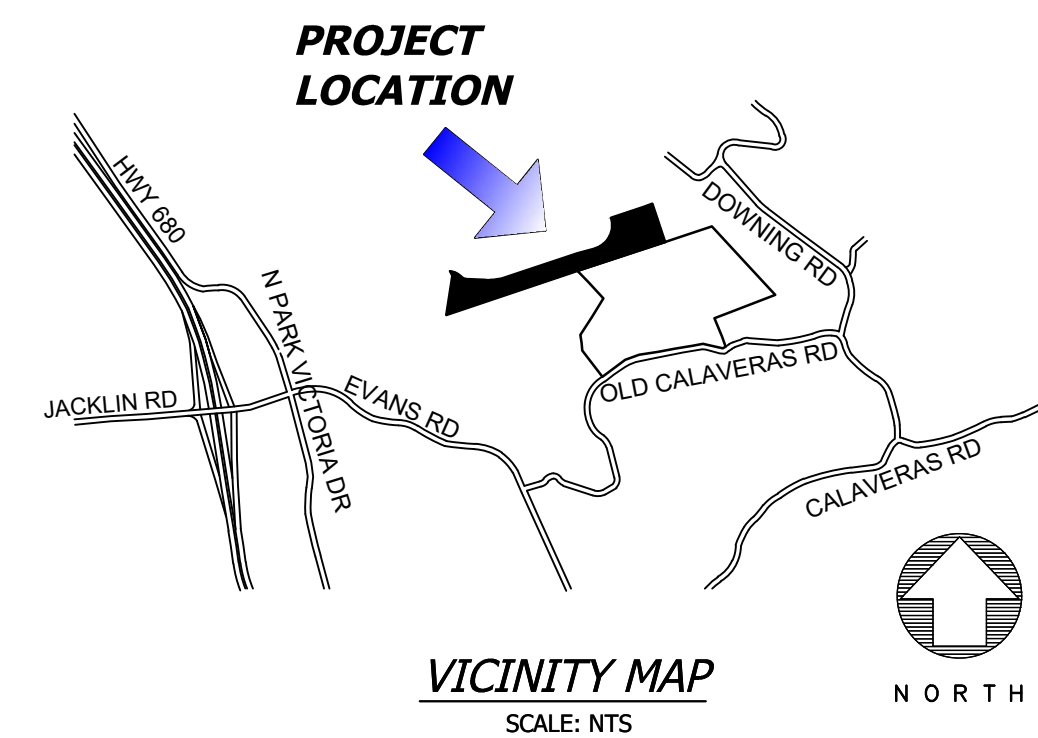


BARSANA RESIDENCE

APN: 029-35-007



INDEX OF SHEETS

- C0.1 - COVER SHEET
- C0.2 - PROPOSED EASEMENT
- C1.0 - EXISTING ACCESS ROAD PLAN
- C1.1 - EXISTING ACCESS ROAD PROFILE
- C1.2 - PROPOSED ACCESS ROAD PLAN & PROFILE
- C1.3 - PROPOSED ACCESS ROAD PLAN & PROFILE
- C1.4 - PROPOSED ACCESS ROAD PLAN & PROFILE
- C1.5 - PROPOSED ACCESS ROAD PLAN & PROFILE
- C2.0 - ENLARGED SITE PLAN
- C2.1 - PROFILES/SECTIONS
- C3.0 - OVERALL SITE PLAN & CUT/FILL ANALYSIS
- C3.1 - CUT/FILL SECTIONS
- C3.2 - CUT/FILL SECTIONS
- C4.1 - DETAILS
- C4.2 - DETAILS
- C5.1 - EROSION CONTROL
- C6.1 - ALTERNATE SITE PLAN
- P01 - 0' AND 5' LVL PLAN
- P02 - 12' LVL PLAN
- P03 - AREA CALCULATION
- P04 - SECTIONS
- P05 - ELEVATIONS
- P06 - VIEWS
- A01 - FLOOR PLAN
- A02 - ELEVATIONS
- A03 - SECTIONS
- A04 - VIEWS
- L01 - LIVESTOCK SHED FLOOR PLAN, ELEVATIONS AND SECTIONS

NOTES

A.P.N.	029-35-007
PRESENT USE:	AGRICULTURE/RANCH LAND/
PROPOSED USE:	AGRICULTURE/RANCH LAND/
PRESENT ZONING:	HS-D2
PROPOSED ZONING:	HS-D2
SANITARY SEWER:	SEPTIC
WATER SUPPLY:	PRIVATE WELL
GAS & ELECTRIC:	P.G. & E.
TELEPHONE:	A.T.&T.
EXISTING IMPROVEMENTS:	NONE
TOTAL PROJECT ACREAGE:	15.768 ACRES

GENERAL NOTES

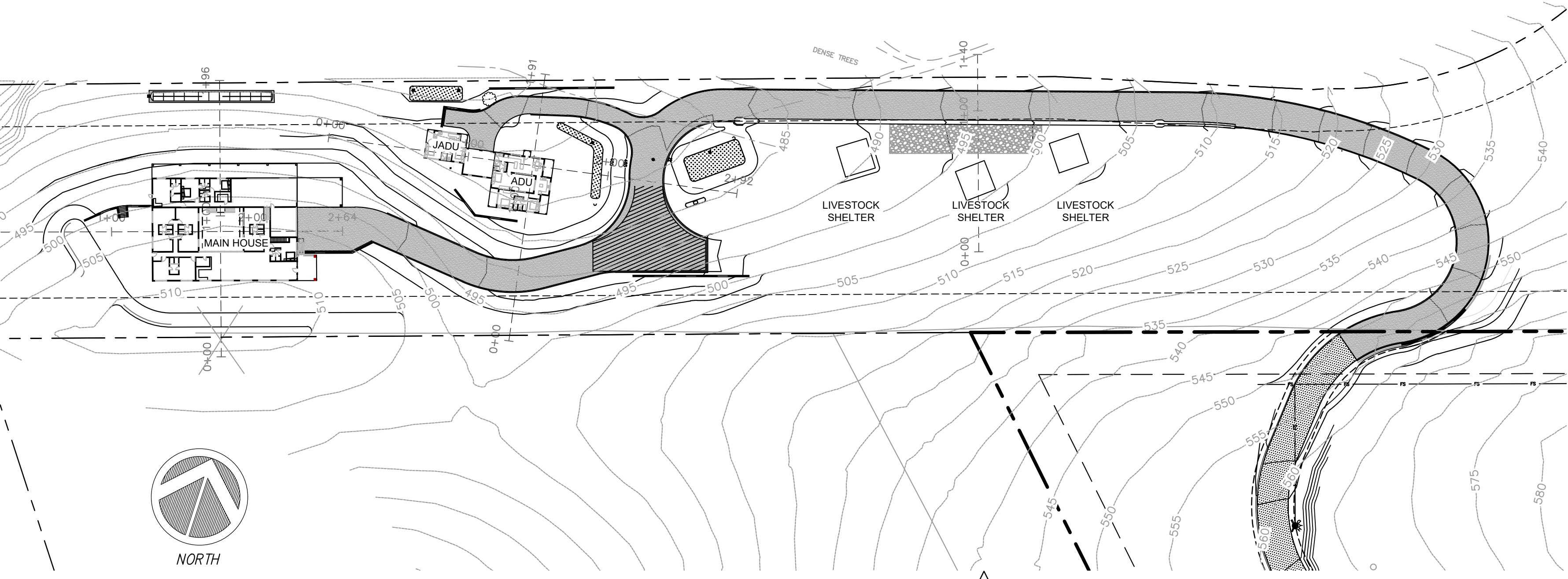
NO CHANGE TO THE GRADING PLAN SHALL BE PERMITTED WITHOUT PRIOR APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVES.

CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND INVERTS OF EXISTING UTILITY PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVES OF VARIANCE FROM THOSE SHOWN ON THE PLANS.

UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND IN FIELD. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO CONSTRUCTION, DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE SAME FROM DAMAGE. PRIOR TO CONSTRUCTION, VERIFY LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AT THE CROSSING POINTS WITH PROPOSED UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVES IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITION HAS BEEN EVALUATED. CONTACT UNDERGROUND SERVICES ALERT (USA) (1-800-227-2600) TWO (2) WEEKS PRIOR TO DIGGING. REPAIR UNDERGROUND UTILITIES DAMAGED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES ASSOCIATED WITH CONTRACTOR'S FAILURE TO EXACTLY LOCATED AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. AND SHALL NOTIFY U.S.A. @ (800) 227-2600 AT LEAST 48-HOURS IN ADVANCE OF EXCAVATION.

IF ANY INDICATIONS OF ARCHEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING ACTIVITIES FOR ANY DEVELOPMENT WITHIN THE PROJECT SITE, ALL WORK SHALL BE HALTED WITHIN 200 FOOT RADIUS OF THE FIND. OWNER SHALL RETAIN A QUALIFIED ARCHEOLOGIST RETAINED TO DETERMINE THE NATURE OF THE DISCOVERY AND RECOMMEND APPROPRIATE EVALUATION PROCEDURES.



OWNER/DEVELOPER:
BARSANA LLC,
40762 GREYSTONE TERRACE
FREMONT, CA 94538
PHONE: (216) 496-9596
EMAIL: vijay.datt@ihf-usa.org

CIVIL ENGINEER:
C2G/CIVIL CONSULTANTS GROUP, INC.
4444 SCOTT'S VALLEY DRIVE STE. 6
SCOTT'S VALLEY, CA 95066
OFFICE: (831) 438-4420

SURVEYOR:
ALPHA LAND SURVEYS, INC.
4444 SCOTT'S VALLEY DRIVE STE. 7
SCOTT'S VALLEY, CA 95066
OFFICE: (831) 438-4453

FIRE ACCESS NOTE
FIRE DEPARTMENT ACCESS SHALL BE MADE OF AN "ALL WEATHER" MATERIAL CAPABLE OF HOLDING 75,000 POUNDS.

DEFERRED SUBMITAL NOTE
THE FOLLOWING SHALL BE DEFERRED AND SUBMITTED SEPARATELY FROM THIS APPLICATION:
A. RESIDENTIAL FIRE SPRINKLERS.
B. FIRE PROTECTION UNDERGROUND (STANDARD FIRE HYDRANT).

BUILDING SITE APPROVAL SLOPE CALCULATIONS

$$S = \frac{I * L}{A} (100)$$

S = AVERAGE SLOPE OF THE AREA IN PERCENT
I = IS THE CONTOUR INTERVAL IN FEET
L = IS THE COMBINED LENGTH OF CONTOUR LINES IN FEET
A = SITE DEVELOPMENT AREA IN SQUARE FEET

PROPOSED DEVELOPED AREA FOR LOT

$$S = \frac{1 * 30,251}{158,412 \text{ SQ.FT.}} (100) = 19.10\% \text{ AVE. SLOPE}$$

DESCRIPTION	AREA (SQ. FT.)	AREA (ACRES)	EQUIVALENT AREA (ACRES)
EXISTING	0	0	0
MAIN BUILDING & GARAGE	9,439	0.217	0.217
JADU & ADU	2,537	0.058	0.058
AC ROAD	26,632	0.611	0.611
CONCRETE VALLEY GUTTER	1,072	0.025	0.025
PROPOSED ANIMAL SHELTERS	1,452	0.033	0.033
GRAVEL BASEROCK (PARKING)	2,201	0.051	0.031
TOTAL (N) IMPERVIOUS AREA	43,333	0.995	0.995
TOTAL LOT AREA	686,854	15.768	15.768
IMPERVIOUS % OF TOTAL LOT			6.3%

DESCRIPTION	AREA (SQ. FT.)	AREA (ACRES)	EQUIVALENT AREA (ACRES)
NEW ASPHALT ROAD	18,780	0.431	0.431

NOTE: EXISTING GRAVEL ROAD TO BE ASPHALTED PER 2022 RECLAMATION PLAN AMENDMENT FROM STATION 5+50 TO 15+26

DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)	NET (cu.yds)	MAX CUT (ft) HEIGHT	MAX FILL (ft) HEIGHT
MAIN BUILDING	682	485	197(C)	8	6
ADU/JADU	401	323	78(C)	5	4
ROAD (APN 029-35-007)	2808	3030	222(F)	11	10
ROAD (APN 029-34-004)	1746	2219	473(F)	6	8
SHELTERS	120	202	82(F)	3	3
TOTAL	5757	6259	502(F)		

NET VOLUME = 502 CU.YDS. OF FILL

THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.

CONTRACTOR RESPONSIBILITY

CONTRACTOR AGREES THAT HE SHOULD ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED DURING WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGN PROFESSIONALS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

DISCREPANCIES

IF THERE ARE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE DESIGN PROFESSIONAL FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

CONSTRUCTION SURVEYING / STAKING

CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL SURVEYING AND OR STAKING BY A LICENSED SURVEYOR FOR ALL CONSTRUCTION PURPOSES.

ADDITIONAL NOTES

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

- THE STANDARD SPECIFICATIONS AND DETAILS, LATEST EDITION, OF THE COUNTY OF SANTA CLARA SHALL GOVERN UNLESS OTHERWISE SPECIFIED HEREIN.

UNAUTHORIZED CHANGES AND USES

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THE PLANS

FIRE PROTECTION NOTES

1. ALL DRIVEWAYS AND ACCESS ROADS TO MEET COUNTY STANDARD SD1.
2. ALL DRIVEWAYS, ACCESS ROAD, AND PARKING LOTS TO BE MADE OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS AND HAVE A MAXIMUM SLOPE OF 16%.
3. WATER TANKS TO HAVE A MINIMUM HEIGHT OF 12 FEET AND MEET STANDARDS SET IN CFM0 W2 & W5. TANKS GREATER THAN 12 FEET IN HEIGHT WILL REQUIRE A SEPARATE BUILDING PERMIT.
4. FIRE HYDRANT SHALL MEET STANDARDS SET IN CFM0-W2.
5. WATER TANK SHALL BE SIZED PER NFPA 1142 TO INCLUDE SPRINKLER DEMAND AND HYDRANT DEMAND.
6. ALL STRUCTURES SHALL MEET WILDLAND URBAN INTERFACE (WUI) REQUIREMENTS AT BUILDING PERMIT SUBMITTAL.
7. NFPA 13 FIRE SPRINKLERS SHALL BE INSTALLED IN ALL BUILDINGS AND WILL BE A DEFERRED SUBMITTAL.
8. ALL DEFERRED SUBMITTALS FOR FIRE PROTECTION UNDERGROUND, FIRE HYDRANTS, WATER TANKS, & FIRE PUMP.
9. PROPERTY TO MAINTAIN 100 FEET DEFENSIBLE SPACE AT ALL TIMES.
10. STRUCTURES SHALL CONFORM TO WUI BUILDING REQUIREMENTS.

ALL CONSTRUCTION SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES AND THE CODES LISTED BELOW OR THE MOST CURRENT CODES AND ORDINANCES AT THE TIME OF SUBMITTAL

2019 CALIFORNIA CODES

1. 2019 CALIFORNIA BUILDING CODE
2. 2019 CALIFORNIA ELECTRICAL CODE
3. 2019 CALIFORNIA MECHANICAL CODE
4. 2019 CALIFORNIA PLUMBING CODE
5. 2019 CALIFORNIA GREEN CODE
6. 2019 CALIFORNIA ENERGY CODE
7. 2019 CALIFORNIA RESIDENTIAL CODE
8. 2019 CALIFORNIA FIRE CODE

REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

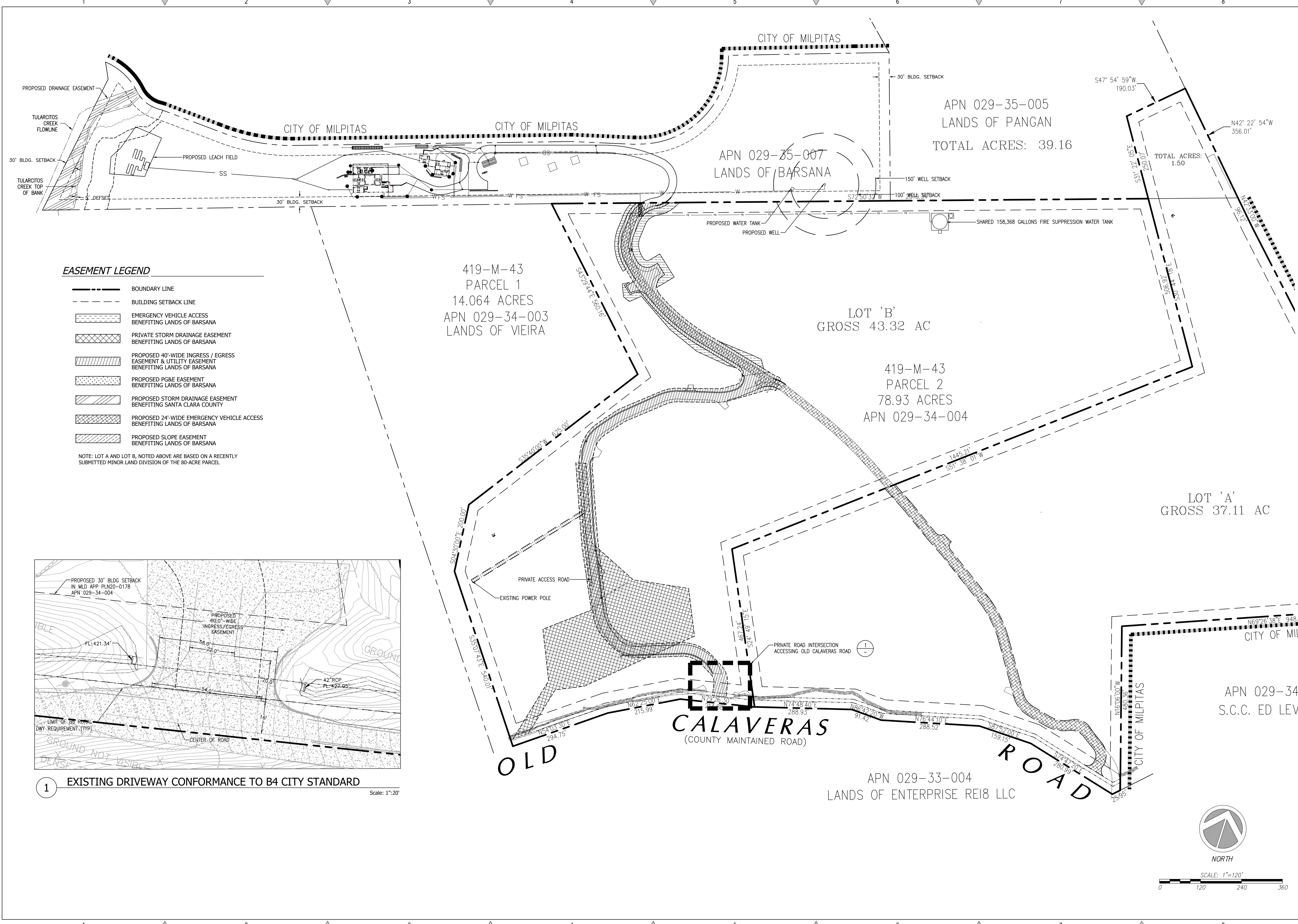
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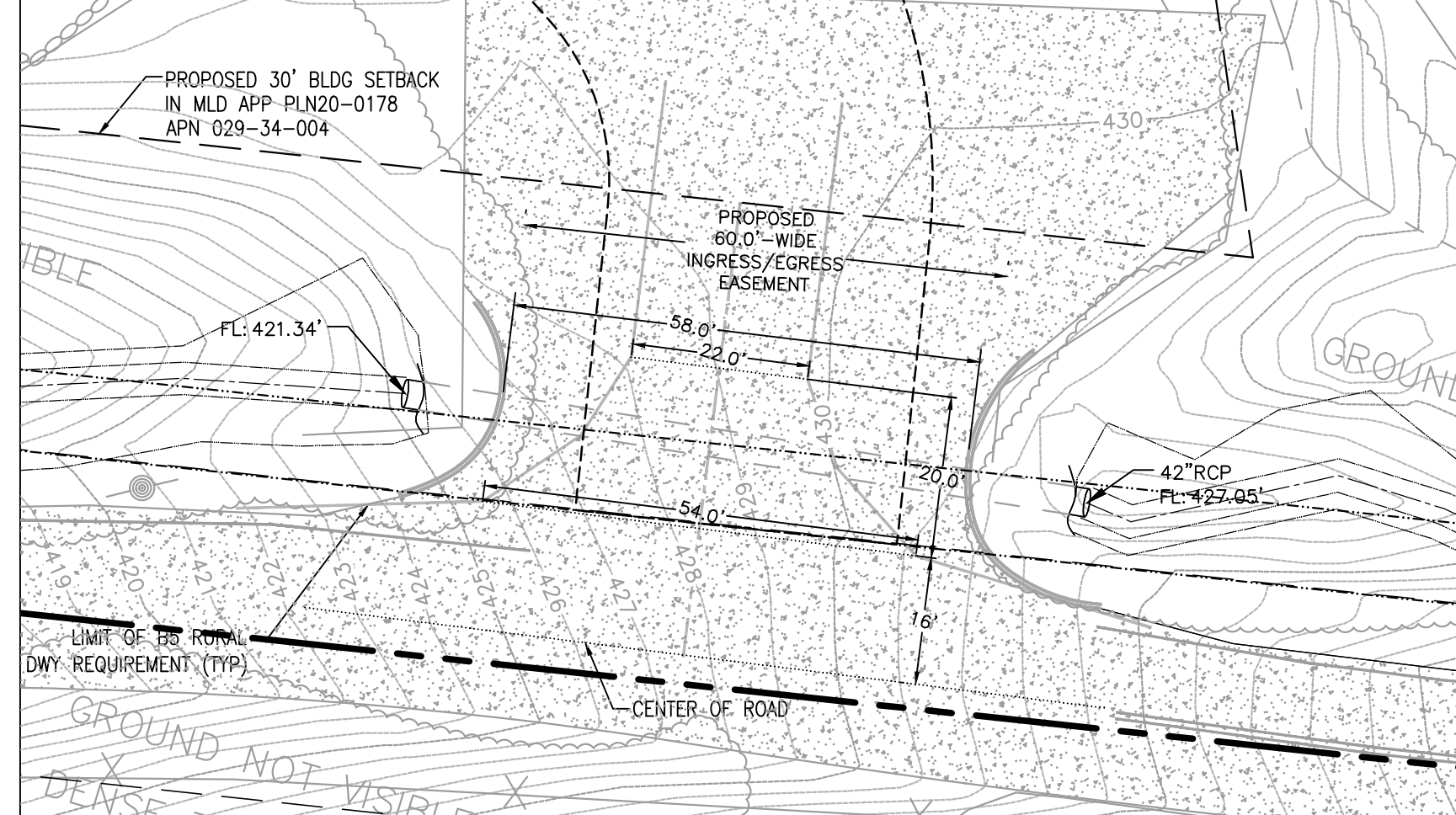
C2G CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4444 SCOTT'S VALLEY DRIVE
SCOTT'S VALLEY, CA 95066
F (831) 438-4420
T (831) 438-4420
By: License/Stamp

BARSANA RESIDENCE
AUGUSTE COURT
APN: 029-35-007

Date: 08/06/21
Scale: 1" = 60'
Drawn: DD
Job: 3007.02
Sheet: C0.1
Of 28 Sheets



- EASEMENT LEGEND**
- BOUNDARY LINE
 - BUILDING SETBACK LINE
 - EMERGENCY VEHICLE ACCESS BENEFITING LANDS OF BARSANA
 - PRIVATE STORM DRAINAGE EASEMENT BENEFITING LANDS OF BARSANA
 - PROPOSED 40'-WIDE INGRESS / EGRESS EASEMENT & UTILITY EASEMENT BENEFITING LANDS OF BARSANA
 - PROPOSED PG&E EASEMENT BENEFITING LANDS OF BARSANA
 - PROPOSED STORM DRAINAGE EASEMENT BENEFITING SANTA CLARA COUNTY
 - PROPOSED 24'-WIDE EMERGENCY VEHICLE ACCESS BENEFITING LANDS OF BARSANA
 - PROPOSED SLOPE EASEMENT BENEFITING LANDS OF BARSANA
- NOTE: LOT A AND LOT B, NOTED ABOVE ARE BASED ON A RECENTLY SUBMITTED MINOR LAND DIVISION OF THE 80-ACRE PARCEL.



1 EXISTING DRIVEWAY CONFORMANCE TO B4 CITY STANDARD
Scale: 1"=20'

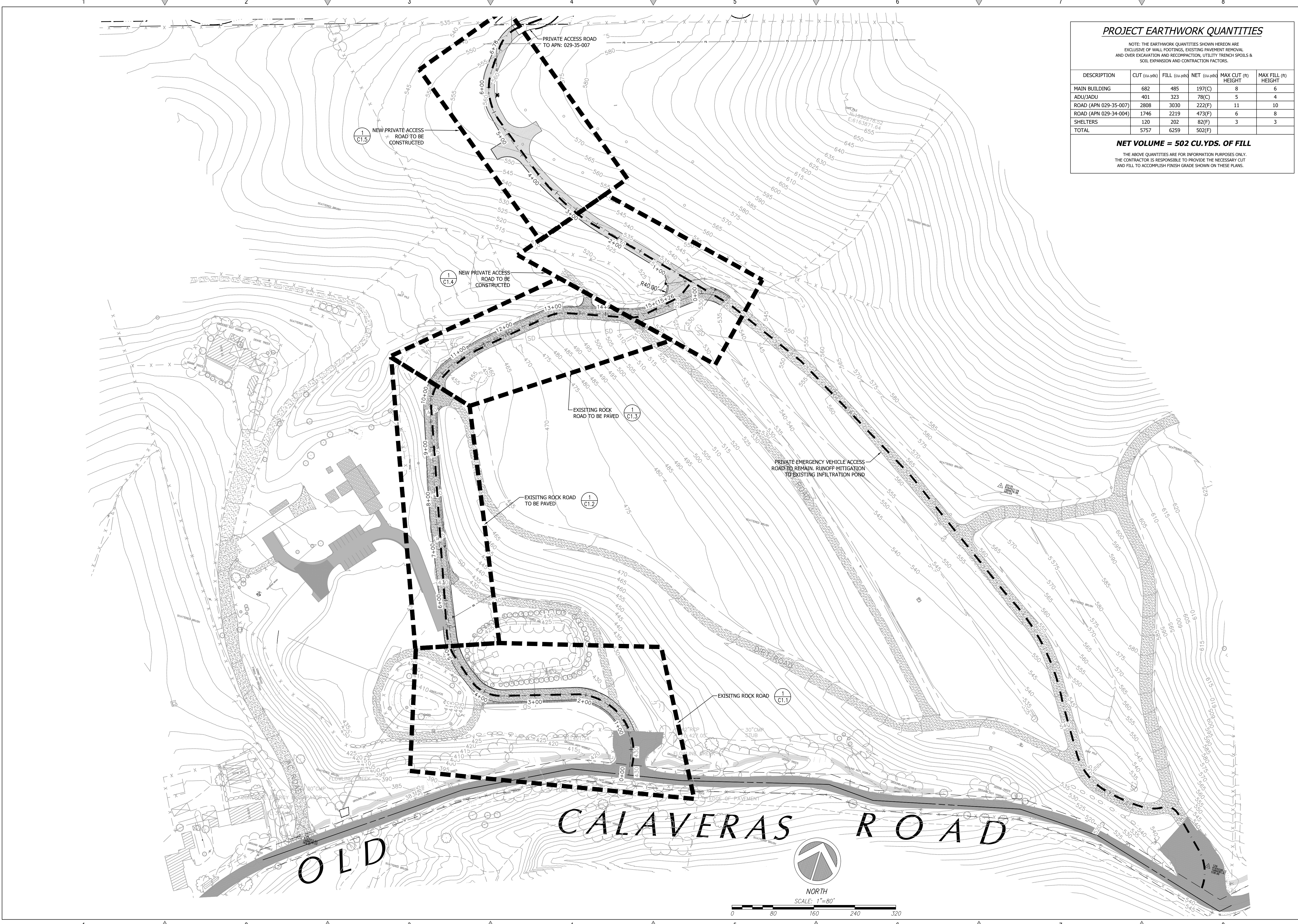
REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

PROPOSED SITE ACCESS & EASEMENTS

C2G CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4400 Scotts Valley, CA 95066 / Suite 6
T (831) 438-4420 F (831) 438-4420
Leaf Pattern: used Apr 20, 2022 = 8:53am By: Lamm/Lamm/leaf

BARSANA RESIDENCE AUGUSTE COURT
APN: 029-35-007

Date: 08/06/21
Scale: 1" = 120'
Drawn: DD
Job: 3007.02
Sheet: C0.2
Of 28 Sheets



PROJECT EARTHWORK QUANTITIES

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL AND OVER EXCAVATION AND RECOMPACTION, UTILITY TRENCH SPOILS & SOIL EXPANSION AND CONTRACTION FACTORS.

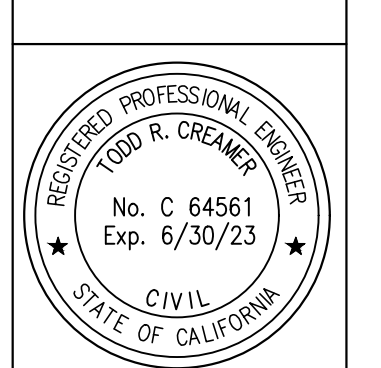
DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)	NET (cu.yds)	MAX CUT (ft) HEIGHT	MAX FILL (ft) HEIGHT
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REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

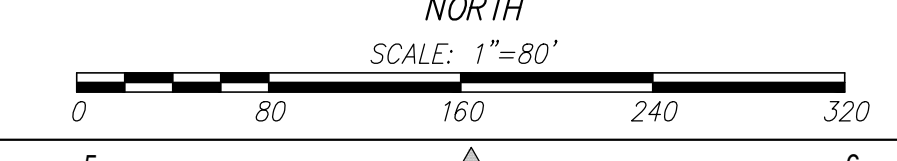
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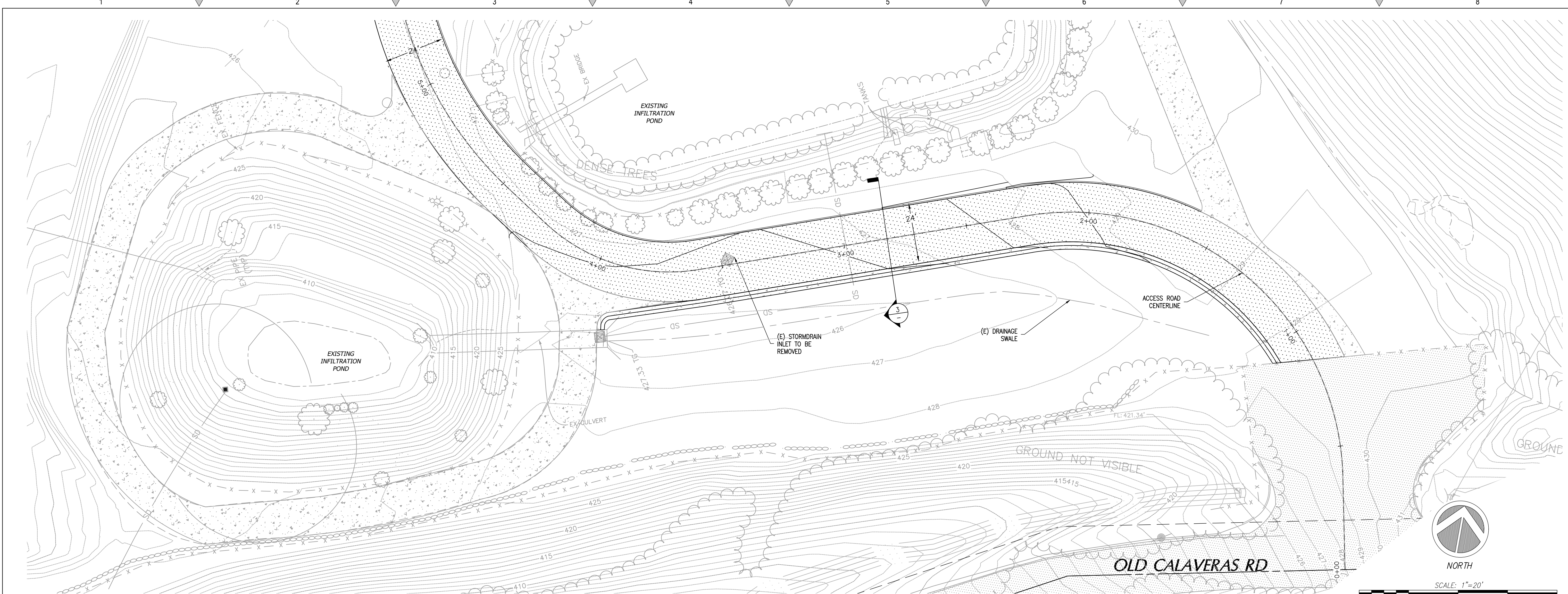


C2G CIVIL CONSULTANTS GROUP, INC.
 Engineers/Planners
 4400 Scotts Valley Blvd., Suite 6
 Scotts Valley, CA 95066
 T (831) 438-4420 F (831) 438-4420
Exp. 07/20/22 - 8:55am By: Lauren/ur/m

BARSANA RESIDENCE
AUGUSTE COURT
APN: 029-35-007

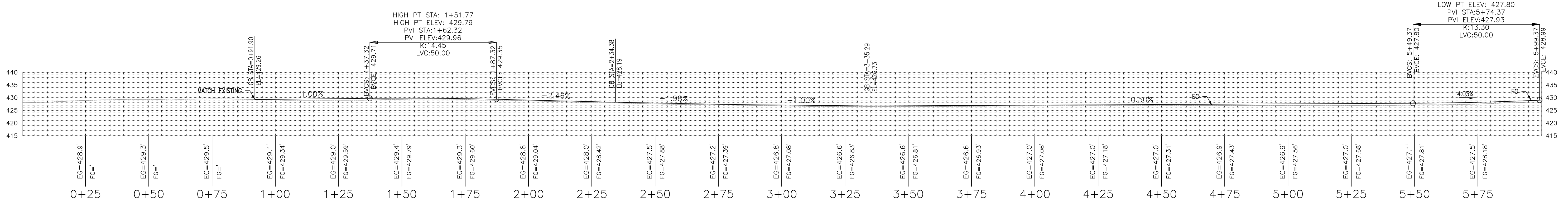
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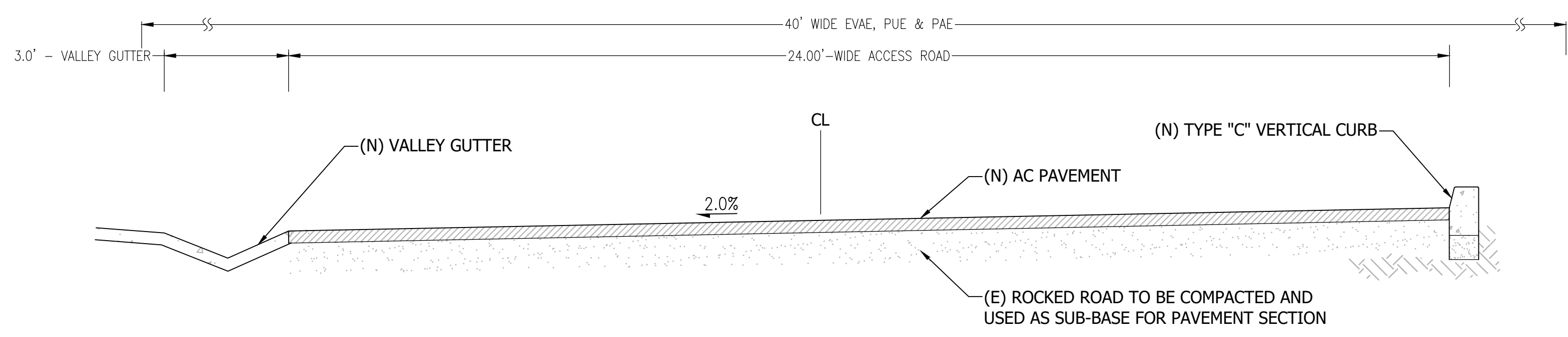
1 EXISTING ACCESS ROAD PLAN

Scale: 1:20



2 ACCESS ROAD PROFILE - STA. 0+00 TO 6+00

Scale: 1:20



3 24'-WIDE ACCESS ROAD SECTION

Scale: 1":2'

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1 RESPONSE TO SCC COMMENTS 11/05/21	DD

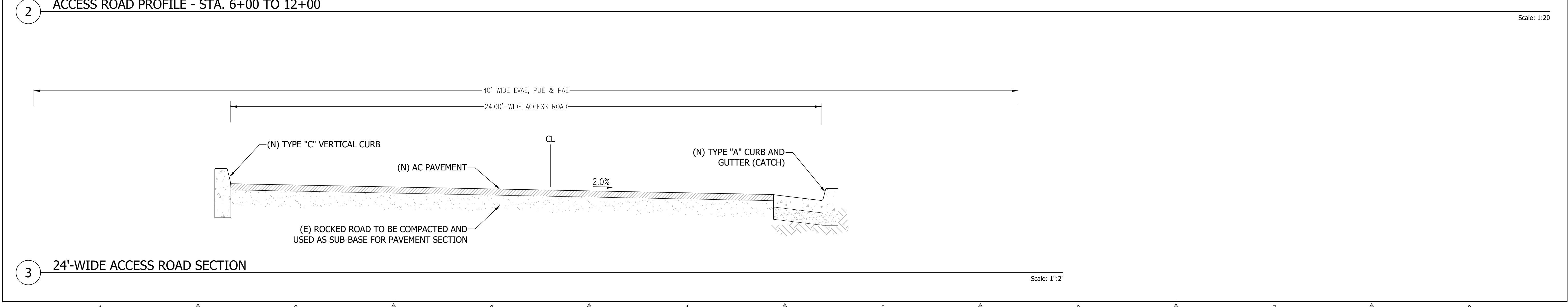
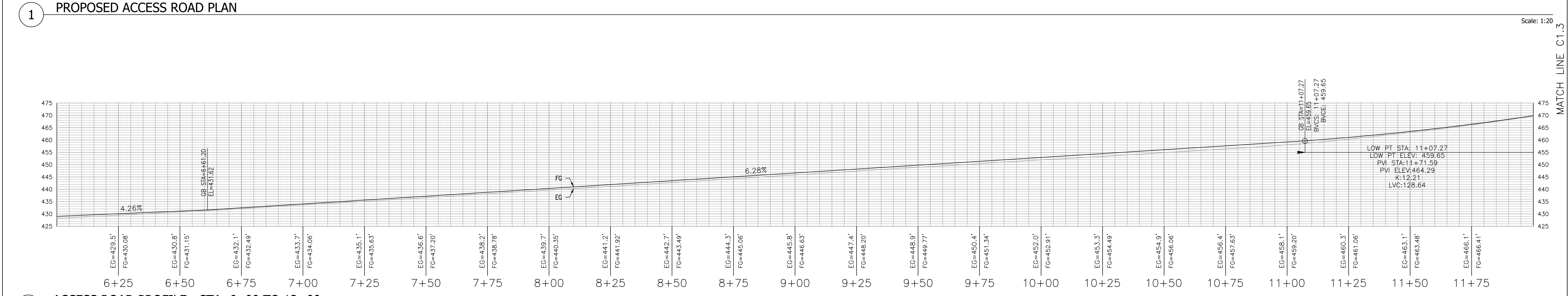
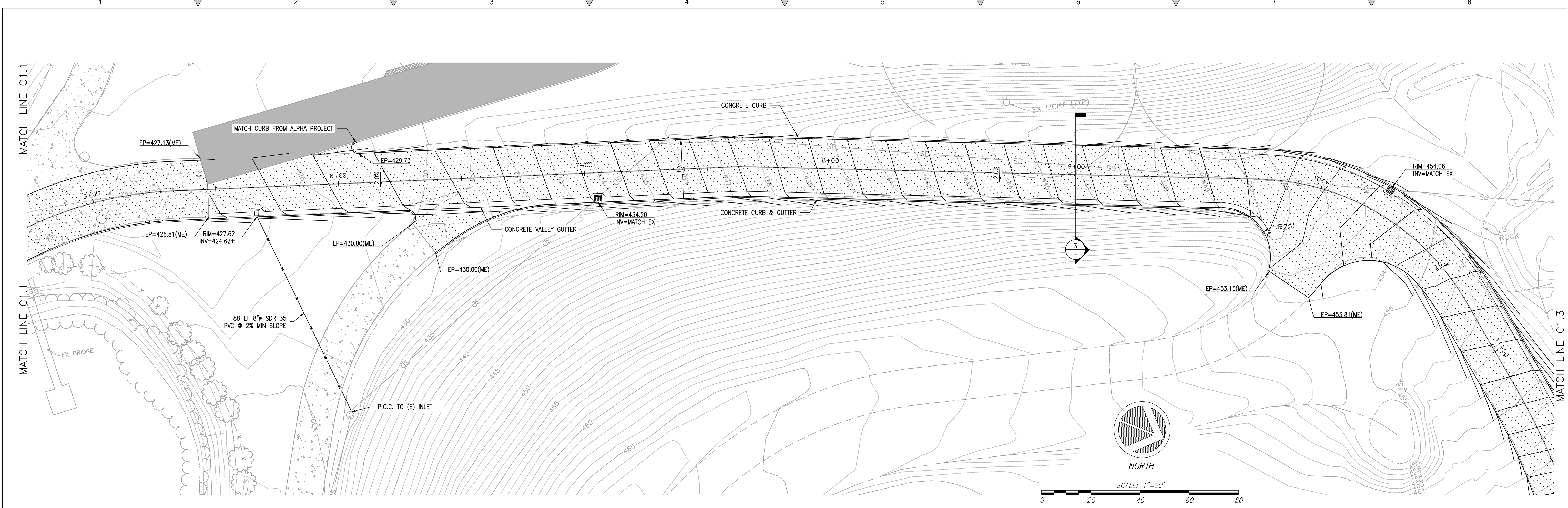
EXISTING ACCESS ROAD PLAN & PROFILES



C2G CIVIL CONSULTANTS GROUP, INC.
 Engineers/Planners
 4400 Scotts Valley, CA 95066
 T (831) 438-4420 F (831) 438-4420
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 Last Printed: Wed, Apr 20, 2022 - 8:53am
 By: LaurenLambert

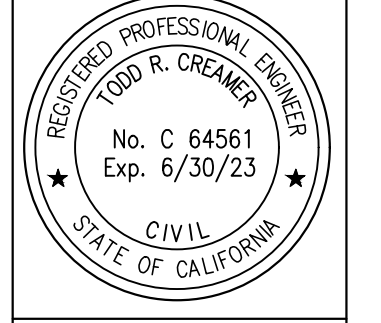
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AUGUSTE COURT
APN: 029-35-007

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Of	28 Sheets



REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

ACCESS ROAD PLAN & PROFILES

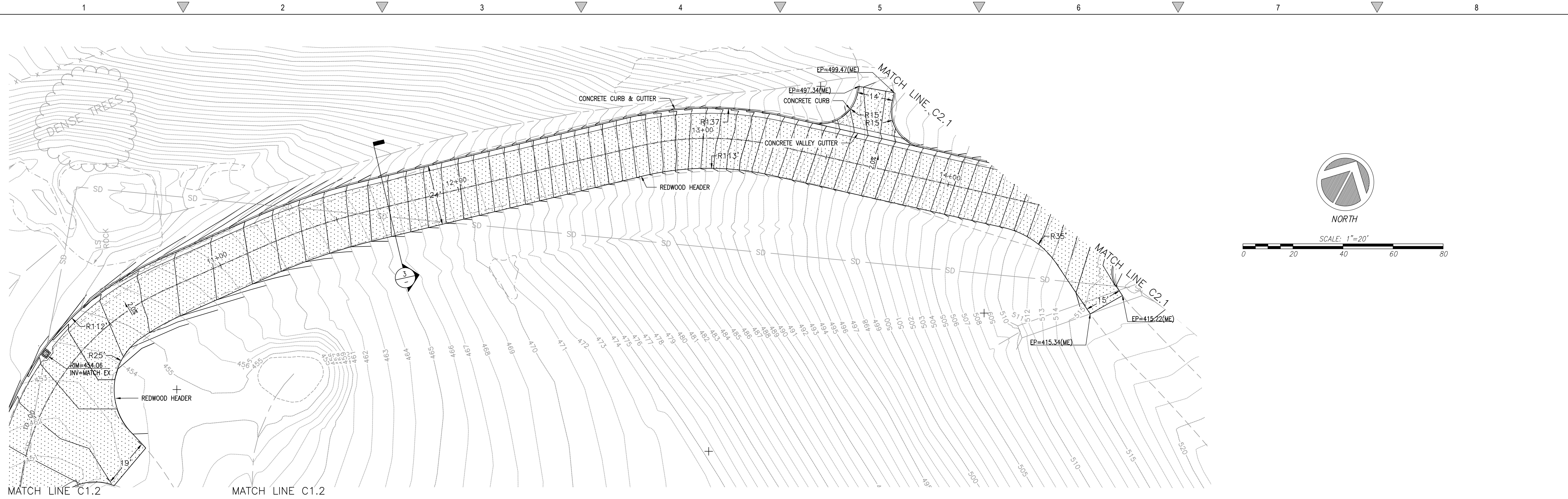


C2G CIVIL CONSULTANTS GROUP, INC.
 Engineers/Planners
 4400 Scotts Valley Blvd., Suite 6
 Scotts Valley, CA 95066
 T (831) 438-4420 F (831) 438-4420

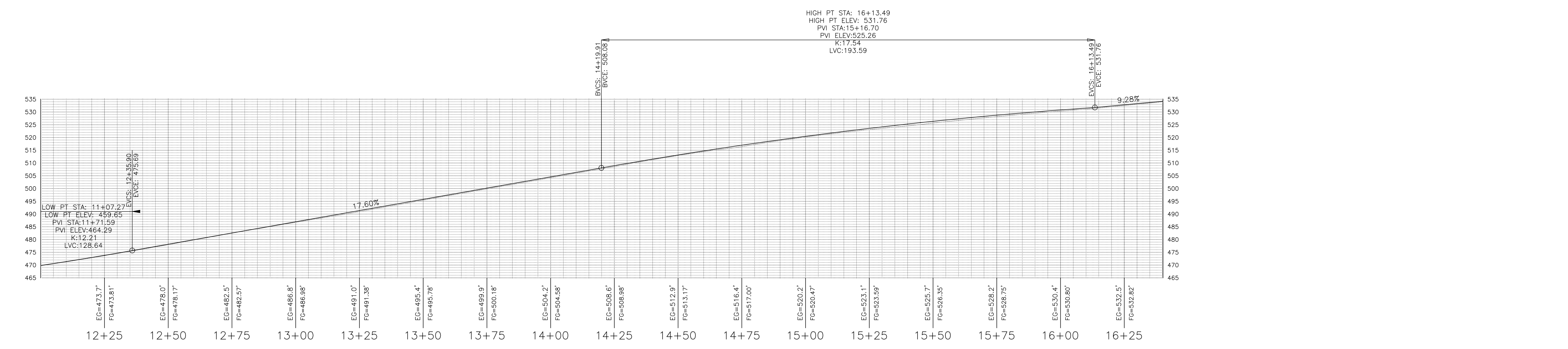
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Of	28 Sheets

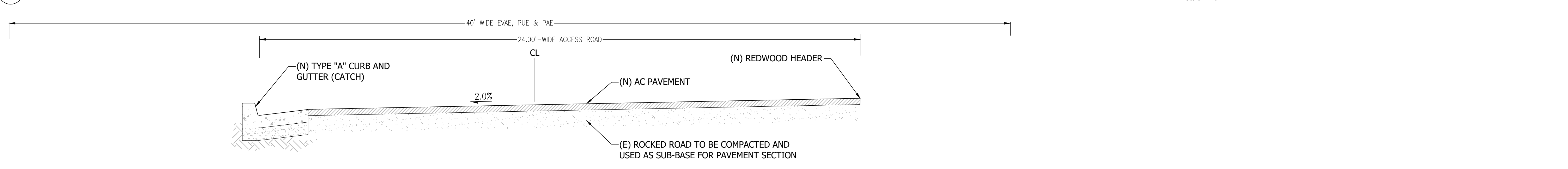
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 Last Printed: Wed, Apr 20, 2022 - 8:24am
 By: LaurenLindquist



1 PROPOSED ACCESS ROAD PLAN Scale: 1:20



2 ACCESS ROAD PROFILE - STA. 12+00 TO 16+45 Scale: 1:20



3 24'-WIDE ACCESS ROAD SECTION Scale: 1":2'

REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

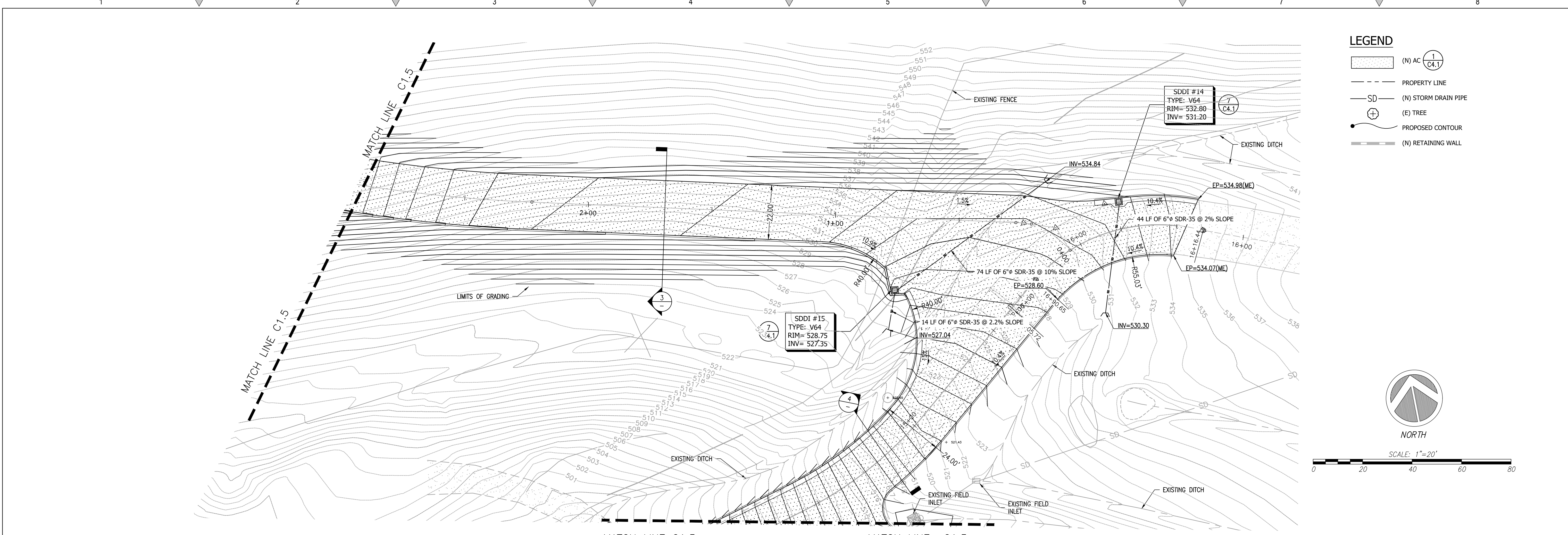
ACCESS ROAD PLAN & PROFILES



C2G CIVIL CONSULTANTS GROUP, INC.
 Engineers/Planners
 4400 Scotts Valley Blvd., Suite 6
 Scotts Valley, CA 95066
 T (831) 438-4420 F (831) 438-4420
Leaf Printed: Mar. Apr. 20, 2022 - 8:55am By: Lorraine/ajm

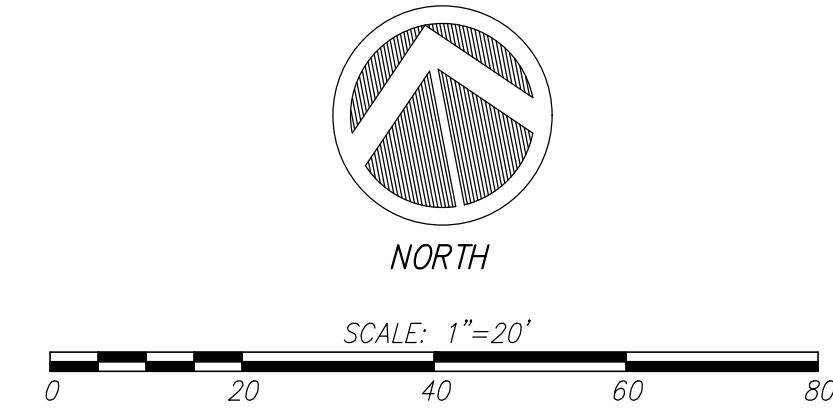
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 AUGUSTE COURT
 APN: 029-35-007

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Of	28 Sheets



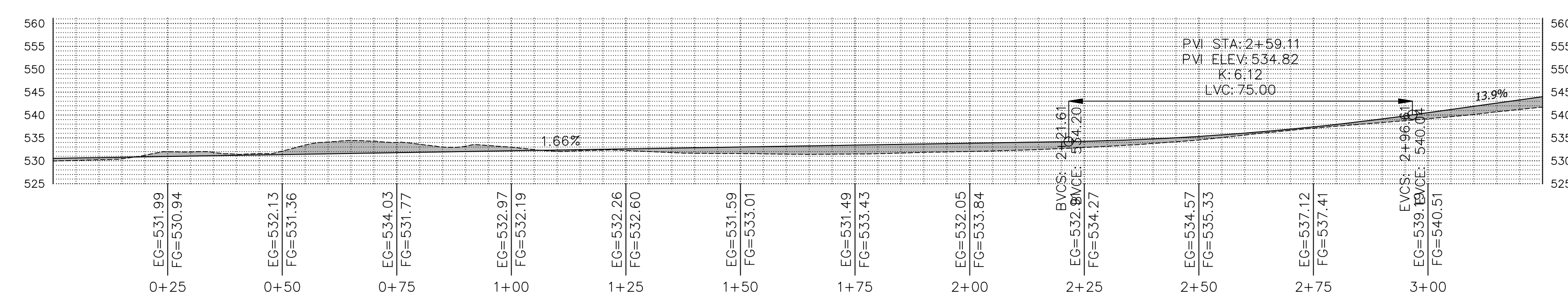
LEGEND

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- PROPERTY LINE
- SD (N) STORM DRAIN PIPE
- (E) TREE
- PROPOSED CONTOUR
- (N) RETAINING WALL



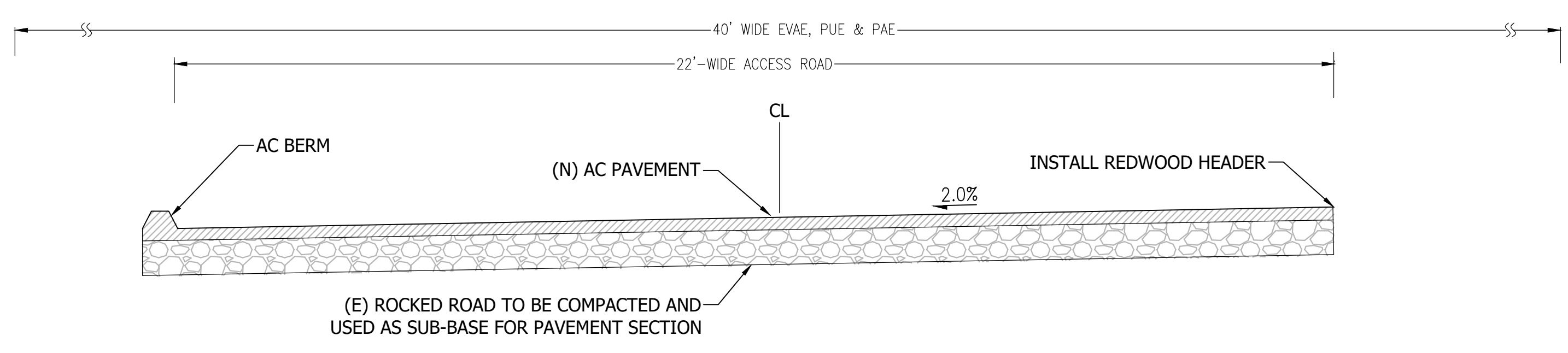
1 ENLARGED SITE PLAN - ACCESS ROAD

Scale: 1"=20'



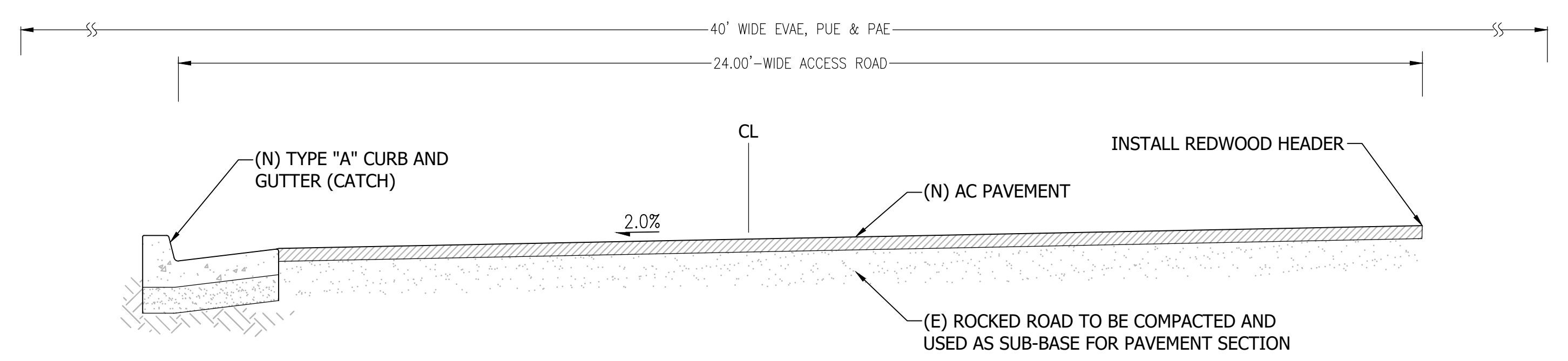
2 MAIN ROAD PROFILE - STA. 0+00 TO 3+25

Scale: 1:20



3 22'-WIDE ACCESS ROAD SECTION

Scale: 1"=2'

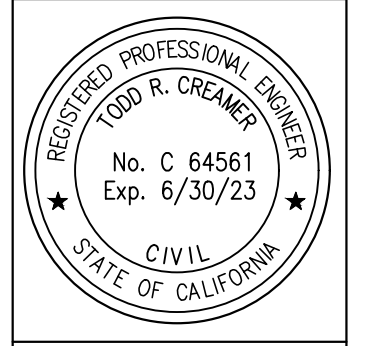


4 24'-WIDE ACCESS ROAD SECTION

Scale: 1"=2'

REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

ENLARGED SITE PLAN



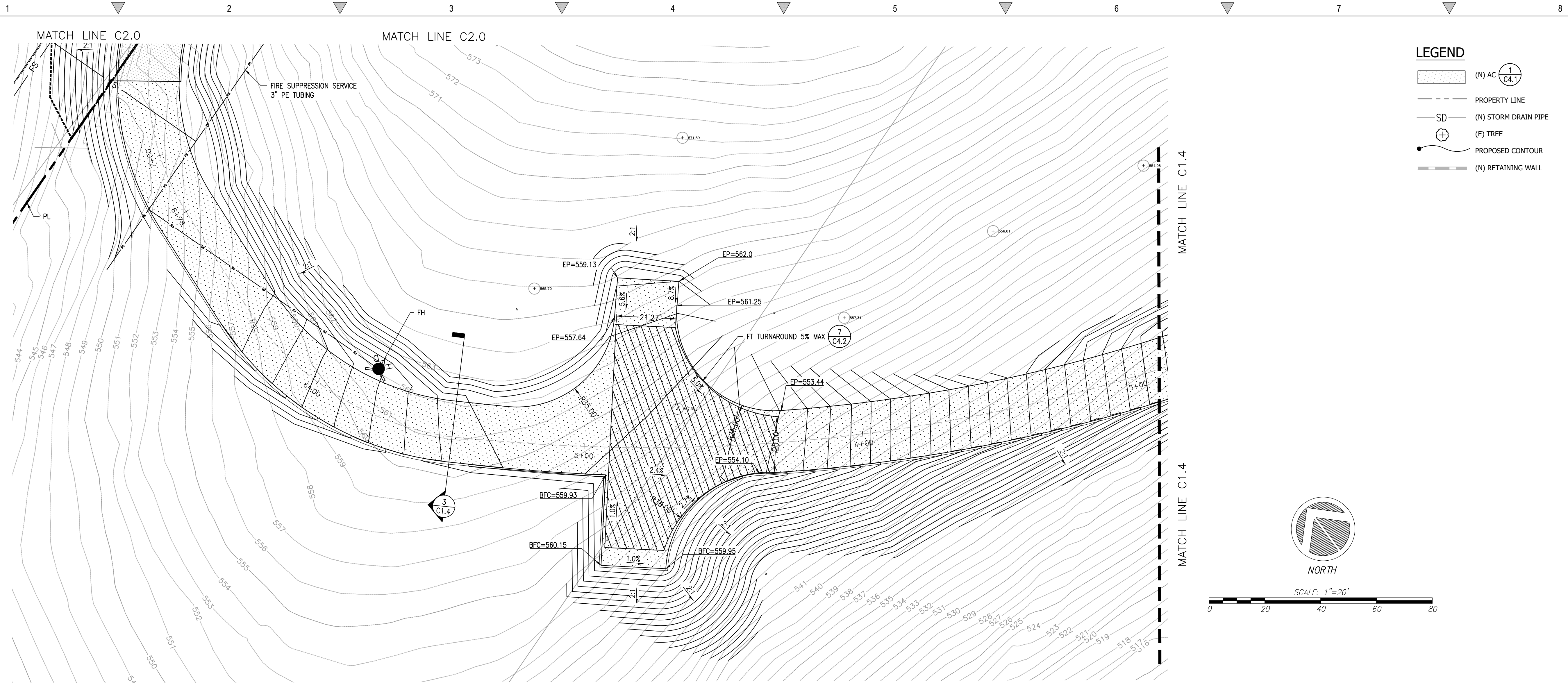
C2G CIVIL CONSULTANTS GROUP, INC.
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 T (831) 438-4420 F (831) 438-4420

BARSANA RESIDENCE
AUGUSTE COURT
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Date: 08/06/21
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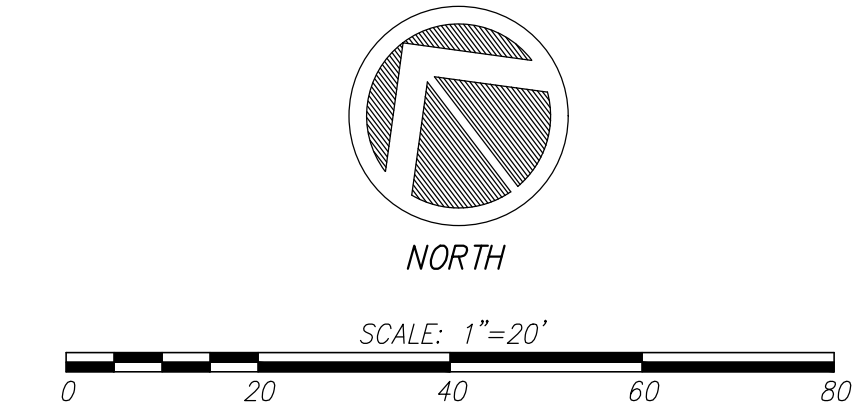
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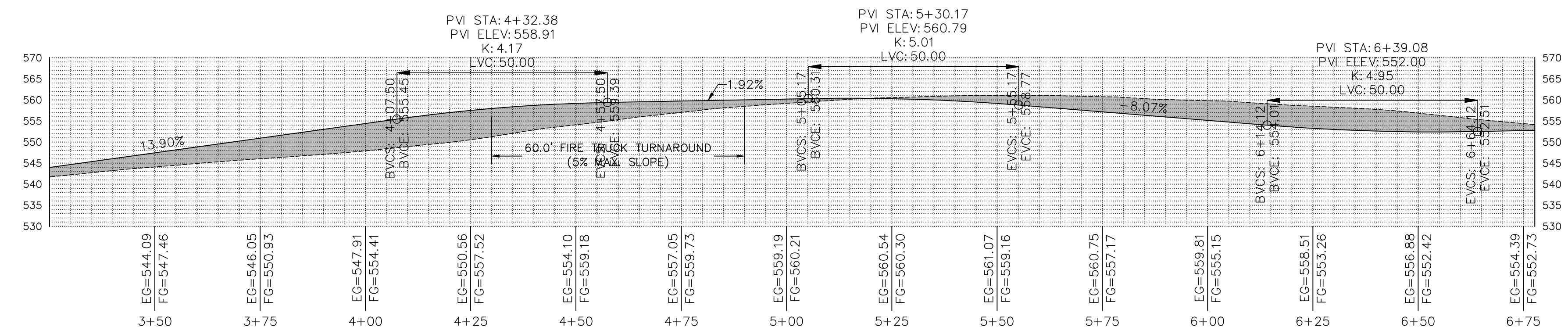
LEGEND

- (N) AC 1 C4.1
- PROPERTY LINE
- SD (N) STORM DRAIN PIPE
- (E) TREE
- PROPOSED CONTOUR
- (N) RETAINING WALL



1 ENLARGED SITE PLAN - ACCESS ROAD

Scale: 1"=20'

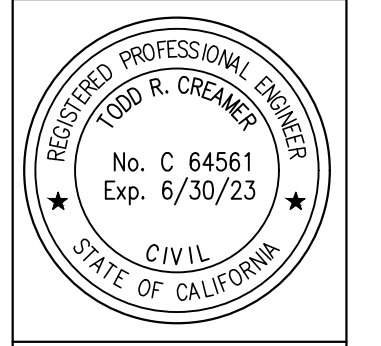


2 MAIN ROAD PROFILE - STA. 1+50 TO 6+78

Scale: 1:20

REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

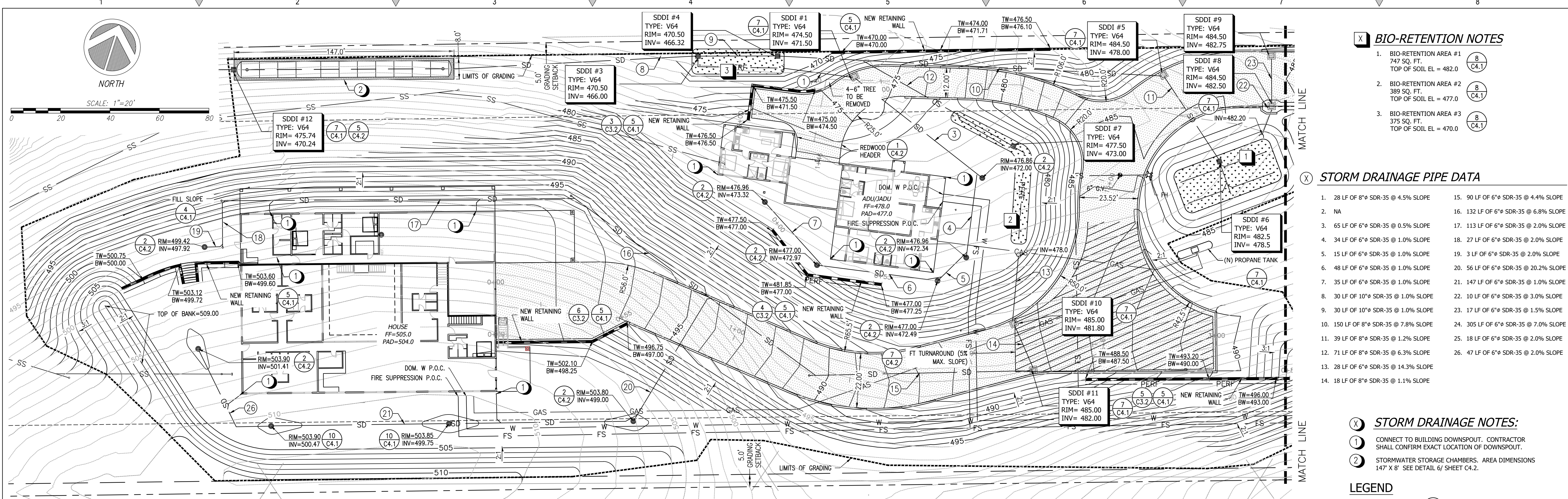
PROPOSED ACCESS PLAN AND PROFILE



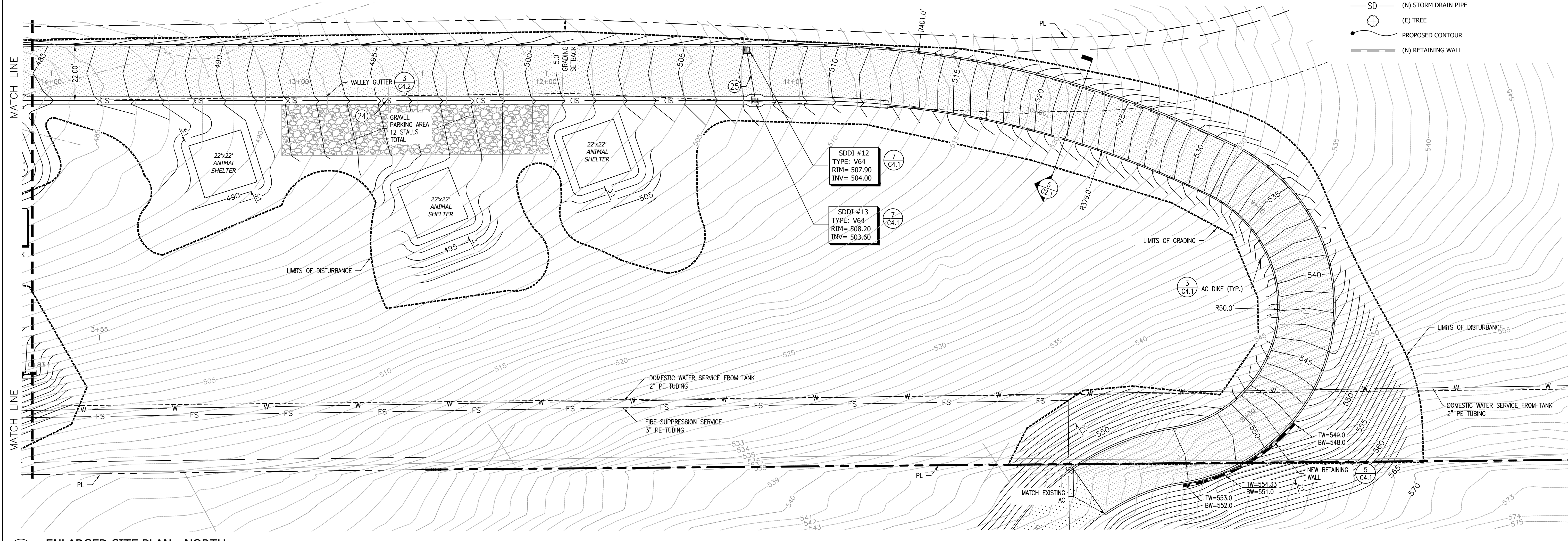
C2G CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4400 Scotts Valley Blvd., Suite 6
Scotts Valley, CA 95066
T (831) 438-4420 F (831) 438-4420
Last Printed: Wed, Apr 12, 2023 - 5:15pm
By: LaurenLambert

BARSANA RESIDENCE
AUGUSTE COURT
APN: 029-35-007

Date:	08/06/21
Scale:	1" = 20'
Drawn:	DD
Job:	3007.02
Sheet:	C1.5
Of	28 Sheets



1 ENLARGED SITE PLAN - SOUTH



2 ENLARGED SITE PLAN - NORTH

REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/22	DD

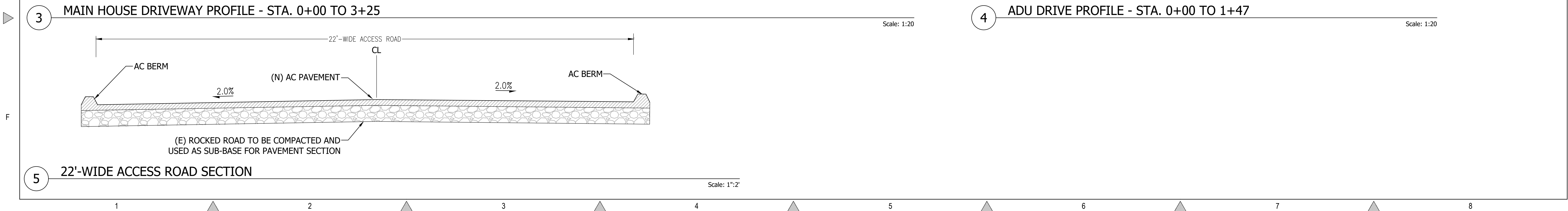
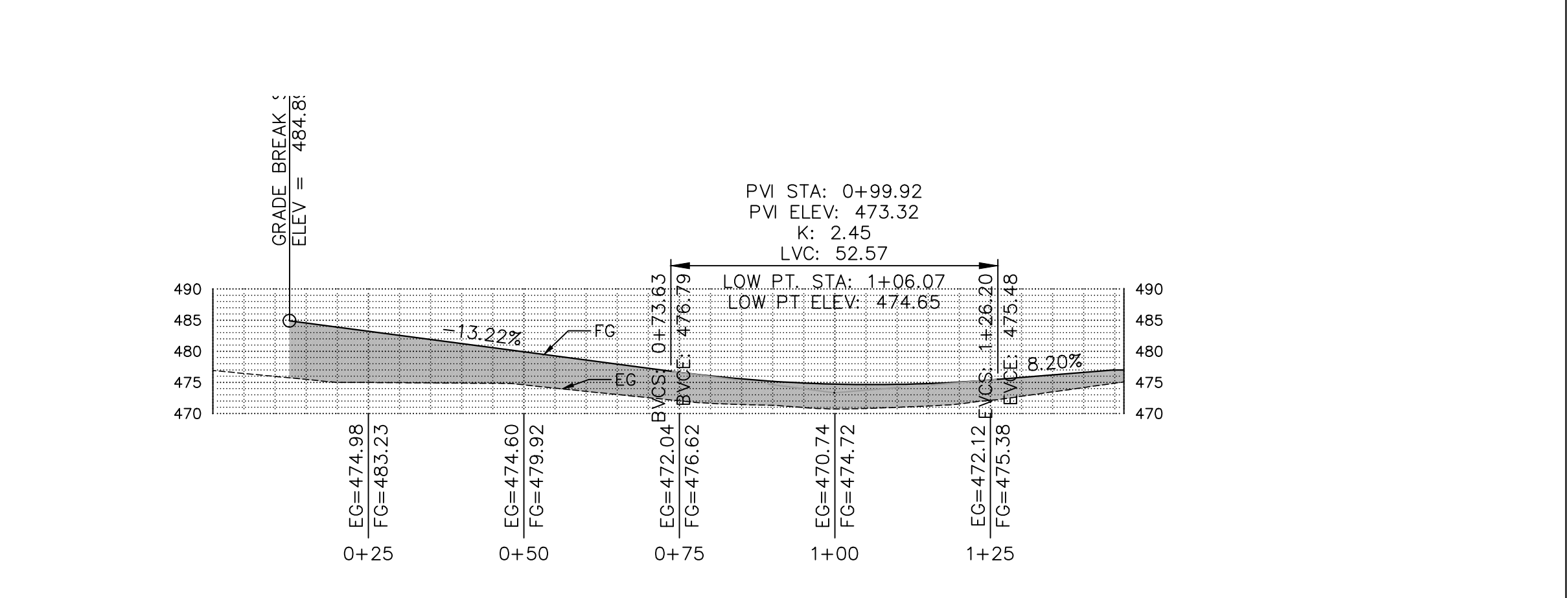
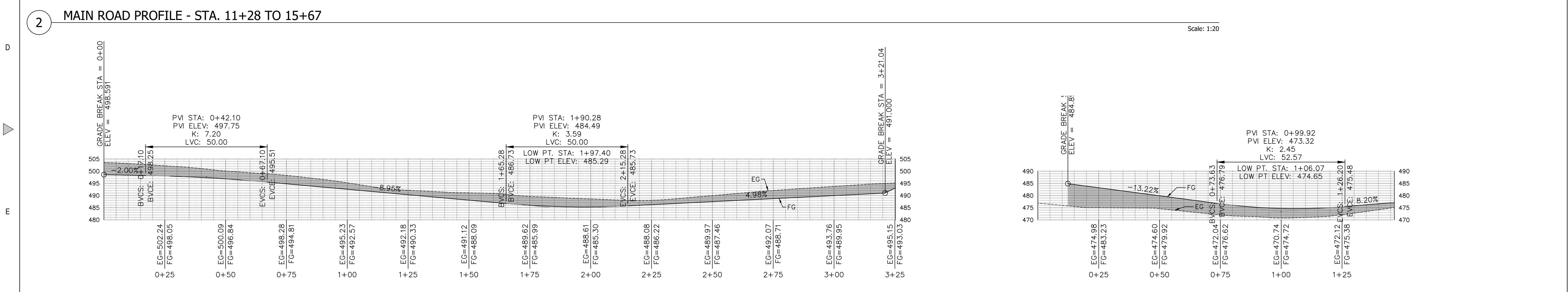
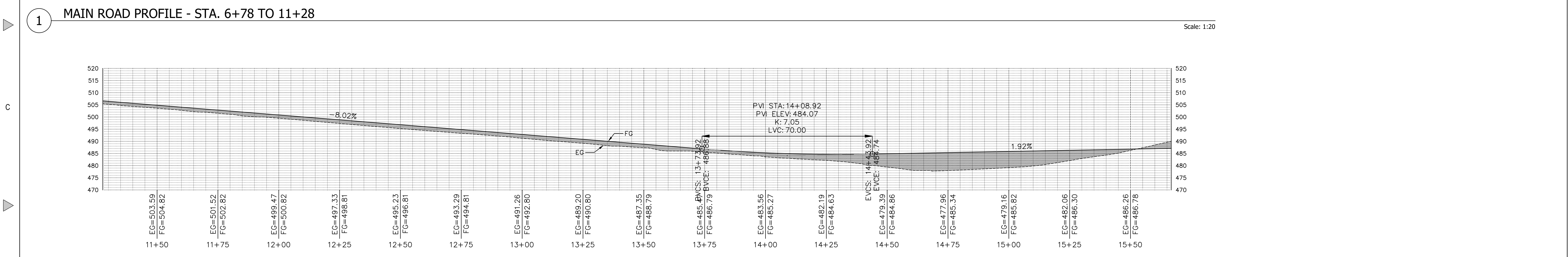
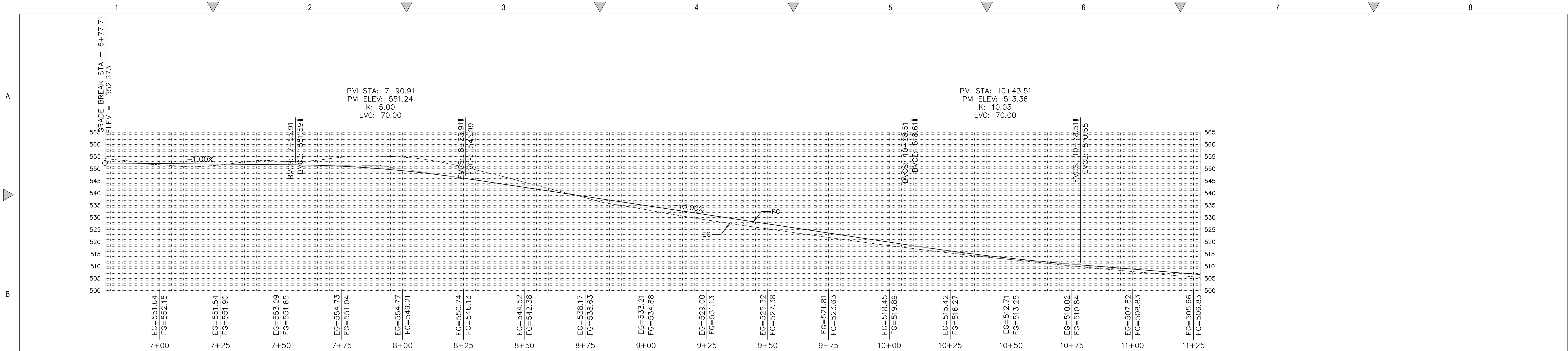
ENLARGED
SITE PLAN



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44150 Scotts Valley, CA 95066
T (831) 438-4420 F (831) 438-4420

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APN: 029-35-007

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Job:	3007.02
Sheet:	C2.0
Of	28 Sheets



REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

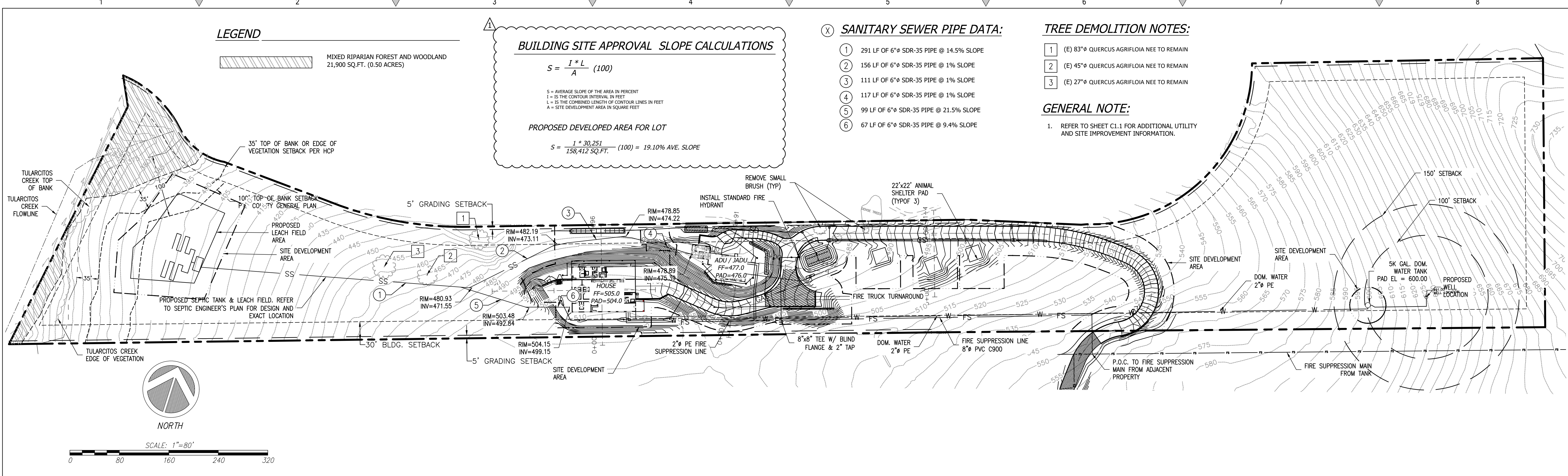
PROFILES / SECTIONS

REGISTERED PROFESSIONAL ENGINEER
 TODD R. CREAGER
 No. C 64561
 Exp. 6/30/23
 CIVIL
 STATE OF CALIFORNIA

C2G CIVIL CONSULTANTS GROUP, INC.
 Engineers/Planners
 4400 Scotts Valley, CA 95066 / Suite 6
 T (831) 438-4420 F (831) 438-4420
 Last Profile: Wed Apr 20, 2022 - 8:57am By: LaurenHoban

BARSANA RESIDENCE
 AUGUSTE COURT
 APN: 029-35-007

Date:	08/06/21
Scale:	1" = 20'
Drawn:	DD
Job:	3007.02
Sheet:	C2.1
Of 28 Sheets	



BUILDING SITE APPROVAL SLOPE CALCULATIONS

$$S = \frac{1 * L}{A} (100)$$

S = AVERAGE SLOPE OF THE AREA IN PERCENT
 L = IS THE CONTOUR INTERVAL IN FEET
 L = IS THE COMBINED LENGTH OF CONTOUR LINES IN FEET
 A = SITE DEVELOPMENT AREA IN SQUARE FEET

PROPOSED DEVELOPED AREA FOR LOT

$$S = \frac{1 * 30,251}{158,412 \text{ SQ.FT.}} (100) = 19.10\% \text{ AVE. SLOPE}$$

- SANITARY SEWER PIPE DATA:**
- 291 LF OF 6" SDR-35 PIPE @ 14.5% SLOPE
 - 156 LF OF 6" SDR-35 PIPE @ 1% SLOPE
 - 111 LF OF 6" SDR-35 PIPE @ 1% SLOPE
 - 117 LF OF 6" SDR-35 PIPE @ 1% SLOPE
 - 99 LF OF 6" SDR-35 PIPE @ 21.5% SLOPE
 - 67 LF OF 6" SDR-35 PIPE @ 9.4% SLOPE

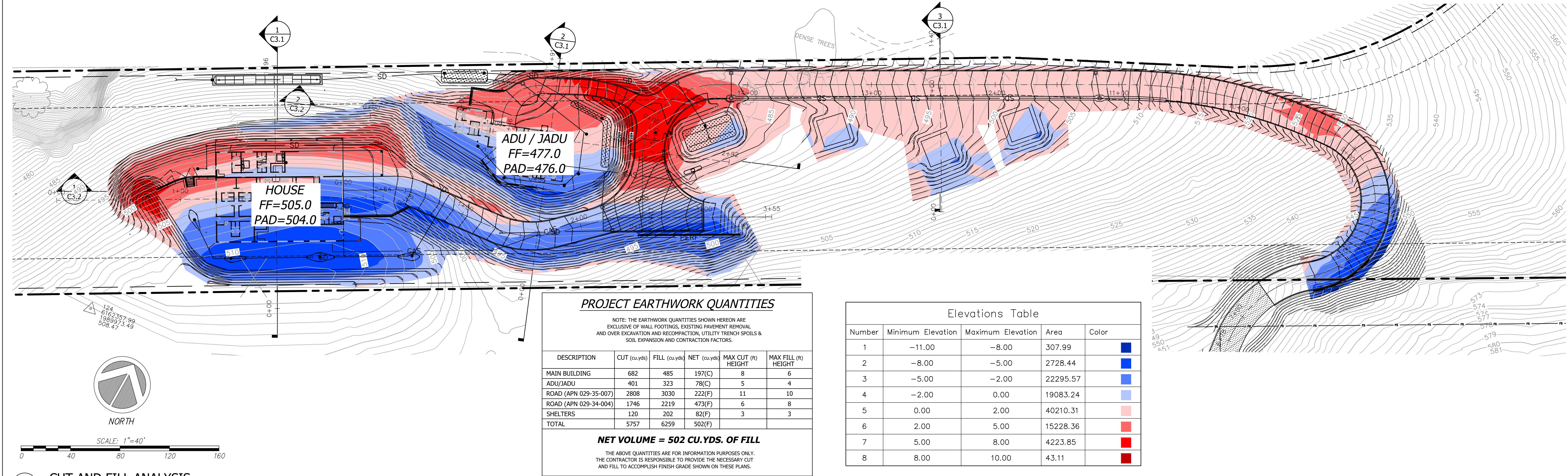
- TREE DEMOLITION NOTES:**
- (E) 83" Q QUERCUS AGRIFLOIA NEE TO REMAIN
 - (E) 45" Q QUERCUS AGRIFLOIA NEE TO REMAIN
 - (E) 27" Q QUERCUS AGRIFLOIA NEE TO REMAIN

GENERAL NOTE:

- REFER TO SHEET C1.1 FOR ADDITIONAL UTILITY AND SITE IMPROVEMENT INFORMATION.

1 ENLARGED SITE PLAN

Scale: 1"=80'



PROJECT EARTHWORK QUANTITIES

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL AND OVER EXCAVATION AND RECOMPACTION, UTILITY TRENCH SPILLS & SOIL EXPANSION AND CONTRACTION FACTORS.

DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)	NET (cu.yds)	MAX CUT (ft) HEIGHT	MAX FILL (ft) HEIGHT
MAIN BUILDING	682	485	197(C)	8	6
ADU/JADU	401	323	78(C)	5	4
ROAD (APN 029-35-007)	2808	3030	222(F)	11	10
ROAD (APN 029-34-004)	1746	2219	473(F)	6	8
SHELTERS	120	202	82(F)	3	3
TOTAL	5757	6259	502(F)		

NET VOLUME = 502 CU.YDS. OF FILL

THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.

Elevations Table

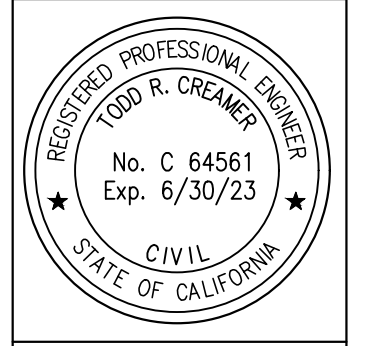
Number	Minimum Elevation	Maximum Elevation	Area	Color
1	-11.00	-8.00	307.99	Blue
2	-8.00	-5.00	2728.44	Blue
3	-5.00	-2.00	22295.57	Blue
4	-2.00	0.00	19083.24	Blue
5	0.00	2.00	40210.31	Red
6	2.00	5.00	15228.36	Red
7	5.00	8.00	4223.85	Red
8	8.00	10.00	43.11	Red

2 CUT AND FILL ANALYSIS

Scale: 1"=40'

REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

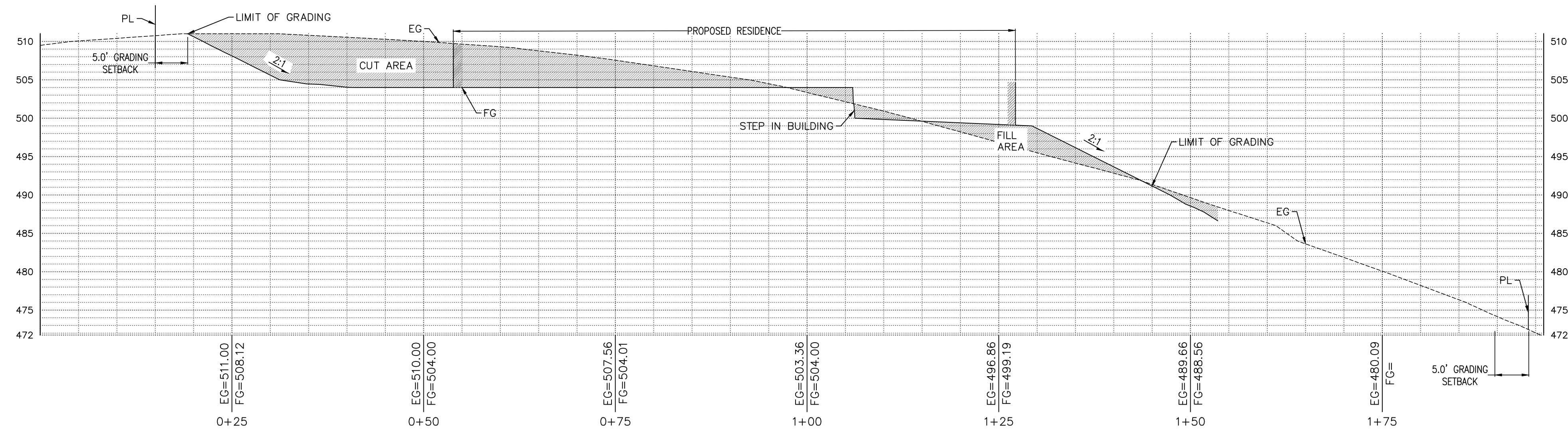
OVERALL SITE PLAN & CUT/FILL ANALYSIS



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 Engineers/Planners
 4400 Scotts Valley Blvd., Suite 6
 Scotts Valley, CA 95066
 T (831) 438-4420 F (831) 438-4420
 Last Project: Mon Apr 20, 2022 - 8:50am By: Jammal/tdp/mtf

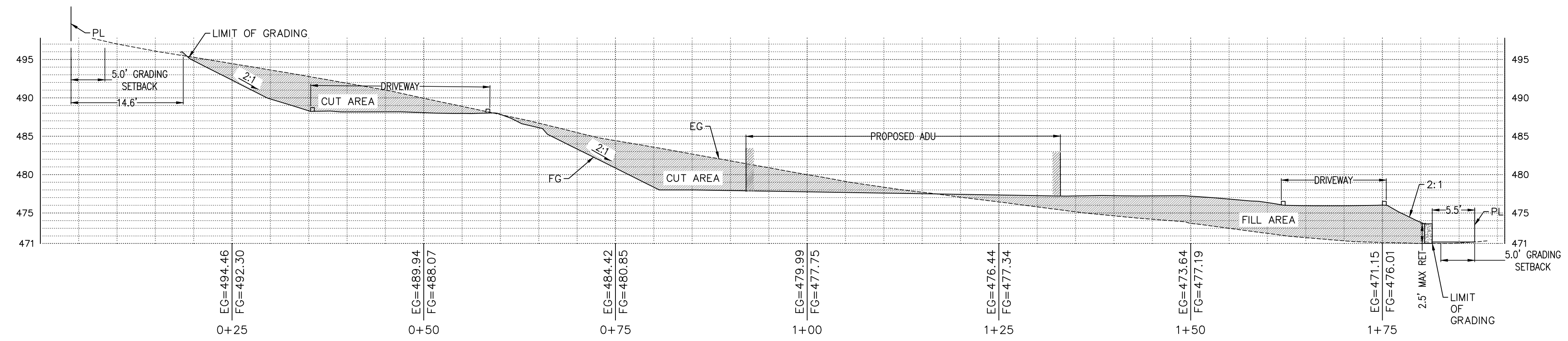
BARSANA RESIDENCE
 AUGUSTE COURT
 APN: 029-35-007

Date: 08/06/21
 Scale: AS SHOWN
 Drawn: DD
 Job: 3007.02
 Sheet: C3.0
 of 28 Sheets



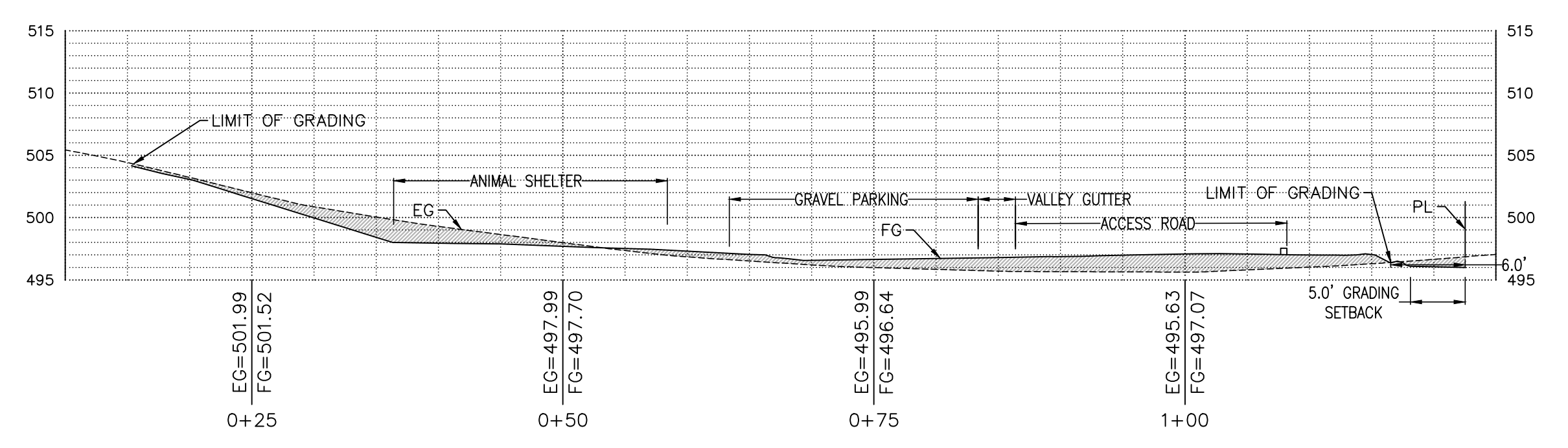
1 MAIN HOUSE SECTION

Scale: 1:10



2 ADU HOUSE SECTION

Scale: 1:10

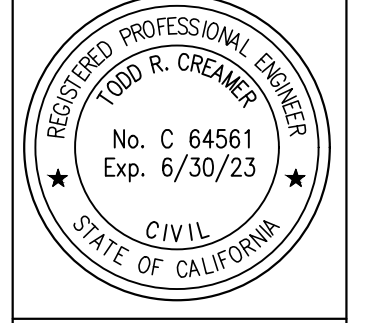


3 MAIN ROAD CROSS SECTION

Scale: 1:10

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CUT/FILL SECTIONS



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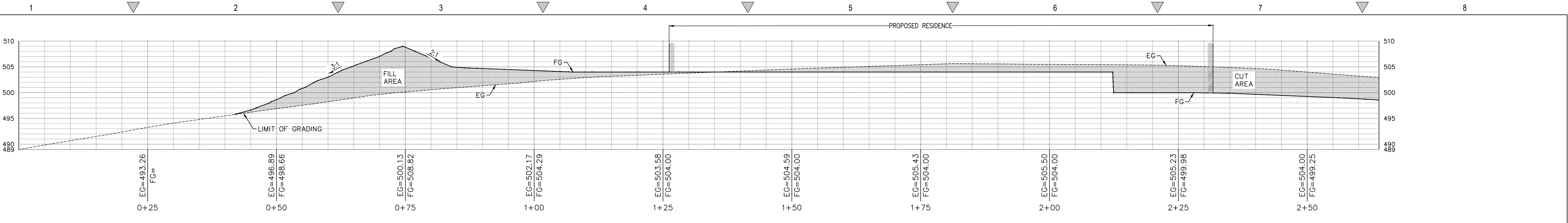
BARSANA RESIDENCE

AUGUSTE COURT

APN: 029-35-007

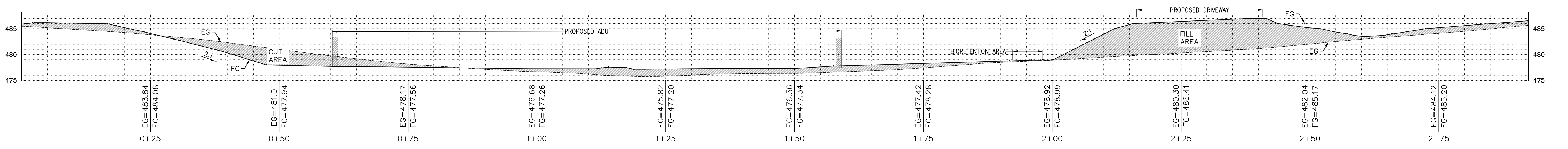
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Scale:	AS SHOWN
Drawn:	DD
Job:	3007.02
Sheet:	C3.1
Of	28 Sheets

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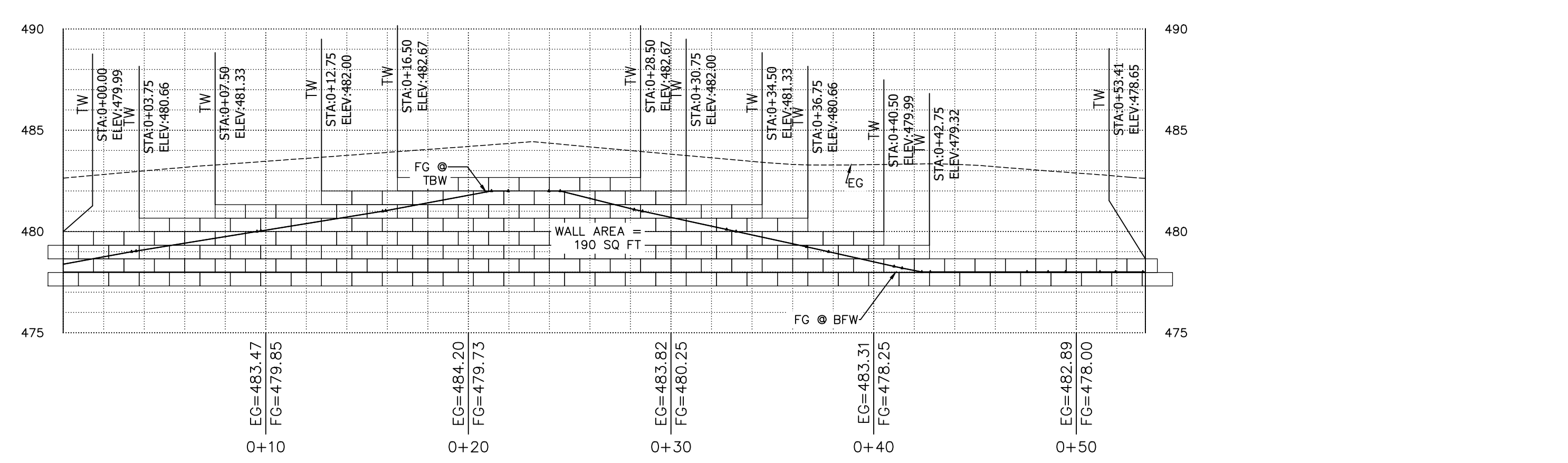
1 MAIN HOUSE CROSS SECTION

Scale: 1:10



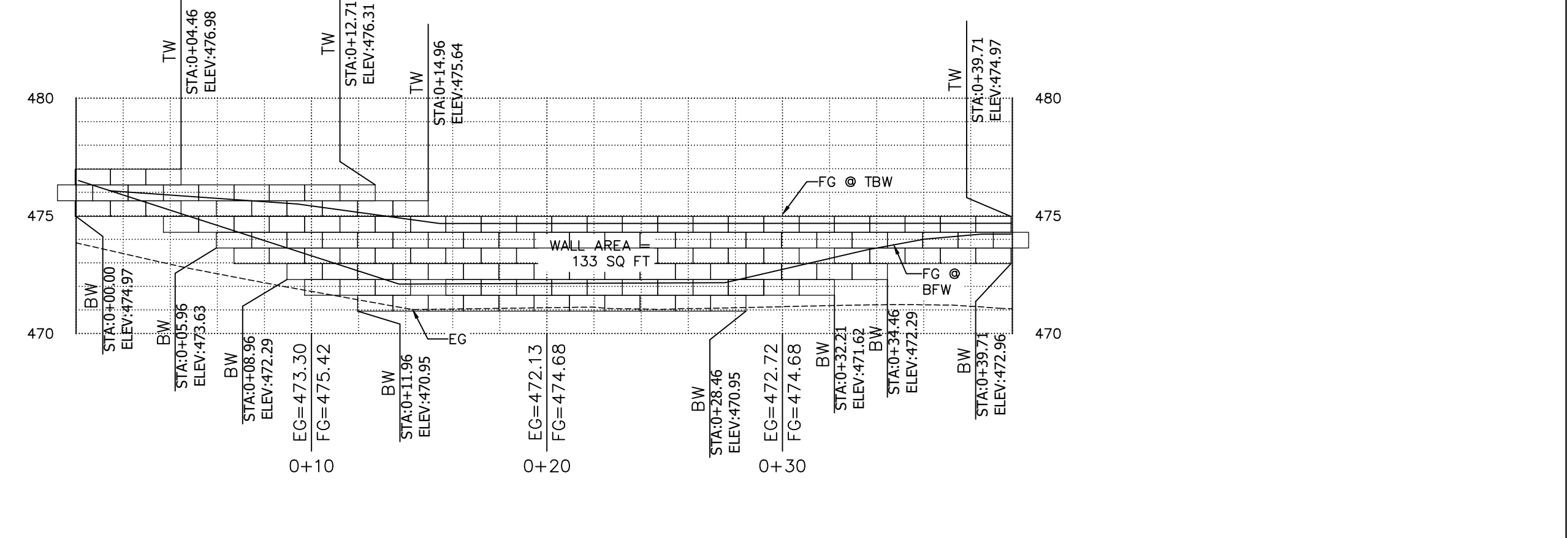
2 ADU HOUSE CROSS SECTION

Scale: 1:10



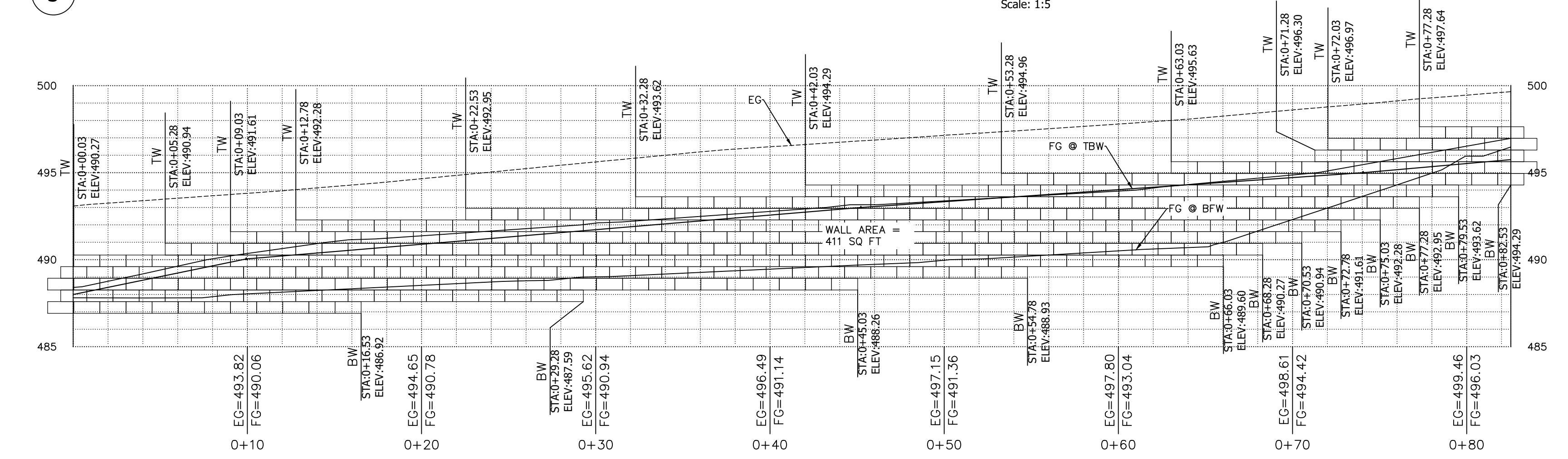
3 ADU WALL SECTION @ SIDEYARD

Scale: 1:5



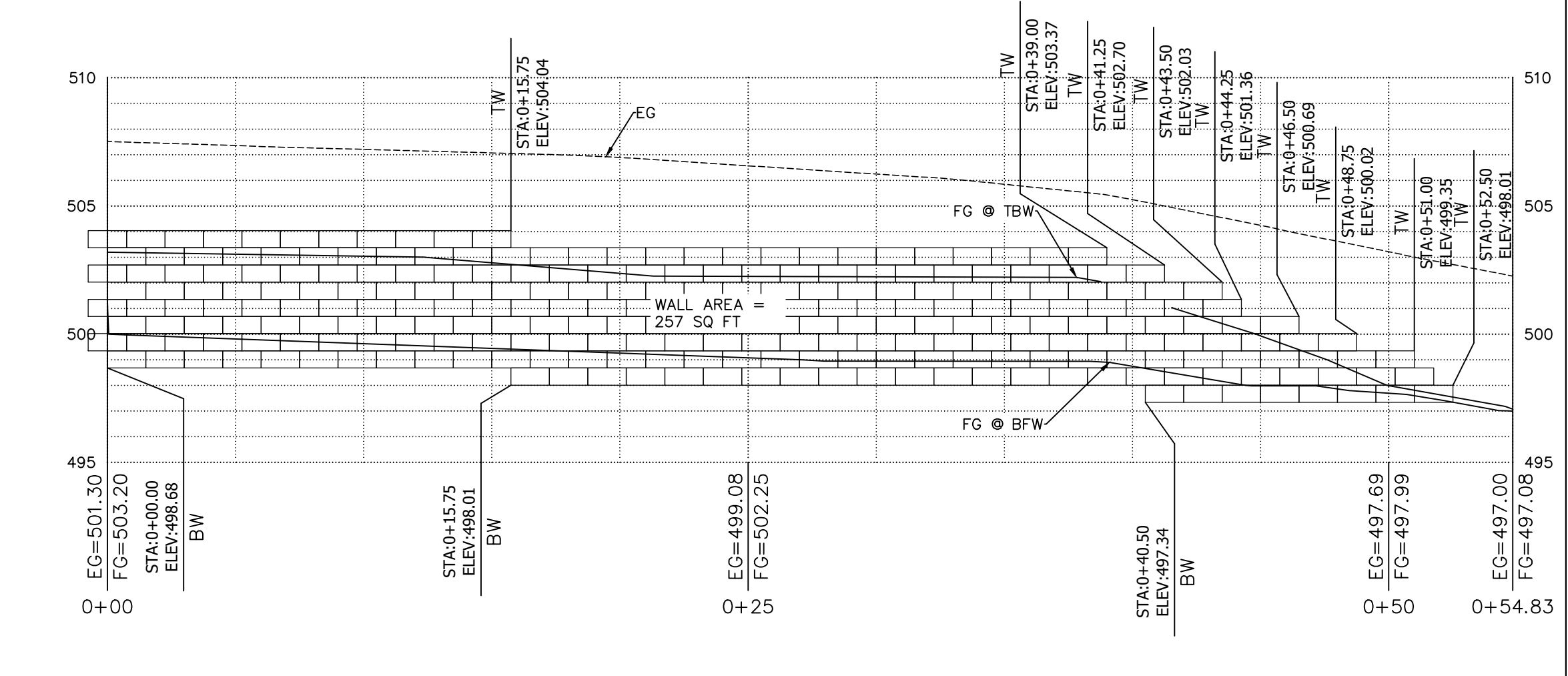
4 ADU WALL SECTION @ DRIVEWAY

Scale: 1:5



5 FIRE TURNAROUND WALL SECTION

Scale: 1:5



6 MAIN HOUSE DRIVEWAY WALL SECTION

Scale: 1:5

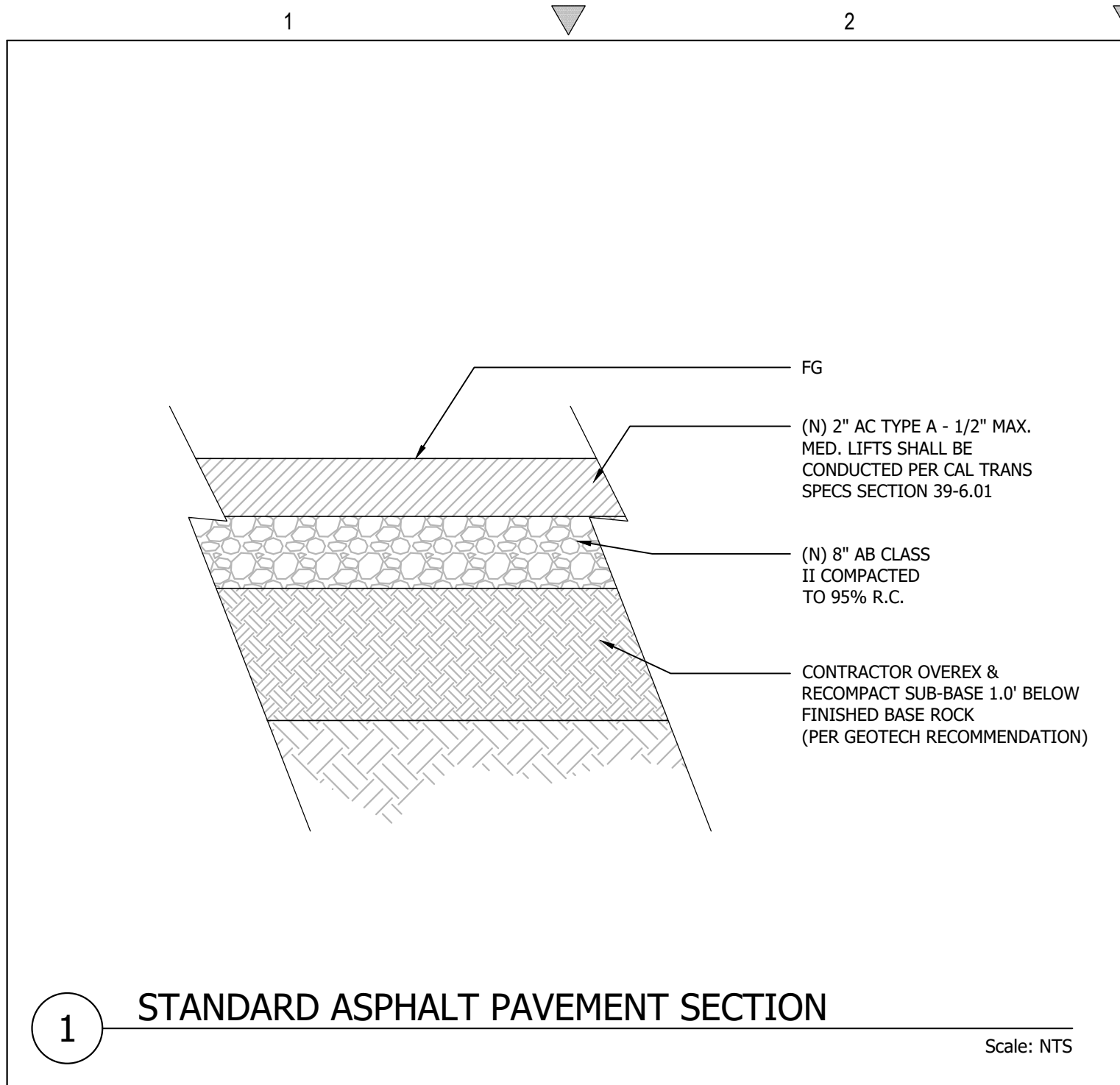
REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

CUT/FILL SECTIONS

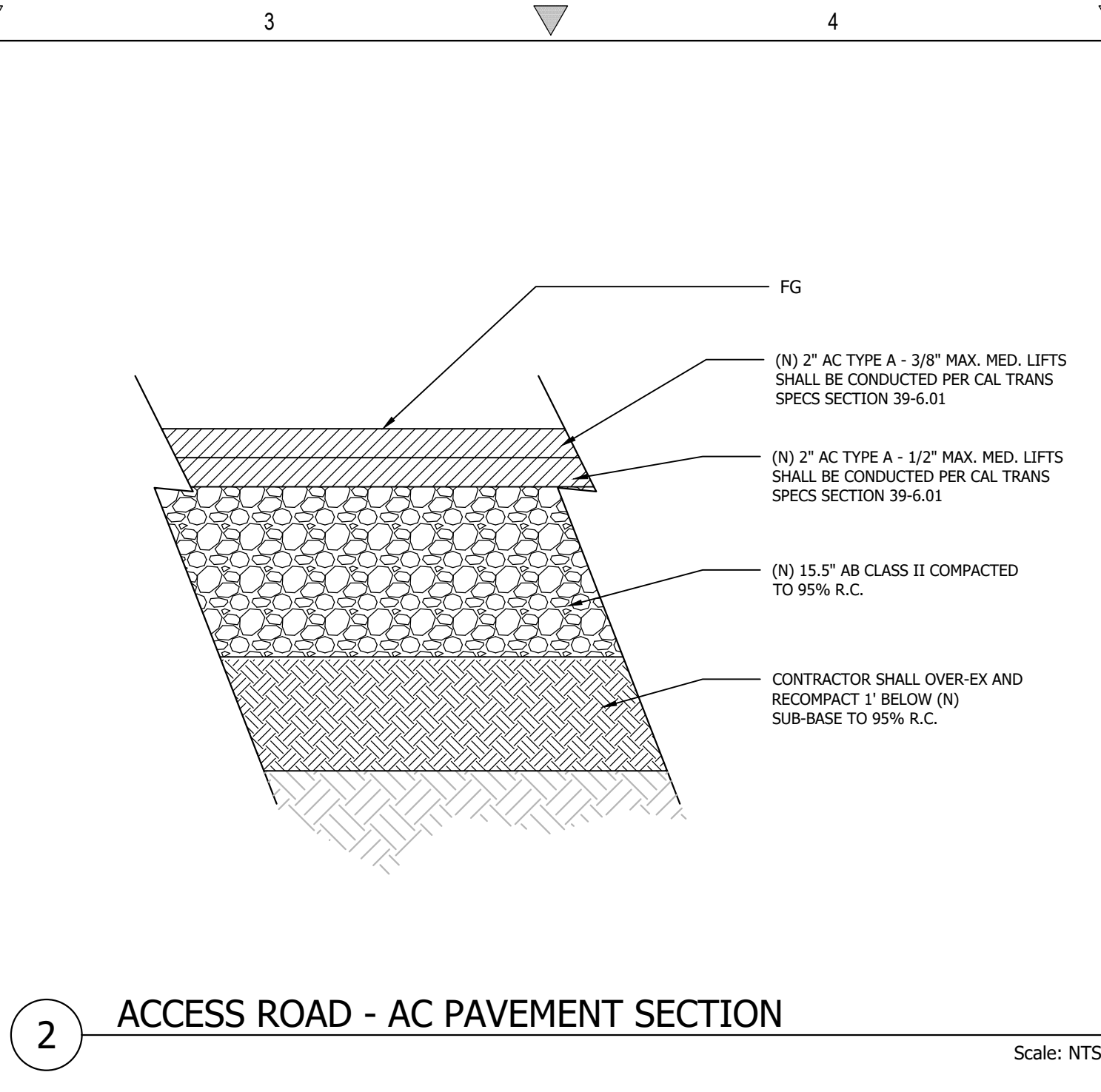
C2G CIVIL CONSULTANTS GROUP, INC.
 Engineers/Planners
 4400 Scotts Valley, CA 95066 / Suite 6
 T (831) 438-4420 F (831) 438-4420

BARSANA RESIDENCE
 AUGUSTE COURT
 APN: 029-35-007

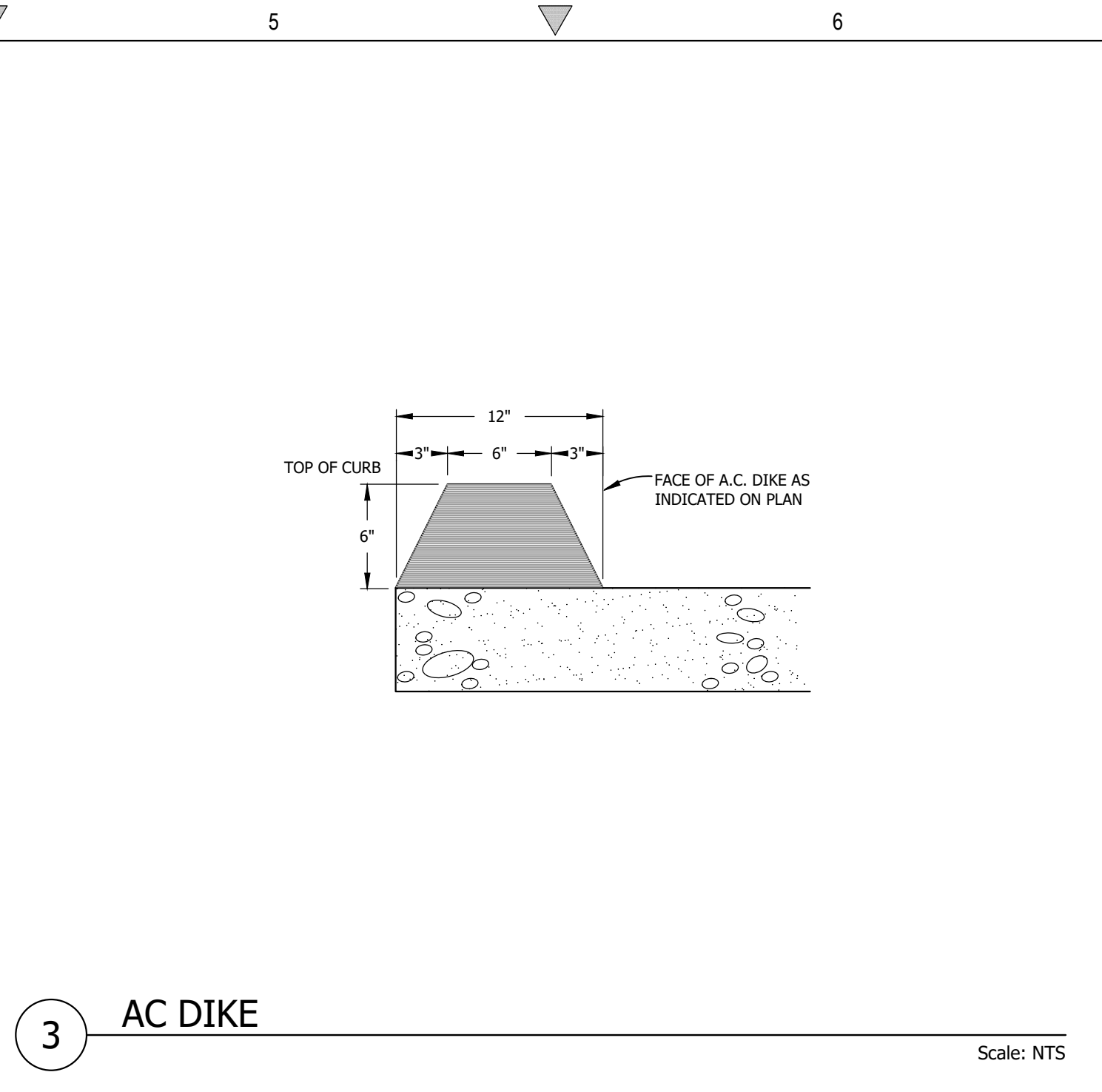
Date: 08/06/21
 Scale: AS SHOWN
 Drawn: DD
 Job: 3007.02
 Sheet: **C3.2**
 Of 28 Sheets



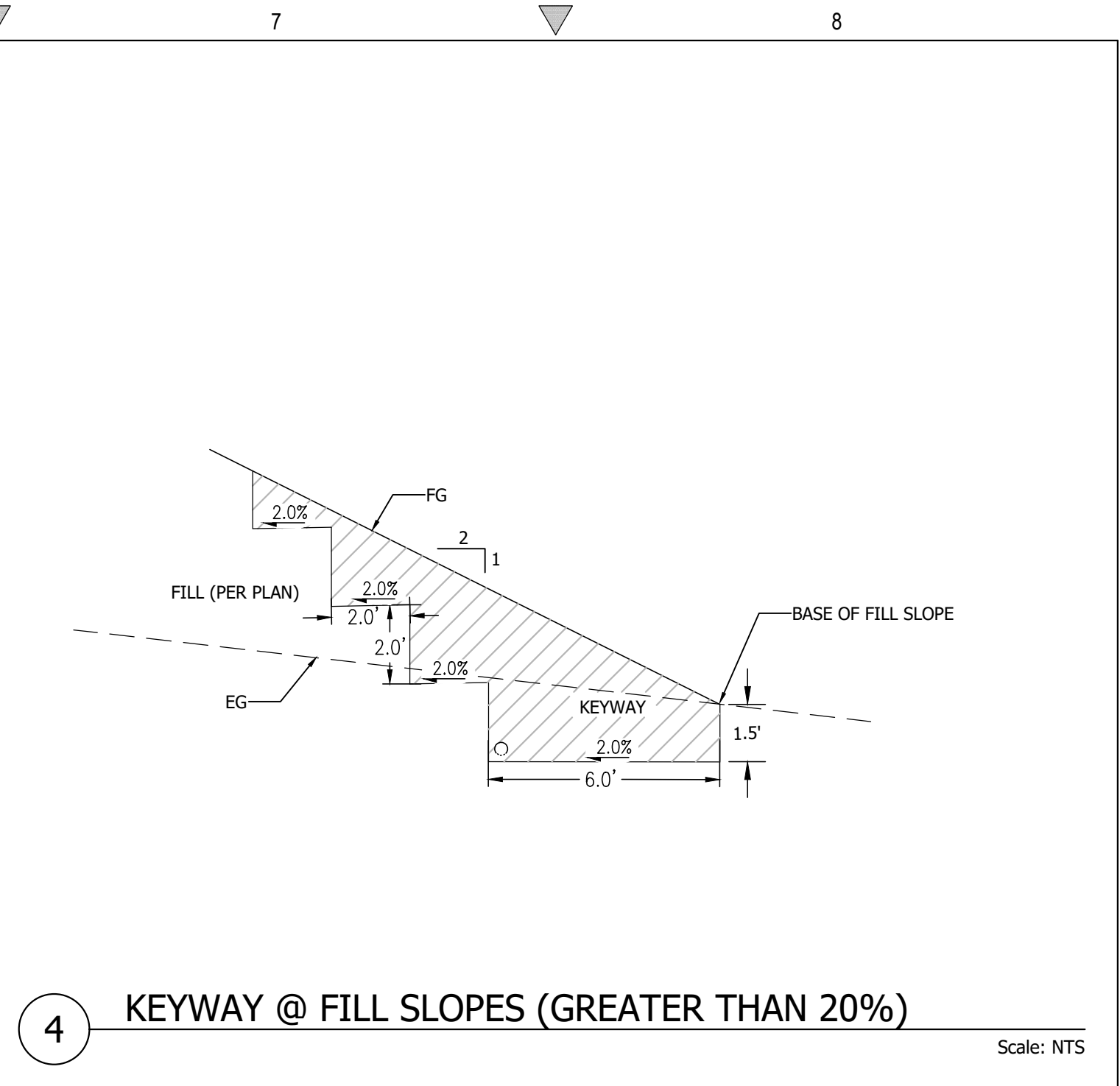
1 STANDARD ASPHALT PAVEMENT SECTION
Scale: NTS



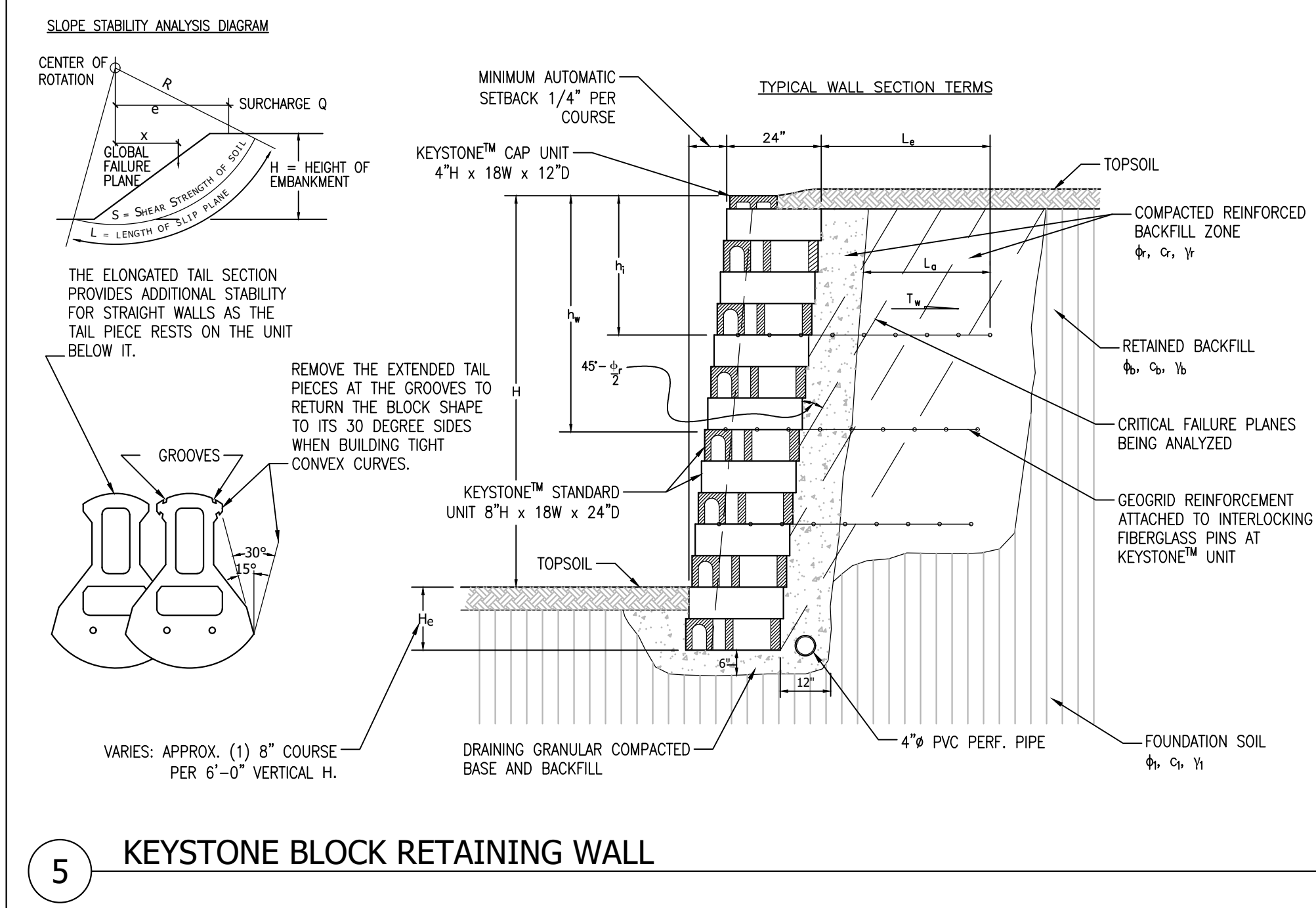
2 ACCESS ROAD - AC PAVEMENT SECTION
Scale: NTS



3 AC DIKE
Scale: NTS



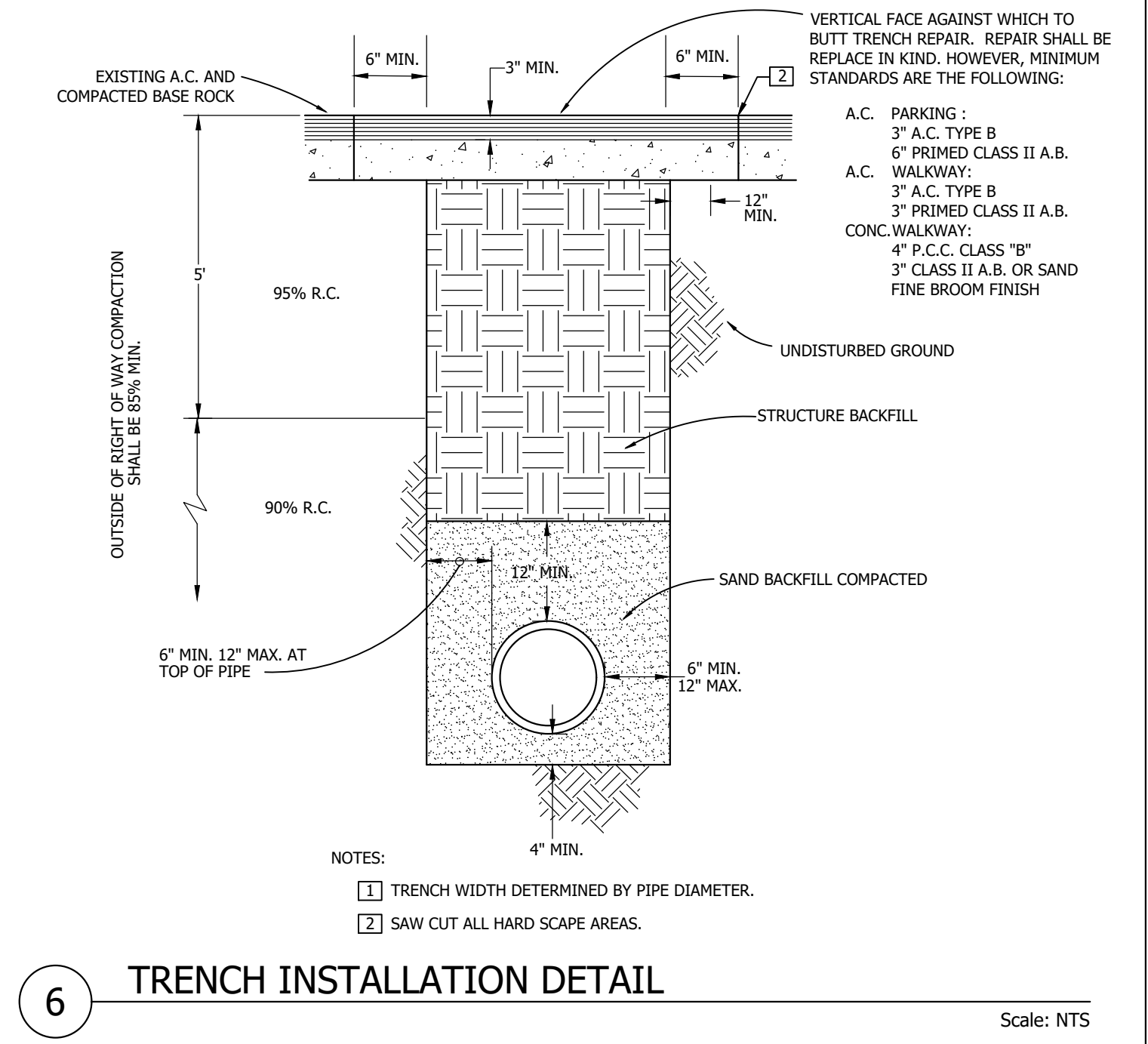
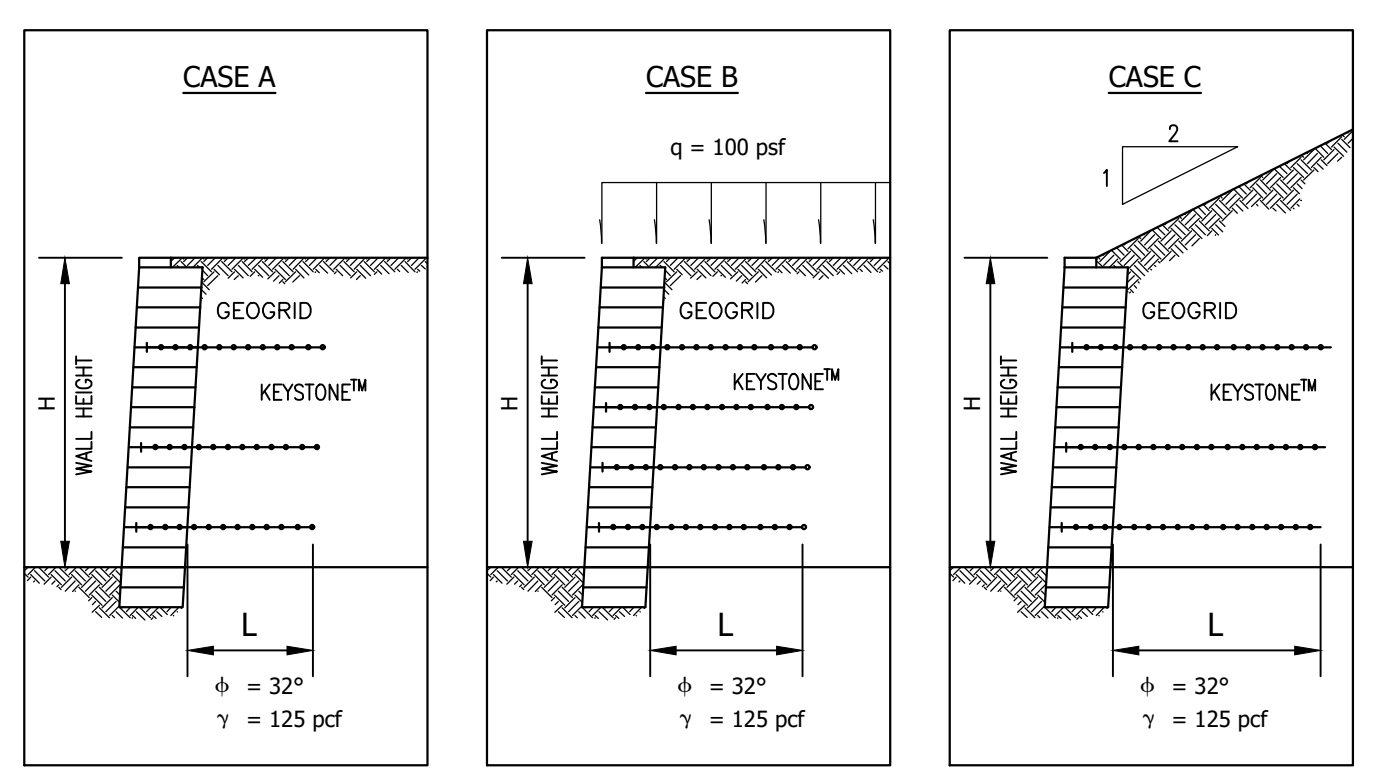
4 KEYWAY @ FILL SLOPES (GREATER THAN 20%)
Scale: NTS



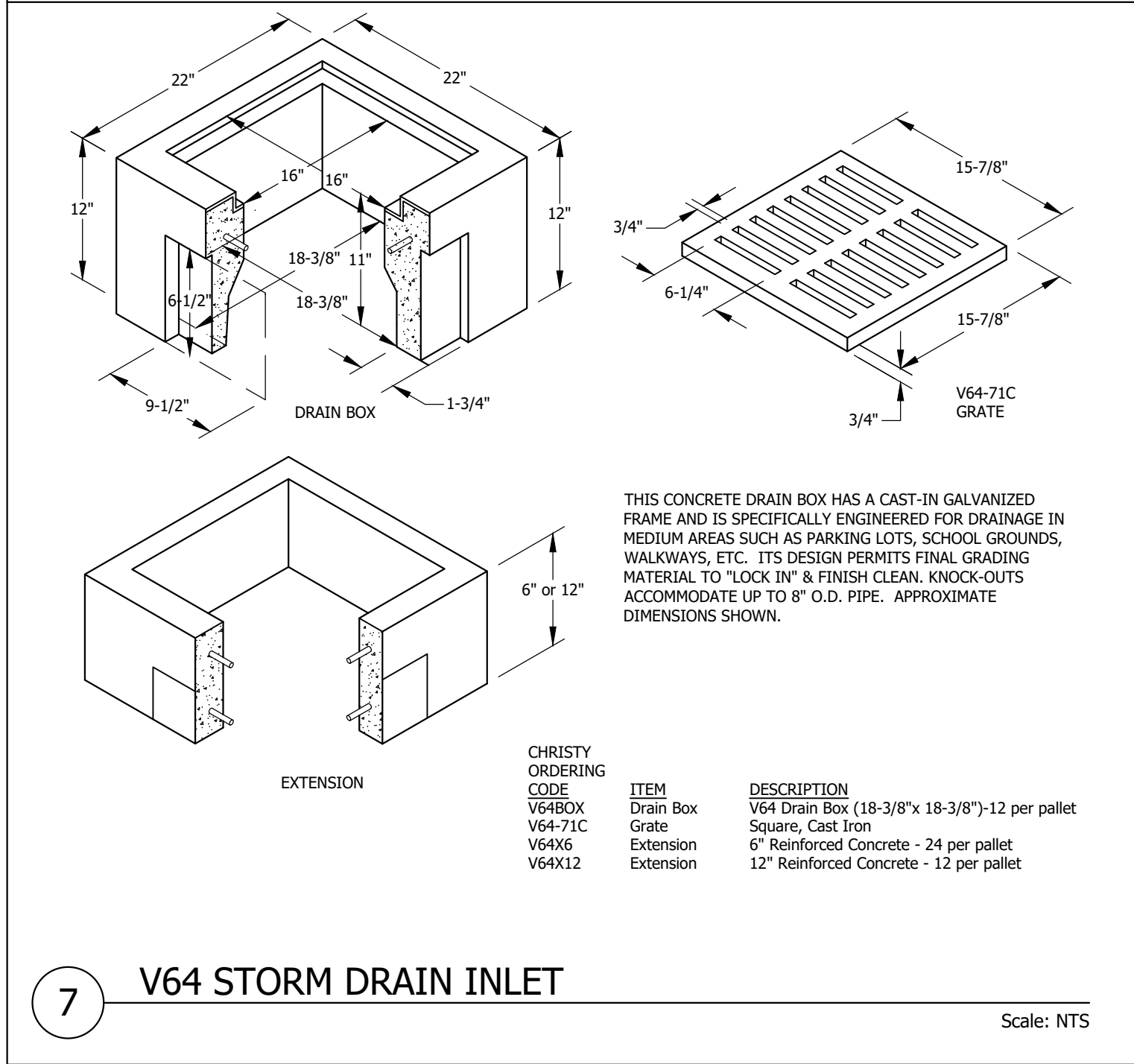
5 KEYSTONE BLOCK RETAINING WALL
Scale: NTS

BASIC GEOGRID PLACEMENT CHART *

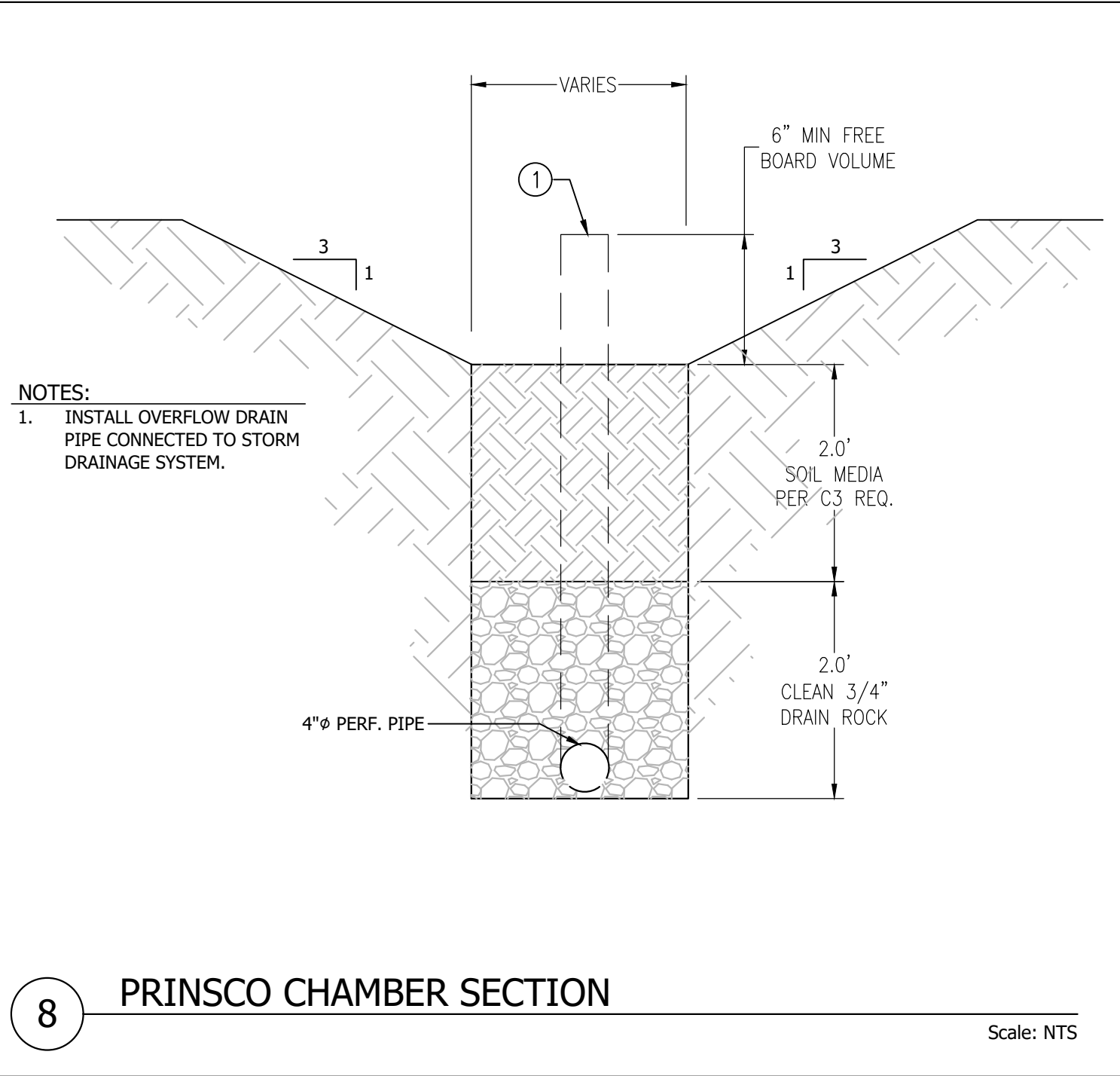
WALL HEIGHT FEET	CASE	GRID TYPE #	NUMBER OF LAYERS	GEOGRID LENGTH FEET	GEOGRID LAYER NUMBER
4	A	-	-	-	1 2 3 4 5
4	B	-	-	-	
4	C	1	2.5	1.5	
5	A	-	-	-	
5	B	1	2.5	2	
5	C	2	3.7	1.3	3.3
6	A	1	2.5	2.7	
6	B	2	2.5	1.3	3.3
6	C	3	4.3	.7	2 4
7	A	2	3.0	1.3	4.0
7	B	3	3.0	1.3	2.7 4.7
7	C	3	4.9	1.3	2.7 4.7
8	A	3	3.2	1.3	3.3 5.3
8	B	4	3.5	.7	2.7 4.7 6.7
8	C	3	5.8	1.3	3.3 5.3
10	A	3	4.3	1.3	4 6.7
10	B	4	4.6	1.3	3.3 5.3 7.3
10	C	3	7.0	1.3	4.0 6.7



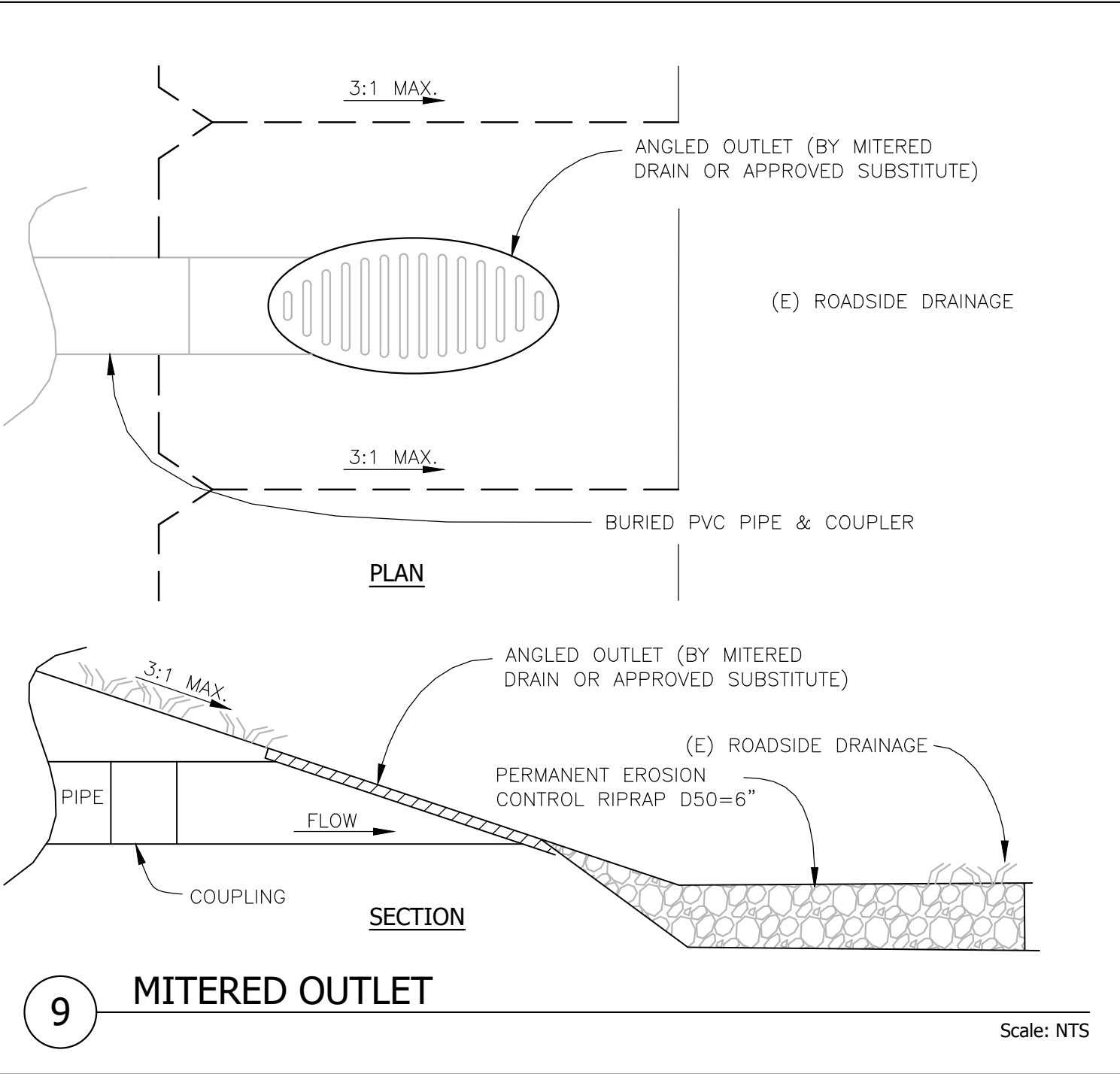
6 TRENCH INSTALLATION DETAIL
Scale: NTS



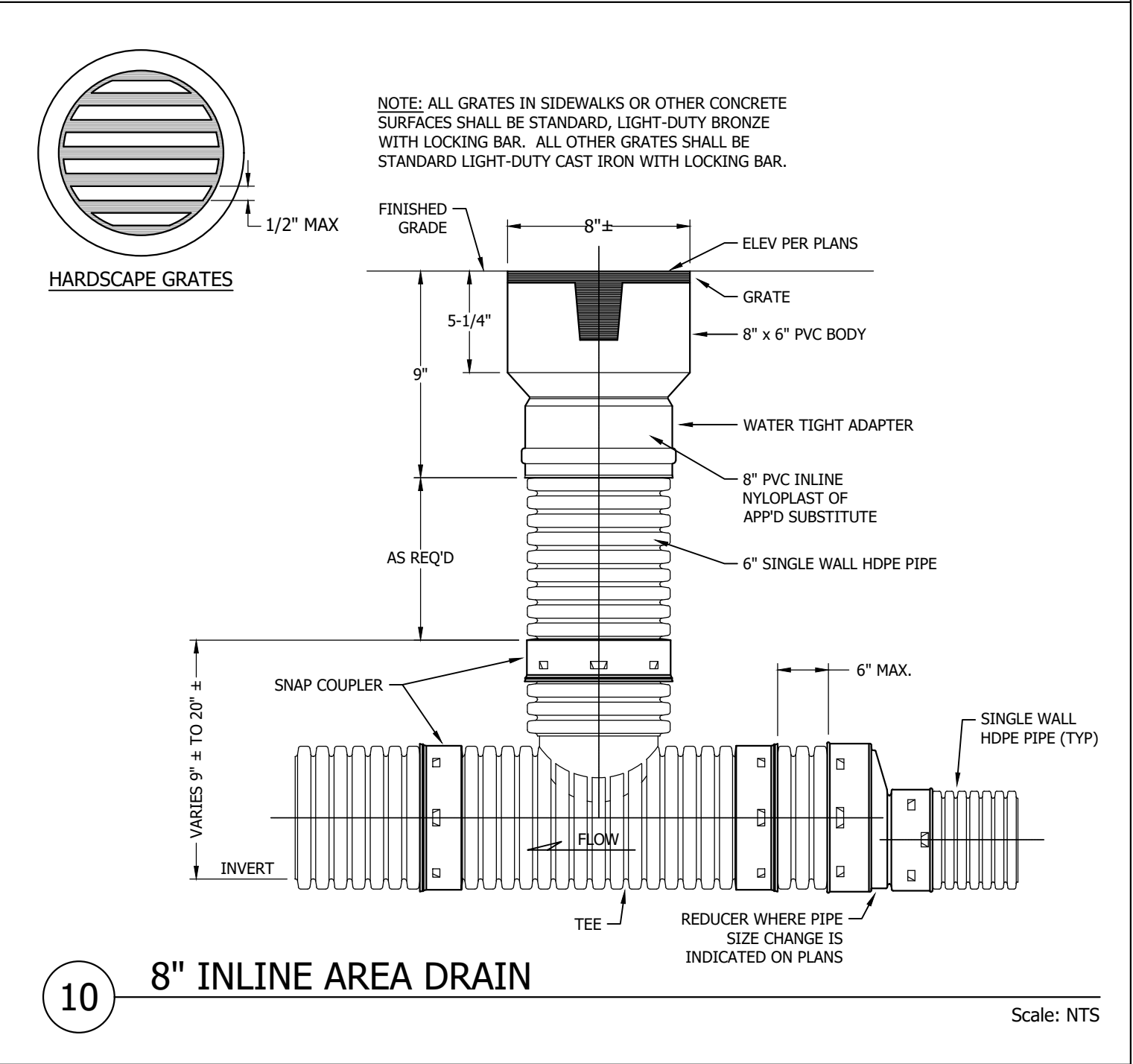
7 V64 STORM DRAIN INLET
Scale: NTS



8 PRINSCO CHAMBER SECTION
Scale: NTS



9 MITERED OUTLET
Scale: NTS



10 8" INLINE AREA DRAIN
Scale: NTS

REVISIONS	BY
1	DD
RESPONSE TO SCC COMMENTS 11/05/21	

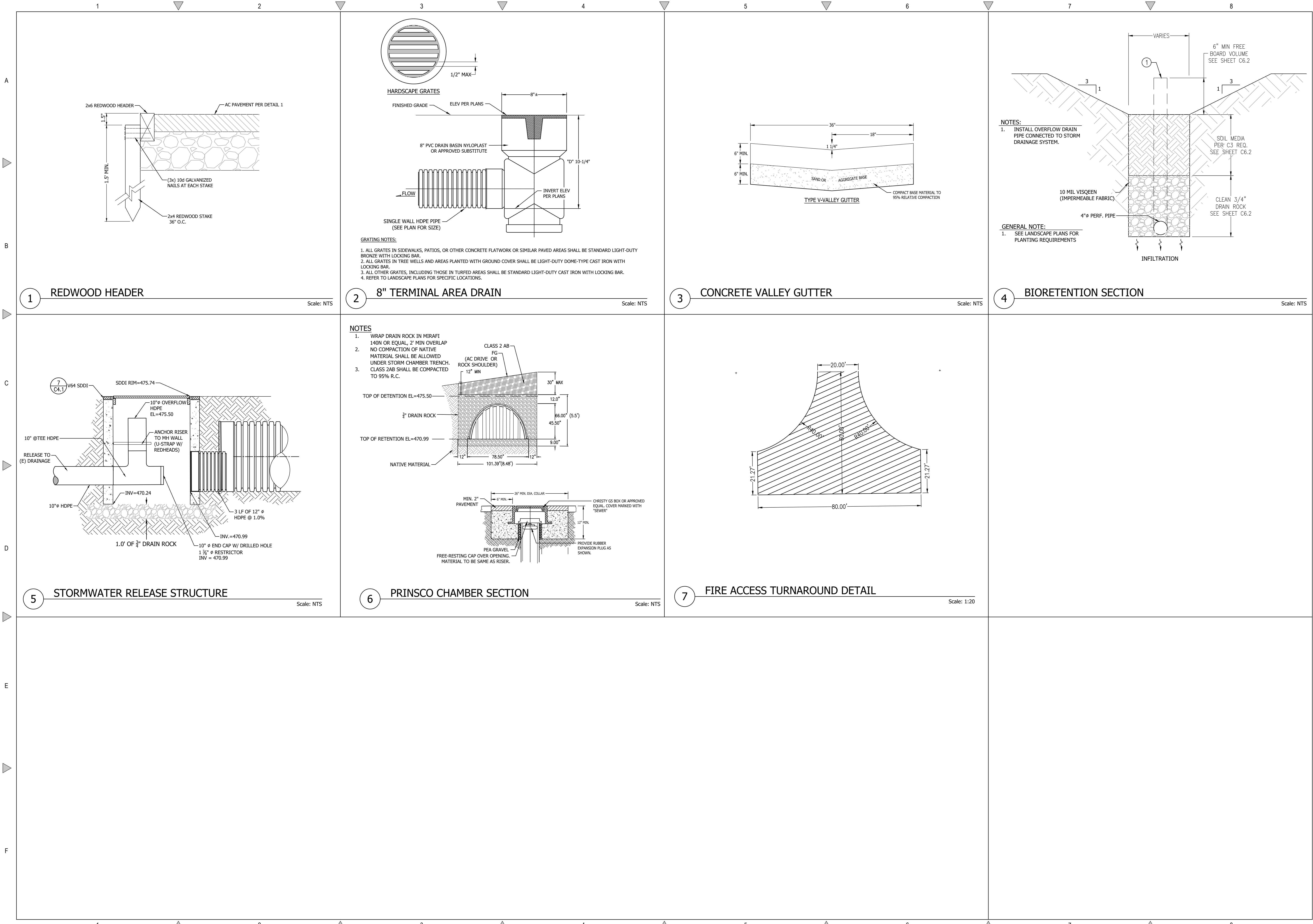
DETAILS

REGISTERED PROFESSIONAL ENGINEER
TODD R. CREAGER
No. C 64561
Exp. 6/30/23
CIVIL
STATE OF CALIFORNIA

C2G CIVIL CONSULTANTS GROUP, INC.
Engineers/Planners
4400 Scotts Valley Blvd., Suite 6
Scotts Valley, CA 95066
T (831) 438-4420 F (831) 438-4420
By: Lorenz/Unipoint

BARSANA RESIDENCE
AUGUSTE COURT
APN: 029-35-007

Date: 08/06/21
Scale: NTS
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Of 28 Sheets



REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

DETAILS

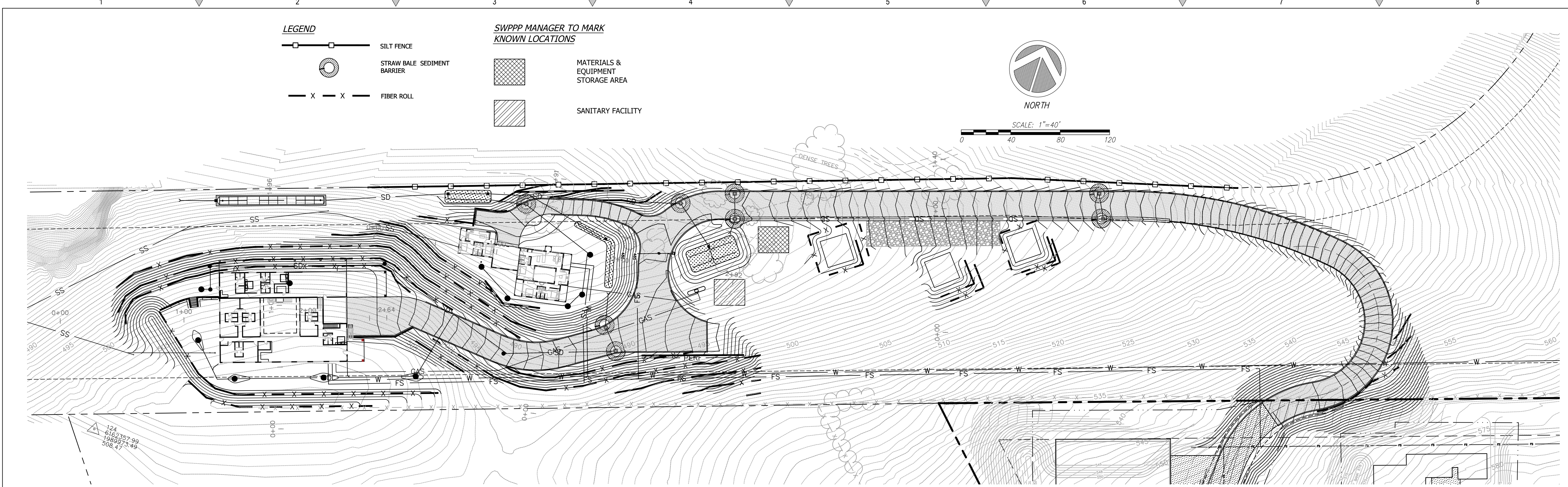


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 Engineers/Planners
 4400 Scotts Valley, CA 95066
 T (831) 438-4420 F (831) 438-4420
By: laurent.fouquet

BARSANA RESIDENCE
AUGUSTE COURT
APN: 029-35-007

Date:	08/06/21
Scale:	NTS
Drawn:	DD
Job:	3007.02
Sheet:	C4.2
Of	28 Sheets

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REVISIONS	BY
1	DD
RESPONSE TO SCC COMMENTS 11/05/21	

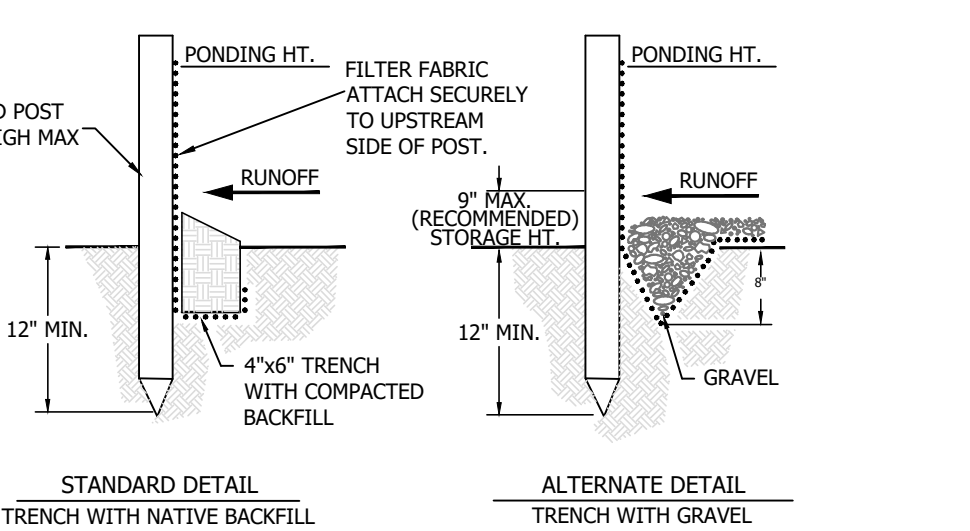
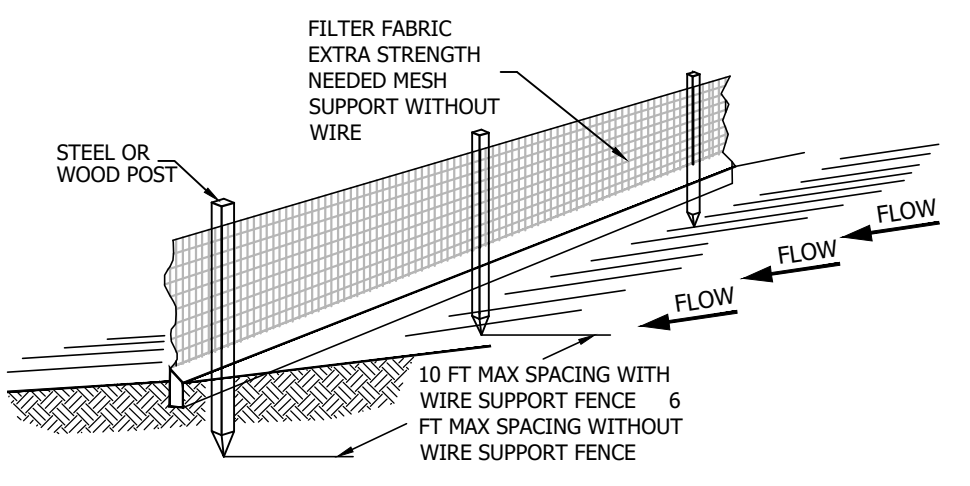
EROSION CONTROL

C2G CIVIL CONSULTANTS GROUP, INC.
 Registered Professional Engineer
 No. C 64561
 Exp. 6/30/23
 CIVIL
 STATE OF CALIFORNIA

BARSANA RESIDENCE
AUGUSTE COURT
APN: 029-35-007

Date: 08/06/21
 Scale: 1" = 40'
 Drawn: DD
 Job: 3007.02
 Sheet: **C5.1**
 of 28 Sheets

- NOTE:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED AT AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE REPLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



1 SILT FENCE Scale: NTS

CONSTRUCTION SPECIFICATIONS

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT SHALL NEVER EXCEED 18". THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE.

IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET. TURN THE ENDS OF THE FENCE UP HILL.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

THE STANDARD-STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 6 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.

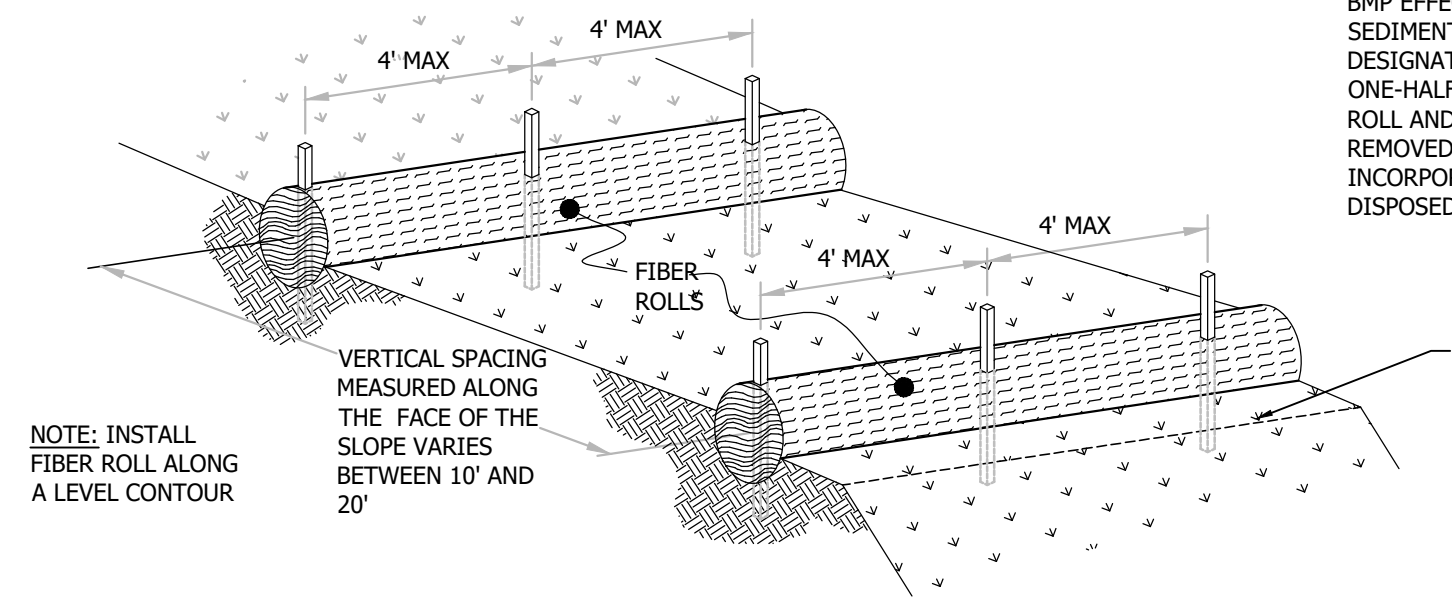
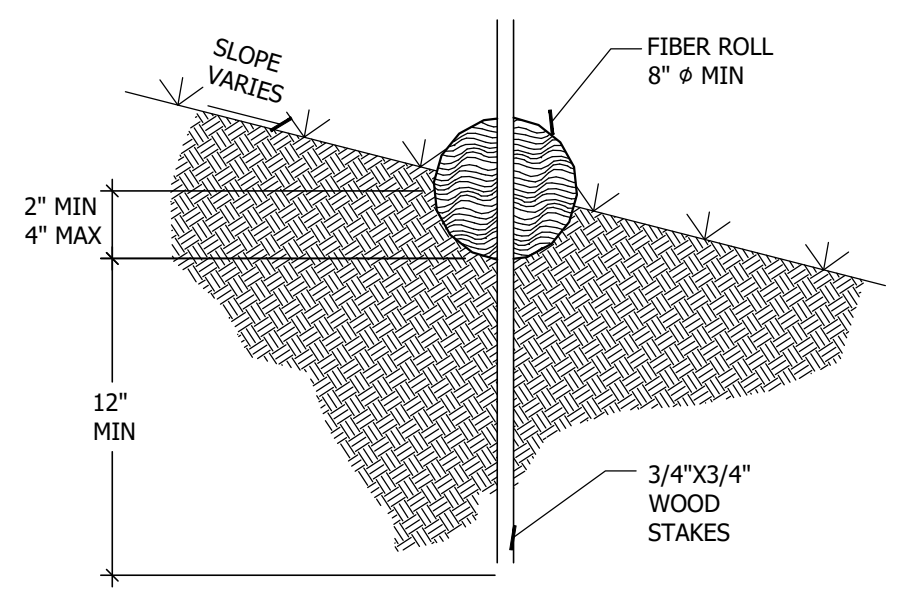
SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED, AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.

INSPECTION AND MAINTENANCE

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT STORM (1" IN 24 HR.). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES MAXIMUM.

THE REMOVED SEDIMENT SHALL VEGETATE OR OTHERWISE STABILIZED.



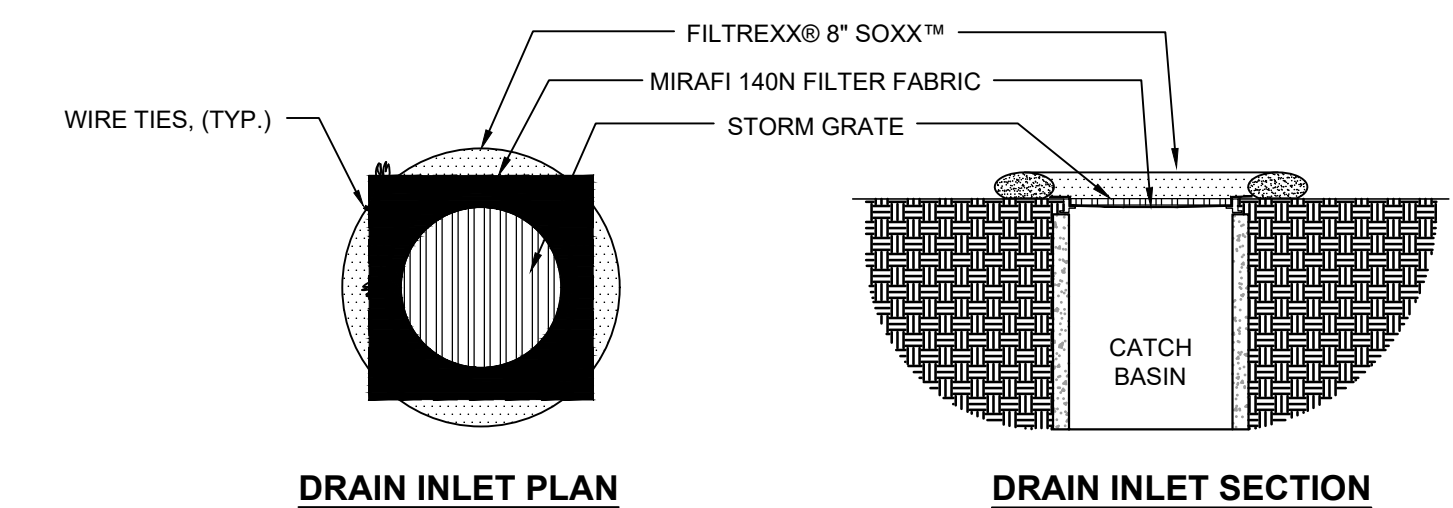
2 FIBER ROLLS Scale: NTS

CONSTRUCTION SPECIFICATIONS

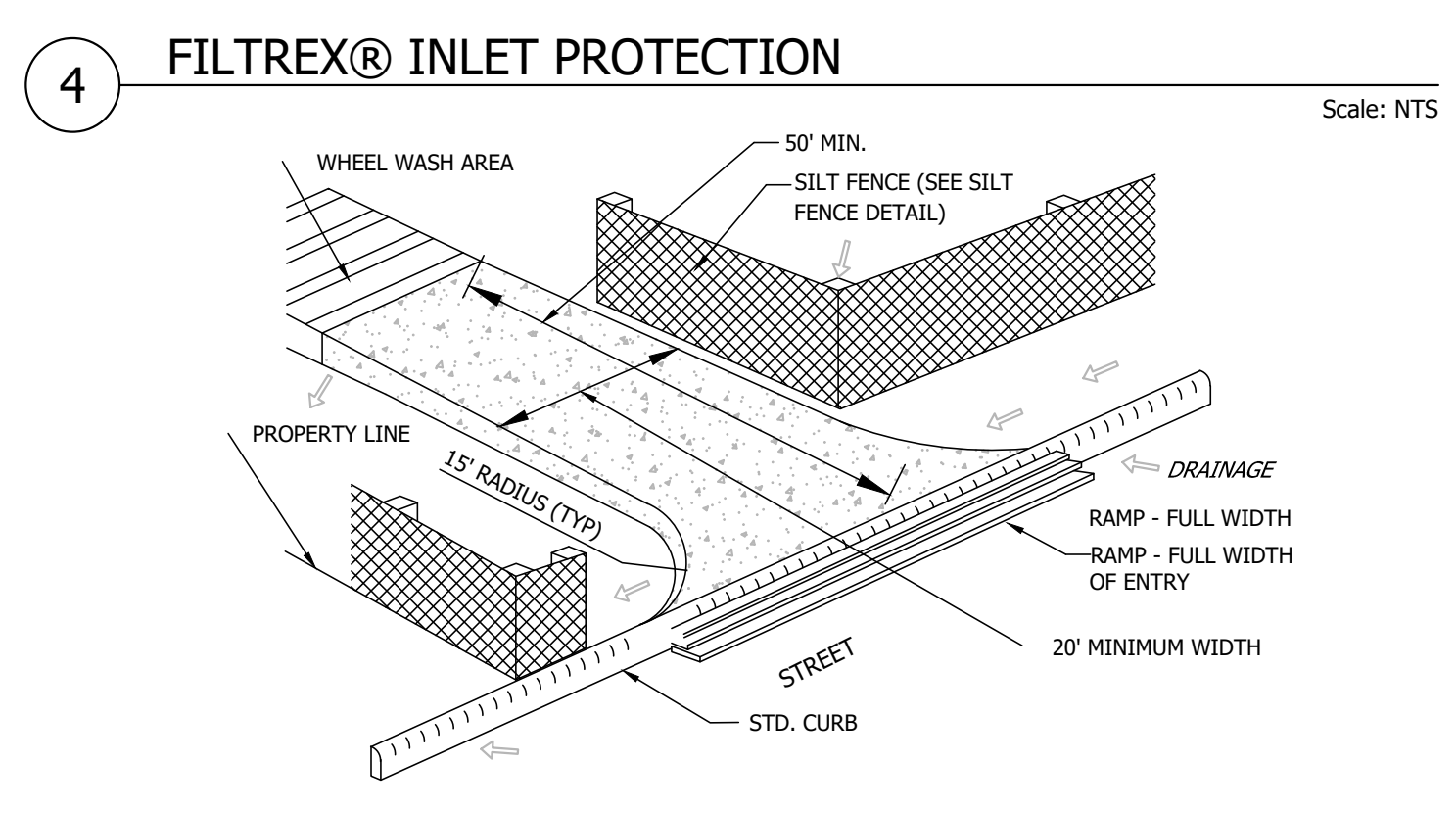
LOCATE FIBER ROLLS ON LEVEL CONTOURS SPACED AS FOLLOWS:

- SLOPE INCLINATION OF 4:1 (H:V) OR FLATTER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 20 FT.
- SLOPE INCLINATION BETWEEN 4:1 AND 2:1 (H:V) FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 15 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
- SLOPE INCLINATION OF 2:1 (H:V) OR GREATER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 10 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
- TURN THE ENDS OF THE FIBER ROLL UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL. STAKE FIBER ROLLS INTO A 2 TO 4 IN. DEEP TRENCH WITH A WIDTH EQUAL TO THE DIAMETER OF THE FIBER ROLL.
- DRIVE STAKES AT THE END OF EACH FIBER ROLL AND SPACED 4 FT MAXIMUM ON CENTER.
- USE WOOD STAKES WITH A NOMINAL CLASSIFICATION OF 0.75 BY 0.75 IN. AND A MINIMUM LENGTH OF 24 IN.
- IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED. REPAIR OR REPLACE SPLIT, TORN, UNRAVELING OR SLUMPING FIBER ROLLS.

IF THE FIBER ROLL IS USED AS A SEDIMENT CAPTURE DEVICE, OR AS AN EROSION CONTROL DEVICE TO MAINTAIN SHEET FLOWS, SEDIMENT THAT ACCUMULATES IN THE BMP MUST BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNATED SEDIMENT STORAGE DEPTH, USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING THE MAINTENANCE MAY BE INCORPORATED INTO EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.

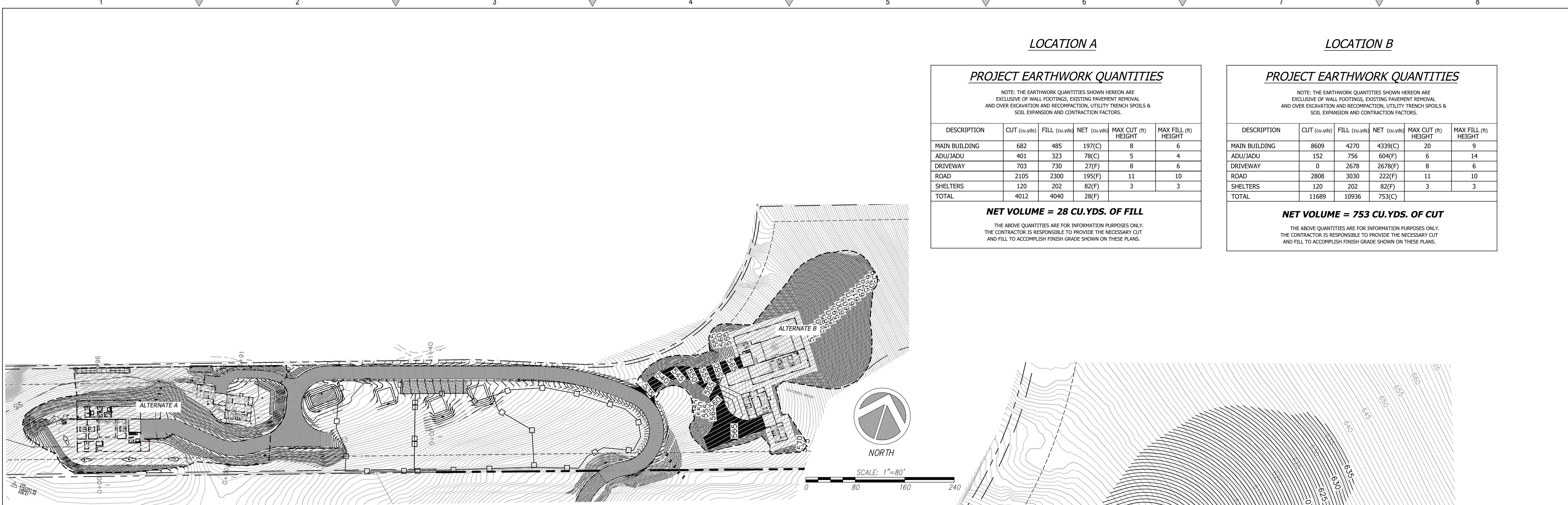


- NOTES:**
1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
 2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
 3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
 4. CONTRACTOR SHALL EXTEND MIRAFIX 140N FABRIC 8" BEYOND CATCH BASIN AFTER PLACEMENT OF GRATE
 5. CONTRACTOR SHALL REMOVE ALL FILTER FABRIC FROM ALL STORM DRAIN INLETS UPON COMPLETION OF PROJECT



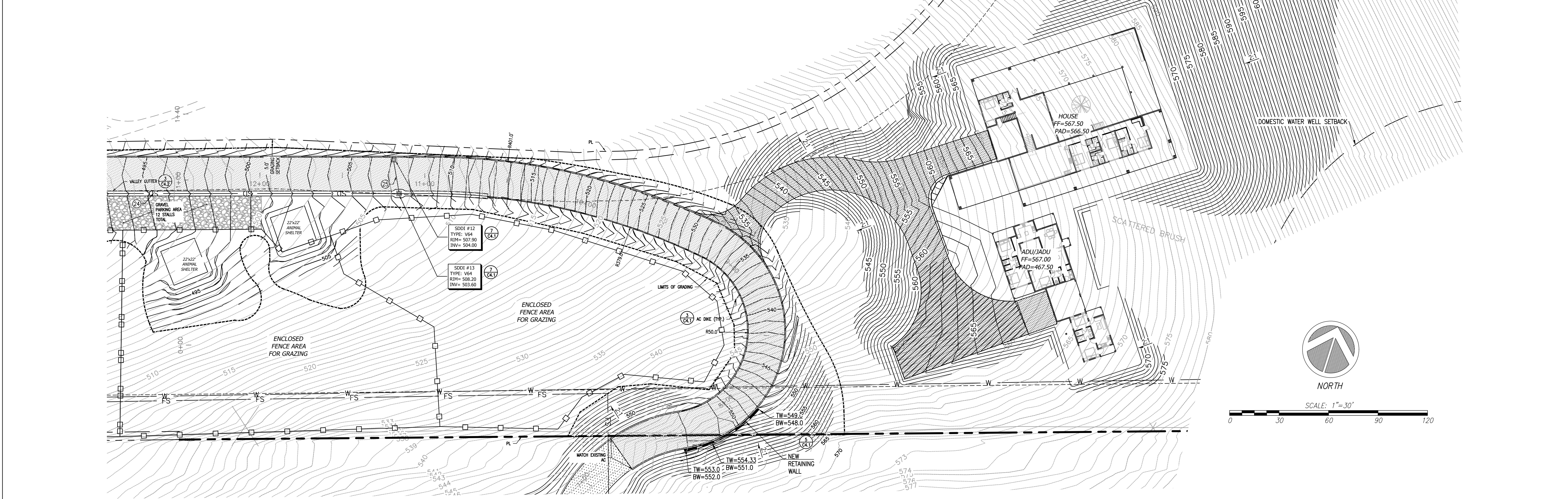
3 FILTERIX® INLET PROTECTION Scale: NTS

3 ROCKED CONSTRUCTION ENTRANCE Scale: NTS



1 OVERALL SITE PLAN

Scale: 1:80



2 ALTERNATE SITE PLAN

Scale: 1:30

LOCATION A

PROJECT EARTHWORK QUANTITIES

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL AND OVER EXCAVATION AND RECOMPACTION, UTILITY TRENCH SPOILS & SOIL EXPANSION AND CONTRACTION FACTORS.

DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)	NET (cu.yds)	MAX CUT (ft) HEIGHT	MAX FILL (ft) HEIGHT
MAIN BUILDING	682	485	197(C)	8	6
ADU/JADU	401	323	78(C)	5	4
DRIVEWAY	703	730	27(F)	8	6
ROAD	2105	2300	195(F)	11	10
SHELTERS	120	202	82(F)	3	3
TOTAL	4012	4040	28(F)		

NET VOLUME = 28 CU.YDS. OF FILL

THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.

LOCATION B

PROJECT EARTHWORK QUANTITIES

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL AND OVER EXCAVATION AND RECOMPACTION, UTILITY TRENCH SPOILS & SOIL EXPANSION AND CONTRACTION FACTORS.

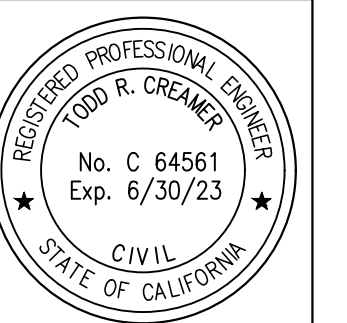
DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)	NET (cu.yds)	MAX CUT (ft) HEIGHT	MAX FILL (ft) HEIGHT
MAIN BUILDING	8609	4270	4339(C)	20	9
ADU/JADU	152	756	604(F)	6	14
DRIVEWAY	0	2678	2678(F)	8	6
ROAD	2808	3030	222(F)	11	10
SHELTERS	120	202	82(F)	3	3
TOTAL	11689	10936	753(C)		

NET VOLUME = 753 CU.YDS. OF CUT

THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.

REVISIONS	BY
1 RESPONSE TO SCC COMMENTS 11/05/21	DD

ALTERNATE SITE PLAN

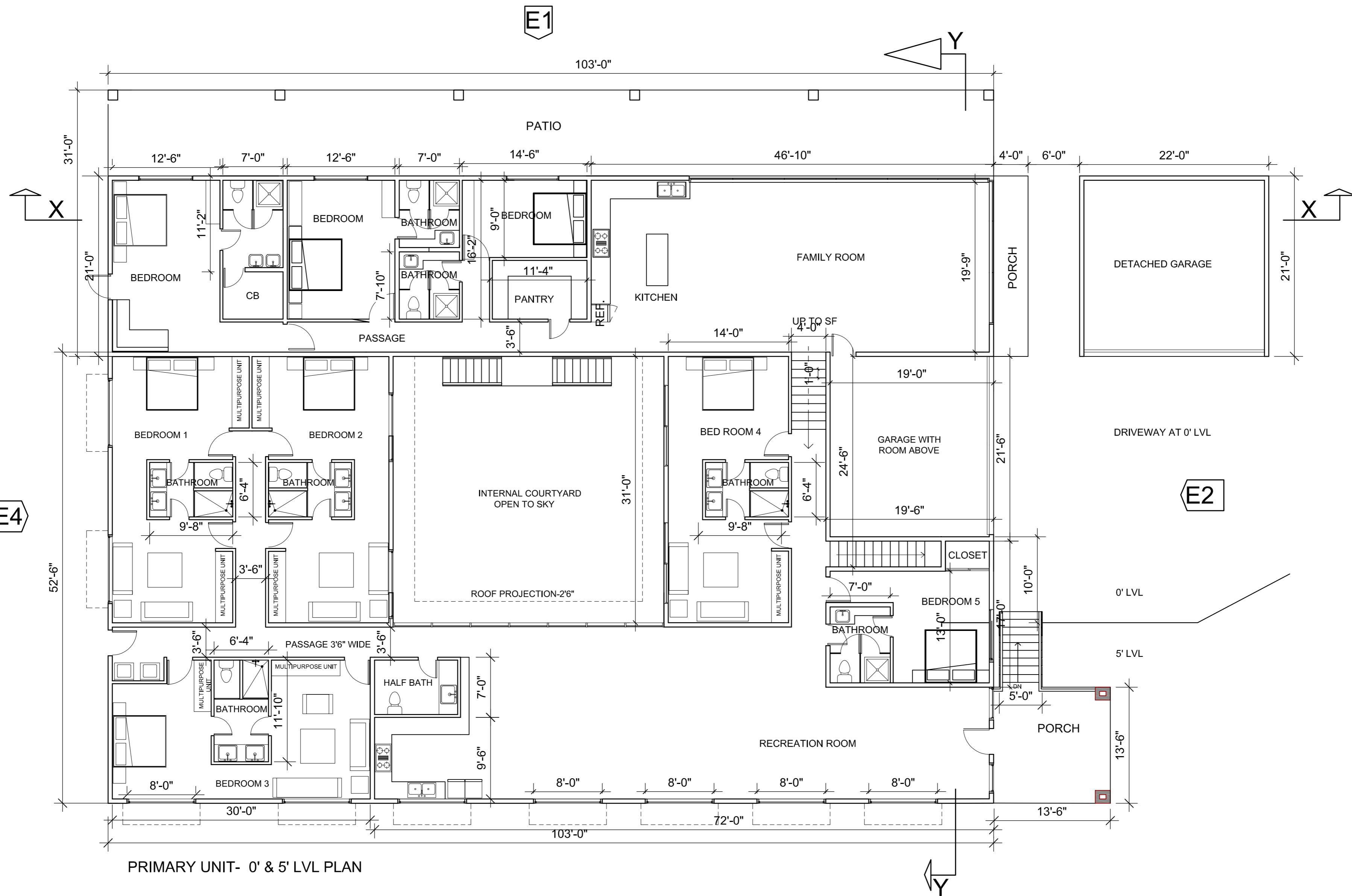


C2G CIVIL CONSULTANTS GROUP, INC.
 Engineers/Planners
 4400 Scotts Valley, CA 95066
 T (831) 438-4420 F (831) 438-4420

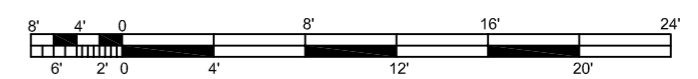
BARSANA RESIDENCE
 AUGUSTE COURT
 APN: 029-35-007

Date:	08/06/21
Scale:	AS SHOWN
Drawn:	DD
Job:	3007.02
Sheet:	C6.1
Of	28 Sheets

Drawing: 2 (Sheet) CAD (3007.02) - Alt - Sept. 2021 - 15:00 - SPS Design (CAD) Sheets (3007.02) - 061 - ALTERNATE SITE PLAN - Copy: 061 - Last Saved: Wed Mar 23, 2022 - 9:40am - By: LaurenLambert



PRIMARY UNIT- 0' & 5' LVL PLAN



BARSANA
1 AUGUSTE CT, MILPITAS, CA 95035

AJAY GOYAL
748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337

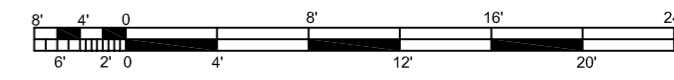
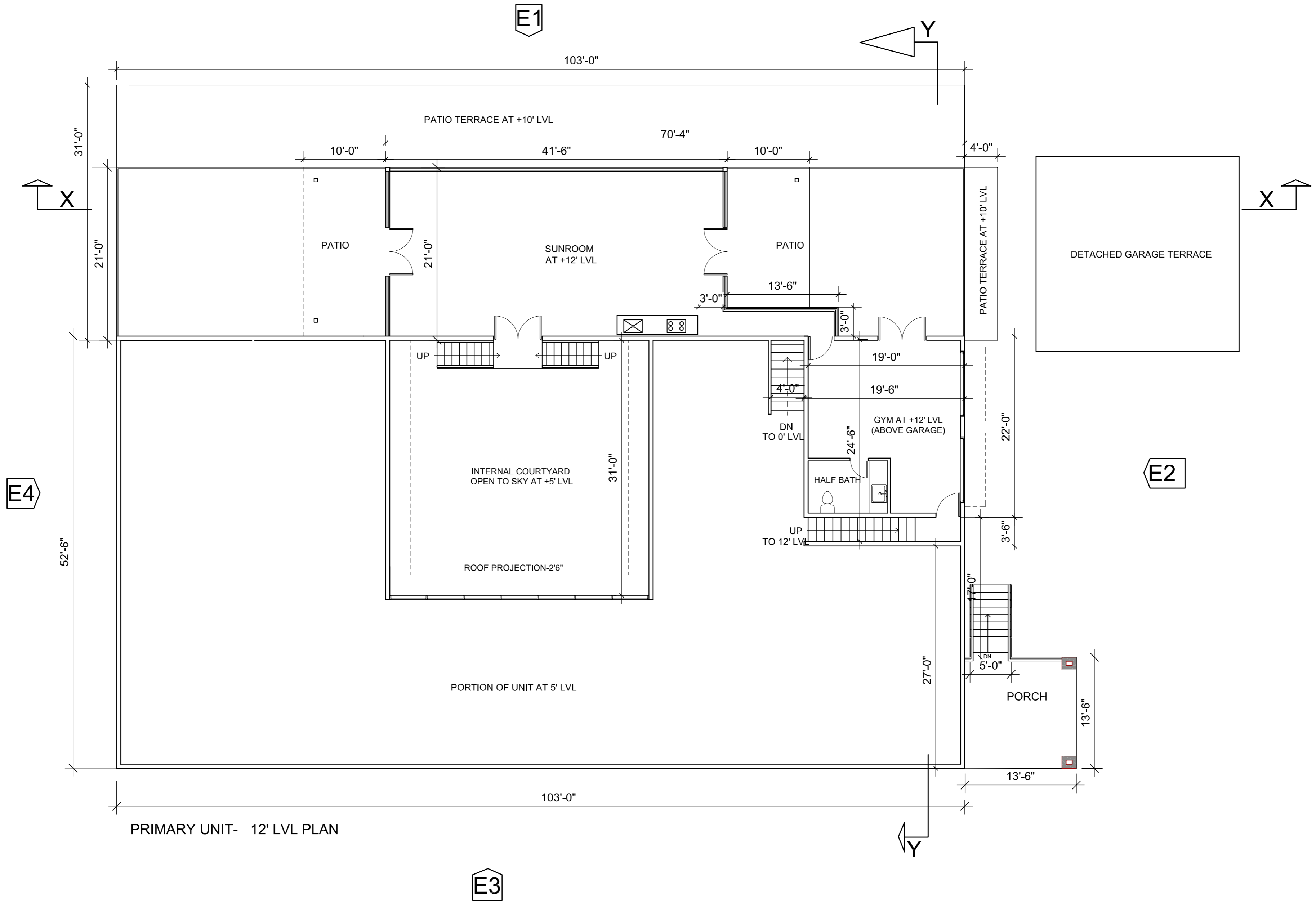
DRAWN BY:
NEHA

DATE: 07-02-2021
SCALE: 1:100

LOCATION:
APN 029-35-007

SUBJECT:
PRIMARY RESIDENCE
0' AND 5' LVL PLAN

DRAWING NO. :
P01



BARSANA
 1 AUGUSTE CT, MILPITAS, CA 95035

AJAY GOYAL
 748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337

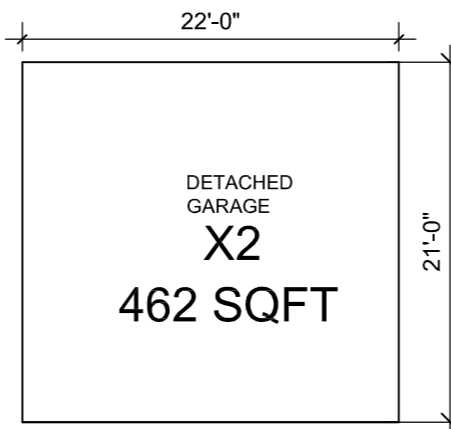
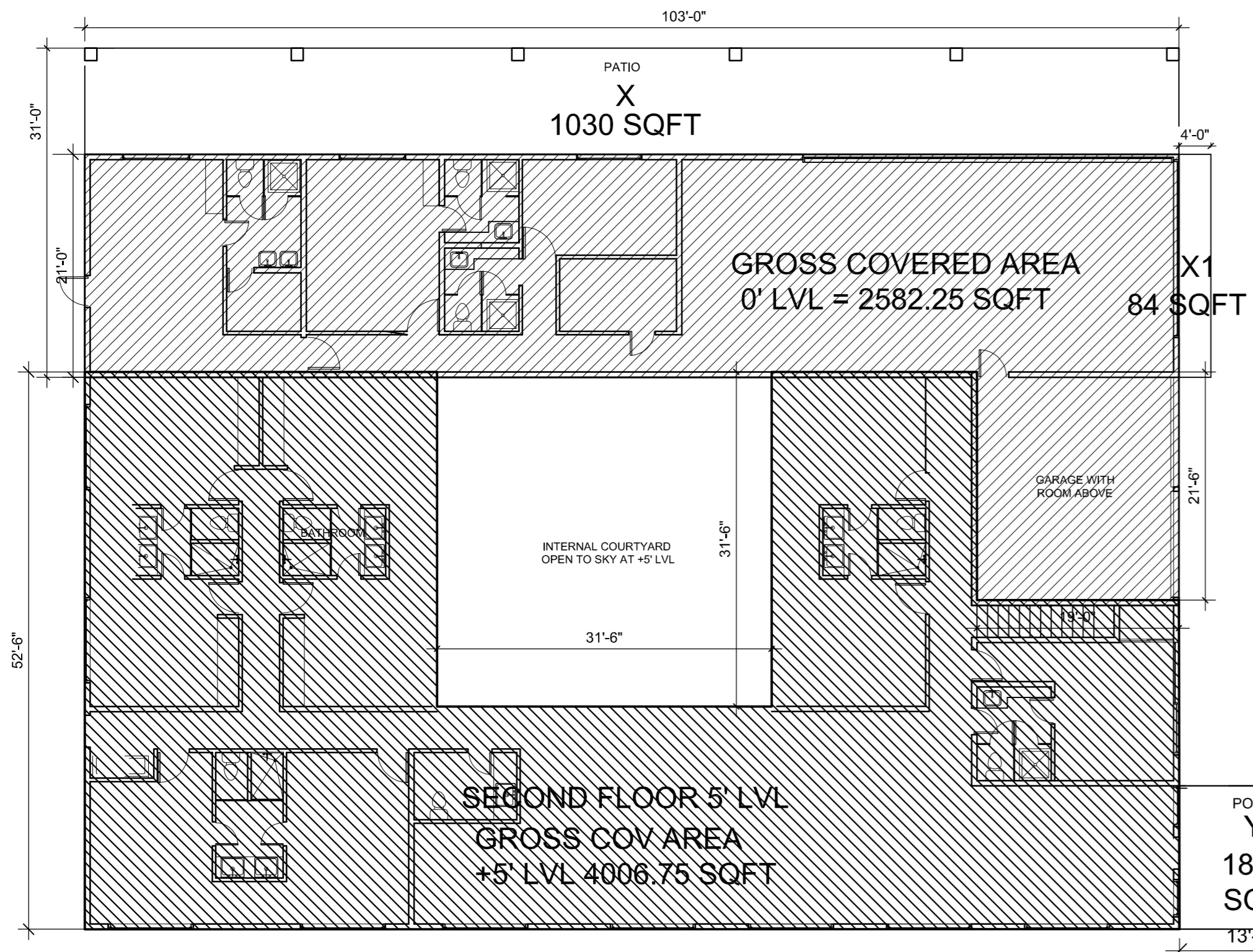
DRAWN BY:
 NEHA

DATE: 07-02-2021
 SCALE: 1:100

LOCATION:
 APN 029-35-007

SUBJECT:
PRIMARY RESIDENCE
 12' LVL PLAN

DRAWING NO. :
 P02



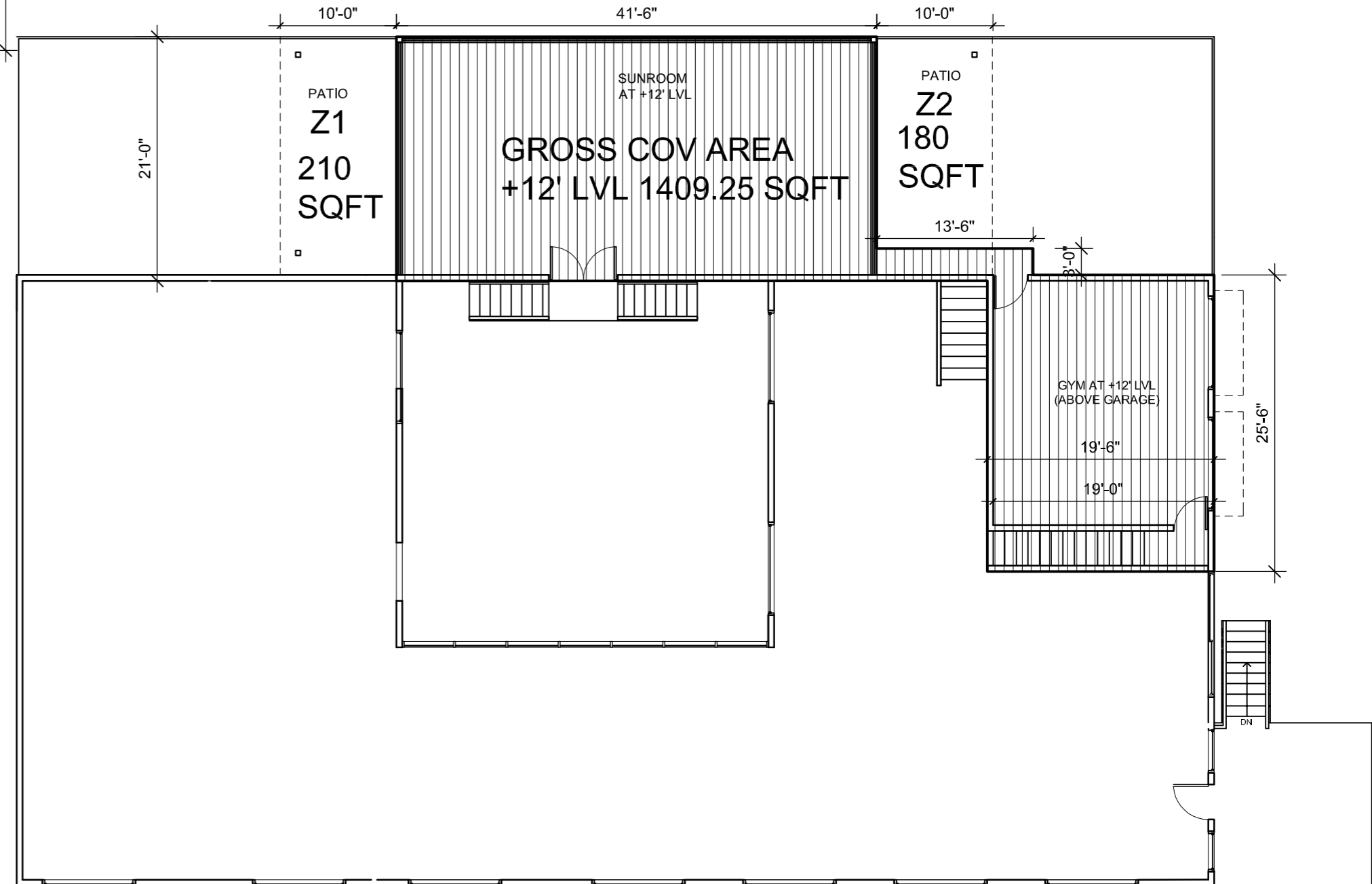
PRIMARY UNIT- AREA ANALYSIS OF 0' AND 5' LVL PLAN

GROSS AREA OF 0 LVL PLAN = 2582.25 SQFT
 GROSS AREA OF +5' LVL PLAN = 4006.75 SQFT

COVERED AREA OF PATIO-X = 1030 SQFT
 COVERED AREA PATIO X1= 84 SQFT
 COVERED AREA DETACHED GARAGE X2= 462 SQFT
 COVERED AREA OF PATIO-Y =182.25 SQFT

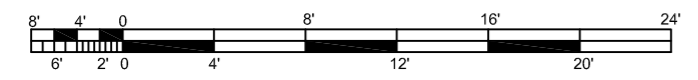
PRIMARY RESIDENCE- AREA ANALYSIS OF 12' LVL PLAN

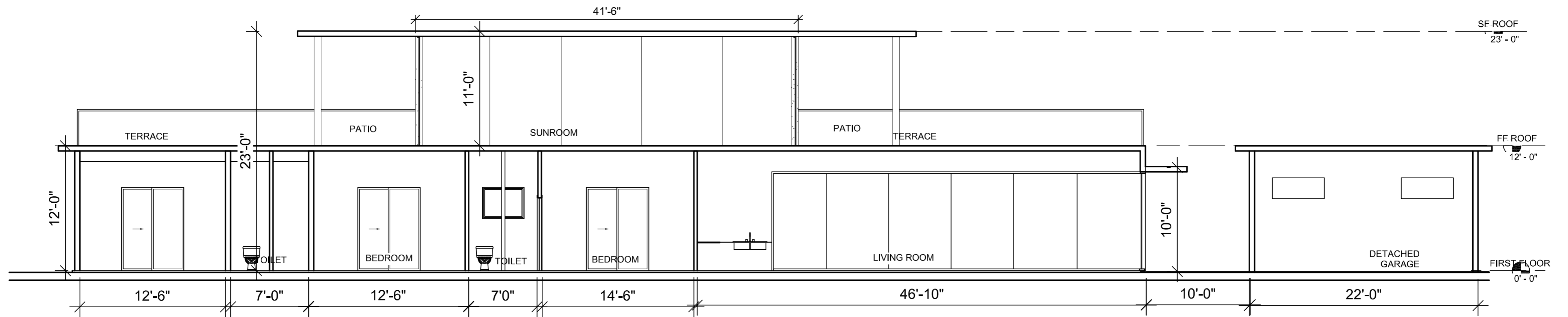
GROSS AREA OF +12' LVL PLAN =1409.25 SQFT
 COVERED AREA OF PATIO Z1= 210 SQFT
 COVERED AREA OF PATIO Z2= 180 SQFT



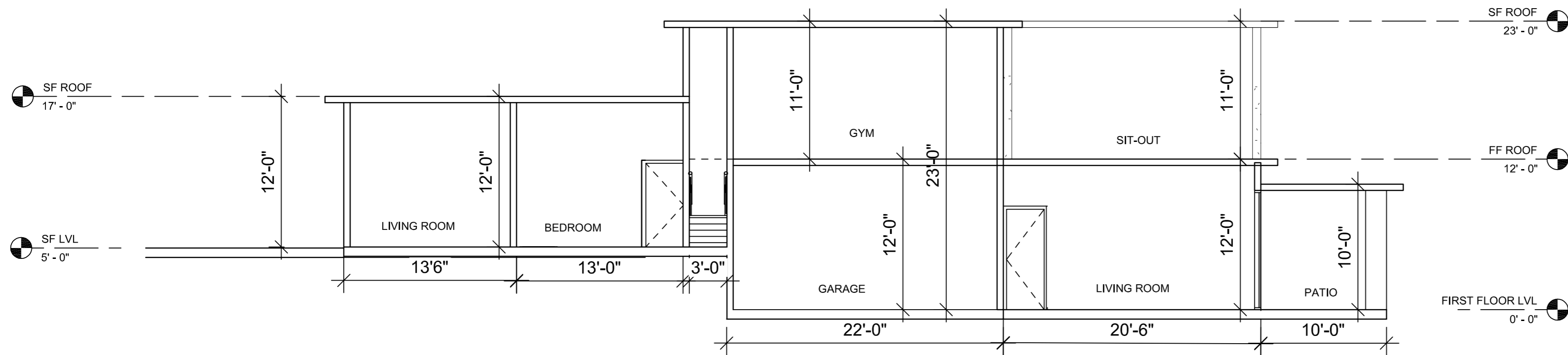
AREA TABULATION		
LVL	BUILDING PORTION	GROSS AREA
0'	ENTERTAINMENT RM,BED ROOM,KITCHEN,TOILET,PANTRY	2582.25 SQFT
5'	RECREATION RM,BED ROOMS,TOILET,STAIRS	4006.75 SQFT
12'	GYMNASIUM,SUNROOM	1409.25 SQFT
		7998.25 SQFT

MAX. GROSS AREA FOR HS-D2: 8,000 SQFT

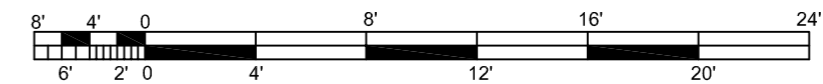




SECTION : X-X



SECTION : Y-Y



BARSANA
1 AUGUSTE CT, MILPITAS, CA 95035

AJAY GOYAL
748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337

DRAWN BY:
NEHA

DATE: 07-02-2021
SCALE: 1:100

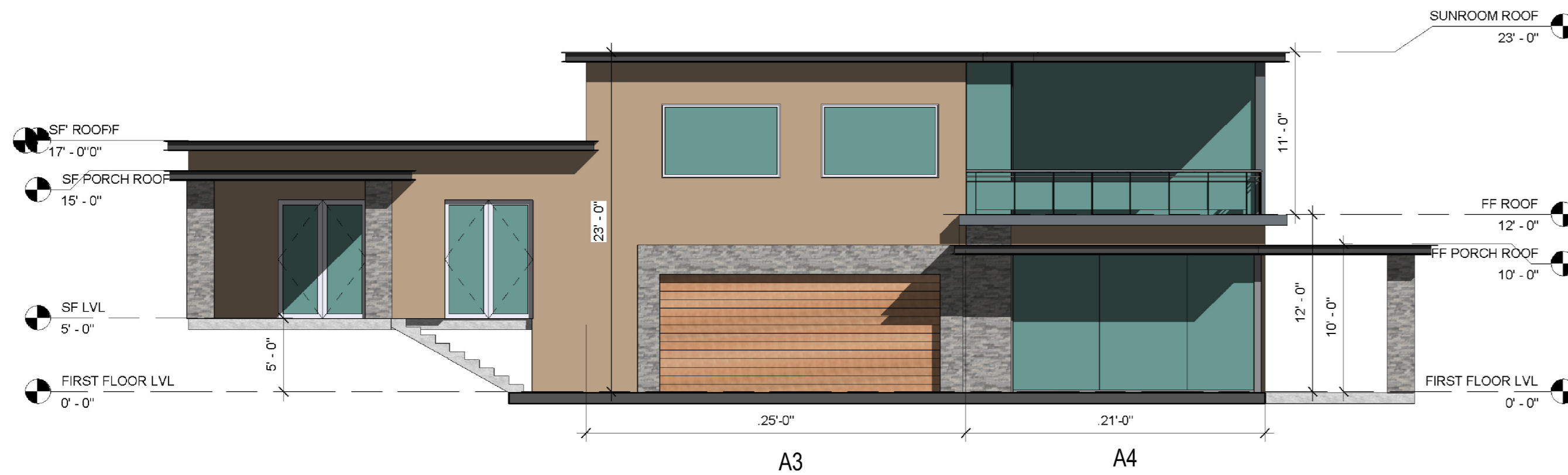
LOCATION:
APN 029-35-007

SUBJECT:
PRIMARY RESIDENCE
SECTIONS

DRAWING NO. :
P04



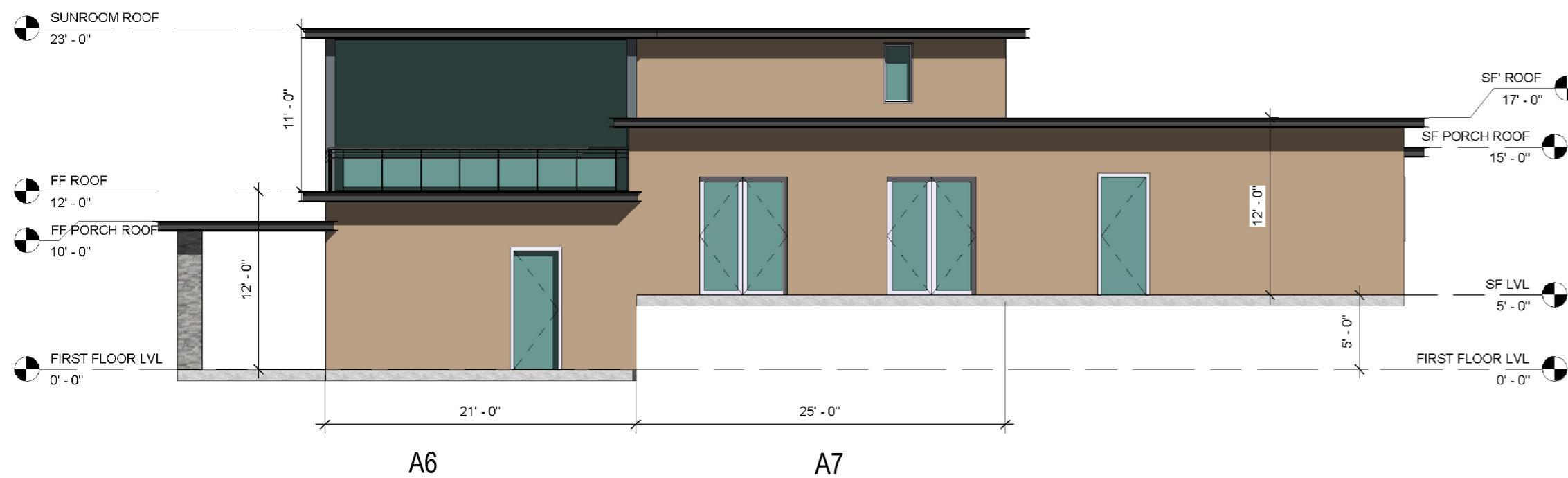
ELEVATION E1



ELEVATION E2

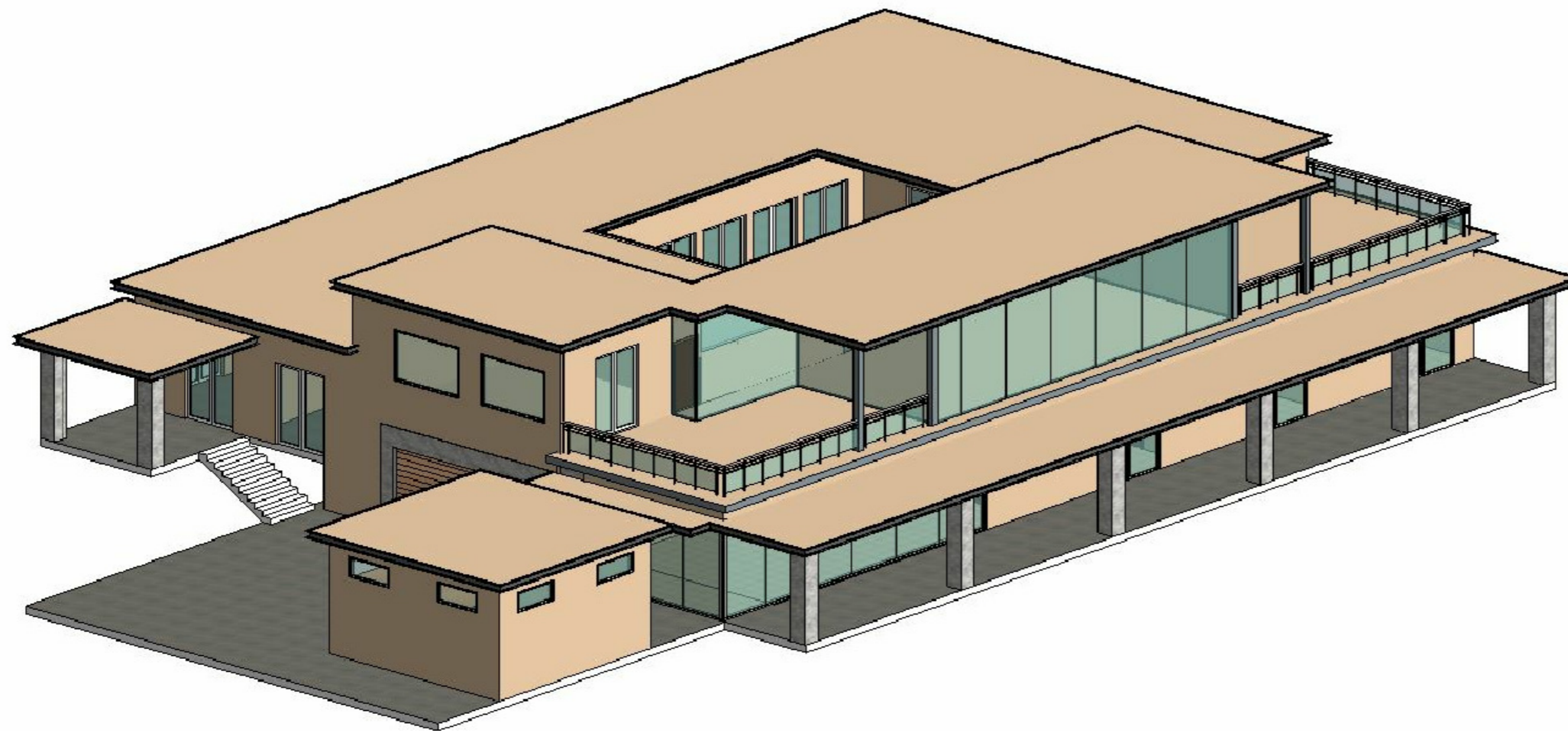


ELEVATION E3

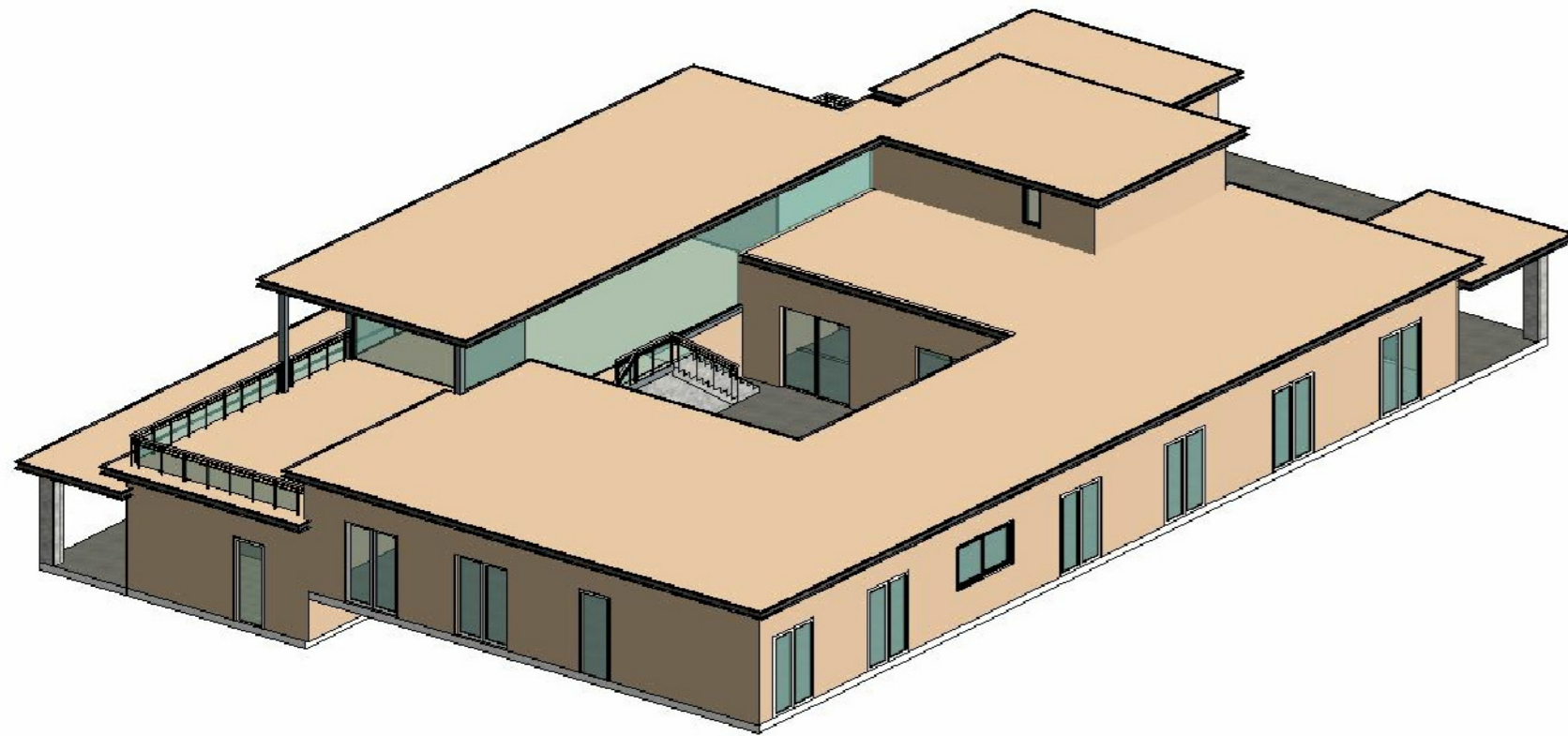


ELEVATION E4

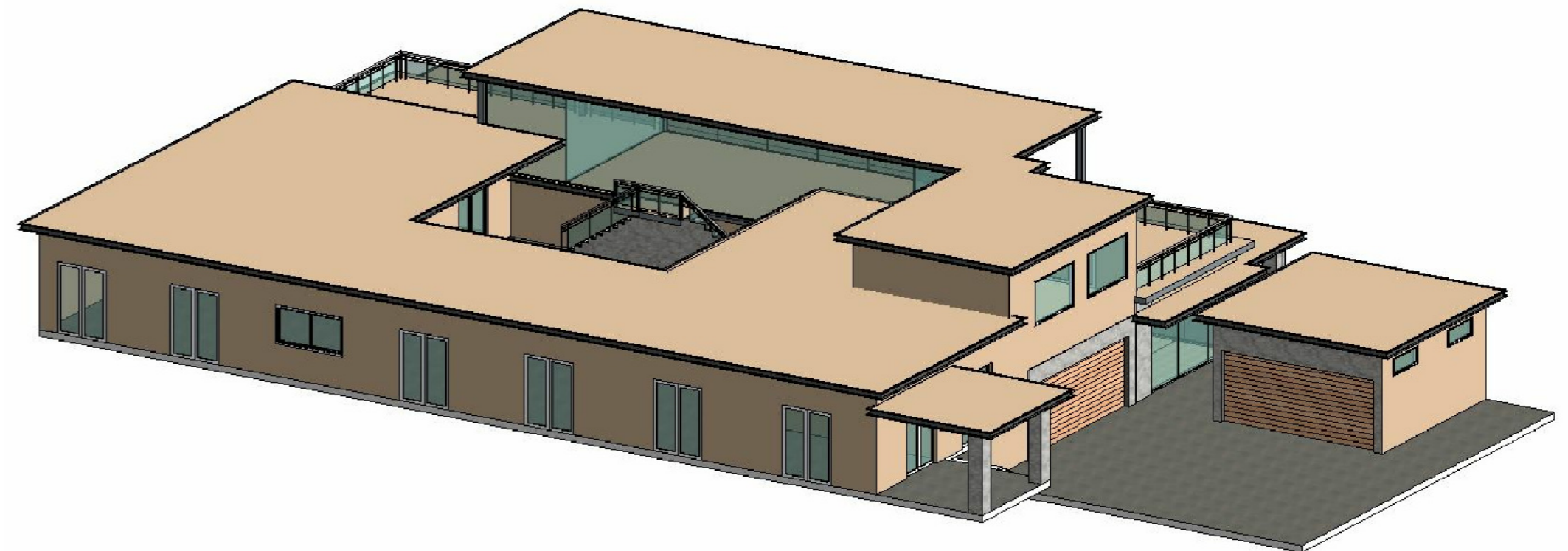
COLOR AND MATERIAL PALETTE				
WALL CLADDING	METAL ROOFING, GUTTER, EAVES	ENTRANCE WALL	GARAGE DOOR	DOOR, WINDOW, FRAME, TRIMS
PALM DESERT TAN (LRV43.07)	WOLF GREY (LRV 19.89)	MSI ALASKA GREY (LRV 44.42)	WOOD FINISH (LRV 35.71)	WHITE (LRV 99.2)



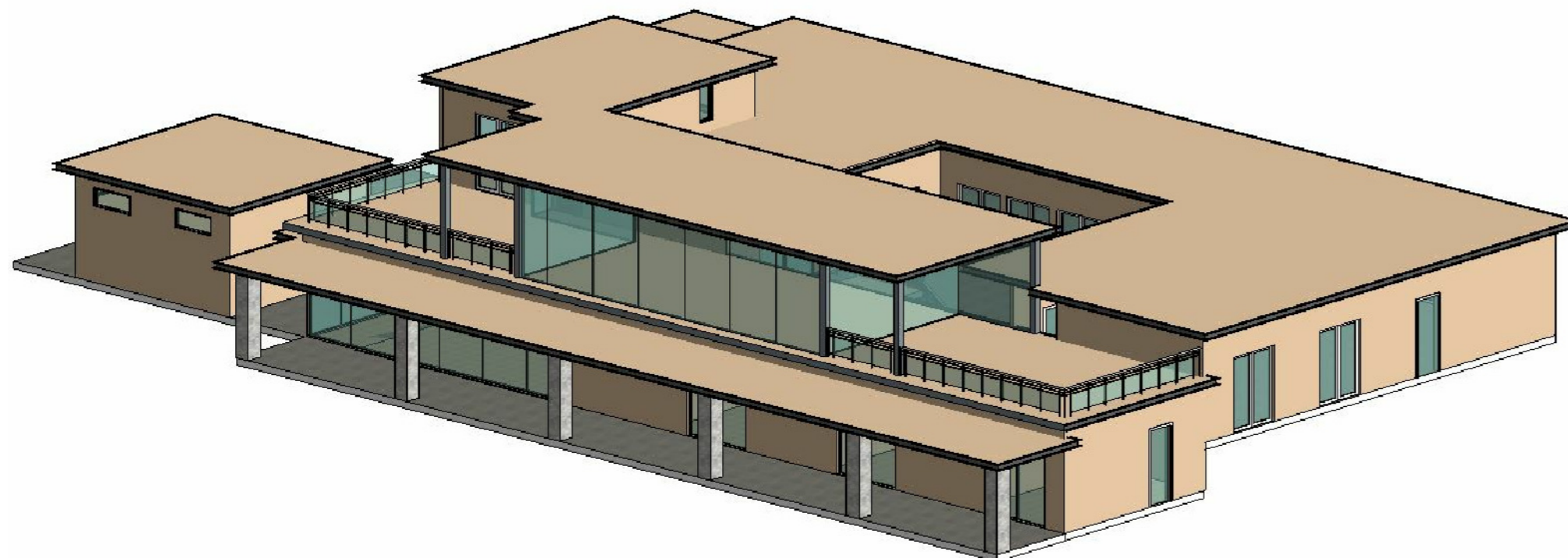
VIEW E1



VIEW E3

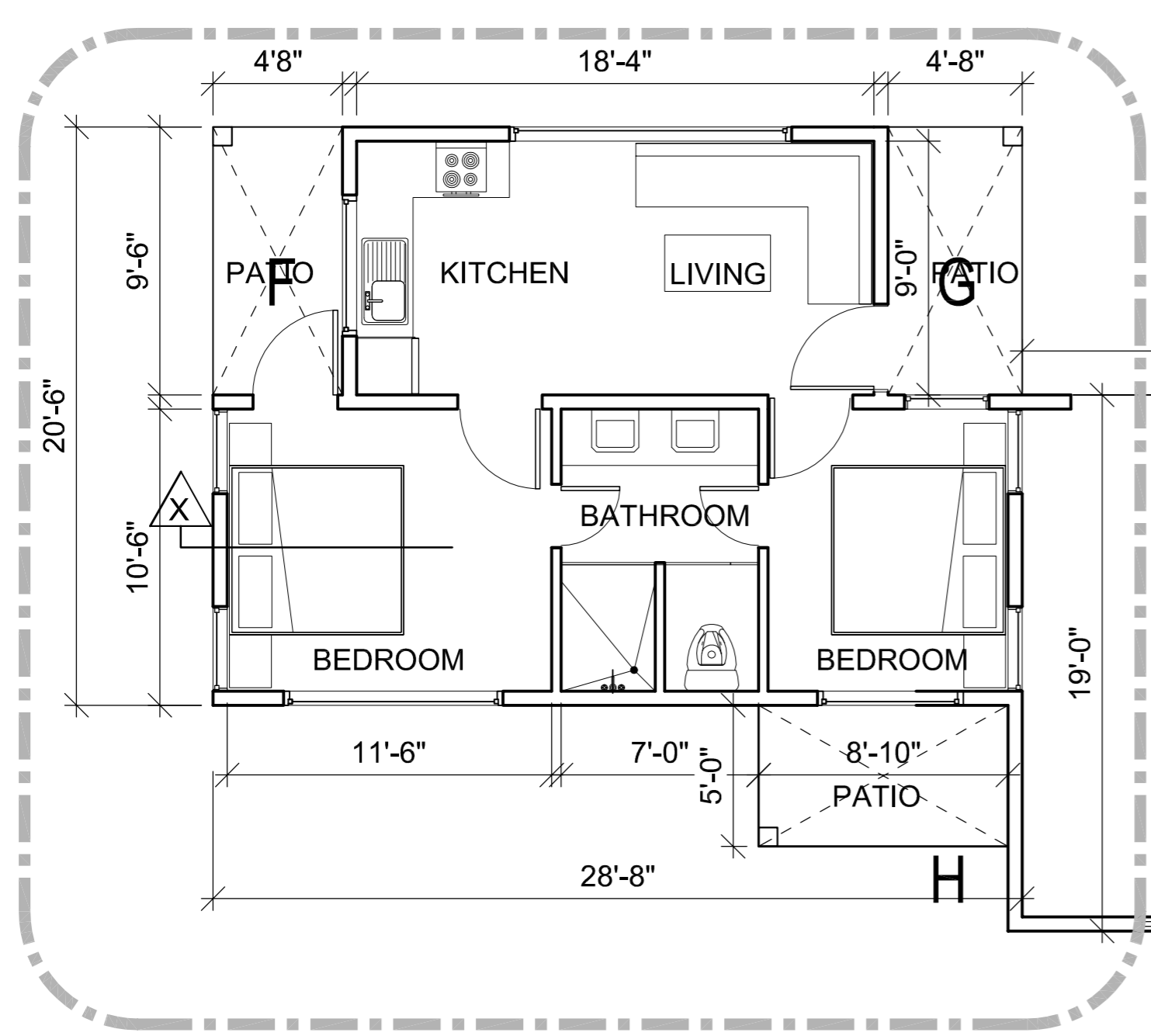


VIEW E2



VIEW E4

COLOR AND MATERIAL PALETTE				
WALL CLADDING	METAL ROOFING, GUTTER, EAVES	ENTRANCE WALL	GARAGE DOOR	DOOR, WINDOW, FRAME, TRIMS
PALM DESERT TAN (LRV43.07)	WOLF GREY (LRV 19.89)	MSI ALASKA GREY (LRV 44.42)	WOOD FINISH (LRV 35.71)	WHITE (LRV 99.2)

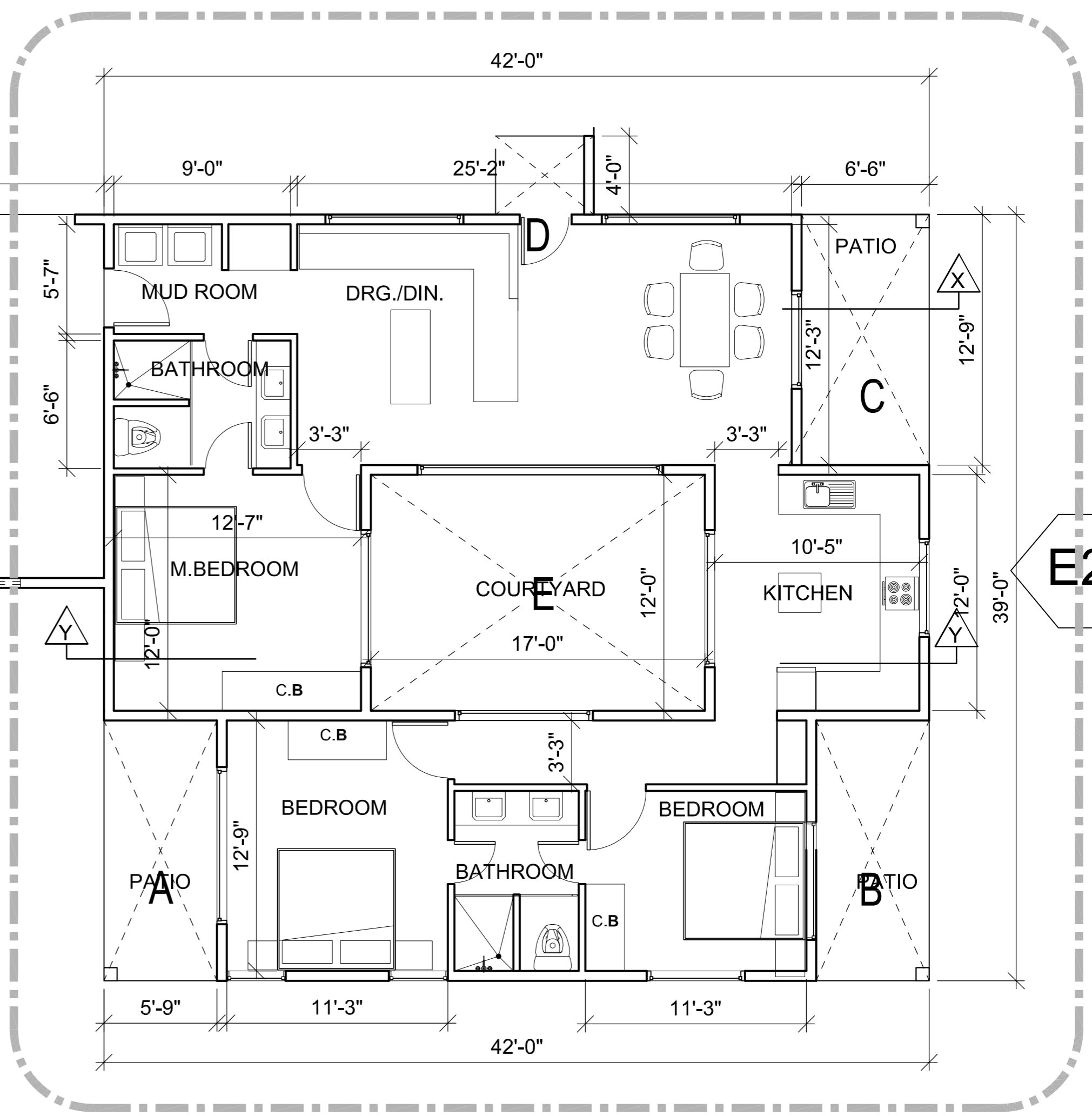
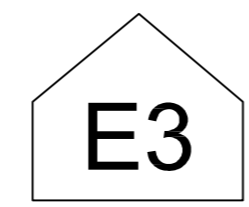
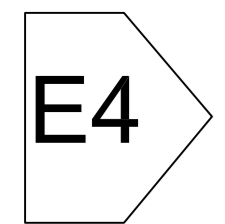


JADU UNIT

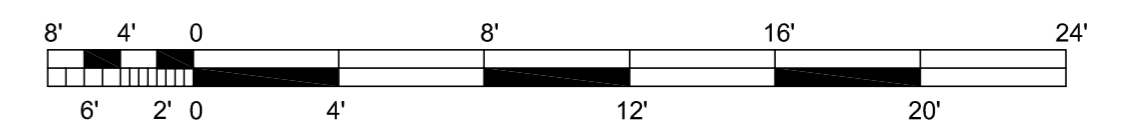
COVERED AREA CALCULATIONS		
ID	SIZE	Area (SQFT)
ADU	42'0" x 39'0" - AREA (A+B+C+E) =(42x39)-(76.188+76.188+82.75+204)	1198.75
JADU	28'8" x 20'6" - AREA (F+G) =(28'8"x20'6")-(44.33+44.33)	499.01
TOTAL UNIT AREA ADU+JADU =		1697.76 SQFT

COVERED & PARTIALLY ENCLOSED AREA CALCULATIONS			
ID		size	Area (SQFT)
A	ADU	5'9" x 13'3"	76.188
B	ADU	5'9" x 13'3"	76.188
C	ADU	6'6"x12'9"	82.875
D	ADU	5'0" x 4'0"	20.00
TOTAL ADU			255.251 SQFT
F	JADU	4'8" x 9'6"	44.33
G	JADU	4'8" x 9'6"	44.33
H	JADU	8'10"x5'0"	44.17
TOTAL JADU			132.83 SQFT
TOTAL ADU+JADU			388.081 SQFT

J		GARAGE AREA= 21'0" x 19'0"	399 SQFT
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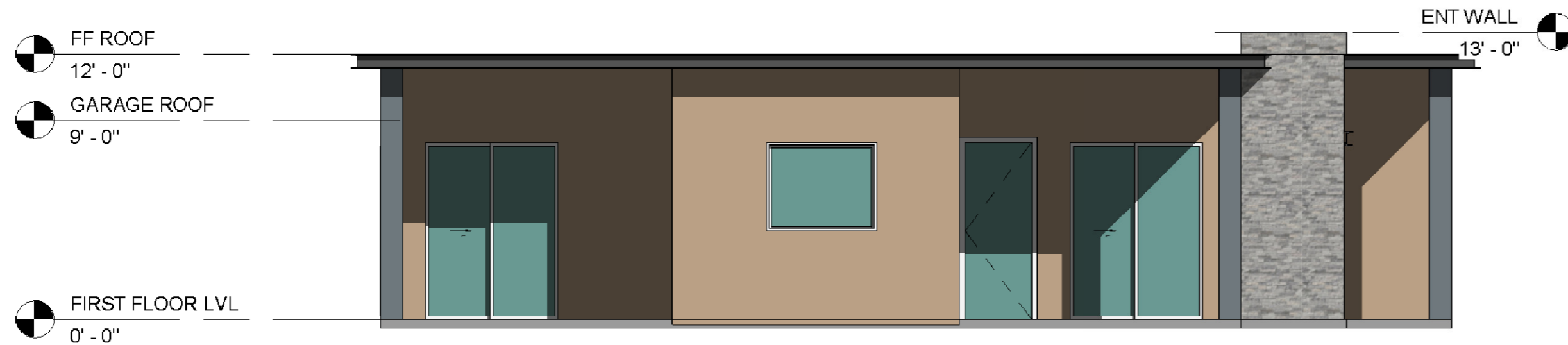


ADU UNIT





ELEVATION : E1



ELEVATION : E2

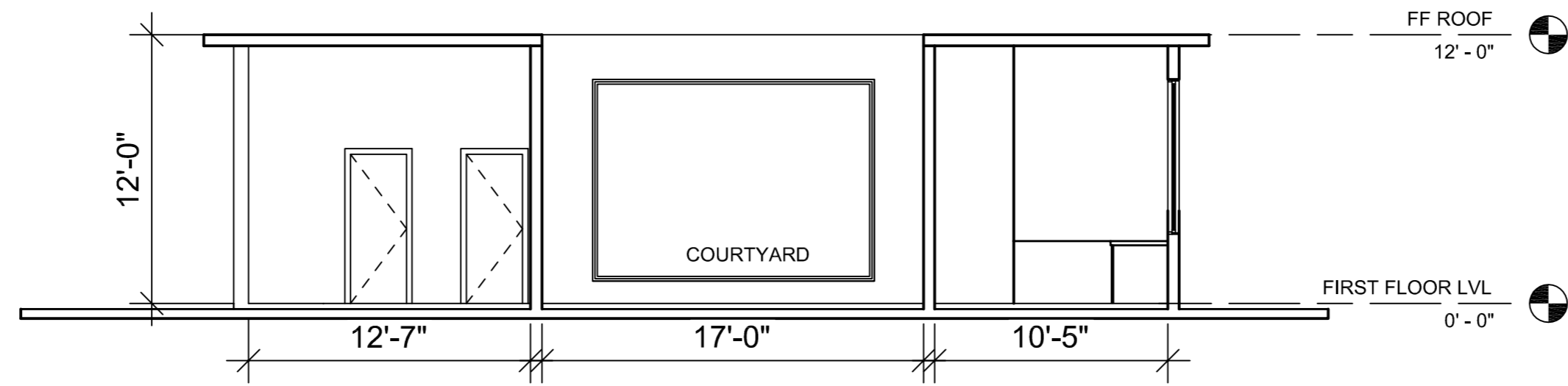


ELEVATION : E3

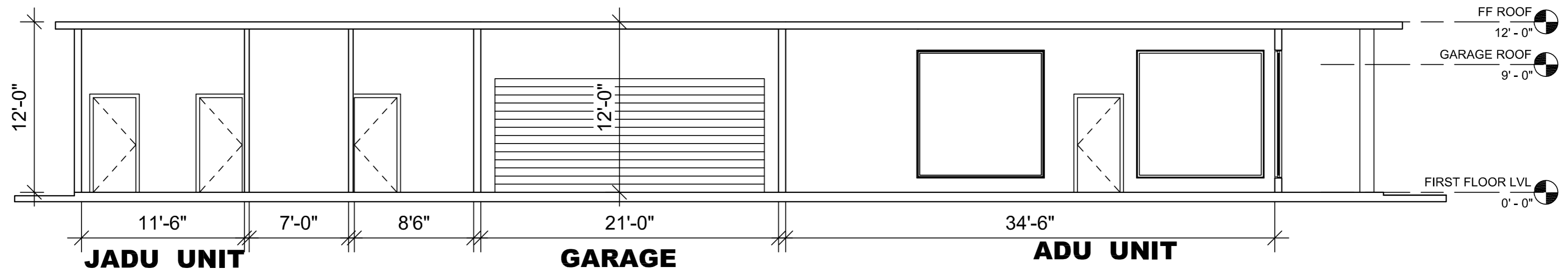


ELEVATION : E4

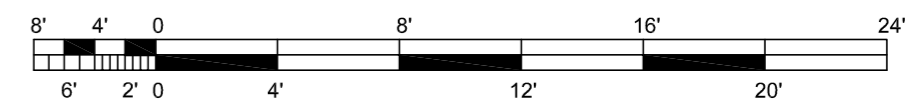
COLOR AND MATERIAL PALETTE				
WALL CLADDING	METAL ROOFING, GUTTER, EAVES	ENTRANCE WALL	GARAGE DOOR	DOOR, WINDOW, FRAME, TRIMS
PALM DESERT TAN (LRV43.07)	WOLF GREY (LRV 19.89)	MSI ALASKA GREY (LRV 44.42)	WOOD FINISH (LRV 35.71)	WHITE (LRV 99.2)



SECTION : Y-Y



SECTION : X-X



BARSANA
1 AUGUSTE CT, MILPITAS, CA 95035

AJAY GOYAL
748 BLUE STONE CIRCLE, FOLSOM CA 95630 | 916-294 - 5337

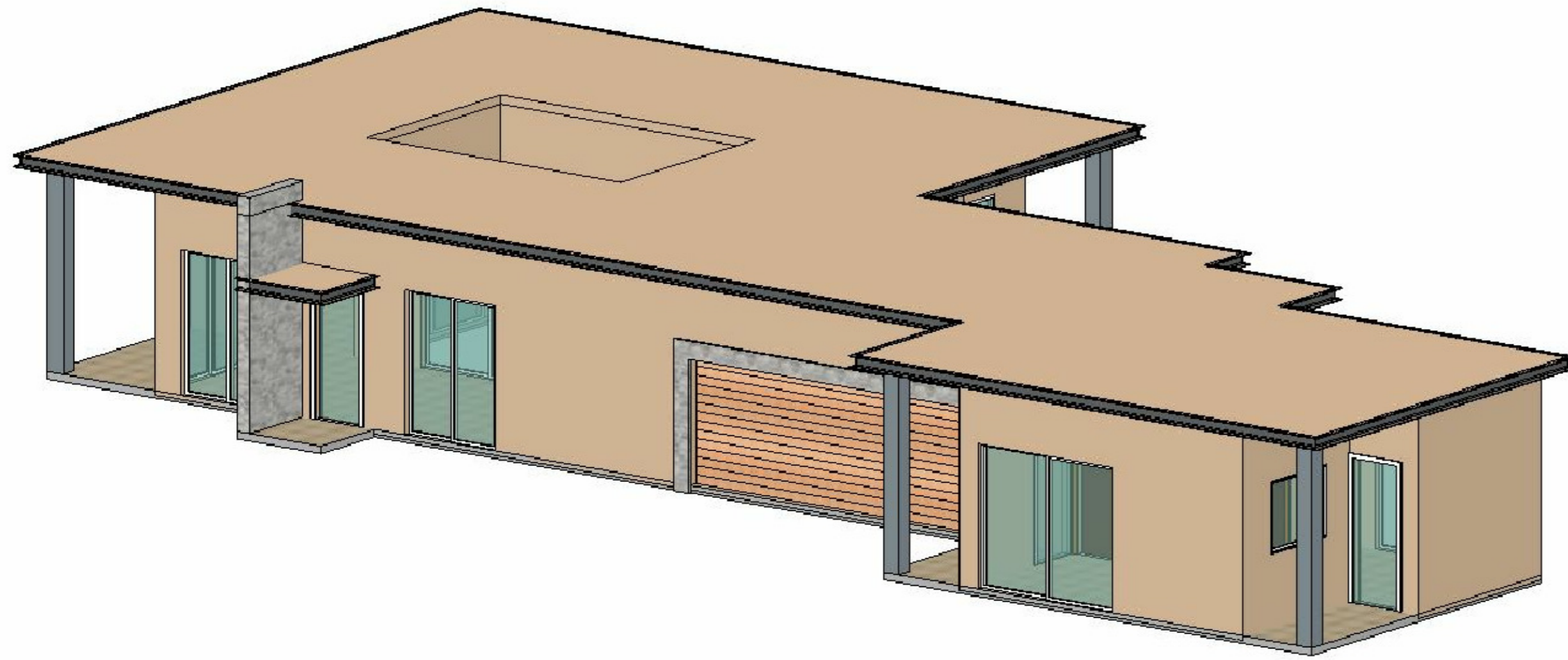
DRAWN BY:
NEHA

DATE: 07-02-2021
SCALE: 1:50

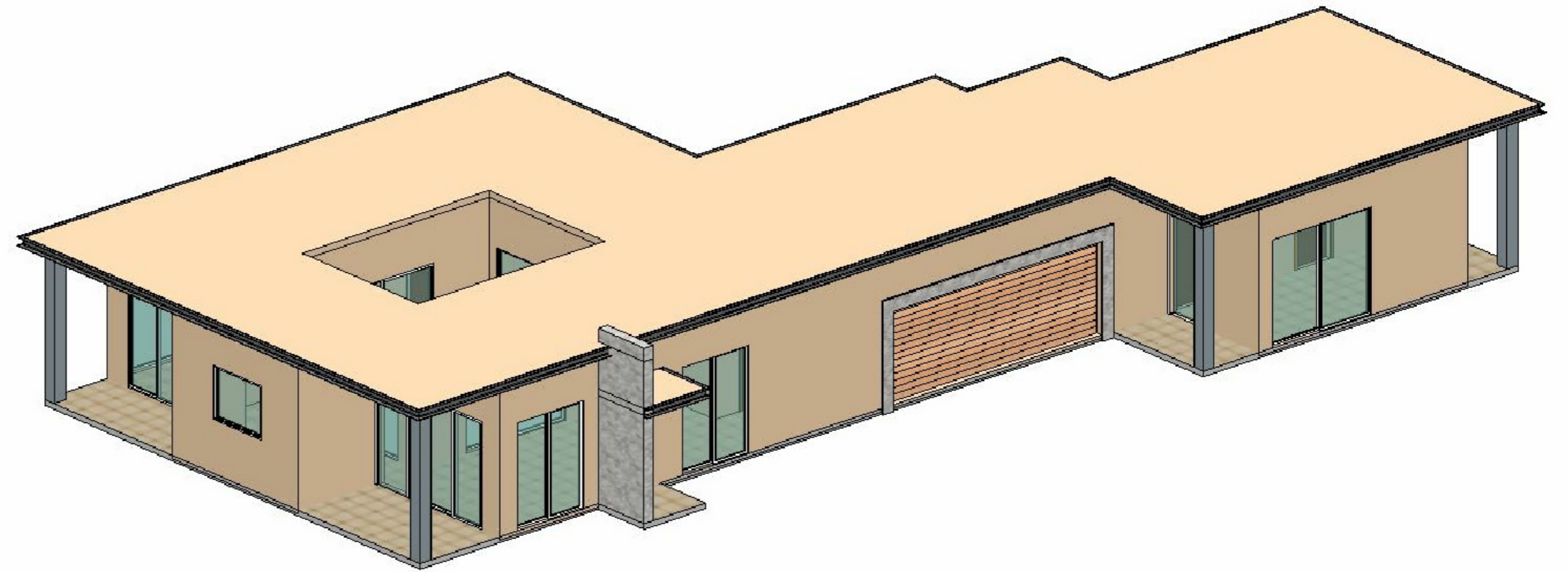
LOCATION:
APN 029-35-007

SUBJECT:
PLOT-15 ACRE: ADU, JADU UNIT
SECTIONS

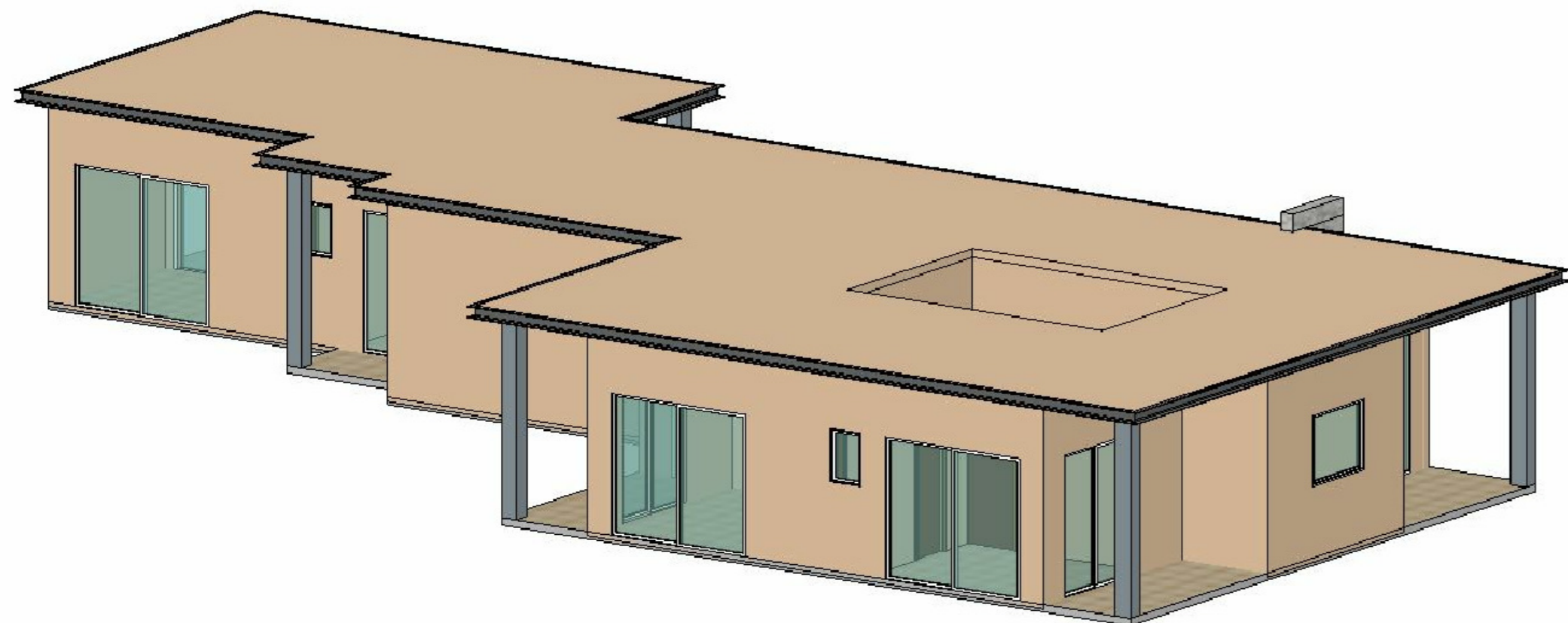
DRAWING NO. :
A03






ADU ENTRY SIDE VIEW E1

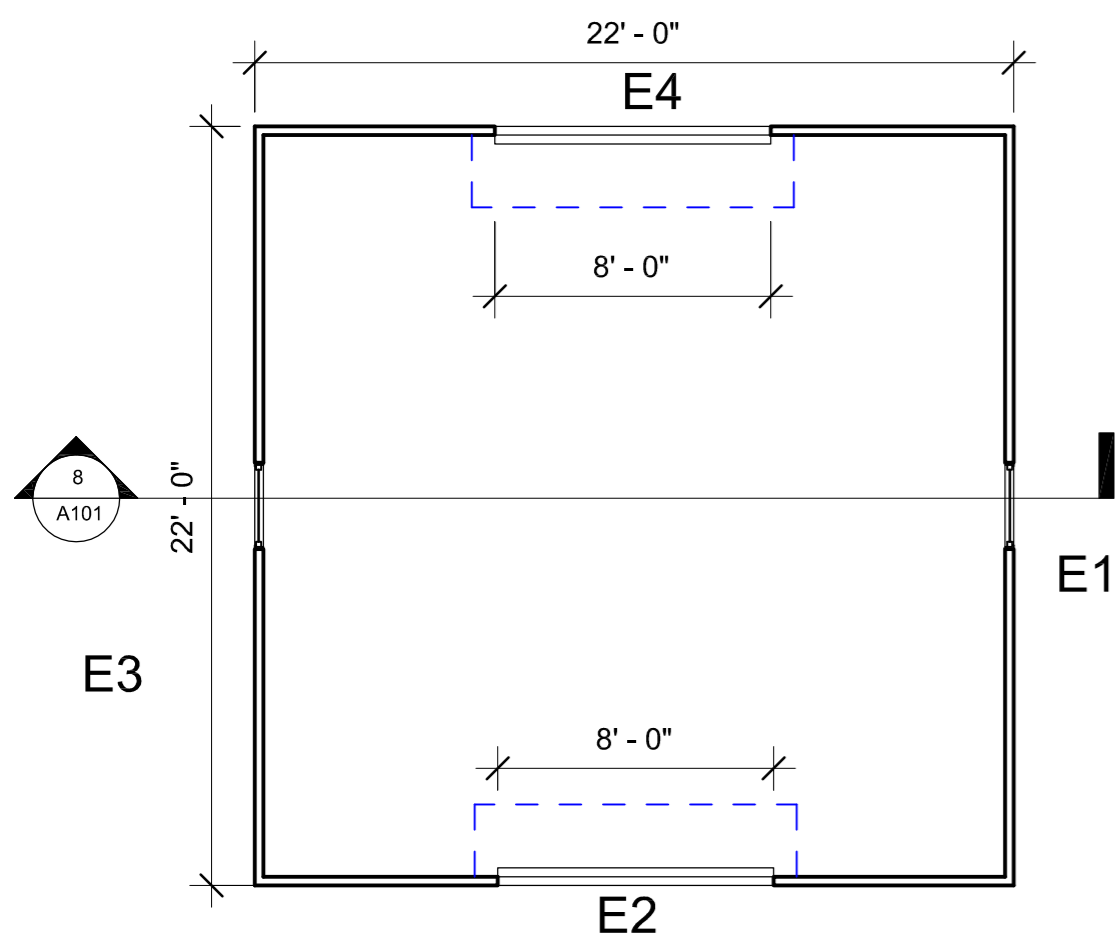


GARAGE SIDE VIEW E4



E VIEW E2

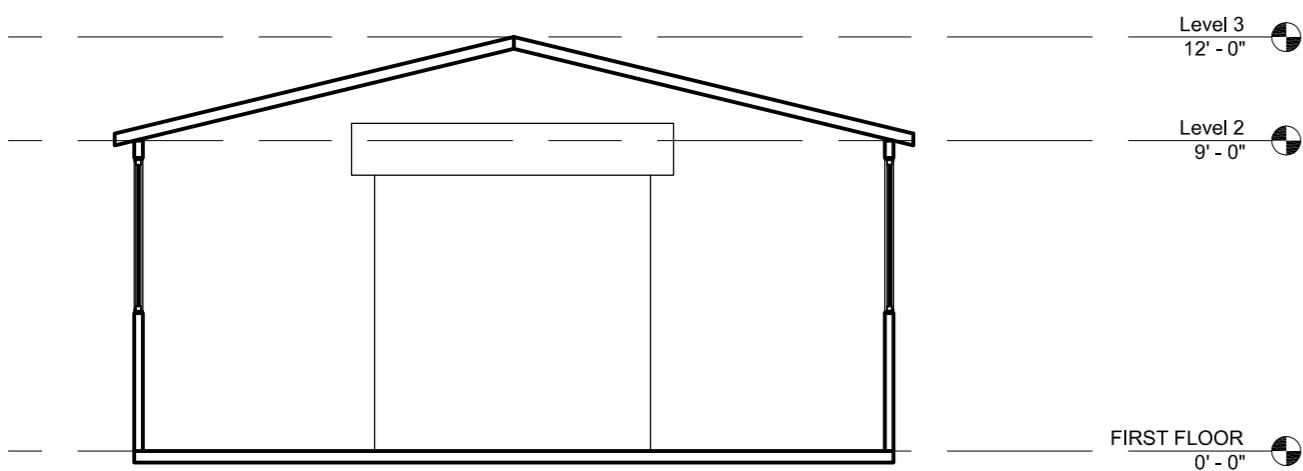
COLOR AND MATERIAL PALETTE				
WALL CLADDING	METAL ROOFING, GUTTER, EAVES	ENTRANCE WALL	GARAGE DOOR	DOOR, WINDOW, FRAME, TRIMS
PALM DESERT TAN (LRV43.07)	WOLF GREY (LRV 19.89)	MSI ALASKA GREY (LRV 44.42)	WOOD FINISH (LRV 35.71)	WHITE (LRV 99.2)
				



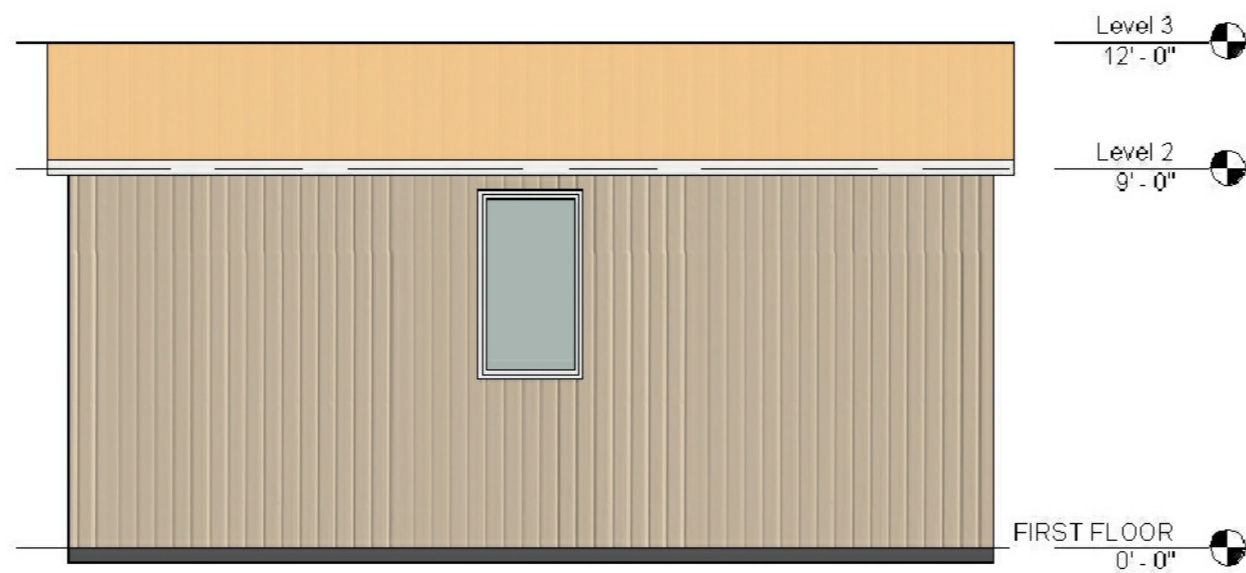
LIVE STOCK SHELTER PLAN

FLOOR AREA CALCULATIONS	
size	Area (SQFT)
22' x 22'	484

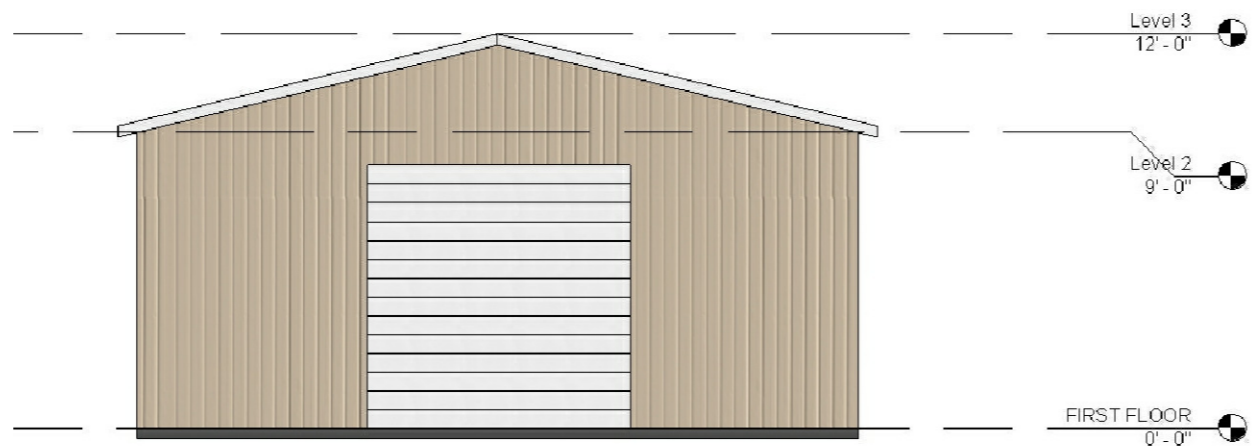
1 FIRST FLOOR
3/16" = 1'-0"



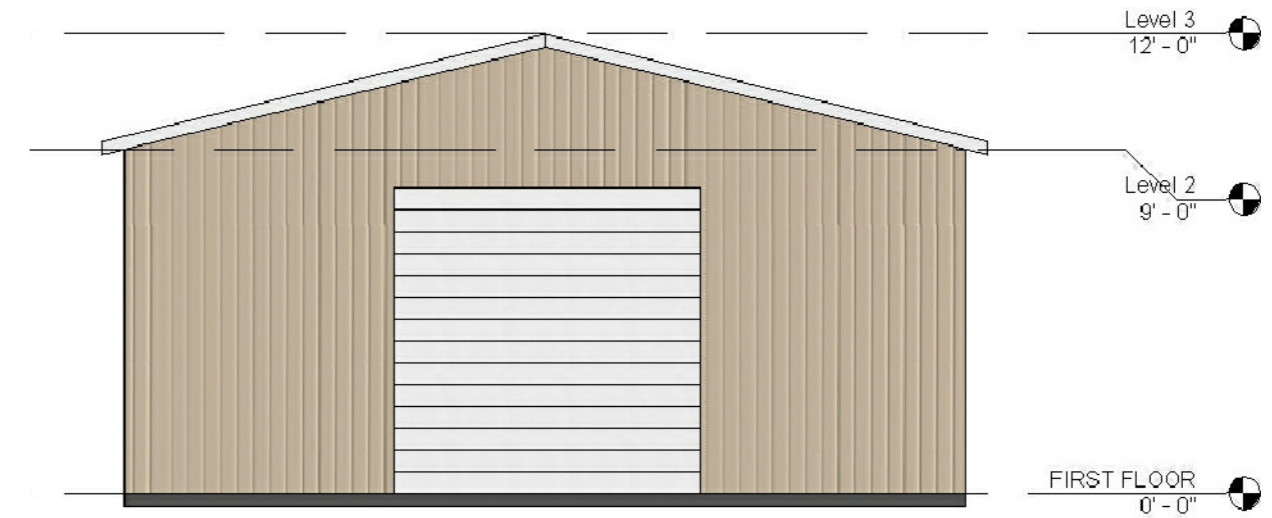
8 Section 1
3/16" = 1'-0"



3 E1
3/16" = 1'-0"



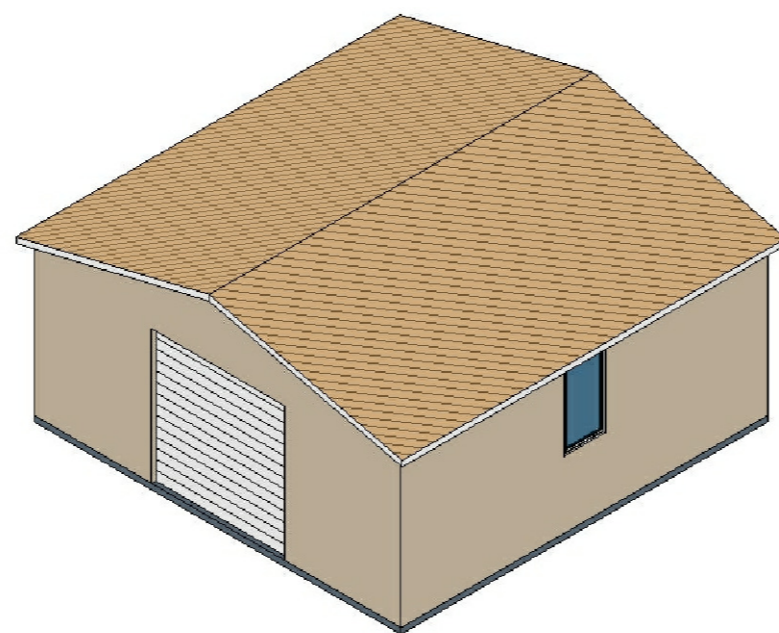
4 E2
3/16" = 1'-0"



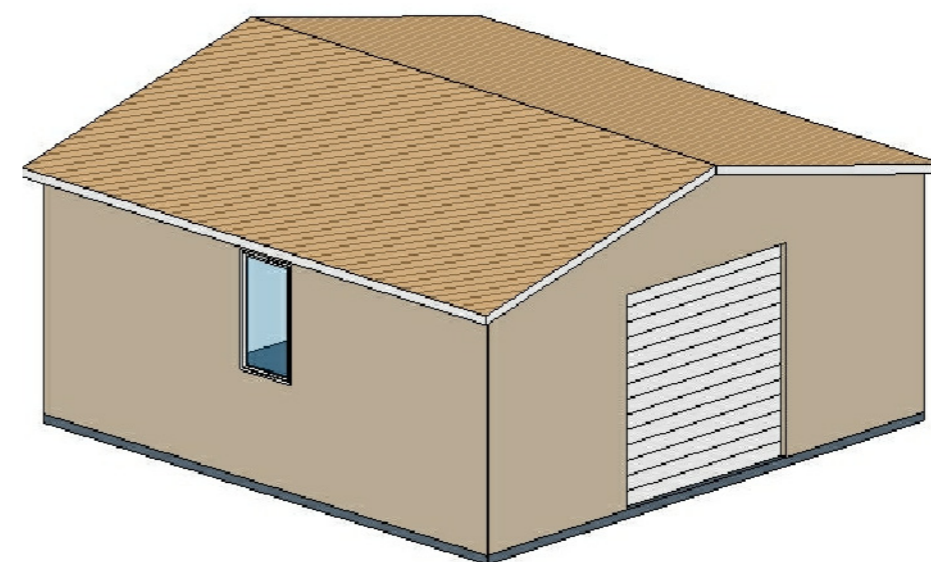
2 E4
3/16" = 1'-0"



5 E3
3/16" = 1'-0"

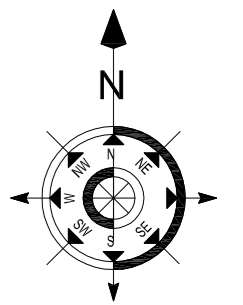


6 VIEW FROM E1



7 VIEW FROM E3

COLOR AND MATERIAL PALETTE		
WALL CLADDING	METAL ROOFING, GUTTER, EAVES	DOOR, WINDOW, FRAME, TRIMS
CLAY (LRV 41.57)	RAW HIDE (LRV 39.3)	WHITE (LRV 99.2)



ARCHITECT:
AJAY GOYAL
748 BLUE STONE CIRCLE,
FOLSOM, CA 95630
916-294-5337

PROJECT TITLE:
LANDS OF :
BARSANA LLC, AUGUSTE COURT | APN-029-035-007
MILPITAS , 95035

DRAWN BY: VARUN

PROJECT SCHEDULE
REVISION

COVER SHEET
L 01

SCALE= 1=8'

DATE: