

## County of Santa Clara

Department of Planning and Development  
Planning Office

County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, California 95110-1705  
(408) 299-5770 FAX (408) 288-9198  
www.sccplanning.org



STAFF REPORT  
Zoning Administration  
July 7, 2022  
**Item No. 1**

Staff Contact: Xue Ling, Associate Planner  
(408) 299-5784, [xue.ling@pln.sccgov.org](mailto:xue.ling@pln.sccgov.org)

### **File: PLN22-005** **Design Review (Tier 2) and Grading Approval for a New Single-Family Residence**

**Summary:** Consider a concurrent land use application for Design Review and Grading Approval of an 11,173 square-foot, two-story single-family residence with an attached garage, two detached accessory structures, and a detached accessory dwelling unit (ADU) on a one (1)-acre lot. Associated improvements include demolition of the existing single-family residence and detached garage, existing driveway improvement, and removal of nine (9) trees with trunk diameters under 12 inches. Grading consists of 2,030 cubic yards of cut and 515 cubic yards of fill.

**Owner:** Sumeet Singh  
**Applicant:** Louie Leu  
**Address:** 15621 Glen Una Drive, Saratoga  
**APN:** 510-26-076  
**Supervisory District:** 5

**Gen. Plan Designation:** USA  
**Zoning:** RHS-d1  
**Lot Size:** one (1) acre  
**Present Land Use:** Single-family Residence  
**HCP:** Not in HCP Area

#### **RECOMMENDED ACTIONS**

- A. Accept a Categorical Exemption, under Section 15301(Class 1)(l) and 15303 (Class3)(a) of the CEQA Guidelines, outlined in Attachment A; and
- B. Grant Design Review Approval and Grading Approval, pursuant to Conditions of Approval outlined in Attachment B.

#### **ATTACHMENTS INCLUDED**

- Attachment A – CEQA Determination
- Attachment B – Preliminary Conditions of Approval
- Attachment C – Plans and Vicinity Map
- Attachment D – Materials Board
- Attachment E – 2373-24-54-86B (Building Site Approval and Variance) and BP 1987-70523

## PROJECT DESCRIPTION

---

The proposed project includes a request for Design Review Approval (Tier 2) and Grading Approval for a concurrent land use entitlement to construct a new 11,173 square-foot single-family residence with an attached garage. Work will also include demolition of the existing single-family residence and detached garage built in 1955. Associated improvements include one (1) pool, two (2) detached accessory structures, a detached accessory dwelling unit (ADU), and the removal of nine (9) trees with trunk sizes under twelve (12) inches. The maximum height of the proposed two (2)-story residence is thirty (30) feet tall, whereby the Zoning Ordinance allows a maximum height of thirty-five (35) feet. The proposed residence would utilize the existing building pad and driveway constructed under a Building Site Approval granted in 1986 (File No. 2373-24-54-86B, Attachment E) and the subsequently issued building permit (1987-70523, Attachment E). All existing buildings and improvements are proposed to be removed to accommodate the subject project at the same location. Grading consists of 2,030 cubic yards of cut and 515 cubic yards of fill. The site is not located in the Santa Clara Valley Habitat Plan Area; thus, the project is not subject to Habitat Plan coverage.

### Setting/Location Information

The one (1)-acre parcel is currently developed with an existing residence and a detached garage, located in the Glen Una neighborhood within Saratoga Urban Service Area. The surrounding neighborhood is comprised of single-family residences in a heavily wooded area with gentle slopes. However, the subject property lacks mature tree canopies as all the existing trees on site have trunk sizes under 12 inches. Access to the property is via the County-maintained Road of Glen Una Drive.

## REASONS FOR RECOMMENDATIONS

---

### A. Environmental Review and Determination (CEQA)

The proposed project's environmental impacts were analyzed, resulting in a Categorical Exemption (See Attachment A). The existing residence to be demolished has not received any historic designations and lacks unique historical features, based on the submitted *Identification of Potential Historic Significant Form* and photos of the residence.

Therefore, demolition of the existing residence can be categorically exempted from the California Environmental Quality Act (CEQA) under a Class 1 exemption (CEQA Guidelines Section 15301(1)(1)) for the removal of one single-family residence.

The aesthetic impacts of the proposed project are addressed through the design review process. Landscaping and other design measures, including Light Reflectivity Value (LRV), mitigate aesthetic impacts. The project will not create any new environmental impacts since the new development is occurring in the same location approved for a single-family residence. Also, no creek or special status species are mapped on the site. As such, the project qualifies for a Class 3 categorical exemption (CEQA Guidelines Section 15303(a)) for a new single-family residence.

### B. Project/Proposal

#### 1. General Plan: USA

2. **Approved Building Site:** Per County Ordinance Section C12-307, Building Site Approval is required for new single-family or two-family dwellings, including any RHS zoning district. An application for Building Site Approval was applied in 1985 and approved on June 17, 1986 (File No. 2373-24-54-86B, Attachment E). The Building Site Approval was effectuated through the issuance of a Building Permit (1987-70523, Attachment E).
3. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for RHS-d1 Zoning District, as summarized below, followed by Table A, noting the project’s conformance with Section 3.20.040 “-d1” Combing District:

**Setbacks (RHS-d1):** Front: 30 feet, Side: 20 feet, and Rear: 25 feet  
**Height:** 35-feet  
**Stories:** 3-stories

**Table A: Compliance with Development Standards for -d1 Combining District.**

STANDARDS & REQUIREMENTS	CODE SECTION	Assessed (Y)*
Siting	§ 3.20.040 (A)(2)(b)	Y
Story Poles	§ 3.20.040 (A)(2)(c)	Y
Color & LRV	§ 3.20.040 (B)	Y
Building Form & Massing	§ 3.20.040 (C)	Y
Retaining Walls	§ 3.20.040 (D)	Y
Ridgeline Development	§ 3.20.040 (E)	N/A
Design Review Guidelines	§ 3.20.040 (F)	Y

**NOTE:** Further discussion of the compliance with Section 3.20.040 is provided throughout the Design Review Findings section of this report.

### C. Design Review Findings

All Design Review applications are subject to the scope of review (Findings) as listed in §5.50.040 of the County Zoning Ordinance, as well as describing compliance with §3.20.040 when making such findings. The overall purpose of the design review process is to encourage quality design and mitigate potential adverse visual impacts of development. In the following discussion, the scope of review criteria is in **bold**, and an explanation of how the project meets the required standard is in plain text below.

#### 1. **Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;**

The County GIS system identifies the building site as proposed within an area of high visibility, with the northern and eastern home facades exposed to the valley floor. However, according to the staff’s site visit and the submitted neighborhood photos, the trees on the neighboring parcels along the northern property line and on the parcel to the northeast across Glen Una Drive are approximately 60-80 feet tall, which might have provided adequate screening to the entire parcel so that the proposed development might not be visible from the valley floor.

The proposed residence utilizes the existing building pad created with the previous 1985 Building Site Approval, which was approved prior to the Design Review (-d1) ordinance being effectuated. Given that the viewshed analyses were not in place at the time of the previous approval, the building pad location may not have been considered or reviewed regarding minimizing the adverse visual impacts on the valley floor. However, since the average slope for the development area is 6.8% and the entire parcel is in the high visible zone, locating the proposed residence at the same location and the accessory structures and ADU behind the primary residence would not create additional adverse visual impact. In addition, natural colors and materials with a Light Reflectivity Value (LRV) of 45 or less are proposed to blend with the surrounding landscape.

Furthermore, there are no trees on or adjacent to the existing building pad, and all existing trees on the property are fruit and ornamental trees with trunk sizes under 12 inches. Although nine (9) trees are proposed to be removed, the applicant submitted a landscape plan per staff's recommendation to provide additional screening to the residence. The landscape plan submitted on April 28, 2022, identified thirteen (13) 24-inch box trees and twelve (12) 15-gallon trees and shrubbery landscape areas along the property lines. Fourteen (14) trees are proposed along the northern property line to decrease the visibility from the valley floor. A Condition of Approval (No. 18) has been included with the recommended draft Conditions to require a final landscape plan consistent with the preliminary landscape plan to be approved prior to the issuance of a Grading Permit (refer to Attachment B).

For the reasons stated above, no new adverse impacts related to the proposed residence and auxiliary structures and no grading would occur in the same location as the previously existing, legal residence proposed for demolition. A few small trees would be removed, and a landscape plan consistent with the conceptual landscape plan submitted on April 28, 2022, would be required to be submitted and approved by the Planning Department to further decrease the adverse visual impacts of the residence and grading. Therefore, this finding can be made.

## **2. Compatibility with the natural environment;**

As discussed in the prior finding, the neighborhood is in heavily wooded areas with gentle slopes. There are clusters of tall trees located on the neighboring parcels adjacent to the northern property line and on the parcel to the northeast across Glen Una Drive. Although the property lacks mature tree canopies, the applicant submitted a conceptual landscape plan with 25 trees and shrubbery landscape along the property lines. A proposed Condition of Approval (No.16, Attachment B) would require a final landscape plan approval prior to Grading Permit issuance to blend the proposed structure into the natural environment. Thus, with the required condition of approval, the proposed residence is designed to be compatible with the natural environment, and this finding can be made.

## **3. Conformance with the "Design Review Guidelines," adopted by the Board of Supervisors;**

The proposed building design is consistent with the County Design Review Guidelines by setting back the second story from the first floor. A 24-foot-tall great room and dining room connect different volumes of living space, storage space, and garage, creating undulating façades and varied roof heights. Details such as semi-covered balconies, covered patios, and outdoor spiral stairs break down the bulk of building massing and produce patterns of light and shadow. In addition, the proposed exterior facades utilize multiple materials, such as concrete and dark rain-screen panel colors. Exterior colors for the house façades and roof materials all have a Light Reflective Value (LRV) of 45 or less.

Two (2) retaining walls over 80 feet long and five (5) feet tall are proposed along the southern and eastern property lines. These retaining walls are situated lower than the topography of the neighboring parcels to the east and the south, thereby facing the proposed ADU, detached accessory structures, and the pool areas, not fully exposed to the access road to the front and the neighboring parcels to the rear. The applicant proposes four (4) 15-gallon and two (2) 24-inch box trees along the southern property line and approximately 120 linear-foot 15-gallon shrubs (oleander) along the eastern property line to further decrease the retaining wall's visual impacts on the neighboring parcels. Oleander is a fast-growing shrub with a mature height of up to 20 feet. In addition, A proposed Condition of Approval (No.16, Attachment B) would require the retaining wall color to match the proposed primary residence façade to blend with the proposed development and surrounding environment.

As discussed in prior findings, a final landscape plan is required in the Conditions of Approval to provide additional screening landscape surrounding the peripheral of the development area to blend the project with the natural environment. The final landscape plan is to be submitted and approved prior to the issuance of the grading permit. Therefore, the project conforms with the County *Design Review Guidelines*, and this finding can be made.

#### **4. Compatibility with the neighborhood and adjacent development;**

The subject property is located in the Glen Una neighborhood, which consists of single-family residences ranging in size between 2,500 to 14,000 square feet. More than half of the residences within the immediate neighborhood are two (2)-story buildings. Among the 26 surrounding homes, five (5) residences exceed 10,000 square feet, and seven (7) exceed 5,000 square feet. The 11,173 square-foot residence is a contemporary design, compatible with the architecture design in the neighborhood in terms of massing and color. Additionally, as described in Finding No. 3 above, the design incorporates various materials (such as concrete colors and dark tones) along the structure facades to help break up the structure's appearance. In addition, the applicant proposes trees and tall shrubs along the property lines and front access road to screen the development from the neighborhood, blending into the neighborhood vegetated streetscape. As such, the project will not be obtrusive or stand out compared to other developed parcels in the immediate vicinity and is compatible with the immediate neighborhood. For these reasons, this finding can be made.

## 5. Compliance with applicable zoning district regulations; and

Single-family residences are allowed use within the Urban Hillside Residential (RHS) zoning district. As proposed, the project complies with the RHS zoning regulations, including required height and setbacks. The maximum height of the proposed two (2)-story residence is thirty (30) feet, whereby the Zoning Ordinance allows a maximum height of thirty-five (35) feet. The proposed architectural design is in keeping with the Zoning Ordinance Section §3.20.040 (C) in that the proposed maximum horizontal length of a continuous wall plane is seventy (70) feet, under the allowed maximum continuous wall length of eighty (80) feet. Multiple vertical wall planes exceed 25 feet in height on the north and east elevations, with the maximum height as 26'-9". These wall planes have horizontal lengths under seven (7) feet, where the combined horizontal dimension of these components does not exceed 25% of the total horizontal dimension of the façade, thereby conforming with the Zoning Ordinance in terms of building form and massing.

Furthermore, exterior colors of less than 45 LRV are proposed to minimize visual impacts, in compliance with Zoning Ordinance Section §3.20.040 (B). As noted, the residence is proposed on previously graded areas and designed to use the existing driveway. The proposed two (2) retaining walls over eighty (80) in length have maximum heights of 5'-6". They are colored, textured, and screened by proposed trees and shrubbery landscape to compliment the background land and vegetation, conforming with the Zoning Ordinance Section §3.20.040 (D). A summary of conformance with the County's Design Review development standards can be found in Section B(3) of this Staff Report. As such, the project complies with applicable zoning district regulations, and this finding can be made.

## 6. Conformance with the general plan, any applicable specific plan, or any other applicable guidelines.

The General Plan Growth and Development Chapter for Rural Unincorporated Areas contains specific policies under Strategy No. 3, to *Ensure Environmentally Safe and Aesthetic Hillside Development*. R-GD17 requires "*Design Review Zoning Districts, including Design Review Guidelines, shall apply to primary viewshed areas most immediately and directly visible from the valley floor, lands up to and including the first ridge, or those within approximately one to two miles distance from the edge of the valley floor.*" Design Review is required in this case since the project is located in the Design Review (-d1) zoning districts. Natural colors and materials with an LRV below 45 are shown on the colored rendering to blend the residence with the surrounding environment. As conditioned, additional landscape is required in the Conditions of Approval to blend the proposed development with the natural environment. The proposed exterior materials and screening landscape are consistent with the County *Design Review Guidelines*. Thus, the project will be in conformance with the General Plan, and this finding can be made.

#### D. Grading Findings:

Pursuant to Section C12-433, all Grading Approvals are subject to specific findings. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

**1. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.**

The proposed primary residence utilizes the existing permitted building pad and driveway alignment to avoid excessive grading required for a new building pad and driveway. Minimal grading of 10 cubic yards of cut and 354 cubic yards of fill is proposed to expand the building pad and improve the existing driveway in accordance with current engineering standards. The rest of the proposed grading of 2,030 cubic yards of cut and 170 cubic yards of fill is to accommodate a new pool, two (2) accessory structures, and one (1) detached ADU, as well as the adjacent landscape and hardscape areas in a gently sloped zone with no prior development. Given the enlarged development footprint, the amount of grading is necessary to establish the proposed residential use on the property. For these reasons, this finding can be made.

**2. The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.**

The proposed project would not create excessive grading. Except for the pool, the maximum vertical cut for the project is 5.5 feet to embed the accessory structures into the slopes. There are no watercourses, geo-hazard zones, special status species, or landcovers on the property. Standard Conditions of Approval and requirements of final grading plans will ensure that grading around the building pad will not result in slope instability or erosion. Therefore, the grading will not endanger the public and/or private property, public health, and safety, nor result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse; and this finding can be made.

**3. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.**

As discussed in the Design Review findings, the proposed project would utilize the existing driveway and building pad situated on the most suitable and flattest portion of the lot. The grading will not impose any significant impacts on the natural landscape, biological, or aquatic resources, as the subject parcel lacks mature tree canopies. A small amount of fruit and ornamental tree canopies are proposed to be removed with new trees replaced at a 3:1 ratio. Therefore, the proposed grading will minimize impacts on the natural landscape and resources and minimize erosion impacts, and this finding can be made.

**4. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.**

The primary residence is proposed at the same location as the existing one to minimize the amount of grading and potential adverse environmental impacts. There are no other areas on the site with potentially less visual impacts on the valley floor or requiring less grading for all proposed development. As discussed above, the majority of the grading is to accommodate new auxiliary structures and the associated landscape and hardscape areas in a gently sloped zone with no prior development. Staff has evaluated the project and potential impacts and has determined that keeping the proposed residence in the same general location as the previous, legally established residence is the highest and best location. Therefore, staff can make the required finding.

**5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.**

The proposed primary residence and driveway at the front portion of the lot require a minimal amount of grading. The proposed cut of 2020 cubic yards and the maximum vertical cut of 5.5 feet would occur underneath the ADU and pool area at the rear of the parcel, hidden behind the primary residence from the valley floor and access road. The proposed long retaining walls are located behind the structures, colored and textured to blend with the natural and built environment. In addition, the required additional trees and shrubs along the property lines as conditioned would decrease the visibility of the residence and mitigate the potential visual impact. As such, the proposed grading meets this finding.

**6. Grading conforms with any applicable general plan or specific plan policies; and**

The proposed grading is in conformance with specific findings and policies identified in the County General Plan. The proposed project utilizes the existing building pad and driveways and is situated in an area that requires minimal necessary grading. Such design reduces visual impacts from hillside development in keeping with General Plan policies R-GD 25 and 26, which requires ‘*Grading associated with roads, bridges, retaining walls, or similar improvements related to access requirements should not create a significant visual scar or impact to the environment,*’ and discourages ‘*excessive, non-essential grading.*’ No specific plan policies apply to the project. For these reasons, this finding can be made.

**7. Grading substantially conforms with the adopted "*Guidelines for Grading and Hillside Development*" and other applicable guidelines adopted by the County.**

The proposed grading is in conformance with the adopted “*Guidelines for Grading and Hillside Development,*” in particular, the specific guidelines for siting, building form,

and design. The residence utilizes the existing building pad and driveway in keeping with “*proposed development in areas with level lands or gentler slopes, adjacent to existing infrastructure, minimizing the need for grading and longer driveways into hillside areas,*” and “*where feasible, use existing access roads and driveways, instead of creating new and multiple driveways.*” In addition, the proposed long retaining walls would not be exposed to the valley floor. Therefore, the proposed development follows the design of the existing driveway and building pad, minimizes grading, reduces visual impacts, and is in keeping with General Plan policies.

## BACKGROUND

---

On January 6, 2022, the property owner submitted the Design Review Approval (Tier 2) and Grading Approval applications for a concurrent land use entitlement. The initial incomplete letter was issued on February 3, 2022, outlining issues with the completeness of the site plan, exterior color, drainage, and concerns with fire access requirements and building massing.

Working closely with staff, the applicant modified the exterior color and building massing pursuant to the Zoning Ordinance and Design Review Guidelines and provided a fire trunk turnaround study. After several resubmittal occasions, the final resubmittal was made on April 28, 2022. The project was subsequently deemed complete for processing on May 18, 2022. On June 22, 2022, a public notice was mailed to property owners within a 300-foot radius and was published in the San Jose Post on June 22, 2022. Story poles were confirmed on June 16, 2022 .

## STAFF REPORT REVIEW

---

Prepared by: Xue Ling, Associate Planner



Reviewed by: Samuel Gutierrez, Principal Planner

DocuSigned by:  
  
4BFDD21FF1FB4D2...

# Attachment A

## Statement of Exemption from the California Environmental Quality Act (CEQA)

## Attachment A

# STATEMENT OF EXEMPTION

## from the California Environmental Quality Act (CEQA)

<b>FILE NUMBER</b> PLN22-005	<b>APN(S)</b> 510-26-076	 6/30/2022
<b>PROJECT NAME</b> Single-Family Residence; 15621 Glen Una Drive, Saratoga	<b>APPLICATION TYPE</b> Design Review Approval (Tier 2) and Grading Approval	
<b>OWNER</b> Sumeet Singh	<b>APPLICANT</b> Louie Leu	
<b>PROJECT LOCATION</b> 15621 Glen Una Drive, Saratoga, 95070		
<b>PROJECT DESCRIPTION</b> A concurrent land use application including a Design Review and Grading Approval for the construction of an 11,173 square-foot, two-story single-family residence with an attached garage, two detached accessory structures, and a detached accessory dwelling unit (ADU) on a one (1)-acre lot. Associated improvements include demolition of the existing single-family residence and detached garage, existing driveway improvement, and removal of nine (9) trees with trunk diameters under 12 inches. Grading consists of 2,030 cubic yards of cut. All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet the criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.		
<b>CEQA (GUIDELINES) EXEMPTION SECTION</b> Section 15301 - Class 1, (l)(1)-removal of one single-family residence and Section 15303 - Class 3(a): One single-family residence, or a second dwelling unit in a residential zone.		
<b>COMMENTS</b> The existing residence to be demolished does not receive any historic designations and lacks unique historical features, based on the submitted Identification of Potential Historic Significant Form and photos of the residence. The subject property is located in an urban area of similar-sized lots and developed with single-family residences of similar sizes. The new residence and associated improvements will utilize existing driveways and building pads with an expanded development area. No trees with trunk diameters over 12 inches would be removed, and new trees would be replaced at a 3:1 ratio. No creek, special status species, or habitats exist on the site.		
<b>APPROVED BY:</b> Xue Ling, Associate Planner		
 Signature	 07/07/2022 Date	

# Attachment B

## Preliminary Design Review (Tier II) And Grading Approval Conditions of Approval

**ATTACHMENT B  
PRELIMINARY DESIGN REVIEW (TIER II) AND GRADING APPROVAL  
CONDITIONS OF APPROVAL**

**Date:** July 7, 2022  
**Owner/Applicant:** Sumeet Singh/Louie Leu  
**Location:** 15621 Glen Una Drive, Saratoga, CA (APN: 510-26-076)  
**File Number:** PLN22-005  
**CEQA:** Categorically Exempt – Section 15301, Class 1(I)(1) and Section 15303, Class 3(a)

**Project Description:** A concurrent land use application including a Design Review and Grading Approval for the construction of an 11,173 square-foot, two-story single-family residence with an attached garage, two detached accessory structures, and a detached accessory dwelling unit (ADU) on a one (1)-acre lot. Associated improvements include demolition of the existing single-family residence and detached garage, existing driveway improvement, and removal of nine (9) trees with trunk diameters under 12 inches. Grading consists of 2,030 cubic yards of cut and 515 cubic yards of fill.

The site is an approved building site as a Building Site Approval (File No. 2373-24-54-86B) was granted and effectuated through the issuance of a building permit (1987-70523). The project is not a covered project by the Santa Clara Valley Habitat Plan.

If you have any question regarding the following final conditions of approval, call the person whose name is listed below as the contact for that agency. She/he represents a specialty and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
<b>Planning</b>	Xue Ling	(408) 299- 5784	<a href="mailto:xue.ling@pln.sccgov.org">xue.ling@pln.sccgov.org</a>
<b>Environmental Health</b>	Darrin Lee	(408) 299 – 5748	<a href="mailto:darrin.lee@cep.sccgov.org">darrin.lee@cep.sccgov.org</a>
<b>Land Development Engineering</b>	Ed Duazo	(408) 299 - 5733	<a href="mailto:ed.duazo@pln.sccgov.org">ed.duazo@pln.sccgov.org</a>
<b>Fire Marshal</b>	Alex Goff	(408) 299-5767	<a href="mailto:Alex.goff@sccfd.org">Alex.goff@sccfd.org</a>
<b>Roads and Airports</b>	Leo Camacho	(408) 299 - 5764	<a href="mailto:Leo.Camacho@rda.sccgov.org">Leo.Camacho@rda.sccgov.org</a>
<b>Building Inspection</b>		(408) 299 - 5700	

**STANDARD CONDITIONS OF APPROVAL**

**Building Inspection**

1. For detailed information about the requirements for a building permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at [www.sccbuilding.org](http://www.sccbuilding.org).

### Planning

2. Development must take place in substantial conformance with the approved plans, submitted on April 28, 2022, and the Conditions of Approval. Any changes to the proposed project, or any increase in grading quantities, or modification to the grading or design may require a Design Review or Grading Approval modification and associated fees, as may result in additional environmental review, pursuant to the California Environmental Quality Act.
3. Building and grading permits shall be submitted concurrently.
4. Existing zoning is RHS-d1 (Urban Hillside Residential - Combined Design Review District). Maintain the following minimum dwelling setbacks (Zoning Ordinance Sections 2.20.030):  
Front: 30 feet                      Sides: 20 feet                      Rear: 25 feet  
The maximum height of dwellings is 35 feet and shall not exceed three (3) stories.
5. Three (2) off-street parking spaces are required, one (1) of which must be covered.
6. The exterior surfaces of the house shall be painted muted colors with a light reflectivity value (LRV) of 45 or lower. The exterior materials shall be consistent with the submitted material board and the rendering drawing of the approved plans (Attachment D).

### *Archaeological Resources*

7. In the event that human skeletal remains are encountered, the applicant is required by County Ordinance No. B6-18 to immediately notify the County Coroner. Upon determination by the County Coroner that the remains are Native American, the coroner shall contact the California Native American Heritage Commission, pursuant to subdivision (c) of section 7050.5 of the Health and Safety Code and the County Coordinator of Indian affairs. No further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs in accordance with the provisions of state law and this chapter. If artifacts are found on the site a qualified archaeologist shall be contacted along with the County Planning Office. No further disturbance of the artifacts may be made except as authorized by the County Planning Office.

### Land Development Engineering

8. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health or damage to adjoining property.

### Environmental Health

9. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

### Roads and Airports

10. A Tree Removal Approval Board of Supervisor process is required **prior to any tree removal, replacement, or relocation** within the County right-of-way (ROW). A tree within the ROW requiring removal approval is any tree at least 20 feet in height or at least 12 inches

in diameter measured 4.5 feet above grade. The process for obtaining approval for a tree removal and the forms that are required can be found at: [www.countyroads.org](http://www.countyroads.org) > Services > Apply for Permits > Tree Removal from County Right-of-Way.

**CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL GRADING AND BUILDING PERMIT ISSUANCE**

Planning

11. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
12. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 3.20.040(H) and 5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation.
13. **Prior to issuance of a building permit**, submit final color samples for the house façade and retaining walls indicating the Light Reflectivity Value (LRV) is less than or equal to 45 LRV, pursuant to Zoning Ordinance Section 3.20.040B. The exterior materials shall be consistent with the project material board and plans approved at the July 7, 2022, Zoning Administration Hearing.

*Tree Protection*

14. No trees with trunk diameter over twelve (12) inches will be removed as proposed. Per County Municipal Code Division C16-3(e), any tree that was required to be planted or retained by these Conditions of Approval of any land use entitlement are protected trees, regardless the size. The project trees are subject to tree removal and replacement trees. Irrigation system is highly recommended to increase the tree's survival.
15. For all trees to be retained with a canopy in the development area, or that interfaces with the limits of grading for any proposed development on-site, the trees shall be protected by the placement of five (5)-foot tall rigid tree protective fencing, as shown on final grading and final building plans and must include the following:
  - a. Fencing should be placed along the outside edge of the dripline of the tree or grove of trees.
  - b. The fencing should be maintained throughout the site during the entire construction period and should be inspected periodically for damage and proper functions.
  - c. Fencing should be repaired as necessary to provide a physical barrier from construction activities.
  - d. The following sign shall be placed on all tree protection fencing and must remain until final occupancy. The sign must read: "Warning. This fencing shall not be removed without permission from the Santa Clara County Planning Office. County of Santa Clara tree protection measures may be found at: <http://www.sccplanning.gov>, or call 408-299-5770 for additional details."
  - e. Protection measures must be in place **prior to construction activity** commencing.

- f. Evidence of tree protective fencing can be provided by taking photos and emailing to the project planner.

#### *Landscape Plan/Permit*

16. **Prior to issuance of any permits**, provide a landscape plan utilizing trees, vines, shrubbery or planters to reduce the apparent height of the residence to blend the structure with the surrounding landscape and soften the impact of development, as seen from the valley floor. The landscape plan shall be consistent with the preliminary landscape plan approved by the Hearing Officer at Zoning Administration Hearing on July 7, 2022.
17. The requirements of Division B33 of the County Ordinance Code (Sustainable Landscape Ordinance) shall apply. Calculate square footage of new landscaped area and if it equals or exceeds 500 sq. feet, then a landscaping permit is required. The landscape ordinance and supporting information can be found on the following web page:  
<https://www.sccgov.org/sites/dpd/PlansOrdinances/Landscape/Pages/welo-apply.aspx>

#### Land Development Engineering

18. Obtain a Grading Permit from Land Development Engineering (LDE) **prior to beginning any construction activities**. Issuance of the grading permit is required **prior to LDE clearance of the building permit** (building and grading permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required can be found at the following web page:  
<https://plandev.sccgov.org/home> > I Want to.. > Apply for a Permit > Grading Permit  
Please contact LDE at (408-299-5734) for additional information and timelines.  
If the County Roads and Airports Department provides a condition of approval to obtain an encroachment permit, the grading and encroachment permits will be issued together under one set of improvement (grading) plans; however, separate applications/submittals will be required for each permit.
19. Final plans shall include a single sheet which contains the County standard notes and certificates, as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
20. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:  
§ Standard Details Manual, September 1997, County of Santa Clara, Roads and Airports Department available at:  
[www.sccgov.org/sites/rda](http://www.sccgov.org/sites/rda) > Published Standards, Specifications, Documents and Forms  
§ March 1981 Standards and Policies Manual, Volume 1 (Land Development)  
[www.sccplanning.org](http://www.sccplanning.org) > Plans & Ordinances > Land Development Standards and Policies  
§ 2007 Santa Clara County Drainage Manual

[www.sccplanning.org](http://www.sccplanning.org) > Plans & Ordinances > Grading and Drainage Ordinance

21. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
22. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period. Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
23. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.
24. Provide landscaping and disturbed area quantities on the building and grading plans. If more than 500 square feet of landscaping is proposed, then a Landscape Permit will be required, and the building permit submittal shall include a Landscape Documentation Package demonstrating conformance with the County Sustainable Landscape Ordinance. Additional information on landscape permit applicability and requirements is available at: <https://plandev.sccgov.org/ordinances-codes/landscape-ordinance>

#### *Drainage*

25. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.

#### *Utilities*

26. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.
27. Include at least one of the following site design measures in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with

permeable surfaces. Additional information on site design measures is available at:  
[www.scvurppp.org](http://www.scvurppp.org) > Elements > New Development and Redevelopment > Site Design

### *Soils and Geology*

28. Submit **one copy** of the signed and stamped of the geotechnical report for the project.
29. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plan.

### *Notice of Intent*

30. Indicate on the improvement plans the land area that will be disturbed. If one acre or more of land area will be disturbed, file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) for coverage under the State General Construction Permit. The SWRCB will issue a Waste Discharge Identification number (WDID). The WDID number shall be shown on the on the final improvement plans. Additional information is available on the California State Water Resources Control Board website at:  
[https://www.waterboards.ca.gov/water\\_issues/programs/stormwater/construction.html](https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)
31. Enter into a land development agreement with the County. Submit an Engineer's Estimate of Probable Construction Cost prepared by a registered civil engineer with all stages of work clearly identified for all improvements and grading as proposed in this application. Post financial assurances based upon the estimate, sign the development agreement, and pay necessary inspection and plan check fees, and provide a Certificate of Workers' Compensation Insurance. (C12-206).

### Environmental Health

32. **Prior to issuance of a development permit**, obtain and provide separately a sanitary sewer will serve letter for the proposed single-family development and the accessory dwelling unit. Contact West Valley Sanitation District (408-378-2407) for the will serve letter.
33. **Prior to issuance of a development permit**, obtain and provide a water will serve letter from the local service provider for the proposed single family development and the accessory dwelling unit.

### Fire Marshal

#### *Fire Protection Water*

34. Important: Fire protection water system shall be installed, functioning and inspected **prior to approval of the foundation**. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.
35. Fire-Flow: The minimum fire-flow shall be 2,250 gpm at 20 psi. Flow may be reduced by half due to fire sprinklers.  
Note: The fire-flow may be adjusted depending upon the final size of the structure shown on the building permit set of drawings to meet Appendix B of the CFC.

- a. **At the time of plan submittal for building permit**, provide written verification from the water company that this condition can be satisfied.

*Fire Department Access*

36. General Requirements:

- a. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.
- b. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained at all times.

37. Access Roads (roads serving more than two lots) and DRIVEWAYS (roads serving no more than two lots) for fire department access shall comply with the following:

- a. Width: Access Roads to have a clear drivable width of 18 ft. plus a 3 ft. shoulder on each side per CFMO-A1. This property is located within the SRA and is to meet PRC-4290 which requires 20 ft. drivable width. Driveways are to have a 12 ft. drivable width and a 3 ft. shoulder.
- b. Vertical Clearance: Minimum vertical clearance of 15 ft. shall be maintained to building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements) for access roads and 13 ft. 6 in for driveways.
- c. Curve Radius: Inside turn radius for curves shall be 40 ft. per CFMO-A1. Property is located within the SRA and is to meet PCR-4290 minimum interior turning radius of 50 ft.
- d. Grade: Maximum grade shall not exceed 15%.
- e. Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000 pound gross vehicle weight.
- f. Dead End Roads: Turnarounds shall be provided for dead end access roads in excess of 150 ft. in length. Acceptable turnaround shall comply with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
- g. Bridges: All bridges shall be capable of sustaining 75,000 pound gross vehicle weight and meet the latest edition of the CalTrans Standard Bridge Design Specifications. Appropriate signage, including but not limited to weight or vertical clearance limitations, or any special conditions shall be provided.
- h. Turnouts: Passing turnouts in compliance with SD-16 shall be provided at every 400 ft. and wherever hydrants are placed adjacent to a driveway.
- i. Turnarounds: Turnaround shall be provided for driveways in excess of 150 ft. as measured along the path of travel from the centerline of the access road to the structure. Acceptable turnaround shall comply with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
- j. Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.
- k. Address: Numbered address to be easily recognizable from the street.

*Miscellaneous:*

38. Property is located within the Santa Clara County Fire Department response area and the State Response Area (served by Cal Fire).
39. This property is located in the Wildland/Urban Interface Fire Area. All of the following conditions shall apply:
  - a. A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
  - b. Meet Chapter 7A of the CBC.
  - c. Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.

#### Roads and Airports

40. Dedicate the following curvilinear rights-of-ways: 30-foot half street for Glen Una Drive. All dedications shall include legal descriptions, plats, and corresponding documents to be reviewed and approved by the County.
41. Obtain a Santa Clara County Roads and Airports Department (RDA) Encroachment Permit for the following required improvements:
  - A. Design Glen Una Drive along the property's frontage to County Standard B/4A. Owner's Engineer may propose modifications to the B4A standard in the Final Improvement Plans based upon existing site conditions for review and approval by the County Roads and Airports Department. The modifications may include defining limits to the frontage improvements and/or reducing the width of the shoulder widening but must demonstrate that the proposed improvements implement the B/4A standard to the maximum extent feasible.
  - B. Installation of 3 total driveway approaches to the County Standard appropriate for the level of use:
    - a. First residence using the driveway: County Standard B/4
    - b. Second residence using the driveway: County Standard B/5
  - C. Removal of any vegetation or other obstructions necessary to provide adequate line-of-sight at the driveway approach location.
  - D. Removal of fences, pillars, and other non-County standard structures out of the public right-of-way (ROW).
    - a. If any structures are to remain in the ROW a Maintenance and Indemnification Agreement shall be recorded against the property as reviewed and approved by the County.

The process for obtaining an Encroachment Permit and the forms that are required can be found at: [www.countyroads.org](http://www.countyroads.org) > Services > Apply for Permits > Encroachment Permit.

42. Demonstrate that the post-development maximum flow rate into the County Road right-of-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any detention or retention system necessary to satisfy this requirement.

**CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.**

Planning

43. **Prior to final inspection**, contact Xue Ling, Associate Planner, **at least two weeks in advance** to schedule a site visit to verify the approved exterior colors and landscaping have been installed, as approved.

Land Development Engineering

44. Existing and set permanent survey monuments shall be verified by inspectors **prior to final acceptance of the improvements** by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

45. Construct the improvements. Construction staking is required and shall be the responsibility of the developer.

Environmental Health

46. Provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

Fire Marshal

47. Fire Sprinkler System: An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure (including existing residences when square footage is added).

Note: The fire sprinkler system shall be installed and finalized by this office **prior to occupancy**. A separate permit shall be obtained from this office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

Roads and Airports

48. Construct all the improvements approved under the Encroachment Permit.

# Attachment C

## Plans and Vicinity Map

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT. DESIGN FOR LIVING

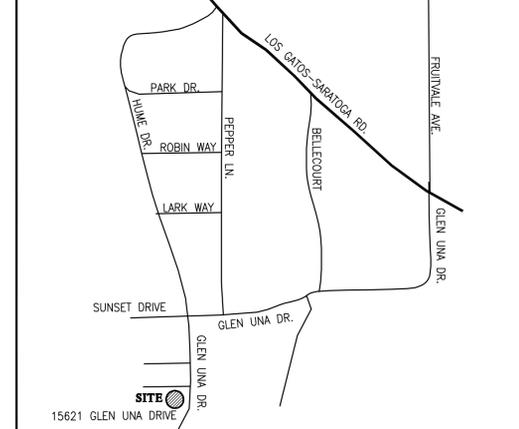
ABBREVIATIONS

Table of abbreviations for architectural symbols and materials, including terms like And, Angle, At, Centerline, etc.

GENERAL NOTES

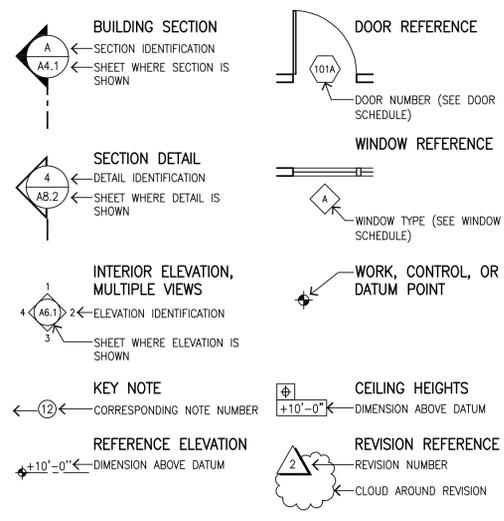
- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CALIFORNIA CODE OF REGULATIONS (TITLE 24) AND ALL OTHER LOCAL CODES AND ORDINANCES OF THE GOVERNING AUTHORITY HAVING JURISDICTION, AND AS IDENTIFIED UNDER APPLICABLE CODES ON THIS SHEET. IT IS THE INTENT OF THESE DOCUMENTS TO COMPLY THERETO.

VICINITY MAP



RESIDENCE FOR: SINGH 2019 LIVING TRUST 15621 GLEN UNA DRIVE LOS GATOS, CA 95030

LEGEND



PROJECT DESCRIPTION

- 1. DEMOLITION OF EXISTING 2-STORY HOME AND DETACHED GARAGE
- 2. CONSTRUCTION OF NEW 2-STORY HOME, ACCESSORY BUILDINGS, AND DETACHED ACCESSORY DWELLING UNIT WITH SWIMMING POOL

PROJECT DATA

APN: 510-26-076
ADDRESS: 15621 GLEN UNA DRIVE, LOS GATOS, CA 95030
GROSS LOT SIZE : 46,757 SQ.FT. (1.07 ACRES)
NET LOT SIZE : 41,957 SQ.FT. (.96 ACRES)
ZONING: RHS-01
CONSTRUCTION TYPE: VB. WITH FIRE SPRINKLERS

SHEET INDEX

Table listing sheet titles and indices, including Architectural, Project Data, Building Site Approval, and Project Directory.

WILDLAND URBAN INTERFACE NOTES

- 1. THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND URBAN INTERFACE FIRE AREA. PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R337.3.1

BUILDING SITE APPROVAL

PROPERTY IS AN APPROVED BUILDING SITE. BUILDING SITE APPROVAL WAS GRANTED VIA COUNTY FILE #2373-85V-86B AND SUBSEQUENT BUILDING PERMIT FOR 1,326 SQUARE FOOT ADDITION (BP#1987-70523)

DEFERRED APPROVAL

- 1. FIRE SPRINKLER SYSTEM
SUBCONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF PROJECT ARCHITECT/ENGINEER REVIEW & COORDINATION, A SUBMITTAL SHALL BE MADE TO THE SANTA CLARA COUNTY FIRE DEPARTMENT FOR REVIEW AND APPROVAL IN ORDER TO OBTAIN AN "AUTOMATIC SPRINKLER PERMIT"

APPLICABLE CODES

Table listing applicable codes such as California Building Code (CBC), California Residential Code (CRC), and California Fire Code (CFC).

PROJECT DIRECTORY

OWNER: SINGH 2019 LIVING TRUST
ARCHITECT: LOUIE LEU ARCHITECT, INC.
LAND SURVEY & CIVIL ENGINEER: LEA & BRAZE ENGINEERING, INC.
SOILS ENGINEER: WAYNE TING ASSOCIATES INC

LOUIE LEU ARCHITECT INC. 236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030



Project No: 22110
Scale: NTS
RESIDENCE FOR: SINGH 2019 LIVING TRUST
15621 GLEN UNA DRIVE, LOS GATOS, CA 95030
(COUNTY OF SANTA CLARA JURISDICTION)
TITLE SHEET

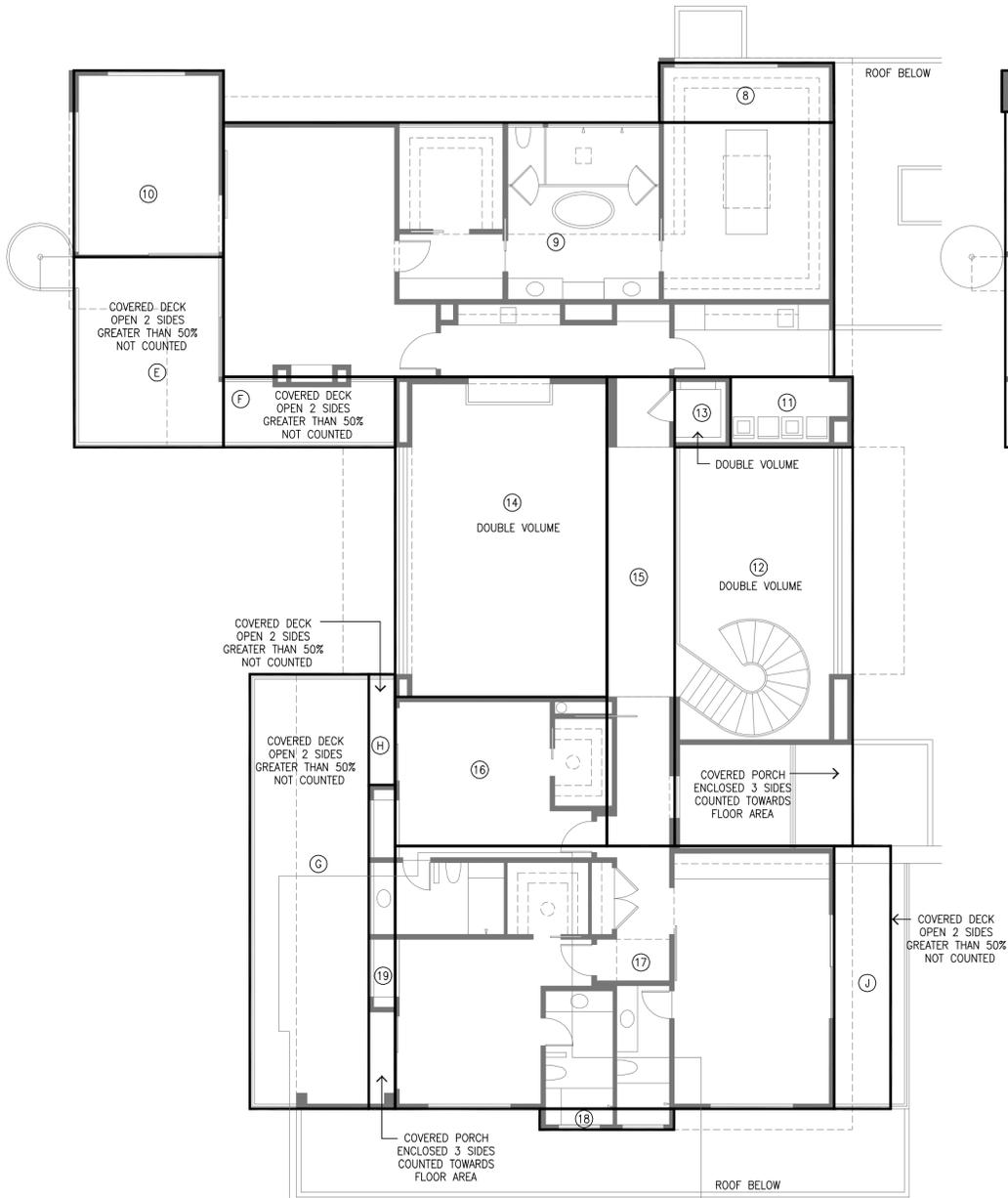
Date/Revisions: 04-25-2022 PLANNING RESUBMITAL
Sheet No: A-0.0



PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.

DESIGN FOR LIVING

P:\22110-Singh\Drawings\CAD\A-1.2-Area Calc.dwg - 04.26.2022 - 2:39pm



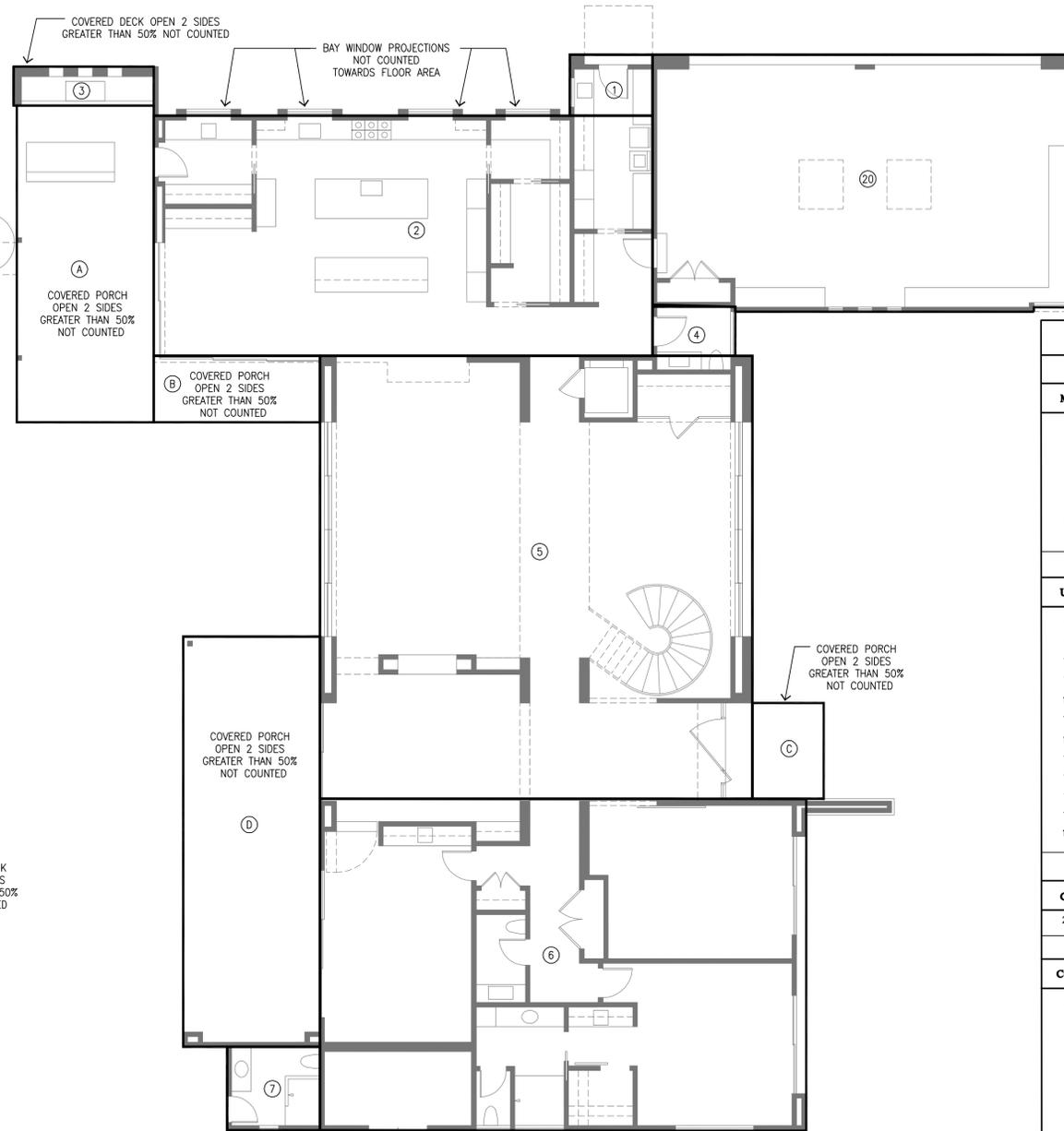
**UPPER FLOOR PLAN**

SCALE 1/8" = 1'-0"



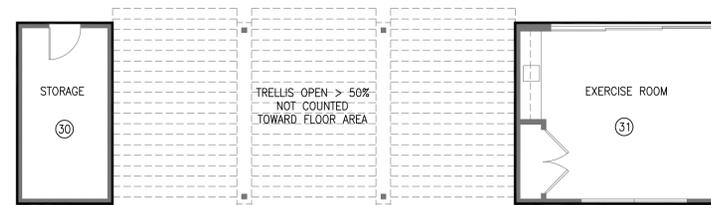
**ACCESSORY DWELLING UNIT**

SCALE 1/8" = 1'-0"



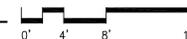
**MAIN LEVEL FLOOR PLAN**

SCALE 1/8" = 1'-0"



**ACCESSORY BUILDING**

SCALE 1/8" = 1'-0"



AREA CALCULATIONS		
TAG #	CALCULATION	AREA
<b>MAIN LEVEL FLOOR PLAN</b>		
1	8'-5 1/2" X 6'-2 1/2"	53 SQ. FT.
2	51'-0" X 24'-5 1/2"	1,247 SQ. FT.
3	14'-4" X 4'-0"	57 SQ. FT.
4	8'-5 1/2" X 5'-0"	42 SQ. FT.
5	45'-1" X 44'-2 1/2"	1,993 SQ. FT.
6	49'-8" X 33'-9"	1,677 SQ. FT.
7	9'-6" X 8'-6"	81 SQ. FT.
TOTAL MAIN LEVEL		<b>5150 SQ. FT.</b>
<b>UPPER LEVEL FLOOR PLAN</b>		
8	16'-10 1/2" X 5'-9"	97 SQ. FT.
9	24'-5 1/2" X 59'-0"	1,443 SQ. FT.
10	14'-5 1/2" X 17'-11"	259 SQ. FT.
11	6'-9" X 11'-9 1/2"	80 SQ. FT.
12	17'-2 1/2" X 34'-8" (DOUBLE VOLUME)	660 SQ. FT.
13	5'-5" X 6'-9" (DOUBLE VOLUME)	37 SQ. FT.
14	30'-9" X 20'-5 1/2" (DOUBLE VOLUME)	629 SQ. FT.
15	45'-1" X 6'-6 1/2"	295 SQ. FT.
16	14'-4" X 20'-5 1/2"	293 SQ. FT.
17	42'-5" X 25'-3"	1,071 SQ. FT.
18	2'-0" X 13'-0"	26 SQ. FT.
19	2'-6 1/2" X 31'-1 1/2"	79 SQ. FT.
TOTAL UPPER LEVEL		<b>4,963 SQ. FT.</b>
<b>GARAGE</b>		
20	43'-5 1/2" X 25'-8"	1,120 SQ. FT.
TOTAL GARAGE		<b>1,120 SQ. FT.</b>
<b>COVERED PATIOS/DECKS (OPEN 50%, 2 SIDES OR MORE, NOT COUNTED TOWARD FLOOR AREA)</b>		
A	14'-0" X 32'-2 1/2"	396 SQ. FT.
B	17'-0" X 6'-9"	115 SQ. FT.
C	9'-9" X 7'-3 1/2"	71 SQ. FT.
D	41'-9" X 14'-0"	585 SQ. FT.
E	14'-5 1/2" X 18'-3 1/2"	264 SQ. FT.
F	16'-7" X 6'-9"	112 SQ. FT.
G	11'-6" X 41'-9"	480 SQ. FT.
H	2'-6" X 10'-7 1/2"	27 SQ. FT.
J	5'-5 1/2" X 25'-3"	138 SQ. FT.
TOTAL COVERED PORCH/DECK		<b>2,050 SQ. FT.</b>
<b>ACCESSORY BUILDING</b>		
30	9'-0" X 17'-0"	153 SQ. FT.
31	20'-0" X 17'-0"	340 SQ. FT.
TOTAL ACCESSORY BUILDING		<b>493 SQ. FT.</b>
<b>ACCESSORY DWELLING UNIT (A.D.U.)</b>		
40	14'-11" X 19'-8"	293 SQ. FT.
41	39'-9 1/2" X 17'-0"	676 SQ. FT.
42	12'-5" X 2'-6"	31 SQ. FT.
43	13'-5" X 14'-11 1/2"	200 SQ. FT.
TOTAL A.D.U.		<b>1,200 SQ. FT.</b>
<b>COVERED PORCH A.D.U. (OPEN 50%, 2 SIDES OR MORE, NOT COUNTED TOWARD FLOOR AREA)</b>		
K	12'-5 1/2" X 18'-10"	235 SQ. FT.
TOTAL COVERED PORCH A.D.U.		<b>235 SQ. FT.</b>
<b>OVERALL TOTALS</b>		
<b>TOTAL GARAGE</b>		<b>1,120 SQ. FT.</b>
<b>TOTAL MAIN LEVEL</b>		<b>5,150 SQ. FT.</b>
<b>TOTAL UPPER LEVEL</b>		<b>4,963 SQ. FT.</b>
<b>TOTAL HOUSE</b>		<b>11,233 SQ. FT.</b>
<b>TOTAL ACCESSORY BUILDING</b>		<b>493 SQ. FT.</b>
<b>TOTAL A.D.U.</b>		<b>1,200 SQ. FT.</b>
<b>OVERALL TOTAL BUILDINGS</b>		<b>12,926 SQ. FT.</b>

LOUIE LEU ARCHITECT INC



236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030  
Ph. (408) 399-2222 Fax (408) 399-2223 www.louieleuarch.com

Project No: 22110

RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**

15621 GLEN LUNA DRIVE, LOS GATOS, CA 95030  
(COUNTY OF SANTA CLARA JURISDICTION)

FLOOR AREA CALCULATIONS

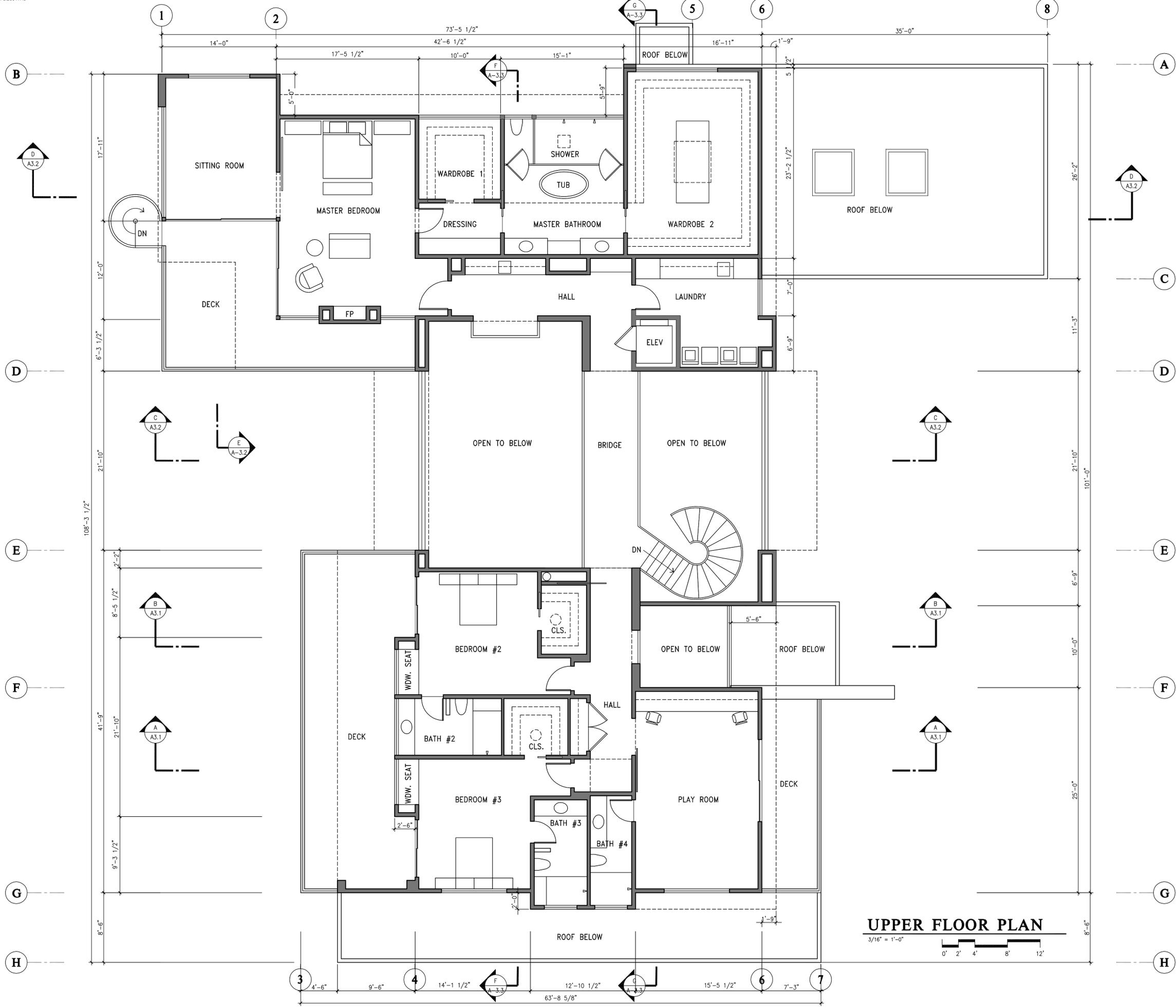
Scale: 1/8" = 1'-0"

Date/Revisions:  
04-27-22 PLANNING RESUBMITAL

Sheet No:

**A - 1.2**





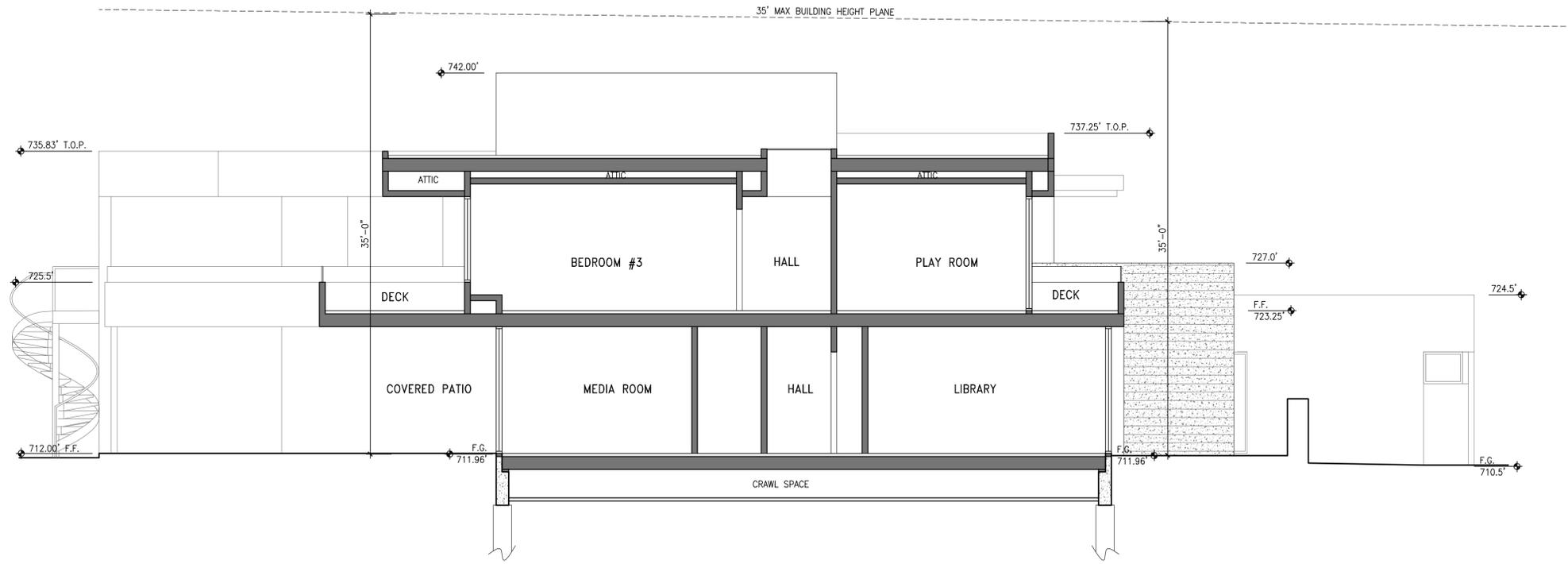
**UPPER FLOOR PLAN**  
 3/16" = 1'-0"  
 0' 2' 4' 8' 12'



Project No: 22110  
 RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**  
 15621 GLEN UNA DRIVE, LOS GATOS, CA 95030  
 (COUNTY OF SANTA CLARA JURISDICTION)  
**UPPER FLOOR PLAN**  
 Scale: 3/16" = 1'-0"

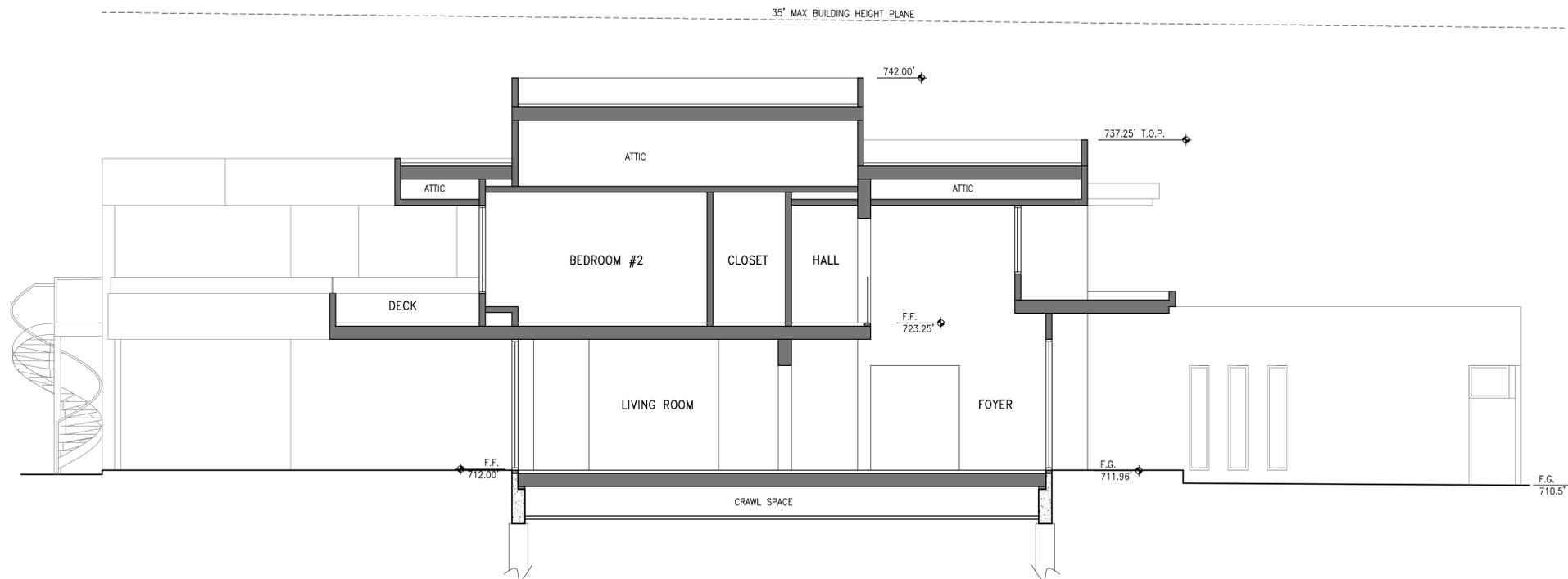
Date/Revisions:  
 04-27-22 PLANNING RESUBMITAL

Sheet No:  
**A - 2.2**



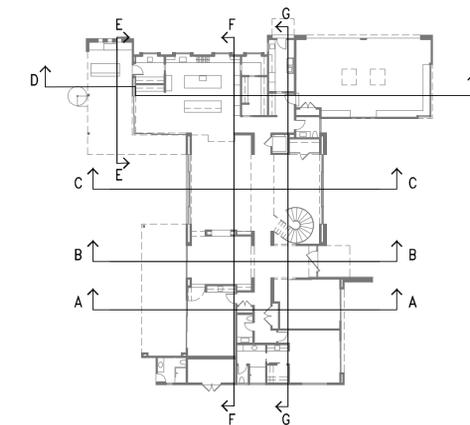
**SECTION A**

3/16" = 1'-0"



**SECTION B**

3/16" = 1'-0"



**KEY PLAN**

N.T.S.



236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030  
Ph. (408) 399-2222 Fax (408) 399-2223 www.louieleuarch.com

LOUIE LEU ARCHITECT INC.

Project No: 22110

RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**  
15621 GLEN UNA DRIVE, LOS GATOS, CA 95030  
(COUNTY OF SANTA CLARA JURISDICTION)

Date/Revisions:  
04-27-22 PLANNING RESUBMITAL

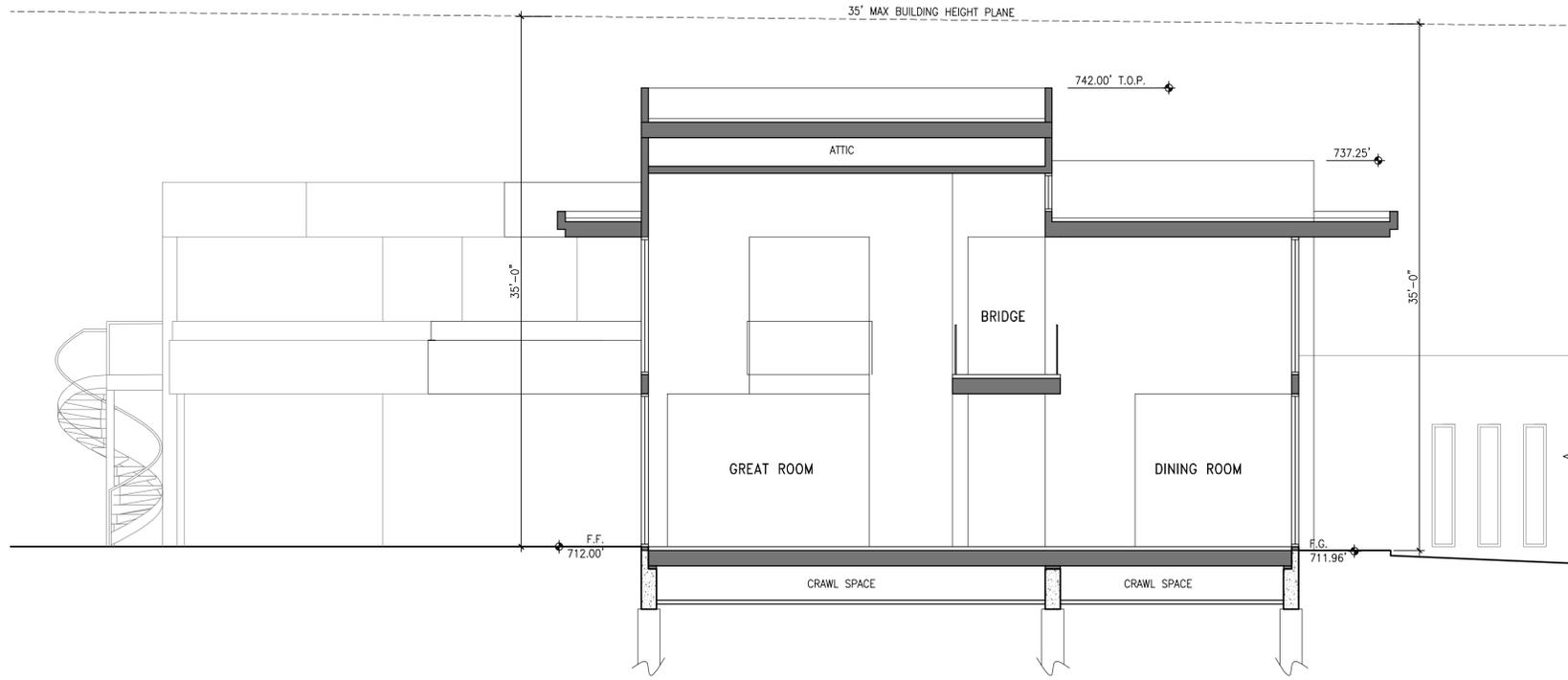
Sheet No:

**A - 3.1**

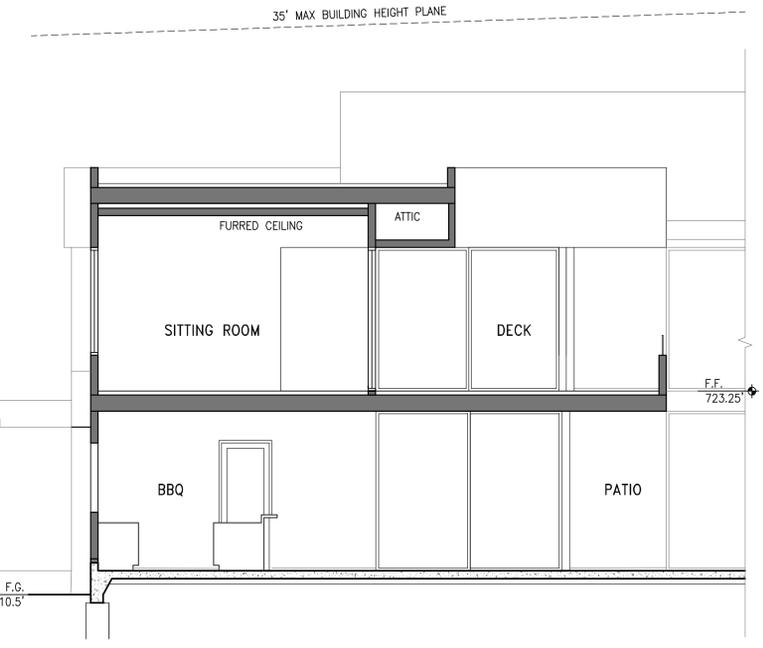
© 2022-LOUIE LEU ARCHITECT INC.

SECTIONS

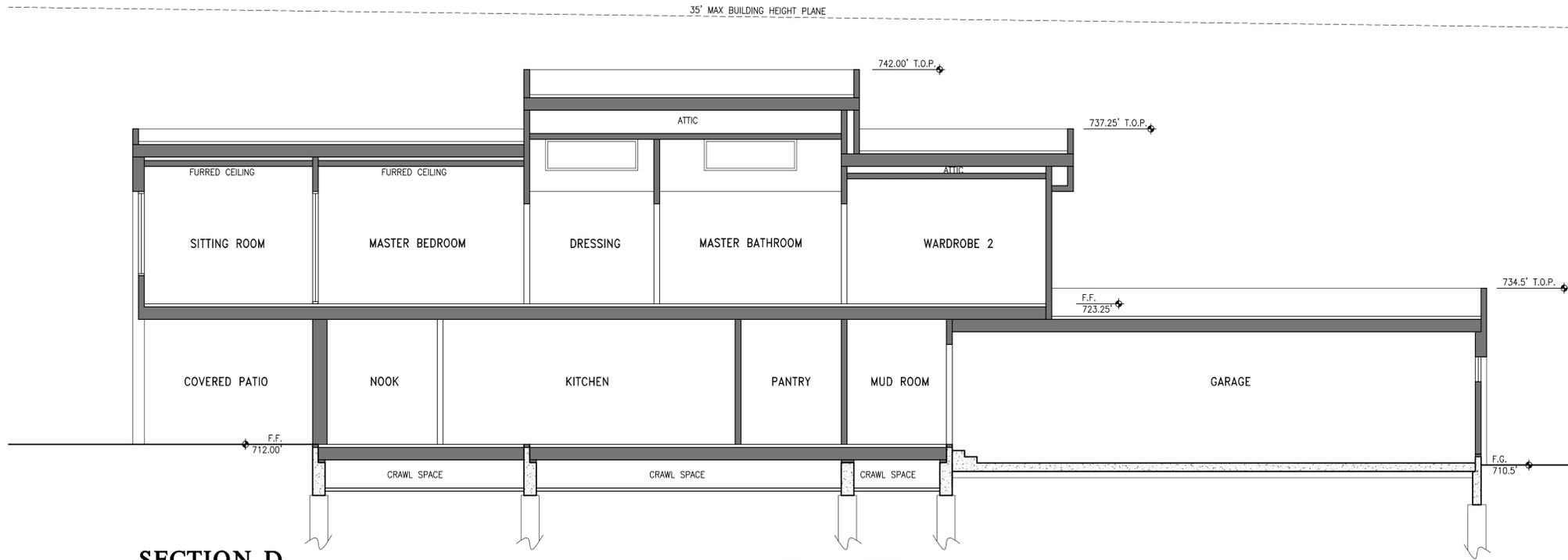
Scale: 3/16" = 1'-0"



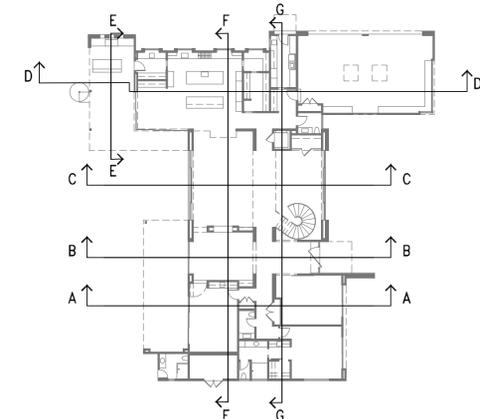
**SECTION C**  
3/16" = 1'-0"



**SECTION E**  
3/16" = 1'-0"



**SECTION D**  
3/16" = 1'-0"



**KEY PLAN**  
N.T.S.



Project No: 22110

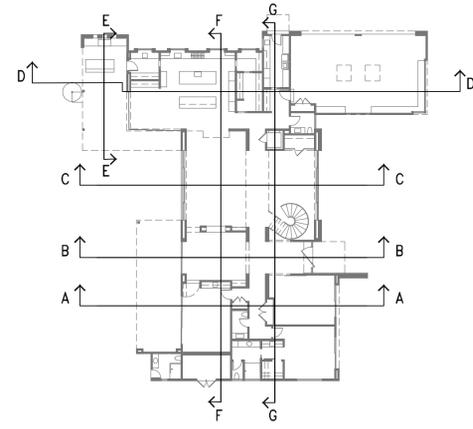
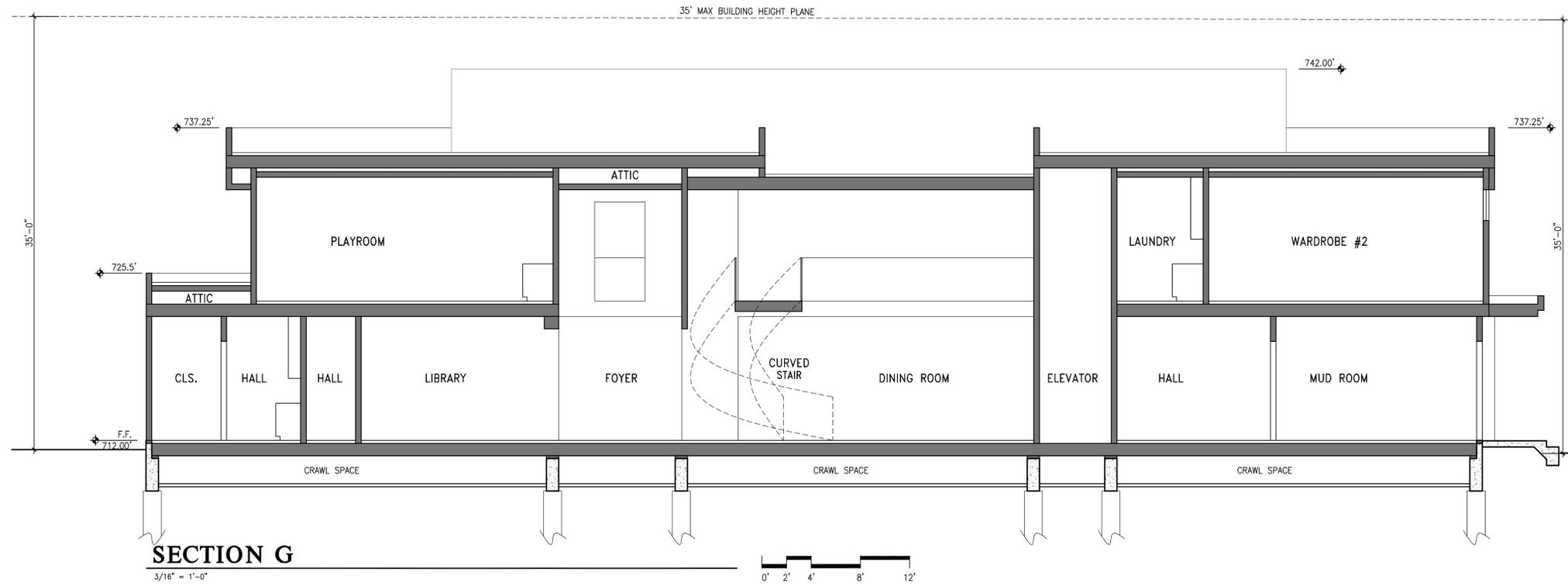
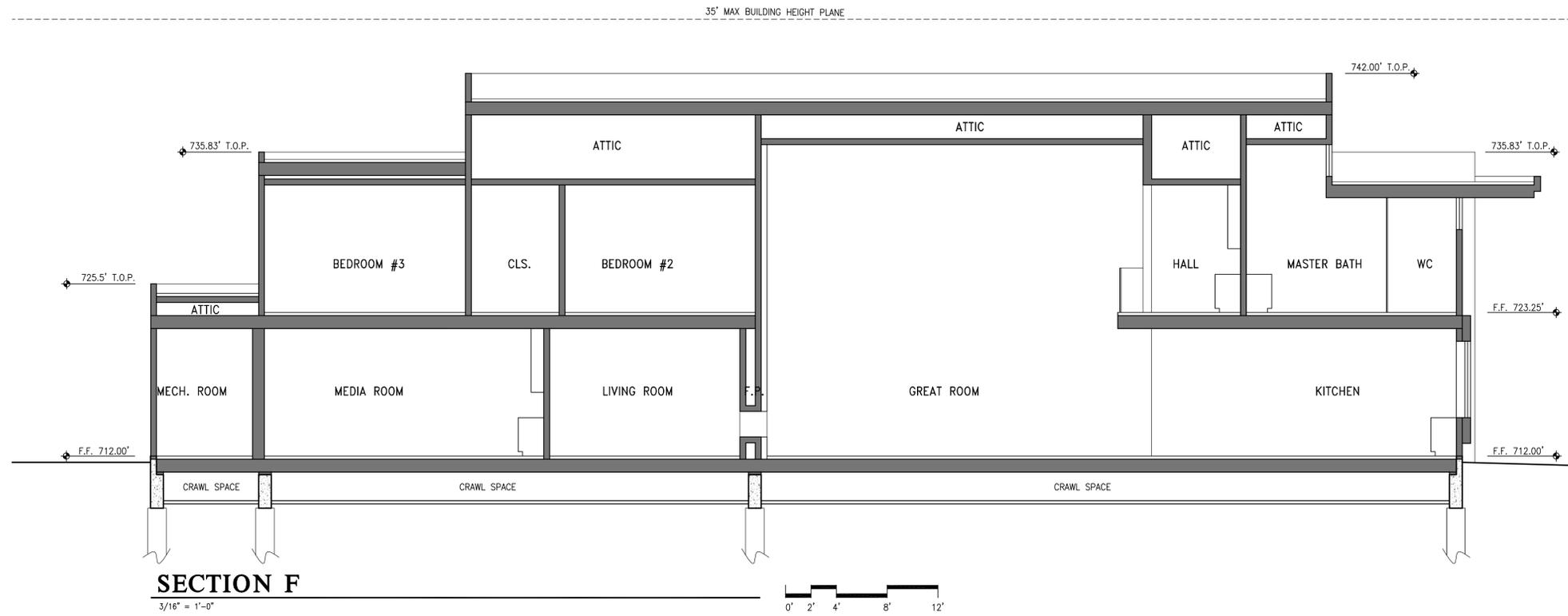
RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**  
15621 GLEN UNA DRIVE, LOS GATOS, CA 95030  
(COUNTY OF SANTA CLARA JURISDICTION)

SECTIONS

Date/Revisions:  
04-27-22 PLANNING RESUBMITAL

Sheet No:

**A - 3.2**



Project No: 22110

RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**  
 15621 GLEN UNA DRIVE, LOS GATOS, CA 95030  
 (COUNTY OF SANTA CLARA JURISDICTION)

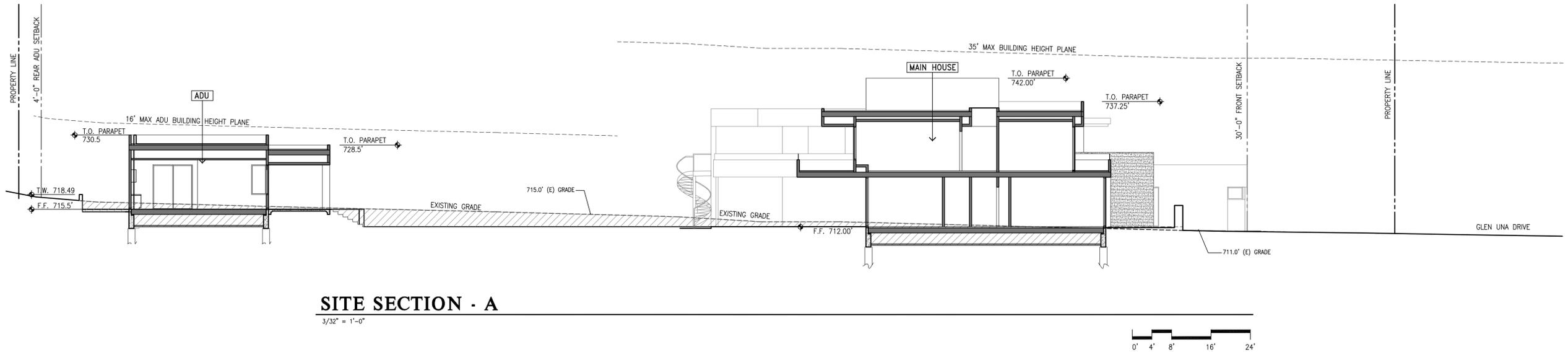
SECTIONS

Date/Revisions:  
 04-27-22 PLANNING RESUBMITAL

Sheet No:  
**A - 3.3**

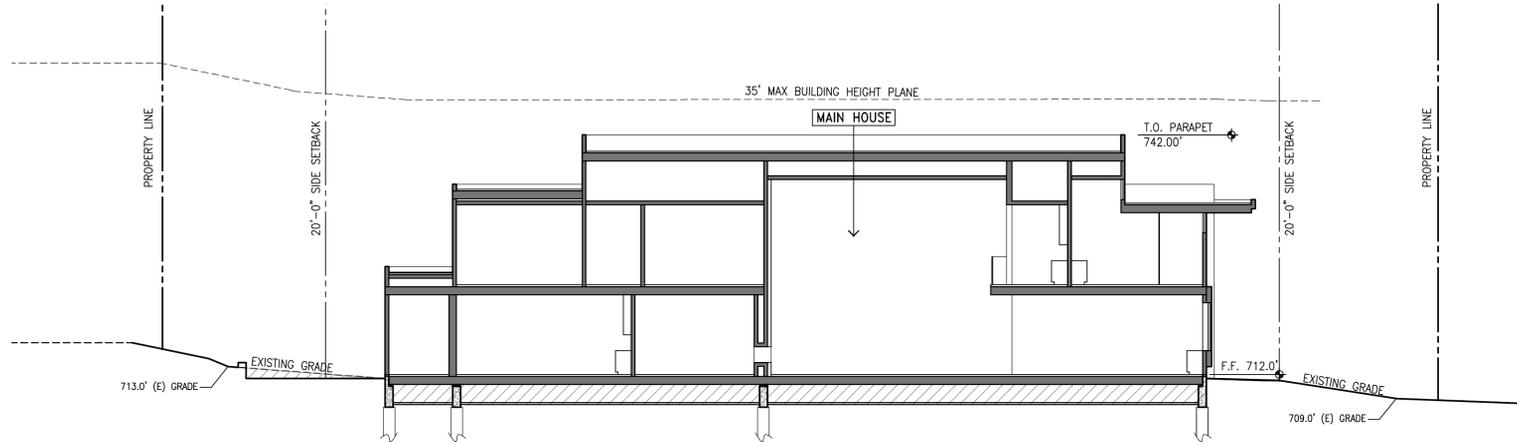
Scale: 3/16" = 1'-0"

© 2022-LOUIE LEU ARCHITECT INC.



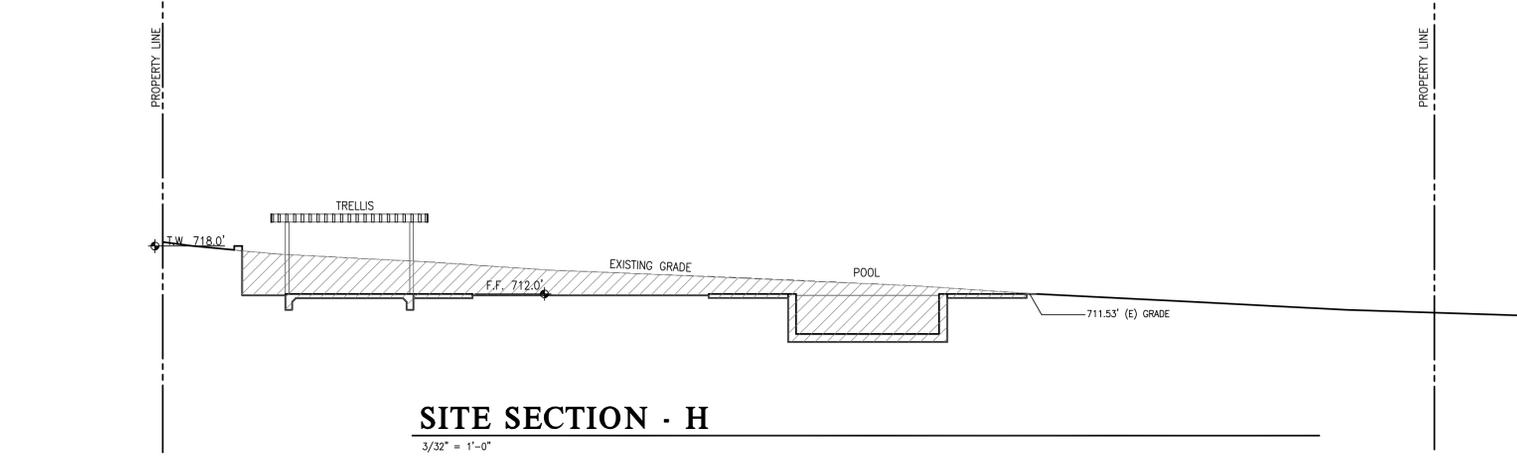
**SITE SECTION - A**

3/32" = 1'-0"



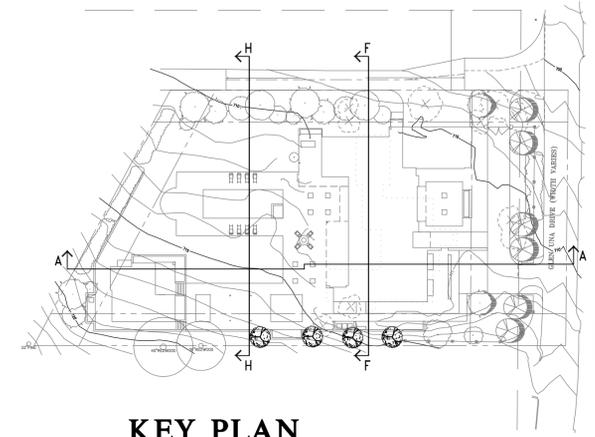
**SITE SECTION - F**

3/32" = 1'-0"



**SITE SECTION - H**

3/32" = 1'-0"



**KEY PLAN**

N.T.S.

**LEGEND**



CUT EARTH



Project No: 22110

RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**

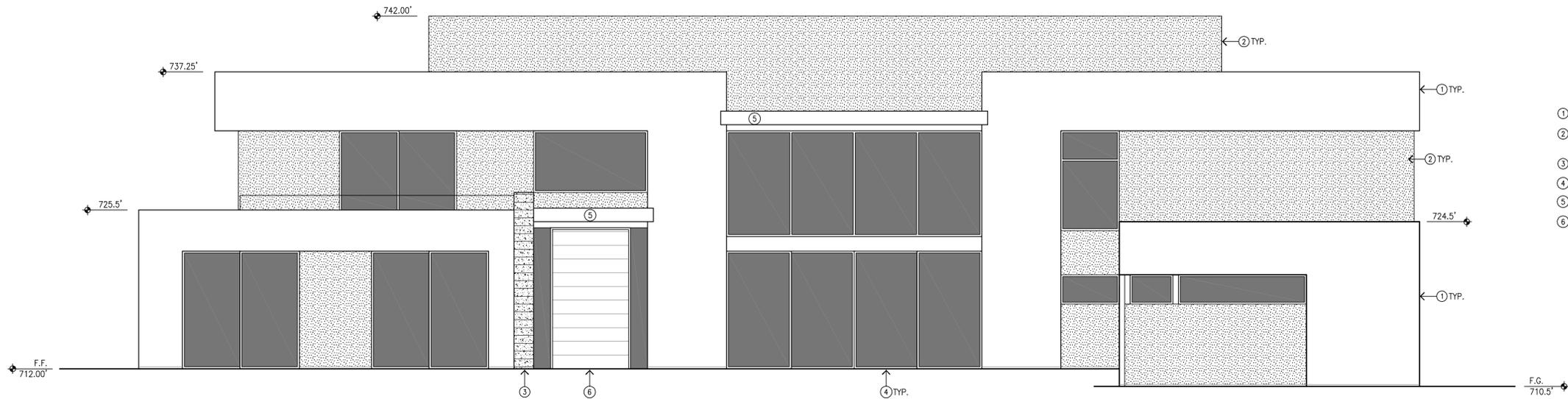
15621 GLEN UNA DRIVE, LOS GATOS, CA 95030  
(COUNTY OF SANTA CLARA JURISDICTION)

**SITE SECTION**

Date/Revisions:  
04-27-22 PLANNING RESUBMITAL

Sheet No:

**A - 3.4**



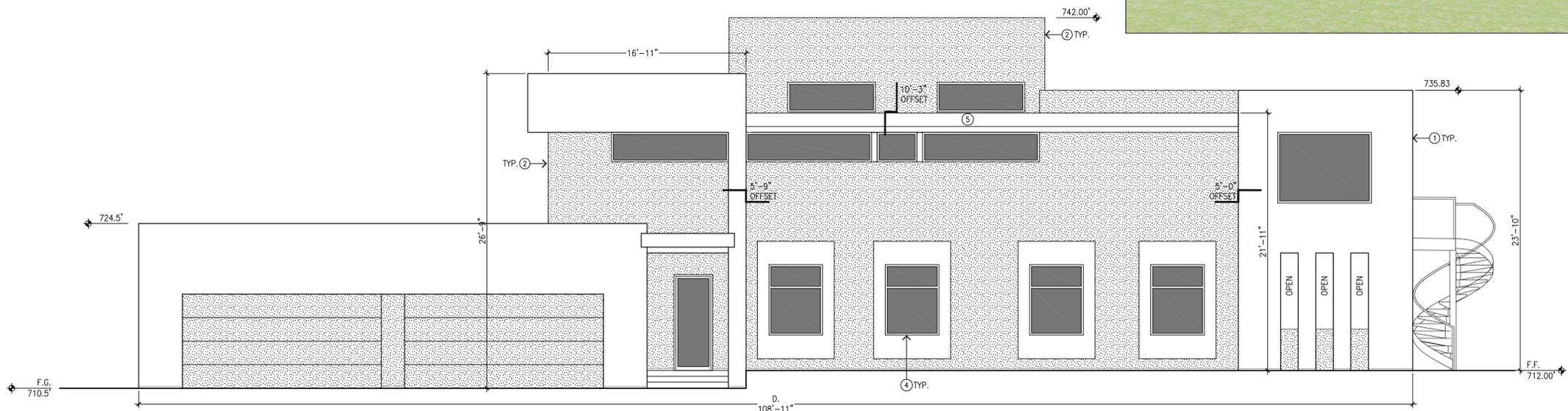
### EAST ELEVATION

3/16" = 1'-0"



#### EXTERIOR MATERIALS

- ① CEMENT PLASTER, COLOR ICI #617, LRV 44
- ② RAINSCREEN PANEL ASSEMBLY, WESTERN SPECIALTY FABRICATIONS, NORDIC RAW, COLOR: BLACK, LRV < 10
- ③ BOARD FORMED CONCRETE WALL W/INTEGRAL COLOR TBD., LRV < 30.
- ④ METAL WINDOWS & DOORS, COLOR CLEAR ANODIZED ALUMINUM
- ⑤ SHEET METAL FASCIA, COLOR TO MATCH WINDOW FRAMES.
- ⑥ MAIN ENTRY DOOR - METAL PIVOT DOOR



### NORTH ELEVATION

3/16" = 1'-0"



Project No: 22110

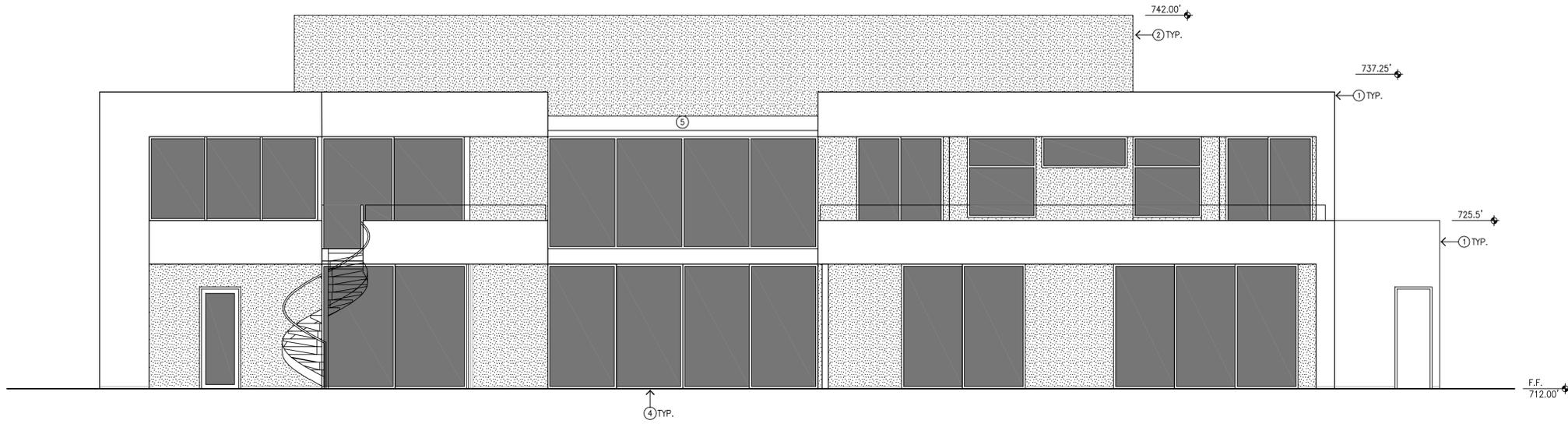
RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**  
 15621 GLEN UNA DRIVE, LOS GATOS, CA 95030  
 (COUNTY OF SANTA CLARA JURISDICTION)

ELEVATIONS

Date/Revisions:  
04-27-22 PLANNING RESUBMITAL

Sheet No:

# A - 4.1



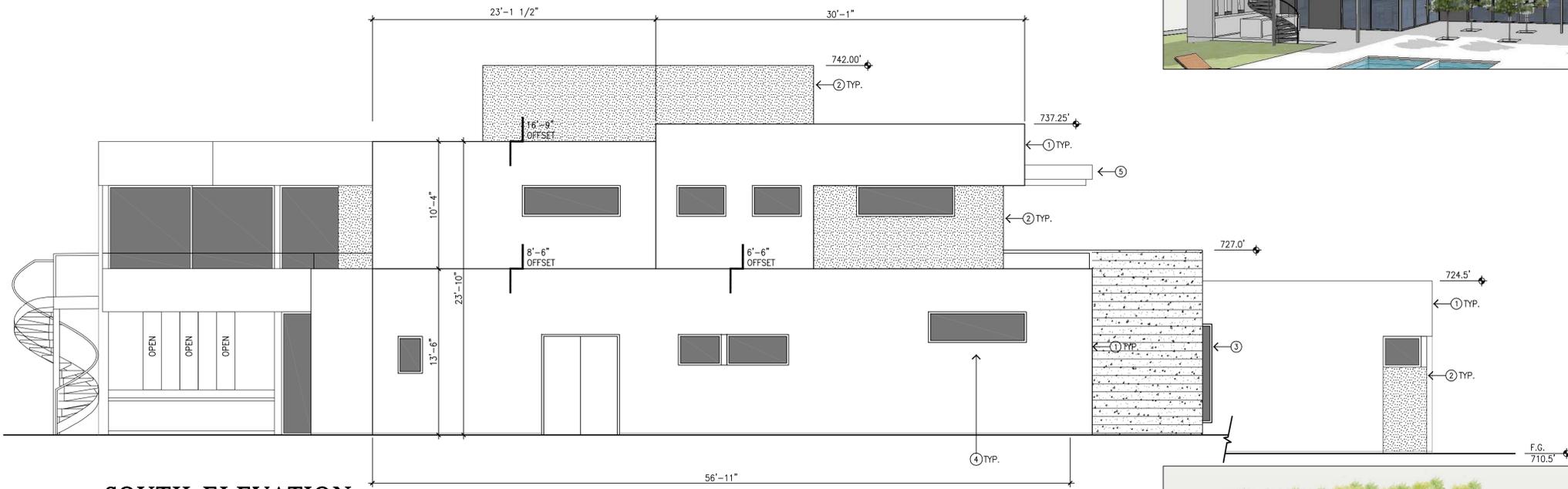
WEST ELEVATION

3/16" = 1'-0"



EXTERIOR MATERIALS

- ① CEMENT PLASTER, COLOR ICI #617, LRV 44
- ② RAINSCREEN PANEL ASSEMBLY, WESTERN SPECIALTY FABRICATIONS, NORDIC RAW, COLOR: BLACK, LRV < 10
- ③ BOARD FORMED CONCRETE WALL W/INTEGRAL COLOR TBD., LRV < 30.
- ④ METAL WINDOWS & DOORS, COLOR CLEAR ANODIZED ALUMINUM
- ⑤ SHEET METAL FASCIA, COLOR TO MATCH WINDOW FRAMES.
- ⑥ MAIN ENTRY DOOR - METAL PIVOT DOOR



SOUTH ELEVATION

3/16" = 1'-0"



Project No: 22110

RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**

15621 GLEN UNA DRIVE, LOS GATOS, CA 95030  
(COUNTY OF SANTA CLARA JURISDICTION)

ELEVATIONS

Date/Revisions:  
04-27-22 PLANNING RESUBMITAL

Sheet No:

**A - 4.2**



**GENERAL NOTES**

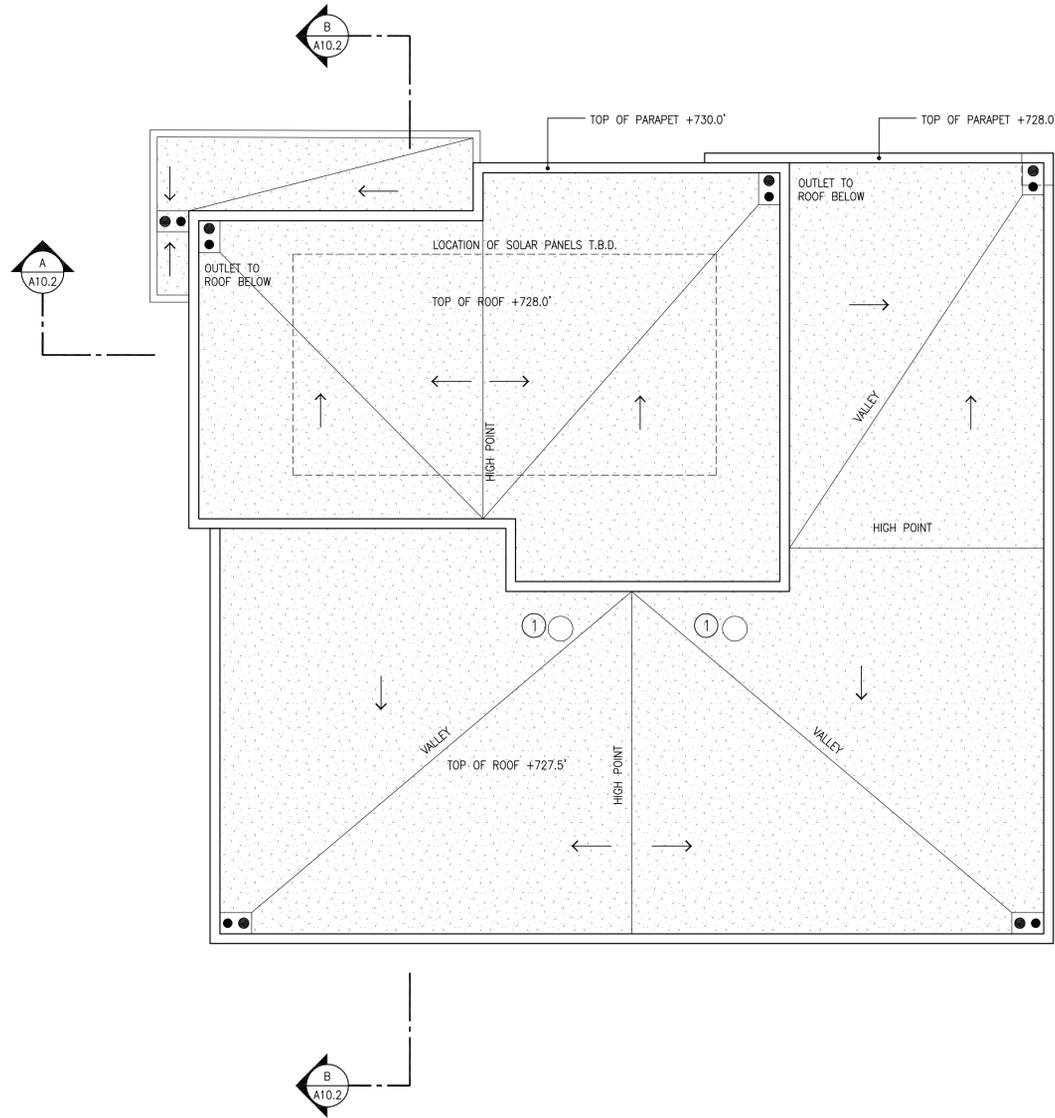
A. VENTS AT THE ROOF MUST BE A MINIMUM OF 3' ABOVE OR 10' HORIZONTALLY AWAY FROM OPERABLE SKYLIGHTS PER CPC 906.2

**LEGEND**

-  80 MIL. SINGLE PLY PVC ROOF BY IB ROOF SYSTEMS - CLASS 'A' RATED C/ TAPERED INSULATION MIN. SLOPE 1/4" FT. MIN. COLOR: GRAY
-  ROOF DRAIN & OVERFLOW ASSEMBLY, SEE DETAIL
-  INDICATES TOP OF ROOF PLYWOOD SUB-DECK, (BENEATH TAPERED ROOF INSULATION)

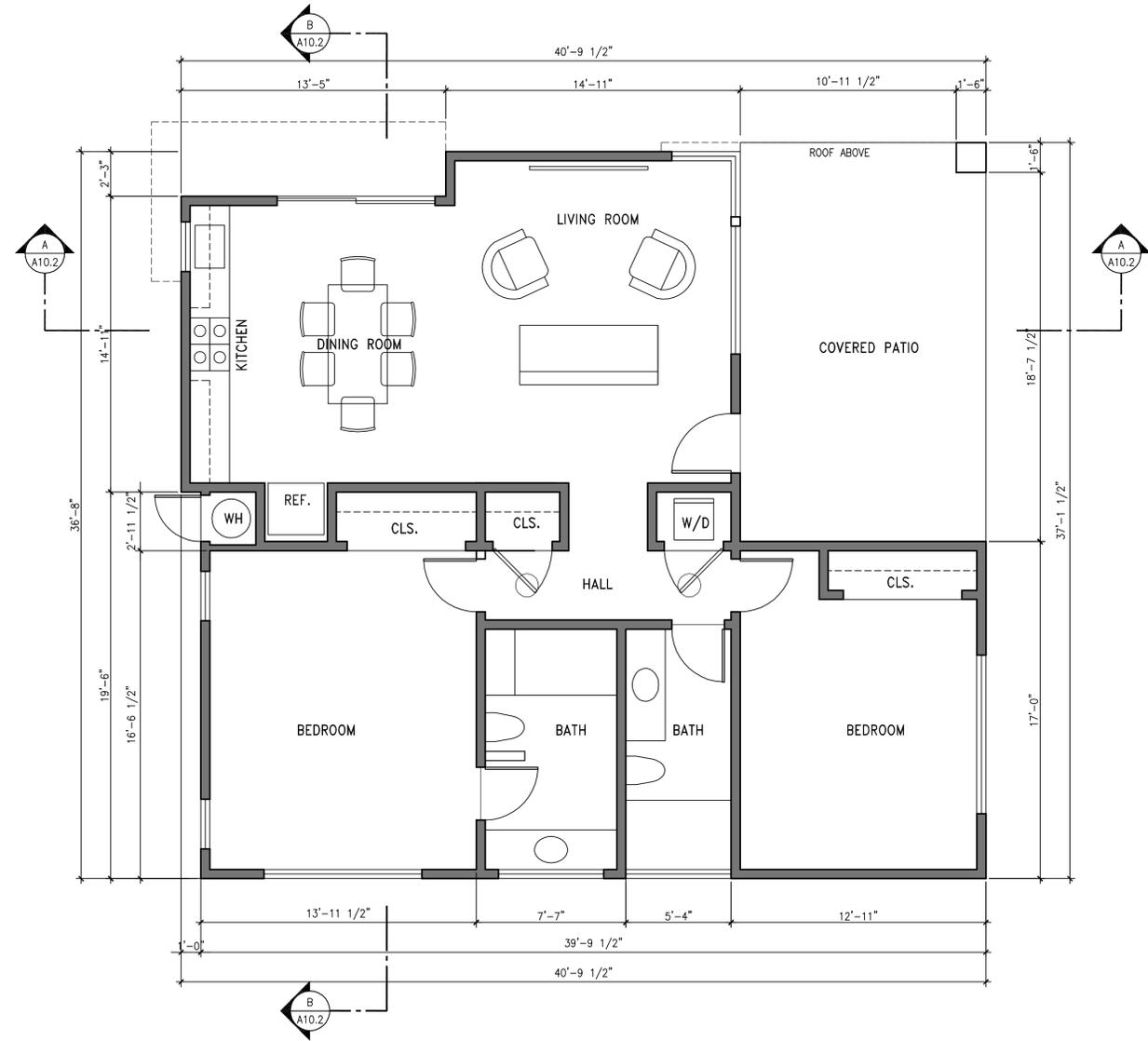
**KEY NOTES**

- ① VELUX 14" SUN TUNNEL - FLAT GLASS TCR WDMA HALLMARK CERTIFICATION UNDER NO. 426-H, AND/OR RECOGNITION UNDER UNIFORM-ES REPORT #ER 0199 (AFMO-ES).



**ROOF PLAN**

1/4" = 1'-0"



**FLOOR PLAN**

1/4" = 1'-0"



Project No: 22110

RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**

15621 GLEN LUNA DRIVE, LOS GATOS, CA 95030  
(COUNTY OF SANTA CLARA JURISDICTION)

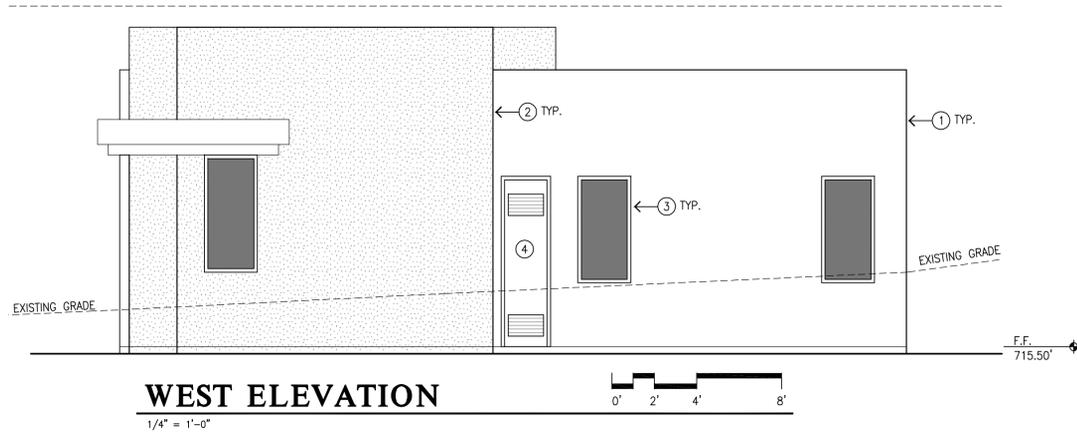
**A.D.U. FLOOR & ROOF PLANS**

Scale: 1/4" = 1'-0"

Date/Revisions:  
04-27-22 PLANNING RESUBMITAL

Sheet No:

**A - 10.1**

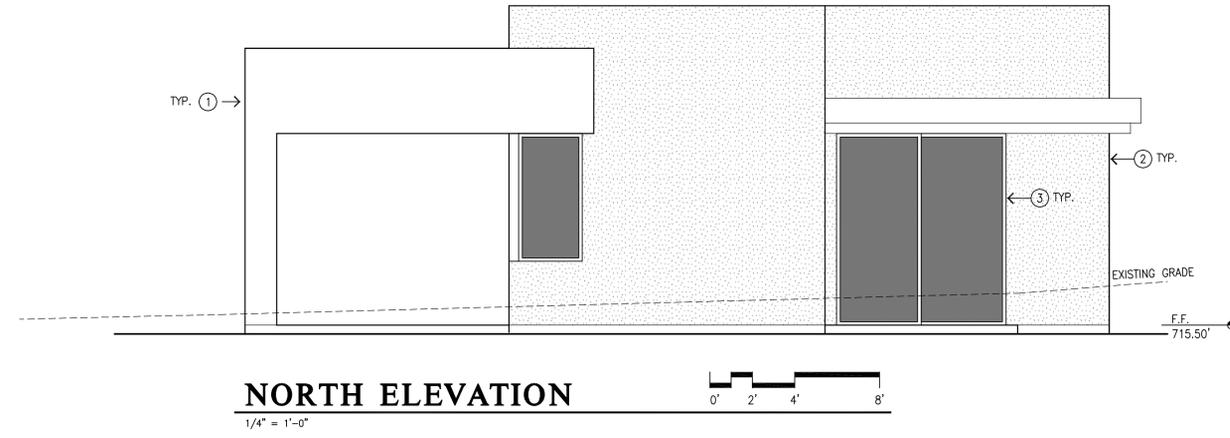


WEST ELEVATION

1/4" = 1'-0"

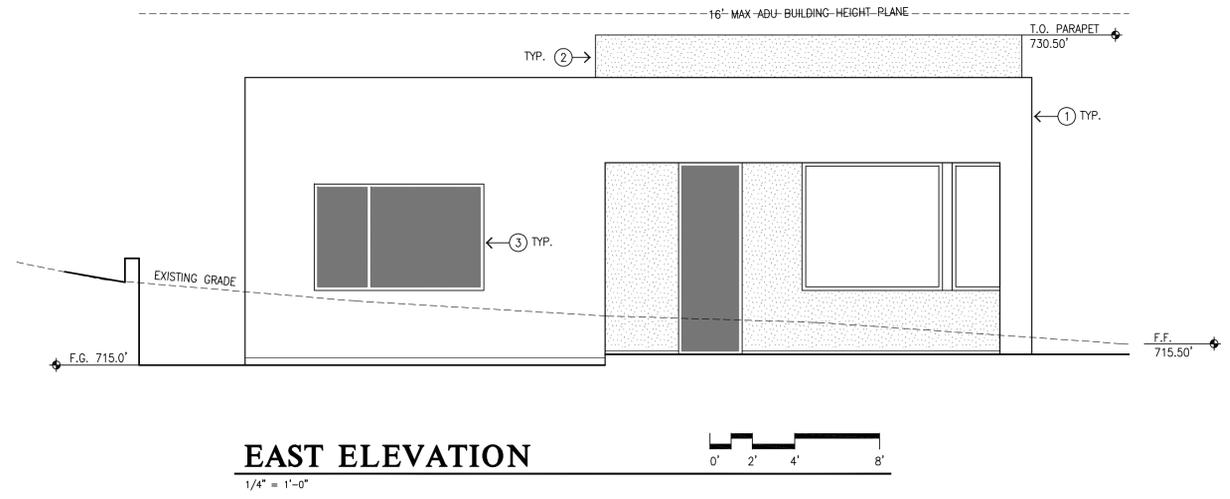
EXTERIOR MATERIALS

- ① CEMENT PLASTER, COLOR T.B.D.
- ② RAINSCREEN PANEL ASSEMBLY, WESTERN SPECIALTY FABRICATIONS, NORDIC RAW, COLOR: BLACK
- ③ METAL WINDOWS & DOORS, COLOR CLEAR ANODIZED
- ④ 24" WIDE LOUVERED DOOR



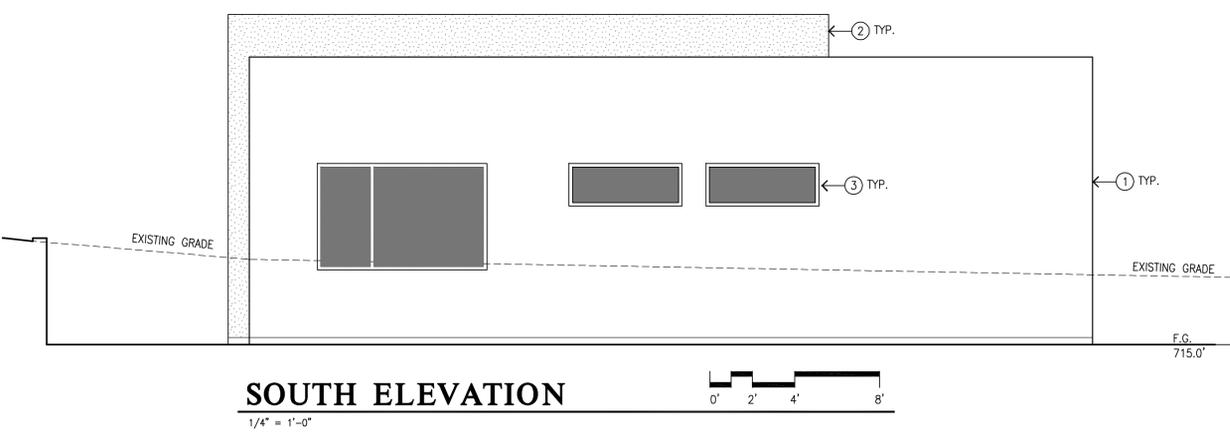
NORTH ELEVATION

1/4" = 1'-0"



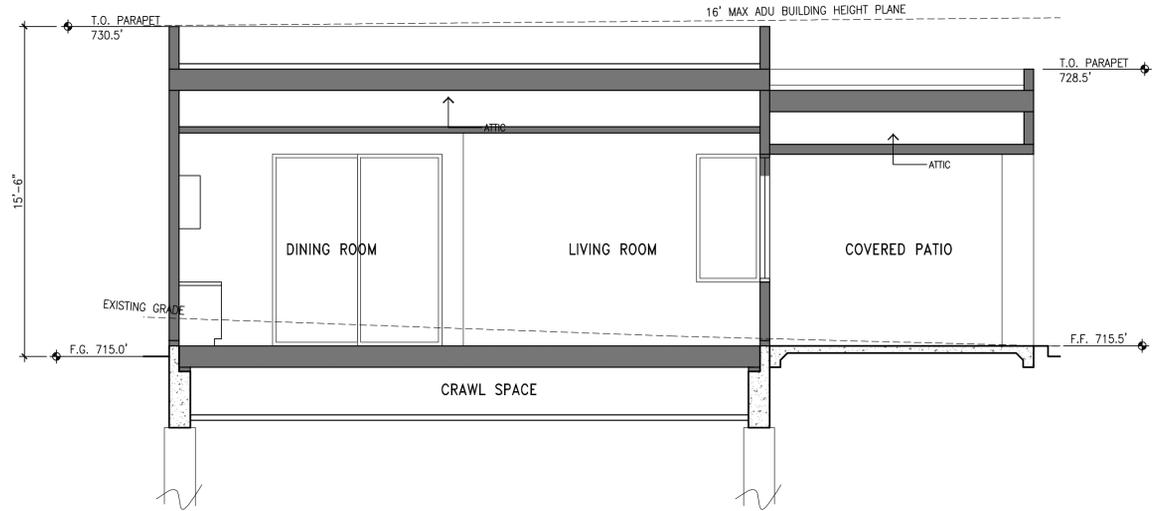
EAST ELEVATION

1/4" = 1'-0"



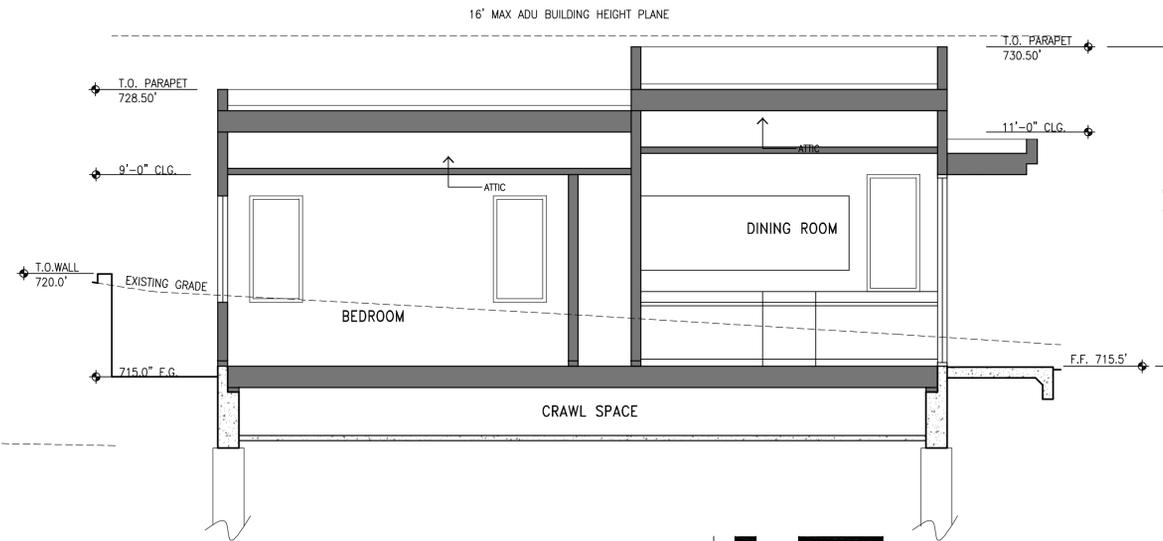
SOUTH ELEVATION

1/4" = 1'-0"



SECTION A-A

1/4" = 1'-0"



SECTION B-B

1/4" = 1'-0"



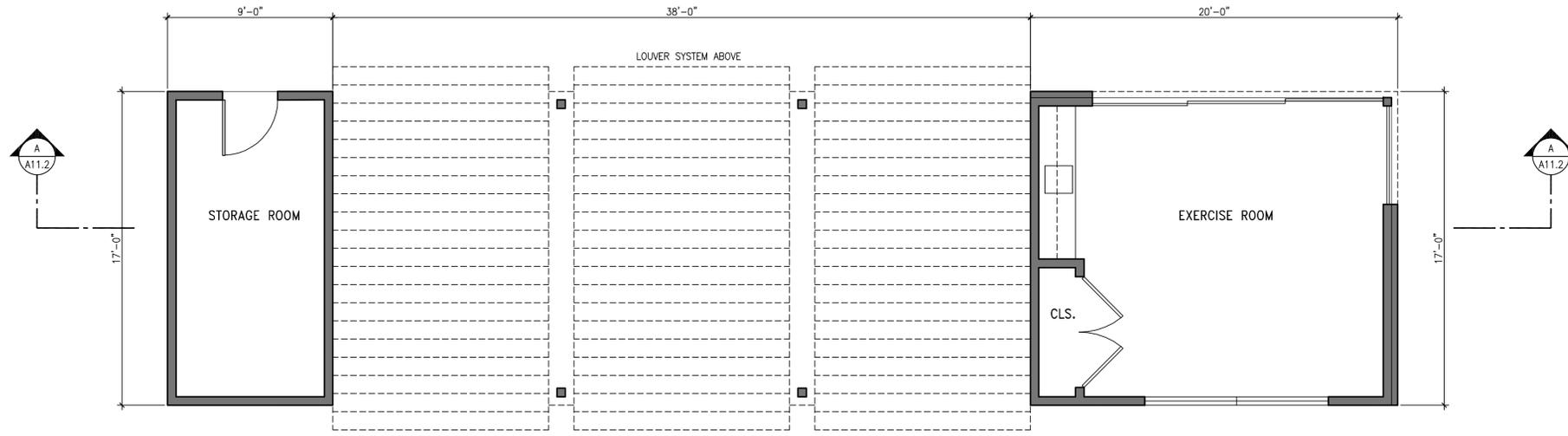
Project No: 22110

RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**  
 15621 GLEN UNA DRIVE, LOS GATOS, CA 95030  
 (COUNTY OF SANTA CLARA JURISDICTION)

Date/Revisions:  
04-27-22 PLANNING RESUBMITAL

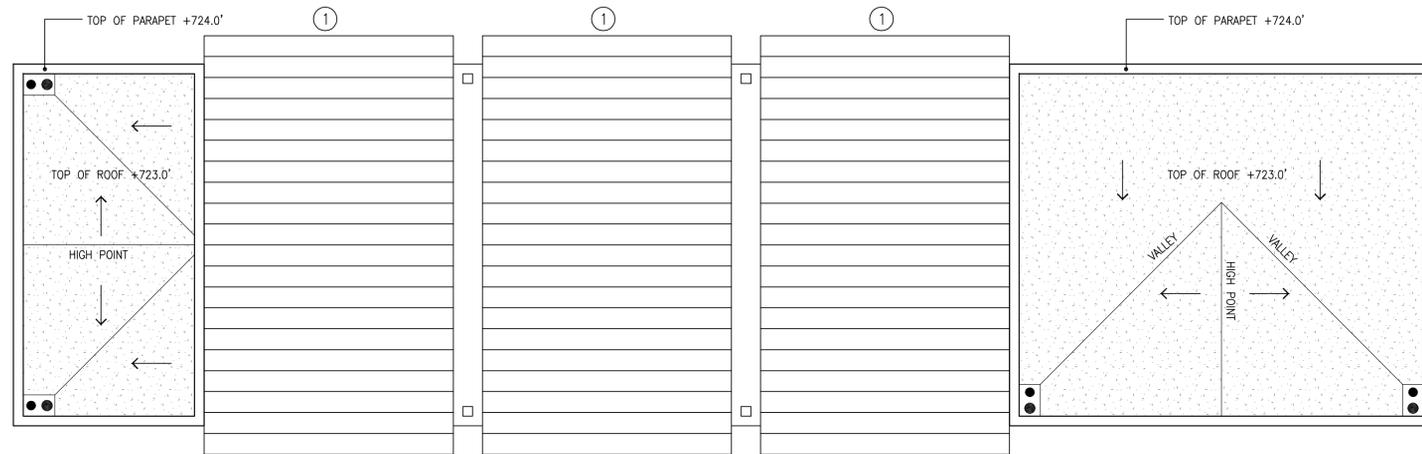
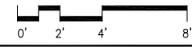
Sheet No:

A - 10.2



FLOOR PLAN

1/4" = 1'-0"



ROOF PLAN

1/4" = 1'-0"



GENERAL NOTES

- A. VENTS AT THE ROOF MUST BE A MINIMUM OF 3' ABOVE OR 10' HORIZONTALLY AWAY FROM OPERABLE SKYLIGHTS PER CPC 906.2

LEGEND

- 80 MIL. SINGLE PLY PVC ROOF BY IB ROOF SYSTEMS - CLASS 'A' RATED O/ TAPERED INSULATION MIN. SLOPE 1/4" FT. MIN. COLOR: GRAY
- ROOF DRAIN & OVERFLOW ASSEMBLY, SEE DETAIL
- INDICATES TOP OF ROOF PLYWOOD SUB-DECK, (BENEATH TAPERED ROOF INSULATION)

KEY NOTES

- 1 AUTOMATIC LOUVER SYSTEM - MANUFACTURER - "VERCOLA" WITH SINGLE CONTROL AND REMOTE, RAIN SENSOR ACTIVATED



Project No: 22110

RESIDENCE FOR: SINGH 2019 LIVING TRUST

15621 GLEN UNA DRIVE, LOS GATOS, CA 95030 (COUNTY OF SANTA CLARA JURISDICTION)

ACCESSORY FLOOR & ROOF PLANS

Scale: 1/4" = 1'-0"

Date/Revisions: 04-27-22 PLANNING RESUBMITTAL

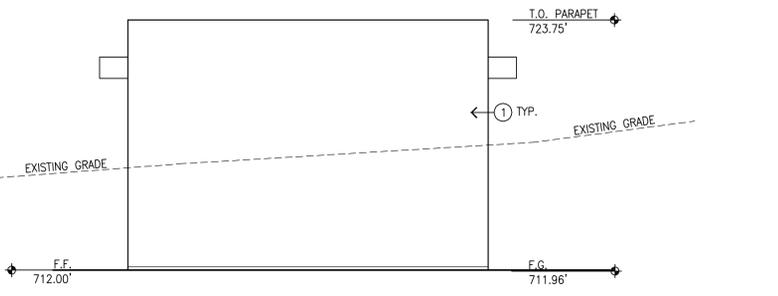
Sheet No:

A - 11.1

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.

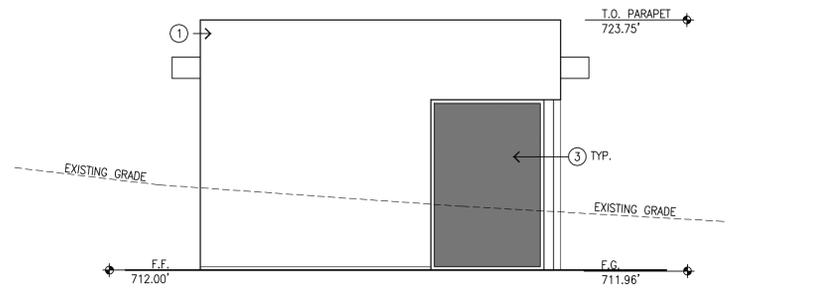
DESIGN FOR LIVING

P:\22110-Singh\Drawings\CAD\A-11.2 Accessory Building Elevations.dwg - 04.25.2022 - 3:11pm



WEST ELEVATION

1/4" = 1'-0"

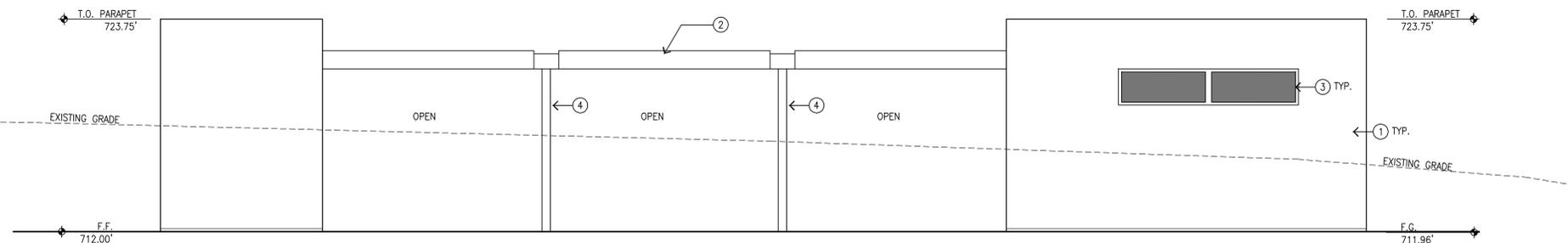


EAST ELEVATION

1/4" = 1'-0"

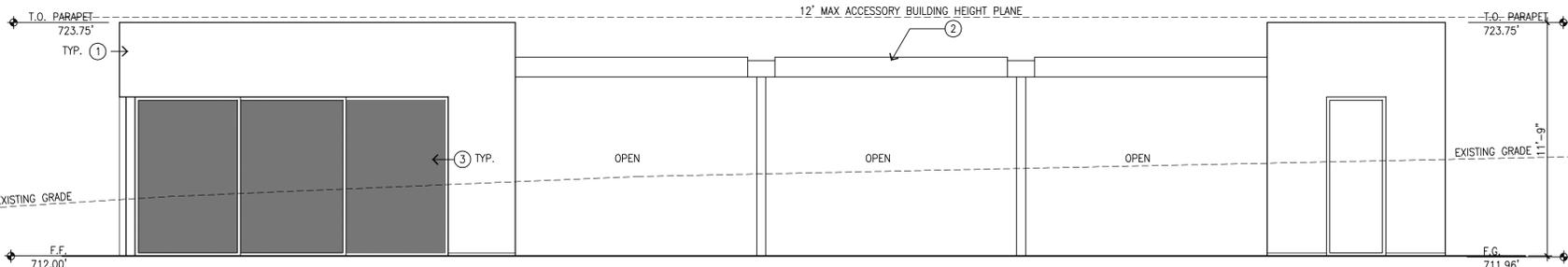
EXTERIOR MATERIALS

- ① CEMENT PLASTER ASSEMBLY, COLOR T.B.D.
- ② AUTOMATIC LOUVER SYSTEM- MANUFACTURER -"VERGOLA" WITH SINGLE CONTROL AND REMOTE, RAIN SENSOR ACTIVATED
- ③ METAL WINDOWS & DOORS, COLOR CLEAR ANODIZED
- ④ STEEL POSTS



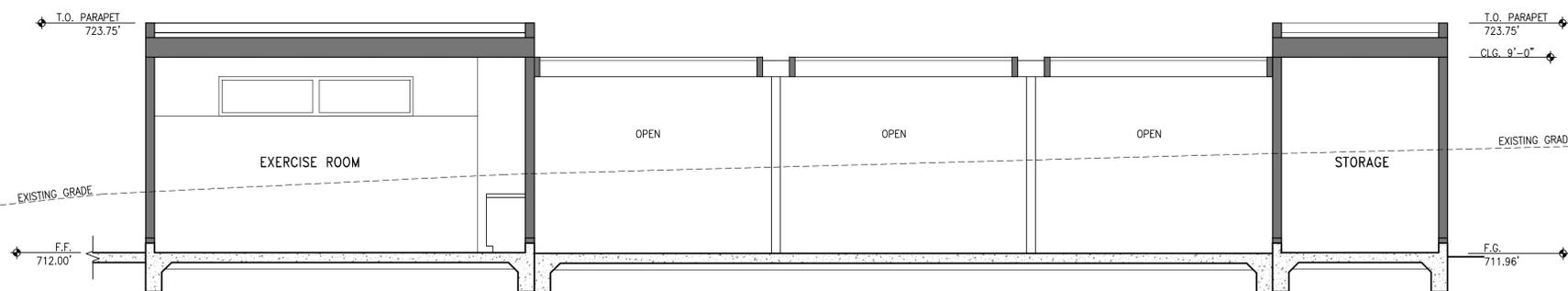
SOUTH ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"



SECTION A-A

1/4" = 1'-0"

LOUIE LEU ARCHITECT INC



236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030  
Ph. (408) 399-2222 Fax (408) 399-2223 www.louieleuarch.com

SIGNATURE DATE: 04-27-22

Project No: 22110

RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**  
15621 GLEN UNA DRIVE, LOS GATOS, CA 95030  
(COUNTY OF SANTA CLARA JURISDICTION)

Date/Revisions:  
04-27-22 PLANNING RESUBMITAL

Sheet No:

**A - 11.2**

PLANS ARE NOT FOR CONSTRUCTION UNLESS APPROVED AND STAMPED BY BUILDING DEPARTMENT.

DESIGN FOR LIVING

P:\22110-Singh\Drawings\CAD\1-1 Landscape Screening Plan.dwg 04/27/2022 - 1:13pm

DEFENSIBLE SPACE ZONES

COMPLY WITH AB 38 FOR DEFENSIBLE SPACE.

ZONES 1 AND 2 CURRENTLY MAKE UP THE 100 FEET OF DEFENSIBLE SPACE REQUIRED BY LAW. ASSEMBLY BILL 3074, PASSED INTO LAW IN 2020, REQUIRES A THIRD ZONE FOR DEFENSIBLE SPACE. THIS LAW REQUIRES THE BOARD OF FORESTRY AND FIRE PROTECTION TO DEVELOP THE REGULATION FOR A NEW EMBER-RESISTANT ZONE (ZONE 0) WITHIN 5 FEET OF THE HOME BY JANUARY 1, 2023. THE INTENSITY OF WILDFIRE FUEL MANAGEMENT VARIES WITHIN THE 100-FOOT PERIMETER OF THE HOME, WITH MORE INTENSE FUELS REDUCTION OCCURRING CLOSER TO YOUR HOME. START AT THE HOME AND WORK YOUR WAY OUT TO 100 FEET OR TO YOUR PROPERTY LINE, WHICHEVER IS CLOSER.

ZONE 1 - LEAN, CLEAN AND GREEN ZONE

ZONE 1 EXTENDS 30 FEET FROM BUILDINGS, STRUCTURES, DECKS, ETC. OR TO YOUR PROPERTY LINE, WHICHEVER IS CLOSER.

1. REMOVE ALL DEAD PLANTS, GRASS AND WEEDS (VEGETATION).
2. REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YOUR YARD, ROOF AND RAIN GUTTERS.
3. REMOVE BRANCHES THAT HANG OVER YOUR ROOF AND KEEP DEAD BRANCHES 10 FEET AWAY FROM YOUR CHIMNEY.
4. TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10 FEET FROM OTHER TREES.
5. RELOCATE WOOD PILES TO ZONE 2.
6. REMOVE OR PRUNE FLAMMABLE PLANTS AND SHRUBS NEAR WINDOWS.
7. REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS, BALCONIES AND STAIRS.
8. CREATE A SEPARATION BETWEEN TREES, SHRUBS AND ITEMS THAT COULD CATCH FIRE, SUCH AS PATIO FURNITURE, WOOD PILES, SWING SETS, ETC.

ZONE 2 - REDUCE FUEL ZONE

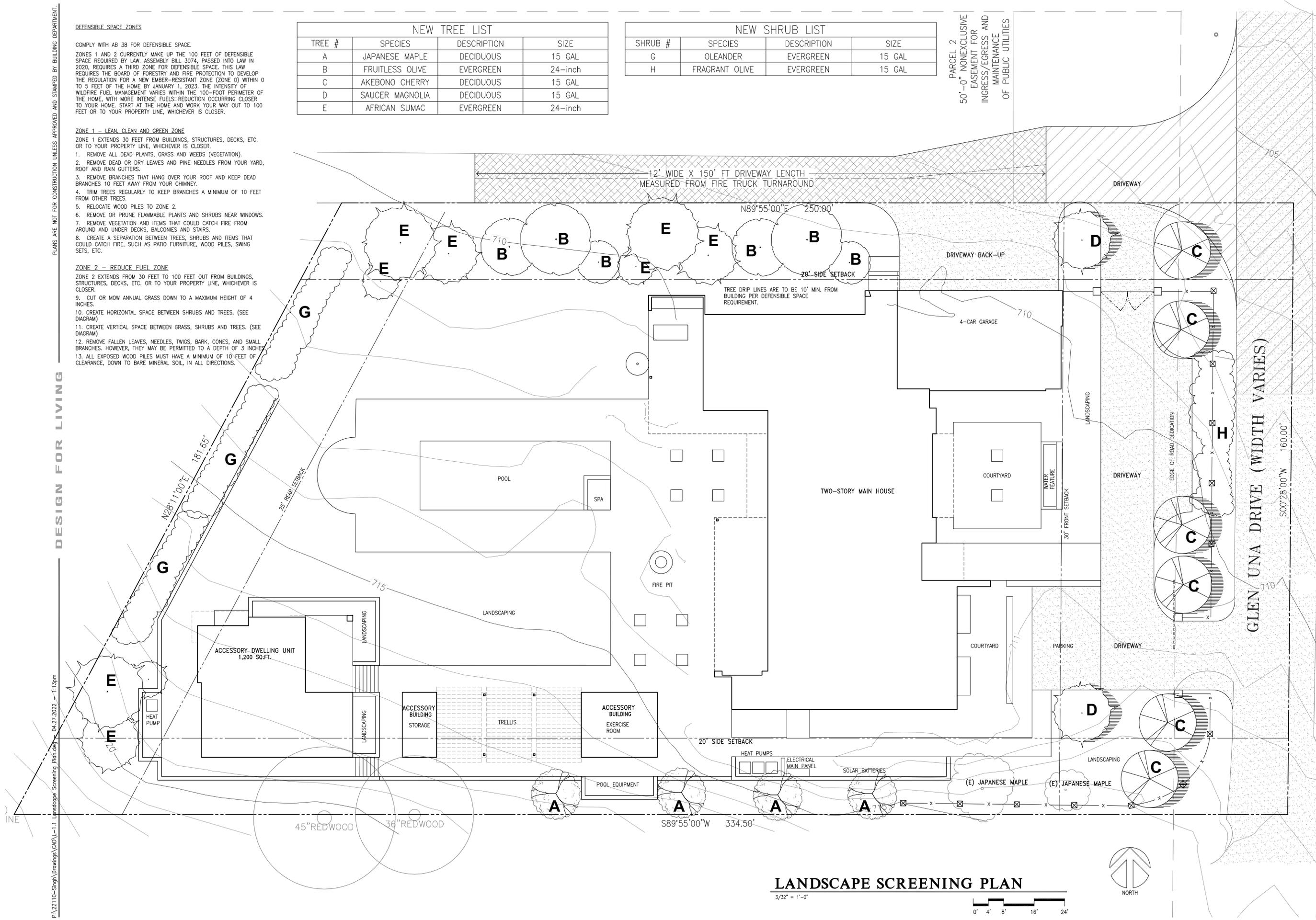
ZONE 2 EXTENDS FROM 30 FEET TO 100 FEET OUT FROM BUILDINGS, STRUCTURES, DECKS, ETC. OR TO YOUR PROPERTY LINE, WHICHEVER IS CLOSER.

9. CUT OR MOW ANNUAL GRASS DOWN TO A MAXIMUM HEIGHT OF 4 INCHES.
10. CREATE HORIZONTAL SPACE BETWEEN SHRUBS AND TREES. (SEE DIAGRAM)
11. CREATE VERTICAL SPACE BETWEEN GRASS, SHRUBS AND TREES. (SEE DIAGRAM)
12. REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES, AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES.
13. ALL EXPOSED WOOD PILES MUST HAVE A MINIMUM OF 10 FEET OF CLEARANCE, DOWN TO BARE MINERAL SOIL, IN ALL DIRECTIONS.

NEW TREE LIST			
TREE #	SPECIES	DESCRIPTION	SIZE
A	JAPANESE MAPLE	DECIDUOUS	15 GAL
B	FRUITLESS OLIVE	EVERGREEN	24-inch
C	AKEBONO CHERRY	DECIDUOUS	15 GAL
D	SAUCER MAGNOLIA	DECIDUOUS	15 GAL
E	AFRICAN SUMAC	EVERGREEN	24-inch

NEW SHRUB LIST			
SHRUB #	SPECIES	DESCRIPTION	SIZE
G	OLEANDER	EVERGREEN	15 GAL
H	FRAGRANT OLIVE	EVERGREEN	15 GAL

PARCEL 2  
50'-0" NONEXCLUSIVE EASEMENT FOR INGRESS/EGRESS AND MAINTENANCE OF PUBLIC UTILITIES



LANDSCAPE SCREENING PLAN

3/32" = 1'-0"



LOUIE LEU ARCHITECT INC



236 N. Santa Cruz Ave., Suite 210, Los Gatos, Ca 95030  
Ph. (408) 399-2222 Fax (408) 399-2223 www.louieleuarch.com

SIGNATURE DATE: 04-27-22

Project No: 22110

RESIDENCE FOR:  
**SINGH 2019 LIVING TRUST**

15621 GLEN UNA DRIVE, LOS GATOS, CA 95030  
(COUNTY OF SANTA CLARA JURISDICTION)

CONCEPT LANDSCAPE SCREENING PLAN Scale: 3/32" = 1'-0"

Date/Revisions:  
04-27-22 PLANNING RESUBMITAL

Sheet No:

L - 1.1

# COUNTY OF SANTA CLARA General Construction Specifications

## GENERAL CONDITIONS

1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY \_\_\_\_\_ DATED \_\_\_\_\_ THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS; 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS; 3) THE COUNTY OF SANTA CLARA STANDARD SPEC.; 4) STATE OF CALIFORNIA STANDARD DETAILS; 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
2. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
3. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
4. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
5. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
7. DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK ARRESTERS.
9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY CODE SECTION 66-15).
10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

## CONSTRUCTION STAKING

1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
2. ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

## CONSTRUCTION INSPECTION

1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR TO COMMENCEMENT OF THE BUILDING FOUNDATION.

## SITE PREPARATION (CLEARING AND GRUBBING)

1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
  - A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
  - B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

## UTILITY LOCATION, TRENCHING & BACKFILL

1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY. GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE SITE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

## RETAINING WALLS

1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

## GRADING

1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED TO ACHIEVE A MINIMUM 4" PROPER BOND WITH THE FILL MATERIAL. THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYS IN TO ACHIEVE STABILITY.
2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	OUT (C.Y.)	FILL (C.Y.)	NET (C.Y.)	MAX CUT HT.	MAX FILL HT.
RESIDENCE	0 CY	340 CY	340 (F)	0.0 FT	1.5 FT
ACCESSORY STRUCTURE	125 CY	0 CY	125 (O)	5.5 FT	0.0 FT
POOL/HARDSCAPE	845 CY	35 CY	910 (O)	6.0 FT	1.0 FT
LANDSCAPE	850 CY	135 CY	815 (O)	4.0 FT	2.0 FT
DRIVEWAY	10 CY	5 CY	5 (O)	0.5 FT	0.5 FT
OFF SITE IMPROVEMENTS	-	-	-	-	-
TOTAL	2,030 CY	515 CY	1,515 (O)	-	-

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
  8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
  9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95% RELATIVE COMPACTION.
  10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
  11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
  12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
  13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
  14. TOTAL DISTURBED AREA FOR THE PROJECT \_\_\_\_\_ SF.
  15. WDD NO. \_\_\_\_\_
  16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

## TREE PROTECTION

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
  - A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE OF THE TREE OR GROVE OF TREES.
  - B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
  - C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
  - D. SIGNAGE STATING "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov>" SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

## ACCESS ROADS AND DRIVEWAYS

1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).
2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC..

## STREET LIGHTING

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

## SANITARY SEWER

1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

## PORTLAND CEMENT CONCRETE

1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

## AIR QUALITY, LANDSCAPING AND EROSION CONTROL

1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO OPERATION.
9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET IN SIZE WITH THE FOLLOWING HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
  - A. 15 MINUTE MAXIMUM IDLING TIME PER VEHICLE
  - B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
  - C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER IS 1-800-334-6367.

## SURVEY MONUMENT PRESERVATION

1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, IDENTIFY, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.
3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COULD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
  - A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.
  - B. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
  - C. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SPECIFIC AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

## STORM DRAINAGE AND STORMWATER MANAGEMENT

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004 / ORDER NO. 2013-0001-DWO.
2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS, WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

## AS-BUILT PLANS STATEMENT

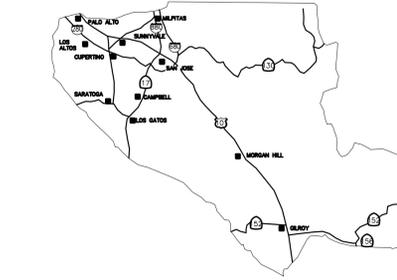
THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE ( ) WERE ( ) WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL ( ). THERE ( ) WERE ( ) WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_  
NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

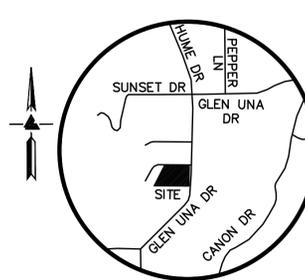
## GEOTECHNICAL ENGINEER OBSERVATION

1. A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER AND ENGINEERING GEOLOGIST DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL AND GEOLOGIC REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

DATE: \_\_\_\_\_ SIGNATURE: \_\_\_\_\_  
R.C.E. NO. \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_



COUNTY LOCATION  
MAP



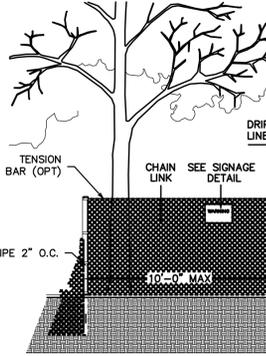
VICINITY MAP  
NO SCALE

PROJECT TITLE  
SINGH 2019 LIVING TRUST  
15621 GLEN UNA DRIVE  
LOS GATOS  
UNINCORPORATED

SEE SHEET C-1.1 FOR LEGEND & ABBREVIATIONS

## SCOPE OF WORK

1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION CONTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.
2. CONSTRUCTION OF NEW HOUSE, GYM, STORAGE, AND ADU
3. CONSTRUCTION OF DRIVEWAY AND PARKING AREAS
4. CONSTRUCTION OF PATIO AND PATHWAY
5. CONSTRUCTION OF POOL
6. CONSTRUCTION OF STORM WATER FACILITIES
7. CONSTRUCTION RETAINING WALLS



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 5 FEET TALL, CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

## SHEET INDEX

NO.	TITLE
C-1.0	TITLE SHEET
C-1.1	OVERALL SITE PLAN
C-2.0	GRADING & DRAINAGE PLAN
C-2.1	GRADING & DRAINAGE PLAN
ER-1	EROSION CONTROL PLAN
BMP-1	BEST MANAGEMENT PRACTICES
BMP-2	BEST MANAGEMENT PRACTICES
HYD-1	IMPERVIOUS SURFACE EXHIBIT
HYD-2	PROPOSED DRAINAGE EXHIBIT
SU-1	TOPOGRAPHIC SURVEY

## LEA & BRAZE ENGINEERING, INC.

CIVIL ENGINEERS • LAND SURVEYORS  
BAY AREA REGION: 2495 INDUSTRIAL TOWN WEST, HAYWARD, CALIFORNIA 94545  
SACRAMENTO REGION: 3017 DOUGLAS BLVD., # 300, ROSEVILLE, CA 95661  
(P) (510) 887-4086 (P) (916)966-1338  
(F) (510) 887-3019 (F) (916)797-7363  
[WWW.LEABRAZE.COM](http://WWW.LEABRAZE.COM)

Revision	Date	APN	Sheet
Revision 1	Date	510-26-076	01
Revision 2	Date	Co. File	of
Revision 3	Date		09

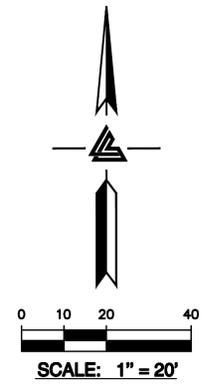
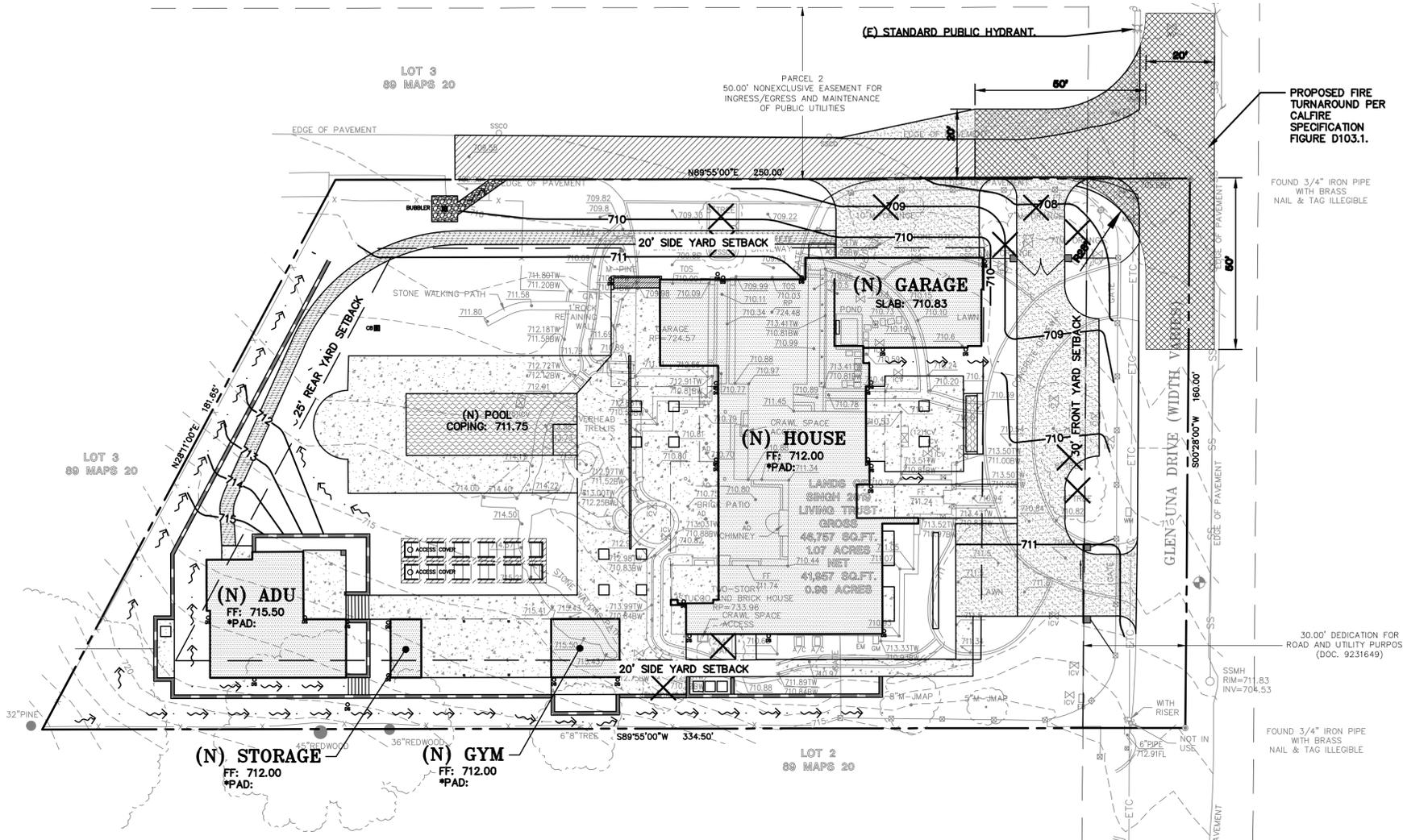
DATE: 11/22/21  
LB#: 2212009

LEGEND

Table with columns: EXISTING, PROPOSED, DESCRIPTION. Lists various symbols for boundaries, property lines, retaining walls, rainwater tightlines, subdrain lines, tightlines, storm drain lines, sanitary sewer lines, water lines, gas lines, storm drain pressure lines, sanitary sewer pressure lines, joint trenches, set back lines, concrete valley gutters, earthen swales, catch basins, junction boxes, area drains, curb inlets, storm drain manholes, fire hydrants, sanitary sewer manholes, street signs, spot elevations, flow directions, demolish/remove, benchmarks, contours, trees to be removed, and tree protection fencing.

ABBREVIATIONS

Table with columns: ABBREVIATION, DESCRIPTION. Lists abbreviations for materials (e.g., AC, ACC, AD, BC, B & D, BM, BUB, BW/FG, CB, C & G, C, CPP, CO, COTG, CONG, CONST, CONG COR, CY, D, DI, DIP, EA, EC, EG, EL, EP, EQ, EW, (E), FC, FF, FG, FH, FL, FS, GA, GB, HDPE, HORIZ, HI, PT, H&T, ID, INV, JB, JT, JL, LNDG) and their corresponding descriptions.



NOTES

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.  
BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.  
FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).  
THE AREA OF THE SURVEYED LOT IS 46,757± SQUARE FEET / 1.07± ACRES

EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY FIDELITY NATIONAL TITLE COMPANY, ORDER NO. FSBC-2062004769-DT, DATED NOVEMBER 24, 2020.

BENCHMARK

CITY OF LOS GATOS BENCHMARK "RM27" "C" IN THE WORD CASTING ON C.B. WEST SIDE OF QUITO ROAD SOUTH OF MONTEWOOD DRIVE. ELEVATION = 444.22' (NAVD 88 DATUM)

SITE BENCHMARK

SURVEY CONTROL POINT MAG AND SHINER SET IN ASPHALT ELEVATION = 710.46' (NAVD 88 DATUM)

TREE NOTE

TREE SIZE, TYPE AND DRIFLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

UTILITY NOTE

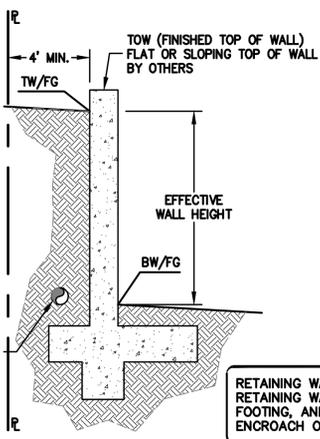
ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

FEMA FLOOD NOTE

FLOOD ZONE: D  
100-YEAR BASE FLOOD ELEVATION (BFE) NOT DEFINED PER CURRENT FLOOD INSURANCE RATE MAP (FIRM)  
FEMA FLOOD INSURANCE RATE MAP NO.: 06087C0110E EFFECTIVE DATE: MAY 16, 2012

RETAINING WALL NOTES

- 1. TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- 2. DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- 3. REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- 4. REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- 5. ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
- 6. SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- 7. PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



\* BUILDING PAD NOTE:  
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:  
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

RETAINING WALL NOTE: PROPOSED RETAINING WALLS, INCLUDING THE FOOTING, AND THE SUBDRAIN SHALL NOT ENCRUCH ON NEIGHBORING PROPERTY.

OWNER'S INFORMATION

OWNER: SINGH 2019 LIVING TRUST  
15621 GLEN UNA DRIVE  
LOS GATOS, CA 95030  
APN: 510-26-076

REFERENCES

- THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:  
1. TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, INC. ENTITLED: "TOPOGRAPHIC SURVEY" 15621 GLEN UNA DRIVE LOS GATOS, CA DATED: 05-06-21 JOB#: 2210573  
2. SITE PLAN BY LOUIE LEU ARCHITECT ENTITLED: "SINGH 2019 LIVING TRUST" 15621 GLEN UNA DRIVE LOS GATOS, CA DATED: 05-06-21 JOB#: 221110  
3. SOIL REPORT BY WAYNE TING ASSOCIATES ENTITLED: "GEOTECHNICAL INVESTIGATION" 15621 GLEN UNA DRIVE LOS GATOS, CA DATED: 11/24/21 JOB#: 5946

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.



LEA & BRAZE ENGINEERING, INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
REGIONAL OFFICES:  
MAIN OFFICE: 15621 GLEN UNA DRIVE, LOS GATOS, CALIFORNIA 95030  
DUBLIN OFFICE: 10000 DUBLIN BOULEVARD, DUBLIN, CALIFORNIA 94568  
SAN JOSE OFFICE: 1000 SAN JOSE AVENUE, SAN JOSE, CALIFORNIA 95128  
(510) 887-4086  
WWW.LEABRAZE.COM

SINGH 2019 LIVING TRUST  
15621 GLEN UNA DRIVE  
LOS GATOS, CALIFORNIA  
UNINCORPORATED SANTA CLARA COUNTY  
APN: 510-26-076

OVERALL SITE PLAN

Table with columns: REVISIONS, BY. Shows a list of revisions with columns for revision number and the person who made the revision.

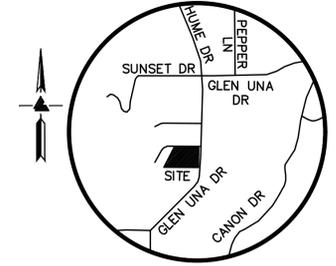












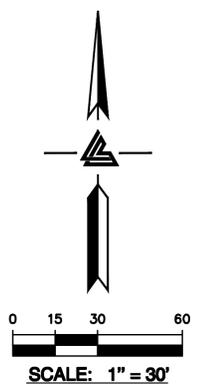
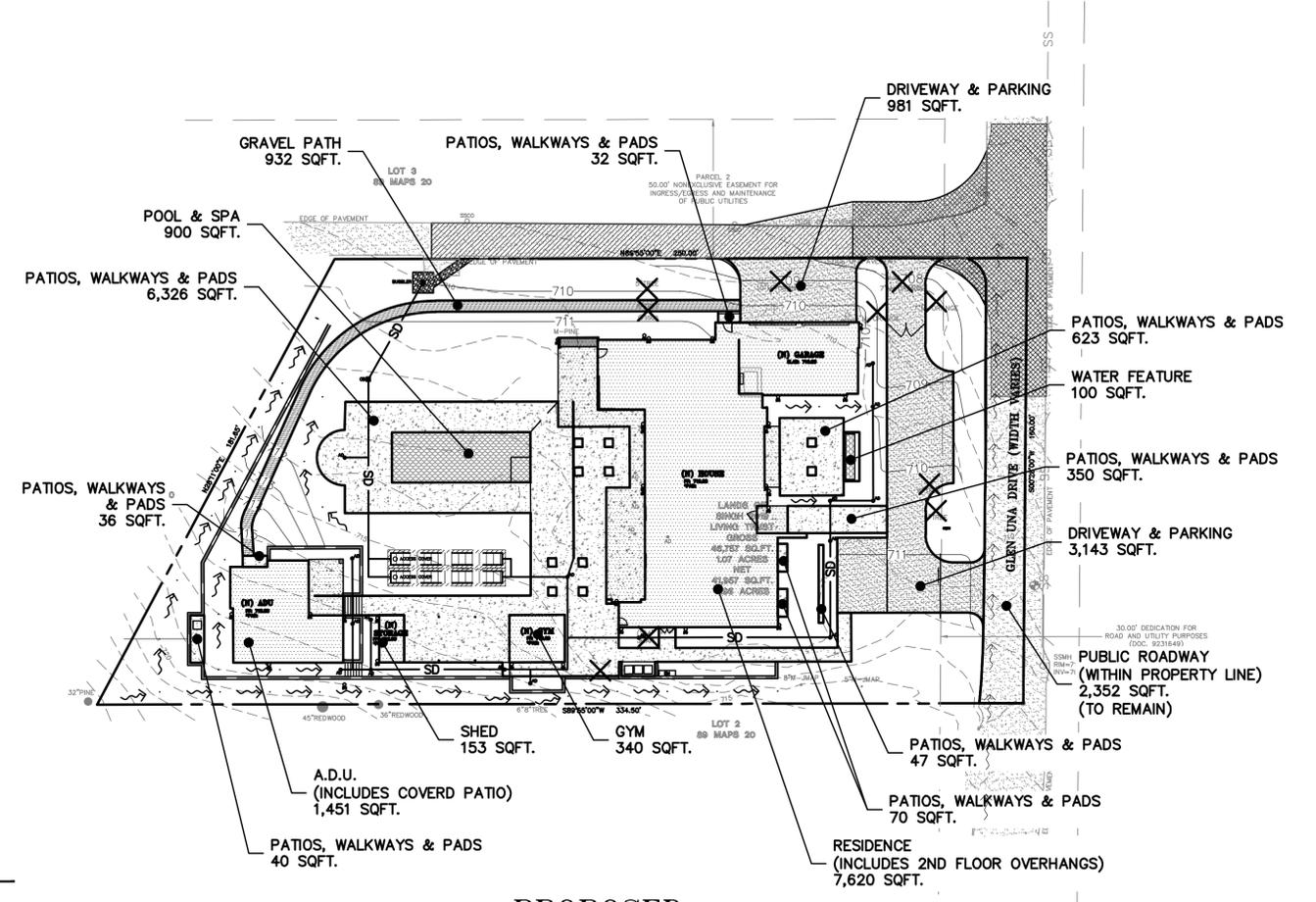
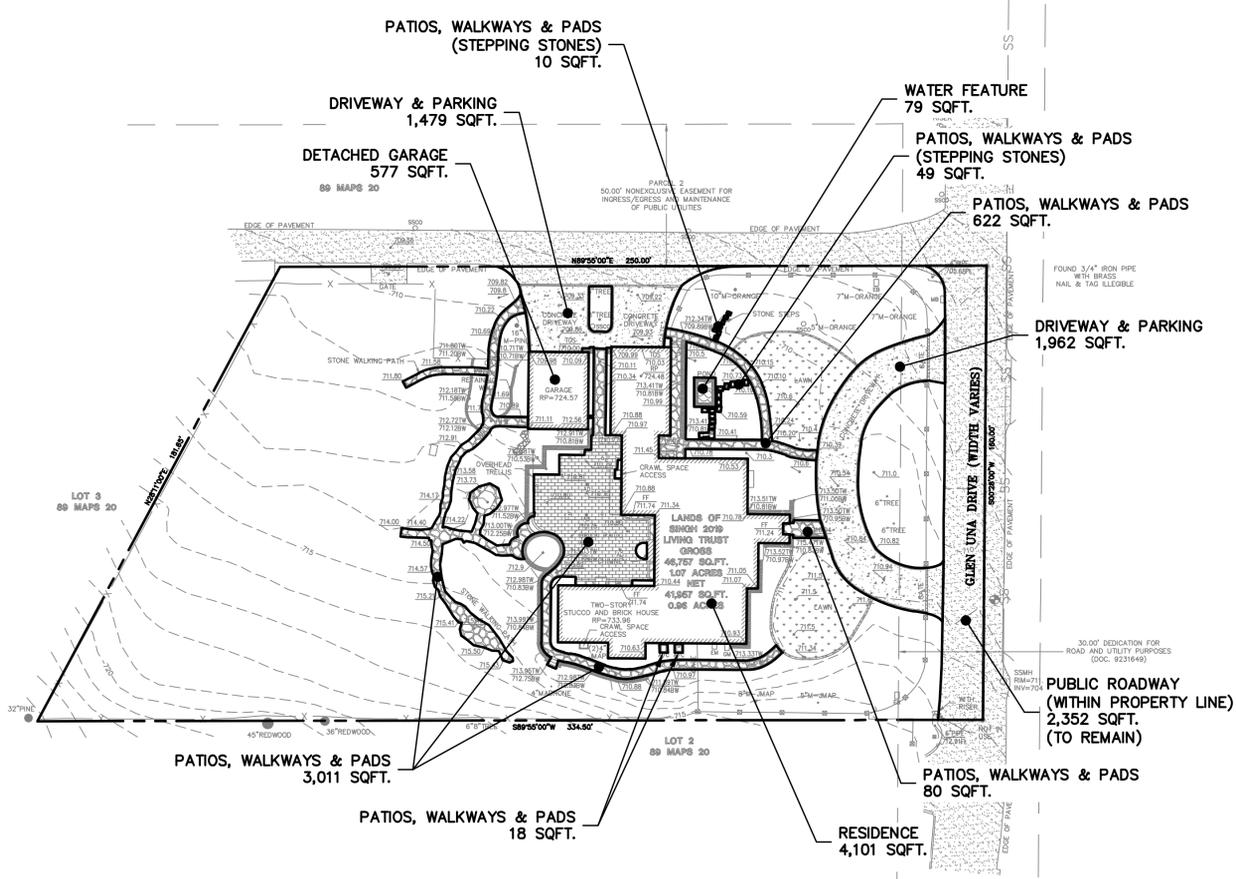
VICINITY MAP  
NO SCALE



**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS | LAND SURVEYORS  
 REGIONAL OFFICES:  
 MAIN OFFICE: 11000 RANNEY WEST  
 DUBLIN, CALIFORNIA 94568  
 SAN JOSE  
 (510) 887-4086  
 WWW.LEABRAZE.COM

SINGH 2019 LIVING TRUST  
 15621 GLEN UNA DRIVE  
 LOS GATOS, CALIFORNIA  
 UNINCORPORATED SANTA CLARA COUNTY  
 APN: 510-26-076

IMPERVIOUS SURFACE  
 EXHIBIT



DEVELOPMENT INFORMATION

TOTAL SITE AREA	46,757 SQUARE FEET (1.073 ACRE)			
TOTAL DISTURBED AREA	42,800 SQUARE FEET (0.983 ACRE)			
IMPERVIOUS AREA	EXISTING	REMOVED	NEW	PROPOSED
	TOTAL S.F.	TOTAL S.F.	TOTAL S.F.	TOTAL S.F.
RESIDENCE	4,101	4,101	7,620	7,620
DETACHED GARAGE	577	577	0	0
A.D.U.	0	0	1,451	1,451
GYM	0	0	340	340
SHED	0	0	153	153
PUBLIC ROADWAY	2,352	0	0	2,352
DRIVEWAY & PARKING	3,441	3,441	4,124	4,124
PATIOS, WALKWAYS & PADS	3,790	3,790	7,588	7,588
POOL & SPA	0	0	900	900
WATER FEATURE	79	79	100	100
<b>TOTAL IMPERVIOUS AREA</b>	<b>14,340</b>	<b>11,988</b>	<b>22,276</b>	<b>24,628</b>
<b>NET CHANGE IN IMPERVIOUS AREA</b>	<b>+ 10,288 SQUARE FEET (NET INCREASE)</b>			
PERVIOUS PAVING				
GRAVEL PATH	0	0	932	932
<b>TOTAL PERVIOUS PAVING</b>	<b>0</b>	<b>0</b>	<b>932</b>	<b>932</b>
<b>NET CHANGE IN PERVIOUS PAVING</b>	<b>+ 932 SQUARE FEET (NET INCREASE)</b>			
TOTAL DEVELOPED AREA	14,340	11,988	23,208	25,560
<b>NET CHANGE IN DEVELOPED AREA</b>	<b>+ 11,220 SQUARE FEET (NET INCREASE)</b>			
FLOOR AREA	REFER TO THE ARCHITECTURAL PLANS FOR PROPOSED FLOOR AREA CALCULATIONS			

REVISIONS	BY
JOB NO:	2212009
DATE:	11-22-21
SCALE:	1"=30'
DESIGN BY:	TB
CHECKED BY:	JH
SHEET NO:	





# Attachment D

## Material Board



**EXTERIOR FINISH #1**  
RAINSCREEN PANEL ASSEMBLY  
"NORDIC RAW"  
COLOR: DARK GRAY, LRV < 10

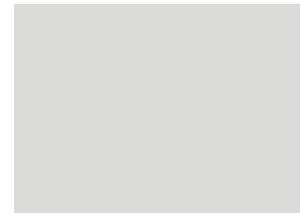
**SHEET METAL FASCIA**  
COLOR CLEAR ALUMINUM  
TO MATCH WINDOWS



**ACCENT WALL**  
BOARD FORMED CONCRETE

**WINDOWS & DOORS**  
CLEAR ANODIZED ALUMINUM

**EXTERIOR FINISH #2**  
CEMENT PLASTER  
COLOR: ICI #617, LRV 44



## MATERIAL BOARD

### **SINGH RESIDENCE**

15621 GLEN UNA DRIVE, LOS GATOS, CA 95030

**DESIGN FOR LIVING**

**LOUIE LEU ARCHITECT**  
LOUIE LEU ARCHITECT

236 N. Santa Cruz Ave., Suite 210, Los Gatos, CA 95030  
Ph. 408.399.2222 Fax 408.399.2223 222.louieleuarch.com

# Attachment E

2373-24-54-86B (Building Site Approval and Variance) and BP  
1987-70523

TYPE:	SINGLE RES BLDG	SITE
DATE:	MAY 9 1986	
RESEARCHED		DWR
CUMULATED	2	
INCOMPLETE	3	
HOLDING FILE	4	
MASTER FILE	5	M/F

GLEN UNA DR. 2373-24-54-85V-86B  
 JOHN A. HERMAN  
 (WESTWOOD CONSTRUCTION)

**PURPOSED**  
 BY *R. Bethan* DATE *2-7-94*

**PURPOSED**  
 BY *Van Beck* DATE *3-18-91*

SANTA CLARA COUNTY MASTER LAND DEVELOPMENT PERMIT APPLICATION

Owner's Name JOHN A HERMAN Address 15621 GLENUNA DRIVE City LOS GATOS Zip CA 95030 Phone (res/bus) 282-7773

Applicant's Name " Address " City " Zip " Phone (res/bus) "

Site Location  
 (north, east, south, west) side of GLENUNA DRIVE at/between \_\_\_\_\_ and \_\_\_\_\_ (road or street) (road or street) (road or street)

Existing Address of Property: 15621 GLENUNA DRIVE, LOS GATOS, CA 95030 A.P.N. \_\_\_\_\_

Existing Use of Property: Residence Adjoining property uses: Residential

Specific Request (e.g. 2 lot subdivision, use permit for \_\_\_\_\_, modification of \_\_\_\_\_, extension of time for \_\_\_\_\_, etc.)  
Permit for Remodel + addition 1,326 sq. Ft. on 2 floors.

Notes:  
 1. All application fees are nonrefundable  
 2. The owner/applicant or their representative should be present at all public hearings.  
 3. A denial or grant may be reversed on appeal. No permit will be in effect until the appeal period has expired.

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I certify under penalty of perjury that the foregoing is true and correct.

Signature of Property Owner(s) John A. Herman, MD Date April 25 '86

FOR DEPARTMENT USE ONLY

FILE # 2373 - 24 - 54 - 85V - 86B -

TYPE OF APPLICATION	FEES	COMMENTS
<input type="checkbox"/> ARCHITECTURAL AND SITE APPROVAL *		
<input type="checkbox"/> CERTIFICATE OF COMPLIANCE		
<input type="checkbox"/> CLUSTER SUBDIVISION **		
<input type="checkbox"/> CONSTRUCTION PERMIT (Non-County maintained road)		
<input type="checkbox"/> ENCROACHMENT PERMIT (County maintained road)		
<input type="checkbox"/> ENVIRONMENTAL ASSESSMENT		
<input type="checkbox"/> GRADING PERMIT *		
<input type="checkbox"/> GRADING ABATEMENT*		
<input type="checkbox"/> LOT LINE ADJUSTMENT*		
<input type="checkbox"/> SUBDIVISION **		
<input checked="" type="checkbox"/> SINGLE RESIDENTIAL BUILDING SITE	<u>1,400.00</u>	<u>ZONING FEE 1,350.00</u> <u>95MT/AF 50.00</u>
<input type="checkbox"/> SPECIAL PERMIT *		
<input type="checkbox"/> SUBDIVISION DIRECTIONAL SIGN PERMIT		
<input type="checkbox"/> USE PERMIT *		
<input type="checkbox"/> VARIANCE *		
<input type="checkbox"/> ZONE CHANGE *		
<input type="checkbox"/> OTHER		
TOTAL FEES	<u>1,400.00</u>	

\*Denotes an environmental assessment may be required. A determination regarding the necessity of an assessment will be made at the time of the filing.  
 \*\*Denotes an environmental assessment shall be required.

DATE 5-9-86 RESUBMITTAL DATES 5/9/86 5/24/86

Application Received by W. Phillips

Distribution \_\_\_\_\_

Referral Response Deadline \_\_\_\_\_

Application Evaluation Deadline \_\_\_\_\_

Evaluation Notification \_\_\_\_\_

500' Scale Map 125

Census Tract Number/TRA \_\_\_\_\_

Zoning RHS

Parcel Size 1.12

Sanitation District 4

Zoning Violation # =

Previous File # =

USA/SOI/TZ \_\_\_\_\_

Supervisory District 4 Saratoga

FOR OFFICE USE ONLY

DATE OF REFERRAL	DATE OF RESUBMITTED REFERRAL	DISTRIBUTION OF MATERIALS	Referral Response Deadline	REFERRAL RESPONSE RECEIVED	RESUBMITTED REFERRAL RESPONSE RECEIVED
	5/9/86	Planning	investigation _____ Project _____ Assessment _____	5-22-86	
	5/9/86	Land Development Engineering and Surveying		5/9/86	
	5/9/86	Environmental Health Services: Office		6/9/86	
	5/9/86	County Fire Marshal			
		City or Fire District <u>CENTRAL F.P.D.</u>		5-23-86	
	5/9/86	County Transportation Agency		5-23-86	
	5/9/86	Santa Clara Valley Water District		5-23-86	
		CALTRANS			
		Historical Heritage Commission			
		School District			
	5/9/86	City of <u>SARATOGA</u>	8/4/86	5-19-86	
	5/9/86	Other <u>GEOLOGY</u>		5-15-86	

Date application accepted as complete 6/4/86  
 Date preliminary report(s) to applicant and owner (Subdivision, Grading, Single Site) 6/15/86  
 Date notice to adjacent property owners (if applicable) \_\_\_\_\_  
 Tentative date(s) for action(s) 6/19/86  
 Date of Action(s) (CPO/ASA/SEC. P.C./P.C./BOARD) 6/17/86  
 Approval expiration date(s) 6/27/88

ITEMS TO BE SUBMITTED WITH APPLICATION - INCOMPLETE SUBMITTALS WILL NOT BE ACCEPTED. SEE "LIST OF REQUIRED INFORMATION" FOR NUMBER OF REQUIRED COPIES.

- |   |   |
|---|---|
| 1. Assessor's Parcel Map  | May be obtained from a title company, Assessor's Office or Central Permit Office.   |
| 2. Copy of Current Deed   | May be obtained from Recorder's Office or title company.  |
| 3. Exterior Elevations  | See sample exterior elevation.  |
| 4. Floor Plans  | See sample floor plan.  |
| 5. Grading Plans  | See information handout on grading plan.  |
| 6. General Plan Conformance Form  | Form available at Central Permit Office.  |
| 7. Mailing List of all property owners located within 300 feet of subject property. (500 ft. for HS zoning) | Names may be obtained from most current assessment rolls available in the Assessor's Office or the Central Permit Office. Forms may be obtained at the Central Permit Office. |
| 8. Preliminary Development Plan   | See cluster handout.  |
| 9. Sign Program   | See information handout on signs.   |
| 10. Site Plan   | See sample site plan.   |
| 11. Copy of Deed Recorded Prior to June 25, 1969  | May be obtained from the Recorder's Office or Title Company   |
| 12. Stamped pre-addressed envelopes for adjacent property owners.   | Names may be obtained from most current assessment rolls available in the Assessor's Office or the Central Permit Office.   |
| 13. Tentative Map   | See information handouts on tentative map.  |
| 14. Title Report (Preliminary)  | Prepared by title company.  |
| 15. Zone Change Petition  | Forms available at Central Permit Office.   |
| 16. Subdivision Directional Sign Form   | Forms available at Central Permit Office.   |
| 17. E.I.A. Questionnaire  | Forms available at Central Permit Office.   |
| 18. Improvement Plan/Grading Plan   | Must be engineered plans approved by the County.  |

SANTA CLARA COUNTY MASTER LAND DEVELOPMENT PERMIT APPLICATION

Owner's Name John Herman Address 15621 Glen Una Drive City Los Gatos, CA Zip 95030 Phone (res/bus) 354-2497

Applicant's Name Westwood Construction Address 987 University Ave. City Los Gatos Zip 95030 Phone (res/bus) 395-9231

Site Location  
15621 Glen Una Drive Los Gatos Peach Hill Road Sunset Drive  
(north, east, south, west) side of (road or street) at/between (road or street) and (road or street)

Existing Address of Property: 15621 Glen Una Drive AP.N. 510-26-008

Existing Use of Property: Single & Family Res. Adjoining property uses: \_\_\_\_\_

Specific Request (e.g. 2 lot subdivision, use permit for XX, modification of \_\_\_\_\_, extension of time for \_\_\_\_\_, etc.) Variance to allow for all increase in fence ht. from the required 8' max. to 12' in residential zone. Request is to allow an orch to be 12' high

Notes:  
 1. All application fees are nonrefundable  
 2. The owner/applicant or their representative should be present at all public hearings.  
 3. A denial or grant may be reversed on appeal. No permit will be in effect until the appeal period has expired.

The undersigned property owner(s) hereby authorizes the filing of this application, and authorizes on site review by authorized staff. I certify under penalty of perjury that the foregoing is true and correct.

Signature of Property Owner(s) John Herman Date 1/21/85

FOR DEPARTMENT USE ONLY

FILE # 2373 - 24 - 54 - 85V -

TYPE OF APPLICATION	FEES	Numbers refer to required information. See key on reverse side.
<input type="checkbox"/> ARCHITECTURAL AND SITE APPROVAL *		1, 3, 4, 6, 7, 9, 10, 12
<input type="checkbox"/> CERTIFICATE OF COMPLIANCE		1, 2, 11
<input type="checkbox"/> CLUSTER SUBDIVISION **		1, 2, 3, 6, 7, 8, 11, 13, 14
<input type="checkbox"/> CONSTRUCTION PERMIT (Non-County maintained road)		10 or 18
<input type="checkbox"/> ENCROACHMENT PERMIT (County maintained road)		10 or 18
<input type="checkbox"/> ENVIRONMENTAL ASSESSMENT		17
<input type="checkbox"/> GRADING PERMIT *		1, 5, 7, 12
<input type="checkbox"/> GRADING ABATEMENT*		1, 5, 7, 12
<input type="checkbox"/> LOT LINE ADJUSTMENT		1, 2, 7, 10, 11, 14
<input type="checkbox"/> SUBDIVISION **		1, 2, 14, 7, 11, 12, (for 4 lots or less), 13
<input type="checkbox"/> SINGLE RESIDENTIAL BUILDING SITE		1, 2, 7, 10, 11
<input type="checkbox"/> SPECIAL PERMIT *		1, 2, 6, 7, 10, 11
<input type="checkbox"/> SUBDIVISION DIRECTIONAL SIGN PERMIT		1, 3, 7, 10, 16
<input type="checkbox"/> USE PERMIT *		1, 2, 3, 6, 7, 10, 11
<input checked="" type="checkbox"/> VARIANCE*	<u>\$ 350.00</u>	1, 2, 7, 10 <span style="float: right;"><u>1000/72 350.00</u></span>
<input type="checkbox"/> ZONE CHANGE *		1, 2, 6, 7, 10, 15
<input type="checkbox"/> OTHER		
<b>TOTAL FEES</b>		

\*Denotes an environmental assessment may be required. A determination regarding the necessity of an assessment will be made at the time of the filing.

\*\*Denotes an environmental assessment shall be required.

178 REV 2/84

DATES:	RESUBMITTAL DATES
<u>1-23-85</u>	Application Received by <u>TM</u>
<u>1/23/85</u>	Distribution
<u>2/7/85</u>	Referral Response Deadline
	Application Evaluation Deadline
	Evaluation Notification

SARATOGA  
 Supervisorial District 4

500' Scale Map 125

Census Tract Number/TRA 5073.021

Zoning RHS

Parcel Size 1.12 acres

Sanitation District 4

Zoning Violation # \_\_\_\_\_

Previous File # \_\_\_\_\_

**FOR OFFICE USE ONLY**

DATE OF REFERRAL	DATE OF RESUBMITTED REFERRAL	DISTRIBUTION OF MATERIALS	Referral Response Deadline	
			REFERRAL RESPONSE RECEIVED	RESUBMITTED REFERRAL RESPONSE RECEIVED
1/23/85		COUNTY OF SANTA CLARA CENTRAL PERMIT OFFICE Planning JAN 23 1 32 PM '85 Land Development Engineering and Surveying Environmental Health Services: Office Investigation _____ Project _____ Assessment _____	2-1-85	
1/23/85		County Fire Marshal	1-24-85	
1/23/85		City or Fire District <u>CENTRAL FPD</u>	1-31-85	
		County Transportation Agency	2-11-85	
		Santa Clara Valley Water District		
		CALTRANS		
		Historical Heritage Commission		
1/23/85		School District _____		
		City of <u>SARATOGA</u>	2-4-85	
		Other _____		

Date application accepted as complete \_\_\_\_\_

Date preliminary report(s) to applicant and owner (Subdivision, Grading, Single Site) \_\_\_\_\_

Date notice to adjacent property owners (if applicable) \_\_\_\_\_

Tentative date(s) for action(s) \_\_\_\_\_

Date of Action(s) (CPO/ASA/SEC. P.C./P.C./BOARD) \_\_\_\_\_

Approval expiration date(s) \_\_\_\_\_

**ITEMS TO BE SUBMITTED WITH APPLICATION - INCOMPLETE SUBMITTALS WILL NOT BE ACCEPTED. SEE "LIST OF REQUIRED INFORMATION" FOR NUMBER OF REQUIRED COPIES.**

- |   |   |
|---|---|
| 1. Assessor's Parcel Map  | May be obtained from a title company, Assessor's Office or Central Permit Office.   |
| 2. Copy of Current Deed   | May be obtained from Recorder's Office or title company.  |
| 3. Exterior Elevations  | See sample exterior elevation.  |
| 4. Floor Plans  | See sample floor plan.  |
| 5. Grading Plans  | See information handout on grading plan.  |
| 6. Services Clearance Form (storm, water, and sewage)   | Form available at Central Permit Office.  |
| 7. Mailing List of all property owners located within 300 feet of subject property. (500 ft. for HS zoning) | Names may be obtained from most current assessment rolls available in the Assessor's Office or the Central Permit Office. Forms may be obtained at the Central Permit Office. |
| 8. Preliminary Development Plan   | See cluster handout.  |
| 9. Sign Program   | See information handout on signs.   |
| 10. Site Plan   | See sample site plan.   |
| 11. Copy of Deed Recorded Prior to June 25, 1969  | May be obtained from the Recorder's Office or Title Company   |
| 12. Stamped pre-addressed envelopes for adjacent property owners.   | Names may be obtained from most current assessment rolls available in the Assessor's Office or the Central Permit Office.   |
| 13. Tentative Map   | See information handouts on tentative map.  |
| 14. Title Report (Preliminary)  | Prepared by title company.  |
| 15. Zone Change Petition  | Forms available at Central Permit Office.   |
| 16. Subdivision Directional Sign Form   | Forms available at Central Permit Office.   |
| 17. E.I.A. Questionnaire  | Forms available at Central Permit Office.   |
| 18. Improvement Plan/Grading Plan   | Must be engineered plans approved by the County.  |

ALL DOCUMENTS AND MAPS SUBMITTED AS REQUIRED BECOME THE PROPERTY OF THE SANTA CLARA COUNTY CENTRAL PERMIT OFFICE.

Date 8-1-07

The geologic report has been removed from this file for scanning.

File No. 2373 - 86B

Firm/Company Applied Earth Consultants

Report date 11-1-86

Micro filmed

## COUNTY SURVEYOR'S OFFICE PROJECT CLEARANCE FORM (GOLDENROD)

TO: Central Permit Office  
 SUBJECT: 2373-86B Glen Una Drive Herman  
 (File) (Road) (Name)

The subject file has been cleared for issuance of building permit(s).  
 Items remaining to be completed are as follows:

PARCEL NUMBER	NAME OF OWNER OR BUILDER	DATE BLDG. PERMIT SIGNED	CONDITIONS
	Herman	4-3-87	2a

*Plan  
ck. 5156*

**(SEE OTHER SIDE FOR ADDITIONAL PARCELS)**

- (1) Status of Parcels
  - (a) Approved Site
  - (b) Subj. to Fur. Appr.
  - (c) \_\_\_\_\_
- (2) Surveying Requirements
  - (a) Show property corners on building plans
  - (b) \_\_\_\_\_
- (3) Access Permits
  - (a) Co. Rd. - Encr. # \_\_\_\_\_
  - (b) Pvt. Rd. - Const. # \_\_\_\_\_
  - (c) All encr./constr. permits necessary for this building permit have or will be issued through the County Surveyor's Office
- (4) Site Drainage
  - (a) Elevate house pad per S.C.V.W.D. requirements to \_\_\_\_\_
- (5) Road improvements to be completed prior to occupancy \_\_\_\_\_
- (6) Geologic Requirements \_\_\_\_\_
- (7) Grading Requirements
  - (a) Grading permit has or will be issued by Co. Surveyor for \_\_\_\_\_
  - (b) Grading permit as required.
- (8) Underground Utilities -- Stamp on building plans
- (9) Other
  - (a) \_\_\_\_\_
  - (b) \_\_\_\_\_
  - (c) \_\_\_\_\_

Date: 4/2/87  
 Cleared by: J&



9064726

FILED FOR RECORD  
AT REQUEST OF

TA

DEC 11 10 26 AM '86

OFFICIAL RECORDS  
SANTA CLARA COUNTY  
LAURIE KANE  
RECORDER

J956 PAGE 801

Return to Transportation Agency  
Attn: Ernest A. Figone, Jr.

COUNTY OF SANTA CLARA  
Transportation Agency  
1570 Old Oakland Rd., Suite 203  
San Jose, CA 95131

DH  
N

126

AGREEMENT BY OWNER OR HIS SUCCESSORS IN INTEREST  
TO CONSTRUCT FUTURE LAND DEVELOPMENT IMPROVEMENTS  
(DEFERRED IMPROVEMENT AGREEMENT)

Project Identification: 2373-24-54-86B (Glen Una Drive)

This is an agreement between the COUNTY OF SANTA CLARA, hereinafter referred to as "County", and John A. Herman and Edna M. Herman

hereinafter referred to as "Owner".

WHEREAS, Owner desires to develop the property described in Exhibit A and wishes to defer construction of permanent improvements and County agrees to such deferment provided Owner agrees to construct improvements as herein provided.

NOW, THEREFORE, IT IS AGREED:

I. AGREEMENT BINDING ON SUCCESSORS IN INTEREST

This agreement is an instrument affecting the title or possession of the real property described in Exhibit A. All the terms, covenants and conditions herein imposed shall be binding upon and inure to the benefit of the successors in interest of Owner. Upon the sale or division of the property described in Exhibit A the terms of this agreement shall apply separately to each parcel and the owner of each parcel shall succeed to the obligations imposed on Owner by this agreement. Upon annexation to any City, Owner agrees to fulfill all the terms of this agreement upon demand by such city as though Owner had contracted with such city originally. Any annexing city shall have all the rights of a third party beneficiary.

II. STREET AND DRAINAGE IMPROVEMENTS

A. County and Owner agree that the improvements set forth in this section may be deferred because:

It is not practical to install full street and drainage improvements at this time.

B. Owner agrees to construct the following improvements on the property described in Exhibit A as well as required off-site improvements in the manner set forth in this agreement:

Improvements required by County and generally described on Exhibit B. (Cross out improvements that are not required.)

1. Curb and gutter
2. Sidewalks
3. Driveways
4. Street grading, base and paving
5. Storm drainage facilities
6. Erosion control plantings and facilities
7. Electroliers
8. Underground conduit with wiring and pull boxes
9. Barricades and other improvements needed for traffic safety.
10. Street trees and other improvements between the curb and property line.
11. Relocation of existing fences, signs and utilities

ORIGINAL

DocuSign  
Envelope ID: 14D52FD5-26D5-4345-8201-84BFBE8317A9

J956 PAGE 802

12. Payment of a pro rata share of the costs as determined by the County of a storm drainage or street improvement which has been, or is to be, provided by others or jointly provided by Owner and others where such facility benefits the property described in Exhibit A.

C. When the County ~~Engineer or County Surveyor~~ <sup>Road Commissioner</sup> determines that the reasons for the deferment of the improvements as set forth in Section II no longer exist, he shall notify Owner in writing to commence their installation and construction. The notice shall be mailed to the current owner or owners of the land as shown on the latest adopted county assessment roll. The notice shall describe the work to be done by owners, the time within which the work shall commence and the time within which the work shall be completed. All or any portion of said improvements may be required at a specified time. Each owner shall participate on a pro rata basis in the cost of the improvements to be installed. If Owner is obligated to pay a pro rata share of a cost of a facility provided by others, the notice shall include the amount to be paid and the time when payment must be made.

### III. PERFORMANCE OF THE WORK

Owner agrees to perform the work and make the payments required by County as set forth herein or as modified by the Board of Supervisors. Owner shall cause plans and specifications for the improvements to be prepared by competent persons legally qualified to do the work and to submit said improvement plans and specifications for approval prior to commencement of the work described in the notice and to pay county inspection fees. The work shall be done in accordance with county standards in effect at the time improvement plans are submitted for approval. Owner agrees to commence and complete the work within the time specified in the notice and to notify the County at least 48 hours prior to start of work. In the event Owner fails to construct any improvements required under this agreement, County may, at its option, do the work and collect all the costs from the Owner. Permission to enter onto the property of Owner is granted to County or its contractor as may be necessary to construct such improvements.

### IV. JOINT COOPERATIVE PLAN

Owner agrees to cooperate upon notice by County with other property owners, the County and other public agencies to provide the improvements set forth herein under a joint cooperative plan including the formation of a local improvements district, if this method is feasible to secure the installation and construction of the improvements.

### V. REVIEW OF REQUIREMENTS

If Owner disagrees with the requirements set forth in any notice to commence installation of improvements he shall, within 30 days of the date the notice was mailed, request a review of the requirements by the Board of Supervisors of County. The decision of this Board shall be binding upon both County and Owner.

### VI. MAINTENANCE OF IMPROVEMENTS

County agrees to accept for maintenance those improvements specified in Section II which are constructed and completed in accordance with County standards and requirements and are installed within rights of way or easements dedicated and accepted by resolution of the Board of Supervisors.

UNITED STATES OF AMERICA  
DISTRICT COURT OF APPEALS  
FOR THE FIRST CIRCUIT

NO. 13-10000  
IN RE: [Illegible]



Owner agrees to provide any necessary temporary drainage facilities, access road or other required improvements, to assume responsibility for the proper functioning thereof, to submit plans to the appropriate County agency for review, if required, and to maintain said improvements and facilities in a manner which will preclude any hazard to life or health or damage to adjoining property.

VII. BONDS

Prior to approval of improvement plans by the County, Owner may be required to execute and deliver to the County a faithful performance bond and a labor and materials bond in an amount and form acceptable to County to be released by the Board of Supervisors in whole or in part upon completion of the work required and payment of all persons furnishing labor and materials in the performance of the work.

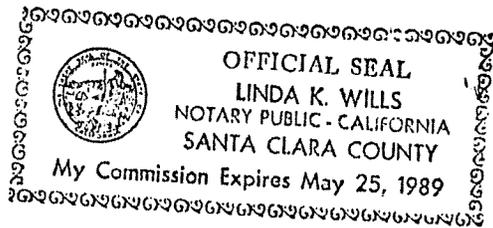
VIII. INSURANCE

Owner shall maintain, or shall require any contractor engaged to perform the work to maintain, at all times during the performance of the work herein, a separate policy of insurance in a form and amount ac-

State of California  
County of Santa Clara

On this 8th day of December, in the year 1986, before me Linda K. Wills, Property Agent, personally appeared Louis Montini, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person who executed this instrument as Road Commissioner, and acknowledged to me that Santa Clara County executed it.

Linda K. Wills  
Signature



State of California  
County of Santa Clara } SS.

On this the 5 day of December, 1986, before me,

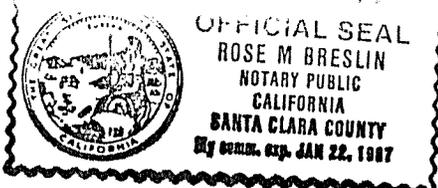
Rose M. Breslin

the undersigned Notary Public, personally appeared

John H. Herman and Edna M. Herman

personally known to me  
 proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) are subscribed to the within instrument, and acknowledged that they executed it. WITNESS my hand and official seal.

Rose M. Breslin  
Notary's Signature



STATE OF TEXAS  
COUNTY OF DALLAS  
NOTARY PUBLIC  
My Comm. Expires 08/31/2012



J956 PAGE 805

EXHIBIT A (Deed)

All that certain parcel of land described in that Grant Deed, Julis A. Mello and Margaret R. Mello to John A. Herman and Edna M. Herman recorded in Book I 118 Official Records, page 224, Office of the Recorder, County of Santa Clara, State of California, which description is by this reference incorporated herein.

DISTRICT OF COLUMBIA  
CENTRAL RECORDS OFFICE

10/17/2017



COUNTY OF SANTA CLARA  
SUPERIOR COURT  
JAN 14 2014

**County of Santa Clara**  
**California**

*Master*

June 17, 1986

John A. Herman  
15621 Glen Una Avenue  
Los Gatos, CA 95030

SUBJECT: BUILDING SITE APPROVAL  
FILE NO: 2373-24-54-86B (Glen Una Drive)

Dear Mr. Herman:

Enclosed are the final conditions of approval for your single building site. This approval is valid for 24 months. During this period, the conditions of approval must be completed and a building permit issued.

Please return a signed set of final conditions of approval to this office. When you are ready to proceed with this project, please call Land Development Engineering and Surveying at 299-2871, regarding instructions for compliance with the conditions of approval.

Please note that any person dissatisfied with the decision of the Land Development Coordinator may file an appeal within 15 calendar days after the Coordinator's final decision.

All appeals regarding this application shall be filed at the Central Permit Office and shall require a \$250.00 filing fee.

If you have any questions regarding this matter, please feel free to contact me at 299-2454.

Sincerely,



MICHAEL M. LOPEZ  
ASSISTANT LAND DEVELOPMENT COORDINATOR

MML:rd

Enclosure

cc: Jerry Quilici  
Bob Van Etten

SINGLE BUILDING SITE  
FINAL CONDITIONS OF APPROVAL

Date: June 17, 1986

Owner/Applicant: Herman

File Number: 2373-24-54-86B (Glen Una Drive)

Items marked with an asterisk (\*) must be completed prior to building permit issuance.

Items marked with a double asterisk (\*\*) must be completed prior to occupancy or one year from the date of the land development agreement, whichever occurs first.

PLANNING

1. Existing zoning is RHS. Maintain the following minimum building setbacks:

Front: 30 feet; Rear: 25 feet; Sides: 20 feet.

2. No live trees with a trunk circumference of 37.7 inches or more, (about 12" diameter), measured 4.5 feet above ground are to be cut or removed without prior written approval from the Office of Planning. For further information, contact Hugh Graham at (408) 299-2521.

LAND DEVELOPMENT ENGINEERING

Maps:

- \* 3. Lot stakes set by a registered civil engineer or licensed land surveyor are required. If property was previously surveyed, the lot stakes must be exposed, verified and shown on building plans or new stakes set prior to issuance of a building permit. File a record-of-survey map (responsibility of engineer or land surveyor) where required by State law. (See Record of Survey 89/20 'Mello')

Drainage:

4. Provide for the uninterrupted flow of water in swales and natural courses on the property or any access road. No fill or crossing of any swales or water courses is implied by these conditions without approved plans. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner which will preclude any hazard to life, health or damage to adjoining property.

Dedications and Easements:

- \* 5. Provide easements as required for water, sewers, and utilities.

Single Building Site  
File 2373-24-54-86B (Glen Una Drive)

Soils and Geology:

- \* 6. MODERATE TO HIGH GEOLOGIC HAZARD: Geologic report required prior to building permit issuance. A letter report may be sufficient. Contact Jim Berkland at (408) 299-2871 for further information.

ENVIRONMENTAL HEALTH

- 7. Existing septic system is satisfactory, maintain existing system.

FIRE MARSHAL

- 8. Property is located in the Central Fire Protection District. For further information regarding fire protection, contact Ted Gaub at (408) 378-4015.

SANTA CLARA VALLEY WATER DISTRICT

- 9. This site is not subject to flooding from a District stream.
- 10. No District facilities are located on the applicant's parcel. Any existing watercourse is of insufficient watershed area to qualify as a District facility.
- \* 11. As required by District Ordinance 75-6, file an application with the District for a permit to construct or destroy any well or to drill any exploratory holes deeper than 45 feet.

TRANSPORTATION AGENCY

Dedications and Easements:

- \* 12. Dedicate the following rights-of-way: 30 foot half street on Glen Una Drive.

All rights-of-way to be curvilinear.

Improvements--Existing County Roads or Roads to be County Maintained:

- \* 13. Submit street and drainage improvement plans prepared by a registered civil engineer for the following street(s):

Glen Una Drive.

- \*\*14. Construct street and drainage improvements in accordance with the Transportation Agency's 1982 Standard Detail(s) A/3 for the following street(s):

Glen Una Drive.

NOTE: Construction staking is required and shall be the responsibility of the developer.

Single Building Site  
File 2373-24-54-86B (Glen Una Drive)

\*\*15. Install street lighting facilities as required per Transportation Agency's 1982 Standard Details Manual and pay electrolier connection fee on the following street(s):

Glen Una Drive.

NOTE: If property is not within the County Lighting Service Area, annexation to said area is required.

\* 16. Obtain encroachment permit to construct a driveway approach per Transportation Agency 1982 Standard Detail B/2, and provide County with Certificate of Worker's Compensation Insurance. Submit four (4) copies of site plan.

\*\*17. Install driveway approach per Transportation Agency 1982 Standard Detail B/2.

\* 18. Enter into land development improvement agreement and submit accompanying bonds, fees and related documents (administration of these matters by Land Development Engineering).

\* 19. Obtain encroachment and/or construction permits from the County of Santa Clara and other jurisdictions as required by the Road Commissioner for the construction of street improvements including any required appurtenances. Developer must provide County with a Certificate of Worker's Compensation Insurance.

\* 20. In lieu of conditions 13, 14, 15, 16, 17, 18, and 19 the owner may elect to enter into a deferred improvement agreement per the Board of Supervisors 1979 Deferred Agreement Policy. A fee of \$100.00 is payable for the processing and filing of the agreement, provided the owner obtains and submits written clearance from the City of Saratoga.

LAND DEVELOPMENT COORDINATOR

These conditions approved June 17, 1986 by the Assistant Land Development Coordinator are valid for a period of twenty-four (24) months.

This approval is based upon information submitted on the application form and map. Erroneous information, omission of relevant information or substantial changes will void this approval.

  
Asst. Land Development Coordinator

STATEMENT OF ACCEPTANCE

I, John A. Herman, understand and accept the attached final conditions of approval.

Date \_\_\_\_\_

Signature of Property Owner \_\_\_\_\_

Single Building Site  
File 2373-24-54-86B (Glen Una Drive)

NOTE: Please return one copy of these conditions, as per instructions of the enclosed cover letter, to:

County of Santa Clara  
Central Permit Office  
East Wing, 7th Floor  
70 West Hedding Street  
San Jose, CA 95110

When you are ready to proceed with this project, please call Land Development Engineering and Surveying, at (408) 299-2871, regarding instructions for compliance with the conditions of approval.

rd

**County of Santa Clara****California***Master*

June 4, 1986

John A. Herman  
15621 Glen Una Avenue  
Los Gatos, CA 95030*Please  
final  
- no changes*SUBJECT: SINGLE BUILDING SITE  
FILE NO: 2373-24-54-86B (Glen Una Drive)

Dear Mr. Herman:

This letter is written to inform you that your application, submitted May 9, 1986, is complete.

Preliminary conditions of approval are enclosed for your review. A final action on this application will be taken on June 19, 1986. Prior to this date, you have the following options:

1. Contacting this office regarding any questions you may have with respect to the enclosed preliminary conditions of approval.
2. Accepting the preliminary conditions by signing the Statement of Acceptance and returning one copy.
3. Rejecting the preliminary conditions by signing the Statement of Rejection and returning one copy noting the conditions in disagreement.

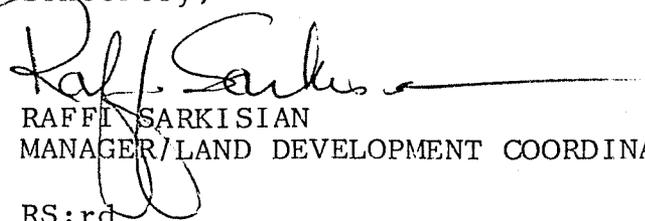
If you agree to all conditions of approval or do not have any questions regarding the enclosed preliminary conditions, an action will be taken on your project on the aforementioned date.

If you sign the Statement of Rejection and note the conditions in disagreement, this office will schedule a meeting between you and the particular agency/department imposing such conditions.

If no response is received prior to this date, this office will take an action based on the conditions enclosed. After a final action has been taken, you will be provided with a complete set of conditions of approval for your project, or in the event of denial, the reasons for denial.

If you have any questions regarding this matter, please feel free to contact me at (408) 299-2454.

Sincerely,

  
RAFFI SARKISIAN  
MANAGER/LAND DEVELOPMENT COORDINATOR

RS:rd

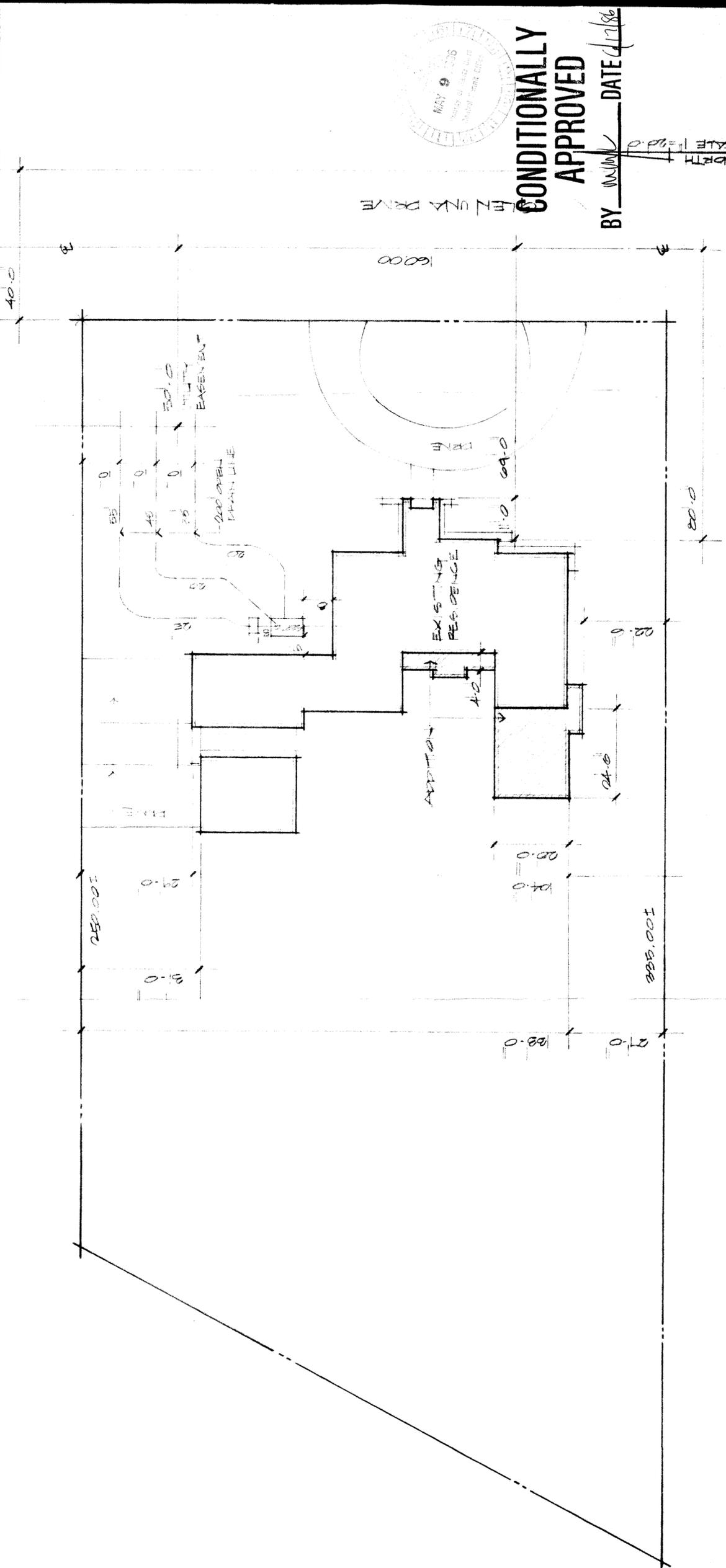
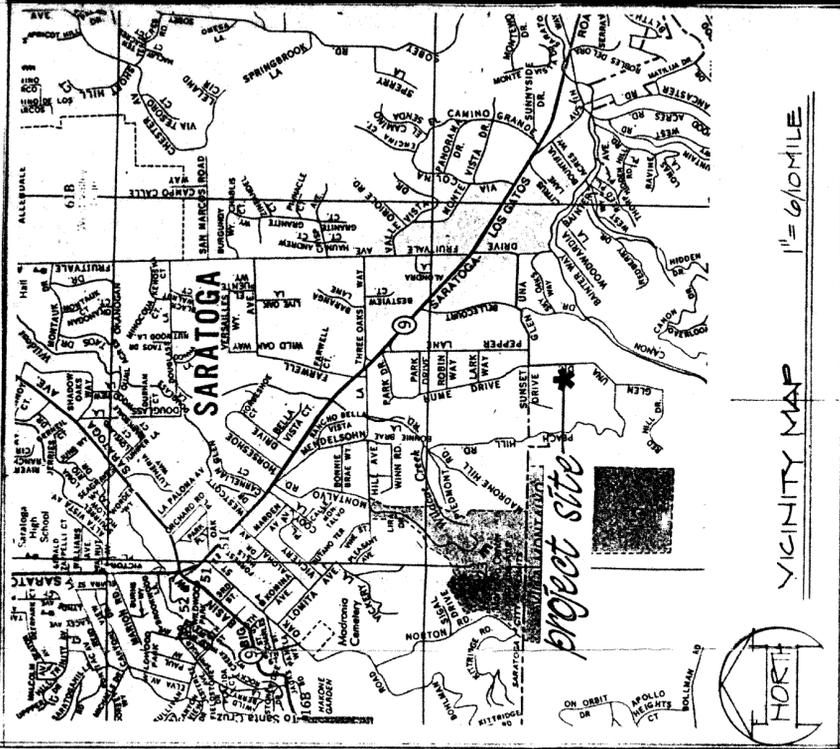
Enclosure

cc: Bob Van Etten

R50

MARTHA A. FIOROVICH A.I.A.  
ARCHITECT  
71 Aspen Way  
Woodbury, CA 92078  
WOOD 784-1878

RESIDENCE ADDITION FOR:  
KREMER, BILL & THERESA  
15621 GLEN LANE DR  
LOS GATOS, CA. 95020

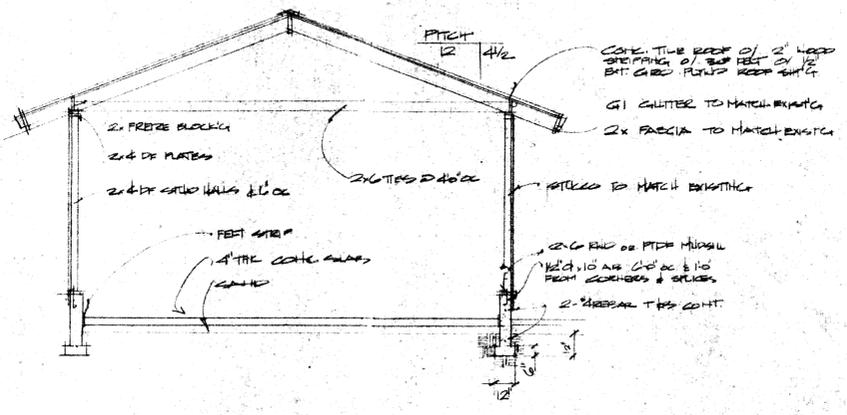


**CONDITIONALLY APPROVED**

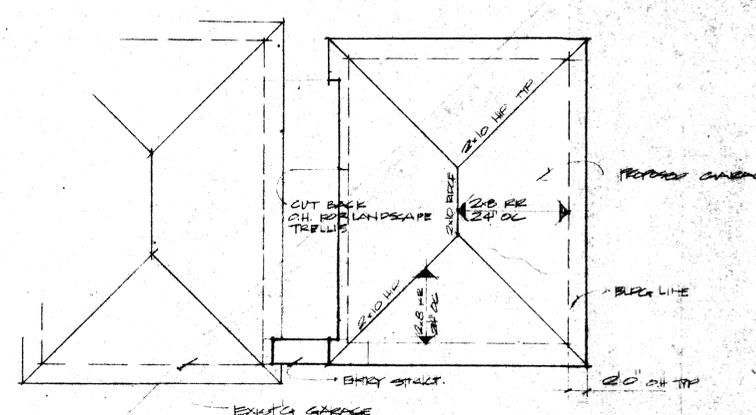
BY:                      DATE: 1/17/06

SITE PLAN  
SCALE: 1"=20'-0"  
2373-24-54-85V-86B

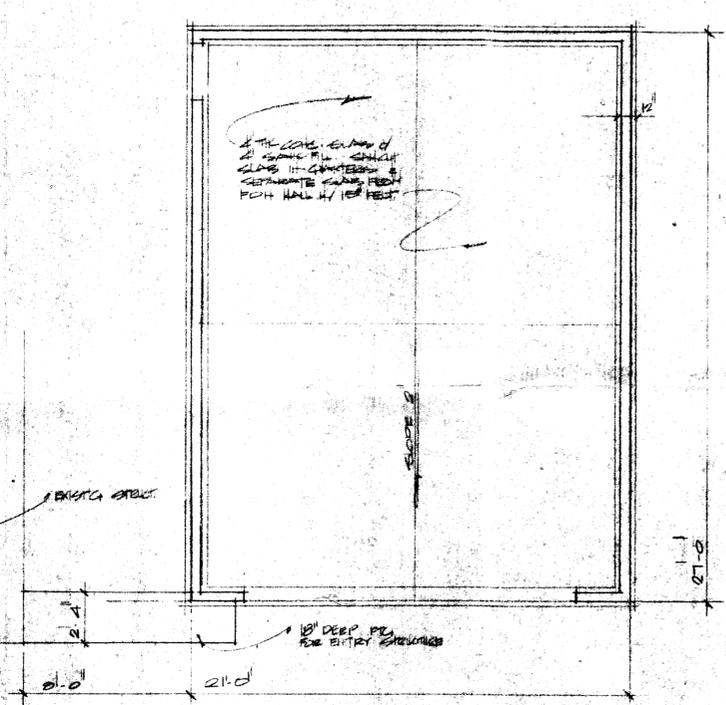




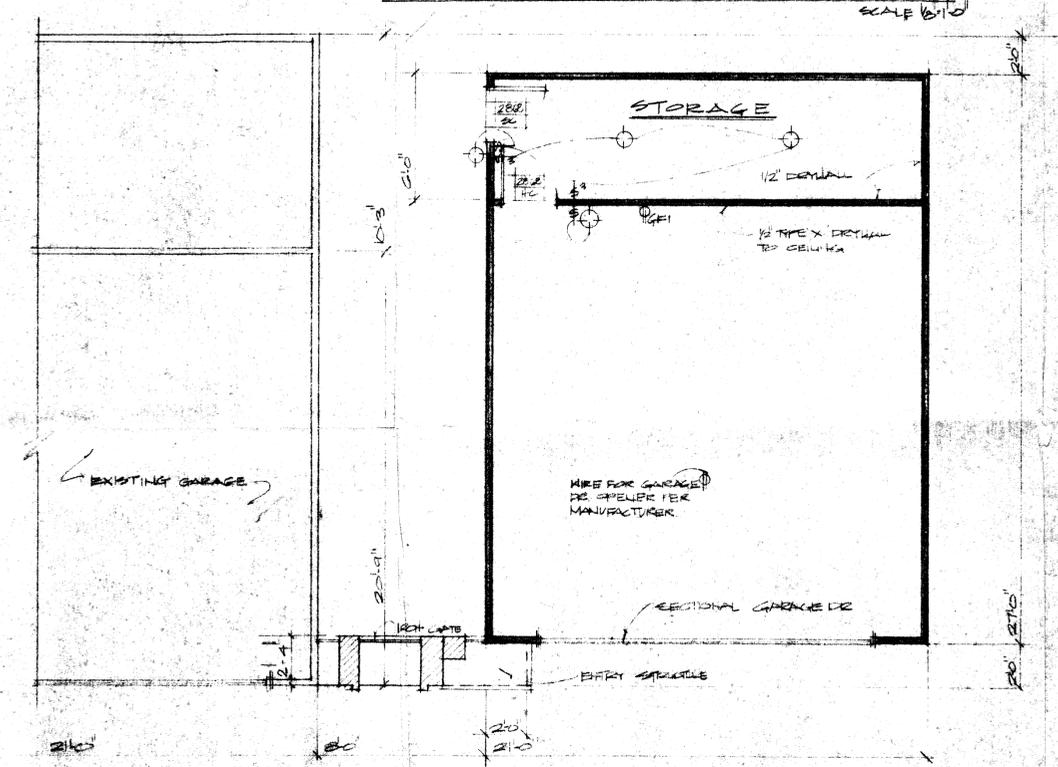
SECTION  
SCALE 1/4" = 1'-0"



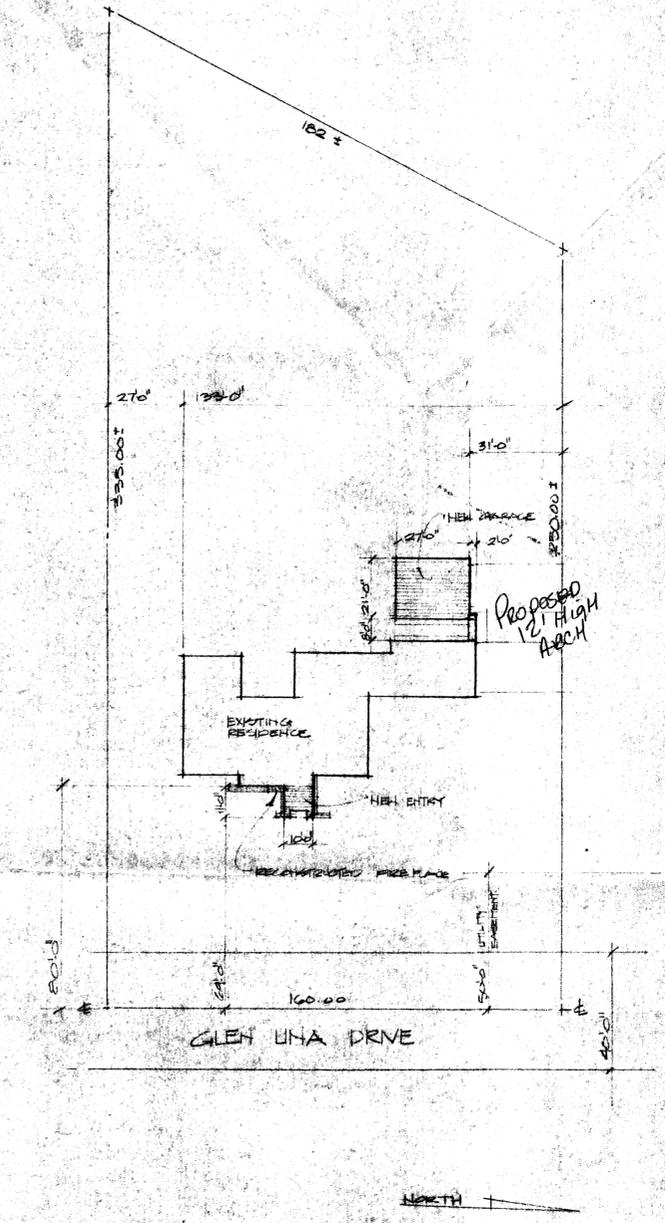
ROOF PLAN  
SCALE 1/8" = 1'-0"



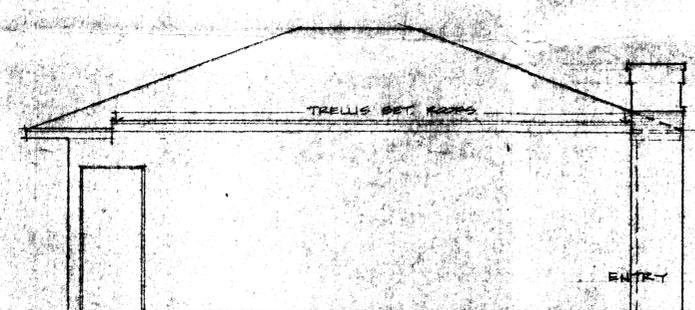
FOUNDATION PLAN



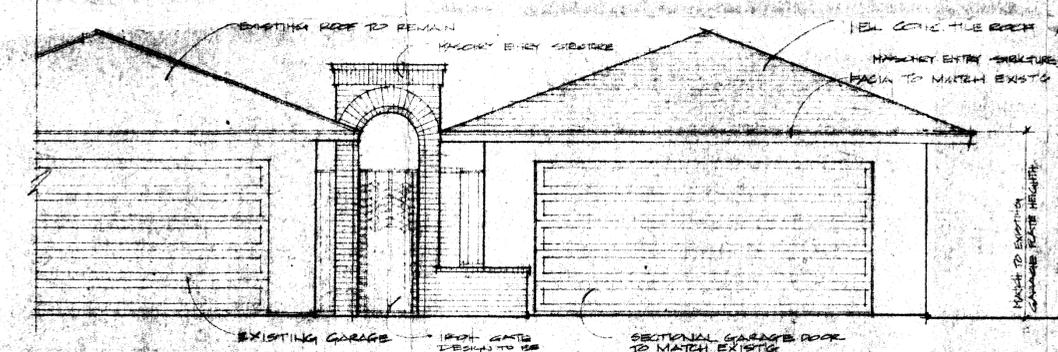
FLOOR PLAN  
SCALE 1/4" = 1'-0"



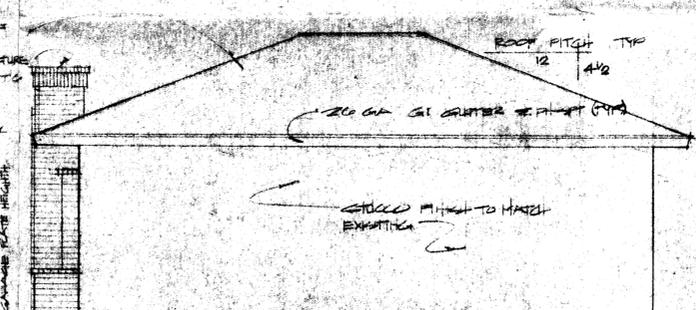
SITE PLAN  
SCALE 1" = 50'-0"



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION  
SCALE 1/4" = 1'-0"

GARAGE ADDITION  
 RESIDENCE FOR MR & MRS. HERMAN  
 15021 GLEN UNA DR. LOS GATOS, CA 95030  
 MARTHA A. FROVICH AIA  
 PO BOX 1505  
 FREEMAN, CA 95019



**County of Santa Clara  
California**

**RECEIVED**  
MAR 7 1985

**Planning Commission**  
County Government Center, East Wing  
70 West Hedding Street  
San Jose, California 95110  
299-2521 Area Code 408

OFFICE OF THE SECRETARY

COUNTY OF SANTA CLARA  
VARIANCE DEPARTMENT  
VARIANCE PERMIT

File No: 2373 24 54 85V Permittee JOHN HERMAN (Westwood Construction)  
(Applicant)

For: Increase the height of an arch from the required 8' maximum to 12'

Location: West side of Glen Una Drive, between Peach Hill Road and Sunset Drive.

Address: 15621 Glen Una Drive

Having made the findings required by Article 49 of the Zoning Ordinance of the County of Santa Clara, the Secretary of the Planning Commission hereby grants a variance permit for the specified use subject to the following conditions: If any variance for which a variance permit has been granted is not established within one year of the date of delivery of the permit, the permit shall be deemed automatically revoked.

See Exhibit "A" Attached

This permit shall be effective on March 12, 1985 provided that (1) no appeal has been filed before the date, and (2) permittee has signed ACCEPTANCE STATEMENT and has filed it with the Secretary of the Planning Commission.

Lucas S. Stamos  
Lucas S. Stamos, Secretary

ACCEPTANCE STATEMENT:

The undersigned understands and accepts this permit and the conditions herein set forth, agrees to comply with all conditions of the permit, understands that failure to comply therewith will render the permit subject to revocation, and acknowledges receipt of the copy of this permit.

Signature of Permittee  
John Herman  
Signature of Applicant

Date  
March 4<sup>th</sup> 1985  
Date

Within fifteen (15) calendar days after the date of decision of the Secretary of the Planning Commission on an application for a variance permit, any person dissatisfied with the action of the Secretary may file with the Planning Commission an appeal from such action. At the time of the filing of the appeal, the appellant shall pay a filing fee of two hundred fifty (\$250) dollars.

cc: Permittee Applicant Building Inspection  
Central Permit Office Zoning Investigation  
Land Development Engineering



An Equal Opportunity Employer

PLEASE SIGN AND RETURN THIS  
FORM IN THE ENCLOSED ENVELOPE  
THANK YOU

EXHIBIT "A"

VARIANCE PERMIT

Approval is given pursuant to the application on file and is subject to the conditions indicated:

    X    

That development take place in accordance with plans filed.

Variance granted, subject to the following conditions:

That final configuration be approved through the County Land Development procedure. Contact the Central Permit Office.

That development take place in accordance with plans and conditions approved by the Architectural and Site Approval Committee. Contact the Central Permit Office.

FILE NO. 2373 24 54 85V  
JOHN HERMAN (Westwood Construction)

**County of Santa Clara****California****OFFICE OF THE SECRETARY**AGENDA AND NOTICE OF PUBLIC HEARING

The Secretary of the Planning Commission will review the following matters as shown below. The meeting will be held in the Seventh Floor Conference Room, East Wing, County Government Center, 70 West Hedding Street, San Jose. It is required that either the applicant and/or his or her representative be present at the time indicated to appear.

This agenda is being sent to neighboring property owners and affected public agencies. Please check the agenda to find the proposal in your area. If you are interested, you may come to the meeting and be heard at said time and place. Written communications may be filed prior to the public hearing.

Environmental assessment regarding these matters may be made by the Planning Department staff at least three working days prior to the hearing. That assessment may result in an exemption, a negative declaration, or the requirement of an environmental impact report. The staff environmental assessment can be reviewed at the Planning Department office.

Further details may be obtained from Lucas S. Stamos, Secretary of the Planning Commission (408) 299-2521.

**FEBRUARY 22, 1985**

10:00 a.m.

2373 24 54 85V JOHN HERMAN (Westwood Construction)

Public hearing on an application for a variance permit to increase the height of a fence from the required 8' maximum to 12'. Property situated on the west side of Glen Una Drive, between Peach Hill Road and Sunset Drive, property of John Herman. Address: 15621 Glen Una Drive. RHS zoning district. Parcel size: 1.12 acres. (SD-4) File completed February 8, 1985.



**County of Santa Clara**  
**California**

February 8, 1985

John Herman  
15621 Glen Una Drive  
Los Gatos, CA 95030

SUBJECT: VARIANCE  
FILE NO: 2373-24-54-85V (Glen Una Drive)

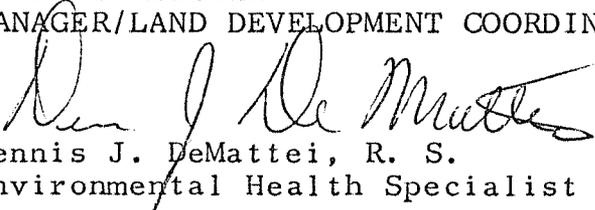
Dear Mr. Herman:

This letter is written to inform you that the subject application which was received January 23, 1985, is complete.

Your application will be agendized in approximately two weeks. If you have any questions regarding this matter, please feel free to contact Mr. Lucas Stamos, Zoning Administrator, at 299-2521.

Sincerely,

RAFFI SARKISIAN  
MANAGER/LAND DEVELOPMENT COORDINATOR



Dennis J. DeMattei, R. S.  
Environmental Health Specialist

RS:DJD:jl

cc: Lucas Stamos (plus comments)  
Westwood Construction

70523 Winston 4-387

APPLICATION FOR BUILDING PERMIT  
SANTA CLARA COUNTY  
BUILDING INSPECTION DIVISION

FOR BUILDING INSPECTION CALL 299-2351  
MINIMUM 24 HOURS NOTICE

70 W. HEDDING ST., SAN JOSE, CA 95110 TEL. 299-2351

LAND DEVELOPMENT ENGINEERING & SURVEYING

JOB ADDRESS: 15621 GLEN LINA  
STREET NUMBER

NEAREST CROSS STREET: SUNSET DR

POST OFFICE (CITY): LOS LATOS ZIP: 95030

OWNER: JOHN HERMAN PHONE

MAILING ADDRESS: 15621 GLEN LINA  
CITY: LOS LATOS ZIP: 95030

ARCHITECT OR ENGINEER ADDRESS: FIOROVICH LIC. NO. C12760

CONTRACTOR: KACHEVER & SON LIC. NO. 342573 CLASS B3  
MAILING ADDRESS: 1389 HAPPY VALLEY SAN JOSE CA ZIP: 95129

CLEARED FOR ISSUANCE BY: [Signature] DATE: 4-3-87

COMPLETE PRIOR TO OCCUPANCY. FOR INSPECTION CALL 299-2871

RD. IMP. CLEARED BY: [Signature] DATE

DWY. APPR. CLEARED BY: [Signature] DATE

CLEARED BY: [Signature] DATE

TRANSPORTATION AGENCY

CLEARED FOR ISSUANCE BY: [Signature] DATE: 4/3/87

COMPLETE PRIOR TO OCCUPANCY. FOR INSPECTION CALL 299-2591

RD. IMP. CLEARED BY: [Signature] DATE

DWY. APPR. CLEARED BY: [Signature] DATE

ENVIRONMENTAL HEALTH

SANIT. DIST. NO. existing SEP TK PERMIT NO. FOR INSPECTION CALL 299-6060

CLEARED FOR ISSUANCE BY: [Signature] DATE: 3-2-87

CLEARED FOR OCCUPANCY BY: R.S. DATE

FIRE MARSHAL DEPT.

FOR INSPECTION CALL 299-2351

CLEARED FOR ISSUANCE BY: [Signature] DATE: 3-2-87

CLEARED FOR OCCUPANCY BY: DATE

PLANNING

SET BACKS FEET: FRONT 30' SIDE 20' REAR 25' ZONE R/S

VARIANCE OR SPEC. REQ. DEV. REQ. COMP.

ARCH. SITE APPROVAL BY: FOR INSPECTION CALL 299-2521

CLEARED FOR ISSUANCE BY: [Signature] DATE: 3-2-87

CLEARED FOR OCCUPANCY BY: DATE

BUILDING INSPECTION DIV.

LOT TRACT PLAN CHECK NO. 5186

BLOCK A.P.N. 510-26-008

BUILD TYPE OF IMPROVEMENT: REMODEL ADD TO REPAIR MOVE CONVERT DEMOLISH

SO. FT. SIZE: 1326 No. of FAMILIES: ONE No. of STORIES: TWO

PERMIT NUMBER: 70523 ADD TO 1ST FLR + ADD 2ND FLR + RENMOD INTR 1ST FLR + REROOF OLD

# 2373-24-54-85V-86B

APPROVED BY: [Signature]

CERTIFICATION OF COMPLIANCE DATE

INSPECTION RECORD		
1. FOUNDATION FORMS	4/5/87	[Signature]
2. FORMS		
POUR NO CONCRETE UNTIL THE ABOVE HAS BEEN SIGNED		
3. HEATING DUCTS		
4. COMFORT COOLING		
5. GIRDERS	5/1/87	[Signature]
6. ROUGH PLBG. PARTIAL	4/1/87	[Signature]
DO NOT COVER FLOORS UNTIL THE ABOVE HAS BEEN SIGNED		
7. BOND BEAMS (CONC. BLK.)		
8. ROUGH PLBG. COMPLETE	8/21/87	[Signature]
9. SEWER INSPECT		WATER SERVICE
10. GAS PRESSURE		
11. ROUGH ROOF FRAME FLUES	9/1/87	[Signature] ROOF + WALLS HTG NEG 7-27-87
12. ROUGH ELEC WIRING	9/1/87	[Signature] SERVICE: BONDING:
DO NOT INSULATE UNTIL ABOVE HAS BEEN SIGNED		
13. INSULATION	W/F 15/12/87 SV 1/4/1/87 [Signature]	
14. SHEET ROCK	9/1/87	[Signature]
15. STUCCO WIRE OR LATH	9/1/87	[Signature]
16. PLUMBING FINAL (Fixtures)	1-6-88	NEG
17. GAS APPLIANCES		
18. ELECTRICAL FINAL (Fixtures)	1-6-88	NEG
19. ENERGY FINAL		
20. BUILDING COMPLETE	1-6-88	NEG
NO UTILITIES WILL BE CLEARED UNTIL "BUILDING COMPLETE" HAS BEEN SIGNED		

NOTE: TOTAL FEES EXCLUDE APPLICABLE ELECTRICAL, PLUMBING AND MECHANICAL PERMIT FEES.

COMPLETE BACK OF FIRST PAGE

Request for refunds or adjustments in fees paid must be made to the building official in writing in conformance with applicable section(s) of the Santa Clara County Ordinance Code.

FORM 37 9/83

VALUATION	TOTAL FEES
100,000	462
40	711
C.P.O. ISSUANCE FEE	

SEWER 40.00  
PLUMBING 711.00  
ELEC 462.00

PERMIT EXPIRATION  
PERMIT EXPIRES IF WORK IS NOT STARTED WITHIN 180 DAYS OF PERMIT ISSUANCE OR 180 DAYS FROM LAST CALLED INSPECTION.

THIS PERMIT SHALL EXPIRE BY LIMITATION AND BECOME NULL AND VOID IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

"REFUND: WHERE NO PORTION OF THE WORK OR CONSTRUCTION COVERED BY THIS PERMIT HAS BEEN COMMENCED BEFORE THE EXPIRATION DATE HEREOF, REQUESTS FOR REFUNDS MUST BE MADE IN WRITING TO THE DIRECTOR OF THE BUILDING INSPECTION DIVISION ON OR BEFORE ONE HUNDRED-TWENTY (120) DAYS FROM THE DATE OF ISSUANCE OF THIS PERMIT."

GRADE LINES AS SHOWN ON DRAWING ACCOMPANYING THIS APPLICATION ARE ASSUMED TO BE CORRECT. IF ACTUAL GRADE LINES ARE NOT THE SAME AS SHOWN, REVISED DRAWINGS SHOWING CORRECT GRADE LINES, CUTS AND FILLS, TOGETHER WITH COMPLETE DETAILS OF RETAINING WALLS AND WALL FOOTINGS REQUIRED, MUST BE RESUBMITTED TO THIS DIVISION FOR APPROVAL.

INSPECTOR MUST BE GIVEN MINIMUM 24 HOURS NOTICE FOR EACH INSPECTION.

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (Commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.  
License Class B Lic. Number 342573  
Date 3-2-87 Contractor Kochuever & Son

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.).

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.).

I am exempt under Sec. \_\_\_\_\_, B. & P.C. for this reason \_\_\_\_\_

Date \_\_\_\_\_ Owner John William Kochuever

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. 25070386 Company STATE COMP  
 Certified copy is hereby furnished.  
 Certified copy is filed with the county building inspection department or county \_\_\_\_\_ department. Kochuever & Son

Date 3-2-87 Applicant John William Kochuever

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date \_\_\_\_\_ Applicant \_\_\_\_\_

NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name \_\_\_\_\_

Lender's Address \_\_\_\_\_

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent John William Kochuever Date 3-2-87



THIS PERMIT SHALL EXPIRE BY LIMITATION AND BECOME NULL AND VOID IF WORK IS NOT COMMENCED WITHIN 180 DAYS.

"REFUND: WHERE NO PORTION OF THE WORK OR CONSTRUCTION COVERED BY THIS PERMIT HAS BEEN COMMENCED BEFORE THE EXPIRATION DATE HEREOF, REQUESTS FOR REFUNDS MUST BE MADE IN WRITING TO THE DIRECTOR OF THE BUILDING INSPECTION DIVISION ON OR BEFORE ONE HUNDRED-TWENTY (120) DAYS FROM THE DATE OF ISSUANCE OF THIS PERMIT."

INSPECTOR MUST BE GIVEN MINIMUM 24 HOURS NOTICE FOR EACH INSPECTION.

LICENSED CONTRACTORS DECLARATION

I hereby affirm that I am licensed under provisions of Chapter 9 (Commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class 73 Lic. Number 342573  
Date 3-2-87 Contractor KOCHEVER & SON

OWNER-BUILDER DECLARATION

I hereby affirm that I am exempt from the Contractor's License Law for the following reason (Sec. 7031.5, Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for such permit to file a signed statement that he is licensed pursuant to the provisions of the Contractor's License Law) Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or through his own employees, provided that such improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he did not build or improve for the purpose of sale.)

I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractor's License Law does not apply to an owner of property who builds or improves thereon, and who contracts for such projects with a contractor(s) licensed pursuant to the Contractor's License Law.)

I am exempt under Sec. \_\_\_\_\_, B. & P.C. for this reason \_\_\_\_\_

Date \_\_\_\_\_ Owner John William Kochever

WORKERS' COMPENSATION DECLARATION

I hereby affirm that I have a certificate of consent to self-insure, or a certificate of Workers' Compensation Insurance, or a certified copy thereof (Sec. 3800, Lab. C.).

Policy No. 25070386 Company STATE COMP  
 Certified copy is hereby furnished.  
 Certified copy is filed with the county building inspection department or county \_\_\_\_\_ department. KOCHEVER & SON  
Date 3-2-87 Applicant \_\_\_\_\_

CERTIFICATE OF EXEMPTION FROM WORKERS' COMPENSATION INSURANCE

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Workers' Compensation Laws of California.

Date \_\_\_\_\_ Applicant \_\_\_\_\_  
NOTICE TO APPLICANT: If, after making this Certificate of Exemption, you should become subject to the Workers' Compensation provisions of the Labor Code, you must forthwith comply with such provisions or this permit shall be deemed revoked.

CONSTRUCTION LENDING AGENCY

I hereby affirm that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name KA  
Lender's Address \_\_\_\_\_

I certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

John William Kochever 3-2-87  
Signature of Applicant or Agent Date

RESIDENTIAL ADDITION APP-TECH JOB # 1640

**Title 24 Energy Codes**

- All new manufactured devices subject to these regulations shall be certified by the appropriate agency. These devices include HVAC equipment, water heating equipment, ventilation, manufactured doors & windows, and plumbing fittings.
- All exterior joints and openings in the building envelope that are observable sources of air leakage shall be caulked or sealed, with doors and windows between conditioned and unconditioned spaces weather stripped.
- New ducts to be constructed, insulated, and sealed per Chapter 9 of the State Mechanical Code. (See joints sealed, ducts to have a minimum R-3 insulation in unconditioned space, etc.)
- Exhaust fans to have backdraft dampers.
- No fireplace to have combustible metal or glass doors, outside combustion air intake with damper, fire damper, and no continuous burning gas pilot.
- If a new furnace is installed, it shall have a Seasonal Efficiency of at least 71%, with a setback thermostat, and an output of between 80 and 100 Btu/hr. Such as a Day & Night model # 296 J 06095, or equivalent.
- General lighting in new bath to be fluorescent. (Baths are except if they have only one light fixture.)
- Insulation in addition to be R-20 ceiling, R-11 walls, no floor insulation required.
- Windows to be double pane, skylites to be double pane.
- The builder shall provide the building owner, manager, and the original occupants a list of the heating, cooling, water heating, and lighting systems, & also the features, materials, and components, of any mechanical conservation, or solar devices installed in the building, with instructions on how to use them efficiently.

**Title 24 section 1402 (a) Documentation**

I certify that the building addition referred to in these terms, calculations, and drawings as APP-TECH JOB # 1640 complies with the requirements of Title 24 Chapter 2-22 sections 2-2201.02, 04, 11 through 14, 15 through 18, and 2-2201 & 2-2202. The Microspan Computer Performance Approach, utilizing the input values required by section 2-2204 (d) 4.3, was used to demonstrate this compliance in climate zone 4.

The computer performance, and manual, calculations used to generate these results were done following procedures approved by the California Energy Commission, and the proposed building was modeled in a manner consistent with the plans and specifications.

Signed: Steven Beck Date: 10 Mar. 1986  
Energy Consultant

I certify that the documentation submitted with this Permit Application is consistent with the plans and specifications noted in APP-TECH JOB # 1640 to show compliance with the regulations and requirements listed above.

Approved: Matthew J. ... Date: Jan 29, 87  
Building Permit Applicant  
(Building Owner, or Licensed person with chief responsibility for building design or construction.)

**APP-TECH Inc.**  
P.O. Box 7, Aromas Ca, 95004, (408) 728-1815  
310 Locust St. Santa Cruz Ca. (408) 458-0485

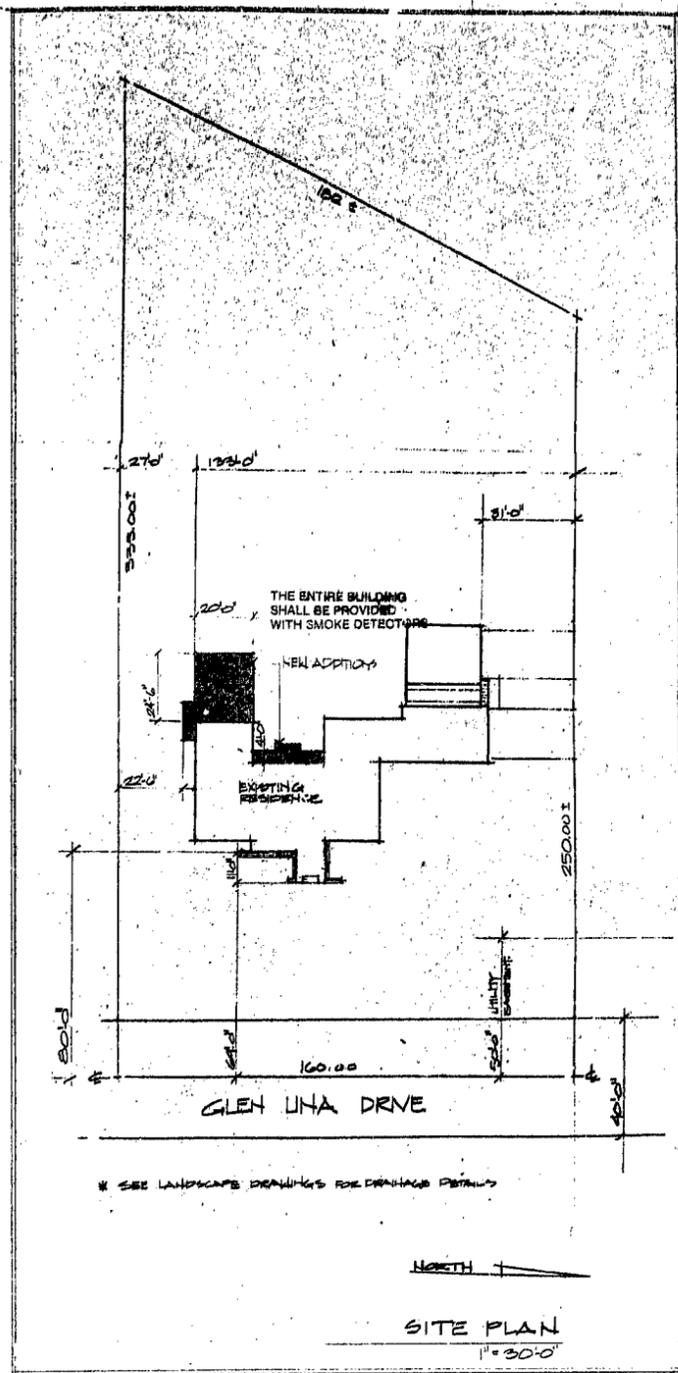
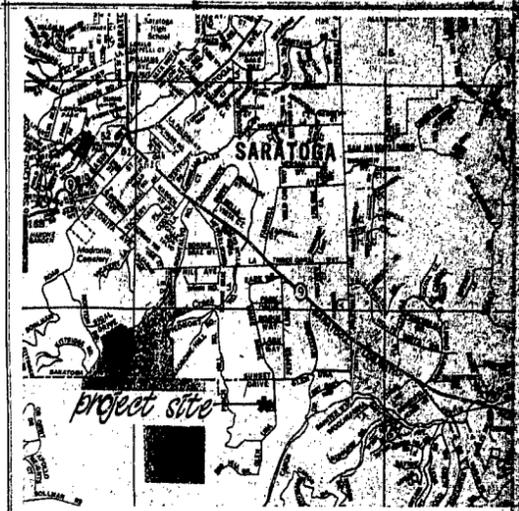


TABLE OF CONTENTS	
1	SITE PLAN - SHEET NOTES
2	GENERAL NOTES
3	GENERAL NOTES
4	FOUNDATION
5	FLOOR PLAN - FINISHES - ELECTRICAL
6	SECTIONS - ROOF PLAN
7	EXTERIOR ELEVATIONS
8	
9	
10	
11	
12	
13	
14	
15	
16	
17	
18	
19	
20	
21	PETALS



RESIDENCE FOR: MR. & MRS. JOHN HERMAN  
1822 GLEH UNA DRIVE  
LOS GATOS, CA 95030

EXISTING STRUCTURE 2751 SF  
REMODEL: 716 SF  
ADDITION: 1026 SF  
TOTAL STRUCTURE 4077 SF

COMPLY-NEC (1984) & UMC, UPC, UBC (1982)

**PLANS AS SUBMITTED FOR BUILDING PERMIT**  
SHEET NO. 3 OF 9 SHEETS  
BY Abca DATE 3-11-87

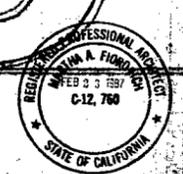
THIS PLAN MUST BE ON JOB WITH DIMENSIONS AND MARKS

SITE PLAN REVIEW  
CITY OF LOS GATOS PERMIT OFFICE

JOHN ...  
Proposed ...  
Municipal ...  
City ...  
County ...  
State ...  
By ... Date ...  
Remarks ...

# hermans

**BP#70523**  
PLAN CHECK No 5186



**SITE PLAN**

FACE NAIL	2-8D
1"x6" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8D
WIDER THAN 1"x6" SHEATHING TO EACH BEARING, FACE NAIL	J-8D
BUILT-UP CORNER STUDS	16D AT 24" O.C.
BUILT-UP GIRDER AND BEAMS	20D AT 32" O.C. AT TOP AND BOTTOM AND STAGGERED 2-20D AT ENDS AND AT EACH SPLICE
2" PLANKS	2-16D AT EACH BEARING

PLYWOOD:

SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING):	60 <sup>4</sup>
1/2" AND LESS	8D <sup>4</sup> OR 8D <sup>2</sup>
5/8"-3/4"	8D <sup>2</sup>
7/8"-1"	10D <sup>2</sup> OR 8D <sup>4</sup>
1 1/8"-1 1/4"	10D <sup>2</sup> OR 8D <sup>4</sup>

COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING):	60 <sup>4</sup>
3/4" AND LESS	8D <sup>4</sup>
7/8"-1"	10D <sup>2</sup> OR 8D <sup>4</sup>
1 1/8"-1 1/4"	10D <sup>2</sup> OR 8D <sup>4</sup>

PANEL SIDING (TO FRAMING)	60 <sup>4</sup>
1/2" OR LESS	8D <sup>2</sup>
5/8"	8D <sup>2</sup>

- Common or box nails may be used except where otherwise stated.
- Common or deformed shank.
- Common
- Deformed shank.
- Nails spaced at 6 inches on center at edges, 12" at intermediate supports (10" at intermediate supports for floors) except 6" at all supports where spans are 48" or more. For nailing of plywood diaphragms and shear walls refer to plans. Nails for wall sheathing may be common, box or casing.
- Corrosion resistant siding and casing nails.

**VENTILATION.** ENCLOSED ATTIC SPACES AND ENCLOSED ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN. THE NET FREE VENTILATING AREA SHALL BE NOT LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/300 PROVIDED AT LEAST 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE EAVE OR CORNICE VENTS ARE USED TO PROVIDE VENTILATION OF COMBUSTIBLE ATTIC SPACE, VENT OPENINGS SHALL NOT BE LOCATED WITHIN 3'-0" MEASURED LATERALLY EACH SIDE AND ABOVE WINDOW OR DOOR OPENINGS IN THE WALL OF THE STORY ABOVE.

**FIRESTOPPING** SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND SHALL FORM AN EFFECTIVE BARRIER AND SHALL BE USED IN SPECIFIC LOCATIONS, AS FOLLOWS:

- IN EXTERIOR OR INTERIOR STUD WALLS, AT CEILINGS AND FLOOR LEVELS.
- IN ALL STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, SO PLACED THAT THE MAXIMUM DIMENSION OF ANY CONCEALED SPACE IS NOT OVER 10 FEET.
- BETWEEN STAIR STRINGERS AT TOP AND BOTTOM AND BETWEEN STUDS ALONG IN LINE WITH RUN OF STAIR ADJOINING STUD WALLS AND PARTITIONS.
- AROUND TOP, BOTTOM, SIDES AND ENDS OF SLIDING DOOR POCKETS.
- IN SPACES BETWEEN CHIMNEYS AND WOOD FRAMING, LOOSE NONCOMBUSTIBLE MATERIALS SHALL BE PLACED IN NONCOMBUSTIBLE SUPPORTS OR A METAL COLLAR TIGHTLY FITTED TO THE CHIMNEY AND NAILED TO THE WOOD FRAMING MAY BE USED.
- ANY OTHER LOCATIONS NOT SPECIFICALLY MENTIONED ABOVE, SUCH AS HOLES FOR PIPES, SHAFTING, BEHIND FURRING STRIPS AND SIMILAR PLACES WHICH COULD AFFORD A PASSAGE FOR FLAMES.

FIRESTOPS WHEN OF WOOD SHALL BE 2-INCH NOMINAL THICKNESS. IF THE WIDTH OF THE OPENING IS SUCH THAT MORE THAN ONE PIECE OF LUMBER IS NECESSARY, THERE SHALL BE TWO THICKNESSES OF 1-INCH NOMINAL MATERIAL WITH JOINTS BROKEN OR ONE THICKNESS OF 3/4" PLYWOOD.

FIRESTOPS MAY ALSO BE OF GYPSUM BOARD, CEMENT ASBESTOS BOARD, MINERAL WOOL OR OTHER APPROVED NONCOMBUSTIBLE MATERIALS, SECURELY FASTENED IN PLACE. (MINERAL WOOL ONLY IS TO BE USED IN DOUBLE FRAMED COMMON WALLS).

4. 2x4 @ 16" O.C. 1500 ps  
2. 2x4 @ 16" O.C. 1200 ps  
2. 2x4 @ 16" O.C. 1800 ps  
2. 2x4 @ 16" O.C. 1000 ps  
FR Dec

- (CRIPPLE WALLS) CRIPPLE WALLS SHALL BE FRAMED OF STUDS NOT LESS IN SIZE THAN THE STUDS ABOVE WITH A MINIMUM LENGTH OF 24 INCHES, OR SHALL BE FRAMED OF SOLID BLOCKING, WHEN EXCEEDING 4 FEET IN HEIGHT, SUCH WALLS SHALL BE FRAMED OF STUDS HAVING THE SIZE REQUIRED FOR AN ADDITIONAL STORY.
- (HEADERS) HEADERS FOR ALL OPENINGS 4 FEET WIDE OR LESS IN BEARING WALLS SHALL BE PROVIDED WITH HEADERS CONSISTING OF EITHER TWO PIECES OF 2-INCH FRAMING LUMBER PLACED ON EDGE AND SECURELY FASTENED TOGETHER OR 4-INCH LUMBER OF EQUIVALENT CROSS SECTION. ALL OPENINGS MORE THAN 4 FEET WIDE SHALL BE PROVIDED WITH HEADERS OR LINTELS. SUCH HEADERS OR LINTELS SHALL HAVE NOT LESS THAN 2-INCH SOLID BEARING AT EACH END TO THE FLOOR OR BOTTOM PLATE, UNLESS OTHER APPROVED FRAMING METHODS OR JOINT DEVICES ARE USED. SEE PLAN FOR SIZE.
- (PIPES IN WALLS) STUD PARTITIONS CONTAINING PLUMBING, HEATING, OR OTHER PIPES SHALL BE SO FRAMED AND THE JOISTS UNDERNEATH SO SPACED AS TO GIVE PROPER CLEARANCE FOR THE PIPING, WHERE A PARTITION CONTAINING SUCH PIPING RUNS PARALLEL TO THE FLOOR JOISTS, THE JOISTS UNDERNEATH SUCH PARTITIONS SHALL BE DOUBLED AND SPACED TO PERMIT THE PASSAGE OF SUCH PIPES AND SHALL BE BRIDGED. WHERE PLUMBING, HEATING OR OTHER PIPES ARE PLACED IN OR PARTLY IN A PARTITION, NECESSITATING THE CUTTING OF THE SOLES OR PLATES, A METAL TIE NOT LESS THAN 1/8" INCH THICK AND 1 1/2" INCHES WIDE SHALL BE FASTENED TO THE PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN FOUR 16D NAILS.
- (BRIDGING) ALL STUD PARTITIONS OR WALLS WITH STUDS HAVING A HEIGHT TO LEAST THICKNESS RATIO EXCEEDING 50 SHALL HAVE BRIDGING NOT LESS THAN 2 INCHES IN THICKNESS AND OF THE SAME WIDTH AS THE STUDS FITTED SHUPLY AND NAILED THERE TO PROVIDE ADEQUATE LATERAL SUPPORT. WALLS COVERED BY INTERIOR OR EXTERIOR WALL COVERING OR SHEATHING MUST MEET THE MINIMUM REQUIREMENT OF THE UNIFORM BUILDING CODE APPLICABLE EDITION.
- (CUTTING & NOTCHING) IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH, CUTTING OR NOTCHING OF STUDS TO A DEPTH NOT GREATER THAN 40 PERCENT OF THE WIDTH OF THE STUD IS PERMITTED IN NON-BEARING PARTITIONS SUPPORTING NO LOADS OTHER THAN THE WEIGHT OF THE PARTITION.
- (BORED HOLES) A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD MAY BE BORED IN ANY WOOD STUD. BORED HOLES NOT GREATER THAN 60 PERCENT OF THE WIDTH OF THE STUD ARE PERMITTED IN NON-BEARING PARTITIONS OR IN ANY WALL WHERE EACH BORED STUD IS DOUBLED PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8" INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF THE STUD AS A CUT OR NOTCH.
- ROUGH WINDOW SILLS OVER 8 FEET IN LENGTH SHALL BE DOUBLED.
- BLOCKING TO BE PROVIDED AT ALL HANDRAILS.

**BALLOON FRAME TABLE**

A. (1) 2 x 4 AT 16" O/C 14'-0" MAX. LATERALLY UNSUPPORTED HEIGHT	
B. (2) 2 x 4 AT 16" O/C 15'-0" MAX. LATERALLY UNSUPPORTED HEIGHT	
C. (3) 2 x 4 AT 16" O/C 18'-0" MAX. LATERALLY UNSUPPORTED HEIGHT	
D. (4) 2 x 4 AT 16" O/C 20'-0" MAX. LATERALLY UNSUPPORTED HEIGHT	
E. (1) 2 x 6 AT 16" O/C 20'-0" MAX. LATERALLY UNSUPPORTED HEIGHT	

\* W.C.D.F. No. 2 or better and nail with 16D AT 24" O/C

**NAILING SCHEDULE**

CONNECTION	NAILING
JOIST TO SILL OR GIRDER, TOE NAIL	3-8D
BRIDGING TO JOIST, TOE NAIL EACH END	2-8D
1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8D
WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8D
2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16D
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16D AT 16" O.C.
TOP PLATE TO STUD, END NAIL	2-16D
STUD TO SOLE PLATE, TOE NAIL	4-8D
DOUBLED STUDS, FACE NAIL	16D AT 24" O.C.
DOUBLED TOP PLATES, FACE NAIL	16D AT 16" O.C.
TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16D
CONTINUOUS HEADER, TWO PIECES	16D AT 16" O.C. ALONG EACH
CEILING JOISTS TO PLATE, TOE NAIL	3-8D
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8D
CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16D
CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16D
RAFTER TO PLATE, TOE NAIL	3-8D

**WOOD AND EARTH SEPARATION.** 1. NO UNTREATED WOOD EXCEPT FOUNDATION GRADE REDWOOD SHALL BE NEARER THAN 6 INCHES TO ANY EARTH UNLESS SEPARATED BY CONCRETE AT LEAST 3 INCHES IN THICKNESS WITH AN IMPERMEABLE MEMBRANE INSTALLED BETWEEN THE EARTH AND CONCRETE.

**ROOF SHEATHING.** 1. 1x4 OR 1x6 SPACED WITH 1x6 SHIP-LAP STARTER BOARD @ ALL EAVES (RESAWN FACE DOWN); SHALL BE STANDARD, 3 COMMON, NO. 2 OR CONSTRUCTION GRADES AND SHALL BE SPACED NO MORE THAN 8" CLEAR. (FOR WOOD SHAKES):  
2. PLYWOOD SHEATHING IS TO BE CONTINUOUS OVER TWO OR MORE SPANS AND IS TO BE MINIMUM 1/2" THICK AND HAVE PANEL IDENTIFICATION INDEX AS REQUIRED FOR RAFTER SPACING (SEE PLANS); ALL SHALL BE STRUCTURAL I AND II, STANDARD SHEATHING, AND C-C GRADES ONLY. WITH EDGES BLOCKED OR UNBLOCKED AS REQUIRED FOR SPAN, (FOR TILE ROOFS).

**FLOOR SHEATHING.** 1. PLYWOOD COMBINATION SUBFLOOR-UNDERLAYMENT CONTINUOUS OVER TWO OR MORE SPANS SHALL BE MINIMUM 5/8" THICK TONGUE-AND-GROOVE AND HAVE A PANEL IDENTIFICATION INDEX AS REQUIRED FOR THE FLOOR JOIST SPACING (SEE PLANS AND SHALL BE UNDERLAYMENT GRADE, C-C (FLEGGED) AND ALL GRADES OF SANDED EXTERIOR TYPE PLYWOOD IN GROUP SPECIES OF 1, 2, OR 3, WHERE FLOOR JOISTS SPACING IS 48" O/C USE 1-1/8" THICK TONGUE-AND-GROOVE 2-4-1 (EXTERIOR GLUE) PLYWOOD IN GROUP 1,2,OR 3.

**FRAMING PRACTICES**

**MORNINGSHIP.** 1. ALL MEMBERS SHALL BE FRAMED, ANCHORED, TIED, AND BRACED SO AS TO DEVELOP THE STRENGTH AND RIGIDITY NECESSARY FOR THE PURPOSES FOR WHICH THEY ARE USED.

**BEAMS AND GIRDERS.** 1. THE ENDS OF BEAMS OR GIRDERS SUPPORTED ON MASONRY OR CONCRETE SHALL HAVE NOT LESS THAN 4" OF BEARING.  
2. ALL BEAM OR GIRDERS SUPPORTED ON WOOD SHALL HAVE FULL BEARING AND BEARING SHALL BE COMPRISED OF (1) SOLID SUPPORT OR A BUILT-UP SUPPORT CONSTRUCTED IN AN APPROVED MANNER UNLESS OTHERWISE SPECIFIED ON PLANS.

**ROOF & CEILING FRAMING.** 1. (FRAMING) RAFTERS SHALL BE FRAMED DIRECTLY OPPOSITE EACH OTHER AT THE RIDGE THERE SHALL BE A RIDGE AT LEAST 2-INCH NOMINAL THICKNESS AT ALL RIDGES AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. AT ALL VALLEYS AND HIPS THERE SHALL BE A SINGLE VALLEY OR HIP RAFTER NOT LESS THAN 2 INCHES NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.  
2. (RAFTER TIES) RAFTERS SHALL BE NAILED TO ADJACENT CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHEN SUCH JOISTS ARE PARALLEL, RAFTERS SHALL BE TIED TO 1-INCH BY 4-INCH (NOMINAL) MINIMUM SIZED CROSS-TIES. RAFTER TIES SHALL BE SPACED NOT MORE THAN 4 FEET ON CENTER.  
3. (PURLINS) PURLINS TO SUPPORT ROOF LOADS MAY BE INSTALLED TO REDUCE THE SPAN OF RAFTERS WITHIN ALLOWABLE LDM'S AND SHALL BE SUPPORTED BY STRUTS TO BEARING WALLS. THE MAXIMUM SPAN OF 2-INCH BY 4-INCH PURLINS SHALL BE 4 FEET. THE MAXIMUM SPAN OF THE 2-INCH BY 6-INCH PURLIN SHALL BE 6 FEET BUT IN NO CASE SHALL THE PURLIN BE SMALLER THAN THE SUPPORTED RAFTER. STRUTS SHALL BE NOT SMALLER THAN 2-INCH BY 4-INCH MEMBERS. THE UNBRACED LENGTH OF STRUTS SHALL NOT EXCEED 8 FEET AND THE MINIMUM SLOPE OF THE STRUTS SHALL BE NOT LESS THAN 45° FROM THE HORIZONTAL.  
4. (BLOCKING) RAFTERS MORE THAN 8 INCHES IN DEPTH SHALL BE SUPPORTED LATERALLY AT THE ENDS AND AT EACH SUPPORT BY SOLID BLOCKING NOT LESS THAN 2 INCHES IN THICKNESS AND THE FULL DEPTH OF THE RAFTER UNLESS NAILED TO A HEADER, BAND OR RIM JOIST OR TO AN ADJOINING STUD.

**WALL FRAMING.** 1. (SIZE) STUDS IN EXTERIOR WALLS AND INTERIOR BEARING WALLS OF BUILDING NOT MORE THAN TWO STORIES IN HEIGHT SHALL BE NOT LESS THAN 2 INCHES BY 4 INCHES IN SIZE. FOR THREE-STORY BUILDINGS SUCH STUDS SHALL BE NOT LESS THAN 3 INCHES BY 4 INCHES OR 2 INCHES BY 6 INCHES TO THE BOTTOM OF THE SECOND FLOOR JOISTS, AND 2 INCHES BY 4 INCHES FOR THE TWO UPPER STORIES. INTERIOR NON-BEARING PARTITIONS MAY BE FRAMED WITH 2 INCH BY 4 INCH STUDS.  
2. (HEIGHT) UNLESS SUPPORTED LATERALLY BY ADJACENT FRAMING, THE MAXIMUM ALLOWABLE HEIGHT FOR STUDS SHALL BE 14 FEET FOR 2-INCH BY 4-INCH STUDS; AND 20 FEET FOR 2-INCH BY 6-INCH STUDS.  
3. (SPACING) STUDS SUPPORTING FLOORS AND CEILINGS OR RAFTERS SHALL BE SPACED NOT MORE THAN 16 INCHES.

# 1. general reqmnts.

**WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING:**

- THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.
- UNIFORM BUILDING CODE, APPLICABLE EDITION.
- ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.

**ON-SITE VERIFICATION** OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS SUB-CONTRACTORS, NOTED DIMENSIONS TAKE PRECEDENT OVER SCALE.

**ARTICLE 7** TO BE NOTIFIED IMMEDIATELY BY CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS.

**STRUCTURAL ENGINEERING:**

- REFER TO CALCULATION FOR ANY QUESTION REGARDING BEAM AND HEADER SIZES, FOOTINGS, AND SHEAR REQUIREMENTS.

**SOILS ENGINEERING:**

- REFER TO SOILS REPORT FOR ANY QUESTION REGARDING SOIL REQUIREMENTS.

# 2. carpentry

**LUMBER**

**GRADES.** 1. ALL LUMBER SHALL BE GRADE MARKED AND CONFORM WITH THE STANDARD GRADING AND DRESSING RULES P. 20-70 OF THE WEST COAST LUMBER INSPECTION BUREAU.  
2. STUDS, JOISTS, RAFTERS, FOUNDATION PLATES OR SILLS, PLANKING 2 INCHES OR MORE IN DEPTH, BEAMS, STRINGERS, POSTS, STRUCTURAL SHEATHING AND SIMILAR LOAD BEARING MEMBERS SHALL BE OF AT LEAST THE MINIMUM GRADES SET FORTH IN THE UNIFORM BUILDING CODE APPLICABLE EDITION.

**PROTECTION AGAINST DECAY AND TERMITES.** 1. WOOD EMBEDDED IN THE GROUND OR IN DIRECT CONTACT WITH THE EARTH AND USED FOR THE SUPPORT OF PERMANENT STRUCTURES SHALL BE TREATED WOOD.  
2. WOOD JOISTS OR THE BOTTOM OF WOOD FLOORS CLOSER THAN 18 INCHES, OR WOOD GIRDERS CLOSER THAN 12 INCHES TO THE GROUND UNDERFLOOR AREAS AND THEIR SUPPORTS, SHALL BE OF TREATED WOOD OR ALL HEARTWOOD OF APPROVED NATURALLY DURABLE SPECIES AS LISTED IN THE UNIFORM BUILDING CODE APPLICABLE EDITION.

**PLATES, SILLS AND SLEEPERS.** 1. ALL FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB WHICH IS IN DIRECT CONTACT WITH EARTH AND SILLS WHICH REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE TREATED WOOD OR FOUNDATION GRADE REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY.

**COLUMNS AND POSTS.** 1. ALL WOOD COLUMNS AND POSTS SHALL BE FRAMED TO TRUE END BEARINGS. SUPPORTS SHALL BE DESIGNED TO HOLD THE COLUMN OR POST SECURELY IN POSITION AND TO PROTECT ITS BASE FROM DETERIORATION. IN AREAS EXPOSED TO WATER SPLASH AND IN EXTERIOR LOCATIONS WOOD COLUMNS AND POSTS SHALL BE SUPPORTED BY PIERS PROJECTING AT LEAST 2 INCHES ABOVE THE FINISHED FLOOR AND SHALL BEAR ON A METAL BASE PLATE OR SILL AS SPECIFIED IN SUBSECTION (C).  
2. POSTS OR COLUMNS OF TREATED WOOD OR OF FOUNDATION GRADE REDWOOD OR CEDAR MAY BE PLACED DIRECTLY ON CONCRETE, SOLID MASONRY OR GROUTED MASONRY.

**FLOOR JOISTS.** 1. (BEARING) EXCEPT WHERE JOISTS ARE SUPPORTED ON A 1-INCH BY 4-INCH RIBBON STRIP AND NAILED TO THE ADJOINING STUD, THE ENDS OF EACH JOIST SHALL BE NOT LESS THAN 1-1/2 INCHES OF BEARING ON WOOD OR METAL, NOR LESS THAN 3 INCHES ON MASONRY.  
2. (BLOCKING) JOISTS SHALL BE SUPPORTED LATERALLY AT THE ENDS AND AT EACH SUPPORT BY SOLID BLOCKING EXCEPT WHERE THE ENDS OF JOISTS ARE NAILED TO A NAILED TO A HEADER, BAND OR RIM JOIST OR TO AN ADJOINING STUD OR BY OTHER APPROVED MEANS. SOLID BLOCKING SHALL NOT BE LESS THAN 2 INCHES IN THICKNESS AND THE FULL DEPTH OF THE JOIST.  
3. (NOTCHES AND HOLES) NOTCHES ON THE ENDS OF JOISTS SHALL NOT EXCEED ONE-FORTH THE JOIST DEPTH. HOLES BORED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR THE BOTTOM OF THE JOIST AND THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN MIDDLE THIRD OF SPAN.  
4. (LAPS) JOISTS FRAMING FROM OPPOSITE SIDES OF A BEAM, GIRDER OR PARTITION SHALL BE LAPPED AT LEAST 4 INCHES OR THE OPPOSING JOISTS SHALL BE TIED TOGETHER IN AN APPROVED MANNER.

5. (FRAMING ANCHORS) JOISTS FRAMING INTO THE SIDE OF A WOOD WALL SHALL BE SUPPORTED BY FRAMING ANCHORS OR A LEDGER STRIP NOT LESS THAN 2 INCHES BY 2 INCHES.  
6. (FRAMING AROUND OPENINGS) TRIMMER AND HEADER JOISTS WHEN FRAMED AROUND OPENINGS SHALL BE DOUBLED OR OF EQUIVALENT CROSS SECTION, WHEN THE SPAN OF THE HEADER EXCEEDS 4 FEET. THE ENDS OF HEADER JOISTS MORE THAN 6 FEET LONG SHALL BE SUPPORTED BY FRAMING ANCHORS OR JOIST HANGERS UNLESS BEARING ON LEM, PARTITION OR WALL. TRAIL JOISTS OVER 12 FEET LONG SHALL BE SUPPORTED AT HEADER BY FRAMING ANCHORS, OR ON LEDGER STRIPS NOT LESS THAN 2 INCHES BY 2 INCHES.  
7. (SUPPORTING BEARING PARTITIONS) BEARING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS OF PARTITIONS MORE THAN THE JOIST DEPTH. WHEN MADE AT PARALLEL TO BEARING PARTITIONS SHALL BE DOUBLED.

# 1. symbols

- ELECTRICAL:**
- 110V WALL OUTLET
  - 1/2 HOT 110V OUTLET
  - WATERPROOF 110V OUTLET
  - 220V WALL OUTLET
  - 110V FLOOR OUTLET
  - SWITCH
  - 3-WAY SWITCH
  - CEILING LIGHT
  - FLUSH ROUND CAN LIGHT
  - FLUSH SQUARE CEILING LIGHT
  - BRACKET LIGHT
  - HANGING LIGHT
  - VAPOR PROOF LIGHT
  - TRACT LIGHT
  - COMBINATION FAN & LIGHT
  - JUNCTION BOX
  - 5-MINUTE AIR EXCHANGE FAN
  - CHIMES
  - DOOR BELL PUSHBUTTON
  - T.V. JACK
  - PHONE JACK
  - SMOKE DETECTOR
  - FLOURESCENT TUBES

- MECHANICAL:**
- HOSE BELL
  - HOSE BELL WITH SHUTOFF
  - LOG LIGHTER
  - FUEL GAS
  - ROUGH PLUMB FOR ICE MAKER
  - COLD AIR RETURN
  - WARM AIR SUPPLY
  - THERMOSTAT

- ARCHITECTURAL:**
- DOOR
  - FLOOR PLAN NOTES
  - STRUCTURAL NOTES
  - DETAIL NUMBER
  - SHEET NUMBER
  - TWO-STORY FOUNDATION DETAIL
  - BUILDING SECTION
  - FLOOR MATERIAL CHANGE

COMPLY-NEC (1984) & UMC,UPC,UBC (1982)

PLANS AS SUBMITTED FOR BUILDING PERMIT SHEET NO. 23 OF 9 SHEETS BY *Acta* DATE 3-11-87



GENERAL CONDITIONS



## 9. plumb. & heating 5. finishes

**WATER PIPING**  
**MATERIALS.** 1. COPPER TUBE FOR WATER PIPING SHALL HAVE A WEIGHT OF NOT LESS THAN THAT OF COPPER WATER TUBE TYPE L. EXCEPTION: TYPE M COPPER TUBING MAY BE USED FOR WATER PIPING WHEN PIPING IS ABOVE GROUND, AND THE NORMAL MAXIMUM PRESSURE DOES NOT EXCEED 100 POUNDS, AND THE WORKING TEMPERATURE DOES NOT EXCEED 210° F.

**WATER HEATER** 1. WITH NON-RIGID WATER CONNECTIONS SHALL BE STRAPPED FOR LATERAL SUPPORT.

**GAS PIPING**  
**MATERIALS.** 1. ALL PIPE USED FOR THE INSTALLATION OF ANY GAS PIPING SHALL BE STANDARD WEIGHT WROUGHT IRON OR STEEL (GALVANIZED OR BLACK), YELLOW BRASS (CONTAINING NOT MORE THAN SEVENTY-FIVE (75) PERCENT COPPER), OR INTERNALLY TINNED OR EQUIVALENTLY TREATED COOPER OF IRON PIPE SIZE.  
 2. ALL FITTINGS USED IN CONNECTION WITH THE ABOVE PIPING SHALL BE OF MALLEABLE IRON OR YELLOW BRASS (CONTAINING NOT MORE THAN SEVENTY-FIVE (75) PERCENT COPPER).

**WASTE PIPING**  
**MATERIALS.** 1. ALL WASTE PIPING WHICH PENETRATES WALLS WITH 1 HOUR FIRE RESISTIVE MATERIALS APPLIED SHALL BE CAST IRON OR OTHER NON-COMBUSTIBLE PIPING MATERIAL APPROVED BY THE UNIFORM BUILDING CODE APPLICABLE EDITION, STATE AND LOCAL CODES.  
 2. RAPID FIT WASTE AND OVERFLOW FITTINGS SHALL BE USED IN LIEU OF ACCESS PANEL AS PER I.A.P.M.O. FILE NO. 966.

**COMBUSTION AIR VENTS** 1. COMBUSTION AIR VENTS AND DUCTS SHALL BE PROVIDED WITH MINIMUM UNOBSTRUCTED COMBUSTION AIR OPENINGS EQUAL TO THAT SET FORTH IN THE TABLE BELOW.  
 2. WHERE THE FLOOR AREA OF THE APPLIANCE COMPARTMENT IS LESS THAN TWICE THE FLOOR AREA OF THE APPLIANCES THEREIN, THE MINIMUM TOTAL FREE AREA SHALL BE NOT LESS THAN 200 SQUARE INCHES.  
 3. WHERE THE FLOOR AREA OF THE APPLIANCE COMPARTMENT IS MORE THAN TWICE THE FLOOR AREA OF THE APPLIANCES THEREIN, THE MINIMUM TOTAL FREE AREA SHALL BE NOT LESS THAN 1 SQUARE INCHES.

COMBUSTION AIR REQUIREMENTS FOR FUEL-BURNING EQUIPMENT

INPUT	MINIMUM TOTAL FREE AREA OF DUCTS OR OPENINGS, WHERE FLOOR AREA OF COMPARTMENT IS LESS THAN TWICE THE FLOOR AREA OF THE APPLIANCES THEREIN.	MINIMUM TOTAL FREE AREA OF DUCTS OR OPENINGS, WHERE FLOOR AREA OF COMPARTMENT IS MORE THAN TWICE THE FLOOR AREA OF THE APPLIANCES THEREIN.
0 THROUGH 500,000 BTU'S	2 SQ. IN. FOR 1000 BTU'S	1 SQ. IN. FOR EACH 1000 BRU'S
500,000 THROUGH 1,000,000 BTU'S	1000 SQ. IN. PLUS 2 SQ. IN. FOR EACH 1500 BTU'S OVER 500,000 BTU'S	500 SQ. IN. PLUS 1 SQ. IN. FOR EACH 1500 BTU'S OVER 500,000 BTU'S
OVER 1,000,000 BTU'S	1666 SQ. IN. PLUS 2 SQ. IN. FOR EACH 2000 BTU'S OVER 1,000,000 BTU'S	833 SQ. IN. PLUS 1 SQ. IN. FOR EACH 2000 BTU'S OVER 1,000,000 BTU'S

**GYPSUM WALLBOARD**  
**INSTALLATION.** 1. ALL GYPSUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE U.B.C. APPLICABLE EDITION, STATE AND LOCAL CODES.  
 2. GYPSUM WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED.  
 3. ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL OCCUR ON THE FRAMING MEMBERS, EXCEPT THOSE EDGES AND ENDS WHICH ARE PERPENDICULAR TO THE FRAMING MEMBERS. ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL BE IN MODERATE CONTACT EXCEPT IN CONCEALED SPACES WHERE FIRE-RESISTIVE CONSTRUCTION OR DIAPHRAGM ACTION IS NOT REQUIRED.  
 4. THE SIZE AND SPACING OF FASTENERS SHALL COMPLY WITH U.B.C. APPLICABLE EDITION, STATE AND LOCAL CODES. FASTENERS SHALL BE SPACED NOT LESS THAN 3/8 INCH FROM EDGES AND ENDS OF GYPSUM WALLBOARD. FASTENERS AT THE TOP AND BOTTOM PLATES OF VERTICAL ASSEMBLIES, OR THE EDGES AND ENDS OF HORIZONTAL ASSEMBLIES PERPENDICULAR TO SUPPORTS, AND AT THE WALL LINE MAY BE OMITTED EXCEPT ON SHEAR-RESISTING ELEMENTS, OR FIRE-RESISTIVE ASSEMBLIES. FASTENERS SHALL BE APPLIED IN SUCH A MANNER AS NOT TO FRACTURE THE FACE PAPER WITH THE FASTENER HEAD.

ALL ROUGHSAW AND RESAW SURFACES TO RECEIVE STAIN. DO NOT PRIME OR PAINT UNLESS OTHERWISE NOTED ON PLANS.

**6. metals**  
**STRUCTURAL STEEL AND MISCELLANEOUS IRON** SHALL CONFORM TO ASTM A-36.  
**DRYER VENT TO OUTSIDE AIR** PER MANUFACTURER'S APPROVED SPECIFICATIONS. PROVIDE BACKDRAFT DAMPERS ON ALL EXHAUST FAN VENTS. ALL TRANSVERSE DUCT, PLENUM AND FITTING JOINTS SHALL BE SEALED W/ PRESSURE SENSITIVE TAPE OR MASTIC.

**7. concrete & fndt**  
**MATERIALS.** 1. CONCRETE TO BE MACHINE MIXED WITH A MAXIMUM OF 7 1/2 GALLONS OF WATER PER SACK OF CEMENT. CONCRETE TO REACH A STRENGTH OF 2000 PSI MINIMUM IN 28 DAYS.  
 2. USE TYPE I CEMENT FOR SOIL-CONTAINING A SULFATE CONCENTRATION OF .2 PERCENT OR MORE.  
**CONSTRUCTION.** 1. Concrete slabs and top concrete walls shall be a minimum of 6" above finish grade.  
 2. Reinforcing bars shall conform to ASTM A-615-40 and applicable U.B.C. standards.  
 3. Sill fastening: Exterior and interior bearing walls: 1/2" diameter X 10" anchor bolts 7" into concrete, 6"-0" O/C MAX., 12" from corners and splices, unless otherwise noted on plans or engineering calculations.  
 INTERIOR BEARING WALLS: Approved shot pins with cadmium washers, 3'-0" O/C maximum, 6" from corners & splices unless otherwise noted on plans or engineering calculations.  
 INTERIOR NON-BEARING WALLS: Approved shot pins with cadmium washers, 4'-0" O/C maximum, 6" from corners and splices unless otherwise noted on plans or engineering calculations.

**8. electrical**  
**MATERIALS.** 1. ALUMINUM WIRE NO. GANG AND SMALLER SHALL NOT BE USED IN ELECTRICAL WIRING.  
**WORKMANSHIP.** 1. ALL WORK SHALL BE IN FULL ACCORDANCE WITH ALL CODES, RULES AND REGULATIONS OF GOVERNING AGENCIES AND SHALL COMPLY WITH THE REQUIREMENTS OF THE SERVING POWER AND TELEPHONE COMPANIES.  
**INSTALLATION.** 1. ALL EQUIPMENT INSTALLED OUTDOORS AND EXPOSED TO WEATHER SHALL BE WEATHER-PROOF. RECEPTACLES IN KITCHEN AND BATHROOMS SHALL BE INSTALLED ABOVE WORK TOP UNLESS OTHERWISE NOTED ON PLANS.  
 2. RECEPTACLES SHALL BE INSTALLED VERTICALLY AT 12" ABOVE FLOOR.  
 3. WALL SWITCHES TO BE 42" ABOVE FLOOR.

THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS

5. SHAKES INSTALLED ON A ROOF HAVING A SLOPE LESS THAN 4 INCHES TO 12 INCHES SHALL BE INSTALLED OVER AN UNDERLAY OF NOT LESS THAN 30 POUNDS FELT, APPLIED WITH 20 POUNDS OF HOT ASPHALT FOR SOLID MOPPING (10 POUNDS FOR SPOT OR STRIP-MOPPING), OR NOT LESS THAN TWO GALLONS OF COLD BITUMINOUS COMPOUND IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED SPECIFICATIONS, OR 30 POUNDS OF HOT COAT TAR PITCH PER ROOFING SQUARE. BASE SHEETS SHALL BE NAILED, USING NOT LESS THAN ONE NAIL PER EACH 1 1/3 SQUARE FEET WITH NAILS OF THE TYPE REQUIRED BY THE MANUFACTURER FOR THE TYPE OF DECK.  
 6. NAILS FOR WOOD SHAKES SHALL BE NOT LESS THAN NO. 14 1/2 GAUGE CORROSION-RESISTANT AND SHALL BE LONG ENOUGH TO PENETRATE INTO THE SHEATHING 3/4 INCH, OR THROUGH THE THICKNESS OF THE SHEATHING, WHICHEVER IS LESS.  
 7. WEATHER EXPOSURES SHALL NOT EXCEED THOSE SET FORTH IN THE TABLE BELOW. HIP AND RIDGE WEATHER EXPOSURE: SHALL NOT EXCEED THOSE PERMITTED FOR THE FIELD OF THE ROOF.

MAXIMUM WEATHER EXPOSURE

TAPERED WOOD SHAKES	
18-INCH	7 1/2"
24-INCH	10"

STRAIGHT-SPLIT WOOD SHAKES	
18-INCH	5 1/2"
24-INCH	7 1/2"

8. ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN NO. 28 GALVANIZED SHEET GAUGE CORROSION-RESISTANT METAL AND SHALL EXTEND AT LEAST 11 INCHES FROM THE CENTER LINE EACH WAY AND SHALL HAVE A SPLASH DIVERTER RIB NOT LESS THAN 1 INCH HIGH AT THE FLOW LINE FORMED AS PART OF THE FLASHING. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4 INCHES.  
**BUILT-UP ROOFING MATERIALS.** 1. EACH PACKAGE OF FELTS, CEMENTS AND BASE-PLT-, COMBINATION-OR CAP SHEETS SHALL BEAR THE LABEL OF AN APPROVED TESTING LABORATORY HAVING A SERVICE FOR THE INSPECTION OF MATERIAL AND FINISHED PRODUCTS DURING MANUFACTURE FOR SUCH BUILT-UP ROOFING MATERIAL.  
 2. BUILT-UP ROOFING SHALL BE APPLIED TO SOLID ROOF SHEATHINGS AS SPECIFIED IN SECTION 6 OF THESE GENERAL NOTES.  
 3. BASE SHEETS SHALL BE NAILED, USING NOT LESS THAN ONE NAIL PER EACH 1 1/3 SQUARE FEET WITH NAILS OF THE TYPE REQUIRED BY THE MANUFACTURER FOR THE TYPE OF DECK. SUCCESSIVE LAYERS SHALL BE CEMENTED TO THE BASE SHEETS USING 20 POUNDS OF HOT ASPHALT FOR SOLID MOPPING (10 POUNDS FOR SPOT OR STRIP-MOPPING), OR NOT LESS THAN TWO GALLONS OF COLD BITUMINOUS COMPOUND IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED SPECIFICATIONS, OR 30 POUNDS OF HOT COAT TAR PITCH PER ROOFING SQUARE.  
 MINERAL AGGREGATE SURFACED ROOFS SHALL BE SURFACED WITH NOT LESS THAN 50 POUNDS OF HOT ASPHALT OR OTHER CEMENTING MATERIAL IN WHICH IS ENDSHED NOT LESS THAN 300 POUNDS OF GRAVEL OR OTHER APPROVED SURFACING MATERIALS OR 250 POUNDS OF CRUSHED SLAG PER ROOFING SQUARE.  
 CAP SHEETS SHALL BE CEMENTED TO THE BASE SHEETS USING NO LESS CEMENTING MATERIAL THAN THAT SPECIFIED FOR SOLIDLY CEMENTED BASE SHEETS.

**TILE, CLAY AND CONCRETE.** 1. ALL ROOF TILE SHALL BE SECURELY FASTENED WITH CORROSION-RESISTANT NAILS OR NAILS AND WIRE, OR OTHER APPROVED MEANS.  
 2. TILE WITH PROJECTING ANCHOR LUGS AT THE BOTTOM OF THE TILES SHALL BE HELD IN POSITION BY MEANS OF 1-INCH BY 2-INCH WOOD STRIPPING NAILED TO THE ROOF SHEATHING OVER THE UNDERLAY.  
 3. TILE ROOFS SHALL HAVE AN UNDERLAY OF NOT LESS THAN TWO LAYERS OF 15-POUND FELT OR ONE LAYER OF 30-POUND FELT, APPLIED WITH 20 POUNDS OF HOT ASPHALT FOR SOLID MOPPING (10 POUNDS FOR SPOT OR STRIP-MOPPING), OR NOT LESS THAN TWO GALLONS OF COLD BITUMINOUS COMPOUND IN ACCORDANCE WITH MANUFACTURER'S PUBLISHED SPECIFICATIONS, OR 30 POUNDS OF HOT COAT TAR PITCH PER ROOFING SQUARE. BASE SHEETS SHALL BE NAILED, USING NOT LESS THAN ONE NAIL PER EACH 1 1/3 SQUARE FEET WITH NAILS OF THE TYPE REQUIRED BY THE MANUFACTURER FOR THE TYPE OF DECK.  
 4. (WIRE) ATTACHING WIRE FOR CLAY OR CONCRETE TILE SHALL BE NOT SMALLER THAN NO. 14 GAUGE COMPLYING WITH U.B.C. STANDARDS APPLICABLE EDITION.  
 5. ROOF VALLEY FLASHING SHALL BE PROVIDED OF NOT LESS THAN NO. 28 GALVANIZED SHEET GAUGE CORROSION-RESISTANT METAL AND SHALL EXTEND AT LEAST 11 INCHES FROM THE CENTER LINE EACH WAY AND SHALL HAVE A SPLASH DIVERTER RIB NOT LESS THAN 1 INCH HIGH AT THE FLOW LINE FORMED AS PART OF THE FLASHING. SECTIONS OF FLASHING SHALL HAVE AN END LAP OF NOT LESS THAN 4 INCHES.

COMPLY-NEC (1984) & UMC,UPC,UBC (1982)

PLANS AS SUBMITTED FOR BUILDING PERMIT SHEET NO. 4 OF 9 SHEETS BY *idea* DATE 3-11-87 THESE PLANS MUST BE ON JOB WHEN INSPECTIONS ARE MADE

## 3. drs., win. & glass

**GLASS & GLAZING** IN LOCATIONS WHICH MAY BE SUBJECT TO HUMAN IMPACT SUCH AS FRAMELESS GLASS DOORS, GLASS ENTRANCE AND EXIT DOORS, FIXED GLASS PANELS, SLIDING GLASS DOORS, SHOWER DOORS, TUB ENCLOSURES, AND STORM DOORS SHALL MEET THE REQUIREMENTS SET FORTH IN THE UNIFORM BUILDING CODE APPLICABLE EDITION, STATE AND LOCAL CODES.

**WEATHER STRIPPING** 1. ALL SLIDING, SWINGING DOORS; AND WINDOWS OPENING TO THE EXTERIOR OR TO UNCONDITIONED AREAS SHALL BE FULLY WEATHER STRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT AIR INFILTRATION.  
 2. ALL MANUFACTURED WINDOWS AND SLIDING GLASS DOORS SHALL MEET THE AIR INFILTRATION STANDARDS OF THE 1972 AMERICAN NATIONAL STANDARDS INSTITUTE ASTM E283-73 WITH A PRESSURE DIFFERENTIAL OF 1.57 POUNDS PER SQUARE FOOT AND SHALL BE CERTIFIED AND LABELED.

## 4. moist. protection

**FLASHING** 1. ALL FLASHING, COUNTERFLASHING, AND COPING WHEN OF METAL SHALL BE OF NOT LESS THAN NO. 26 U.S. GAUGE CORROSION-RESISTANT METAL.  
 2. FLASH & COUNTERFLASH AT ALL ROOF TO WALL CONDITIONS. G.I. FLASH AND CAULK WOOD BEAMS AND OUT-LOOKERS PROJECTING THROUGH EXTERIOR WALLS OR ROOF SURFACES.  
 3. FLASH ALL EXTERIOR OPENINGS WITH APPROVED WATERPROOFING, WHICH CONFORMS TO STANDARD OF LOCAL AND STATE CODES.

**INSULATION** 1. ALL EXTERIOR WALLS, WALLS BETWEEN LIVING SPACE AND UNHEATED GARAGE OR STORAGE ROOM, BETWEEN JAMBS AND FRAMING, CEILINGS WITH COLD AREAS ABOVE, ATTIC ACCESS PANEL, KNEE WALLS ADJACENT TO HEATED SPACE, BETWEEN COMBINATION RAFTER AND CEILING JOINTS (LEAVE OPEN SPACE ABOVE FOR VENTILATION) TO HAVE A MINIMUM (BATT) INSULATION OF R-11 WALLS, R-19 CEILING, U.O.N. IN EXTERIOR.  
 2. BUILDER AND INSULATION INSTALLER ARE TO PROVIDE A CERTIFICATE OF INSTALLATION AND POST IN THE BUILDING IN A CONSPICUOUS LOCATION. THE INSULATION CERTIFICATE SHALL MEET STATE OF CALIFORNIA STANDARDS.  
 3. THESE PLANS CONFORM WITH TITLE 24 REQUIREMENTS.  
 4. ALL INSULATION SHALL BE APPROVED AND COMPLY WITH STATE STANDARDS.

**EXTERIOR FINISHES**  
**MOISTURE BARRIER.** 1. PROVIDE ONE (1) LAYER 15 POUND ASPHALT SATURATED FELT MINIMUM UNDER ALL EXTERIOR FINISHES.

**MATERIALS.** 1. ALL EXTERIOR MATERIALS SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM BUILDING CODE APPLICABLE EDITION, STATE AND LOCAL CODES.  
 2. (SHINGLES) THE THICKNESS OF WOOD SHINGLES BETWEEN WOOD NAILING BOARDS SHALL BE NOT LESS THAN 3/8 INCH. WOOD SHINGLES OR SIDING MAY BE NAILED DIRECTLY TO APPROVED FIBERBOARD NAILBASE SHEATHING NOT LESS THAN 1/2 INCH NOMINAL THICKNESS WITH APPROVED CORROSION-RESISTANT ANNUAL GROOVED NAILS. FIBERBOARD NAILBASE SHEATHING SHALL COMPLY WITH U.B.C. STANDARDS APPLICABLE EDITION AND STATE AND LOCAL CODES.  
 3. WOOD SHINGLE SIDING SHALL CONFORM TO THE FOLLOWING TABLE.

WOOD SHINGLE SIDING EXPOSURES

SHINGLE OR SHAKE LENGTH AND TYPE	MAXIMUM WEATHER EXPOSURES			
	SINGLE-COURSEING NO. 1	DOUBLE-COURSEING NO. 2	DOUBLE-COURSEING NO. 1	DOUBLE-COURSEING NO. 2
16-INCH SHINGLES	7 1/2"	7 1/2"	12"	10"
18-INCH SHINGLES	8 1/2"	8 1/2"	14"	11"
24-INCH SHINGLES	11 1/2"	11 1/2"	16"	14"
18-INCH RESAWN SHAKES	8 1/2"	--	14"	--
18-INCH STRAIGHT-SPLIT SHAKES	8 1/2"	--	16"	--
24-INCH RESAWN SHAKES	11 1/2"	--	20"	--

\* WOOD SHAKE ROOF TO BE MIN. CLASS 'C' FIRE RATED. ROOF SHALL BE FIREPROOFED AT RAFTER ENDS TO PRECLUDE ENTRY OF FLAME ENDS UNDER THE ROOF. ROOF OPENINGS COVERED W/ 1/2" G.I. MESH. SEC. 1704 AMENDED.  
**SHAKES.** 1. EACH BUNDLE OF WOOD SHAKES FOR ROOFS SHALL BE OF WESTERN RED CEDAR OR REDWOOD AND SHALL BEAR THE LABEL OF AN APPROVED INSPECTION BUREAU OR AGENCY CERTIFYING COMPLIANCE WITH U.B.C. STANDARDS STATE AND LOCAL CODES.  
 2. SHAKES SHALL BE LAID WITH A SIDE LAP OF NOT LESS THAN 1 1/2 INCHES BETWEEN JOINTS IN ADJACENT COURSES. EDGES SHALL BE PARALLEL WITHIN 1 INCH. SPACING BETWEEN SHAKES SHALL BE NOT MORE THAN 1/2 INCH.  
 3. EACH WOOD SHAKE SHALL BE FASTENED TO THE SHEATHING WITH TWO NAILS ONLY. THE STARTER COURSE SHALL BE DOUBLED.  
 4. SHAKES SHALL BE LAID WITH NOT LESS THAN 30-POUND WIDE STRIPS OF NOT LESS THAN 30-POUND SHINGLED BETWEEN EACH COURSE IN SUCH A MANNER THAT NO FELT IS EXPOSED TO THE WEATHER BELOW THE SHAKE BUTTS.

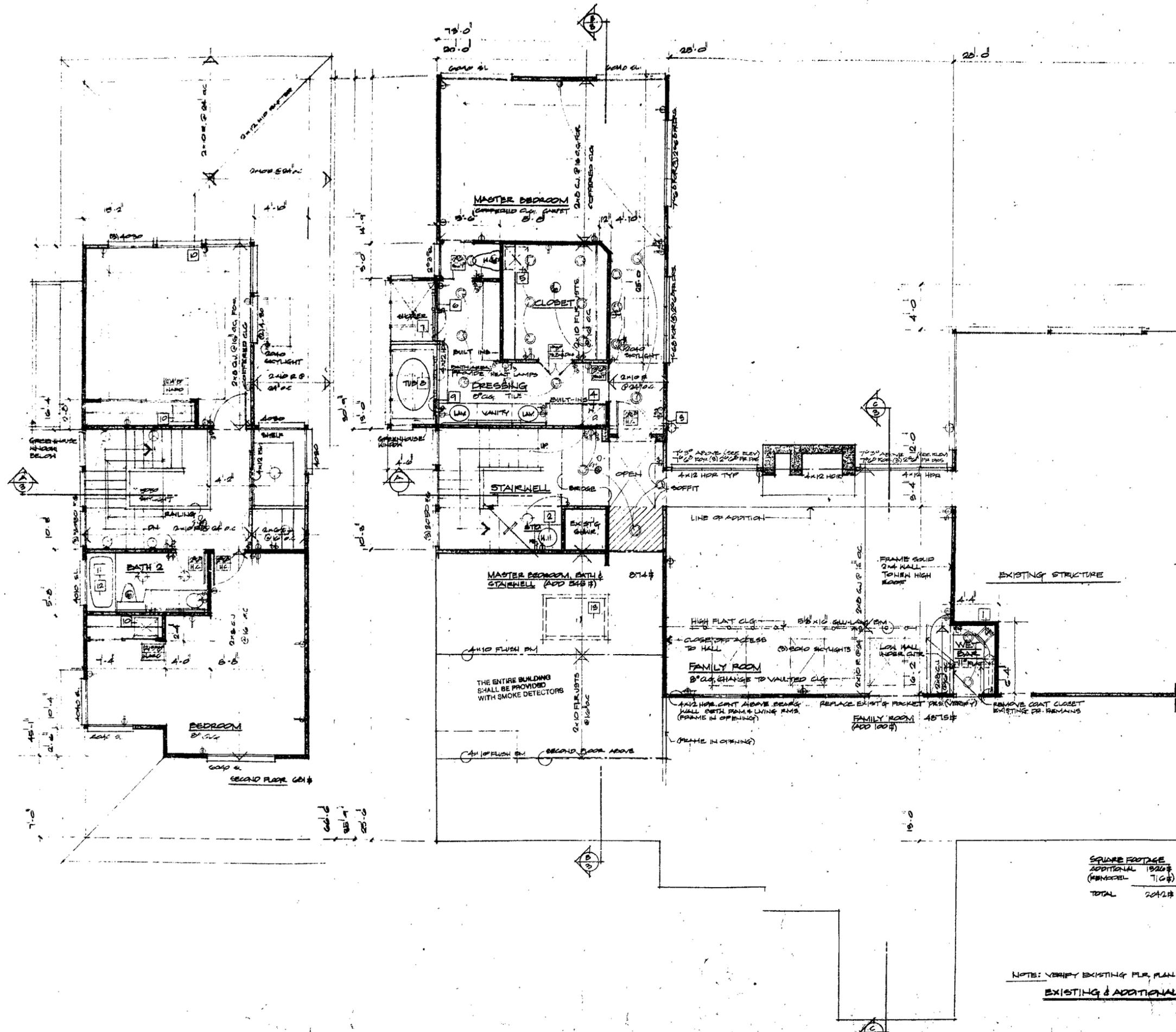
MARTHA A. FRODOVICH AIA

GENERAL CONDITIONS

B







- FLOOR PLAN NOTES
- 1 - 15"x15" WETBAR SINK.
  - 2 - PROVIDE 16" HIGH RIGID WOOD PLATFORM AT 50 GAL. FAST RECOVERY WATER HEATER. INSULATE ALL LINES TO FIXTURES.
  - 3 - DRYER VENT.
  - 4 - PROVIDE WASTE AND WATER FOR WASHING MACHINE.
  - 5 - 24"x24" UNDERFLOOR ACCESS.
  - 6 - PROVIDE FOR BUILT-IN HEATED TOWEL BARS. (verify)
  - 7 - 48"x64" SHOWER WITH CERAMIC TILE.
  - 8 - 42"x60" TUB (verify dimensions).
  - 9 - 42" HIGH WALL WITH CERAMIC TILE.
  - 10 - 22"x30" ATTIC ACCESS.
  - 11 - 60"x30" TUB w/ SHOWER, CERAMIC TILE MAINSCOT 70" ABOVE FLOOR.
  - 12 - SHATTER RESISTANT ENCLOSURE. LAMINATED FULLY TEMPERED.
  - 13 - FURNACE SHALL COMPLY WITH TITLE 24 ENERGY NOTES.

SQUARE FOOTAGE	
ADDITIONAL	1820#
(MINOR)	710#
TOTAL	2530#

COMPLY-NEC (1988) & UMC,UPC,UBC (1982)

PLANS AS SUBMITTED FOR BUILDING PERMIT

SHEET NO. 4 OF 9 SHEETS

BY *Ahea* DATE 3-11-87

THESE PLANS MUST BE ON JOB WITH INSTRUCTIONS AS MADE

NOTE: VERIFY EXISTING FLOOR PLAN FOR ACCURACY W/PLANS

EXISTING & ADDITIONAL FLOOR PLAN

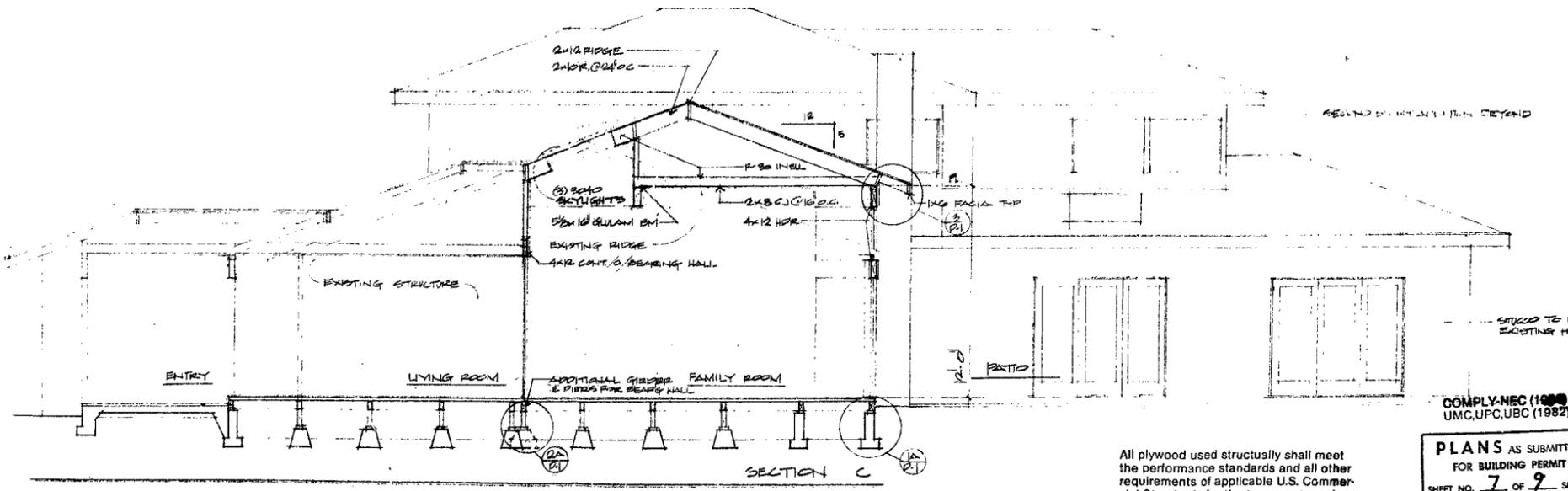
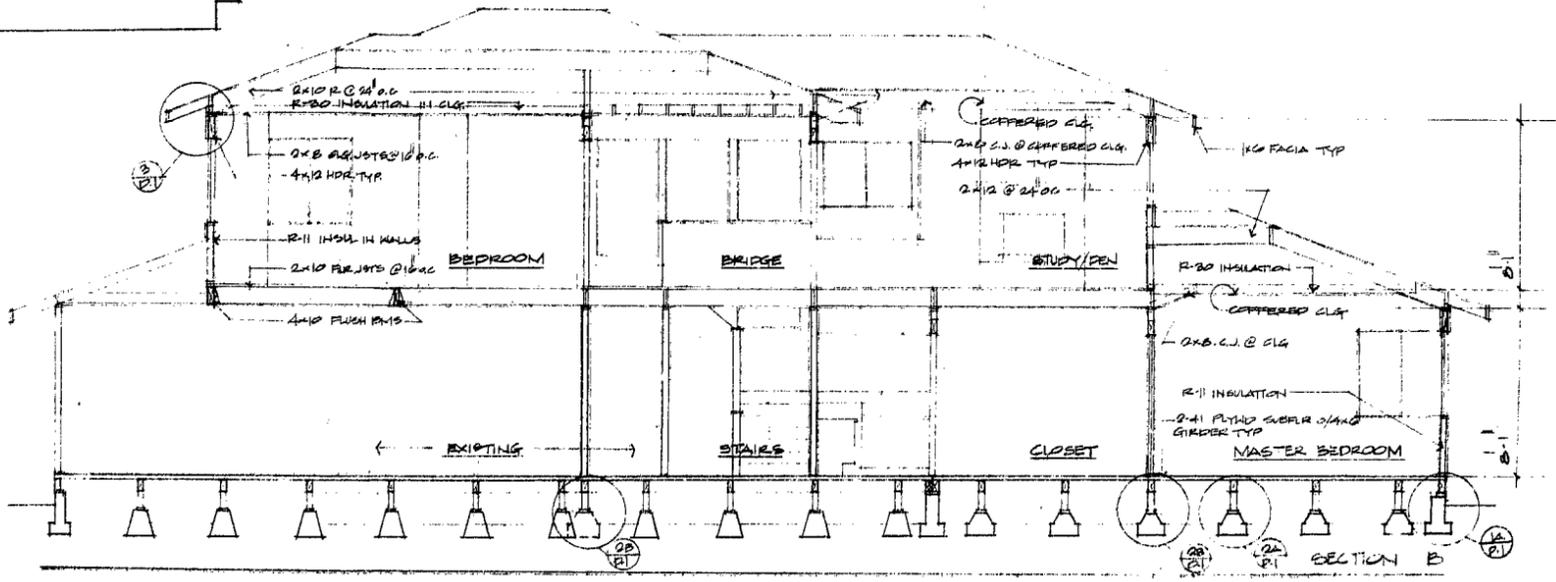
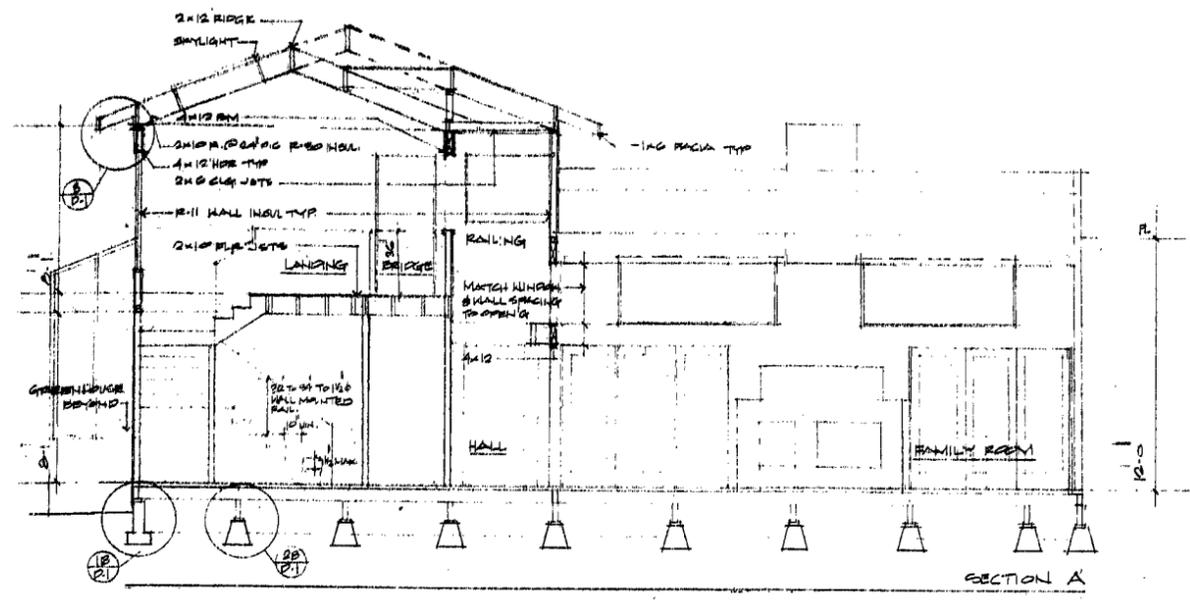
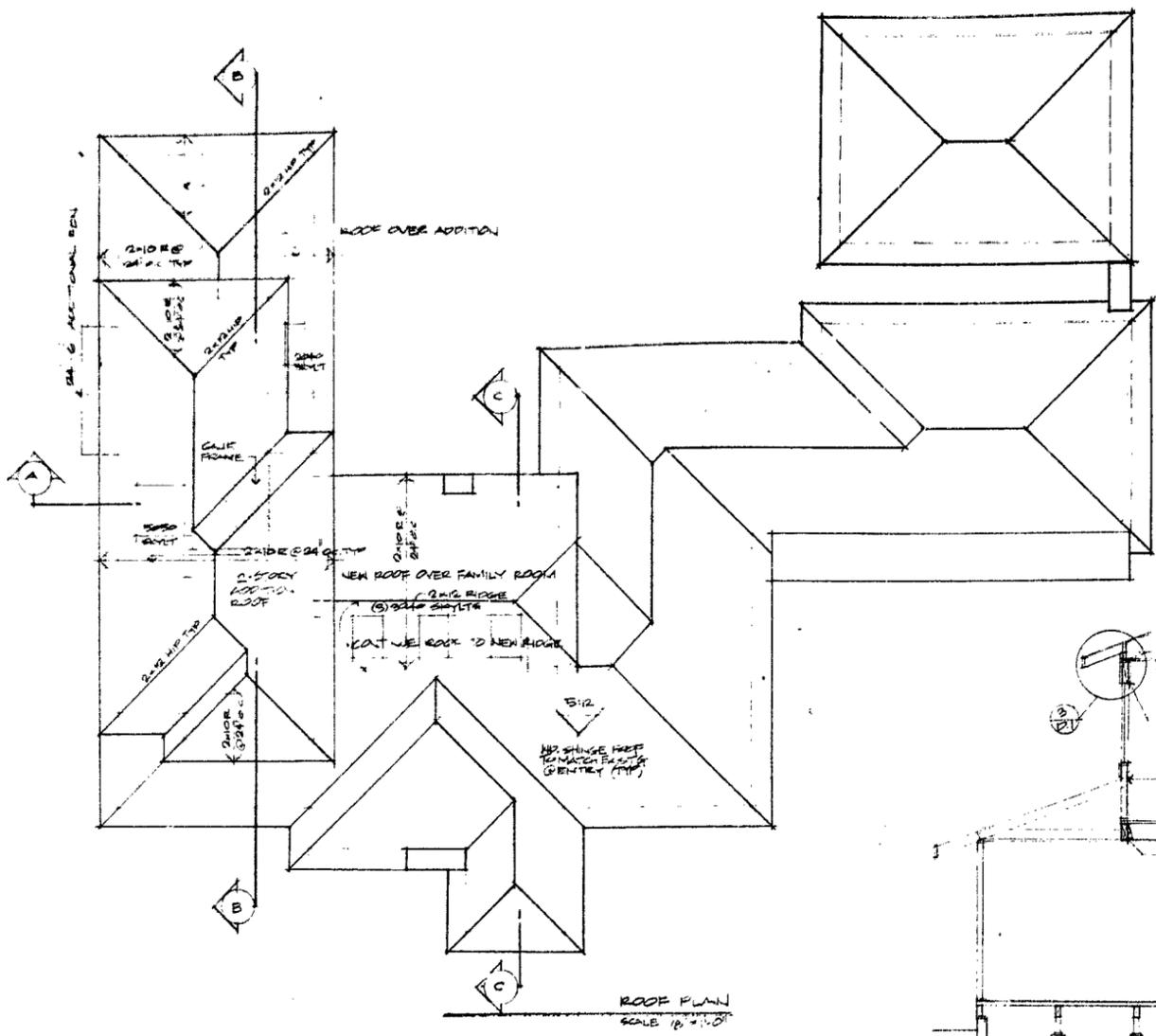
SCALE 1/4"=1'-0"

MARTHA A. FIOREVICH ALA ARCHITECT

FLOOR PLAN

2/4

FEB 26 1987



COMPLY-NEC (1989) & UMC,UPC,UBC (1982)

PLANS AS SUBMITTED FOR BUILDING PERMIT

SHEET NO. 7 OF 9 SHEETS

BY *abea* DATE 3-11-87

THIS PLANS MUST BE ON JOB WHEN INSPECTORS ARE MADE

All plywood used structurally shall meet the performance standards and all other requirements of applicable U.S. Commercial Standards for the type, grade and species of plywood and shall be so identified by an approved testing agency.

VERIFY EXISTING STRUCTURE FOR ACCURACY W/PLANS SECTIONS

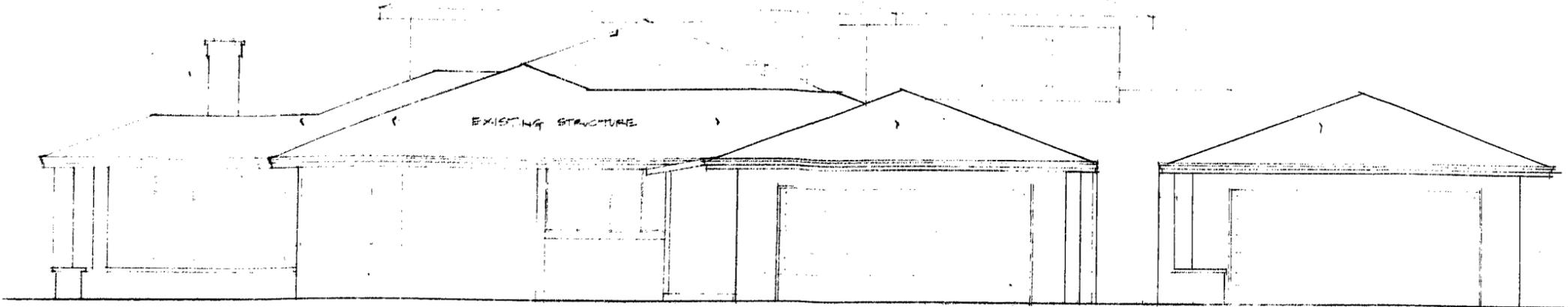
MARTHA A. FIOROVICH ALA

ARCHITECT

SECTIONS ROOF PLAN

3 4

SECOND STORY ADDITION  
EXTEND ROOF TO NEW FLOOR

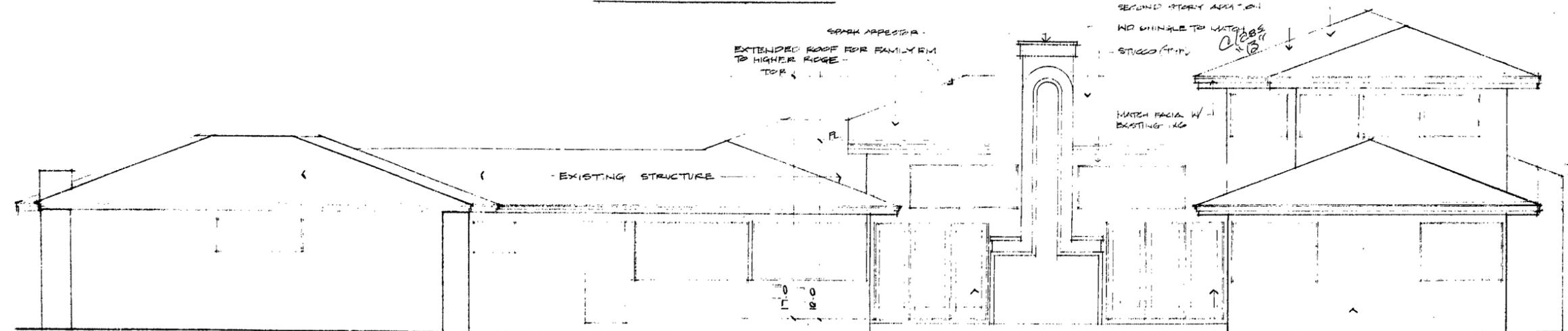


RIGHT ELEVATION

SPARK APERTURE  
EXTENDED ROOF FOR FAMILY RM  
TO HIGHER RIDGE  
TOP

SECOND STORY ADDITION  
NO SHINGLE TO MATCH  
STUCCO (TYP)

MATCH FACIA W/  
EXISTING W.G.



REAR ELEVATION

(B) PATIO DRG  
BRICK FIREPLACE  
(MATCH FRONT)

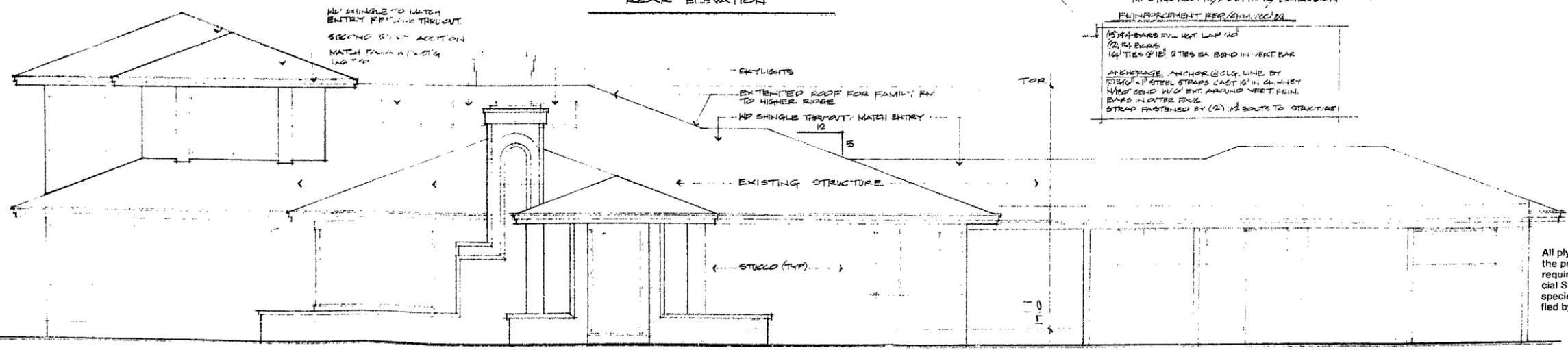
(B) PATIO DRG  
MASTER BEDRM ADDITION/EXTENSION

NO SHINGLE TO MATCH  
ENTRY FRIEZE THROUGH  
SECOND STORY ADDITION  
MATCH FACIA W/  
EXISTING W.G.

EX-LIGHTS  
EXTENDED ROOF FOR FAMILY RM  
TO HIGHER RIDGE  
NO SHINGLE THROUGH MATCH ENTRY  
TOP

REINFORCEMENT REQUIREMENTS  
15# REBARS @ 12" MAX LAP NO  
GAPS  
14# TIE RODS @ 24" MAX IN VERT DIR  
ANCHORAGE ANCHOR @ 12" MAX LINE BY  
10# @ 12" STEEL STRAPS CAST 10" IN CHIMNEY  
BASE IN OUTER FACE  
STRAP FASTENED BY (2) 1/2" BOLTS TO STRUCTURE

COMPLY-NEC (1984) &  
UMC, UPC, UBC (1982)  
PLANS AS SUBMITTED  
FOR BUILDING PERMIT  
SHEET NO. 8 OF 9 SHEETS  
BY *ALCA* DATE 3-11-87  
THESE PLANS MUST BE ON JOB  
WHEN INSPECTIONS ARE MADE



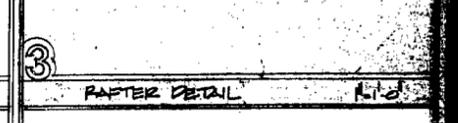
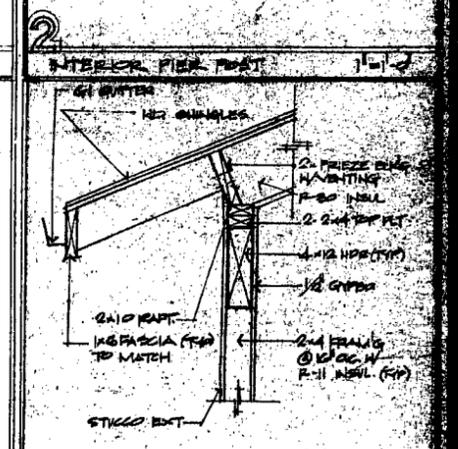
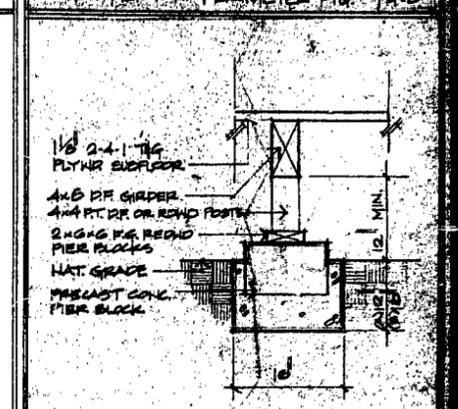
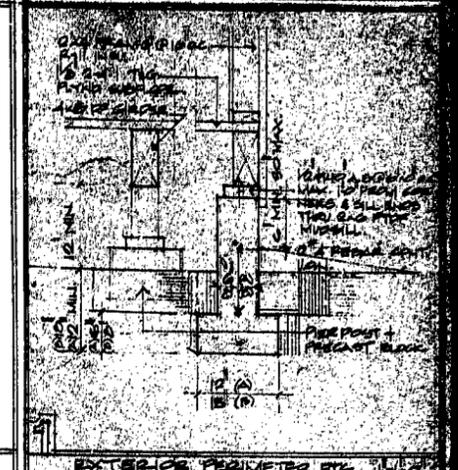
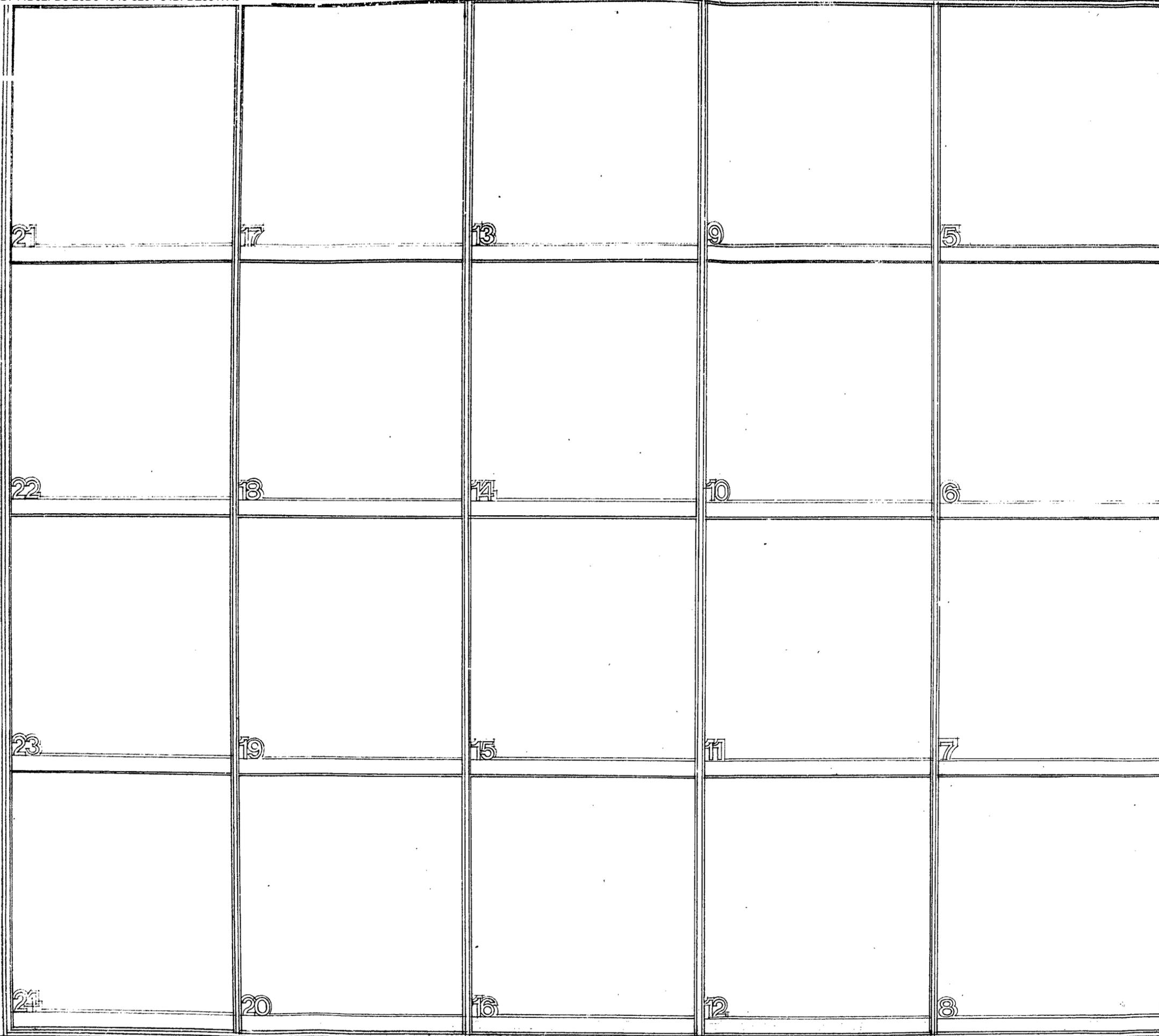
FRONT ELEVATION

All plywood used structurally shall meet the performance standards and all other requirements of applicable U.S. Commercial Standards for the type, grade and species of plywood and shall be so identified by an approved testing agency.

EXTERIOR ELEVATIONS  
SCALE 1/4" = 1'-0"

MARTHA A. FIOOROVICH A.I.A.  
ARCHITECT  
111 ALABAMA STREET  
WASHINGTON, D.C. 20004  
PHONE 703-528-1878

EXTERIOR ELEVATIONS  
4/4



THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTOR. COMPLY-NEC (1984) & UMC,UPC,UBC (1982)

PLANS AS SUBMITTED FOR BUILDING PERMIT

SHEET NO. 9 OF 9 SHEETS

BY *Alba* DATE 3-11-87

THESE PLANS MUST BE ON JOB WHEN INSPECTIONS ARE MADE

REGISTERED PROFESSIONAL ARCHITECT  
 MARTHA A. FIOROVICH  
 FEB 21 1987  
 C-12,760  
 STATE OF CALIFORNIA

MARTHA A. FIOROVICH AIA  
 ARCHITECT

DETAILS

D-1