

Vicinity Map

Owner:
Santino Orozco
626 San Bruno Avenue
Morgan Hill, CA 95037

Applicant:
Ricardo Ramirez
626 San Bruno Avenue
Morgan Hill, CA 95037
408.506.0242

Engineer:
David L. Faria, CE 92432
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
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Project Information:

APN	712-23-005
Present Use:	Residential / Wholesale Nursery
Present Zoning:	A-20Ac
Sanitary Sewer:	Private On-Site System
Gas and Electric:	PG&E
Water:	existing well
Existing Improvements:	As Shown
Area:	10.05 ac

Boundary Note: Property lines shown on this plan are based on record data and boundary monumentation measured to date.

Flood Data: The property lies wholly in Zone D, areas in which flood hazards are undetermined, but possible, per FEMA Firm Panel 06085C0437H, effective May 18, 2009.

Basis of Bearings: The bearings shown on this map are based on the centerline of San Bruno Avenue as found monumented and recorded as South 51° 02' 00" West, on that record of survey thereof recorded in Book 511 of Maps at Page 50, Santa Clara County Records.

Benchmark: Elevations shown on this plan are based on Santa Clara Valley Water District Benchmark BM085, brass disk located on top of wingwall, southwesterly corner of bridge at San Bruno Avenue, Unincorporated Santa Clara County, ELEVATION = 298.24' (NAVD88)

LEGEND

	(ex building)
	ex pavement
	ex concrete
	Proposed Pavement
	(0) Existing Contour

Earthwork Quantities

	Cut	Fill	Max Cut	Max Fill
Residence	0 cy	26 cy	0.00'	0.50'
Garage	0 cy	22 cy	0.00'	1.00'
Driveway	61 cy	43 cy	1.00'	1.25'
Stormwater Treatment	37 cy	0 cy	1.00'	0.00'
Total	98 cy	91 cy		

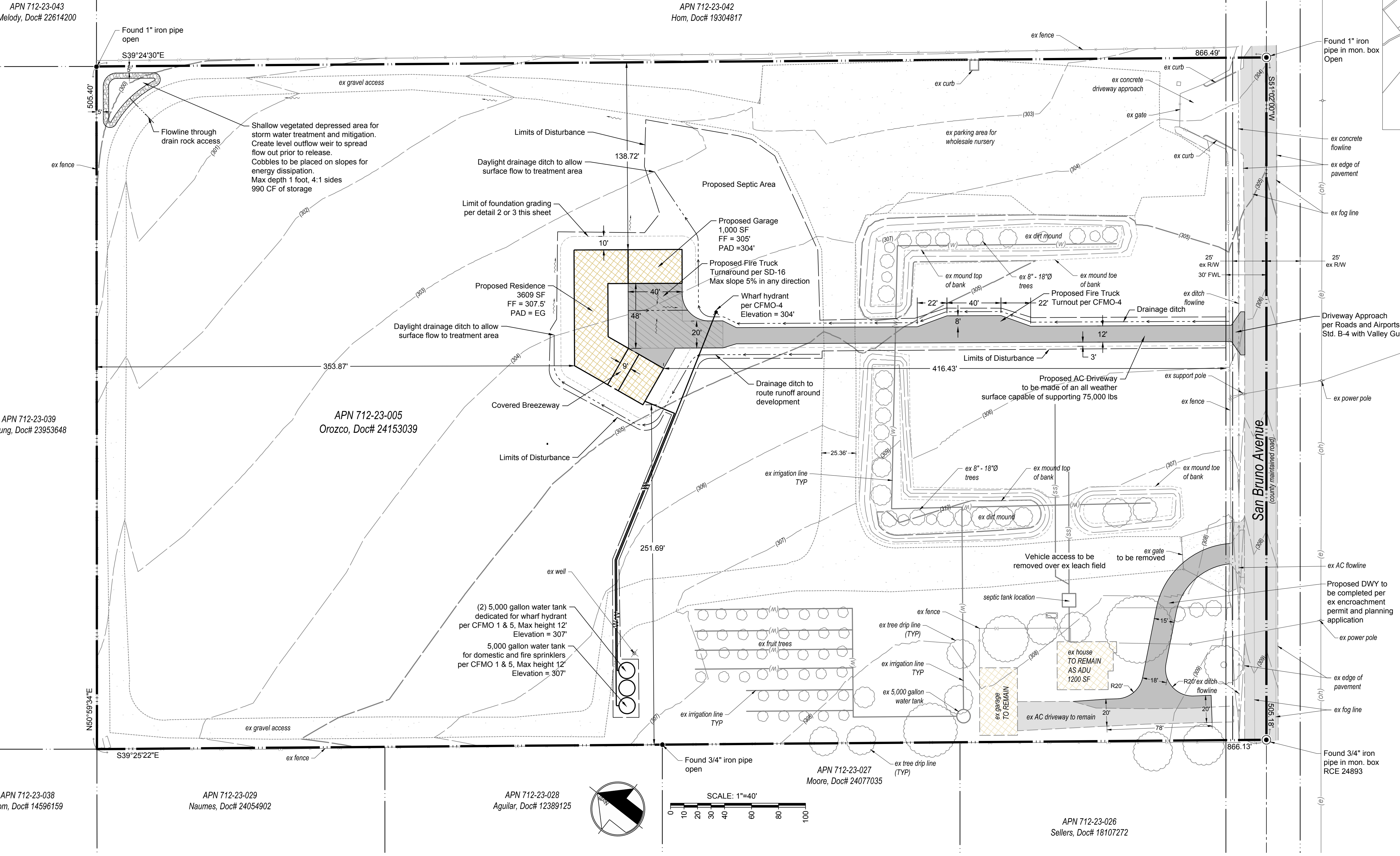
Proposed Floor Area

Proposed Residence	3,609 SF
Proposed Attached Garage	1,000 SF
Proposed Attached Breezeway	279 SF
Total Floor Area	4,888 SF

Impervious Area Summary

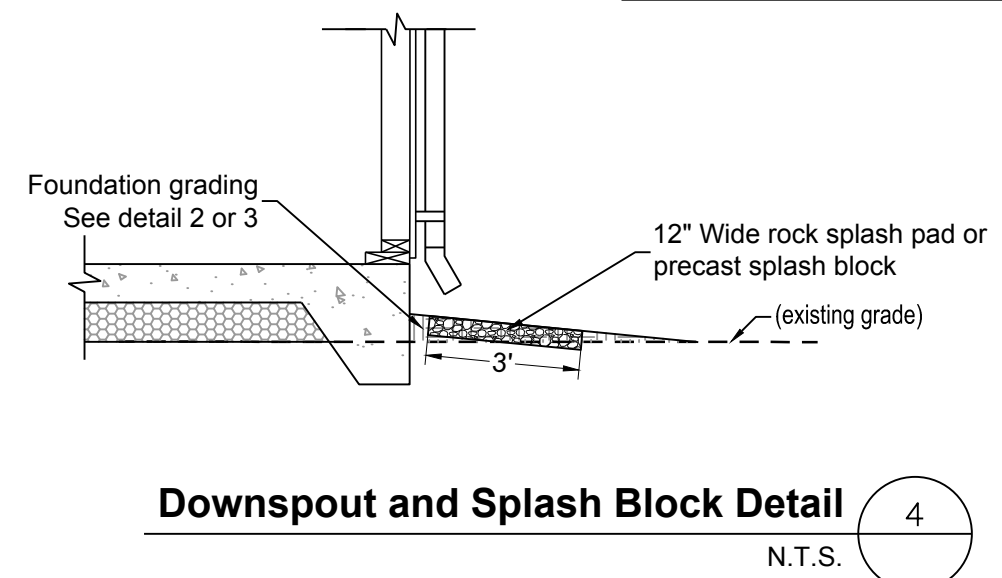
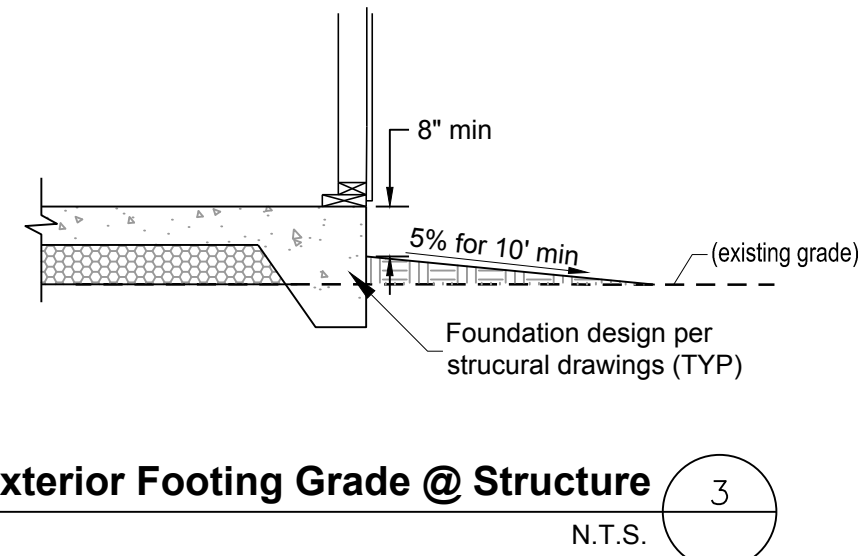
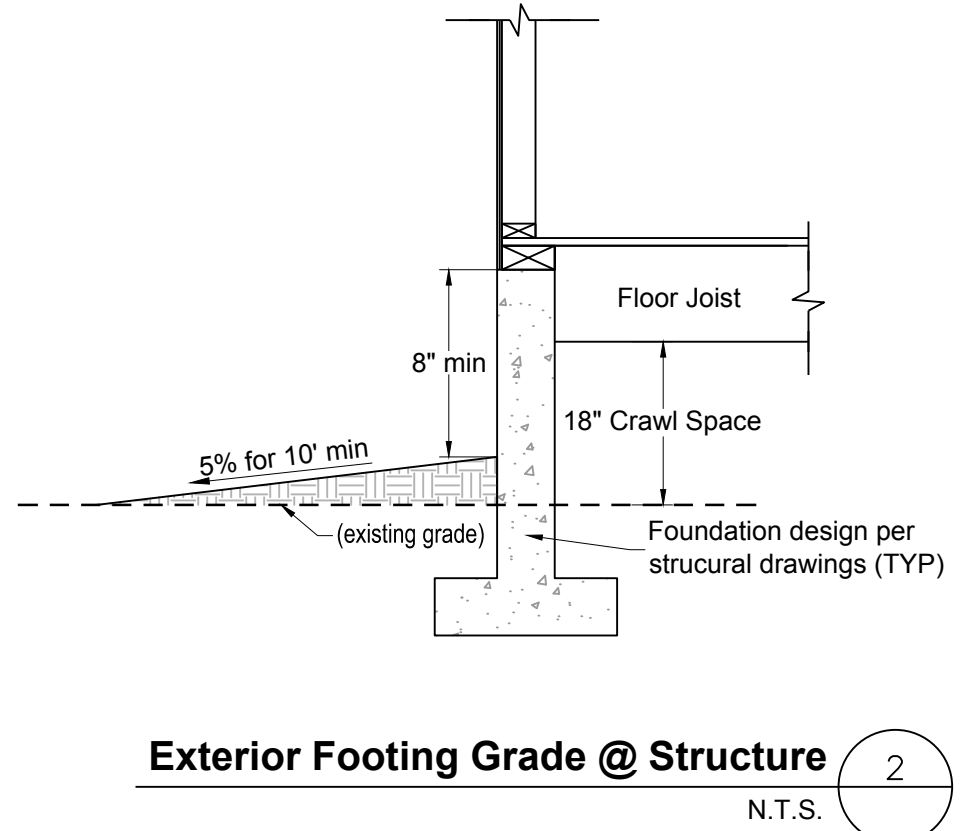
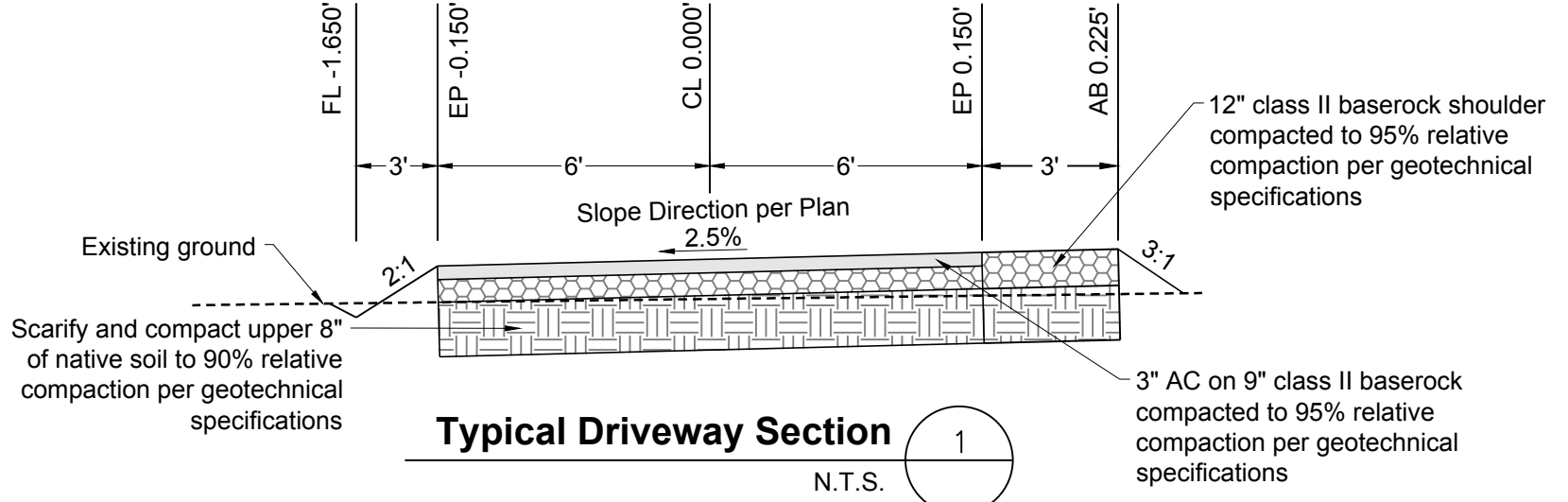
Proposed Residence and breezeway	3,888 SF
Proposed Attached Garage	1,000 SF
Proposed Driveway	8,170 SF
Total New Impervious Area	13,058 SF

Area of Disturbance = 38,016 SF



Tree Removal Summary

No trees to be removed



MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Ramirez - Site Plan
San Bruno Avenue - APN 712-23-005

DATE: 11/16/2021
SCALE: 1" = 40'
DRAWN BY: DF
CHECKED BY: DF
JOB NO: 219073
SHEET 1
OF 1