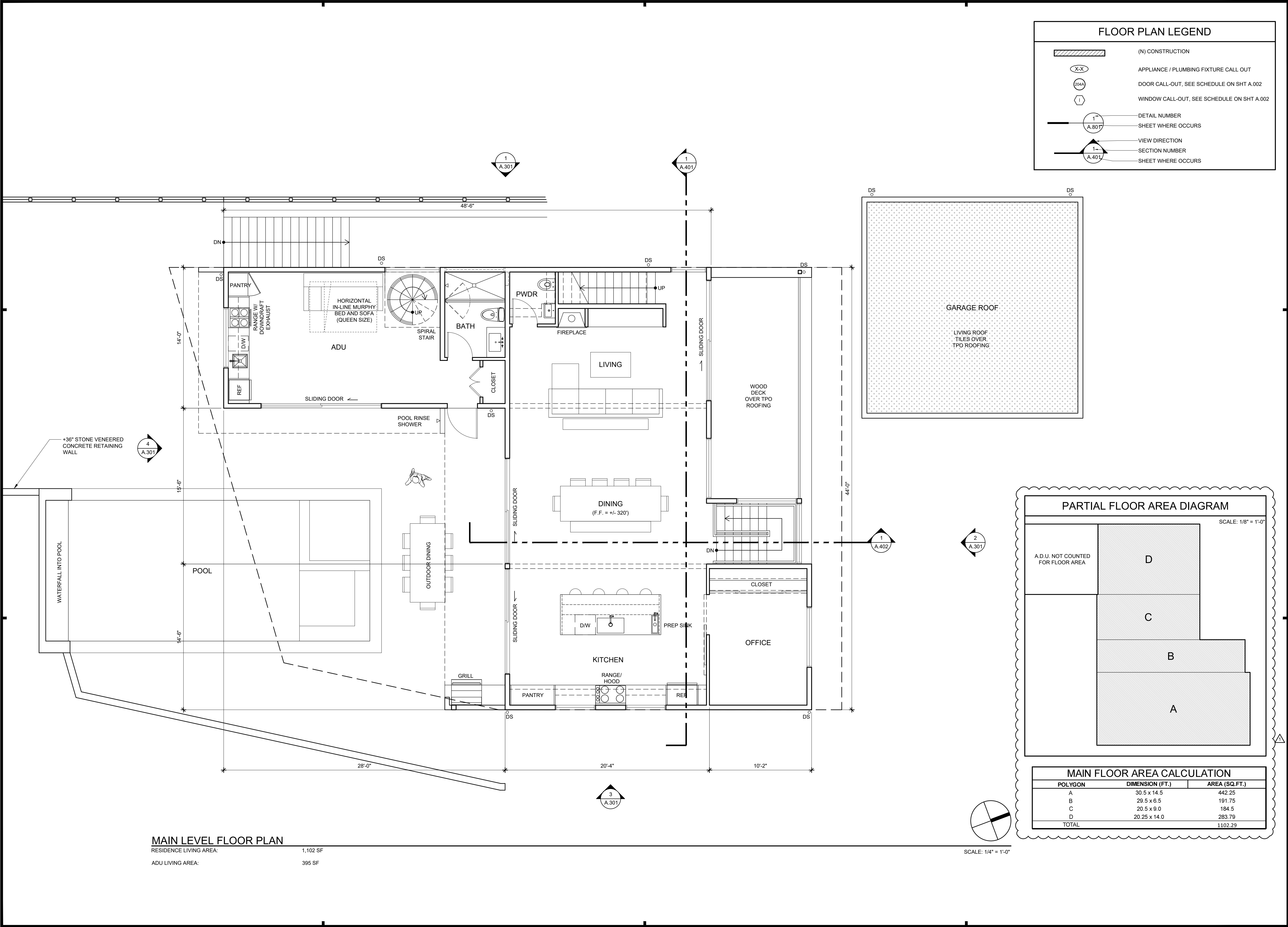
SL	SL	SL	SL
AW	AW	AW	AW
9/08/21	9/08/21	202/101	202/101
AS SHOWN	AS SHOWN	AS SHOWN	AS SHOWN

Sheet:

A.200

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FLOOR PLAN LEGEND

(N) CONSTRUCTION

X-X

APPLIANCE / PLUMBING FIXTURE CALL OUT

204A

DOOR CALL-OUT, SEE SCHEDULE ON SHT A.002

1

A.801

WINDOW CALL-OUT, SEE SCHEDULE ON SHT A.002

1

A.801

DETAIL NUMBER

1

A.401

SHEET WHERE OCCURS

1

A.401

VIEW DIRECTION

1

A.401

SECTION NUMBER

1

A.401

SHEET WHERE OCCURS

PARTIAL FLOOR AREA DIAGRAM

SCALE: 1/8" = 1'-0"

A.D.U. NOT COUNTED FOR FLOOR AREA

D

C

B

A

MAIN FLOOR AREA CALCULATION

POLYGON	DIMENSION (FT.)	AREA (SQ.FT.)
A	30.5 x 14.5	442.25
B	29.5 x 6.5	191.75
C	20.5 x 9.0	184.5
D	20.25 x 14.0	283.79
TOTAL		1102.29

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SCOTT LANDR

C-38006

9-30-2023

REN DATE

STATE OF CALIFORNIA

Project: CONRAD RESIDENCE

23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111

Title: MAIN LEVEL FLOOR PLAN

Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21

SL

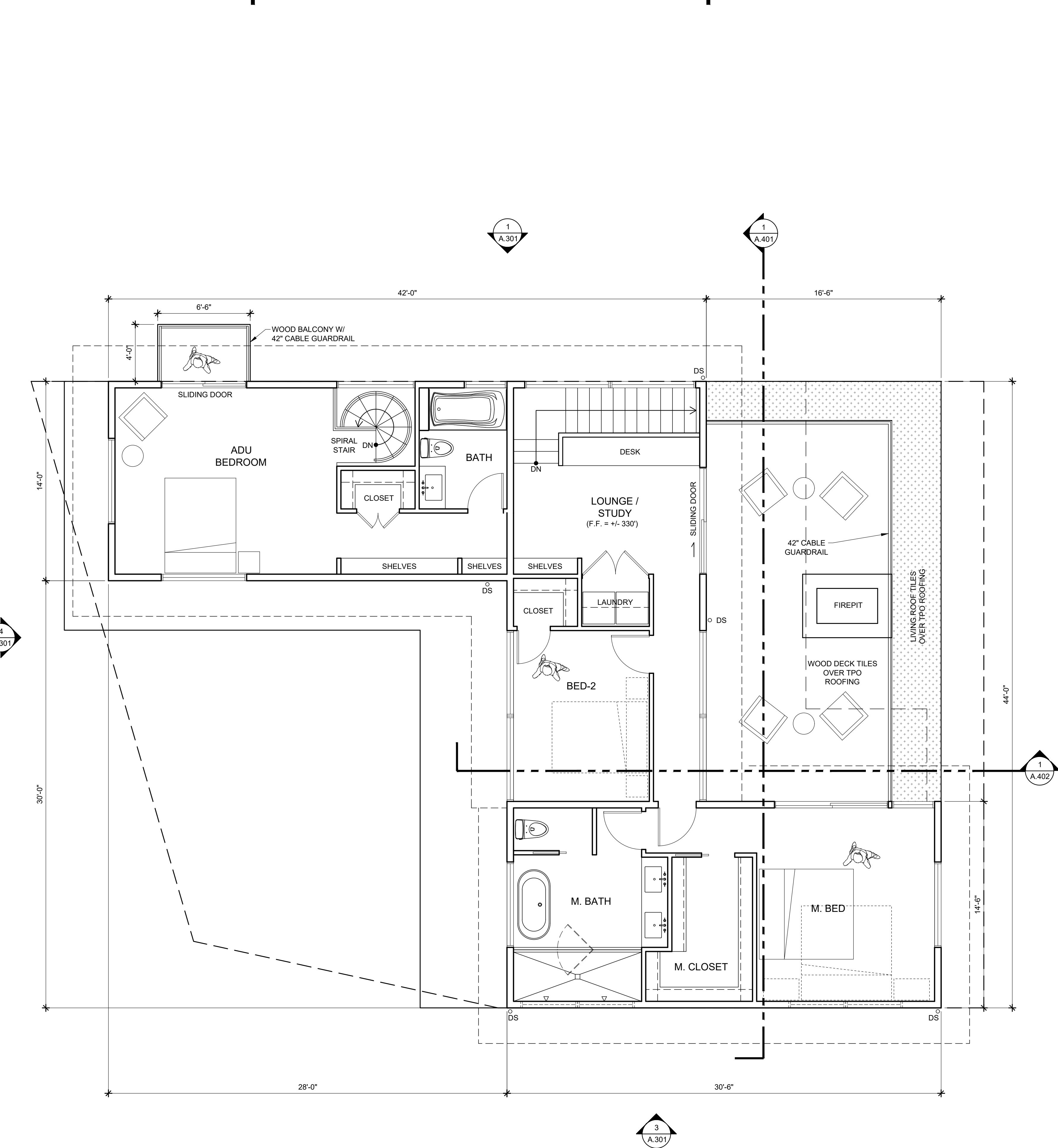
SL AW

9/08/21

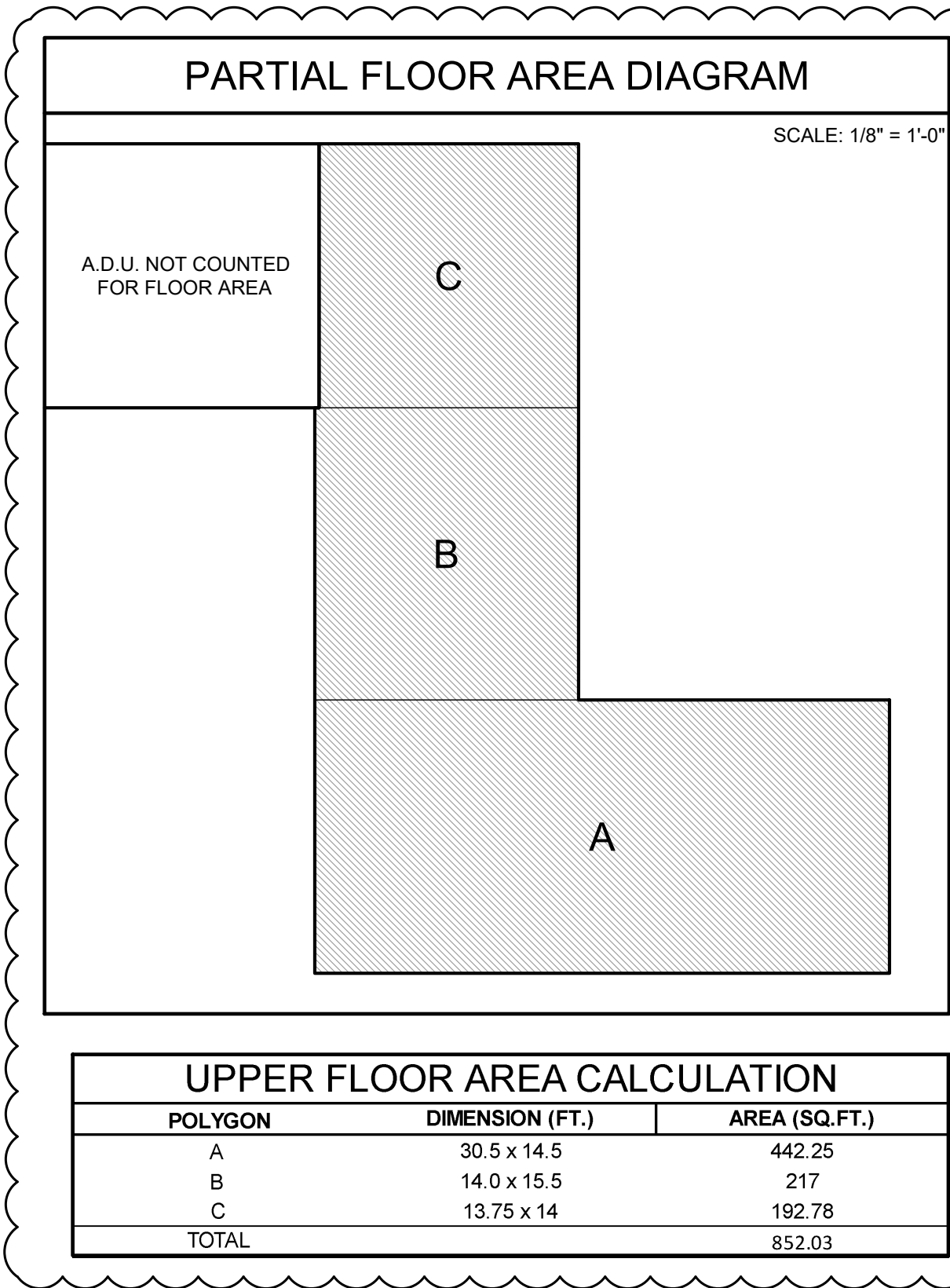
2021/01

AS SHOWN

Sheet: A.201



FLOOR PLAN LEGEND	
	(N) CONSTRUCTION
	APPLIANCE / PLUMBING FIXTURE CALL OUT
	DOOR CALL-OUT, SEE SCHEDULE ON SHT A.002
	WINDOW CALL-OUT, SEE SCHEDULE ON SHT A.002
	DETAIL NUMBER SHEET WHERE OCCURS
	VIEW DIRECTION SECTION NUMBER SHEET WHERE OCCURS



UPPER LEVEL FLOOR PLAN

RESIDENCE LIVING AREA: 852 SF
ADU LIVING AREA: 395 SF

SCALE: 1/4" = 1'-0"



Project: CONRAD RESIDENCE
23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111

Title: UPPER LEVEL FLOOR PLAN

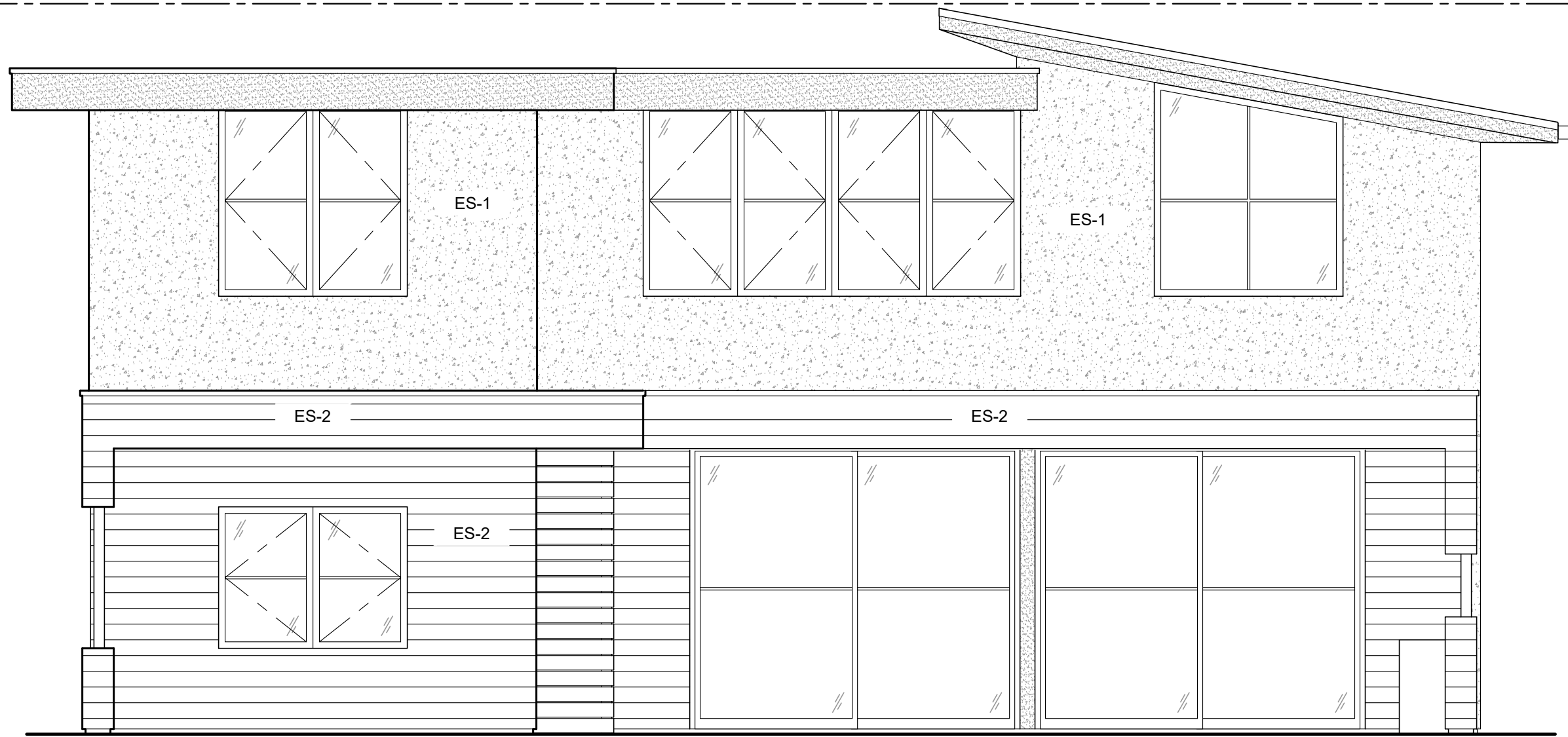
Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21

Designer: SL	SL AW	Date: 9/08/21	Project No.: 202101	Scale: AS SHOWN
Drawn By:				

Sheet: A.202

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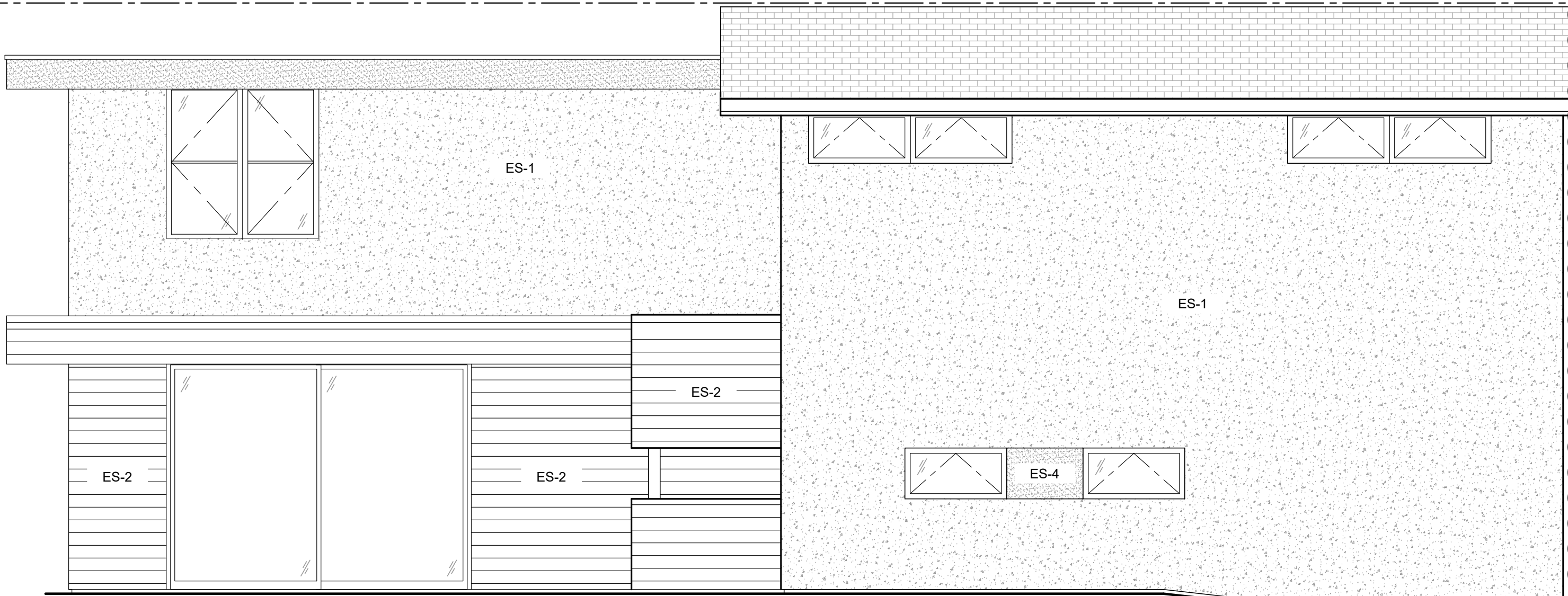
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SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

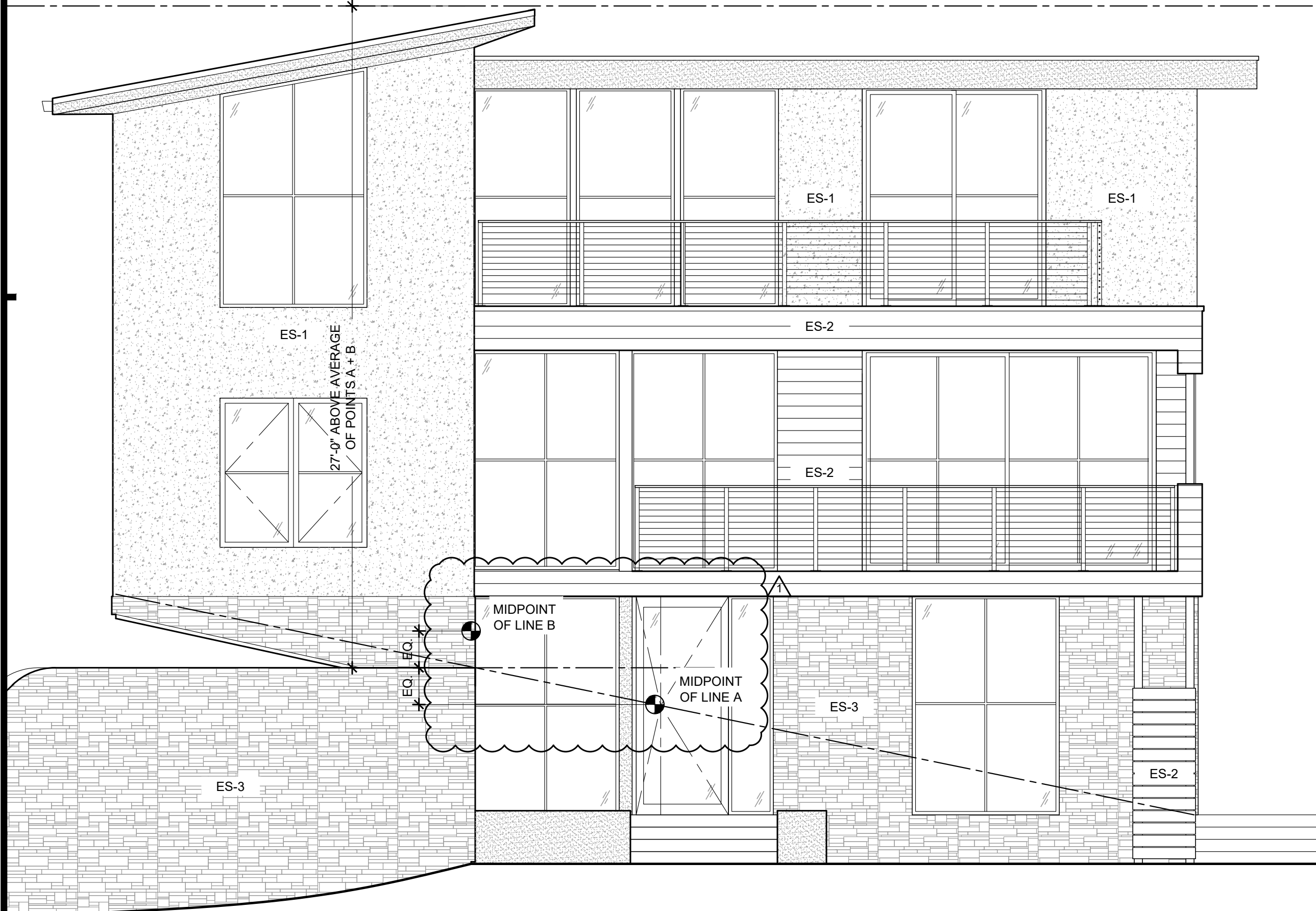
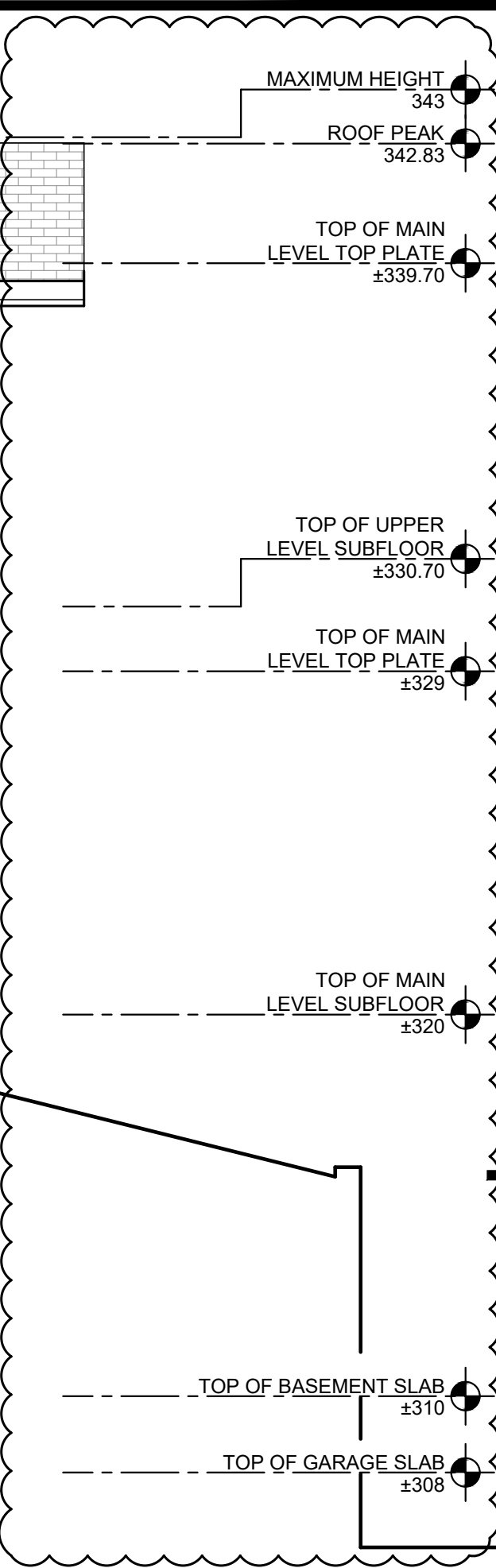
4



EAST ELEVATION

SCALE: 1/4" = 1'-0"

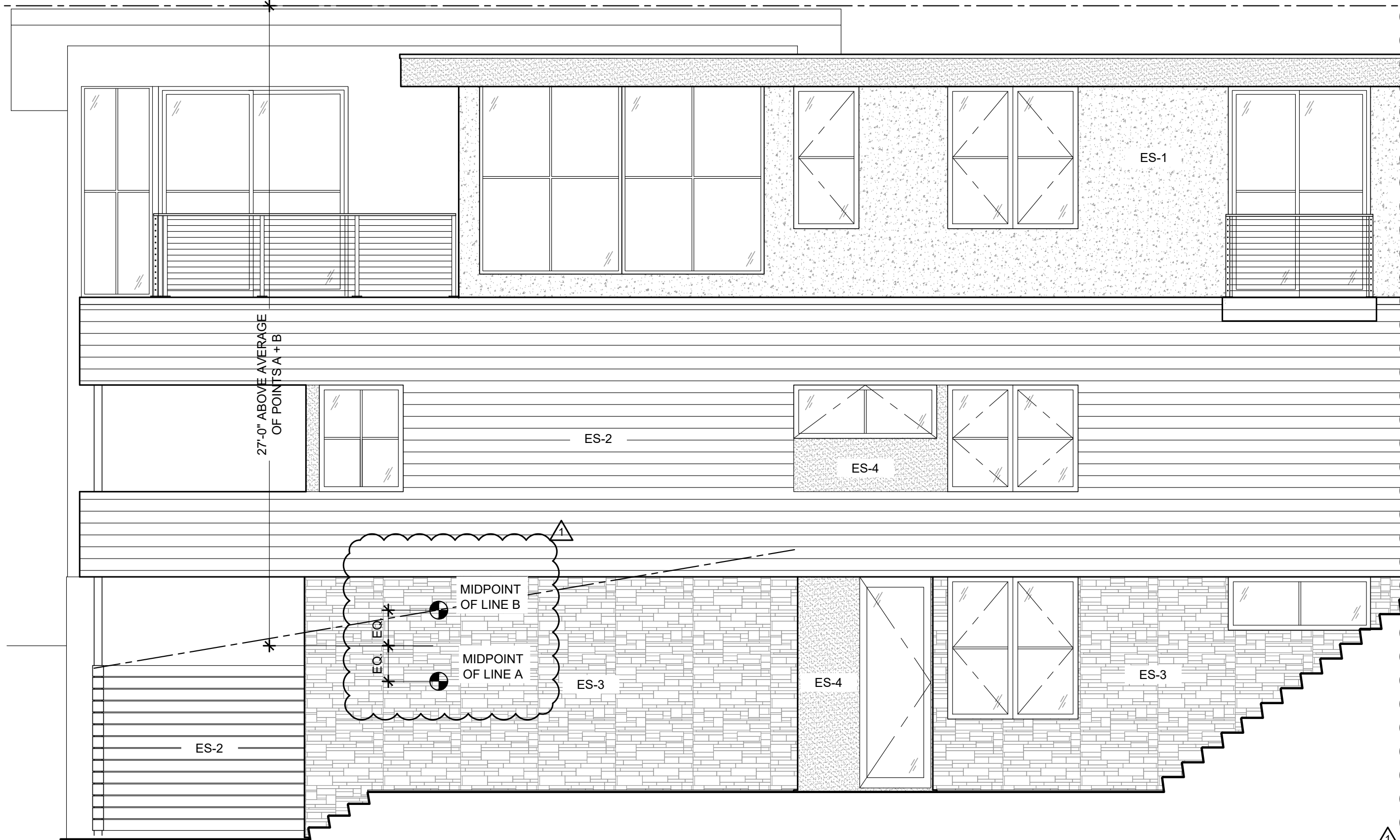
3



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

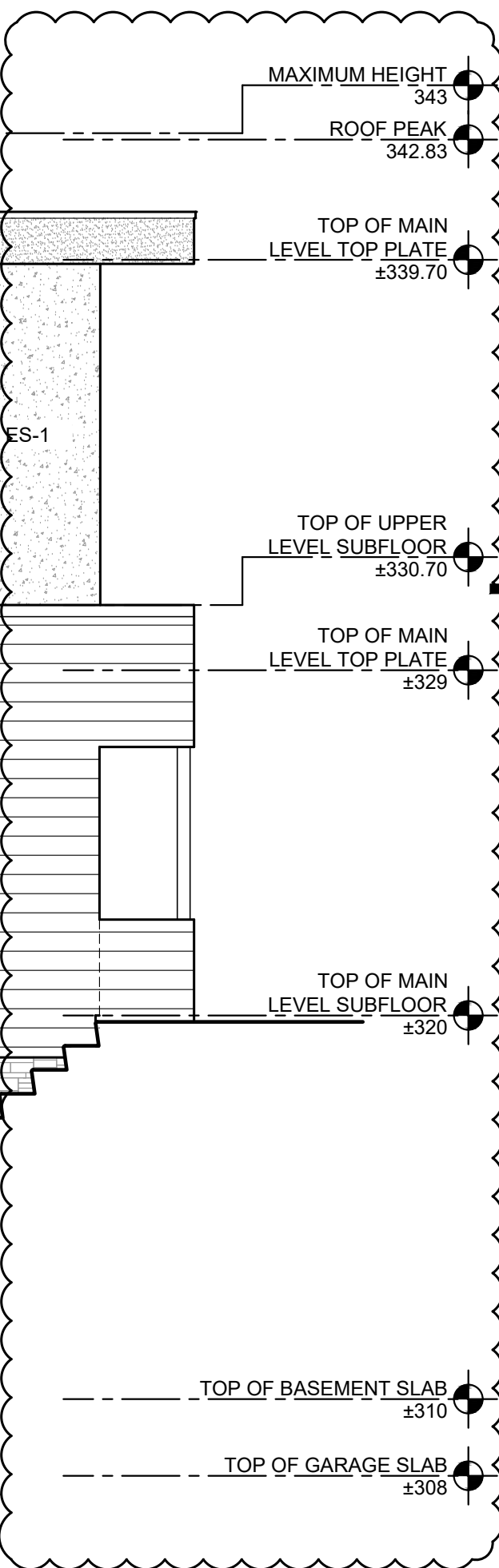
2



WEST ELEVATION

SCALE: 1/4" = 1'-0"

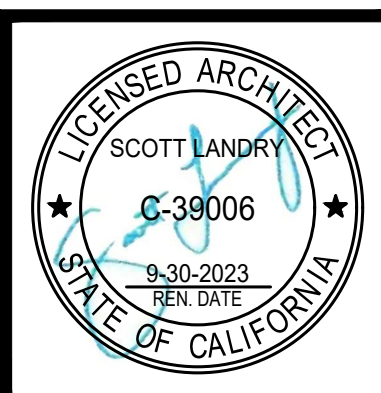
1



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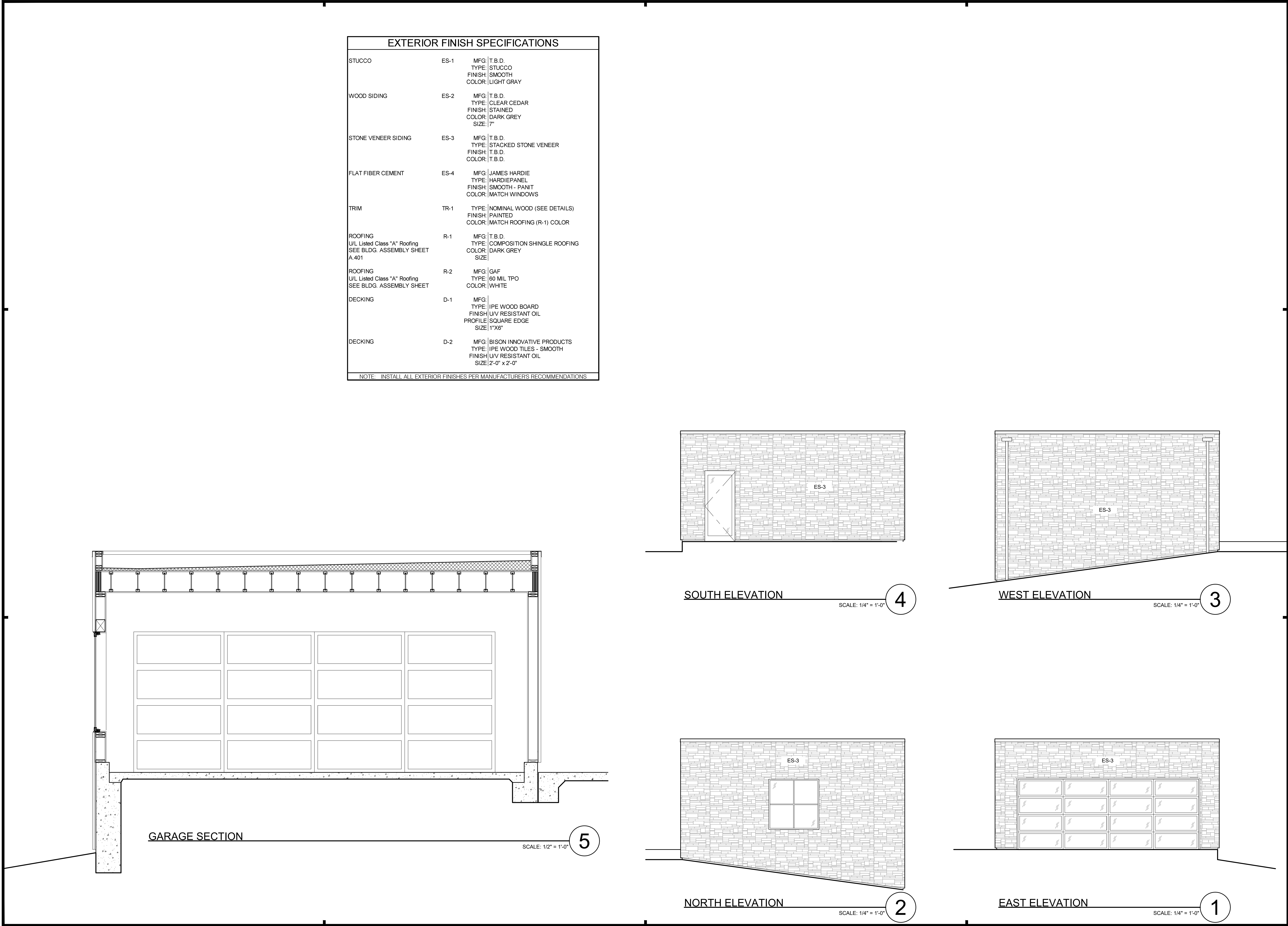
Project: CONRAD RESIDENCE
23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111

Title: EXTERIOR ELEVATIONS

Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21

Designer: SL	SL	AW
Drawn By: SL	AW	9/8/21
Date: 9/8/21	202101	AS SHOWN
Project No.: 202101	Scale:	

Sheet: A.301



EXTERIOR FINISH SPECIFICATIONS			
STUCCO	ES-1	MFG:	T.B.D.
		TYPE:	STUCCO
		FINISH:	SMOOTH
		COLOR:	LIGHT GRAY
WOOD SIDING	ES-2	MFG:	T.B.D.
		TYPE:	CLEAR CEDAR
		FINISH:	STAINED
		COLOR:	DARK GREY
		SIZE:	7"
STONE VENEER SIDING	ES-3	MFG:	T.B.D.
		TYPE:	STACKED STONE VENEER
		FINISH:	T.B.D.
		COLOR:	T.B.D.
FLAT FIBER CEMENT	ES-4	MFG:	JAMES HARDIE
		TYPE:	HARDIEPANEL
		FINISH:	SMOOTH - PANIT
		COLOR:	MATCH WINDOWS
TRIM	TR-1	TYPE:	NOMINAL WOOD (SEE DETAILS)
		FINISH:	PAINTED
		COLOR:	MATCH ROOFING (R-1) COLOR
ROOFING	R-1	MFG:	T.B.D.
U/L Listed Class "A" Roofing		TYPE:	COMPOSITION SHINGLE ROOFING
SEE BLDG. ASSEMBLY SHEET		COLOR:	DARK GREY
A.401		SIZE:	
ROOFING	R-2	MFG:	GAF
U/L Listed Class "A" Roofing		TYPE:	60 MIL TPO
SEE BLDG. ASSEMBLY SHEET		COLOR:	WHITE
DECKING	D-1	MFG:	
		TYPE:	IPE WOOD BOARD
		FINISH:	U/V RESISTANT OIL
		PROFILE:	SQUARE EDGE
		SIZE:	1"x6"
DECKING	D-2	MFG:	BISON INNOVATIVE PRODUCTS
		TYPE:	IPE WOOD TILES - SMOOTH
		FINISH:	U/V RESISTANT OIL
		SIZE:	2'-0" x 2'-0"
NOTE: INSTALL ALL EXTERIOR FINISHES PER MANUFACTURERS RECOMMENDATIONS			