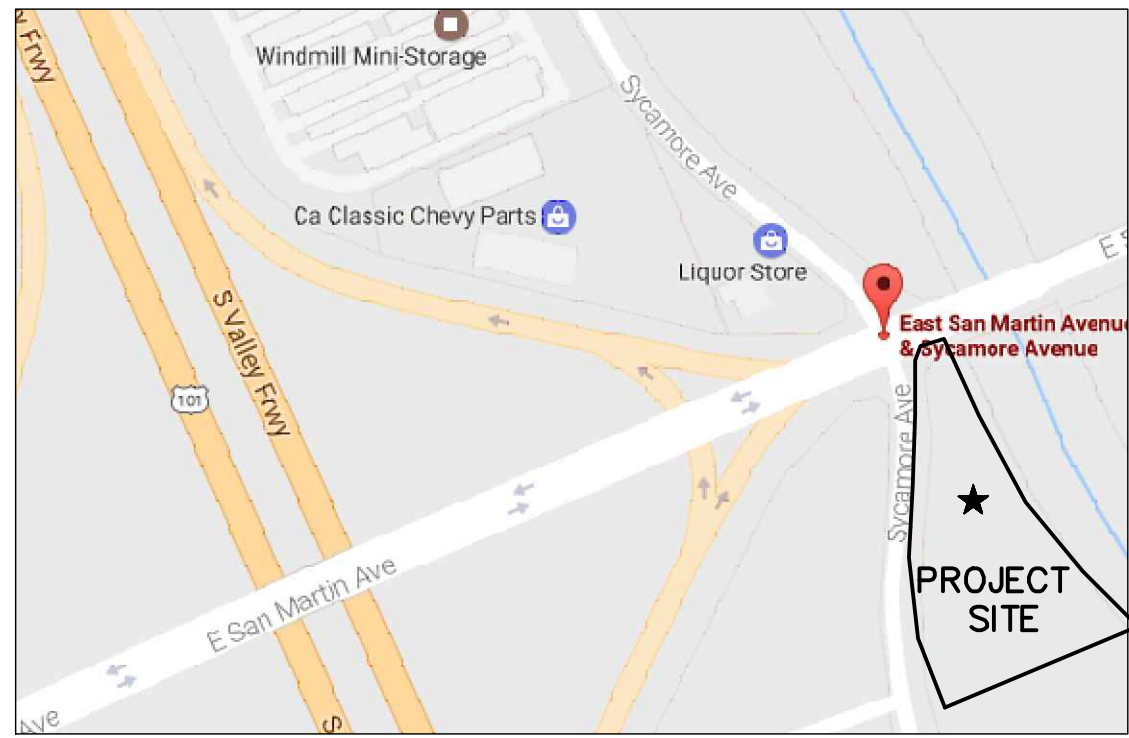
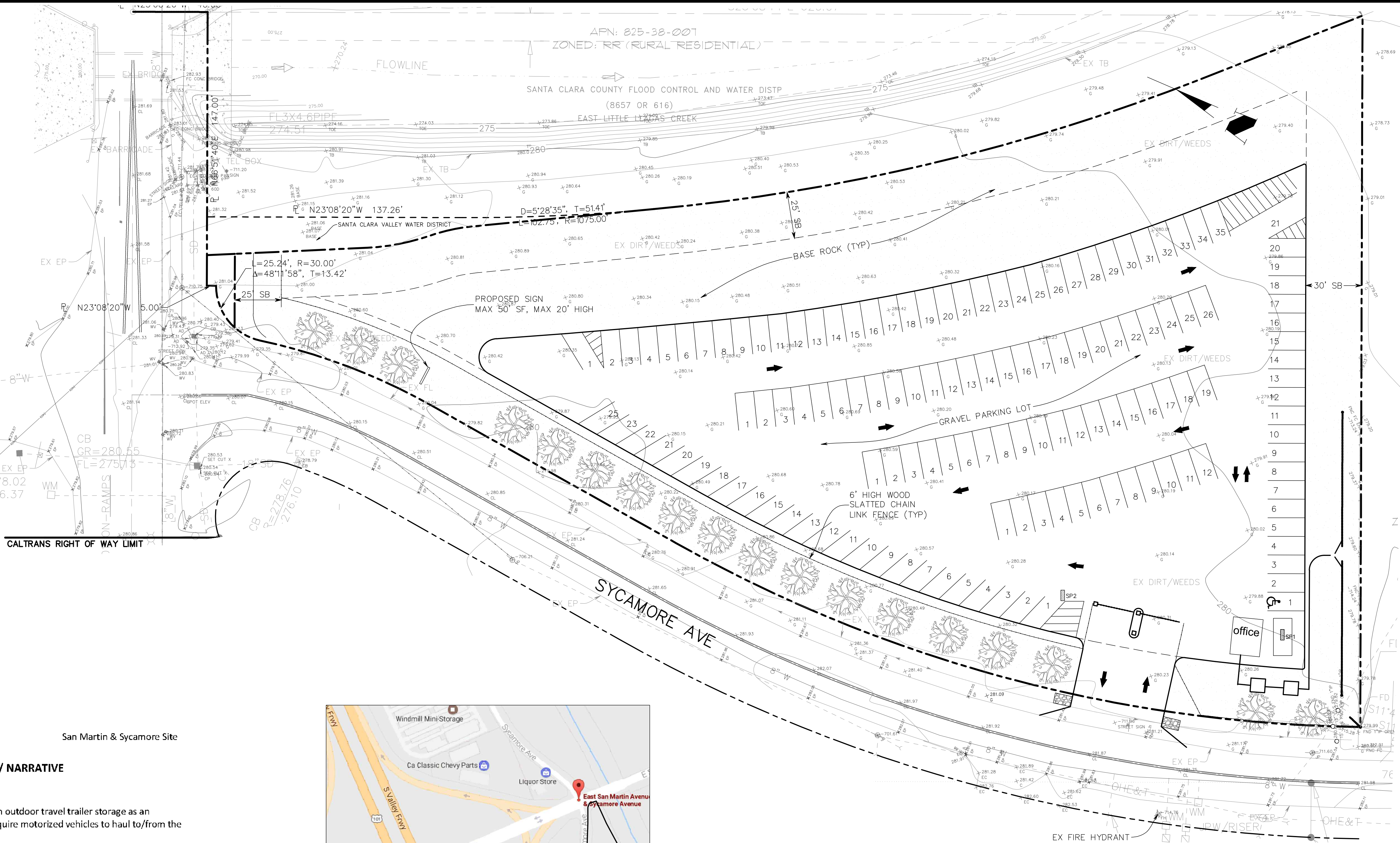


LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	BM	BENCHMARK
AC	ASPHALT CONCRETE	BOUNDARY	
BLDG	BUILDING	CB	CATCH BASIN
BSL	BUILDING SETBACK LINE	CD	COBBLE ROCK ENERGY DISSIPATOR
BW	BOTTOM OF WALL/BACK OF WALK	CG	CURB & GUTTER
CB	CATCH BASIN	CL	CENTERLINE
CD	COBBLE ROCK ENERGY DISSIPATOR	CO	SANITARY SEWER CLEANOUT
CG	CURB & GUTTER	CONC	CONCRETE
CL	CENTERLINE	CONS	CONSTRUCT
CO	SANITARY SEWER CLEANOUT	CSD	COUNTRY STANDARD DETAIL
CONC	CONCRETE	DE	DRAINAGE EMITTER
CONS	CONSTRUCT	DI	DRAINAGE INLET
CSD	COUNTRY STANDARD DETAIL	DIP	DUCTILE IRON PIPE
DE	DRAINAGE EMITTER	DS	DOWNSPOUT
DI	DRAINAGE INLET	DWY	DRIVEWAY
DIP	DUCTILE IRON PIPE	E	EASEMENT
DS	DOWNSPOUT	ELEV	ELEVATION
DWY	DRIVEWAY	EM	ELECTRIC METER
E	EASEMENT	E(OH)	ELECTRIC OVERHEAD
ELEV	ELEVATION	E(UG)	ELECTRIC UNDERGROUND
EM	ELECTRIC METER	EP	EDGE OF PAVEMENT
E(OH)	ELECTRIC OVERHEAD	EX	EXISTING
E(UG)	ELECTRIC UNDERGROUND	FD	FOUND
EP	EDGE OF PAVEMENT	FF	FINISH ELEVATION OF SUBFLOOR
EX	EXISTING	FG	GROUND FINISH GRADE
FD	FOUND	FL	FIRE HYDRANT
FF	FINISH ELEVATION OF SUBFLOOR	FL	FLOW LINE
FG	GROUND FINISH GRADE	G	GARAGE SLAB ELEVATION/GAS LINE
FL	FIRE HYDRANT	GM	GAS METER
FL	FLOW LINE	GR	GRATE
G	GARAGE SLAB ELEVATION/GAS LINE	HI	HI POINT
GM	GAS METER	INV	INVERT
GR	GRATE	JP	JOINT PLOE
HI	HI POINT	LP	LIP OF GUTTER
INV	INVERT	LS	LANDSCAPED AREA
JP	JOINT PLOE	MAX	MAXIMUM
LP	LIP OF GUTTER	MH	MANHOLE
LS	LANDSCAPED AREA	MN	MINIMUM
MAX	MAXIMUM	NTS	NOT TO SCALE
MH	MANHOLE	OH	OVERHEAD
MN	MINIMUM	OG	ORIGINAL GROUND
NTS	NOT TO SCALE	P	PAVEMENT FINISH GRADE
OH	OVERHEAD	PAD	PAD ELEVATION
OG	ORIGINAL GROUND	PERF	PERFORATED
P	PAVEMENT FINISH GRADE	PP	PROPERTY LINE
PAD	PAD ELEVATION	PSE	POWER POLE PROP PROPOSED
PERF	PERFORATED	PUE	PUBLIC SERVICE EASEMENT
PP	PROPERTY LINE	PWMT	PAYMENT
PSE	POWER POLE PROP PROPOSED	PVC	POLYVINYL CHLORIDE
PUE	PUBLIC SERVICE EASEMENT	R	RADIUS
PWMT	PAYMENT	RW	RETAINING WALL
PVC	POLYVINYL CHLORIDE	REM	REMOVE
R	RADIUS	R/W	RIGHT OF WAY
RW	RETAINING WALL	S.C.V.W.D	SANTA CLARA VALLEY WATER DISTRICT
REM	REMOVE	SD	STORM DRAIN
R/W	RIGHT OF WAY	SDE	SLOPE EASEMENT
S.C.V.W.D	SANTA CLARA VALLEY WATER DISTRICT	SE	SANITARY SEWER/LATERAL
SD	STORM DRAIN	STA	STATION
SDE	SLOPE EASEMENT	STD	STANDARD CITY DETAIL
SE	SANITARY SEWER/LATERAL	SW	SIDEWALK
STA	STATION	TB	TOP OF BANK
STD	STANDARD CITY DETAIL	TC	TOP OF CURB
SW	SIDEWALK	TEMP	TEMPORARY
TB	TOP OF BANK	TOE	TOE OF BANK
TC	TOP OF CURB	TG	TOE OF GRATE
TEMP	TEMPORARY	TPF	TREE PROTECTION FENCE
TOE	TOE OF BANK	TW	TOP OF WALL
TG	TOE OF GRATE	TYP	TYPICAL
TPF	TREE PROTECTION FENCE	VG	VALLEY GUTTER
TW	TOP OF WALL	W	WATER
TYP	TYPICAL	WLK	WALKWAY
VG	VALLEY GUTTER	WM	WATER METER
W	WATER	WV	WATER VALVE
WLK	WALKWAY	WV	WATER VALVE
WM	WATER METER	WELL	WELL
WV	WATER VALVE		



VICINITY MAP  
NTS

PROJECT DESCRIPTION / NARRATIVE

Project Description:

Champion Plumbing – General: A plumbing business with outdoor travel trailer storage as an ancillary business. The trailers are non-motorized and require motorized vehicles to haul to/from the site.

- 1) A 320 SF Office Building. Used by employees for administrative/scheduling activities (not intended for public use);
- 2) 1 employee parking spaces, including 1 ADA stall;
- 3) Previous parking lot and maneuvering areas (please see Site Plan);
- 4) An on-site drain-field will service the 320 SF Office building;
- 5) Exterior landscaping and wood slatted chain link fencing with climbing vine plantings is proposed in order to provide neighborhood visual buffering and security;
- 6) A 50 SF commercial business advertising sign (Maximum 20 FT high);

Operational Characteristics / Activities:

Employees. A maximum 1 employees.

Hours of Operation. The business will typically operate 5 days a week, from 8:00 AM to 5:00 PM.

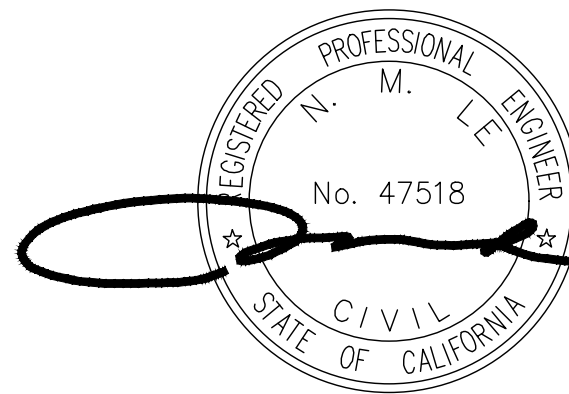
Average Daily Trips. The average number of vehicle trips for the project is estimated to be two (2) trips per day

Delivery vehicles. The trailer storage are scheduled using an online system with a minimum gap of 30 minutes between appointments. The largest trucks anticipated will be a large pickup truck similar to a Ford F-250. There won't be any delay causing traffic backing up onto Sycamore Avenue.

Noise. Intermittent noise from typical vehicle movement is anticipated.

SHEET INDEX

Sheet 1 Project Description  
Sheet 2 Overall Site Plan  
Sheet 3 Grading & Drainage Plan



FILE NO.	1	OF	3	San Martin	CONTRACT NO.	PROJECT NO.	California	PROJECT DESCRIPTION LANDS OF McLENNAN SYCAMORE AVENUE APN 825-38-018	10/05/2021 NC DESIGNED DATE	10/05/2021 NC DRAWN DATE	10/05/2021 NC CHECKED DATE	BY	DATE	APPRO'D	REVISIONS	NO.
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BASIS OF BEARINGS

THIS BASIS OF BEARING OF THE SURVEY IS THE CENTERLINE OF SYCAMORE AVENUE AS SHOWN ON THAT PARCEL MAP 370 PM 51 THE BEARING OF WHICH IS S 23°08'20" E

BENCHMARK

FEMA BENCH MARK = TOP OF WALKWAY AT NORTHEAST END OF BRIDGE AT SAN MARTIN AVENUE AND US HIGHWAY 101. ESTABLISHED BY GEORGE S. NOLTE AND ASSOCIATE. ELEV = 305.46, FEMA NUMBER = RM575

PERMANENT MONUMENTS/ MONUMENT PRESERVATION:

1. IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS' ACT (BUSINESS AND PROFESSIONS CODE) CHAPTER 15 SECTIONS 8771 AND 8725.1, CALIFORNIA PENAL CODE 605, AND CALIFORNIA GOVERNMENT CODE 27581, THE OWNER, CONTRACTOR, AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING ROADWAY/ STREET MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT AND/OR AS SHOWN ON THE PLAN SHEET SHALL ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR OFFICE PRIOR TO DISTURBING SAID MONUMENTS. ALL DISTURBED OR DESTROYED MONUMENTS SHALL BE RESET AND FILED IN COMPLIANCE WITH SECTION 8771.

PROJECT INFORMATION

1. PROJECT NAME : SYCAMORE AVENUE, SAN MARTIN
2. APPLICATION NUMBER :
3. ASSESSOR PARCEL NO: 825-38-018
4. NAME OF APPLICANT : MICHAEL McLENNAN
5. PROJECT PHASE :USE PERMIT
6. PROJECT TYPE : COMMERCIAL

IMPROVEMENT PLAN CONSTRUCTION NOTES:

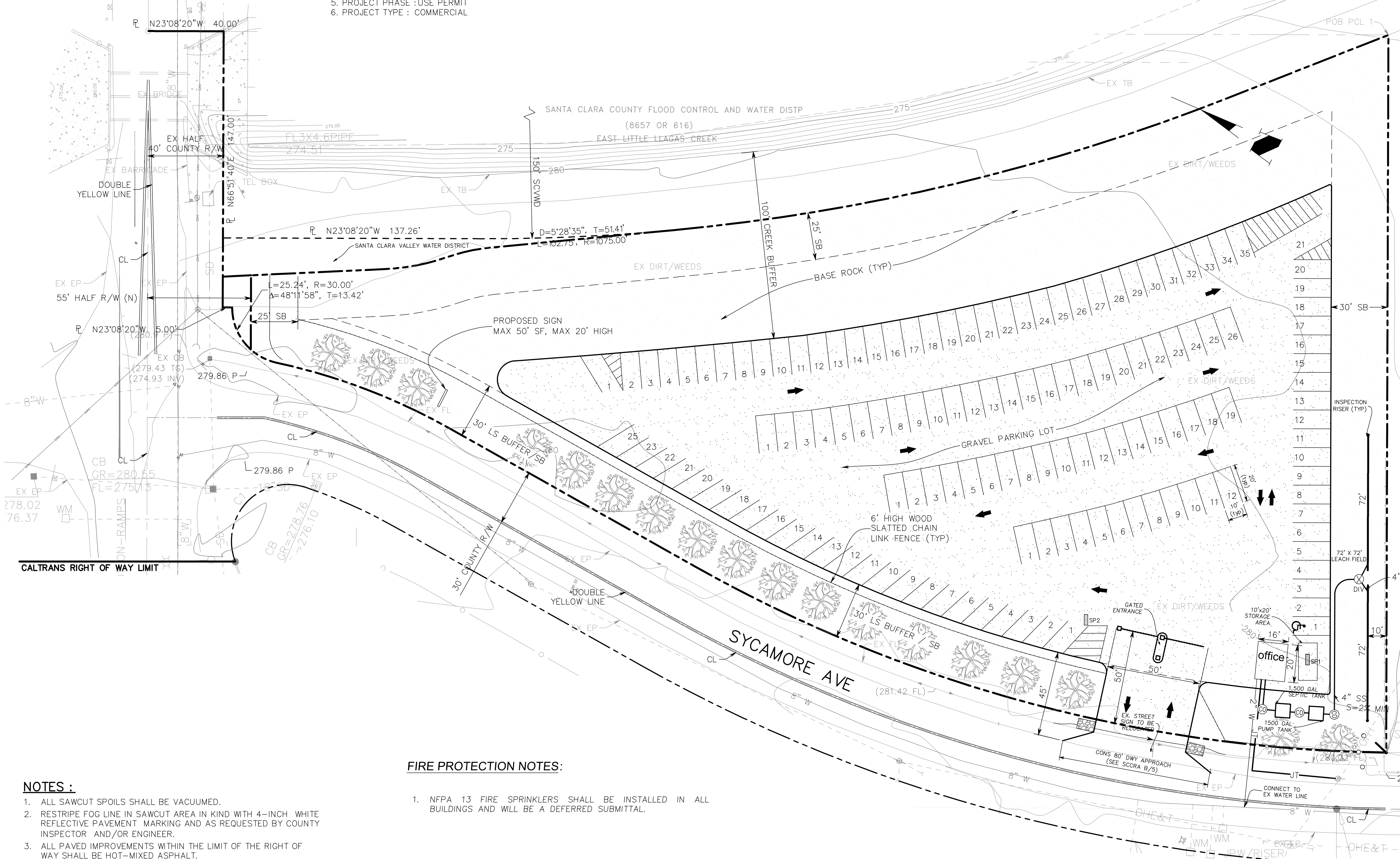
1. ALL WORK IN THE COUNTY ROAD RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. RETAINING WALLS, DRIVEWAY APPROACHES, TEMPORARY CONSTRUCTION ENTRANCES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ALL UTILITY OPERATIONS (RELOCATIONS, REPLACEMENTS, ABANDONMENTS, TEMPORARY FACILITIES, AND/OR NEW FACILITIES FOR CABLE, ELECTRIC, GAS, SEWER, WATER), ETC.
2. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN UPON THIS PLAN, WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

NOTE :

1. NO STREET PARKING SHALL BE ALLOWED FOR ANY OPERATIONS ASSOCIATED WITH THIS USE PERMIT.
2. THIS PARCEL IS LOCATED WITHIN A KNOWN AREA OF HIGH GROUNDWATER; THEREFORE, WET WEATHER TESTING SHALL BE REQUIRED TO DETERMINE VERTICAL SEPARATION BETWEEN GROUND WATER AND OWTS TRENCH BOTTOM.
3. MAINTAIN A MINIMUM OF A 100 FOOT SET BACK BETWEEN LITTLE LLAGAS CREEK AND OWTS.
4. MAINTAIN A MINIMUM OF A 100 FOOT SET BACK BETWEEN A WELL AND OWTS.

LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	+	BENCHMARK
AC	ASPHALT CONCRETE	—	BOUNDARY
BLDG	BUILDING	—	CATCH BASIN
BSL	BUILDING SETBACK LINE	—	COBBLE ROCK ENERGY DISSIPATOR
BW	BOTTOM OF WALL/BACK OF WALK	—	CONTOUR: EXISTING
CB	CATCH BASIN	—	CONTOUR: PROPOSED
CD	COBBLE ROCK ENERGY DISSIPATOR	—	OR NEW
CG	CURB & GUTTER	—	DESIGN GRADE
CO	CENTERLINE	—	DOWNSPOUT WITH SPLASHBLOCK
CONC	SANITARY SEWER CLEANOUT	—	DIVERSION VALVE
CONC	CONCRETE	—	BACKWATER VALVE (SEE PROJECT NOTES)
CONC	CONSTRUCT	—	DRAINAGE SWALE
CSD	COUNTY STANDARD DETAIL	—	EASEMENT LINE
DI	DRAINAGE INLET	—	EXISTING ELEVATION
DS	DOWNSPOUT	—	OR (101.70)
DWY	DRIVEWAY	—	EXISTING FENCE
EA	EASEMENT	—	EXISTING TREE TO BE REMOVED
ELEV	ELEVATION	—	EXISTING TREE TO REMAIN
EM	ELECTRIC METER	—	FOUND IRON PIPE AT PROPERTY CORNER
E(OH)	ELECTRIC OVERHEAD	—	FILTER FABRIC ROLLS
E(UG)	ELECTRIC UNDERGROUND	—	GAS METER
EP	EDGE OF PAVEMENT	—	GRADE TO DRAIN
EX	EXISTING	—	GUY POLE
FD	FOUND	—	FIRE HYDRANT
FF	FINISH ELEVATION OF SUBFLOOR	—	INLET
FG	GROUND FINISH GRADE	—	JOINT POLE
FL	FIRE HYDRANT	—	LANDSCAPED AREA
FL	FLOW LINE	—	LIGHTING
G	GARAGE SLAB ELEVATION/GAS LINE	—	LIGHTING POLE
GM	GAS METER	—	LOW POINT
GR	GRATE	—	MONUMENT WELL
HI	HI POINT	—	OVERLAND FLOW DIRECTION
INV	INVERT	—	POE BOX
JP	JOINT PLOE	—	PROJECT SITE
LIP	LIP OF GUTTER	—	RETAINING WALL
LS	LANDSCAPED AREA	—	RIGHT OF WAY
MAX	MAXIMUM	—	SANITARY SEWER
MH	MANHOLE	—	CLEAN OUT MANHOLE
MIN	MINIMUM	—	STORM DRAIN MANHOLE
NTS	NOT TO SCALE	—	SOIL PROFILE
OH	OVERHEAD	—	TEST PIT
OG	ORIGINAL GROUND	—	TOP OF FILL
P	PAVEMENT FINISH GRADE	—	TOE OF FILL
PAD	PAD ELEVATION	—	TOP OF CUT
PERF	PERFORATED	—	TOE OF BANK
PL	PROPERTY LINE	—	TOE OF GRATE
PP	POWER POLE PROP PROPOSED	—	TOP OF WALL
PSE	PUBLIC SERVICE EASEMENT	—	TYPICAL
PUE	PUBLIC UTILITY EASEMENT	—	VALLEY GUTTER
PVMT	PAVEMENT	—	W
PVC	POLYVINYL CHLORIDE	—	WALKWAY
R	RADIUS	—	WM
RM	RETAINING WALL	—	WATER METER
RM	REMOVE	—	WATER VALVE
R/W	RIGHT OF WAY	—	WV
S.C.V.W.D	SANTA CLARA VALLEY WATER DISTRICT	—	
SD	STORM DRAIN	—	
SE	STORM DRAIN EASEMENT	—	
SE	SLOPE EASEMENT	—	
SS	SANITARY SEWER/LATERAL	—	
STA	STATION	—	
STD	STANDARD CITY DETAIL	—	
SW	SIDEWALK	—	
TB	TOP OF BANK	—	
TC	TOP OF CURB	—	
TEMP	TEMPORARY	—	
TOE	TOE OF BANK	—	
TG	TOP OF GRATE	—	
TW	TOP OF WALL	—	
TV	TYPICAL	—	
VG	VALLEY GUTTER	—	
W	WATER	—	
WLK	WALKWAY	—	
WM	WATER METER	—	
WV	WATER VALVE	—	

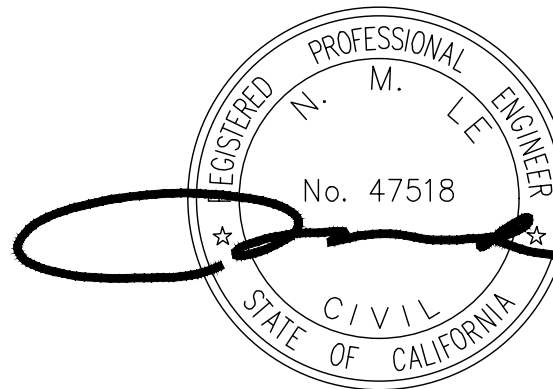


NOTES :

1. ALL SAWCUT SPOILS SHALL BE VACUUMED.
2. RESTRIPE FOG LINE IN SAWCUT AREA IN KIND WITH 4-INCH WHITE REFLECTIVE PAVEMENT MARKING AND AS REQUESTED BY COUNTY INSPECTOR AND/OR ENGINEER.
3. ALL PAVED IMPROVEMENTS WITHIN THE LIMIT OF THE RIGHT OF WAY SHALL BE HOT-MIXED ASPHALT.
4. FOR TRAFFIC CONTROL DURING CONSTRUCTION, SEE DETAIL A THIS SHEET.
5. PROPERTY OWNER IS RESPONSIBLE FOR THE ADEQUACY OF ANY DRAINAGE FACILITIES AND FOR THE CONTINUED MAINTENANCE THEREOF IN A MANNER THAT WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH OR DAMAGE TO ADJOINING PROPERTY
6. ALL NEW ON-SITE UTILITIES, MAINS AND SERVICES SHALL BE PLACED UNDERGROUND AND EXTENDED TO SERVE THE PROPOSED DEVELOPMENT. ALL EXTENSIONS SHALL BE INCLUDED IN THE IMPROVEMENT PLANS. OFF-SITE WORK SHOULD BE COORDINATED WITH ANY OTHER UNDERGROUNDING TO SERVE OTHER PROPERTY IN THE IMMEDIATE AREA.

FIRE PROTECTION NOTES:

1. NFPA 13 FIRE SPRINKLERS SHALL BE INSTALLED IN ALL BUILDINGS AND WILL BE A DEFERRED SUBMITTAL.



LC ENGINEERING

598 E Santa Clara St #270  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 583-4006

OVERALL SITE PLAN  
LANDS OF McLENNAN  
SYCAMORE AVENUE  
APN 825-38-018

San Martin

California

NO.	REVISIONS	DATE	BY	DATE
1		10/05/2021	NC	DESIGNED
2		10/05/2021	NC	DRAWN
3		10/05/2021	NC	CHECKED
4		10/05/2021	NC	FILED
5		10/05/2021	NC	PROJECT NO.
6		10/05/2021	NC	CONTRACT NO.
7		10/05/2021	NC	FILE NO.
8		10/05/2021	NC	FILE NO.
9		10/05/2021	NC	FILE NO.
10		10/05/2021	NC	FILE NO.
11		10/05/2021	NC	FILE NO.
12		10/05/2021	NC	FILE NO.
13		10/05/2021	NC	FILE NO.
14		10/05/2021	NC	FILE NO.
15		10/05/2021	NC	FILE NO.
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29		10/05/2021	NC	FILE NO.
30		10/05/2021	NC	FILE NO.
31		10/05/2021	NC	FILE NO.
32		10/05/2021	NC	FILE NO.
33		10/05/2021	NC	FILE NO.
34		10/05/2021	NC	FILE NO.
35		10/05/2021	NC	FILE NO.

