

County of Santa Clara

Department of Planning and Development
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STAFF REPORT
Zoning Administration
March 2, 2023
Item #1

Staff Contact: Robert Cain
(408) 299-5706, robert.cain@pln.sccgov.org

File: PLN21-205
Building Site Approval, Grading Approval, and Special Permit for a new single-family residence with a detached garage in the front yard

Summary: Building Site Approval, Grading Approval, and Special Permit for the construction of a two-story, 2,202-square foot single-family residence, with a 1,469-square foot basement (254 square feet exposed), 772-square foot attached accessory dwelling unit (ADU), and a detached 484-square foot garage located in the front half of the lot on a 6,480-square foot lot. Associated improvements include demolition of the existing swimming pool and creation of a new swimming pool. Grading consists of 890 cubic yards of cut (480 not including cut for structures) and 45 cubic yards of fill.

Owner: Albert G. Conrad Jr. & Daniel Conrad	GP Designation: USA Los Altos Hills
Applicant: Studio 101 Designs	Zoning: R1E-1Ac-n1
Address: 0 Spalding Ave, Los Altos Hills	APN: 331-02-111
Present Land Use: vacant	Lot Size: 6,534 square feet
Supervisory District: #5	HCP: Not in permit area

RECOMMENDED ACTIONS

- A. Accept Categorical Exemptions, under Section 15303(a) of the CEQA Guidelines, Attachment A; and,
- B. Grant a concurrent land use permit for a Building Site Approval, Grading Approval, and Special Permit, subject to Conditions of Approval in Attachment B.

ATTACHMENTS INCLUDED

- Attachment A – Proposed CEQA Determination
- Attachment B – Proposed Conditions of Approval
- Attachment C – Location & Vicinity Map
- Attachment D – Proposed Plans

PROJECT DESCRIPTION

The proposed project is for Building Site Approval, Grading Approval, and Special Permit for a two-story, 2,202-square foot (sq. ft.) single-family residence, with a 1,469-sq. ft. basement (254 sq. ft. exposed), 772-sq. ft. attached accessory dwelling unit (ADU), and a detached 484-sq. ft. garage located in the front half of the lot on a 6,480-sq. ft. lot. Associated improvements include installation of a new driveway from Spalding Avenue, demolition of an existing and construction of a new swimming pool, and landscaping. Proposed grading consists of 890 cubic yards of cut (480 not including cut for structures) and 45 cubic yards of fill, with a maximum vertical depth of 10 feet. The proposal will remove 13 trees, including two oaks and one redwood. One oak tree is to remain. Due to size constraints of the lot, Staff recommends one (1) oak replacement tree to be planted.

Setting/Location Information

The subject parcel is 6,480 sq. ft. and located on Spalding Avenue south (approximately 50 feet) of the intersection of Spalding Avenue and Par Avenue in the San Antonio Hills neighborhood of unincorporated Los Altos Hills. The property is approximately 310 feet from the Los Altos Hills city limits via public roads, and therefore an annexation referral is not required. Spalding Avenue is a County-maintained road. The site is surrounded by single-family residences that were built as early as the 1920's and 1930's and as recently as 2018. The neighborhood character consists of low-density homes of a variety of architectural styles. The subject parcel was not separately developed from 23994 Spalding Avenue prior to May 5, 1998. However, the two (2) parcels have been under different ownership at least since the early 1990's. The site is not located within the Santa Clara Valley Habitat Plan permit area, and a review of the California Natural Diversity Database did not reveal the known presence of any special-status species on site. According to a survey performed by Lea & Braze Engineering, Inc., the average slope of the parcel is 24.51%, with an 11-foot difference in elevation between the edge of pavement and a point 50 feet from the right-of-way.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption under Section 15303(a) of the California Environmental Quality Act (CEQA) for a new single-family residence. As such, an Initial Study and further analysis under the CEQA was not required.

B. Project/Proposal

1. **General Plan:** Urban Service Area, Los Altos Hills
2. **Building Site Approval:** Per County Ordinance Code Section C12-307, Building Site Approval (BSA) is required for new single-family or two-family dwellings, including any property within the R1E-1Ac-n1 zoning district that is not a designated lot within an approved Parcel Map or a numbered lot on a qualifying Tract Map. The proposed project meets all development standards for the primary residence and ADU (see Special Permit Findings in Section D below for discussion of the detached garage). Application for BSA was applied on November 18, 2021, and will be approved simultaneously with the Grading Approval and Special Permit.

3. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for R1E-1Ac-n1 Zoning District, as summarized below, followed by a table noting the project’s conformance with Section 4.20.020 for accessory structures:

Main Residence

Setbacks (R1E-1Ac-n1): 30 feet from the front property line and/or rights-of-way
 25 feet from the rear property line
 20 feet from side property lines, reduced to 8 feet*
Height: 27 feet maximum
Stories: 2 stories maximum
Floor Area Ratio: Not to exceed 0.35 (2,268 sq. ft.)**

* The lot qualifies as for a special setback exception pursuant to § 4.20.110, subsection C, because it is less than 1 acre in size and smaller than the minimum lot size for the zoning district (also 1 acre). Such lots that are between 6,001 and 8,000 sq. ft. in area are allowed reduced side setbacks of 8 feet.

** Up to 800 sq. ft. of area for an ADU shall not count towards the floor area. Any portion of the basement where the finished floor level immediately above is less than 4 feet above the finished grade shall not count towards floor area. All accessory buildings on a lot where the cumulative area of accessory buildings does not exceed 500 sq. ft. shall not count towards floor area.

Table A: Compliance with Development Standards for Accessory Structures

STANDARDS & REQUIREMENTS	CODE SECTION	Meets Standard (Y/N)*
Located in Rear Yard or Minimum 75 Feet from Front Property Line	§ 4.20.020 (E)(5)	N*
Parking Structure on Sloping Lots	§ 4.20.020 (F)(1)	Y*
Height	§ 4.20.020 (E)(1)	Y*
Minimum Separation Between Residence and Accessory Structure	§ 4.20.020 (E)(4)	Y
Rear Yard Coverage	§ 4.20.020 (E)(5)	Y

*See a detailed discussion of these development standards within the body of the Special Permit Findings in Section D below

- C. **Grading Approval:** Pursuant to Section C12-433 of the County Ordinance Code, all Grading Approvals are subject to specific findings. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. **The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.**

The project's grading quantities are 890 cubic yards of cut (480 not including cut for structures) and 45 cubic yards of fill, with a maximum vertical depth of 10 feet. The proposed grading is necessary to establish the primary residence, accessory structure, swimming pool, landscaping, frontage improvements, and access driveway. The property is a relatively steep lot with an average slope of 24.51%. Construction of the detached garage and swimming pool are allowed as accessory uses and ancillary to the primary residence. Given the size constraints of the lot, there are no alternative building sites, and locating the garage near the street (which requires a Special Permit) is one way that grading quantities are minimized. As such, this finding can be made.

2. The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.

The proposed grading will not endanger public or private property. The grading is minimized to maintain a single-family residential use on the property that will provide a safe and stable foundation for the residence and accessory structure proposed. All export will be deposited at an approved site. The Conditions of Approval require that the final grading plans will ensure that grading around the building pads and driveway will not result in slope instability or erosion. Land Development Engineering has specific erosion control standards to be implemented as part of the driveway and grading design. As such, this finding can be made.

3. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.

The proposed grading is designed to contour to the natural topography to the maximum extent possible given the size constraints of the lot. This is, in part, achieved by building into the hillside, with the basement fully exposed at the front (north) of the property and completely underground at the rear (south) end of the property. There are no known biologic or aquatic impacts from this project as there are no watercourses on known occurrences of protected species. Land Development Engineering has specific erosion control standards to be implemented as part of the driveway and grading design which will minimize erosion impacts. As such, this finding can be made.

4. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.

Due to the size of the lot and required setbacks, there are no alternative building sites. The proposed grading is the minimum necessary for the residence, accessory structures, and driveway. Staff determined that the development is consistent to the County's General Plan (R-GD22, R-GD23) as it is the minimal grading needed to establish the single-family residential use. As such, this finding can be made.

5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.

The majority of the grading is necessary for the foundation and basement of the home, the driveway, and the swimming pool, which is ancillary to the residential use. Additionally, due to the size of the lot and required setbacks, there are no alternative building sites. The site is not visible, so grading will not create a significant visual scar. As such, this finding can be made.

6. Grading conforms with any applicable general plan or specific plan; and

The proposed grading is in conformance with specific findings and policies identified in the County General Plan. Due to the size of the lot and required setbacks, there are no alternative building sites, and establishing a single-family residence is an allowed use in this zoning district. The project is consistent with the County's General Plan R-GD22 and R-GD24 (see Finding 4 above), which encourages only the minimal grading necessary to establish a single-family residence. As such, this finding can be made.

7. Grading substantially conforms with the adopted "Guidelines for Grading and Hillside Development" and other applicable guidelines adopted by the County.

The proposed grading is in conformance with the adopted "Guidelines for Grading and Hillside Development," in particular, the specific guidelines for grading, siting, building form, and design. The overall grading design of the residence, accessory structure, and pool will not create any visual scarring to the property as the site is not visible, and the improvements are limited to their location by the setbacks for the house and the slope for the detached garage. There will not be any impact to biological resources as there is no indication of protected species on this parcel. Therefore, this finding can be made.

- D. **Special Permit:** In addition to specific findings identified in Section B above, garages located in the front half of the lot are also subject to a Special Permit (Chapter 5.60). In the following discussion, the scope of review findings for a Special Permit are delineated in **bold** type, and an explanation of how the project meets the required findings is in plain text below. The Zoning Administrator is required to make these findings to approve the project.

Special Findings for Parking Structures on Sloping Lots: In addition to the Special Permit Findings of Section 5.60.030, two (2) additional findings shall be made by the Zoning Administration Hearing Officer. In the following discussion, the Special Findings are delineated in bold type, and an explanation of how the project meets the required findings is in plain text below.

- a. **There are no available, practical, or feasible alternative sites for a parking structure that would conform to setbacks;**

Due to the narrow nature of the lot along with the steep slope, it would not be practical to locate the detached garage in the rear yard due to the large amount of

grading that would be required to extend the drive to the rear of the house and maintain an acceptable slope. Such a driveway to the rear yard would also greatly reduce the development area, which is already constrained due to the lot being a substandard size for this zoning district. Therefore, this finding can be made.

b. The garage location minimizes grading, or minimizes impacts to trees or other natural features;

Placing the garage near the right-of-way greatly reduces the required grading compared to a location in the rear yard, and the proposed location does not disturb a nearby 19-inch oak tree. Therefore, this finding can be made.

1. The proposed use conforms with the general plan, with the zoning ordinance, and with all standards applicable to the proposed use that have been adopted by the Planning Commission or Board of Supervisors;

As identified from Table A, the proposed development meets all general plan and zoning ordinance standards applicable to residential use, except for location in the front yard (allowed via a Special Permit) and the height, discussed in more details below. The proposed detached garage is located on a slope which cuts across the frontage of the property. The proposed driveway is designed to connect to Spalding Avenue on the east side of the property, near the highest point of the frontage. The proposed driveway intersection is perpendicular to the road, and then swings 90 degrees to the west to where the garage is proposed to be located. At that point, the “front” (east-facing side) of the garage is proposed to be 10 feet, 5 inches tall above the driveway and finished grade facing the street. However, as the lot slopes downward to the west, with a flat roof the “rear” (west-facing side) of the garage is proposed to have a height of 13 feet, 8 inches. § 4.20.020, Subsection F of the Zoning Ordinance allows for a height exception when the parking structure is on land that slopes downward from the street. This lot does not “slope downward from the street” but does slope downward from the driveway. Staff postulates that the proposed design meets the intent of this requirement, and notes that the building height is less than 12 feet at the front (entry) portion of the building. Alternatively, there could be additional grading added to raise the finished grade at the rear of the garage, but that would evoke other issues related to minimizing grading. The applicant has already reduced the height of the roof and has stated that further reduction would impair the functionality of this garage. Additionally, as shown on the site plan the proposed garage is a minimum of six (6) feet in separation from the primary residence, is less than 600 sq. ft. in size, and The Roads and Airports Department did not note any impairment to sight clearance for traffic safety. Therefore, the above finding can be made.

2. The site is adequate for the proposed use, including but not limited to being of adequate size and shape to accommodate all facilities and development features to integrate the use into the surrounding area and to provide any necessary or appropriate buffers between the use and the surrounding area;

The site is adequate to accommodate the proposed detached garage. The subject site is approximately 6,480 sq. ft. and the proposed detached garage satisfies the requirements

for the special setbacks given the sloped nature of the lot. As such, the area of the property and the location of the proposed structure offers adequate separation and existing landscaping provides a buffer between the proposed use and the surrounding uses to the adjacent properties. Therefore, this finding can be made.

3. The proposed use will not be detrimental to the public health, safety, or general welfare. In this respect the zoning administrator shall further find, without limitation, that:

a. Adequate off-street parking, loading and unloading areas (if applicable) and handicapped access will be provided;

The property has ample space for off-street parking with proposed detached garage able to accommodate the required minimum one (1) covered parking space per County Zoning Ordinance Section 4.30.030. Therefore, this finding can be made.

b. Appropriately designed site access will be provided, including safe and adequate access for fire and emergency vehicles (including secondary access where deemed necessary by the fire marshal);

The driveway is less than 150 feet in length, and therefore does not require a firetruck turnaround or turnouts. Secondary access is not necessary as this property is located on a residential street grid and is not in the State Responsibility Area nor the Wildland Urban Interface. Fire sprinklers will be installed for the single-family residence and attached ADU during the Building Permit application phase as indicated on the submitted plans (Attachment D). The detached garage does not require fire sprinklers because it is less than 500 square feet in size and not a residential unit. As stated, this finding can be made.

c. The use will not adversely affect water quality. Adequate wastewater treatment, disposal and sanitation facilities will be provided and will satisfy all applicable local, state and federal requirements;

As a Condition of Approval (refer to Attachment C), the applicant will be required to obtain either a sewer will serve letter or provide a sewer connection permit from the City of Los Altos for the single-family residence and attached ADU. The detached garage will not have bathroom facilities and will not require a sewer connection. Therefore, this finding can be made.

d. The use will not be detrimental to the adjacent area because of excessive noise, odor, dust or bright lights;

The detached garage would not create noise, odor, dust, or excessive light impacts. Furthermore, residential, and accessory uses shall be subject to the County Noise Ordinance. Therefore, this finding can be made.

e. The use will not substantially worsen traffic congestion affecting the surrounding area;

The detached garage will not create any additional traffic as the use continues to be residential. Therefore, this finding can be made.

f. Erosion will be adequately controlled; and

Standard conditions and BMP's will be required through building permit review. Therefore, this finding can be made.

g. Adequate storm drainage management exists or will be provided and will comply with all applicable local, state and federal requirements.

The Special Permit by itself would not trigger the requirement of a Drainage Permit. However, the overall project has been reviewed and conditioned by Land Development Engineering to comply with all local, state, and federal requirements. Therefore, this finding can be made.

In conclusion, Staff recommends the Zoning Administration Hearing Officer to approve the concurrent land use entitlements for a Building Site Approval, Grading Approval, and Special Permit. As noted throughout the Staff Report, the proposed project meets all development standards for the single-family residence (as noted in the Zoning Standards above) and all the findings for Building Site Approval, Grading Approval, and Special Permit.

BACKGROUND

On November 18, 2021, the applicant, Studio 101 Designs, applied for Building Site Approval, Grading Approval, and Special Permit to construct a two-story, single-family residence, with a basement, attached ADU, and a detached garage located in the front half of the lot on a 6,480-square foot lot. The owner intends to demolish the existing pool and shed on the lot. The application was deemed incomplete on December 16, 2021, as there were missing items from the original submittal and staff also had comments related to the project. The applicant resubmitted on October 3, 2022, and was deemed complete on November 2, 2022. The Applicant and Staff mutually agreed to a one-time, 90-day extension under the Permit Streamlining Act on November 16, 2022, in order to allow the applicant time to address design concerns raised by Staff. As such, the Permit Streamlining Act deadline for a decision on this application is April 18, 2023.

A public notice was mailed to all property owners within a 300-foot radius of the project on February 16, 2023, and published in the Post Records on February 17, 2023. As of writing this report no public comments have been received regarding this application.

STAFF REPORT REVIEW

Prepared by: Robert Cain, Associate Planner

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Robert Cain
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Reviewed by: Lara Tran, Senior Planner

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Lara Tran
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Reviewed and Approved by: Samuel Gutierrez, Principal Planner

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ATTACHMENT A

Proposed CEQA Determination

County of Santa Clara

Department of Planning and Development

County Government Center, East Wing, 7th Floor

70 West Hedding Street

San Jose, CA 95110

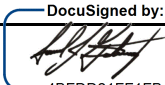
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www.sccplandev.org



STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

FILE NUMBER	APN(S)	DATE
PLN21-205	742-02-006	2/22/2023
PROJECT NAME	APPLICATION TYPE	
Conrad Residence; 0 Spalding Avenue, Los Altos Hills	BSA, Grading Approval, Special Permit	
OWNER	APPLICANT	
Albert G Conrad, Jr, Trustee & et al	Scott Landry, Studio 101 Designs	
PROJECT LOCATION		
0 Spalding Avenue, Los Altos Hills		
PROJECT DESCRIPTION		
<p>Construction of a two-story, 2,202-square foot single-family residence, with a 1,469-square foot basement (254 square feet exposed), 772-square foot attached accessory dwelling unit (ADU), and a detached 484-square foot garage located in the front half of the lot on a 6,480-square foot lot. Associated improvements include demolition of the existing swimming pool and creation of a new swimming pool. Grading consists of 890 cubic yards of cut (480 not including cut for structures) and 45 cubic yards of fill.</p> <p>All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.</p>		
CEQA (GUIDELINES) EXEMPTION SECTION		
<p>Categorically Exempt – Section 15303(a) – for one single-family residence, with associated utility extensions and street improvements to serve this construction. This project plan is covered by the Habitat Conservation Plan (HCP), and therefore all onsite construction and offsite improvements to the bridge are included activities. The applicant will submit an HCP application and pay the appropriate fees, prior to building and grading permit issuance. This project conforms to the provisions of the County’s Habitat Conservation Plan, as such and can be Categorically Excepted from CEQA understand section 15303(a)</p>		
COMMENTS		
<p>APPROVED BY: Samuel Gutierrez, Principal Planner</p>		
<p>DocuSigned by:  4BFDD24FF1FB4D2..... Signature</p>		<p>2/22/2023 Date</p>

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ATTACHMENT B

Proposed Conditions of Approval

Preliminary Conditions of Approval

Owner/Applicant: Daniel Conrad/Studio 101 Designs
Location: 0 Spalding Avenue (APN: 331-02-111)
File Number: PLN21-205
Project Description: Building Site Approval, Grading Approval, and Special Permit for the construction of a two-story, 2,202-square foot single-family residence, with a 1,469-square foot basement (254 square feet exposed), 772-square foot attached accessory dwelling unit (ADU), and a detached 484-square foot garage located in the front half of the lot on a 6,480-square foot lot. Associated improvements include demolition of the existing swimming pool and creation of a new swimming pool. Grading consists of 890 cubic yards of cut (480 not including cut for structures) and 45 cubic yards of fill. This project is located outside of the Santa Clara Valley Habitat Plan permit area.

Agency	Name	Phone	E-mail
Planning	Robert Cain	(408) 299-5706	robert.cain@pln.sccgov.org
Land Development Engineering	Darrell Wong	(408) 299-5735	darrell.wong@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 918-3435	darrin.lee@cep.sccgov.org
Fire Marshal's Office	Alex Goff	(408) 299-5760	alex.goff@sccfd.org
Roads and Airports	Tom Esch	(408) 573-2450	tom.esch@rda.sccgov.org

STANDARD CONDITIONS OF APPROVAL

Building Inspection

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at www.sccbuilding.org.

Planning

2. Development must take place according to approved architectural and grading plans prepared by Studio 101 Designs (dated February 14, 2023), and the Conditions of Approval.
3. Changes to the design or size of the house, detached garage, or to the grading quantities, may require a modification of this land use entitlement and/or additional environmental review under the California Environmental Quality Act, which may require a public hearing.

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4. Existing zoning is R1E-1Ac-n1 (One-Family Residence – Estate district with one-acre lot size and Los Altos Neighborhood Preservation combining districts). Maintain the following minimum residential setbacks:

Front:	30 feet
Sides:	20 feet
Rear:	25 feet
Height:	27 feet (maximum)
Stories:	2 (maximum)

Pursuant to Section 4.20.110 of the County Zoning Ordinance (ZO), this property is allowed a reduced side yard setback of 8 feet based on the lot size.

5. This property is subject to a floor area ratio (FAR) maximum of 0.35 of the lot size, pursuant to Section 3.40.030 of the ZO. Floor area shall include:
- The gross floor area (defined in Section 1.30.030 of the ZO) of dwellings;
 - A cumulative total of 800 square feet for all accessory dwelling units (ADU) on a lot shall not count toward floor area.
 - Any exposed portions of basements where finish floor level immediately above is more than four (4) feet above grade. Window wells, as defined and required for egress by the California Building Code (CBC) or California Residential Code (CRC), shall be limited to 10% above the minimum dimensions required by the CBC and CRC, and;
 - All accessory buildings on any lot where the cumulative area of accessory buildings exceeds 500 square feet.

Floor area calculations shall be noted on building permit site plans. These computations must be calculated, verified, signed and stamped by a registered civil engineer, a licensed land surveyor, or a licensed architect.

6. Two (2) off-street parking spaces are required for the residence; one (1) must be covered pursuant to Section 4.30.030 of the ZO.
7. Any detached accessory structures, excepting a detached garage approved with a Special Permit, shall be in the rear half of the lot, or at least 75 feet from the front property line or edge of right-of-way, and shall not exceed 12 feet in height pursuant to Section 4.20.020(D) of the ZO. Rear yard coverage of cumulative detached accessory structures shall not be more than 30%, which excludes green houses or agricultural structures.
8. Any accessory structures shall not contain more than two (2) internal plumbing fixtures per Section 4.20.020(I)(1) of the ZO. An application for a Special Permit and associated fees may be required if additional plumbing fixtures are proposed.
9. One ADU is allowed and shall be limited to 1,200 square feet in floor area pursuant to Section 4.10.015(D)(1) of the ZO; One Junior ADU is allowed and shall be contained

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entirely within a single-family residence or a standard accessory dwelling unit, requires a deed restriction of owner occupancy on the property, and limited to 500 square feet in floor area pursuant to Section 4.10.015(F) of the ZO.

10. An ADU or Junior ADU shall not exceed 16 feet in height unless it complies with the residential setbacks noted in Condition No. 4 pursuant to Section 4.10.015 of the ZO.
11. An ADU shall have at least one (1) parking space, which does not need to be covered pursuant to Section 4.10.015(I) of the ZO.
12. If archaeological resources or human skeletal remains are discovered during construction, work shall immediately stop, and the County Coroner's Office notified. Upon determination that the remains are Native American, no further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs, in accordance with state law and Chapter B6-18 of the County Ordinance Code.

Land Development Engineering

13. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to adjoining property.

Department of Environmental Health

14. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

Fire Marshal's Office

15. Fire protection water system shall be installed, functioning and inspected **prior to approval of the foundation**. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.

Roads and Airports

16. A Tree Removal Approval Board of Supervisor process is required prior to any tree removal, replacement, or relocation within the County right-of-way (ROW). A tree within the ROW requiring removal approval is any tree at least 20 feet in height or at least 12 inches in diameter measured 4.5 feet above grade. The process for obtaining approval for a tree removal and the forms that are required can be found at:

www.countyroads.org > Services > Apply for Permits > Tree Removal from County Right-of-Way.

**CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO DEVELOPMENT
PERMIT ISSUANCE**

Planning

17. **Prior to the issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
18. **Prior to the issuance of a building permit**, and pursuant to ZO Section 5.20.125, record a "Notice of Permit and Conditions" with the County Office of Clerk-Recorder, to ensure that successor property owners are made aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit application**.
19. LANDSCAPE PLAN: If landscaping of over 500 square feet is proposed, submit a landscape plan (including irrigation systems), prepared and stamped by a licensed landscape architect **prior to issuance of the building permit**. The landscape plan shall emphasize native plant species and shall be designed to meet the County's Model Water Efficient Landscape Ordinance (MWELo) requirements. A tree permit will be required for the removal of any trees within the County right-of-way (refer to Condition No. 16). Additionally, to replace the trees required to be removed on this property outside of the right-of-way, one native-species oak shall be planted and maintained on the property.
- A. One tree (any native-species oak, 24" box) must be included in the submitted landscaping plan and site plan. Should this tree be damaged or diseased, it shall be replaced like for like, or with a substitution approved by the County Planning Division.
- B. The requirements of Division B33 of the County Ordinance Code (Water Conservation in Landscaping) shall apply. In particular:
- i. Landscape water efficiency must be demonstrated by utilizing any one of the three options provided in Section B33-5: Demonstration of Landscape Water Efficiency.
 - ii. Landscape design must comply with all applicable standards and criteria of Section B33-6: Water-Efficient Design Elements.
 - iii. Landscape and irrigation plans must comply with all applicable standards and criteria of Section B33-8: Landscape and Irrigation Design Plans. The landscape ordinance and supporting information can be found on the Planning Office web site:
www.sccplanning.org > Plans and Ordinances > Landscape Ordinance
- C. Elective landscape, if any, shall consist of a variety of landscape material types (i.e. large/small trees, shrubs, forbs, vines/ivy, and ground cover) of varying species. Canopy trees shall, for the purposes of this condition, mean deciduous or evergreen trees of a species whose height and spread at maturity normally exceeds 35 feet, and shall not include palms (family Areaceae or Palmae).
- D. Soil must be capable of supporting the proposed installation and must have adequate water storage capacity. Soil characteristics, including structure, texture, percolation, pH,

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 March 2, 2023

mineral content, and microbiology, shall be evaluated early in the design process. Soil amendments, such as compost or fertilizer, shall be added as appropriate.

Land Development Engineering

20. Obtain a Grading Permit from Land Development Engineering (LDE) **prior to beginning any construction activities**. Issuance of the grading permit is required **prior to LDE clearance of the building permit** (building and drainage permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required can be found at the following web page:

<https://plandev.sccgov.org/home> > How to > Apply for a Development Permit or Planning Application > Grading Permit

If the County Roads and Airports Department provides a condition of approval to obtain an encroachment permit, for your convenience, the grading and encroachment permits will be processed concurrently under one set of improvement (grading) plans.

21. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.

22. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures, and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:

§ Standard Details Manual, September 1997, County of Santa Clara, Roads and Airports Department

<https://countyroads.sccgov.org/home> > Do Business with Us > County Standard Details, Specifications and Documents

§ March 1981 Standards and Policies Manual, Volume 1 (Land Development)

<https://www.sccgov.org/sites/dpd/OrdinancesCodes/LDE/Pages/LDE.aspx>

§ 2007 Santa Clara County Drainage Manual

https://www.sccgov.org/sites/dpd/DocsForms/Documents/DrainageManual_Final.pdf

23. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified, and noted on the plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed **prior to construction** and new monuments shall be set **prior to final acceptance of the improvements**. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
24. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period. Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
25. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.
26. Provide landscaping and disturbed area quantities on the final plans along with water efficiency calculations to demonstrate compliance with water usage requirements.

Drainage

27. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.

Utilities

28. All new on-site utilities, mains, and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

Stormwater Treatment – San Francisco Bay

29. Include one of the following site design measures per the 2015 Municipal Regional Permit in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway,

Building Site Approval, Grading Approval, and Special Permit
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walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design. For additional information, please refer to the C.3 Stormwater Handbook (June 2016) available at the following website:

www.scvurppp.org > Elements > New Development and Redevelopment > C.3 Stormwater Handbook (June 2016)

Soils and Geology

30. Submit **one copy** of the signed and stamped geotechnical report for the project.
31. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendations in the above geotechnical report have been incorporated into the improvement plan.

Department of Environmental Health

32. For the proposed single-family dwelling and ADU, obtain either a sewer will serve letter or provide a sewer connection permit from the City of Los Altos.
33. For the proposed single-family dwelling and ADU, obtain and provide a water will serve letter from California Water Service, Los Altos District.

Fire Marshal's Office

Fire-Flow

34. The minimum fire-flow shall be 1,750 gpm at 20 psi. **At the time of plan submittal for building permit**, provide written verification from the water company that this condition can be satisfied.
NOTE: The fire-flow may be adjusted depending upon the final size of the structure shown on the building permit set of drawings to meet Appendix B of the CFC.

Fire Department Access

35. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.
36. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained at all times. Construction of access roads and driveways shall use good engineering practice.

Building Site Approval, Grading Approval, and Special Permit
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37. Access Roads (roads serving more than two lots) Driveways (roads serving no more than two lots) for fire department access shall comply with the following:
- A. Width: Access Roads to have a clear drivable width of 18 ft. plus a 3 ft. shoulder on each side per CFMO-A1. Driveways are to have a 12 ft. drivable width and a 3 ft. shoulder.
 - B. Vertical Clearance: Minimum vertical clearance of 15 ft. shall be maintained between the access road and the building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements) for access roads and 13 ft. 6 in for driveways.
 - C. Curve Radius: Inside turn radius for curves shall be a minimum of 42 ft.
 - D. Grade: Maximum grade shall not exceed 15%.
 - E. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000-pound gross vehicle weight
 - F. Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.
 - G. Address: Numbered address to be easily recognizable from the street.

Roads and Airports

38. Obtain a Santa Clara County Roads and Airports Department Encroachment Permit for the following improvements:
- a. Improvement of the property's frontage to achieve Spalding Avenue minimum 18' drivable width.
 - b. Utility connections.
 - c. Installation of the driveway approach to County Standard B/4.
 - d. Removal of the wood retaining wall.
 - e. Removal of any vegetation or other obstructions necessary to provide adequate line-of-sight at the driveway approach location.

The process for obtaining an Encroachment Permit and the forms that are required can be found at: www.countyroads.org > Services > Apply for Permits > Encroachment Permit. building site.

39. Demonstrate that the post-development maximum flow rate into the County Road right-of-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any detention or retention system necessary to satisfy this requirement.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL INSPECTION

Planning

40. **Prior to final inspection**, contact Robert Cain in the Planning Division, **at least two (2) weeks in advance** to schedule a site visit to verify the replacement tree has been installed as approved. Provide a receipt for the purchase of the tree.

Land Development Engineering

41. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
42. Construct the improvements. Construction staking is required and shall be the responsibility of the developer.

Department of Environmental Health

43. Provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

Fire Marshal's Office

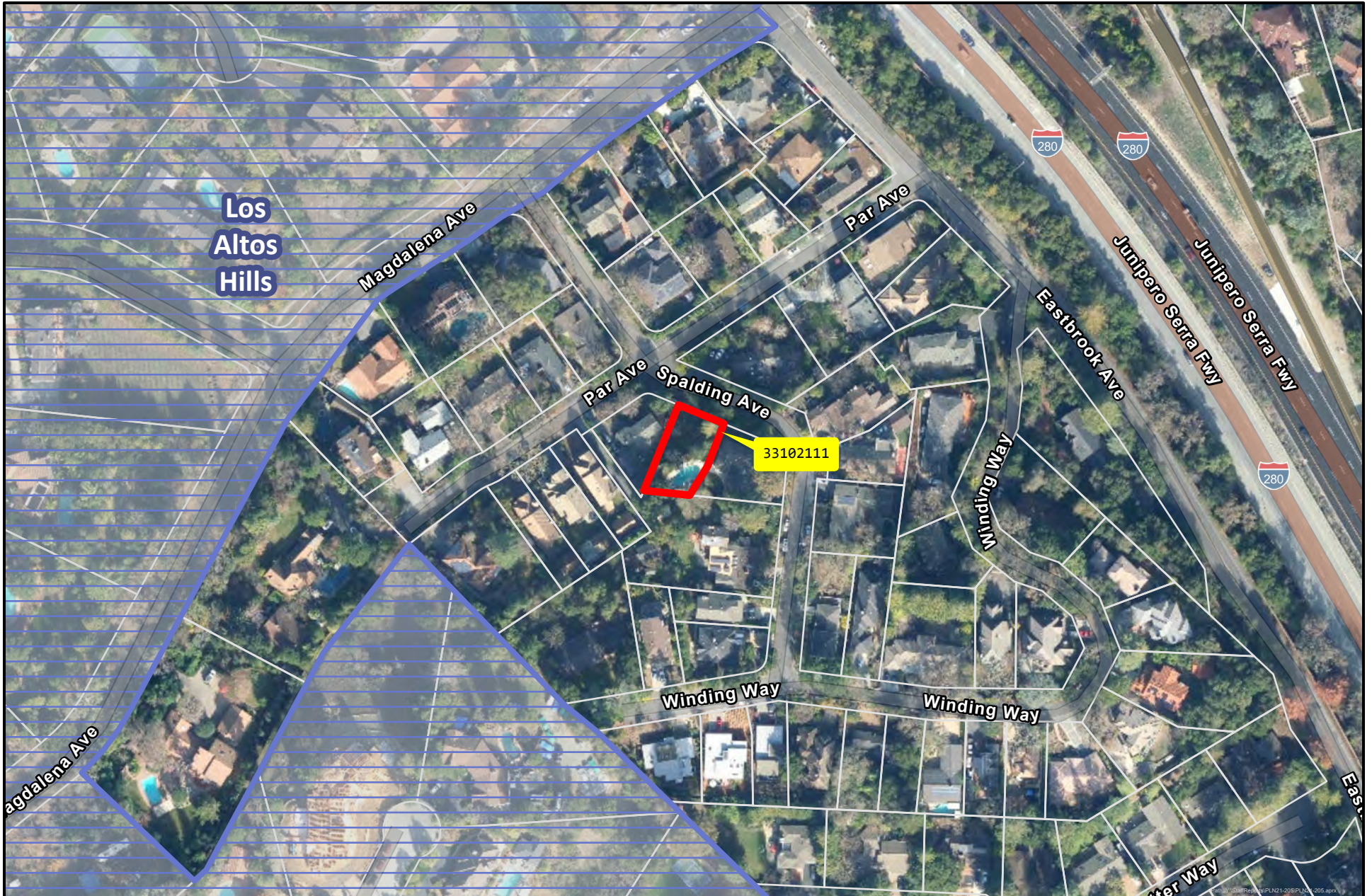
44. An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure.
NOTE: The fire sprinkler system shall be installed and finalized by this office **prior to occupancy**. A separate permit shall be obtained from this office by a state licensed C-16 contractor **prior to installation**. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by the Fire Marshal's Office.

Roads and Airports

45. Construct all the improvements approved under the Encroachment Permit.

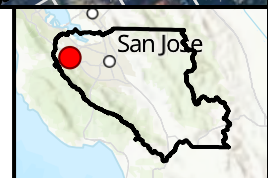
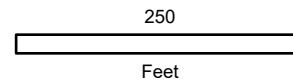
ATTACHMENT C

Location & Vicinity Map



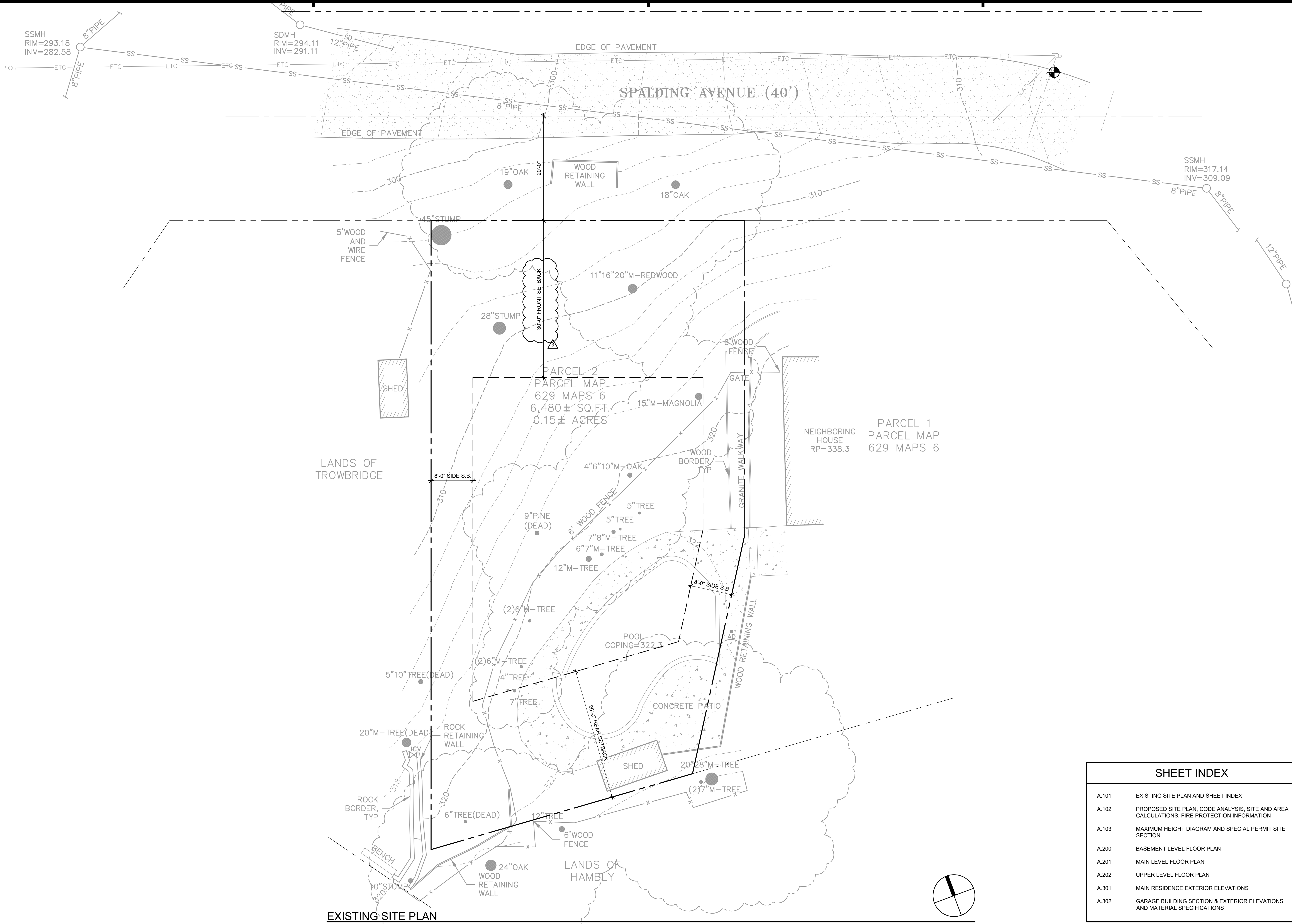
Location and Vicinity Map

Record No. PLN21-205
APN 331-02-111

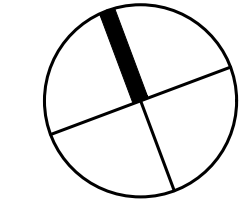


ATTACHMENT D

Proposed Plans



EXISTING SITE PLAN



SCALE: 1/8" = 1'-0"

SHEET INDEX	
A.101	EXISTING SITE PLAN AND SHEET INDEX
A.102	PROPOSED SITE PLAN, CODE ANALYSIS, SITE AND AREA CALCULATIONS, FIRE PROTECTION INFORMATION
A.103	MAXIMUM HEIGHT DIAGRAM AND SPECIAL PERMIT SITE SECTION
A.200	BASEMENT LEVEL FLOOR PLAN
A.201	MAIN LEVEL FLOOR PLAN
A.202	UPPER LEVEL FLOOR PLAN
A.301	MAIN RESIDENCE EXTERIOR ELEVATIONS
A.302	GARAGE BUILDING SECTION & EXTERIOR ELEVATIONS AND MATERIAL SPECIFICATIONS

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Project: CONRAD RESIDENCE
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 Title: EXISTING SITE PLAN

Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21
2	AW	PLANNING REVIEW	7/6/22
3	SL	PLANNING COMMENTS	2/15/23

Designer: SL
 Drawn By: SL, AW
 Date: 2/14/23
 Project No.: 202101
 Scale: AS SHOWN

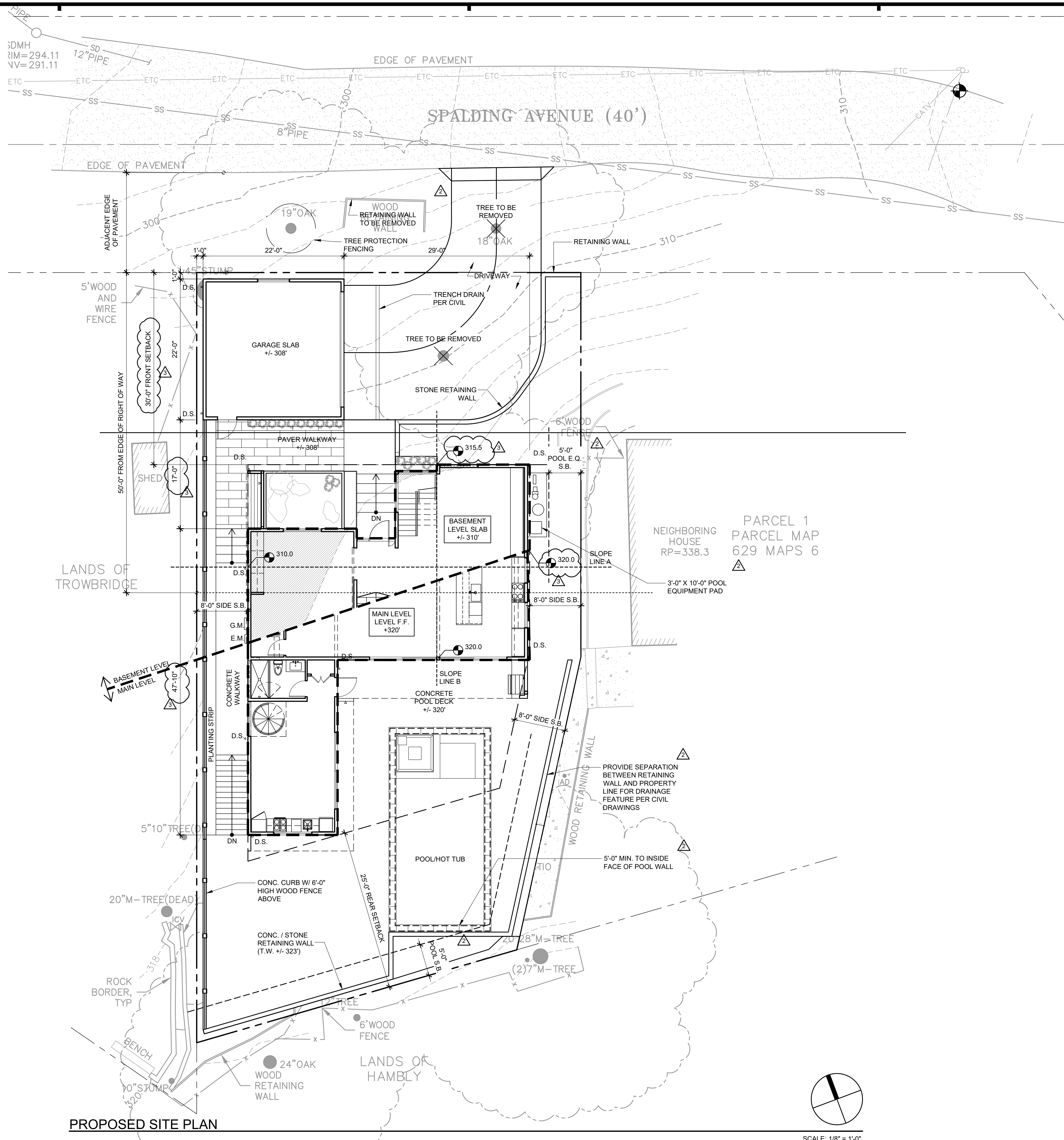
Sheet: A.101

All drawings and written material appearing herein constitute original and unpublished work of the architect and may not be duplicated, used or disclosed without the written consent of the architect.

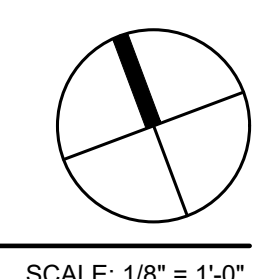
FLOOR AREA CALCULATION	
MAIN RESIDENCE TOTAL:	2202.29
BASEMENT (SHADED PORTION ON PLANS)	253.55
MAIN LEVEL	1092.12
UPPER LEVEL	856.62
ADU TOTAL:	771.76
ADU MAIN LEVEL	385.88
ADU UPPER LEVEL	385.88
TOTAL FLOOR AREA	2974.05
FAR CALCULATION	
GROSS FLOOR AREA	2974.05
FIRST 800 SQ. FT. OF ADU DISCOUNTED	771.76
GARAGE AREA (DISCOUNTED IF <500 S.F.)	484
NET FLOOR AREA	2202.29
LOT AREA	6480.3
MAXIMUM FAR	0.35
MAXIMUM ALLOWABLE FLOOR AREA	2265.9
PROPOSED FAR	0.34
SEE SHEETS A.200, A.201, A.202 FOR FLOOR AREA DIAGRAMS	
BASEMENT AREA CALCULATION	
TOTAL BASEMENT AREA	1,469
EXPOSED BASEMENT AREA	253.55
(WHERE THE MAIN LEVEL FINISH FLOOR IS GREATER THAN 4 FT ABOVE GRADE)	
EXPOSED BASEMENT AREA / TOTAL BASEMENT AREA	17.26%
(50% MAXIMUM)	
SLOPE CALCULATION	
FOR BUILDING SITE APPROVAL	
$S = (.00229 * L) / A$	AVERAGE SLOPE: 24.51%
I: CONTOUR INTERVAL IN FEET	2
L: COMBINED LENGTH OF CONTOUR LINES IN FEET	799.3
A: DEVELOPMENT AREA (ACRES)	0.15
(.00229 = MULTIPLIER TO CONVERT SQ. FT. TO ACRES)	
SLOPE CALCULATION	
FOR PARKING STRUCTURES ON SLOPING LOTS PER SCCZO 4.20.020.F	
ELEV. POINT AT EDGE OF PAVEMENT	299
ELEV. AT POINT 50 FEET FROM RIGHT OF WAY	310
Δ IN ELEVATION	11
IF ELEVATION 50 FEET BACK FROM THE EDGE OF THE RIGHT OF WAY DIFFERS MORE THAN 10 FEET FROM THE ELEVATION OF THE EDGE OF PAVEMENT A GARAGE MAY BE LOCATED IN FRONT OR SIDE YARDS, SEE SHEET A.103 FOR MORE INFORMATION	

FIRE PROTECTION INFORMATION	
NFPA 13 FIRE SPRINKLER DESIGN TO BE A DEFERRED SUBMITTAL	
TOTAL LIVING AREA:	3430.3 SQ. FT.
GARAGE AREA:	484 SQ. FT.
CONSTRUCTION TYPE:	R3 / U
FIRE SPRINKLER DESIGN TO BE PROVIDED AS A DEFERRED SUBMITTAL	
FIRE SPRINKLERS TO PROVIDE 1,000 GPM @ 20 PSI FOR 2 HR.S PER SCC CFMO-W1	
WATER SOURCE:	CALIFORNIA WATER SERVICE CO.
WILD LAND INTERFACE:	NO
STATE RESPONSIBILITY AREA:	NO

CODE ANALYSIS	
ZONING:	R1E-1Ac-n1
APN:	331-02-111
HISTORIC PARCEL:	NO
NEAREST CREEK:	MAGDALENA CREEK
SANTA CLARA VALLEY HABITAT AREA:	NO
HAZARDOUS SITE:	NO
NO LANDSCAPING PROPOSED	



PROPOSED SITE PLAN



SCALE: 1/8" = 1'-0"

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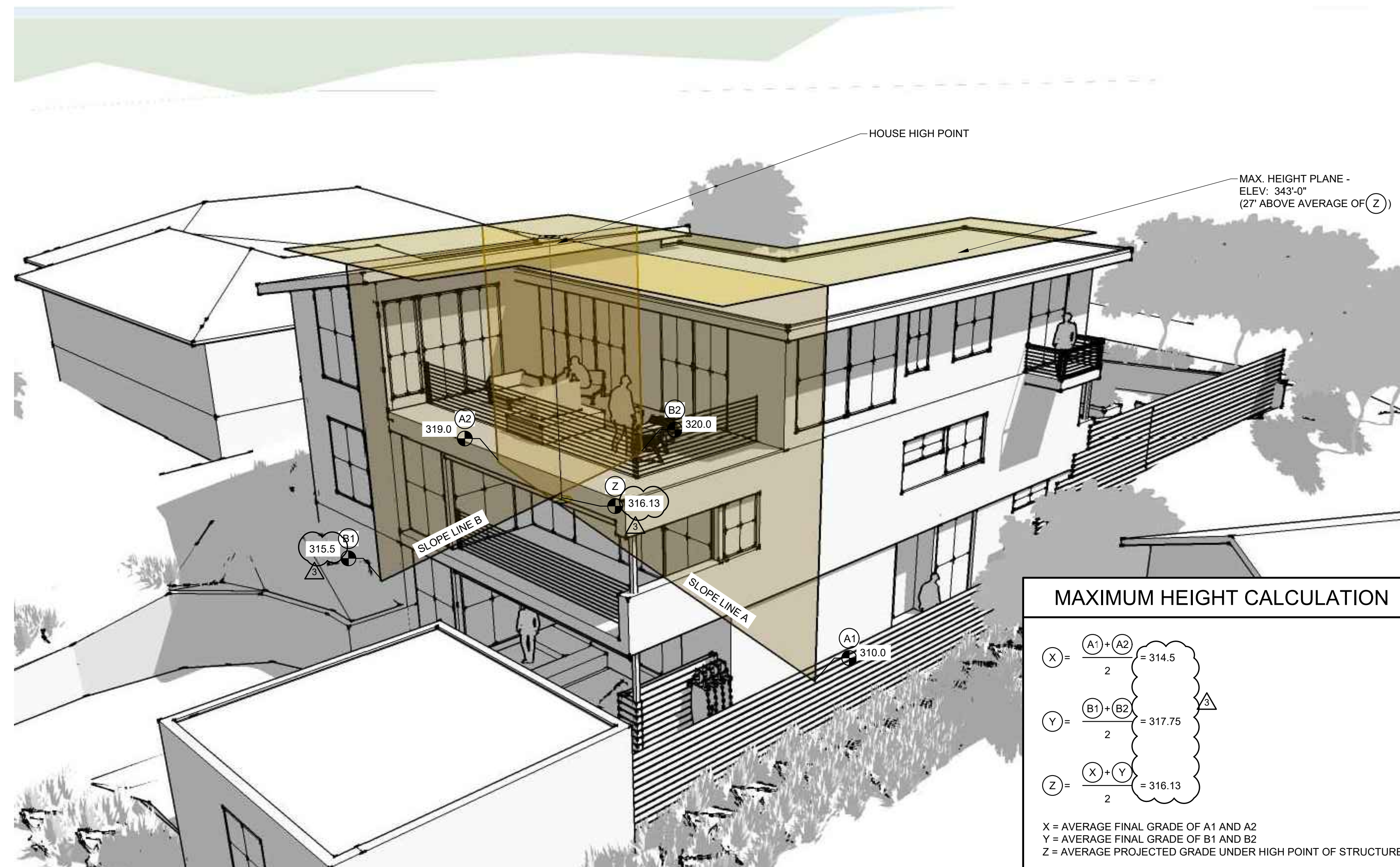


Project: CONRAD RESIDENCE
 23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111
 Title: PROPOSED SITE PLAN

Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21
2	AW	PLANNING REVIEW	7/6/22
3	SL	PLANNING COMMENTS	2/15/23

Designer: SL
 Drawn By: SL, AW
 Date: 2/14/23
 Project No.: 202101
 Scale: AS SHOWN

Sheet: A.102



MAXIMUM HEIGHT CALCULATION

$$X = \frac{A1 + A2}{2} = 314.5$$

$$Y = \frac{B1 + B2}{2} = 317.75$$

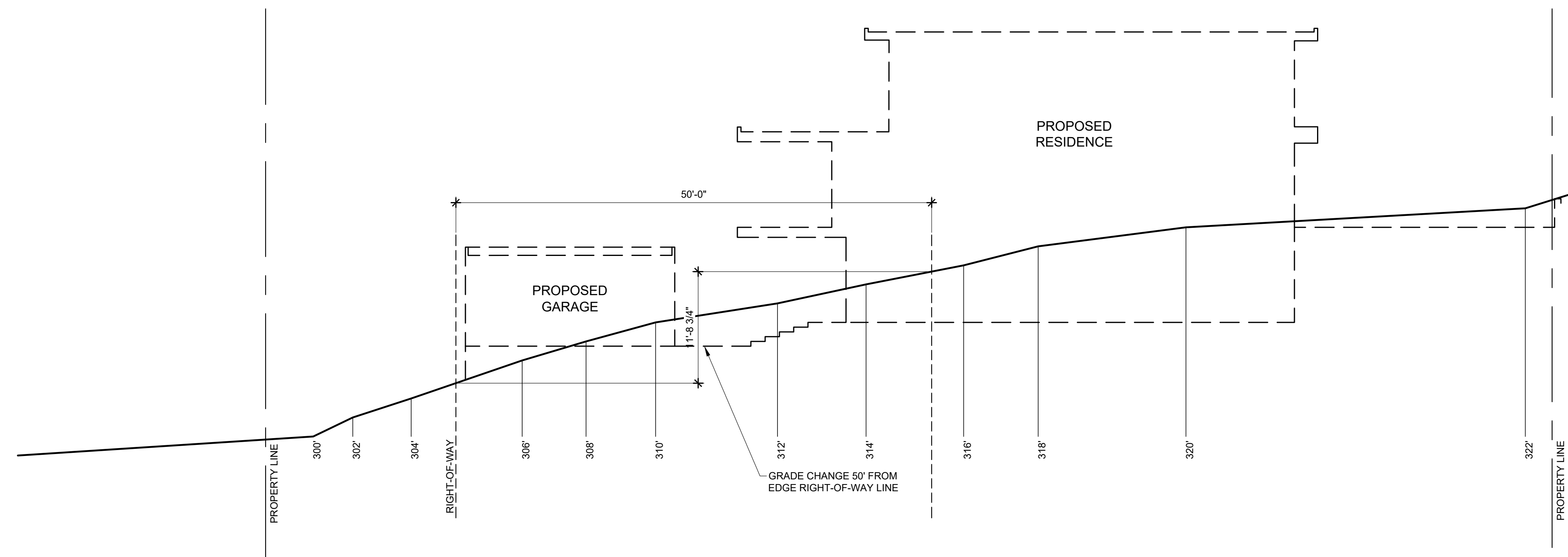
$$Z = \frac{X + Y}{2} = 316.13$$

X = AVERAGE FINAL GRADE OF A1 AND A2
 Y = AVERAGE FINAL GRADE OF B1 AND B2
 Z = AVERAGE PROJECTED GRADE UNDER HIGH POINT OF STRUCTURE

MAX. HEIGHT DIAGRAM

SCALE: NOT TO SCALE

2



SITE SECTION

SCALE: 1/8" = 1'-0"

1

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Project: CONRAD RESIDENCE
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 Title: SITE DIAGRAMS

Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21
2	AW	PLANNING REVIEW	7/6/22
3	SL	PLANNING COMMENTS	2/15/23

Designer: SL
 Drawn By: SL, AW
 Date: 2/14/23
 Project No.: 202101
 Scale: AS SHOWN

Sheet: A.103

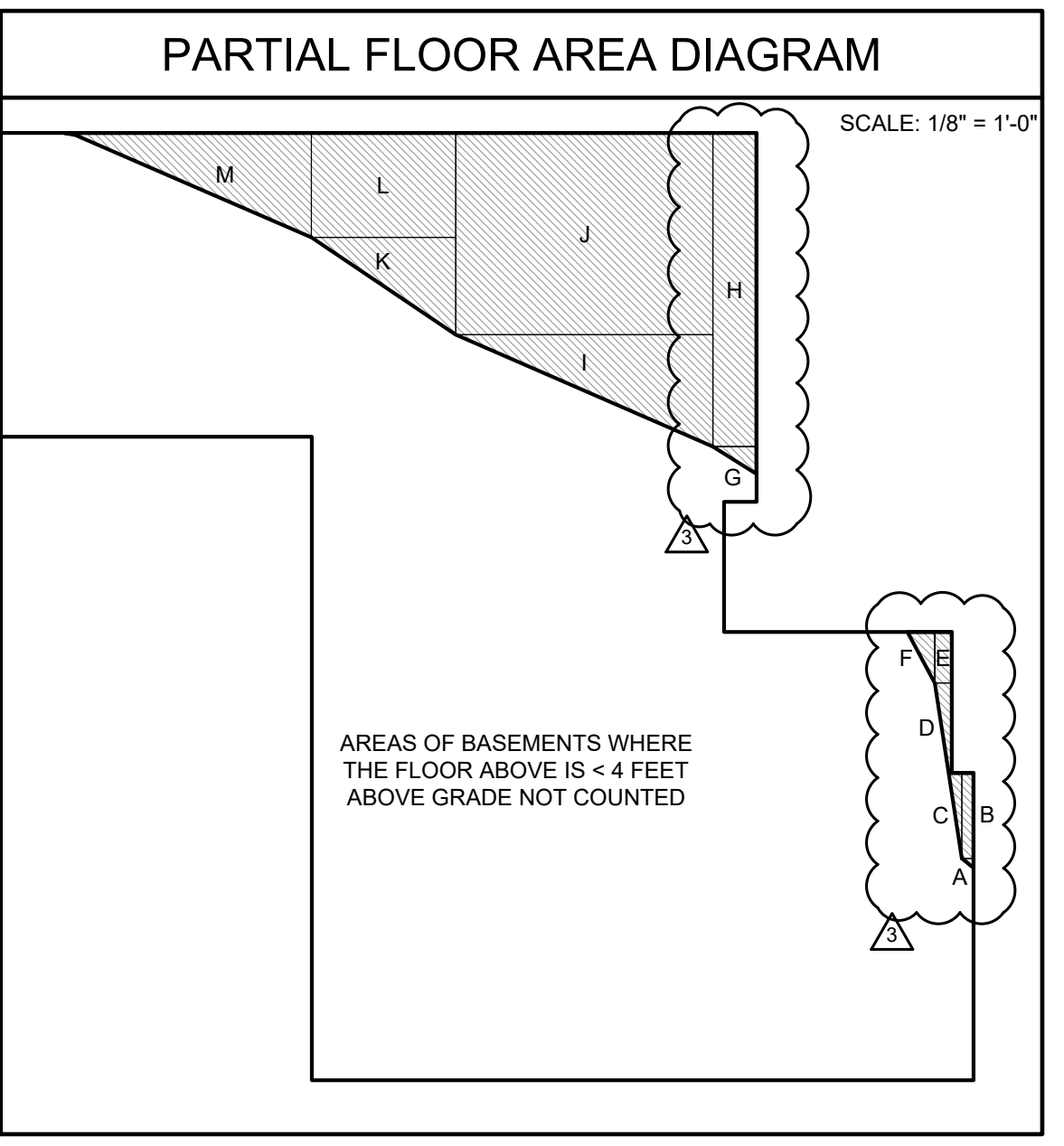
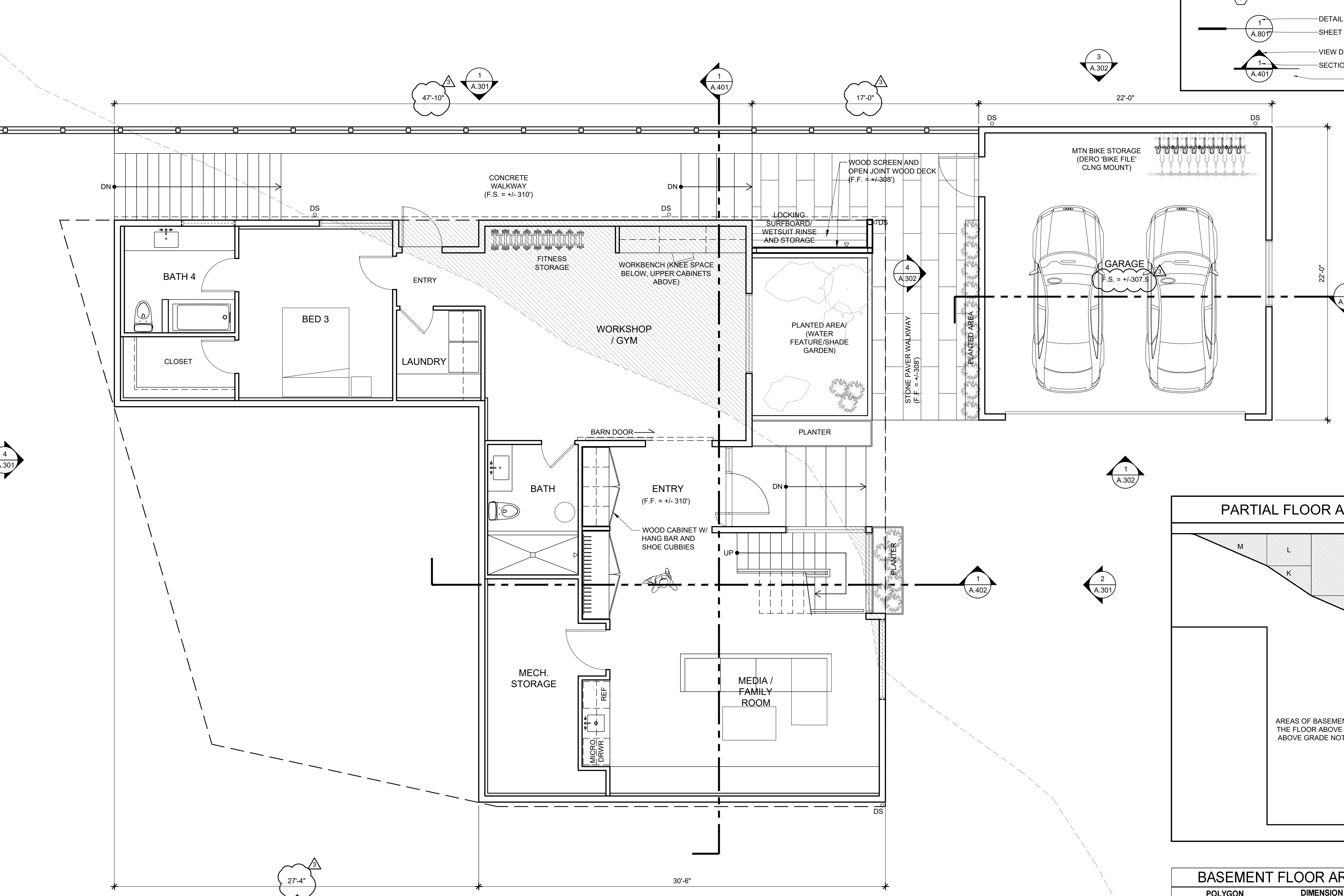


Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21
2	AW	PLANNING REVIEW	7/6/22
3	SL	PLANNING COMMENTS	2/15/23

Designer:	SL	SL, AW
Drawn By:	SL, AW	2/14/23
Date:	2/14/23	2023/01
Project No.:	2023/01	AS SHOWN
Scale:		

FLOOR PLAN LEGEND

- (N) CONSTRUCTION
- X-X APPLIANCE / PLUMBING FIXTURE CALL OUT
- ⊙ (044) DOOR CALL-OUT, SEE SCHEDULE ON SHT A.002
- ⊙ (I) WINDOW CALL-OUT, SEE SCHEDULE ON SHT A.002
- 1- DETAIL NUMBER
- 1- SHEET WHERE OCCURS
- 1- VIEW DIRECTION
- 1- SECTION NUMBER
- 1- SHEET WHERE OCCURS



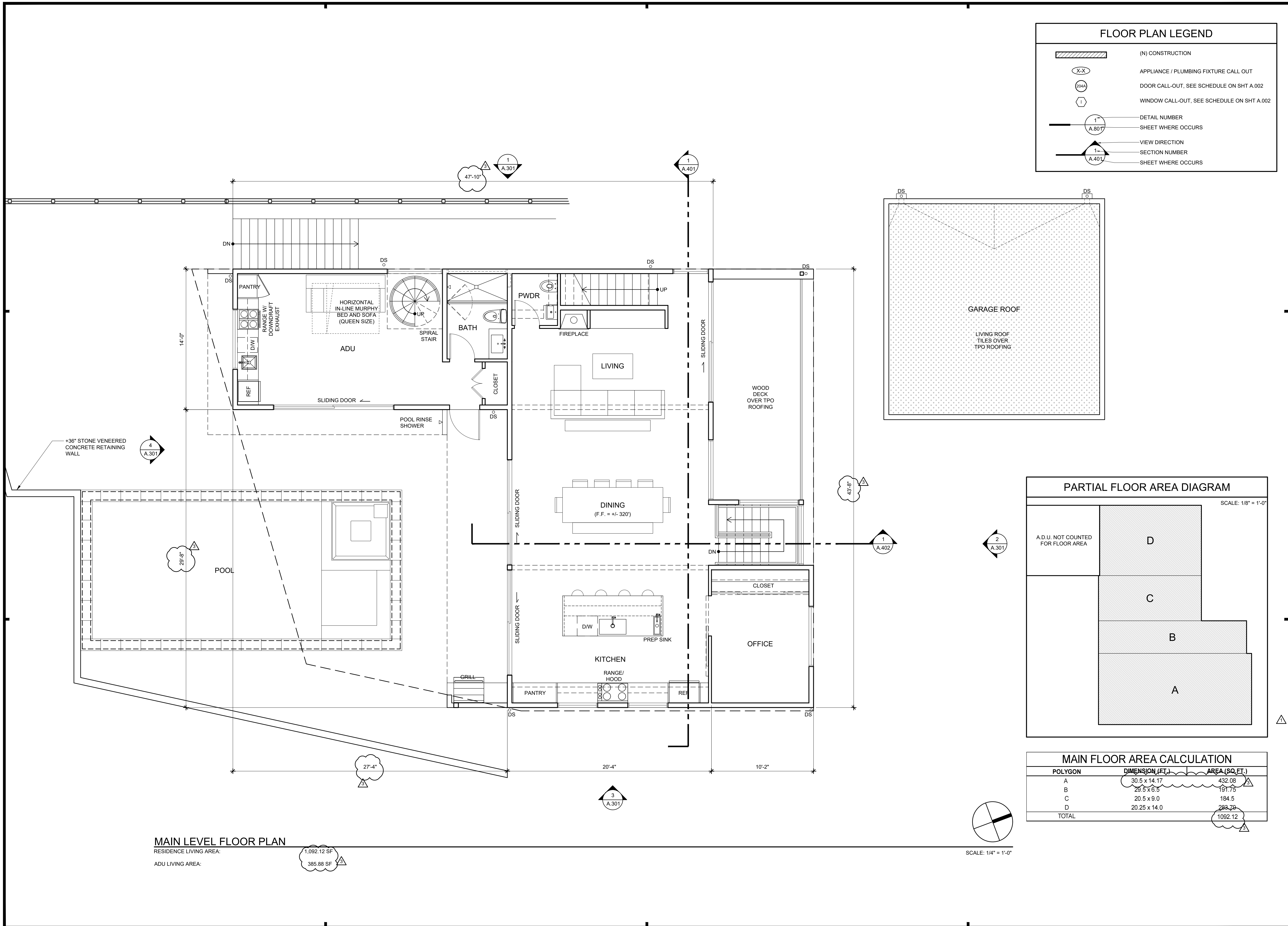
BASEMENT FLOOR AREA CALCULATION

POLYGON	DIMENSION (FT.)	AREA (SQ.FT.)
A	(.54 x .44) / 2	0.13
B	.54 x 3.94	2.15
C	(.61 x 3.94) / 2	1.21
D	(.79 x 4.15) / 2	1.97
E	.79 x 2.35	1.88
F	(1.26 x 2.35) / 2	1.48
G	(2.02 x 1.26) / 2	1.27
H	2.02 x 14.45	29.04
I	(11.84 x 5.16) / 2	30.57
J	11.84 x 9.29	110.13
K	(6.66 x 4.49) / 2	14.94
L	6.66 x 4.80	31.99
M	(11.39 x 4.80) / 2	26.79
TOTAL		253.55

BASEMENT LEVEL FLOOR PLAN
 RESIDENCE LIVING AREA: 1,468.75 SF
 RESIDENCE AREA TO BE ASSESSED (SHADED AREA): 253.55 SF

SCALE: 1/4" = 1'-0"





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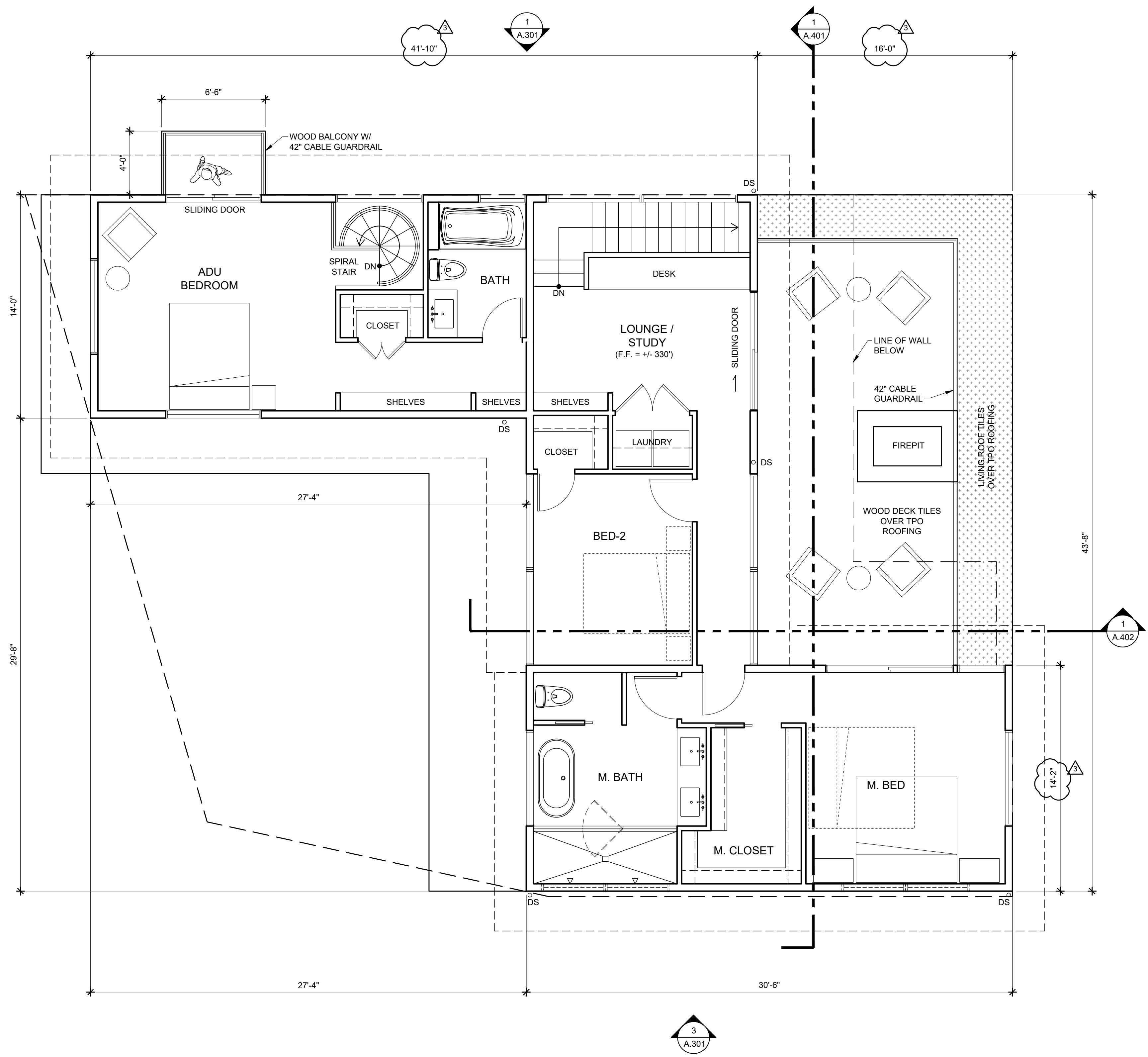


Project: **CONRAD RESIDENCE**
 23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111
 Title: **MAIN LEVEL FLOOR PLAN**

Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21
2	AW	PLANNING REVIEW	7/6/22
3	SL	PLANNING COMMENTS	2/15/23

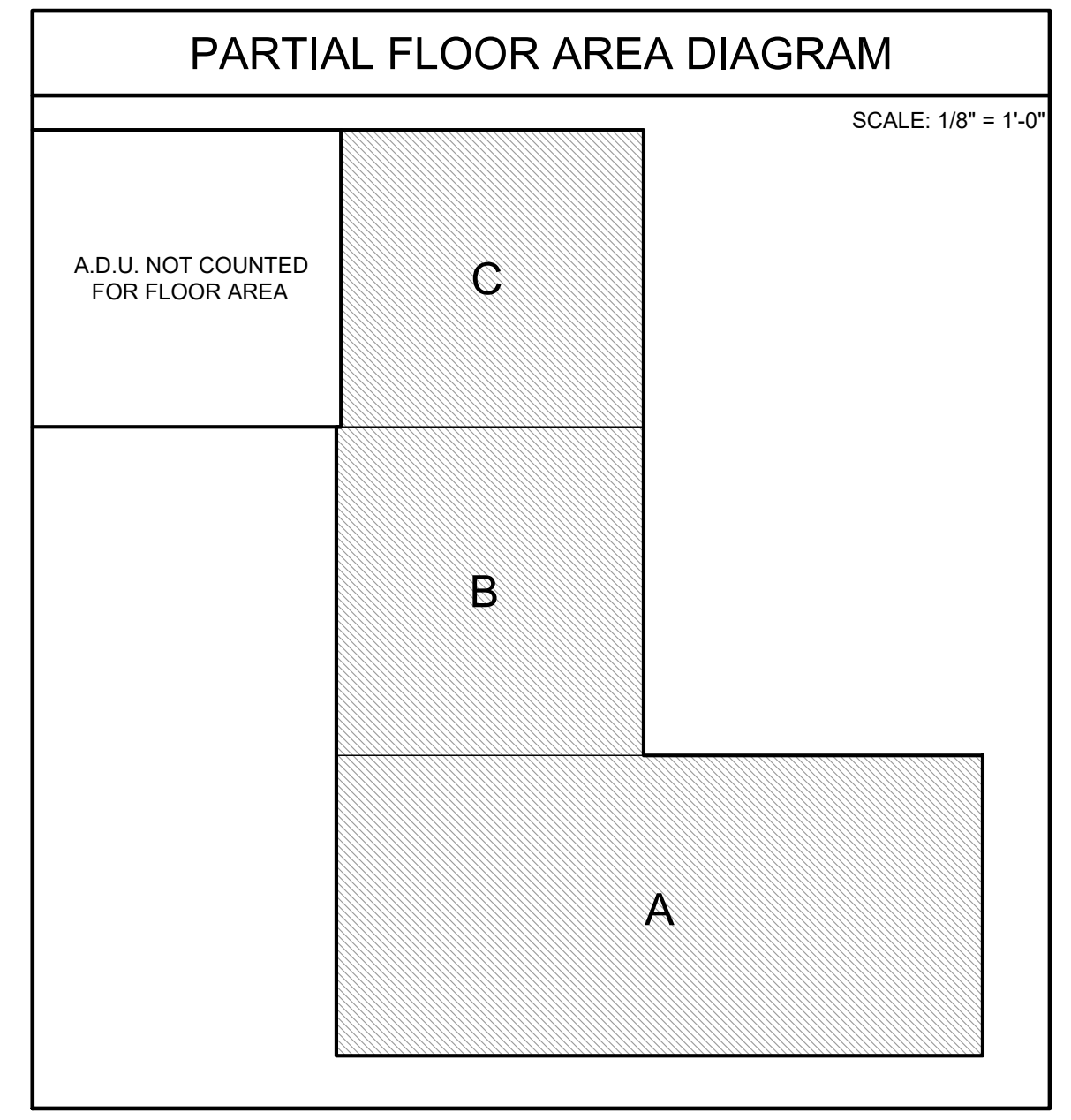
Designer: SL
 Drawn By: SL, AW
 Date: 2/14/23
 Project No.: 202101
 Scale: AS SHOWN

Sheet: **A.201**



FLOOR PLAN LEGEND

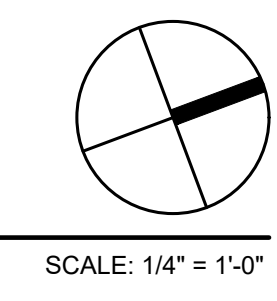
	(N) CONSTRUCTION
	APPLIANCE / PLUMBING FIXTURE CALL OUT
	DOOR CALL-OUT, SEE SCHEDULE ON SHT A.002
	WINDOW CALL-OUT, SEE SCHEDULE ON SHT A.002
	DETAIL NUMBER
	SHEET WHERE OCCURS
	VIEW DIRECTION
	SECTION NUMBER
	SHEET WHERE OCCURS



UPPER FLOOR AREA CALCULATION

POLYGON	DIMENSION (FT.)	AREA (SQ.FT.)
A	30.5 x 14.17	432.08
B	14.5 x 15.5	224.75
C	14.25 x 14	199.79
TOTAL		856.62

UPPER LEVEL FLOOR PLAN
 RESIDENCE LIVING AREA: 856.62 SF
 ADU LIVING AREA: 385.88 SF



SCALE: 1/4" = 1'-0"

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Project: **CONRAD RESIDENCE**
 23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111
 Title: **UPPER LEVEL FLOOR PLAN**

Rev	By	Description	Date
1	AW	PLANNING REVIEW	11/15/21
2	AW	PLANNING REVIEW	7/6/22
3	SL	PLANNING COMMENTS	2/15/23

Designer: SL
 Drawn By: SL, AW
 Date: 2/14/23
 Project No.: 202101
 Scale: AS SHOWN

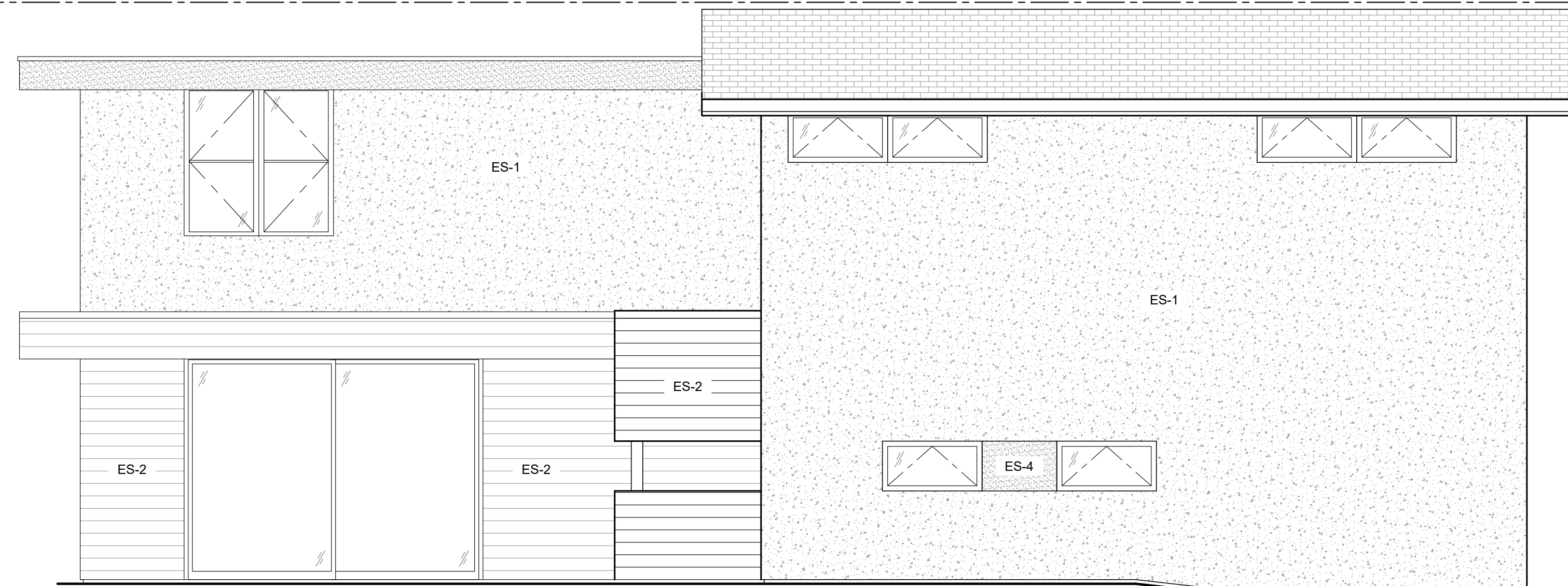
Sheet: **A.202**

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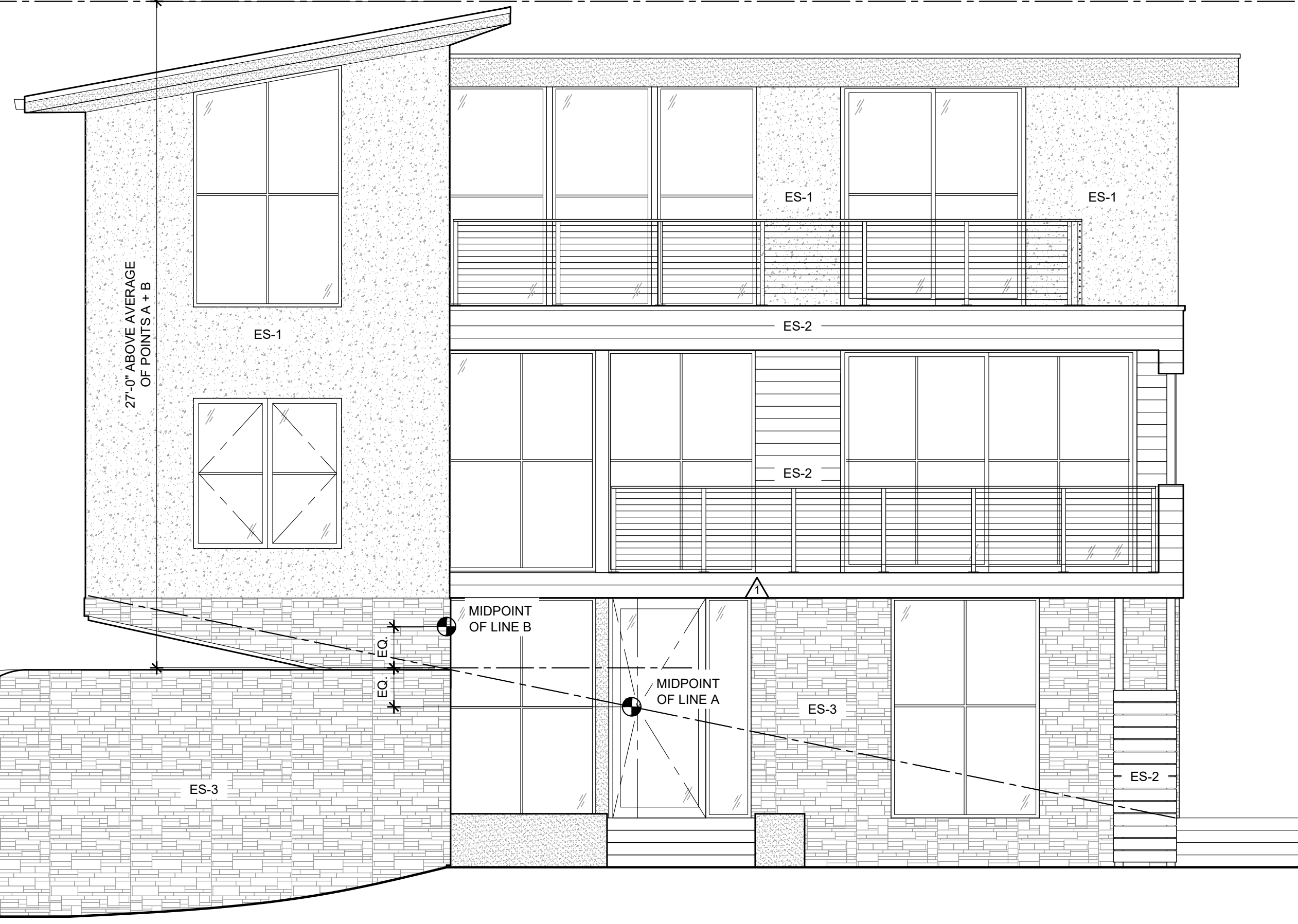
SOUTH ELEVATION

SCALE: 1/4" = 1'-0" **4**



EAST ELEVATION

SCALE: 1/4" = 1'-0" **3**



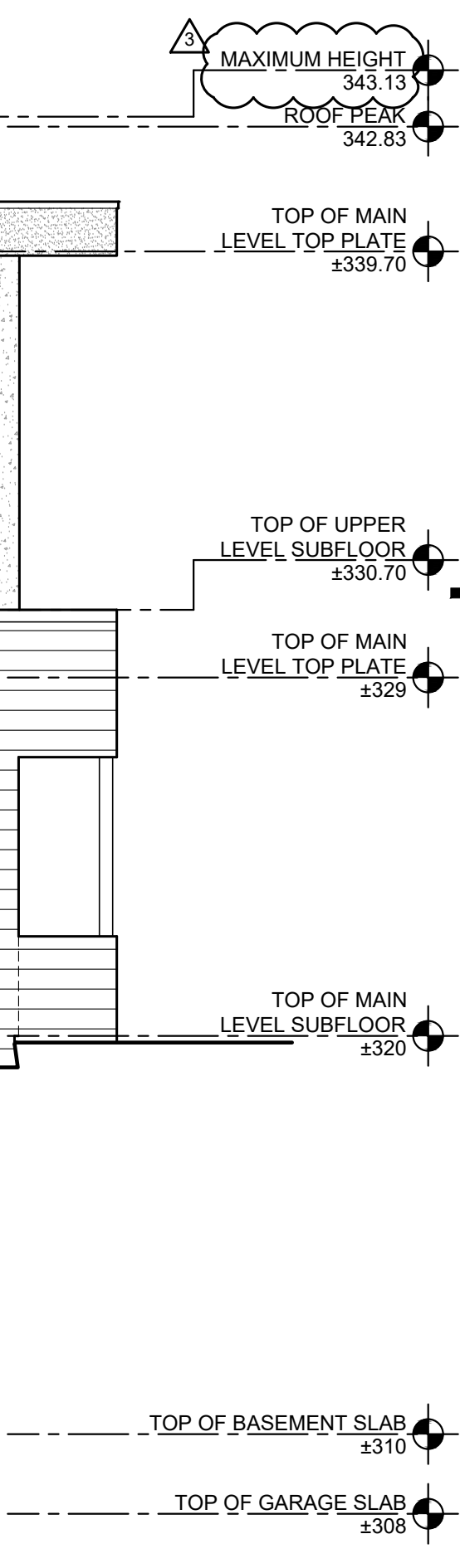
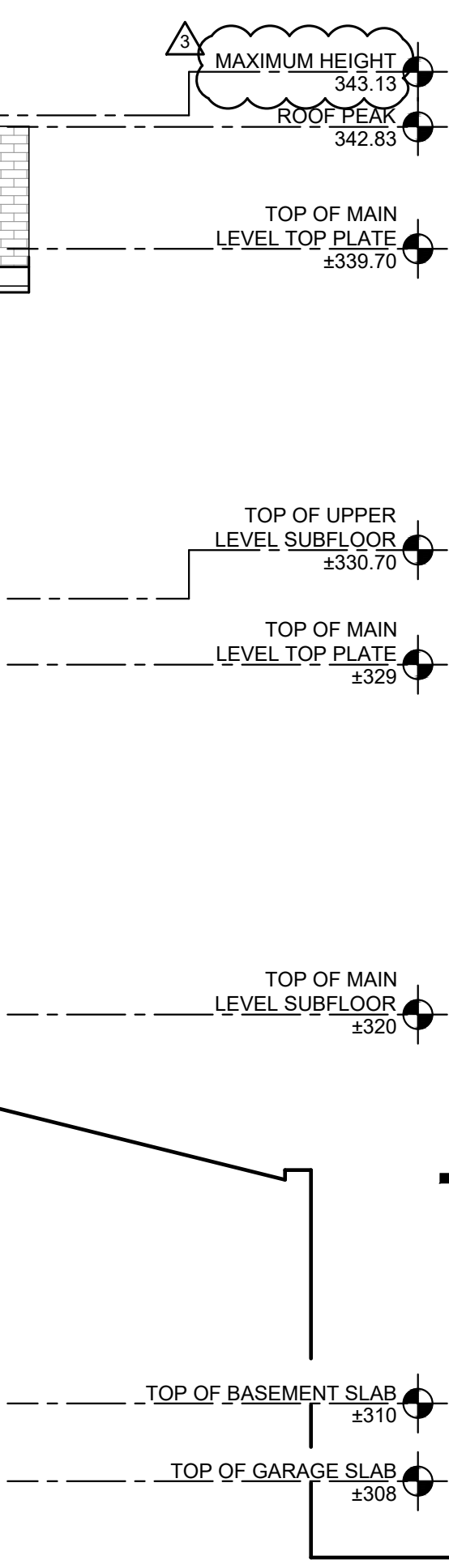
NORTH ELEVATION

SCALE: 1/4" = 1'-0" **2**



WEST ELEVATION

SCALE: 1/4" = 1'-0" **1**



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Project: CONRAD RESIDENCE
 23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111
 Title: EXTERIOR ELEVATIONS

Rev	By	Description	Date
1	SL	PLANNING COMMENTS	2/15/23
2	AW	PLANNING REVIEW	7/6/22
3	AW	PLANNING REVIEW	11/15/21

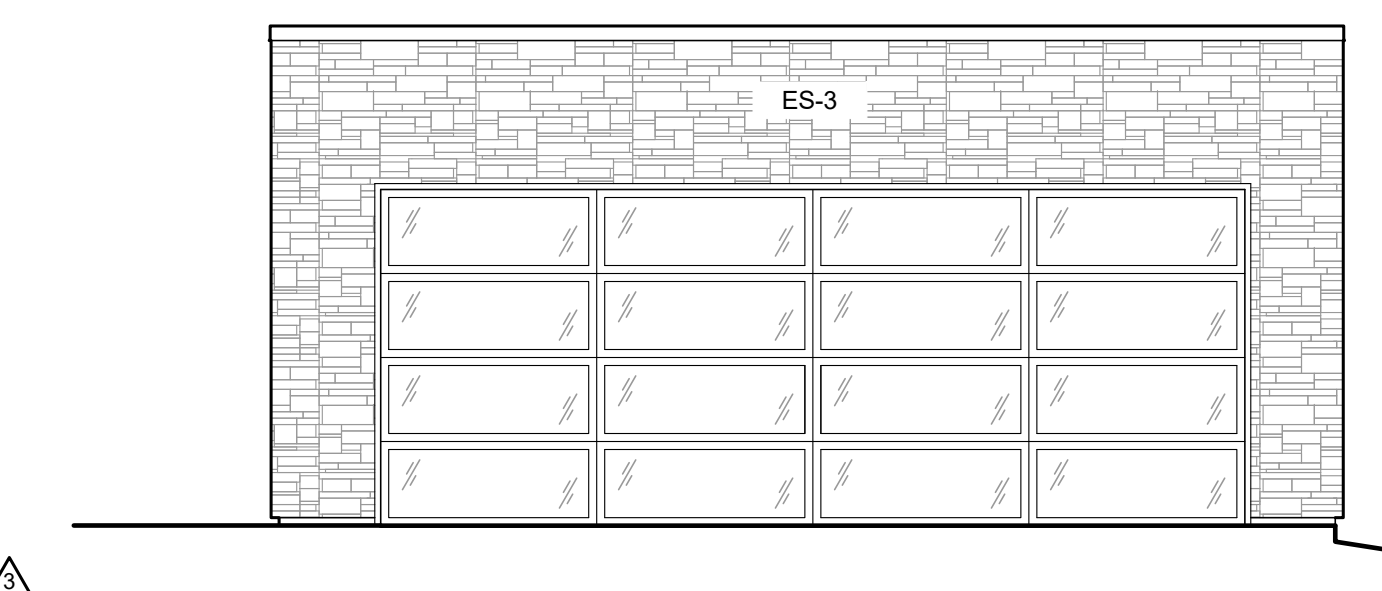
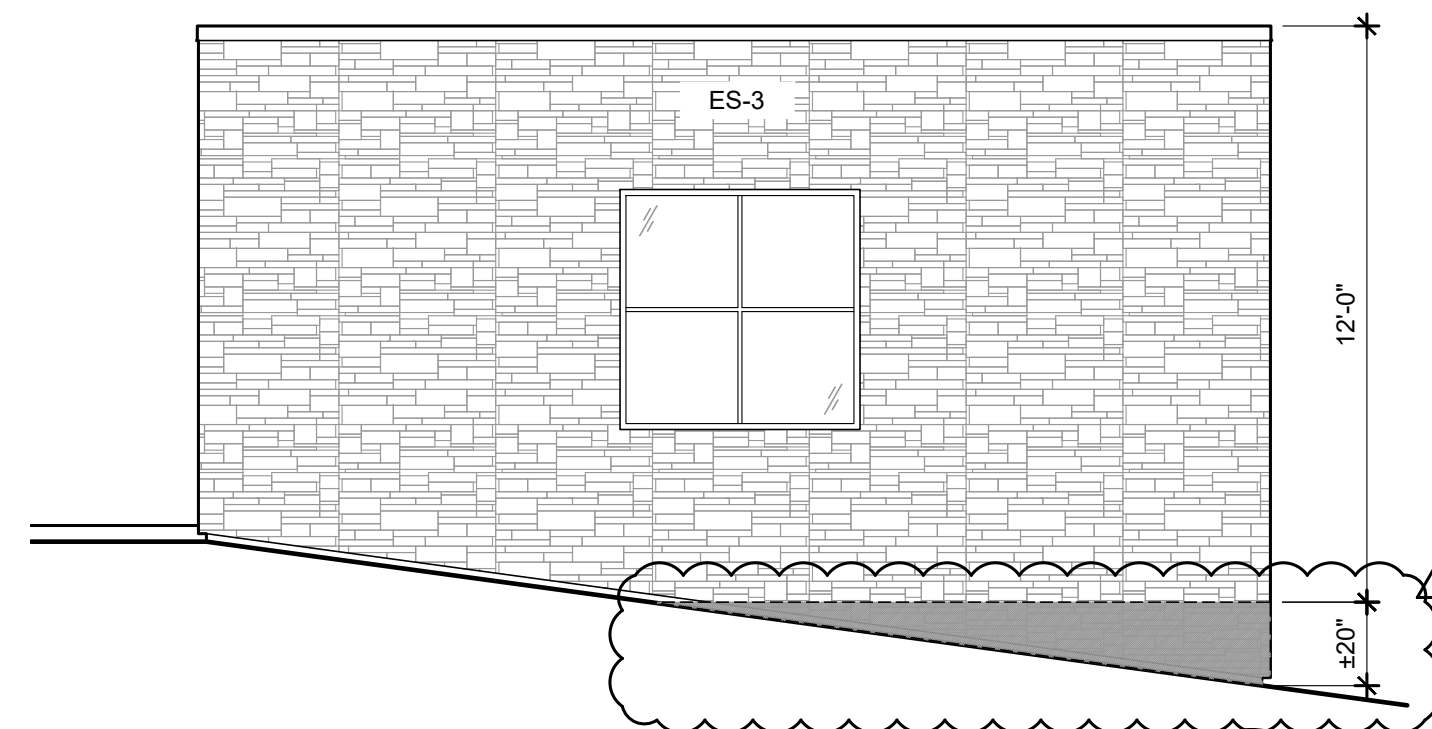
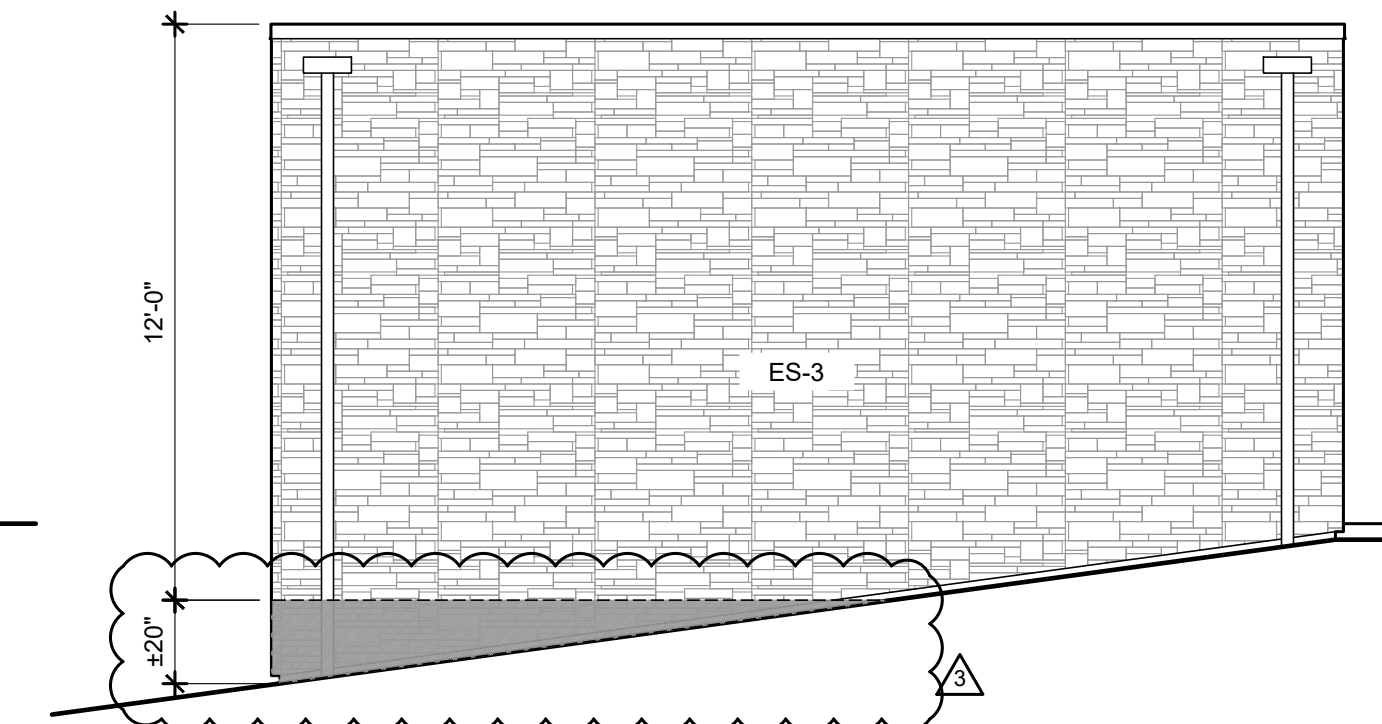
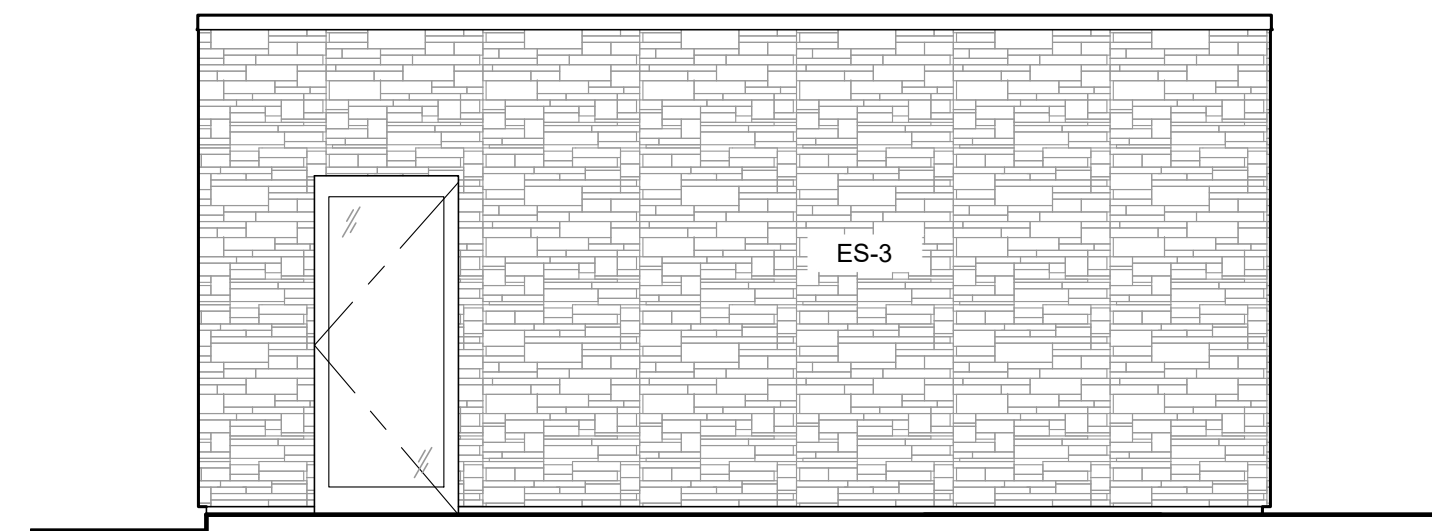
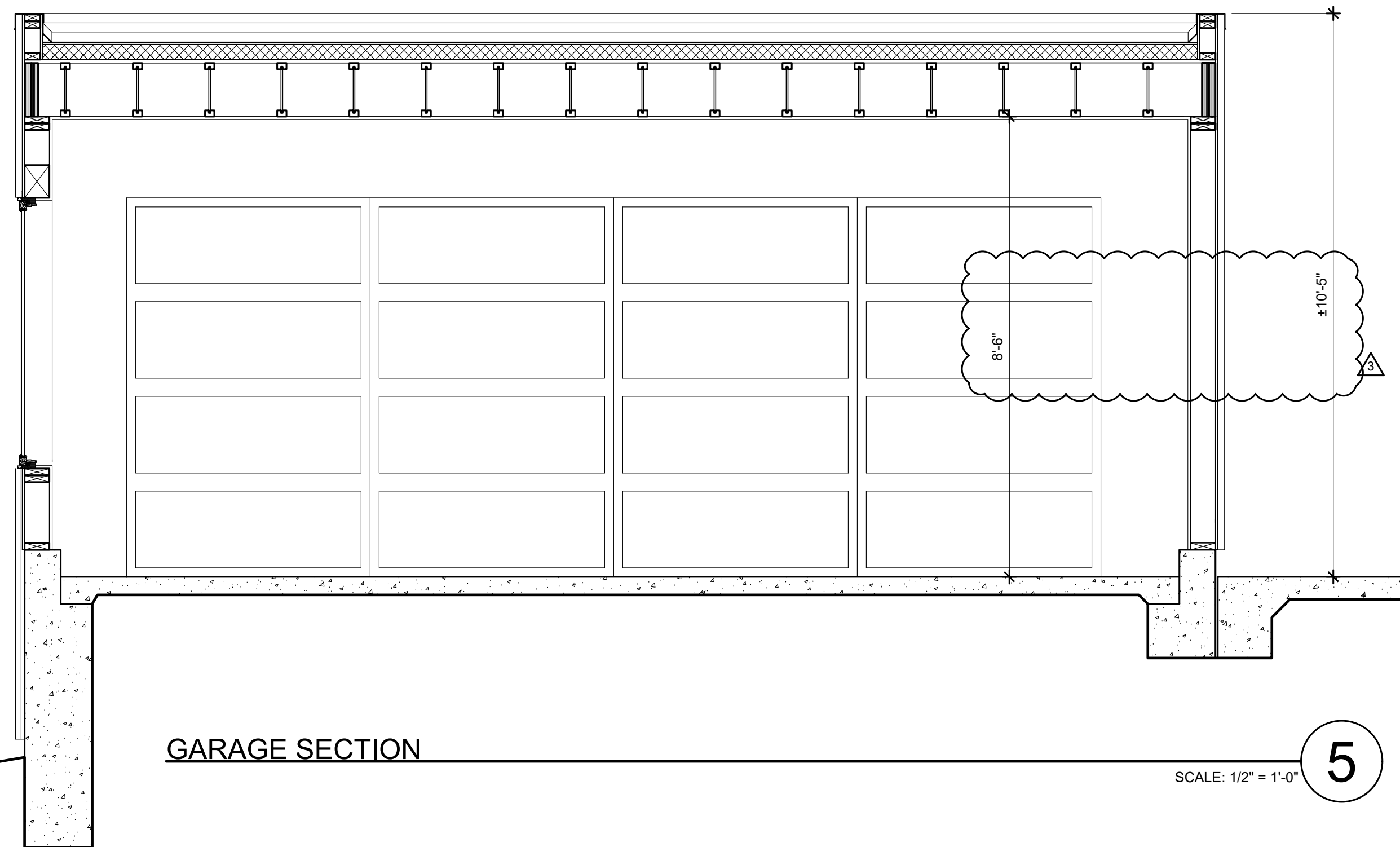
Designer: SL
 Drawn By: SL, AW
 Date: 2/14/23
 Project No.: 202101
 Scale: AS SHOWN

Sheet: **A.301**

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EXTERIOR FINISH SPECIFICATIONS			
STUCCO	ES-1	MFG: T.B.D. TYPE: STUCCO FINISH: SMOOTH COLOR: LIGHT GRAY	
WOOD SIDING	ES-2	MFG: T.B.D. TYPE: CLEAR CEDAR FINISH: STAINED COLOR: DARK GREY SIZE: 7"	
STONE VENEER SIDING	ES-3	MFG: T.B.D. TYPE: STACKED STONE VENEER FINISH: T.B.D. COLOR: T.B.D.	
FLAT FIBER CEMENT	ES-4	MFG: JAMES HARDIE TYPE: HARDIE PANEL FINISH: SMOOTH - PANIT COLOR: MATCH WINDOWS	
TRIM	TR-1	TYPE: NOMINAL WOOD (SEE DETAILS) FINISH: PAINTED COLOR: MATCH ROOFING (R-1) COLOR	
ROOFING UL Listed Class "A" Roofing SEE BLDG. ASSEMBLY SHEET A.401	R-1	MFG: T.B.D. TYPE: COMPOSITION SHINGLE ROOFING COLOR: DARK GREY SIZE: 17x6"	
ROOFING UL Listed Class "A" Roofing SEE BLDG. ASSEMBLY SHEET	R-2	MFG: GAF TYPE: 60 MIL TPO COLOR: WHITE	
DECKING	D-1	MFG: IPE WOOD BOARD TYPE: IPE WOOD BOARD FINISH: U/V RESISTANT OIL PROFILE: SQUARE EDGE SIZE: 1"x6"	
DECKING	D-2	MFG: BISON INNOVATIVE PRODUCTS TYPE: IPE WOOD TILES - SMOOTH FINISH: U/V RESISTANT OIL SIZE: 2'-0" x 2'-0"	

NOTE: INSTALL ALL EXTERIOR FINISHES PER MANUFACTURERS RECOMMENDATIONS



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Project: **CONRAD RESIDENCE**
23994 SPALDING AVE. LOS ALTOS, CA. APN: 331-02-111
Title: **GARAGE SECTION AND ELEVATIONS**

Rev	Description	Date
1	PLANNING REVIEW	11/15/21
2	PLANNING REVIEW	7/6/22
3	PLANNING COMMENTS	2/15/23

Designer: SL
Drawn By: SL, AW
Date: 2/14/23
Project No.: 202101
Scale: AS SHOWN

Sheet: **A302**

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY _____ AND DATED _____ THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS, IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER, THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE.
10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRAD STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROGRESS OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-8888 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEARING AND GRUBBING)

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
 - A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
 - B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEVED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DPTH
RESIDENCE	500	0	10
NECESSARY STRUCTURE	10	25	3
POOL/HARDSCAPE	125	0	6
LANDSCAPE	160	10	4
DRIVEWAY	90	5	6
OFF SITE IMPROVEMENTS	5	5	1
TOTAL	890	45	10

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
9. THE UPPER 6" OF SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% RELATIVE COMPACTION.
10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
14. TOTAL DISTURBED AREA FOR THE PROJECT _____ SF.
15. WDD NO. _____
16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
 - A. FENCING SHOULD BE PLACED LONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.
 - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
 - C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
 - D. SIGNAGE STATING "WARNING - THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH MAINTENANCE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK IN THE COUNTY OF SANTA CLARA REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS AND JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE, APPLY WATER BONDING AGENT, AND APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
 - A. 15 MILES PER HOUR (MPH) SPEED LIMIT
 - B. MINUTE MAXIMUM IDLING TIME OF VEHICLES
 - C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER FOR BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367.
10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDING WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROX EQUAL) SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDR.
13. STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NEAR AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAY, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
 - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
 - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
 - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL, SITE, AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

STORM DRAINAGE AND STORMWATER MANAGEMENT

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS012008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS00004 / ORDER NO. 2013-0001-DWQ.
2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS, WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS, THERE () WERE () WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (?), THERE () WERE () WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL, Δ.

DATE _____ SIGNATURE _____

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEER OF RECORD, INCLUDING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

DATE _____ SIGNATURE _____

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
ISSUED BY: _____ DATE: _____
ENCROACHMENT PERMIT NO. _____

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN), AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED _____.

DATE _____ SIGNATURE _____ R.C.E. NO. _____

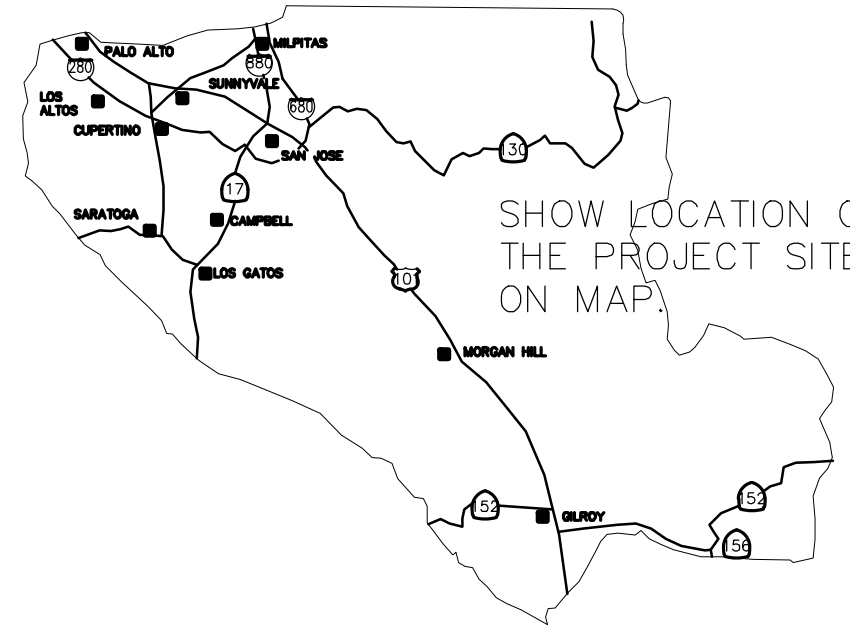
EXPIRATION DATE _____

COUNTY ENGINEER'S NOTE

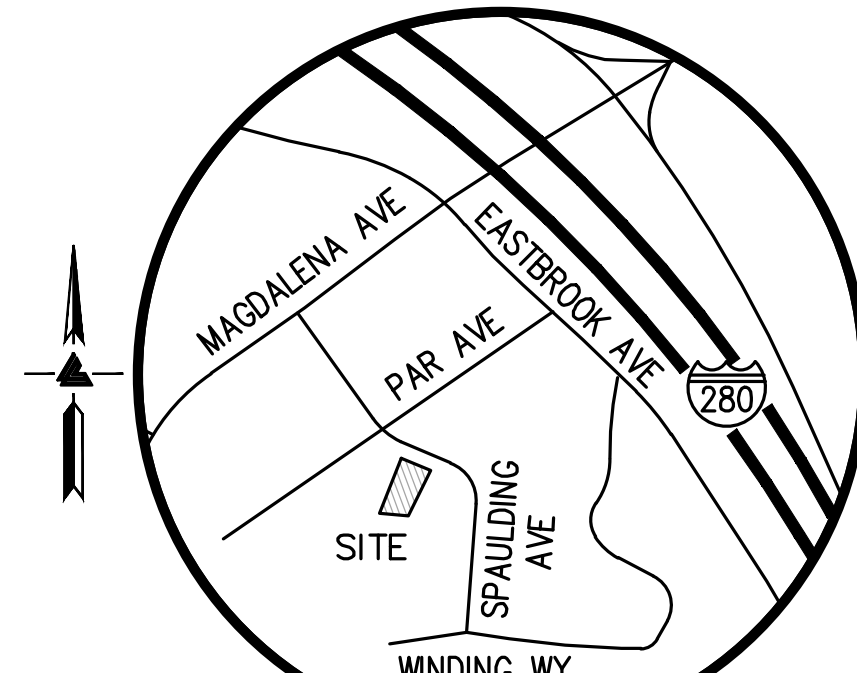
ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE OR ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE _____ SIGNATURE _____

R.C.E. NO. _____ EXPIRATION DATE _____



COUNTY LOCATION MAP



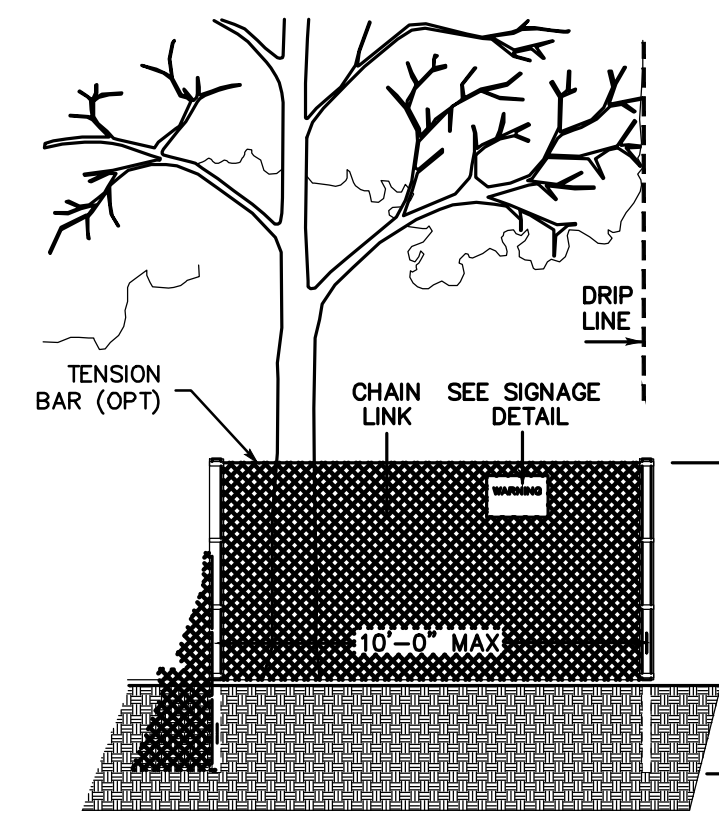
VICINITY MAP NO SCALE

CONRAD RESIDENCE LANDS OF PARCEL 2 OF PARCEL MAP 629

SEE SHEET C-1.1 FOR LEGEND & ABBREVIATIONS

SCOPE OF WORK

1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.
2. CONSTRUCTION OF A 15' DRIVEWAY WITH COUNTY APPROVED DRIVEWAY APPROACH
3. PATIOS, HARDSCAPE AND POOL
4. RETAINING WALLS WITH DAYLIGHT BASEMENT
5. STORM WATER FACILITIES
6. ON-SITE AND OFF-SITE UTILITIES
7. EROSION CONTROL MEASURES



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

SHEET INDEX

Sheet No.	TITLE SHEET
C-1.0	TITLE SHEET
C-1.1	DEVELOPMENT NOTES
C-1.2	OVERALL SITE PLAN
C-2.0	GRADING & DRAINAGE PLAN
C-3.0	UTILITY PLAN
C-5.0	SPECIFICATIONS
ER-1	EROSION CONTROL PLAN
BMP-1	BEST MANAGEMENT PRACTICES
BMP-2	BEST MANAGEMENT PRACTICES

LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS
BAY AREA REGION: 2495 INDUSTRIAL PKWY WEST, HAYWARD, CALIFORNIA 94545
SACRAMENTO REGION: 3017 DOUGLAS BLVD., # 300, ROSEVILLE, CA 95661
(P) (510) 887-4086 (P) (916)966-1338
(F) (510) 887-3019 (F) (916)797-7363
WWW.LEABRAZE.COM

DATE: XX/XX/XX

Revision	Date	APN	Sheet
Revision 1	Date	331-02-111	01
Revision 2	Date	Co. File	of 11
Revision 3	Date		

APPLICANT: _____

ROAD: _____

COUNTY FILE NO.: _____



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 SAN JOSE OFFICE: 1000 W. BERRY STREET, SAN JOSE, CA 95128
 SAN FRANCISCO OFFICE: 100 CALIFORNIA STREET, SAN FRANCISCO, CA 94102
 SAN DIEGO OFFICE: 1000 W. BERRY STREET, SAN DIEGO, CA 92108
 (510) 887-4086
 WWW.LEABRAZE.COM

CONRAD RESIDENCE
 23994 SPALDING AVENUE
 LOS ALTOS HILLS, CALIFORNIA
 SANTA CLARA COUNTY
 APN: 331-02-111

DEVELOPMENT NOTES
 & OVERALL SITE PLAN

C-1.1
 02 OF 10 SHEETS

OWNER'S INFORMATION

OWNER: DANIEL CONRAD
 23994 SPALDING AVENUE
 LOS ALTOS HILLS, CA 94024

APN: 331-02-111

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
- TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, INC. ENTITLED: "TOPOGRAPHIC SURVEY" 23994 SPALDING AVENUE LOS ALTOS HILLS, USA DATED: 2-18-21 JOB# 2201227
 - SITE PLAN BY STUDIO 101 DESIGNS ENTITLED: "CONRAD RESIDENCE" 23994 SPALDING AVENUE LOS ALTOS HILLS, USA DATED: 5-20-21 JOB# 202101

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

NOTES

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
- BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
- FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
- THE AREA OF THE SURVEYED LOT IS 6.480± SQUARE FEET / 0.15± ACRES
- FEMA FLOOD NOTE**
PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA) PER CURRENT FLOOD INSURANCE RATE MAP.
- SITE BENCHMARK**
SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 312.52'
(NAVD 88 DATUM)
- EASEMENT NOTE**
THERE ARE NO EASEMENTS LISTED PER CLIENT PROVIDED RESIDENTIAL OWNER'S POLICY OF TITLE INSURANCE, POLICY NO. 05004897002621, DATED JUNE 10, 1996

TREE NOTE

TREE SIZE, TYPE AND DRUPLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

BENCHMARK

TOWN OF LOS ALTOS HILLS BENCHMARK #3 LOCATED AT THE WESTERLY SIDE OF THE INTERSECTION OF MAGDALENA AND EASTBROOK AVENUES ON THE NOSE OF THE TRAFFIC ISLAND AT THE END OF THE SOUTHBOUND OFF-RAMP FROM SR280, ADJACENT TO A STREET LIGHT.
 ELEVATION = 284.19'
 (NAVD 88 DATUM)

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

ENCROACHMENT PERMIT FOR CONSTRUCTION IN THE STREET REQUIRED

REQUIRED DRAINAGE INSPECTIONS
 THE TOWN OF LOS ALTOS HILLS REQUIRES LEA & BRAZE ENGINEERING, INC. TO INSPECT ALL STORM DRAINAGE AS IT IS INSTALLED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT LEA & BRAZE ENGINEERING, INC. PRIOR TO START OF CONSTRUCTION TO SET UP A PRE-CONSTRUCTION MEETING, AND TO CALL AT LEAST 48 HOURS IN ADVANCE OF ANY INSPECTIONS. PIPES ARE TO REMAIN UNCOVERED UNTIL AN INSPECTION OCCURS.

POINT OF CONTACT:
 PETER CARLINO
 LEA & BRAZE ENGINEERING, INC.
 (510)887-4086 pcarlino@leabraze.com

NOTE:
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

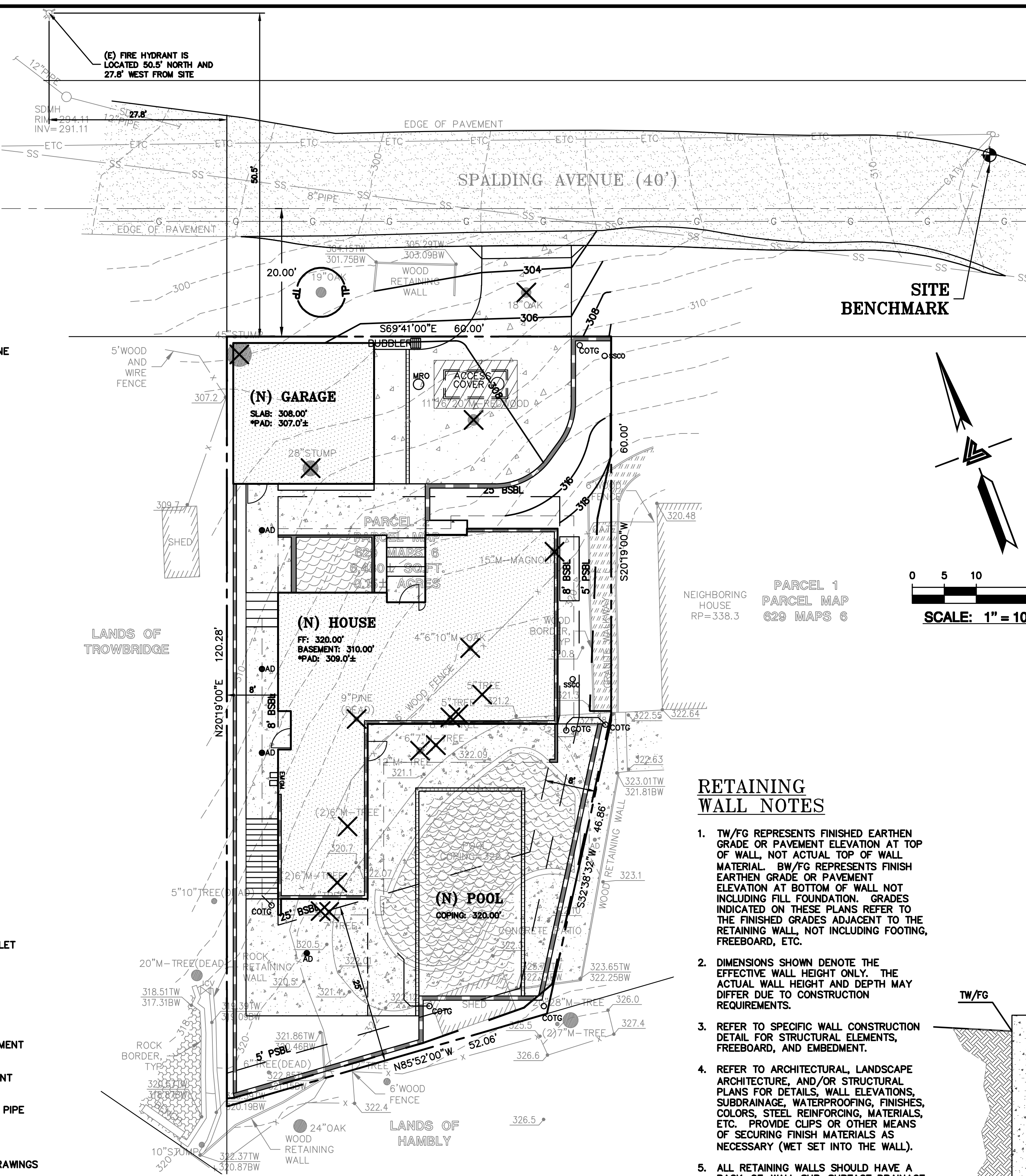


LEGEND

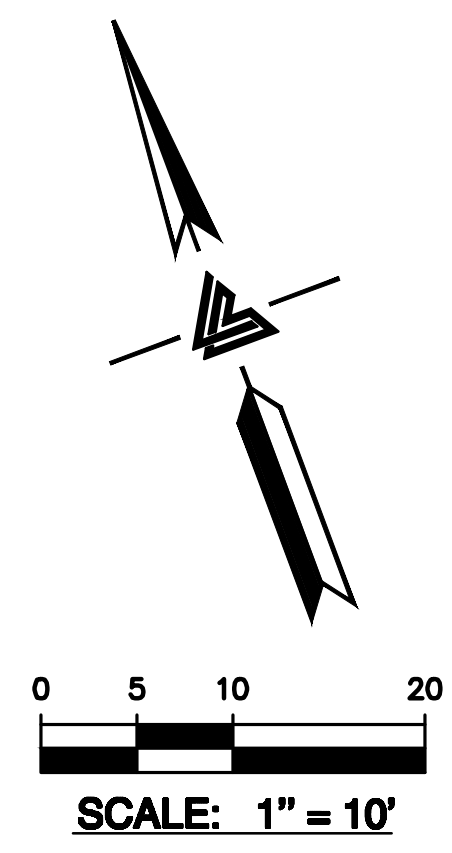
EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	RW RW	RAINWATER TIGHTLINE
---	SUB	SUBDRAIN LINE
---	TL	TIGHTLINE
SD	SD	STORM DRAIN LINE
SS	SS	SANITARY SEWER LINE
W	W	WATER LINE
G	G	GAS LINE
P	SDP	STORM DRAIN PRESSURE LINE
P	SSP	SANITARY SEWER PRESSURE LINE
JT	JT	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
CB	CB	CATCH BASIN
JB	JB	JUNCTION BOX
AD	AD	AREA DRAIN
BUB	BUB	CURB INLET
SDMH	SDMH	STORM DRAIN MANHOLE
SSMH	SSMH	SANITARY SEWER MANHOLE
222.57 INV	222.57 INV	STREET SIGN
200	200	SPOT ELEVATION
---	---	FLOW DIRECTION
D	D	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
XX	XX	TREE TO BE REMOVED
TP	TP	TREE PROTECTION FENCING

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
CL	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PE	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	P	PROPERTY LINE
CONST	CONSTRUCT or -TION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RC	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST	STREET
G	GAGE OR GAUGE	STA	STATION
GA	GRADE BREAK	STD	STANDARD
GB	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STR	STRUCTURAL
GDPE	HORIZONTAL	T	TELEPHONE
HORIZ	HORIZONTAL	TC	TOP OF CURB
HI PT	HIGH POINT	TOW	TOP OF WALL
H&T	HUB & TACK	TEMP	TEMPORARY
ID	INSIDE DIAMETER	TP	TOP OF PAVEMENT
INV	INVERT ELEVATION	TW/FG	TOP OF WALL/FINISH GRADE
JB	JUNCTION BOX	TYP	TYPICAL
JT	JOINT TRENCH	VC	VERTICAL CURVE
JP	JOINT UTILITY POLE	VCP	VITRIFIED CLAY PIPE
L	LENGTH	VERT	VERTICAL
LNDG	LANDING	W/	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC

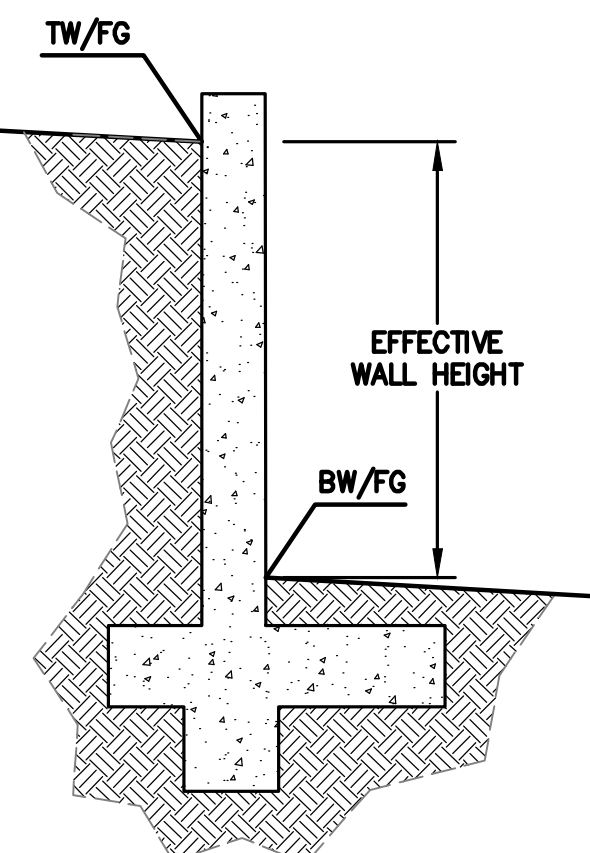


SITE BENCHMARK



RETAINING WALL NOTES

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM TO PREVENT HYDROSTATIC PRESSURE.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



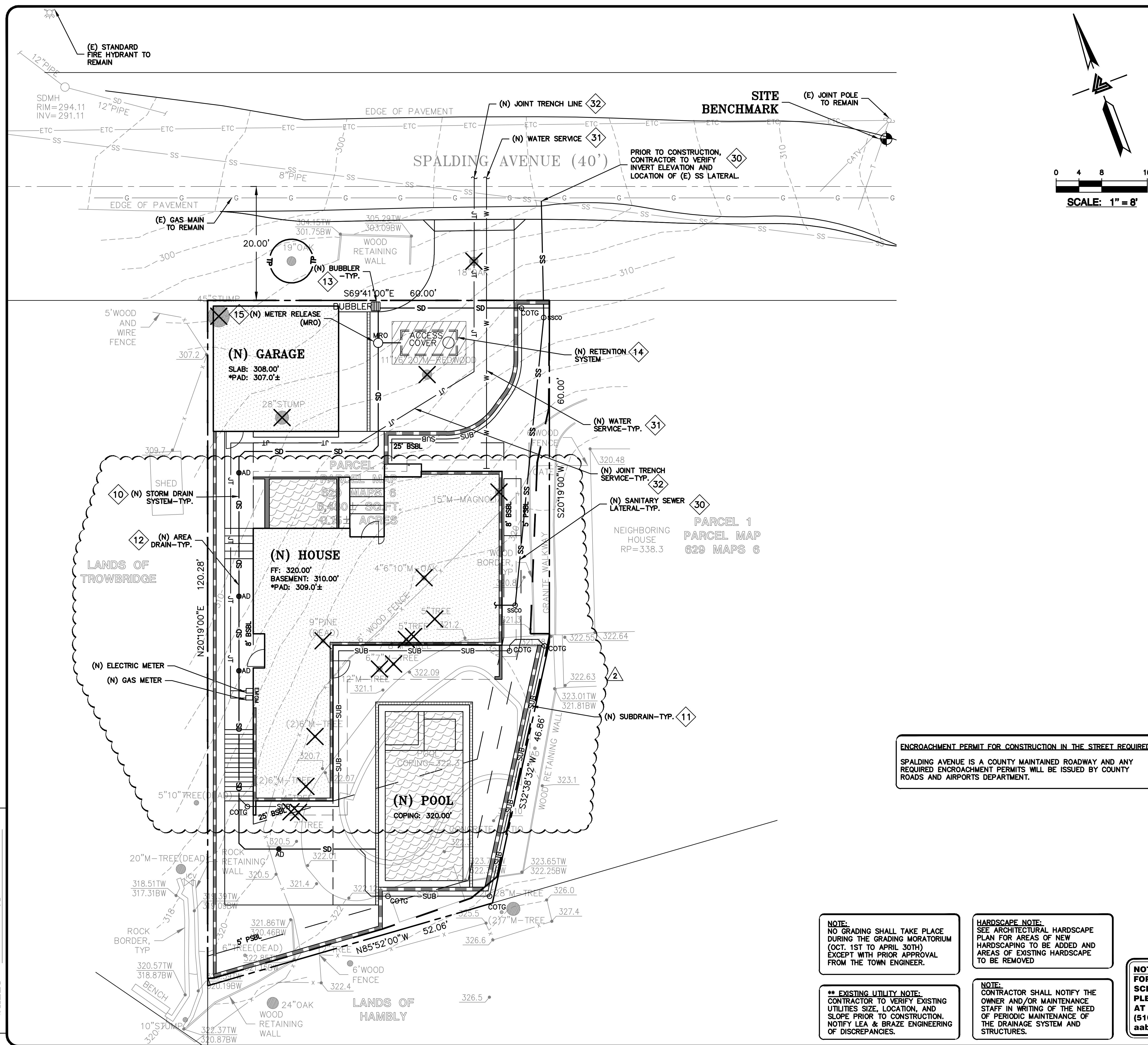
NOTE:
 THE PROPERTY OWNER SHALL INFORM THE TOWN OF ANY DAMAGE AND SHALL REPAIR ANY DAMAGE CAUSED BY THE CONSTRUCTION OF THE PROJECT TO THE PATHWAYS, PRIVATE DRIVEWAYS, AND PUBLIC AND PRIVATE ROADWAYS, PRIOR TO FINAL INSPECTION AND RELEASE OF OCCUPANCY PERMITS AND SHALL PROVIDE THE TOWN WITH PHOTOGRAPHS OF THE EXISTING CONDITIONS OF THE ROADWAYS AND PATHWAYS PRIOR TO ACCEPTANCE OF PLANS FOR BUILDING PLAN CHECK.

NOTE:
 NO GRADING SHALL TAKE PLACE DURING THE GRADING MORATORIUM (OCT. 1ST TO APRIL 30TH) EXCEPT WITH PRIOR APPROVAL FROM THE TOWN ENGINEER.

HARDSCAPE NOTE:
 SEE ARCHITECTURAL HARDSCAPE PLAN FOR AREAS OF NEW HARDSCAPING TO BE ADDED AND AREAS OF EXISTING HARDSCAPE TO BE REMOVED

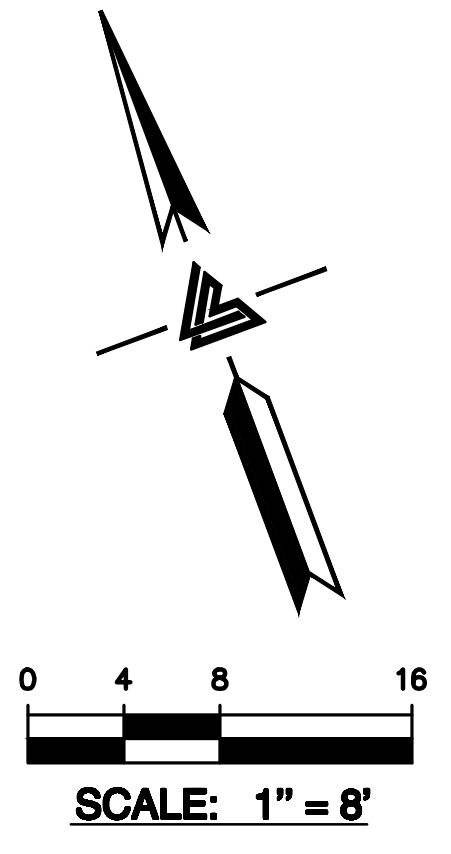
**** EXISTING UTILITY NOTE:**
 CONTRACTOR TO VERIFY EXISTING UTILITIES SIZE, LOCATION, AND SLOPE PRIOR TO CONSTRUCTION. NOTIFY LEA & BRAZE ENGINEERING OF DISCREPANCIES.

NOTE:
 CONTRACTOR SHALL NOTIFY THE OWNER AND/OR MAINTENANCE STAFF IN WRITING OF THE NEED OF PERIODIC MAINTENANCE OF THE DRAINAGE SYSTEM AND STRUCTURES.



- STORM DRAIN KEYNOTES 10 TO 15**
- 10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.
 - 11 INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.
 - 12 INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" HEAVY DUTY PLASTIC BLACK GRATE).
 - 13 INSTALL (N) 'CHRISTY V-24" CATCH BASIN BUBBLER BOX
 - 14 INSTALL (N) RETENTION SYSTEM TO STORE INCREASED RUNOFF
 - 15 INSTALL (N) METER RELEASE FOR CONTROLLED RUNOFF

- UTILITIES KEYNOTES 30 TO 32**
- 30 INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS.
 - 31 CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.
 - 32 INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.



LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS | LAND SURVEYORS
 REGIONAL OFFICES:
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 WWW.LEABRAZE.COM

CONRAD RESIDENCE
 23994 SPALDING AVENUE
 LOS ALTOS HILLS,
 CALIFORNIA

SANTA CLARA COUNTY APN: 331-02-111

UTILITY PLAN

PLAN CHECK 1	12-16-21	RB
PLAN CHECK 2	02-13-23	WA
REVISIONS	BY	
JOB NO:	2211311	
DATE:	10-19-21	
SCALE:		
DESIGN BY:	WA	
CHECKED BY:	RB	
SHEET NO:		

NOTE:
 THE PROPERTY OWNER SHALL INFORM THE TOWN OF ANY DAMAGE AND SHALL REPAIR ANY DAMAGE CAUSED BY THE CONSTRUCTION OF THE PROJECT TO THE PATHWAYS, PRIVATE DRIVEWAYS, AND PUBLIC AND PRIVATE ROADWAYS. PRIOR TO FINAL INSPECTION AND RELEASE OF OCCUPANCY PERMITS AND SHALL PROVIDE THE TOWN WITH PHOTOGRAPHS OF THE EXISTING CONDITIONS OF THE ROADWAYS AND PATHWAYS PRIOR TO ACCEPTANCE OF PLANS FOR BUILDING PLAN CHECK.

ENCROACHMENT PERMIT FOR CONSTRUCTION IN THE STREET REQUIRED.
 SPALDING AVENUE IS A COUNTY MAINTAINED ROADWAY AND ANY REQUIRED ENCROACHMENT PERMITS WILL BE ISSUED BY COUNTY ROADS AND AIRPORTS DEPARTMENT.

REQUIRED DRAINAGE INSPECTIONS
 THE TOWN OF LOS ALTOS HILLS REQUIRES LEA & BRAZE ENGINEERING, INC. TO INSPECT ALL STORM DRAINAGE AS IT IS INSTALLED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT LEA & BRAZE ENGINEERING, INC. PRIOR TO START OF CONSTRUCTION TO SET UP A PRE-CONSTRUCTION MEETING, AND TO CALL AT LEAST 48 HOURS IN ADVANCE OF ANY INSPECTIONS. PIPES ARE TO REMAIN UNCOVERED UNTIL AN INSPECTION OCCURS.

POINT OF CONTACT:
 PETER CARLINO
 LEA & BRAZE ENGINEERING, INC.
 (510)887-4086 pcarlino@leabraze.com

NOTE:
 NO GRADING SHALL TAKE PLACE DURING THE GRADING MORATORIUM (OCT. 1ST TO APRIL 30TH) EXCEPT WITH PRIOR APPROVAL FROM THE TOWN ENGINEER.

HARDSCAPE NOTE:
 SEE ARCHITECTURAL HARDSCAPE PLAN FOR AREAS OF NEW HARDSCAPING TO BE ADDED AND AREAS OF EXISTING HARDSCAPE TO BE REMOVED

**** EXISTING UTILITY NOTE:**
 CONTRACTOR TO VERIFY EXISTING UTILITIES SIZE, LOCATION, AND SLOPE PRIOR TO CONSTRUCTION. NOTIFY LEA & BRAZE ENGINEERING OF DISCREPANCIES.

NOTE:
 CONTRACTOR SHALL NOTIFY THE OWNER AND/OR MAINTENANCE STAFF IN WRITING OF THE NEED OF PERIODIC MAINTENANCE OF THE DRAINAGE SYSTEM AND STRUCTURES.

NOTE:
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

*** BUILDING PAD NOTE:**
 ADJUST PAD LEVEL AS REQUIRED, REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



PLAN # OF SHEET

BUILDING SITE APPROVAL

GENERAL NOTES

ALL GENERAL NOTES, SHEET NOTES, AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT...

THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF LEA AND BRAZE ENGINEERING, INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT...

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALTRANS STANDARDS AND SPECIFICATIONS, AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED, PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED...

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE/SHE BEGINS HIS/HER WORK. ANY ERRORS, OMISSION, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/CONTRACTOR BEFORE CONSTRUCTION BEGINS.

COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.

WORK SEQUENCE: IN THE EVENT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER OR THE CONTRACTOR, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGUN.

SITE EXAMINATION: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE HIM/HERSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED...

LEA AND BRAZE ENGINEERING, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER...

CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE PROJECTS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL COMPONENTS BY VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT PORTRAY ALL COMPONENTS OR ASSEMBLIES EXACTLY...

IF THE OWNER OR CONTRACTOR OBSERVES OR OTHERWISE BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NONCOMFORMANCE WITH THE CONTRACT DOCUMENTS, PROMPT WRITTEN NOTICE THEREOF SHALL BE GIVEN BY THE OWNER AND/OR CONTRACTOR TO THE ENGINEER.

THE ENGINEER SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK...

SITE PROTECTION

PROTECT ALL LANDSCAPING THAT IS TO REMAIN. ANY DAMAGE OR LOSS RESULTING FROM EXCAVATION, GRADING, OR CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER...

STORMWATER POLLUTION PREVENTION NOTES

- 1) STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
2) CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATER COURSES.
3) USE SEDIMENT CONTROL OR FILTRATION TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.
4) AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN A DESIGNATED AREA IN WHICH RUNOFF IS CONTAINED AND TREATED.
5) DELINEATE CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DISCHARGE COURSE WITH FIELD MARKERS.
6) PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OF FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
7) PERFORM CLEARING AND EARTH MOVING ACTIVITIES DURING DRY WEATHER TO THE MAXIMUM EXTENT PRACTICAL.
8) LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
9) LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
10) AVOID TRACKING DIRT OR MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS TO THE MAXIMUM EXTENT PRACTICAL.

SUPPLEMENTAL MEASURES

- A. THE PHRASE "NO DUMPING - DRAINS TO BAY" OR EQUALLY EFFECTIVE PHRASE MUST BE LABELED ON STORM DRAIN INLETS (BY STENCILING, BRANDING, OR PLAQUES) TO ALERT THE PUBLIC TO THE DESTINATION OF STORM WATER AND TO PREVENT DIRECT DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN.
B. USING FILTRATION MATERIALS ON STORM DRAIN COVERS TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.
C. STABILIZING ALL DENuded AREAS AND MAINTAINING EROSION CONTROL MEASURES CONTINUOUSLY FROM OCTOBER 15 AND APRIL 15.
D. REMOVING SPOILS PROMPTLY, AND AVOID STOCKPILING OF FILL MATERIALS, WHEN RAIN IS FORECAST. IF RAIN THREATENS, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH A TARP OR OTHER WATERPROOF MATERIAL.
E. STORING, HANDLING, AND DISPOSING OF CONSTRUCTION MATERIALS AND WASTES SO AS TO AVOID THEIR ENTRY TO THE STORM DRAIN SYSTEMS OR WATER BODY.
F. AVOIDING CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN AN AREA DESIGNATED TO CONTAIN AND TREAT RUNOFF.

GRADING & DRAINAGE NOTES:

1. SCOPE OF WORK

THESE SPECIFICATIONS AND APPLICABLE PLANS PERTAIN TO AND INCLUDE ALL SITE GRADING AND EARTHWORK ASSOCIATED WITH THE PROJECT INCLUDING, BUT NOT LIMITED TO THE FURNISHING OF ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR SITE CLEARING AND GRUBBING, SITE PREPARATION, DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, STRIPPING, KEYING, EXCAVATION, OVER EXCAVATION, RECOMPACTION PREPARATION FOR SURFACE, REPAIRS, FILL, FOUNDATION OF SLABS, ETC.

2. GENERAL

- A. ALL SITE GRADING AND EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS OF THESE SPECIFICATIONS, THE SOILS REPORT AND THE COUNTY OF SANTA CLARA.
B. ALL FILL MATERIALS SHALL BE DESIGNED SO AS TO PRODUCE A DENSITY NOT LESS THAN 90% RELATIVE COMPACTION BASED UPON ASTM TEST DESIGNATION D1557. FIELD DENSITY TEST WILL BE PERFORMED IN ACCORDANCE WITH ASTM TEST DESIGNATION 2922 AND 3017. THE LOCATION AND FREQUENCY OF THE FIELD DENSITY TEST WILL BE AS DETERMINED BY THE SOILS ENGINEER. THE RESULTS OF THESE TEST AND COMPLIANCE WITH THE SPECIFICATIONS WILL BE THE BASIS UPON WHICH SATISFACTORY COMPLETION OF THE WORK IS TO BE DETERMINED. ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED AS SHOWN ON PLANS, BUT NO STEEPER THAN TWO (2) HORIZONTAL TO ONE (1) VERTICAL.
C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL THE EARTHWORK IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. NO DEVIATION FROM THESE SPECIFICATIONS SHALL BE MADE EXCEPT UPON WRITTEN APPROVAL BY THE SOILS ENGINEER. BOTH CUT AND FILL AREAS SHALL BE SURFACE COMPLETED TO THE SATISFACTION OF THE SOILS ENGINEER AT THE CONCLUSION OF ALL GRADING OPERATIONS AND PRIOR TO FINAL ACCEPTANCE. THE CONTRACTOR SHALL NOTIFY THE SOILS ENGINEER AT LEAST TWO (2) WORKING DAYS PRIOR TO DOING ANY SITE GRADING AND EARTHWORK INCLUDING CLEARING.

3. CLEARING AND GRUBBING

- A. THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION. ALL EXISTING PUBLIC IMPROVEMENTS SHALL BE PROTECTED. ANY IMPROVEMENTS DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LOCAL JURISDICTION WITH NO EXTRA COMPENSATION.
B. ALL ABANDONED BUILDINGS AND FOUNDATIONS, TREE (EXCEPT THOSE SPECIFIED TO REMAIN FOR LANDSCAPING PURPOSES), FENCES, VEGETATION AND ANY SURFACE DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF THE SITE BY THE CONTRACTOR.
C. ALL ABANDONED SEPTIC TANKS AND ANY OTHER SUBSURFACE STRUCTURES EXISTING IN PROPOSED DEVELOPMENT AREAS SHALL BE REMOVED PRIOR TO ANY GRADING OR FILL OPERATION. ALL APPURTENANT DRAIN FIELDS AND OTHER CONNECTING LINES MUST ALSO BE TOTALLY REMOVED.
D. ALL ABANDONED UNDERGROUND IRRIGATION OR UTILITY LINES SHALL BE REMOVED OR DEMOLISHED. THE APPROPRIATE FINAL DISPOSITION OF SUCH LINES DEPEND UPON THEIR DEPTH AND LOCATION AND THE METHOD OF REMOVAL OR DEMOLITION SHALL BE DETERMINED BY THE SOILS ENGINEER. ONE OF THE FOLLOWING METHODS WILL BE USED:
(1) EXCAVATE AND TOTALLY REMOVE THE UTILITY LINE FROM THE TRENCH.
(2) EXCAVATE AND CRUSH THE UTILITY LINE IN THE TRENCH.
(3) CAP THE ENDS OF THE UTILITY LINE WITH CONCRETE TO PREVENT THE ENTRANCE OF WATER. THE LOCATIONS AT WHICH THE UTILITY LINE WILL BE CAPPED WILL BE DETERMINED BY THE UTILITY DISTRICT ENGINEER. THE LENGTH OF THE CAP SHALL NOT BE LESS THAN FIVE FEET, AND THE CONCRETE MIX EMPLOYED SHALL HAVE MINIMUM SHRINKAGE.

4. SITE PREPARATION AND STRIPPING

- A. ALL SURFACE ORGANICS SHALL BE STRIPPED AND REMOVED FROM BUILDING PADS, AREAS TO RECEIVE COMPACTED FILL AND PAVEMENT AREAS.
B. UPON THE COMPLETION OF THE ORGANIC STRIPPING OPERATION, THE GROUND SURFACE (NATIVE SOIL SUBGRADE) OVER THE ENTIRE AREA OF ALL BUILDING PADS, STREET AND PAVEMENT AREAS AND ALL AREAS TO RECEIVE COMPACTED FILL SHALL BE SCARIFIED UNTIL THE SURFACE IS FREE OF RUTS, HUMMOCKS OR OTHER UNDESIRABLE FEATURES WHICH MAY INHIBIT UNIFORM SOIL COMPACTION. THE GROUND SURFACE SHALL THEN BE DISED OR BLADED TO A DEPTH OF AT LEAST SIX INCHES. UPON ENGINEER'S SATISFACTION, THE NEW SURFACE SHALL BE WATER CONDITIONED AND RECOMPACTED PER REQUIREMENTS FOR COMPACTING FILL MATERIAL.

5. EXCAVATION

- A. UPON COMPLETION OF THE CLEARING AND GRUBBING, SITE PREPARATION AND STRIPPING, THE CONTRACTOR SHALL MAKE EXCAVATIONS TO LINES AND GRADES NOTED ON THE PLAN, WHERE REQUIRED BY THE SOILS ENGINEER. UNACCEPTABLE NATIVE SOILS OR UNDERGRADED FILL SHALL BE OVER EXCAVATED BELOW THE DESIGN GRADE. SEE PROJECT SOILS REPORT FOR DISCUSSION OF THE UNACCEPTABLE MATERIAL. RESULTING GROUND LINE SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GROUND LEVEL BACK TO DESIGN GRADE.
B. EXCAVATED MATERIALS SUITABLE FOR COMPACTED FILL MATERIAL SHALL BE UTILIZED IN MAKING THE REQUIRED COMPACTED FILLS. THOSE NATIVE MATERIALS CONSIDERED UNSUITABLE BY THE SOILS ENGINEER SHALL BE DISPOSED OF OFF THE SITE BY THE CONTRACTOR. PLACING, SPREADING AND COMPACTING FILL MATERIAL.

6. FILL MATERIALS

THE MATERIALS PROPOSED FOR USE AS COMPACTED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. THE NATIVE MATERIAL IS CONSIDERED SUITABLE FOR FILL; HOWEVER, ANY NATIVE MATERIAL DESIGNATED UNSUITABLE BY THE SOILS ENGINEER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR. ANY IMPORTED MATERIAL SHALL BE APPROVED FOR USE BY THE SOILS ENGINEER, IN WRITING, BEFORE BEING IMPORTED TO THE SITE AND SHALL POSSESS SUFFICIENT FINES TO PROVIDE A COMPETENT SOIL MATRIX AND SHALL BE FREE OF VEGETATIVE AND ORGANIC MATTER AND OTHER DELETERIOUS MATERIALS. ALL FILL VOIDS SHALL BE FILLED AND PROPERLY COMPACTED. NO ROCKS LARGER THAN THREE INCHES IN DIAMETER SHALL BE PERMITTED.

B. FILL CONSTRUCTION

THE SOILS ENGINEER SHALL APPROVE THE NATIVE SOIL SUBGRADE BEFORE PLACEMENT OF ANY COMPACTED FILL MATERIAL. UNACCEPTABLE NATIVE SOIL SHALL BE REMOVED AS DIRECTED BY THE SOILS ENGINEER. THE RESULTING GROUND LINE SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS. COMPACTED FILL MATERIAL SHALL BE PLACED TO BRING GROUND LEVEL BACK TO DESIGN GRADE. GROUND PREPARATION SHALL BE FOLLOWED CLOSELY BY FILL PLACEMENT TO PREVENT DRYING OUT OF THE SUBSOIL BEFORE PLACEMENT OF THE FILL.

THE APPROVED FILL MATERIALS SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS NO THICKER THAN 8" IN LOOSE THICKNESS. LAYERS SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY BLADE MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER. THE SCARIFIED SUBGRADE AND FILL MATERIAL SHALL BE MOISTURE CONDITIONED TO AT LEAST OPTIMUM MOISTURE. WHEN THE MOISTURE CONTENT OF THE FILL IS BELOW THAT SPECIFIED, WATER SHALL BE ADDED UNTIL THE MOISTURE DURING THE COMPACTION PROCESS. WHEN THE MOISTURE CONTENT OF THE FILL IS ABOVE THAT SPECIFIED, THE FILL MATERIAL SHALL BE AERATED BY BLADING OR OTHER SATISFACTORY METHODS UNTIL THE MOISTURE CONTENT IS AS SPECIFIED.

AFTER EACH LAYER HAS BEEN PLACED, MIXED, SPREAD EVENLY AND MOISTURE CONDITIONED, IT SHALL BE COMPACTED TO AT LEAST THE SPECIFIED DENSITY.

THE FILL OPERATION SHALL BE CONTINUED IN COMPACTED LAYERS AS SPECIFIED ABOVE UNTIL THE FILL HAS BEEN BROUGHT TO THE FINISHED SLOPES AND GRADES AS SHOWN ON THE PLANS. NO LAYER SHALL BE ALLOWED TO DRY OUT BEFORE SUBSEQUENT LAYERS ARE PLACED.

COMPACTION EQUIPMENT SHALL BE OF SUCH DESIGN THAT IT WILL BE ABLE TO COMPACT THE FILL TO THE SPECIFIED MINIMUM COMPACTION WITHIN THE SPECIFIED MOISTURE CONTENT RANGE. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER ITS ENTIRE AREA UNTIL THE REQUIRED MINIMUM DENSITY HAS BEEN OBTAINED.

7. CUT OR FILL SLOPES

ALL CONSTRUCTED SLOPES, BOTH CUT AND FILL, SHALL BE NO STEEPER THAN 2 TO 1 (HORIZONTAL TO VERTICAL). DURING THE GRADING OPERATION, COMPACTED FILL SLOPES SHALL BE OVERLAPPED BY AT LEAST ONE FOOT HORIZONTALLY AT THE COMPLETION OF THE GRADING OPERATIONS. THE EXCESS FILL EXISTING ON THE SLOPES SHALL BE BLADED OFF TO CREATE THE FINISHED SLOPE ENHANCEMENT. ALL CUT AND FILL SLOPES SHALL BE TRACK WALKED AFTER BEING BROUGHT TO FINISH GRADE AND THEN BE PLANTED WITH EROSION CONTROL SLOPE PLANTING. THE SOILS ENGINEER SHALL REVIEW ALL CUT SLOPES TO DETERMINE IF ANY ADVERSE GEOLOGIC CONDITIONS ARE EXPOSED. IF SUCH CONDITIONS DO OCCUR, THE SOILS ENGINEER SHALL RECOMMEND THE APPROPRIATE MITIGATION MEASURES AT THE TIME OF THEIR DETECTION.

8. SEASONAL LIMITS AND DRAINAGE CONTROL

FILL MATERIALS SHALL NOT BE PLACED, SPREAD OR COMPACTED WHILE IT IS AT AN UNSUITABLY HIGH MOISTURE CONTENT OR DURING OTHERWISE UNFAVORABLE CONDITIONS. WHEN THE WORK IS INTERRUPTED FOR ANY REASON THE FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TEST PERFORMED BY THE SOILS ENGINEER INDICATE THAT THE MOISTURE CONDITIONS IN AREAS TO BE FILLED ARE AS PREVIOUSLY SPECIFIED. ALL EARTH MOVING AND WORKING OPERATIONS SHALL BE CONTROLLED TO PREVENT WATER FROM RUNNING INTO EXCAVATED AREAS. ALL EXCESS WATER SHALL BE PROMPTLY REMOVED AND THE SITE KEPT DRY.

9. DUST CONTROL

THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY FOR THE ALLEVIATION OR PREVENTION OF ANY DUST NUISANCE ON OR ABOUT THE SITE CAUSED BY THE CONTRACTOR'S OPERATION EITHER DURING THE PERFORMANCE OF THE GRADING OR RESULTING FROM THE CONDITION IN WHICH THE CONTRACTOR LEAVES THE SITE. THE CONTRACTOR SHALL ASSUME ALL LIABILITY INCLUDING COURT COST OF CO-DEFENDANTS FOR ALL CLAIMS RELATED TO DUST OR WIND-BLOWN MATERIALS ATTRIBUTABLE TO HIS WORK. COST FOR THIS ITEM OF WORK IS TO BE INCLUDED IN THE EXCAVATION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

10. INDEMNITY

THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ENGINEER, THE OWNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGE ARISING OR ALLEGED TO HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS.

11. SAFETY

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

12. GUARANTEE

NEITHER THE FINAL PAYMENT, NOR THE PROVISIONS IN THE CONTRACT, NOR PARTIAL, NOR ENTIRE USE OR OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK NOT DONE IN ACCORDANCE WITH THE CONTRACT OR RELIEVES THE CONTRACTOR OF LIABILITY IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR FAULTY MATERIAL OR WORKMANSHIP.

THE CONTRACTOR SHALL REMEDY ANY DEFECTS IN WORK AND PAY FOR ANY DAMAGE TO OTHER WORK RESULTING THERE FROM WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.

13. TRENCH BACKFILL

EITHER THE ON-SITE INORGANIC SOIL OR APPROVED IMPORTED SOIL MAY BE USED AS TRENCH BACKFILL. THE BACKFILL MATERIAL SHALL BE MOISTURE CONDITIONED PER THESE SPECIFICATIONS AND SHALL BE PLACED IN LIFTS OF NOT MORE THAN SIX INCHES IN HORIZONTAL UNCOMPACTED LAYERS AND BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM OF 90% RELATIVE COMPACTION. IMPORTED SAND MAY BE USED FOR TRENCH BACKFILL MATERIAL PROVIDED IT IS COMPACTED TO AT LEAST 90% RELATIVE COMPACTION. WATER JETTING ASSOCIATED WITH COMPACTION USING VIBRATORY EQUIPMENT WILL BE PERMITTED ONLY WITH IMPORTED SAND BACKFILL WITH THE APPROVAL OF THE SOILS ENGINEER. ALL PIPES SHALL BE BEDDED WITH SAND EXTENDING FROM THE TRENCH BOTTOM TO TWELVE INCHES ABOVE THE PIPE. SAND BEDDING IS TO BE COMPACTED AS SPECIFIED ABOVE FOR SAND BACKFILL.

14. EROSION CONTROL

- A. ALL GRADING, EROSION AND SEDIMENT CONTROL AND RELATED WORK UNDERTAKEN ON THIS SITE IS SUBJECT TO ALL TERMS AND CONDITIONS OF THE COUNTY GRADING ORDINANCE AND MADE A PART HEREOF BY REFERENCE.
B. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO ANY PUBLICLY OWNED AND MAINTAINED ROAD CAUSED BY THE AFORESAID CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE.
C. THE EROSION CONTROL MEASURES ARE TO BE OPERABLE DURING THE RAINY SEASON, GENERALLY FROM OCTOBER FIRST TO APRIL FIFTEENTH. EROSION CONTROL PLANTING IS TO BE COMPLETED BY OCTOBER FIRST. NO GRADING OR UTILITY TRENCHING SHALL OCCUR BETWEEN OCTOBER FIRST AND APRIL FIFTEENTH UNLESS AUTHORIZED BY THE LOCAL JURISDICTION.
D. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF THE SOILS ENGINEER.
E. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
F. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
G. WHEN NO LONGER NECESSARY AND PRIOR TO FINAL ACCEPTANCE OF DEVELOPMENT, SEDIMENT BASINS SHALL BE REMOVED OR OTHERWISE DEACTIVATED AS REQUIRED BY THE LOCAL JURISDICTION.
H. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY. A CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (2" TO 3" MINIMUM DIAMETER) AT LEAST EIGHT INCHES THICK BY FIFTY (50) FEET LONG BY TWENTY (20) FEET WIDE UNLESS SHOWN OTHERWISE ON PLAN AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
I. ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS:
FIBER, 2000 LBS/ACRE
SEED, 200 LBS/ACRE (SEE NOTE 4, BELOW)
FERTILIZER (11-8-4), 500 LBS/ACRE
WATER, AS REQUIRED FOR APPLICATION
J. SEED MIX SHALL BE PER CALTRANS STANDARDS.
K. WATER UTILIZED IN THE STABILIZATION MATERIAL SHALL BE OF SUCH QUALITY THAT IT WILL PROMOTE GERMINATION AND STIMULATE GROWTH OF PLANTS. IT SHALL BE FREE OF POLLUTANT MATERIALS AND WEED SEED.
L. HYDROSEEDING SHALL CONFORM TO THE PROVISIONS OF SECTION 20, EROSION CONTROL AND HIGHWAY PLANTING, OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED.
M. A DISPERSING AGENT MAY BE ADDED TO THE HYDROSEEDING MATERIAL, PROVIDED THAT THE CONTRACTOR FURNISHES SUITABLE EVIDENCE THAT THE ADDITIVE WILL NOT ADVERSELY AFFECT THE PERFORMANCE OF THE SEEDING MIXTURE.
N. STABILIZATION MATERIALS SHALL BE APPLIED AS SOON AS PRACTICABLE AFTER COMPLETION OF GRADING OPERATIONS AND PRIOR TO THE ONSET OF WINTER RAINS, OR AT SUCH OTHER TIME AS DIRECTED BY THE COUNTY ENGINEER. THE MATERIAL SHALL BE APPLIED BEFORE INSTALLATION OF OTHER LANDSCAPING MATERIALS SUCH AS TREES, SHRUBS AND GROUND COVERS.
O. THE STABILIZATION MATERIAL SHALL BE APPLIED WITHIN 4-HOURS AFTER MIXING. MIXED MATERIAL NOT USED WITHIN 4-HOURS SHALL BE REMOVED FROM THE SITE.
P. THE CONTRACTOR SHALL MAINTAIN THE SOIL STABILIZATION MATERIAL AFTER PLACEMENT. THE COUNTY ENGINEER MAY REQUIRE SPRAY APPLICATION OF WATER OR OTHER MAINTENANCE ACTIVITIES TO ASSURE THE EFFECTIVENESS OF THE STABILIZATION PROCESS. APPLICATION OF WATER SHALL BE ACCOMPLISHED USING NOZZLES THAT PRODUCE A SPRAY THAT DOES NOT CONCENTRATE OR WASH AWAY THE STABILIZATION MATERIALS.

15. CLEANUP

THE CONTRACTOR MUST MAINTAIN THE SITE CLEAN, SAFE AND IN USABLE CONDITION. ANY SPILLS OF SOIL, ROCK OR CONSTRUCTION MATERIAL MUST BE REMOVED FROM THE SITE BY THE CONTRACTOR DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. COST FOR THIS ITEM OF WORK SHALL BE INCLUDED IN THE EXCAVATION AND COMPACTION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.

STANDARD BEST MANAGEMENT PRACTICE NOTES:

- 1. SOLID AND DEMOLITION WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS ON SITE AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS, AND ARRANGE FOR REGULAR DISPOSAL. WASTE CONTAINERS MUST BE WATER TIGHT AND COVERED AT ALL TIMES EXCEPT WHEN WASTE IS DEPOSITED. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGE C3) OR LATEST.
2. HAZARDOUS WASTE MANAGEMENT: PROVIDE PROPER HANDLING AND DISPOSAL OF HAZARDOUS WASTES BY A LICENSED HAZARDOUS WASTE MATERIAL HAULER. HAZARDOUS WASTES SHALL BE STORED AND PROPERLY LABELED IN SEALED CONTAINERS CONSTRUCTED OF SUITABLE MATERIALS. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGES C-5 TO C-6) OR LATEST.
3. SPILL PREVENTION AND CONTROL: PROVIDE PROPER STORAGE AREAS FOR LIQUID AND SOLID MATERIALS, INCLUDING CHEMICALS AND HAZARDOUS SUBSTANCES, AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS. SPILL CONTROL MATERIALS MUST BE KEPT ON SITE WHERE READILY ACCESSIBLE. SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINATED SOIL DISPOSED PROPERLY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGES C-7 TO C-8, C-13 TO C-14) OR LATEST.
4. VEHICLE AND CONSTRUCTION EQUIPMENT SERVICE AND STORAGE: AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ON-SITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORM WATER RUN-ON AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTE OILS, LUBRICANTS, OR OTHER POTENTIAL POLLUTANTS AND THESE WASTES SHALL BE PROPERLY DISPOSED OF AT AN OFF-SITE FULFILLING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGE C9) OR LATEST.
5. MATERIAL DELIVERY, HANDLING AND STORAGE: IN GENERAL, MATERIALS SHOULD NOT BE STOCKPILED ON SITE. WHERE TEMPORARY STOCKPILES ARE NECESSARY AND APPROVED BY THE COUNTY, THEY SHALL BE COVERED WITH SECURED PLASTIC SHEETING OR TARP AND LOCATED IN DESIGNATED AREAS NEAR CONSTRUCTION ENTRANCES AND AWAY FROM DRAINAGE PATHS AND WATERWAYS. BARRIERS SHALL BE PROVIDED AROUND STORAGE AREAS WHERE MATERIALS ARE POTENTIALLY IN CONTACT WITH RUNOFF. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGES C-11 TO C-12) OR LATEST.
6. HANDLING AND DISPOSAL OF CONCRETE AND CEMENT: WHEN CONCRETE TRUCKS AND EQUIPMENT ARE WASHED ON SITE, CONCRETE WASTEWATER SHALL BE CONTAINED IN DESIGNATED CONTAINERS OR IN A TEMPORARY LINED AND WATER TIGHT PIT WHERE WASTED CONCRETE CAN HARDEN FOR LATER REMOVAL. IF POSSIBLE HAVE CONCRETE CONTRACTOR REMOVED CONCRETE WASH WATER FROM SITE. IN NO CASE SHALL FRESH CONCRETE BE WASHED INTO THE ROAD RIGHT-OF-WAY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGES C-15 TO C-16) OR LATEST.
7. PAVEMENT CONSTRUCTION MANAGEMENT: PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS. USING MEASURES TO PREVENT RUN-ON AND RUNOFF POLLUTION AND PROPERLY DISPOSING OF WASTES. AVOID PAVING IN THE WET SEASON AND RESCHEDULE PAVING WHEN RAIN IS IN THE FORECAST. RESIDUE FROM SAW-CUTS SHALL BE VACUUMED FOR PROPER DISPOSAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGES C-17 TO C-18) OR LATEST.
8. CONTAMINATED SOIL AND WATER MANAGEMENT: INSPECTIONS TO IDENTIFY CONTAMINATED SOILS SHOULD OCCUR PRIOR TO CONSTRUCTION AND AT REGULAR INTERVALS DURING CONSTRUCTION. REMEDIATING CONTAMINATED SOIL SHOULD OCCUR PROMPTLY AFTER IDENTIFICATION AND BE SPECIFIC TO THE CONTAMINANT IDENTIFIED, WHICH MAY INCLUDE HAZARDOUS WASTE REMOVAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGES C-19 TO C-20) OR LATEST.
9. SANITARY/SEPTIC WATER MANAGEMENT: TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE PATHS, WATERWAYS, AND TRAFFIC AREAS. ONLY LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE SUED. SECONDARY CONTAINMENT SHOULD BE PROVIDED FOR ALL SANITARY FACILITIES. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGES C- 21) OR LATEST.
10. INSPECTION & MAINTENANCE: AREAS OF MATERIAL AND EQUIPMENT STORAGE SITES AND TEMPORARY SANITARY FACILITIES SHOULD BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.

STANDARD EROSION CONTROL NOTES:

- 1. SEDIMENT CONTROL MANAGEMENT
TRACKING & PREVENTION & CLEAN UP: ACTIVITIES SHALL BE ORGANIZED AND MEASURES TAKEN AS NEEDED TO PREVENT OR MINIMIZE TRACKING OF SOIL ONTO THE PUBLIC STREET SYSTEM. A GRAVEL OR PROPRIETARY DEVENT CONSTRUCTION ENTRANCE/EXIT IS REQUIRED FOR ALL SITES. CLEAN UP OF TRACKED MATERIAL SHALL BE PROVIDED BY MEANS OF A STREET SWEEPER PRIOR TO AN APPROACHING RAIN EVENT, OR AT LEAST ONCE AT THE END OF EACH WORKDAY THAT MATERIAL IS TRACKED, OR MORE FREQUENTLY AS DETERMINED BY THE COUNTY INSPECTOR. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGES B-31 TO B-33) OR LATEST.
STORM DRAIN INLET AND CATCH BASIN INLET PROTECTION: ALL INLETS WITHIN THE VICINITY OF THE PROJECT AND WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH GRAVEL BAGS PLACED AROUND INLETS OR OTHER INLET PROTECTION. AT LOCATIONS WHERE EXPOSED SOILS ARE PRESENT, STAKED FENCE OR STAKED SILT FENCES CAN BE USED. INLET FILTERS ARE NOT ALLOWED DUE TO CLOGGING AND SUBSEQUENT FLOODING. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH/ EDITION (PAGES B-49 TO B-51) OR LATEST.
STORM WATER RUNOFF: NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN IN TO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURES ARE FULLY INSTALLED.
DUST CONTROL: THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED BY PROVIDING WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN-UP OF SEDIMENTS DEPOSITED ON PAVED ROADS, FURNISHING CONSTRUCTION ROAD ENTRANCES AND VEHICLE WASH DOWN STATIONS. AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.
STOCKPILING: EXCAVATED SOILS SHALL NOT BE PLACED IN STREETS OR ON PAVED AREAS. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (TARPS, STRAW BALES, SILT FENCES, ETC.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER STORM DRAIN SYSTEM OR NEIGHBORING WATERCOURSE.
2. EROSION CONTROL DURING THE RAINY SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAINY SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.
3. INSPECTION & MAINTENANCE: DISTURBED AREAS OF THE PROJECT'S SITE, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THE EROSION CONTROL PLANS MUST BE INSPECTED BY THE CONTRACTOR BEFORE, DURING, AND AFTER STORM EVENTS, AND AT LEAST WEEKLY DURING SEASONAL WET PERIODS. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.
4. PROJECT COMPLETION: PRIOR TO PROJECT COMPLETION AND SIGNOFF BY THE COUNTY INSPECTOR, ALL DISTURBED AREAS SHALL BE RESEDED, PLANTED, OR LANDSCAPED TO MINIMIZE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
5. IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE EROSION CONTROL PLAN.
6. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR ROUND OR UNTIL VEGETATION IS FULLY ESTABLISHED ON LANDSCAPED SURFACES.

NOTE: THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED SOILS REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING ORDINANCE SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER MAY MAKE ON-SITE RECOMMENDATIONS DURING GRADING OPERATIONS.



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CONRAD RESIDENCE
23994 SPALDING AVENUE
LOS ALTOS HILLS, CALIFORNIA
APN: 331-02-111
SANTA CLARA COUNTY

GRADING SPECIFICATIONS

Table with 2 columns: Check Number, Description, and Status. Includes rows for PLAN CHECK 1 (12-16-22) RB, PLAN CHECK 2 (02-13-23) WA, and a REVISIONS table with columns for REVISIONS and BY.

PLAN # OF SHEET

BUILDING SITE APPROVAL



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 SANTA CLARA COUNTY APN: 331-02-111

BEST MANAGEMENT PRACTICES

1	PLAN CHECK 12-16-21	RB
2	PLAN CHECK 02-13-23	WA
-	-	-
-	-	-
-	-	-
REVISIONS	BY	
JOB NO:	2211311	
DATE:	10-19-21	
SCALE:	AS NOTED	
DESIGN BY:	WA	
CHECKED BY:	RB	
SHEET NO:		

BMP-1
 09 OF 10 SHEETS

BUILDING SITE APPROVAL

Project Information

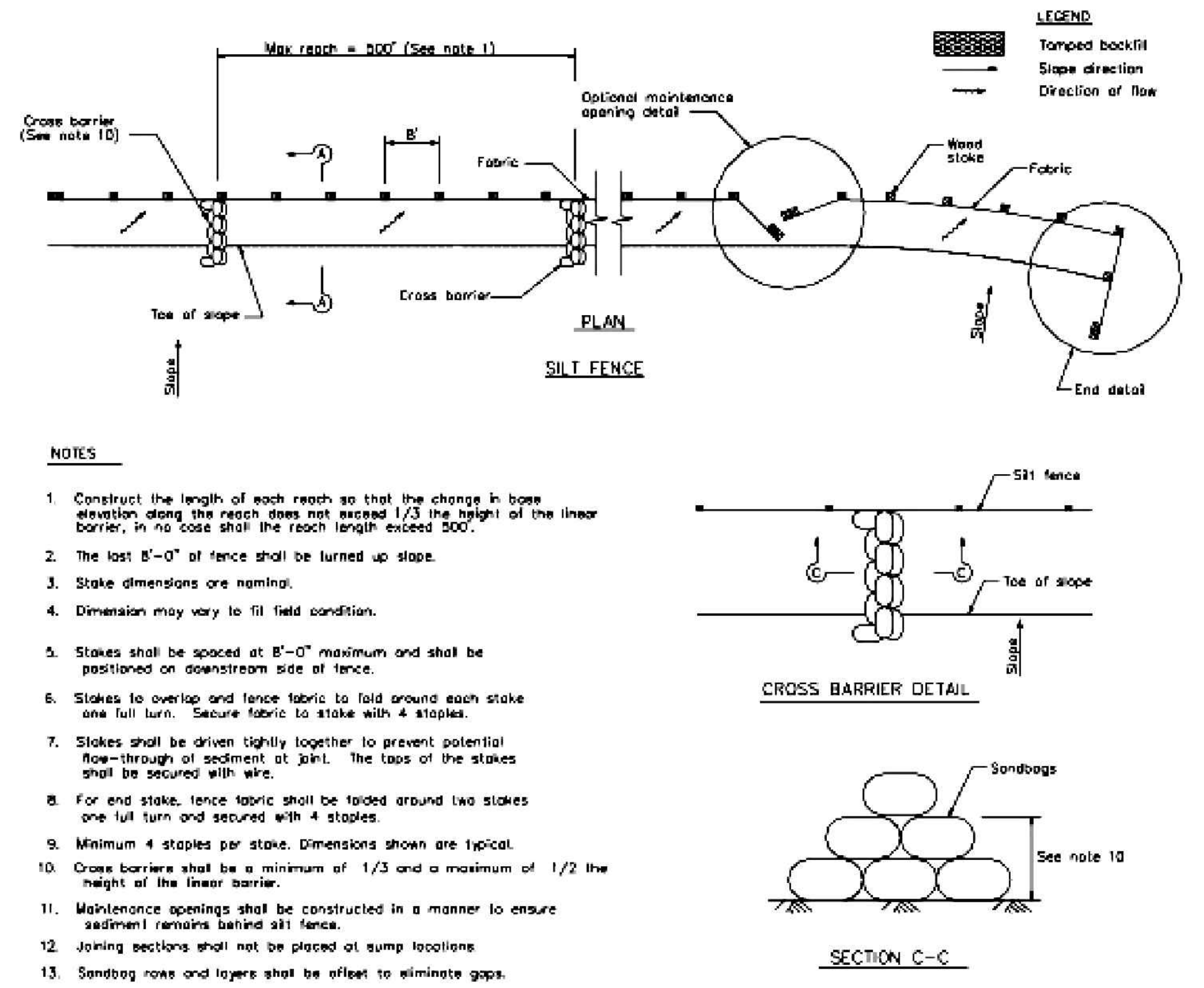
STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
 - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
 - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
 - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
 - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
 - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

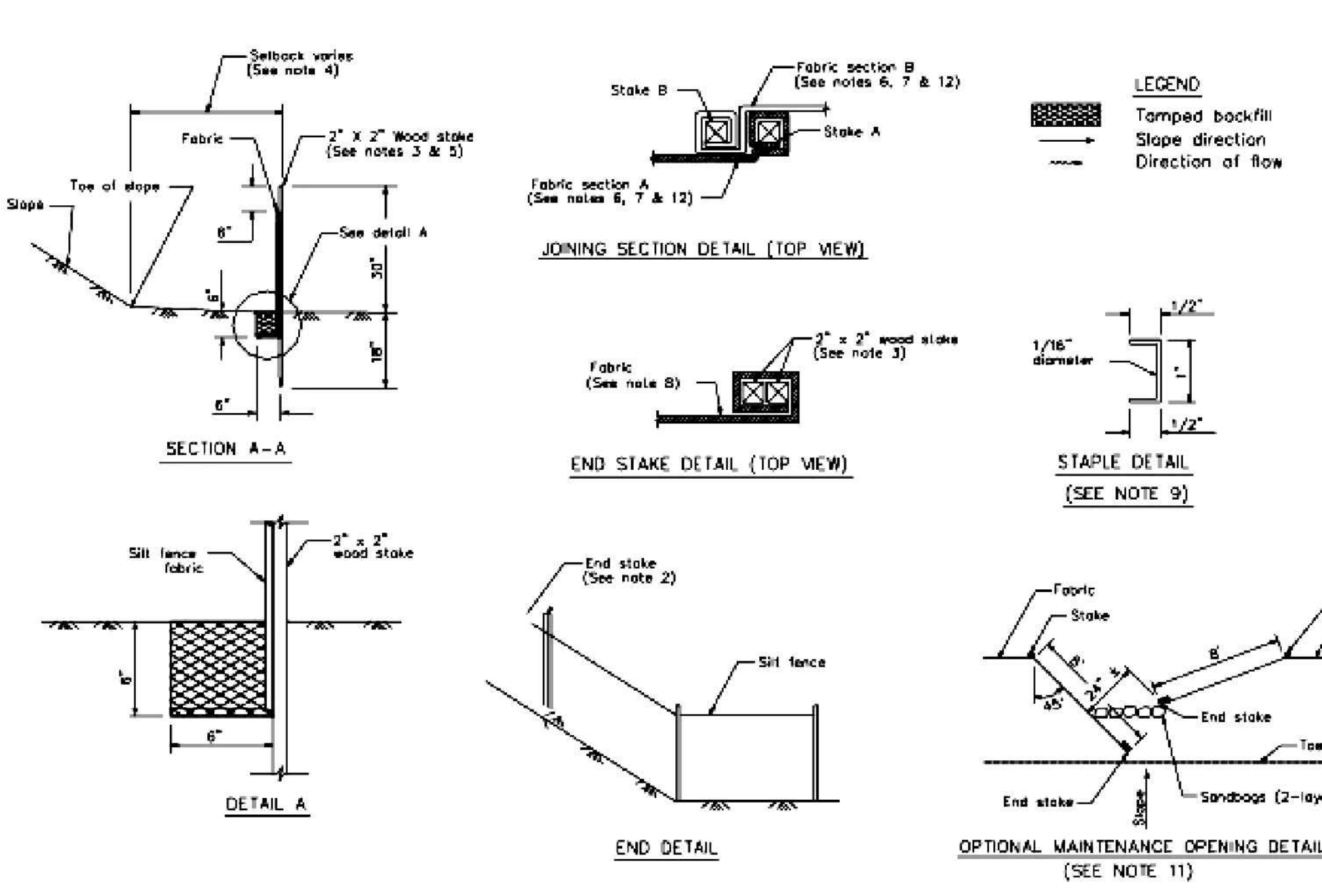
STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

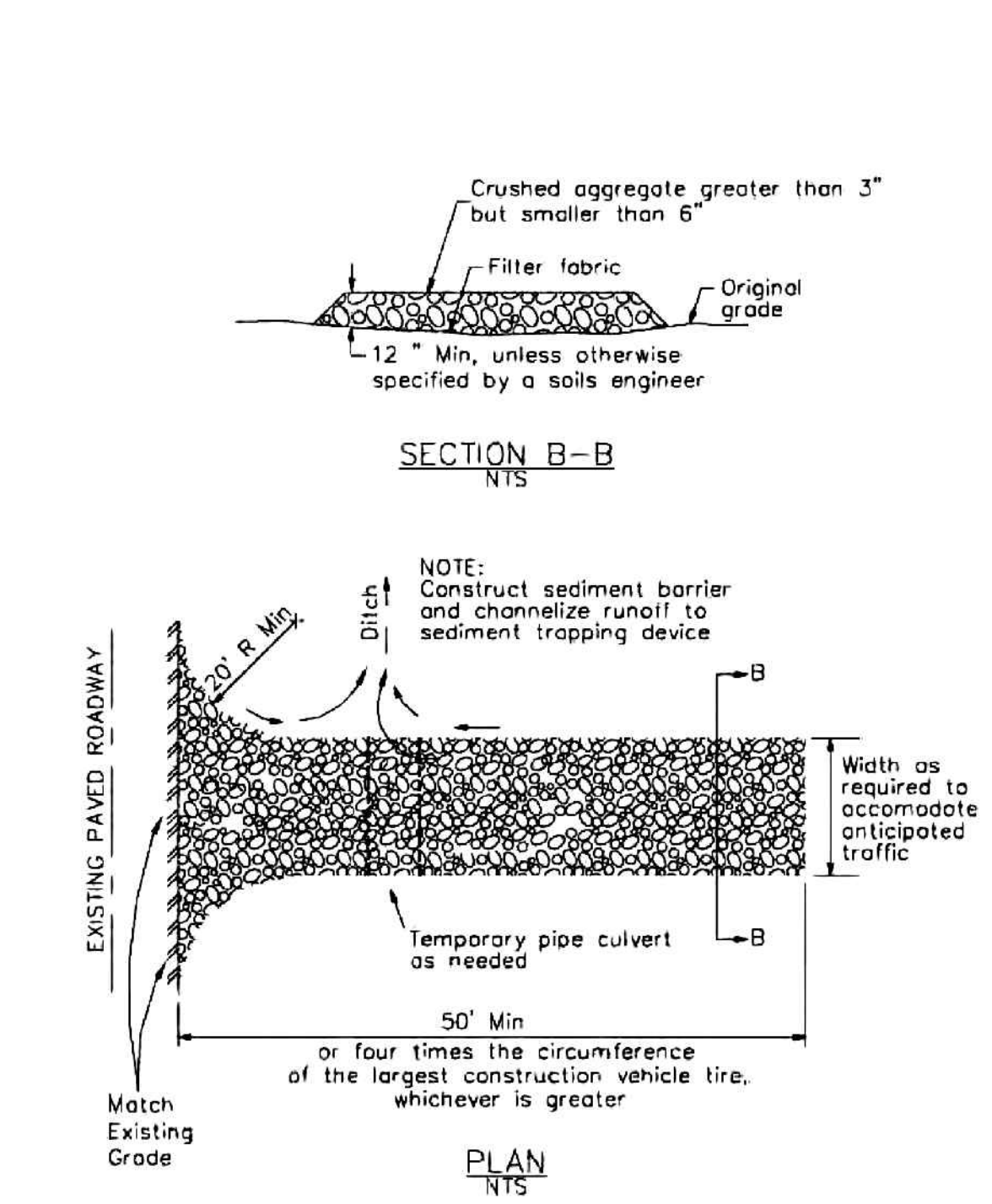
1 Silt Fence CASQA Detail SE-1



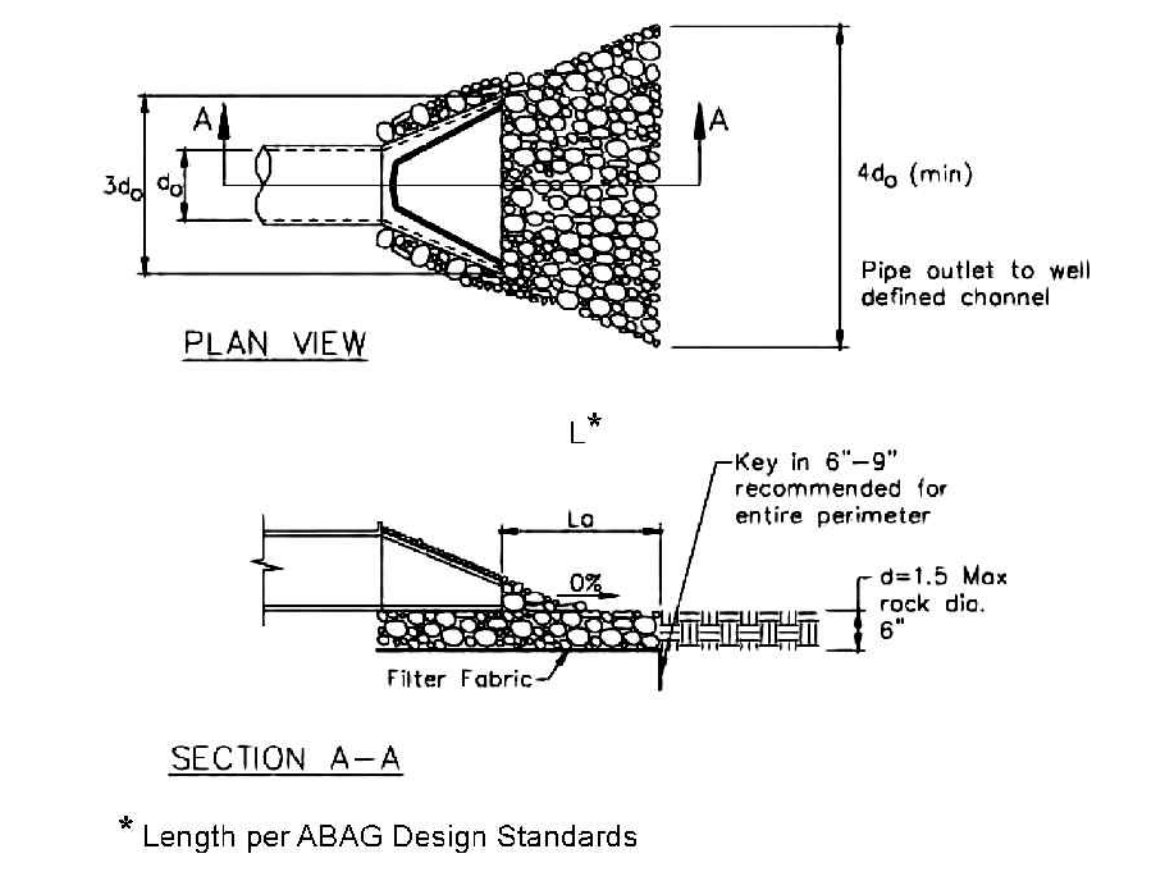
2 Silt Fence CASQA Detail SE-1



3 Stabilized Construction Entrance/Exit CASQA Detail TC-1



4 Velocity Dissipation Devices CASQA Detail EC-10



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

Best Management Practices and Erosion Control Details Sheet 1
 County of Santa Clara



BMP-1

PLAN # OF SHEET

APPLICANT:

ROAD NAME: ADDRESS

COUNTY FILE NO.: XXXX-XXX-XXX

