
















































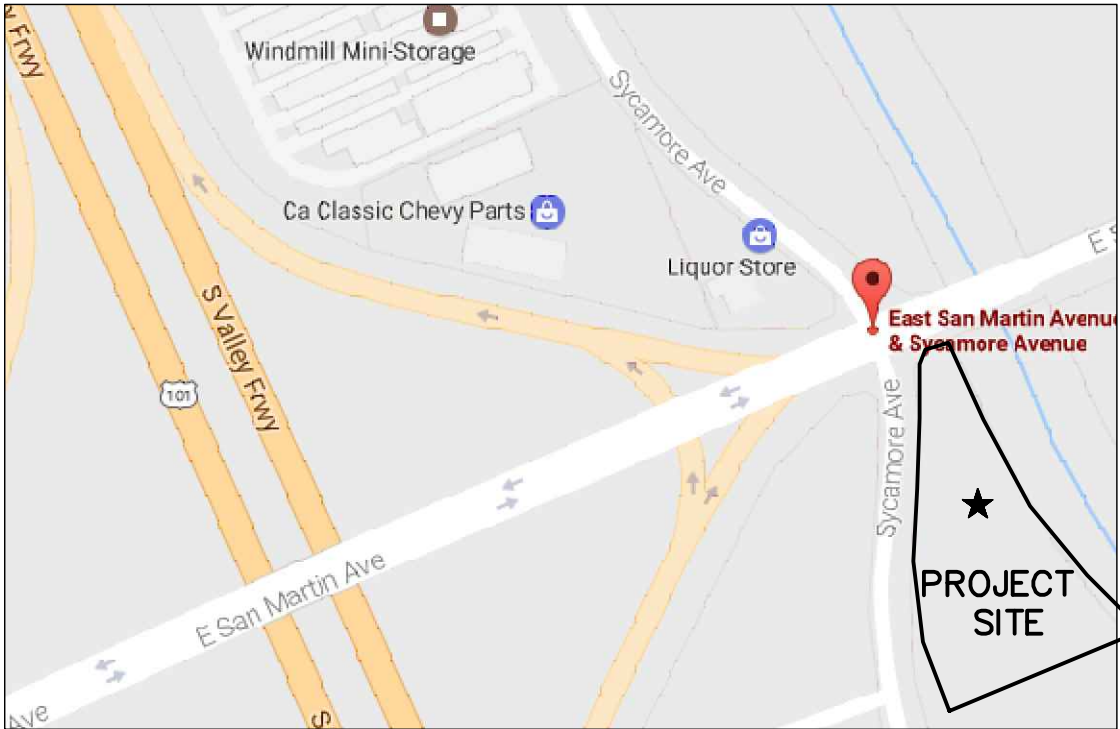
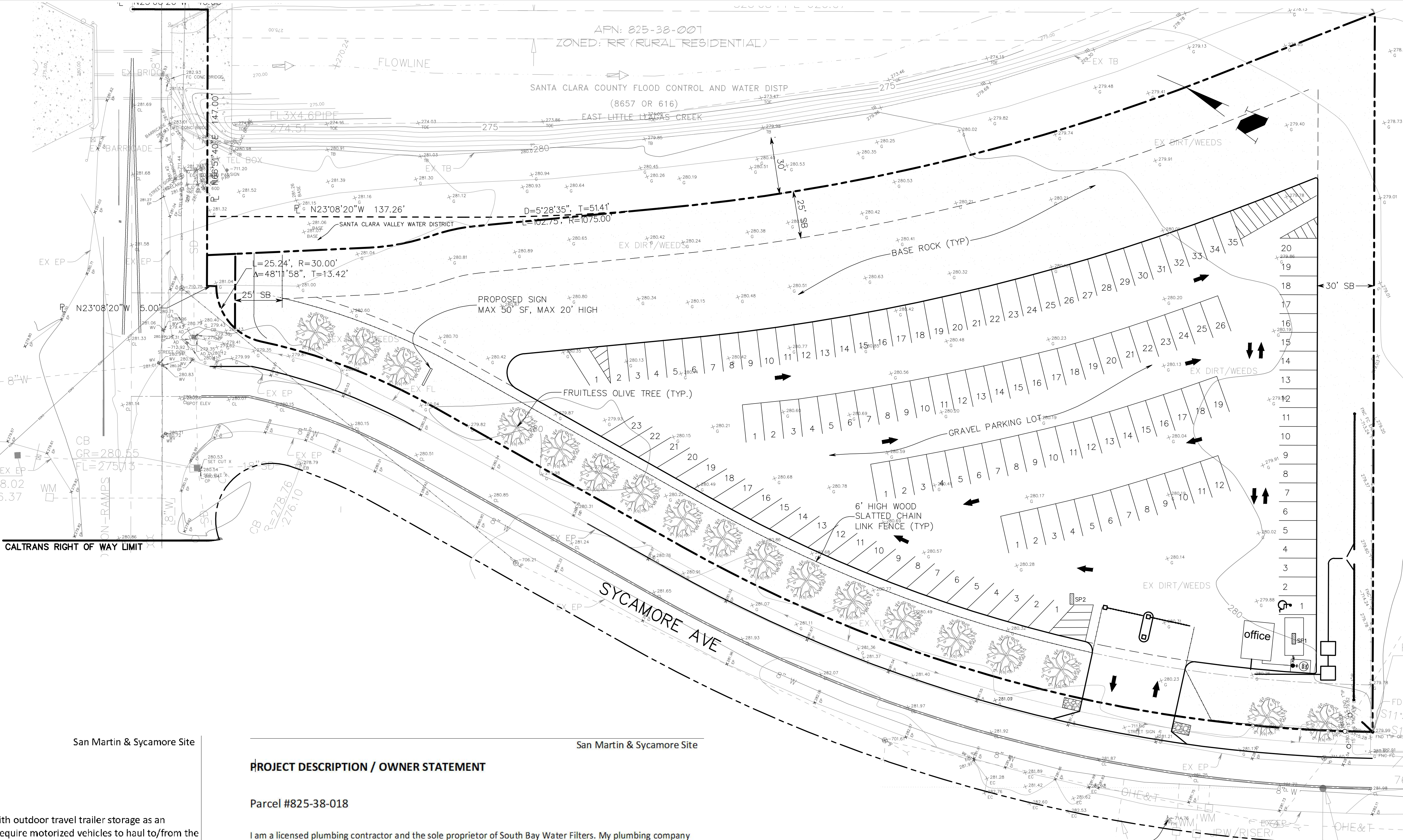
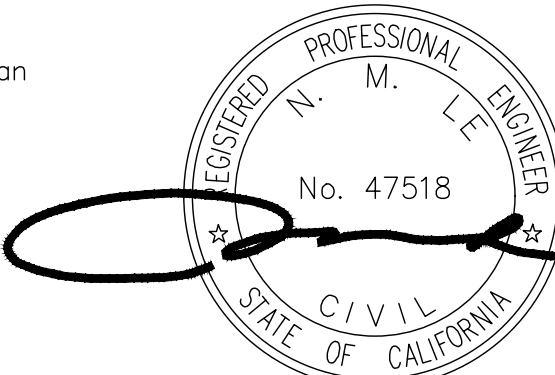
	BENCHMARK
	BOUNDARY
	CATCH BASIN
	COBBLE ROCK
	ENERGY DISSIPATOR
	CONCRETE
	CONTOUR: EXISTING
	CONTOUR: PROPOSED
	OR NEW
	DESIGN GRADE
	DOWNSPOUT WITH SPASHBLOCK
	DIVISION VALVE
	BACKWATER VALVE (SEE PROJECT NOTES)
	DRAINAGE SWALE
	EASEMENT LINE
	EXISTING ELEVATION
	EXISTING FENCE
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	FOUND IRON PIPE AT PROPERTY CORNER
	FILTER FABRIC ROLLS
	GAS METER
	GRADE TO DRAIN
	GUY POLE
	FIRE HYDRANT
	INLET
	JOINT POLE
	LIGHTING
	LIGHTING POLE
	MAIL BOX
	MONUMENT WELL
	OVERLAND FLOW DIRECTION
	PGE BOX
	PROJECT SITE
	RETAINING WALL
	RIGHT OF WAY
	SANITARY SEWER
	CLEAN OUT MANHOLE
	STORM DRAIN MANHOLE
	TEST PIT
	TOP OF FILL
	TOE OF FILL
	TOP OF CUT
	TOE OF CUT
	TREE NUMBER
	UTILITY: EXISTING
	UTILITY: PROPOSED
	WATER METER
	WATER VALVE
	WELL



VICINITY MAP
NTS

SHEET INDEX

Sheet 1	Project Description
Sheet 2	Overall Site Plan
Sheet 3	Grading & Drainage Plan

[illegible]

APPLICANT : McLENNAN

ROAD NAME : SYCAMORE AVENUE

COUNTY FILE NO. : _____

BASIS OF BEARINGS

THIS BASIS OF BEARING OF THE SURVEY IS THE CENTERLINE OF SYCAMORE AVENUE AS SHOWN ON THAT PARCEL MAP 370 PM 51 THE BEARING OF WHICH IS S 23°08'20" E

BENCHMARK

FEMA BENCH MARK = TOP OF WALKWAY AT NORTHEAST END OF BRIDGE AT SAN MARTIN AVENUE AND US HIGHWAY 101. ESTABLISHED BY GEORGE S. NOLTE AND ASSOCIATE. ELEV = 305.46 (NGVD 29), FEMA NUMBER = RM575

PERMANENT MONUMENTS/ MONUMENT PRESERVATION:

1. IN ACCORDANCE WITH THE CALIFORNIA PROFESSIONAL LAND SURVEYORS' ACT (BUSINESS AND PROFESSIONS CODE) CHAPTER 15 SECTIONS 8771 AND 8725.1, CALIFORNIA PENAL CODE 605, AND CALIFORNIA GOVERNMENT CODE 27581, THE OWNER, CONTRACTOR, AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING ROADWAY/ STREET MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT AND/OR AS SHOWN ON THE PLAN SHEET SHALL ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR OFFICE PRIOR TO DISTURBING SAID MONUMENTS. ALL DISTURBED OR DESTROYED MONUMENTS SHALL BE RESET AND FILED IN COMPLIANCE WITH SECTION 8771.

PROJECT INFORMATION

1. PROJECT NAME : SYCAMORE AVENUE, SAN MARTIN
2. APPLICATION NUMBER :
3. ASSESSOR PARCEL NO: 825-38-018
4. NAME OF APPLICANT : MICHAEL McLENNAN
5. PROJECT PHASE :USE PERMIT
6. PROJECT TYPE : COMMERCIAL

IMPROVEMENT PLAN CONSTRUCTION NOTES:

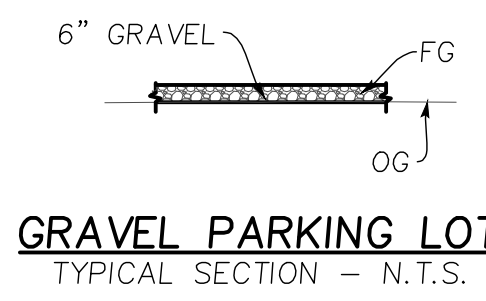
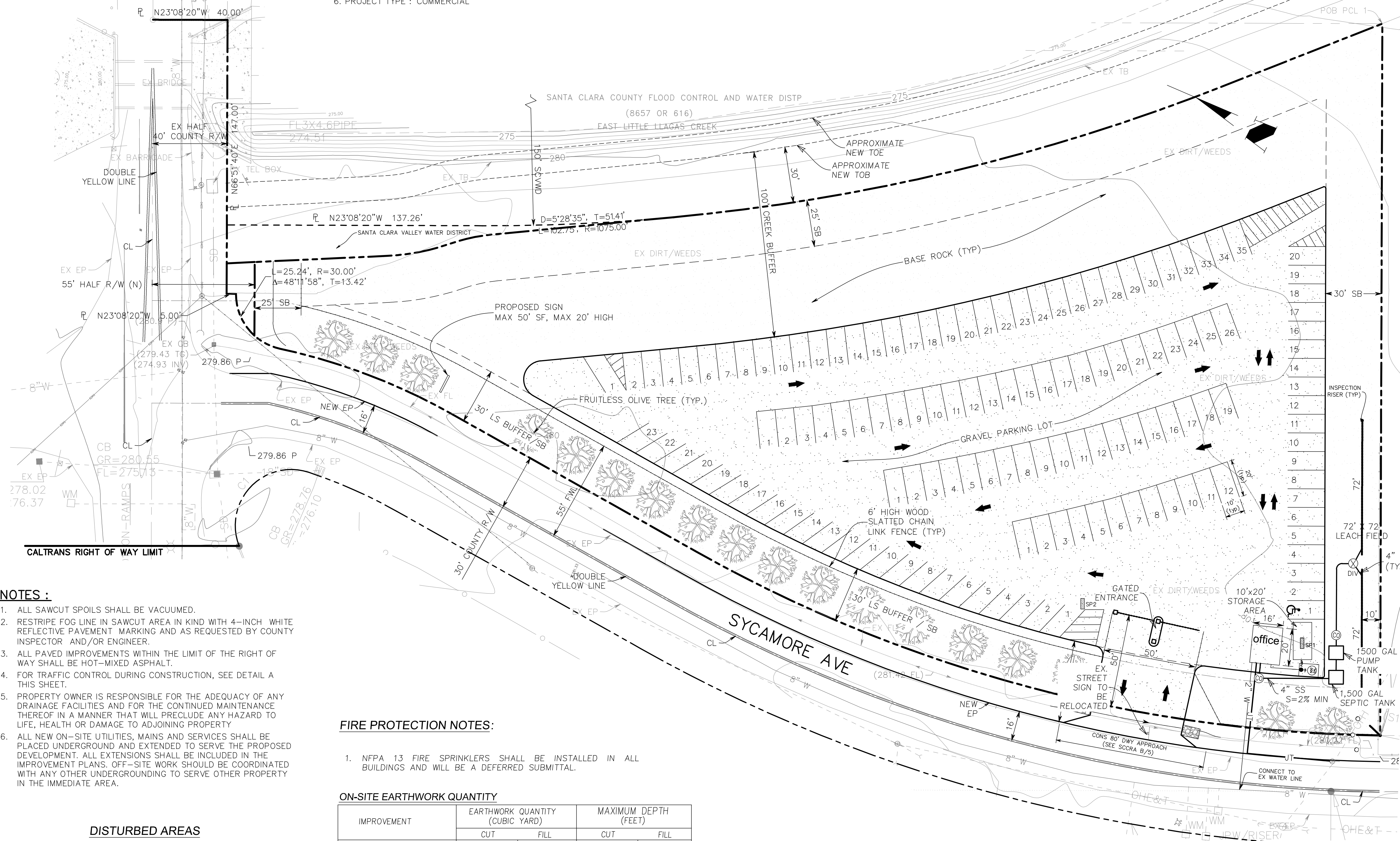
1. ALL WORK IN THE COUNTY ROAD RIGHT OF WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. RETAINING WALLS, DRIVEWAY APPROACHES, TEMPORARY CONSTRUCTION ENTRANCES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ALL UTILITY OPERATIONS (RELOCATIONS, REPLACEMENTS, ABANDONMENTS, TEMPORARY FACILITIES, AND/OR NEW FACILITIES FOR CABLE, ELECTRIC, GAS, SEWER, WATER), ETC.
2. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN UPON THIS PLAN, WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.

NOTE :

1. NO STREET PARKING SHALL BE ALLOWED FOR ANY OPERATIONS ASSOCIATED WITH THIS USE PERMIT.
2. THIS PARCEL IS LOCATED WITHIN A KNOWN AREA OF HIGH GROUNDWATER; THEREFORE, WET WEATHER TESTING SHALL BE REQUIRED TO DETERMINE VERTICAL SEPARATION BETWEEN GROUND WATER AND OWTS TRENCH BOTTOM.
3. MAINTAIN A MINIMUM OF A 100 FOOT SET BACK BETWEEN LITTLE LAGAS CREEK AND OWTS.
4. MAINTAIN A MINIMUM OF A 100 FOOT SET BACK BETWEEN A WELL AND OWTS.

LEGEND & ABBREVIATIONS

AB	AGGREGATE BASE	+	BENCHMARK
AC	ASPHALT CONCRETE	—	BOUNDARY
BLDG	BUILDING	—	CATCH BASIN
BSL	BUILDING SETBACK LINE	—	COBBLE ROCK ENERGY DISSIPATOR
BW	BOTTOM OF WALL/BACK OF WALK	—	CONTOUR: EXISTING
CB	CATCH BASIN	—	CONTOUR: PROPOSED
CD	COBBLE ROCK ENERGY DISSIPATOR	—	OR NEW
CG	CURB & GUTTER	—	DESIGN GRADE
CO	CENTERLINE	—	DOWNSPOUT WITH SPLASHBLOCK
CONC	SANITARY SEWER CLEANOUT	—	DIVERSION VALVE
CONC	CONCRETE	—	BACKWATER VALVE (SEE PROJECT NOTES)
CSD	CONSTRUCT	—	DRAINAGE SWALE
CONC	COUNTY STANDARD DETAIL	—	EASEMENT LINE
DI	DRAINAGE INLET	—	EXISTING ELEVATION
DS	DOWNSPOUT	—	EXISTING FENCE
DWY	DRIVEWAY	—	EXISTING TREE TO BE REMOVED
EA	EASEMENT	—	EXISTING TREE TO REMAIN
ELEV	ELEVATION	—	FOUND IRON PIPE AT PROPERTY CORNER
EM	ELECTRIC METER	—	FILTER FABRIC ROLLS
E(OH)	ELECTRIC OVERHEAD	—	GAS METER
E(UG)	ELECTRIC UNDERGROUND	—	GRADE TO DRAIN
EP	EDGE OF PAVEMENT	—	GUY POLE
EX	EXISTING	—	FIRE HYDRANT
FD	FOUND	—	INLET
FF	FINISH ELEVATION OF SUBFLOOR	—	JOINT POLE
FG	GROUND FINISH GRADE	—	LIGHTING
FL	FIRE HYDRANT	—	LIGHTING POLE
FL	FLOW LINE	—	LOW POINT
G	GARAGE SLAB ELEVATION/GAS LINE	—	MONUMENT WELL
GM	GAS METER	—	OVERLAND FLOW DIRECTION
GR	GRATE	—	POE BOX
HI	HI POINT	—	PROJECT SITE
INV	INVERT	—	RETAINING WALL
JP	JOINT PLOE	—	RIGHT OF WAY
LIP	LIP OF GUTTER	—	SANITARY SEWER
LS	LANDSCAPED AREA	—	CLEAN OUT MANHOLE
MAX	MAXIMUM	—	STORM DRAIN MANHOLE
MH	MANHOLE	—	SOIL PROFILE
MIN	MINIMUM	—	TEST PIT
NTS	NOT TO SCALE	—	TOP OF FILL
OH	OVERHEAD	—	TOE OF FILL
OG	ORIGINAL GROUND	—	TOP OF CUT
P	PAVEMENT FINISH GRADE	—	TOE OF BANK
PAD	PAD ELEVATION	—	TOP OF GRATE
PERF	PERFORATED	—	TW
PP	PROPERTY LINE	—	TYPICAL
PSE	PUBLIC SERVICE EASEMENT	—	VALLEY GUTTER
PUE	PUBLIC UTILITY EASEMENT	—	W
PVMT	PAVEMENT	—	WALKWAY
PVC	POLYVINYL CHLORIDE	—	WM
R	RADIUS	—	WATER
RM	RETAINING WALL	—	WATER METER
RM	REMOVE	—	WATER VALVE
R/W	RIGHT OF WAY	—	WV
S.C.V.W.D	SANTA CLARA VALLEY WATER DISTRICT	—	
SD	STORM DRAIN	—	
SE	STORM DRAIN EASEMENT	—	
SE	SLOPE EASEMENT	—	
SS	SANITARY SEWER/LATERAL	—	
STA	STATION	—	
STD	STANDARD CITY DETAIL	—	
SW	SIDEWALK	—	
TB	TOP OF BANK	—	
TC	TOP OF CURB	—	
TEMP	TEMPORARY	—	
TOE	TOE OF BANK	—	
TG	TOP OF GRATE	—	
TW	TOP OF WALL	—	
TV	TYPICAL	—	
VG	VALLEY GUTTER	—	
W	WATER	—	
WLK	WALKWAY	—	
WM	WATER METER	—	
WV	WATER VALVE	—	



- NOTES :
1. ALL SAWCUT SPOILS SHALL BE VACUUED.
 2. RESTRIPE FOG LINE IN SAWCUT AREA IN KIND WITH 4-INCH WHITE REFLECTIVE PAVEMENT MARKING AND AS REQUESTED BY COUNTY INSPECTOR AND/OR ENGINEER.
 3. ALL PAVED IMPROVEMENTS WITHIN THE LIMIT OF THE RIGHT OF WAY SHALL BE HOT-MIXED ASPHALT.
 4. FOR TRAFFIC CONTROL DURING CONSTRUCTION, SEE DETAIL A THIS SHEET.
 5. PROPERTY OWNER IS RESPONSIBLE FOR THE ADEQUACY OF ANY DRAINAGE FACILITIES AND FOR THE CONTINUED MAINTENANCE THEREOF IN A MANNER THAT WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH OR DAMAGE TO ADJOINING PROPERTY
 6. ALL NEW ON-SITE UTILITIES, MAINS AND SERVICES SHALL BE PLACED UNDERGROUND AND EXTENDED TO SERVE THE PROPOSED DEVELOPMENT. ALL EXTENSIONS SHALL BE INCLUDED IN THE IMPROVEMENT PLANS. OFF-SITE WORK SHOULD BE COORDINATED WITH ANY OTHER UNDERGROUNDING TO SERVE OTHER PROPERTY IN THE IMMEDIATE AREA.

FIRE PROTECTION NOTES:

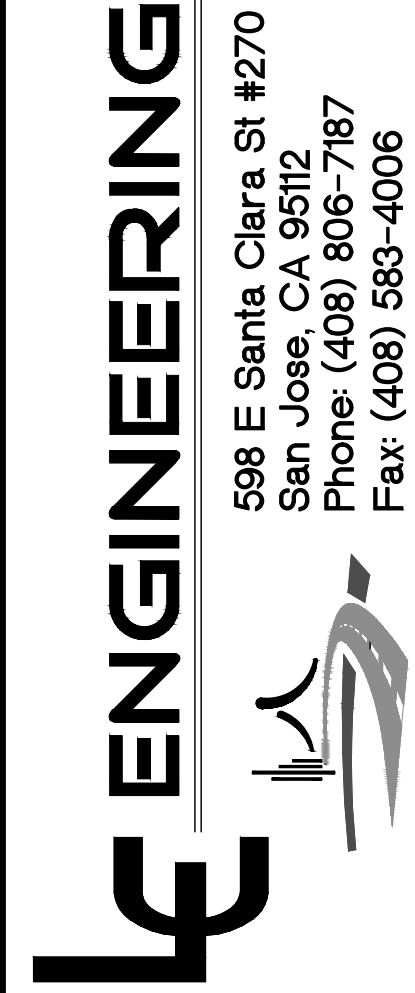
1. NFPA 13 FIRE SPRINKLERS SHALL BE INSTALLED IN ALL BUILDINGS AND WILL BE A DEFERRED SUBMITTAL.

ON-SITE EARTHWORK QUANTITY

IMPROVEMENT	EARTHWORK QUANTITY (CUBIC YARD)		MAXIMUM DEPTH (FEET)	
	CUT	FILL	CUT	FILL
OFFICE	0	0	—	—
ACCESSORY STRUCTURE	N/A	N/A	—	—
POOL/HARDSCAPE	N/A	N/A	—	—
DRIVEWAY & PARKING	0	0	—	—
DETENTION	N/A	N/A	—	—
LANDSCAPE	0	0	0	0
WATER TANK CONC PAD	0	0	—	—
FIRETRUCK TURNAROUND	N/A	N/A	—	—
TOTAL	0	0	—	—
TOTAL EARTHWORK	0	0	—	—
EXPORT QUANTITY	0	—	—	—
IMPORT QUANTITY	—	0	—	—

NOTE : FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

DISTURBED AREAS			
NO.	DESCRIPTION	AREA (SQUARE FEET)	
		ON-SITE	OFF-SITE
1.	TEMPORARY	67,927	0
2.	PERMANENT	392	863
TOTAL AREA		68,319	863



OVERALL SITE PLAN
LANDS OF McLENNAN
SYCAMORE AVENUE
APN 825-38-018

DRAWING NO. 2 OF 3
FILE NO. 2
PROJECT NO. 2
CONTRACT NO. 2

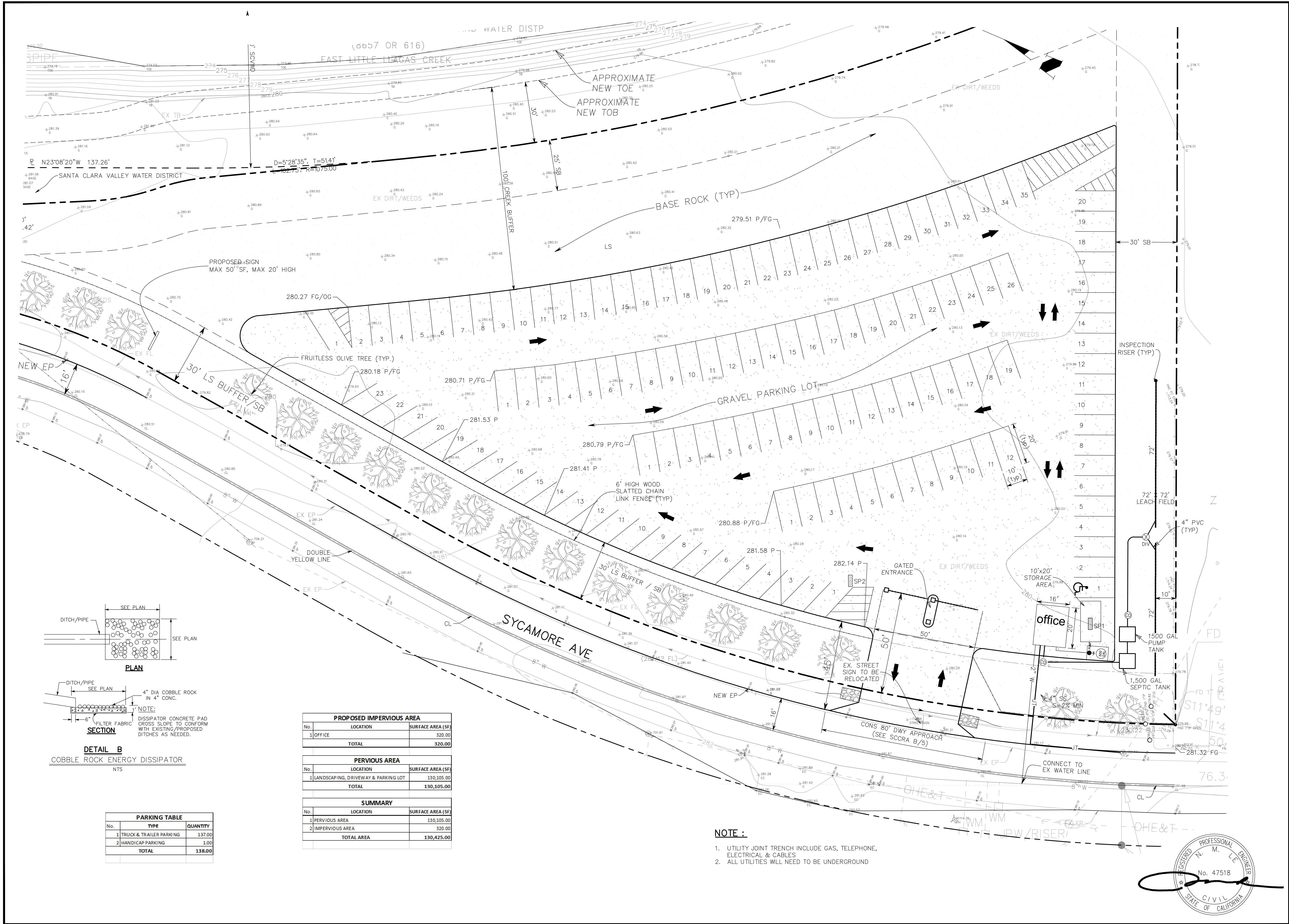
San Martin

California

APPLICANT : McLENNAN

ROAD NAME : SYCAMORE AVENUE

COUNTY FILE NO. : _____



FILE NO. 3 OF 3

San Martin

San Jose, CA 95112

Phone: (408) 806-7187

Fax: (408) 583-4006

GRADING AND DRAINAGE PLAN

LANDS OF McLENNAN

SYCAMORE AVENUE

APN 825-38-018

California

PROJECT NO.

CONTRACT NO.

San Martin

DESIGNED

DATE

10/05/2021

DRAWN

DATE

10/05/2021

CHECKED

DATE

10/05/2021

REVISIONS

BY

DATE

APPROVED

DATE

10/05/2021