

# LU RESIDENCE



2046 FARALLON DRIVE  
SAN LEANDRO, CA 94577  
415.534.8184  
WWW.MAVRIKSTUDIO.COM



LU RESIDENCE  
18440 GRAYSTONE LANE  
SAN JOSE, CA 94150

SYMBOLS	VICINITY MAP	PROJECT DESCRIPTION	PROJECT INFORMATION	SHEET INDEX																																						
<p>PROPERTY LINE</p> <p>CENTER LINE</p> <p>MATCH LINE</p> <p>COLUMN GRID</p> <p>EXTERIOR ELEVATION</p> <p>SECTION</p> <p>INTERIOR ELEVATION</p> <p>DETAIL REGION CALLOUT</p> <p>DOOR TAG</p> <p>WINDOW/STOREFRONT TAG</p> <p>MATERIAL TAG</p> <p>EQ-EQUIPMENT / FN-FURNITURE / PL-PLUMBING / MW-MILLWORK TAG</p> <p>KEYNOTE TAG</p> <p>PARTITION TYPE TAG</p> <p>ALIGNMENT</p> <p>CONTROL OR DATUM POINT</p> <p>FACE OF STRUCTURE DIMENSION</p> <p>CENTERLINE DIMENSION</p> <p>FACE OF FINISH DIMENSION</p> <p>REVISION AND DELTA</p>		<p><b>GROUND UP CONSTRUCTION OF A NEW ONE STORY SINGLE FAMILY RESIDENCE ON AN OPEN UNDEVELOPED LOT.</b></p> <p><b>EXTERIOR:</b></p> <ul style="list-style-type: none"> <li>NEW LEACH FIELD AT FRONT OF PROPERTY</li> <li>NEW DRIVEWAY TO TIE INTO EXISTING CURBOUT</li> <li>NEW SINGLE STORY RESIDENCE</li> <li>OUTDOOR GRILL AREA</li> </ul> <p><b>INTERIOR:</b></p> <ul style="list-style-type: none"> <li>5 BEDROOMS</li> <li>6 BATHROOMS</li> </ul>	<p><b>SITE INFORMATION</b></p> <p>ADDRESS: 18440 GRAYSTONE LANE, SAN JOSE, CA 94150</p> <p>APN: 696-11-008</p> <p>JURISDICTION: SANTA CLARA COUNTY</p> <p><b>ENVIRONMENTAL</b></p> <p>WILDLAND URBAN INTERFACE: YES</p> <p>HISTORIC: NO</p> <p>SCENIC ROAD: NO</p> <p>HABITAT PLAN: AREA 2 RURAL DEVELOPMENT EQUAL TO OR GREATER THAN 2 ACRES</p> <p><b>PLANNING CODE INFORMATION</b></p> <table border="1"> <tr> <th>ALLOWED / REQUIRED</th> <th>PROPOSED</th> </tr> <tr> <td>RR-01 RURAL RESIDENTIAL TABLE 2.20-1</td> <td>NO CHANGE SINGLE FAMILY RESIDENCE</td> </tr> </table> <p><b>ZONING USE:</b> RR-01 RURAL RESIDENTIAL TABLE 2.20-1</p> <p><b>SETBACKS:</b></p> <table border="1"> <tr> <td>FRONT:</td> <td>30'-0" MIN</td> <td>101'-0"</td> </tr> <tr> <td>SIDE:</td> <td>30'-0" MIN</td> <td>31'-0"</td> </tr> <tr> <td>REAR:</td> <td>30'-0" MIN</td> <td>104'-1"</td> </tr> <tr> <td>HEIGHT LIMIT:</td> <td>35'-0" MAX</td> <td>20'-0"</td> </tr> <tr> <td>NUMBER OF STORIES:</td> <td>2 MAX</td> <td>1</td> </tr> <tr> <td>LOT SIZE:</td> <td>1 ACRE MIN</td> <td>GROSS: 1.08 ACRES NET: 1.04 ACRES 45376 SF</td> </tr> </table> <p><b>BUILDING AREA:</b> TIER 2: 5001 SF - 12500 SF</p> <p><b>PARKING:</b> 2 SPACES, 1 COVERED MIN</p> <p><b>BUILDING CODE INFORMATION</b></p> <table border="1"> <tr> <th>ALLOWED / REQUIRED</th> <th>PROPOSED</th> </tr> <tr> <td>CONSTRUCTION TYPE: CBC 610</td> <td>TYPE V-B</td> </tr> <tr> <td>OCCUPANCY GROUP: CBC 310</td> <td>RESIDENTIAL GROUP R-3</td> </tr> <tr> <td>CONSTRUCTION TYPE HEIGHT: 40'-0" MAX PER CBC TABLE 504.3</td> <td>20'-0"</td> </tr> <tr> <td>FIRE SUPPRESSION: CBC 903.2.8</td> <td>PROVIDED IN DEFERRED SUBMITTAL</td> </tr> </table> <p><b>REFERENCE CODES</b></p> <p>ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH LOCAL JURISDICTION AND THE FOLLOWING CODE EDITIONS:</p> <ul style="list-style-type: none"> <li>A. 2019 CALIFORNIA BUILDING CODE</li> <li>B. 2019 CALIFORNIA RESIDENTIAL CODE</li> <li>C. 2019 CALIFORNIA MECHANICAL CODE</li> <li>D. 2019 CALIFORNIA ELECTRICAL CODE</li> <li>E. 2019 CALIFORNIA PLUMBING CODE</li> <li>F. 2019 CALIFORNIA ENERGY CODE</li> <li>G. 2019 CALIFORNIA FIRE CODE</li> <li>H. 2019 CALIFORNIA GREEN BUILDING CODE</li> </ul>	ALLOWED / REQUIRED	PROPOSED	RR-01 RURAL RESIDENTIAL TABLE 2.20-1	NO CHANGE SINGLE FAMILY RESIDENCE	FRONT:	30'-0" MIN	101'-0"	SIDE:	30'-0" MIN	31'-0"	REAR:	30'-0" MIN	104'-1"	HEIGHT LIMIT:	35'-0" MAX	20'-0"	NUMBER OF STORIES:	2 MAX	1	LOT SIZE:	1 ACRE MIN	GROSS: 1.08 ACRES NET: 1.04 ACRES 45376 SF	ALLOWED / REQUIRED	PROPOSED	CONSTRUCTION TYPE: CBC 610	TYPE V-B	OCCUPANCY GROUP: CBC 310	RESIDENTIAL GROUP R-3	CONSTRUCTION TYPE HEIGHT: 40'-0" MAX PER CBC TABLE 504.3	20'-0"	FIRE SUPPRESSION: CBC 903.2.8	PROVIDED IN DEFERRED SUBMITTAL	<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PLANNING SUBMITTAL</td> <td>11-14-2021</td> </tr> </tbody> </table> <p>SHEET NUMBER: _____ SHEET NAME: _____</p> <p><b>PROJECT DATA</b></p> <p>G0.00 PROJECT DATA AND INDEX</p> <p>G0.01 GENERAL CONDITIONS AND ABBREVIATIONS</p> <p>G1.00 CAL GREEN</p> <p>G1.01 CAL GREEN</p> <p>G1.02 CAL GREEN</p> <p>G1.03 CAL GREEN</p> <p>G3.00 AREA PLANS</p> <p><b>SURVEY</b></p> <p>SU1 TOPOGRAPHIC SURVEY</p> <p><b>CIVIL</b></p> <p>C-1.0 TITLE SHEET</p> <p>C-1.1 OVERALL SITE PLAN</p> <p>C-2.0 GRADING AND DRAINAGE PLAN</p> <p>C-2.1 GRADING AND DRAINAGE PLAN</p> <p>C-3.0 UTILITY PLAN</p> <p>C-3.1 UTILITY PLAN</p> <p>C-4.0 DETAILS</p> <p>C-5.0 GRADING SPECIFICATIONS</p> <p>ER-1 EROSION CONTROL PLAN</p> <p>ER-2 EROSION CONTROL DETAILS</p> <p><b>ARCHITECTURAL</b></p> <p>A1.00 SITE PLAN</p> <p>A1.01 PERSPECTIVE IMAGES</p> <p>A2.00 FIRST FLOOR PLAN</p> <p>A2.01 ROOF PLAN</p> <p>A4.00 EXTERIOR ELEVATIONS</p> <p>A9.00 SPECIFICATIONS</p> <p><b>LANDSCAPE</b></p> <p>LA1.0 LANDSCAPE PLAN AND PLANTING PALATTE</p>	NO.	REVISION	DATE	1	PLANNING SUBMITTAL	11-14-2021
ALLOWED / REQUIRED	PROPOSED																																									
RR-01 RURAL RESIDENTIAL TABLE 2.20-1	NO CHANGE SINGLE FAMILY RESIDENCE																																									
FRONT:	30'-0" MIN	101'-0"																																								
SIDE:	30'-0" MIN	31'-0"																																								
REAR:	30'-0" MIN	104'-1"																																								
HEIGHT LIMIT:	35'-0" MAX	20'-0"																																								
NUMBER OF STORIES:	2 MAX	1																																								
LOT SIZE:	1 ACRE MIN	GROSS: 1.08 ACRES NET: 1.04 ACRES 45376 SF																																								
ALLOWED / REQUIRED	PROPOSED																																									
CONSTRUCTION TYPE: CBC 610	TYPE V-B																																									
OCCUPANCY GROUP: CBC 310	RESIDENTIAL GROUP R-3																																									
CONSTRUCTION TYPE HEIGHT: 40'-0" MAX PER CBC TABLE 504.3	20'-0"																																									
FIRE SUPPRESSION: CBC 903.2.8	PROVIDED IN DEFERRED SUBMITTAL																																									
NO.	REVISION	DATE																																								
1	PLANNING SUBMITTAL	11-14-2021																																								
	<p><b>DEFERRED SUBMITTALS</b></p> <p>THE FOLLOWING DEFERRED SUBMITTALS SHALL BE FIRST SUBMITTED TO THE ARCHITECT FOR REVIEW AND CONSIDERATION. FOLLOWING THE COMPLETION OF THE ARCHITECT REVIEW AND COORDINATION THE CONTRACTOR SHALL SUBMIT TO THE CITY FOR REVIEW AND APPROVAL. NO WORK MAY PROCEED ON THESE COMPONENTS UNTIL APPROVED CITY STAMPED DRAWINGS ARE PROVIDED TO THE CONTRACTOR AND INSPECTOR.</p> <ol style="list-style-type: none"> <li>FIRE SPRINKLER SYSTEM</li> </ol>	<p><b>PROJECT DIRECTORY</b></p> <table border="0"> <tr> <td> <p><b>OWNER:</b></p> <p>WILLIAM LU 1522 HUSTED AVENUE SAN JOSE, CA 95125 CONTACT: WILLIAM LU EMAIL: WILLIAMLU@OVRRES.COM PHONE: 408.298.4445</p> </td> <td> <p><b>GEOTECHNICAL ENGINEER</b></p> <p>ROMIG ENGINEERS 1390 EL CAMINO REAL, 2ND FLOOR SAN CARLOS, CA 94070 CONTACT: COLEMAN NG EMAIL: COLEMAN@ROMIGENGINEERS.COM PHONE: 415.527.8339</p> </td> </tr> <tr> <td> <p><b>ARCHITECT:</b></p> <p>MAVRIK STUDIO 2046 FARALLON DRIVE SAN LEANDRO, CA 94577 CONTACT: NIK SERNANDE EMAIL: NIK@MAVRIKSTUDIO.COM PHONE: 925.202.6252</p> </td> <td> <p><b>TITLE 24:</b></p> <p>CARSTAIRS ENERGY 2238 BAYVIEW HEIGHTS DRIVE, SUITE E LOS OSOS, CA 93402 CONTACT: TIMOTHY CARSTAIRS EMAIL: TITLE24@YAHOO.COM PHONE: 805.904.9048</p> </td> </tr> <tr> <td> <p><b>SURVEYOR / CIVIL ENGINEER</b></p> <p>LEA &amp; BRAZE ENGINEERING 2495 INDUSTRIAL PARKWAY WEST HAYWARD, CA 94545 CONTACT: DENA YANCY EMAIL: DYANCY@LEABRAZE.COM PHONE: 510.867.4086 EX163</p> </td> <td> <p><b>CONTRACTOR</b></p> <p>MAVRIK CONSTRUCTION 2046 FARALLON DRIVE SAN LEANDRO, CA 94577 CONTACT: KEVIN LEHANE EMAIL: KEVIN@MAVRIKCD.COM PHONE: 650.740.1760</p> </td> </tr> <tr> <td> <p><b>STRUCTURAL ENGINEER</b></p> <p>WARMERDAM STRUCTURAL ENGINEERING 284 DONNER AVENUE LIVERMORE, CA 94551 CONTACT: BLAKE WARMERDAM EMAIL: BLAKE@WARMERDAMSE.COM PHONE: 510.774.8953</p> </td> <td></td> </tr> </table>	<p><b>OWNER:</b></p> <p>WILLIAM LU 1522 HUSTED AVENUE SAN JOSE, CA 95125 CONTACT: WILLIAM LU EMAIL: WILLIAMLU@OVRRES.COM PHONE: 408.298.4445</p>	<p><b>GEOTECHNICAL ENGINEER</b></p> <p>ROMIG ENGINEERS 1390 EL CAMINO REAL, 2ND FLOOR SAN CARLOS, CA 94070 CONTACT: COLEMAN NG EMAIL: COLEMAN@ROMIGENGINEERS.COM PHONE: 415.527.8339</p>	<p><b>ARCHITECT:</b></p> <p>MAVRIK STUDIO 2046 FARALLON DRIVE SAN LEANDRO, CA 94577 CONTACT: NIK SERNANDE EMAIL: NIK@MAVRIKSTUDIO.COM PHONE: 925.202.6252</p>	<p><b>TITLE 24:</b></p> <p>CARSTAIRS ENERGY 2238 BAYVIEW HEIGHTS DRIVE, SUITE E LOS OSOS, CA 93402 CONTACT: TIMOTHY CARSTAIRS EMAIL: TITLE24@YAHOO.COM PHONE: 805.904.9048</p>	<p><b>SURVEYOR / CIVIL ENGINEER</b></p> <p>LEA &amp; BRAZE ENGINEERING 2495 INDUSTRIAL PARKWAY WEST HAYWARD, CA 94545 CONTACT: DENA YANCY EMAIL: DYANCY@LEABRAZE.COM PHONE: 510.867.4086 EX163</p>	<p><b>CONTRACTOR</b></p> <p>MAVRIK CONSTRUCTION 2046 FARALLON DRIVE SAN LEANDRO, CA 94577 CONTACT: KEVIN LEHANE EMAIL: KEVIN@MAVRIKCD.COM PHONE: 650.740.1760</p>	<p><b>STRUCTURAL ENGINEER</b></p> <p>WARMERDAM STRUCTURAL ENGINEERING 284 DONNER AVENUE LIVERMORE, CA 94551 CONTACT: BLAKE WARMERDAM EMAIL: BLAKE@WARMERDAMSE.COM PHONE: 510.774.8953</p>																																	
<p><b>OWNER:</b></p> <p>WILLIAM LU 1522 HUSTED AVENUE SAN JOSE, CA 95125 CONTACT: WILLIAM LU EMAIL: WILLIAMLU@OVRRES.COM PHONE: 408.298.4445</p>	<p><b>GEOTECHNICAL ENGINEER</b></p> <p>ROMIG ENGINEERS 1390 EL CAMINO REAL, 2ND FLOOR SAN CARLOS, CA 94070 CONTACT: COLEMAN NG EMAIL: COLEMAN@ROMIGENGINEERS.COM PHONE: 415.527.8339</p>																																									
<p><b>ARCHITECT:</b></p> <p>MAVRIK STUDIO 2046 FARALLON DRIVE SAN LEANDRO, CA 94577 CONTACT: NIK SERNANDE EMAIL: NIK@MAVRIKSTUDIO.COM PHONE: 925.202.6252</p>	<p><b>TITLE 24:</b></p> <p>CARSTAIRS ENERGY 2238 BAYVIEW HEIGHTS DRIVE, SUITE E LOS OSOS, CA 93402 CONTACT: TIMOTHY CARSTAIRS EMAIL: TITLE24@YAHOO.COM PHONE: 805.904.9048</p>																																									
<p><b>SURVEYOR / CIVIL ENGINEER</b></p> <p>LEA &amp; BRAZE ENGINEERING 2495 INDUSTRIAL PARKWAY WEST HAYWARD, CA 94545 CONTACT: DENA YANCY EMAIL: DYANCY@LEABRAZE.COM PHONE: 510.867.4086 EX163</p>	<p><b>CONTRACTOR</b></p> <p>MAVRIK CONSTRUCTION 2046 FARALLON DRIVE SAN LEANDRO, CA 94577 CONTACT: KEVIN LEHANE EMAIL: KEVIN@MAVRIKCD.COM PHONE: 650.740.1760</p>																																									
<p><b>STRUCTURAL ENGINEER</b></p> <p>WARMERDAM STRUCTURAL ENGINEERING 284 DONNER AVENUE LIVERMORE, CA 94551 CONTACT: BLAKE WARMERDAM EMAIL: BLAKE@WARMERDAMSE.COM PHONE: 510.774.8953</p>																																										

PROJECT DATA AND INDEX

G0.00

PROJECT NO. 20026

**GENERAL CONDITIONS**

**CONTRACT**

1. THE CONTRACT DOCUMENTS INCLUDE THE WORKING DRAWINGS, PROJECT MANUAL, ADDENDA, MODIFICATIONS, AND THE CONDITIONS OF THE CONSTRUCTION CONTRACT.
2. ALL DOCUMENTS AND CONDITIONS FOR THE PERFORMANCE OF A CONTRACT, ARE HEREBY INCORPORATED INTO THESE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF WORK.
3. THE WORK INCLUDED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.
4. THE CONTRACT DOCUMENTS ARE THE INSTRUMENTS OF SERVICE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT. THE CONTRACT DOCUMENTS ARE NOT TO BE USED BY THE OWNER OR THE TENANT FOR OTHER PROJECTS OR EXTENSIONS TO THE PROJECT NOR ARE THEY TO BE MODIFIED IN ANY MANNER WHATSOEVER EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ARCHITECT.
5. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS, NOTWITHSTANDING ANY INFORMATION SHOWN OR NOT SHOWN ON THE DRAWINGS.
6. CONTRACTOR SHALL PROVIDE MANUFACTURER'S SPECIFICATIONS, INSTALLATION INSTRUCTIONS, SHOP DRAWINGS AND SAMPLES FOR REVIEW AND APPROVAL OF ALL MATERIALS AND METHODS TO BE USED PRIOR TO ORDERING OR PROCEEDING WITH THE WORK.
7. RESOLUTION OF ALL QUESTIONS OR VARIANCES SHALL BE AS DIRECTED BY THE ARCHITECT BY WRITTEN NOTICE, CHANGE ORDER, ETC. PHONE CONVERSATIONS ARE NOT ACCEPTABLE.
8. CONTRACTOR SHALL COMPLY IN FULL WITH ANY ADDITIONAL NOTATIONS AND REQUIREMENTS STATED IN THE PERMIT DRAWINGS AND SHALL INCLUDE SUCH CONDITIONS OF APPROVAL AS A PART OF THIS WORK.
9. SUBSTITUTIONS, REVISIONS, OR CHANGES MAY BE ACCEPTED ONLY IF SUBMITTED TO THE ARCHITECT IN A TIMELY MANNER AND SUBSEQUENTLY APPROVED IN WRITING BY THE ARCHITECT. ALL SUBSTITUTIONS MUST BE IN THE JUDGEMENT OF THE ARCHITECT OF AT LEAST EQUAL QUALITY, DESIGN, AND PERFORMANCE AS COMPARED TO THE ORIGINALLY SPECIFIED PRODUCT. THE CONTRACTOR SHALL BE LIABLE FOR REPLACEMENT, REPAIR, OR DELAYS CAUSED BY UNAUTHORIZED SUBSTITUTIONS. ALL REQUESTS FOR SUBSTITUTIONS SHALL INCLUDE THE NAME OF THE PRODUCT, DESCRIPTION OF THE ITEM, REASON FOR THE SUBSTITUTION, AND COMPLETE DRAWINGS AND SPECIFICATIONS AS REQUIRED FOR THE ARCHITECT TO EVALUATE THE SUBSTITUTION. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY SUBSTITUTIONS, REVISIONS, OR CHANGE.
10. WITHIN FIVE (5) DAYS FROM CONTRACT DATE, PREPARE & SUBMIT AN ESTIMATED PROGRESS SCHEDULE FOR THE WORK, WITH SUB-SCHEDULES OF RELATED ACTIVITIES WHICH MAY AFFECT THE PROGRESS.
11. CONTRACTOR IS RESPONSIBLE FOR SCANNING THE APPROVED PERMIT DRAWINGS AND JOB CARD AND SENDING A COPY TO THE ARCHITECT.
12. CONTRACTOR TO MAINTAIN ALL PROJECT WORKMAN'S COMPENSATION AND LIABILITY INSURANCE THROUGHOUT THE DURATION OF THE PROJECT.
13. CONTRACTOR SHALL PROVIDE A BLANKET ONE-YEAR GUARANTEE FOR THE TOTAL JOB WITH A SEPARATE GUARANTEE FOR SPECIFIC TRADES / EQUIPMENT ITEMS WITH NAMES OF LOCAL REPRESENTATIVES TO BE CONTACTED FOR SERVICE. PROVIDE OPERATING AND MAINTENANCE BROCHURES AS REQUIRED.
14. ANY CHANGE, MODIFICATION OR INTERPRETATION OF THE SCOPE OR REQUIREMENTS OUTLINED WITHIN THESE DRAWINGS, UNDERTAKEN WITHOUT CONSULTATION WITH THE ARCHITECT (OR ANY UNFORESEEN CONDITIONS RESULTING THEREFROM) SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR RESPECTIVELY. AS STIPULATED WITHIN THE OWNER/ARCHITECT AGREEMENT, MAVRIK STUDIO SHALL BE HELD HARMLESS FROM ANY CLAIMS RESULTING FROM SUCH ACTIVITY.

**DEFINITIONS**

1. "ARCHITECT" MEANS MAVRIK STUDIO.
2. "OWNER" MEANS WILLIAM LU.
3. "NOT USED"
4. "NOT USED"
5. "FURNISH" MEANS SUPPLY ONLY, FOR OTHERS TO PUT IN PLACE.
6. "INSTALL" MEANS SUPPLIED BY OTHERS, TO BE INSTALLED BY CONTRACTOR.
7. "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE.
8. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED, CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION.
9. "TYP" OR "TYPICAL" MEANS IDENTICAL FOR CONDITIONS NOTED.
10. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLACE.

**GENERAL CONDITIONS**

1. CONTRACTOR SHALL COMPLY WITH ALL BASE BUILDING REQUIREMENTS AND DESIGN CRITERIA.
2. THE CONTRACTOR AND HIS/her SUB-CONTRACTORS SHALL STUDY AND COMPARE THE DRAWINGS AND SHALL AT ONCE REPORT ANY DISCREPANCY OR INCONSISTENCY IN WRITING. ALL ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED AND VERIFY ALL DIMENSIONS AND ELEVATIONS ON SITE PRIOR TO COMMENCING THE WORK. IF THE CONTRACTOR PROCEEDS WITH ANY OF THE WORK SO AFFECTED WITHOUT WRITTEN INSTRUCTIONS OF THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD AT HIS OWN COST ANY RESULTING ERROR, DAMAGE, OR DEFECTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE WORK WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED, REVIEWED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF THE WORK.
3. CONTRACTOR SHALL TAKE MEASURES TO MINIMIZE DISTURBANCES AND PROTECT ADJACENT PROPERTIES, STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. USE VISQUEEN, PLYWOOD, AND TEMPORARY BARRICADES AS NEEDED TO MINIMIZE NOISE, DUST, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES.
4. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTION FEES INCLUDING TO COMPLETE THE PROJECT. ANY ERRORS, OMISSIONS, AND CONFLICTS FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
5. THESE PLANS INDICATE THE GENERAL EXTENT OF DEMOLITION AND NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL INCLUSIVE. ALL DEMOLITION AND ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THESE DOCUMENTS SHALL BE INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR IN THE NOTES. DO NOT DEMOLISH ANY ITEMS THAT APPEAR STRUCTURAL, UNLESS SPECIFICALLY NOTED IN THE CONSTRUCTION DOCUMENT, WITHOUT PRIOR REVIEW AND WRITTEN APPROVAL BY THE ARCHITECT.
6. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. CURRENT UPDATED DRAWINGS WILL BE REVIEWED MONTHLY WITH THE PAY APPLICATION.
7. NO PART OF THE STRUCTURE SHALL BE OVERLOADED BEYOND ITS SAFE CARRYING CAPACITY BY THE PLACING OF MATERIALS, EQUIPMENT, TOOLS, MACHINERY OR ANY OTHER ITEMS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
9. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AT THE JOB AS NECESSARY AND REQUIRED BY CODE.
10. IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN ON THE SPECIFICATIONS, THE DRAWINGS SHALL TAKE PRECEDENCE. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWING OF SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATION OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS ON DRAWINGS AND MEASUREMENTS AT THE SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, THE GENERAL CONTRACTOR SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.
11. UPON SUBSTANTIAL COMPLETION OF THIS WORK, CONTRACTOR SHALL NOTIFY THE ARCHITECT WHO WILL PREPARE A "PUNCH LIST" OF THE CORRECTIONS REQUIRED. FINAL ACCEPTANCE OF THE "PUNCH LIST" BY THE CONTRACTOR SHALL BE CAUSE FOR FINAL PAYMENT UNDER TERMS OF THE OWNER-CONTRACTOR AGREEMENT, U.O.N.
12. IN THE EVENT THAT "PUNCH LIST" ITEMS ARE NOT COMPLETED BY THE CONTRACTOR IN A TIMELY MANNER, THE OWNER RESERVES THE RIGHT TO SUBCONTRACT SUCH WORK DIRECTLY AND DEDUCT THE COST OF SUCH WORK FROM ANY FINAL PAYMENTS DUE TO THE CONTRACTOR.

**GENERAL CONSTRUCTION**

1. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL SURVEY ALL AREAS WHERE WORK IS SCHEDULED TO DETERMINE IF THERE ARE ANY EXISTING DEFECTS OR DAMAGE IN THE BUILDING. CONTRACTOR SHALL PROTECT THE BUILDING AND GROUNDS FROM ANY NEW DAMAGE OCCURRING DURING CONSTRUCTION AND THE CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY FOR ALL CORRECTIVE WORK.
2. EACH TRADE SHALL EXAMINE THE PREMISES TO INSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE, PRIOR TO COMMENCING HIS WORK AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS.
3. ALL WASTE AND REFUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT COMPLETELY CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT. THIS SHALL INCLUDE THE CLEANINGS OF FABRICS, GLASS, STONE, MILLWORK, AND FLOOR COVERINGS.
4. AT THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL CLEAN THE ENTIRE WORK PREMISES, SITE, EXTERIOR AND INTERIOR OF BUILDING. REMOVE ALL WASTE MATERIALS AND RUBBISH FROM THE PROJECT AS WELL AS TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY AND SURPLUS MATERIALS. REMOVE PUTTY AND PAINT FROM ALL GLASS, MIRRORS AND SKYLIGHTS AND WASH AND POLISH. REMOVE ALL LABELS, TAGS, GREASE, DIRT, STAINS, ETC., CLEAN ALL FIXTURES AND EQUIPMENT TO THE EXTENT OF RESTORING THEM TO THE ORIGINAL FINISH. VACUUM CLEAN THE ENTIRE INTERIOR OF THE BUILDING. AT THE VERY LEAST, THIS MUST OCCUR BEFORE TURNING THE BUILDING OVER TO THE OWNER.
5. DETAILS ARE INTENDED TO SHOW THE METHOD AND MANNER OF ACCOMPLISHING THE WORK IF MINOR MODIFICATIONS ARE REQUIRED TO SUIT JOB CONDITIONS OR DIMENSIONS, THEY SHALL BE INCORPORATED AS PART OF THE WORK AT NO ADDITIONAL COST.

6. ALL GYP. BD. IN THE KITCHEN, TOILETS, ADJACENT TO COOKING AND BAR AREAS, AND ANY OTHER AREAS WHERE WATER MAY BE APPROVED BY THE BUILDING OWNER, EXTRA CARE SHALL BE TAKEN TO CONTROL DUST AND NOISE AND MAINTAIN SAFE CONDITIONS FOR ALL PERSONS USING THE BUILDING INCLUDING, BUT NOT LIMITED TO, THOSE WORKING ON THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING ALL BARRICADES NECESSARY TO CONTROL DUST AND NOISE AND TO MAINTAIN A SAFE ENVIRONMENT.
7. CONTRACTOR SHALL PROVIDE LATERAL BRACING FOR PARTITIONS, SUSPENDED CEILINGS, DUCTWORK, PIPING, AND ALL OTHER ITEMS REQUIRED BY CODE.
8. ALL ATTICS, RAFTER SPACES, SOFFITS, ETC. SHALL BE FULLY VENTILATED.
9. MECHANICAL, PLUMBING, ELECTRICAL, AND OTHER PENETRATIONS OF FLOORS, WALLS, AND CEILINGS SHALL BE SEALED AIRTIGHT WITH ACOUSTICAL SEALANT AS REQUIRED.
10. ALL GLASS AND GLAZING USED IN THIS PROJECT SHALL CONFORM TO REQUIREMENTS OF CHAPTER 24, 1997 UBC AND ALL FEDERAL REQUIREMENTS.
11. VERIFY INSERTS AND EMBEDDED ITEMS WITH ALL APPLICABLE DWGS. AND SPECIFICATIONS PRIOR TO POURING CONCRETE.

**DIMENSIONS**

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN INDIVIDUAL DRAWINGS, CONTACT THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING. DIMENSION ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT UNLESS NOTED "+/-" OR "VIF".
2. HORIZONTAL DIMENSIONS INDICATED ARE TO FROM FACE OF FRAMING OR SHEATHING, U.O.N.
3. VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR (A.F.F.).
4. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED ±.
5. IN THE EVENT OF CONFLICT BETWEEN DATA SHOWN ON DRAWINGS AND DATA SHOWN IN THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATIONS, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS ON DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE/SHE SHALL REPORT AT ONCE TO THE ARCHITECT FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS AT THE SITE. THE CONTRACTOR AND SUB-CONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONING, DOORS, ELECTRICAL/TELEPHONE OUTLETS, LIGHT SWITCHES AND THERMOSTATS WITH THE ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
7. DIMENSIONS NOTED "CLR" OR "CLEAR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCES MUST BE ACCURATELY MAINTAINED.

**INSTALLATION**

1. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, INDUSTRY AND BUILDING STANDARDS, AND CODE REQUIREMENTS. SEALANT, WEATHERSTRIPPING, AND FLASHING LOCATIONS IN DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING IMMEDIATELY, TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE INSTALLATION AS REQUIRED FOR ACCESSORY ITEMS INCLUDING SINK, DISHWASHER, REFRIGERATOR, LAUNDRY EQUIPMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL ELECTRICAL, ELECTRICAL AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
3. CONTRACTOR SHALL CHECK WITH ALL EQUIPMENT AND PRODUCT MANUFACTURERS TO VERIFY DIMENSIONS AND DETAILS PRIOR TO THE COMMENCEMENT OF WORK.
4. THE CONTRACTOR SHALL COORDINATE AND PROVIDE ALL HOOKING, BACKING AND FRAMING FOR WALL AND CEILING MOUNTED LIGHT FIXTURES, TRIM WALL HUNG ACCESSORIES, CASEWORK, RAILINGS, AND ALL OTHER NECESSARY ITEMS. ALL CONCEALED WOOD TO BE FIRE TREATED.
5. WINDOW SIZES ON DRAWINGS ARE NOMINAL DIMENSIONS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENING SIZES.
6. WEATHERSTRIPPING AND FLASHING LOCATIONS IN DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. IF THESE ARE CONTRARY TO THE CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT, IN WRITING IMMEDIATELY, TO RESOLVE DISCREPANCIES PRIOR TO PROCEEDING.
7. THE CONTRACTOR SHALL PROVIDE COMPLETE PRODUCT DATA AND RELATED INFORMATION APPROPRIATE FOR THE OWNER'S MAINTENANCE AND OPERATION OF PRODUCTS FURNISHED UNDER THE CONTRACT.

**COORDINATION**

1. GENERAL CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, TELEPHONE, ELECTRICAL, PLUMBING AND SPRINKLER EQUIPMENT ( INCLUDING PIPING, DUCTWORK AND CONDUIT ) AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED. THE TYPE, FINISH, INSTALLATION CONDITION, AND DIMENSIONS OF ALL MECHANICAL, TELEPHONE, AND SPRINKLER EQUIPMENT SHALL BE SHOWN IN THE DRAWINGS SHALL BE REVIEWED WITH AND APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. NO ALLOWANCE OF ANY KIND WILL BE MADE FOR THE CONTRACTOR'S NEGLIGENCE TO NOTE UNFORESEEN MEANS OF INSTALLING EQUIPMENT INTO POSITION INSIDE STRUCTURE.
2. IN CASE OF CONFLICT BETWEEN ARCHITECT'S AND CONSULTANTS' DRAWINGS IN LOCATING MATERIALS/EQUIPMENT, THE ARCHITECT SHOULD BE CONTACTED PRIOR TO PROCEEDING.
3. GENERAL CONTRACTOR & SUB-CONTRACTORS SHALL COORDINATE THE LAYOUT AND EXACT LOCATIONS OF ALL PARTITIONS, DOORS, ELECTRICAL/TELEPHONE OUTLETS AND LIGHT SWITCHES WITH ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
4. LOCATIONS FOR ALL THERMOSTATS AND HVAC ZONE SENSOR DEVICES SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO CONSTRUCTION AND APPROVED BY THE ARCHITECT. ALL SUCH DEVICES SHALL BE OBTAINED FROM THE PUBLIC VIEW.
5. CONTRACTOR SHALL PROVIDE ALL LIFE SAFETY SYSTEMS REQUIRED BY CODE INCLUDING, BUT NOT LIMITED TO, SOUND SYSTEMS, STROBES LIGHTS, AND EMERGENCY LIGHTING. CONTRACTOR SHALL REVIEW ALL COMPONENTS OF SUCH SYSTEMS WITH THE ARCHITECT PRIOR TO PLANNING, ENGINEERING, OR INSTALLATION.
6. PROVIDE TO FIRE MARSHALL, BUILDING DEPARTMENT, AND ARCHITECT TWO SETS OF FIRE ALARM PLANS FOR APPROVAL AND INSTALLATION PERMIT PRIOR TO INSTALLATION OF EQUIPMENT. INCLUDE PLACEMENT OF SMOKE AND HEAT DETECTORS AND STROBES AS REQUIRED BY ADA.

**QUALITY**

1. ONLY NEW ITEMS OF RECENT MANUFACTURER, OF STANDARD QUALITY, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK. REJECTED ITEMS SHALL BE REMOVED IMMEDIATELY FROM THE WORK AND REPLACED WITH ITEMS OF THE QUALITY SPECIFIED. FAILURE TO REMOVE REJECTED MATERIALS AND EQUIPMENT SHALL NOT RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY FOR QUALITY AND CHARACTER OF ITEMS USED NOR FROM ANY OTHER OBLIGATION IMPOSED ON HIM BY THE CONTRACT.
2. THE FINISHED WORK SHALL BE FIRM, WELL ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE WITHOUT WAVES, DISTORTIONS, HOLES, MARKS, CRACKS, STAINS, OR DISCOLORATION. JOINTING SHALL BE TIGHT FITTING, NEAT AND WELL SCRIBED. THE FINISH WORK SHALL NOT HAVE EXPOSED UNSIGHTLY ANCHORS OR FASTENERS AND SHALL NOT PRESENT HAZARDOUS, UNSAFE CORNERS. ALL WORK SHALL HAVE THE PROVISION FOR EXPANSION CONTRACTION, AND SHRINKAGE AS NECESSARY TO PREVENT CRACKS, BUCKLING AND WARPING DUE TO TEMPERATURE AND HUMIDITY CONDITIONS.
3. ATTACHMENTS, CONNECTIONS, OR FASTENINGS OF ANY NATURE ARE TO BE PROPERLY AND PERMANENTLY SECURED IN CONFORMANCE WITH BEST PRACTICE AND THE CONTRACTOR IS RESPONSIBLE FOR IMPROVING THEM ACCORDING TO THESE CONDITIONS. THE DRAWINGS SHOW ONLY SPECIAL CONDITIONS TO ASSIST THE CONTRACTOR; THEY DO NOT ILLUSTRATE EVERY SUCH CONDITION AND DETAIL.
4. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY, OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. NOR WILL PRESENCE OF INSPECTORS ON WORK SITE RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK AS REQUIRED BY CONTRACT. DEFECTIVE WORK REVEALED WITHIN TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING WITH THE INTENT OF CONTRACT. NO PAYMENT WHETHER PARTIAL OR FINAL SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
5. MATERIALS AND WORKMANSHIP SPECIFIED BY REFERENCE TO NUMBER, SYMBOL TITLE OF A STANDARD OR REFERENCE TO COMMERCIAL STANDARDS, FEDERAL SPECIFICATIONS, TRADE ASSOCIATION STANDARD, OR OTHER SIMILAR STANDARD, SHALL COMPLY WITH REQUIREMENTS IN LATEST EDITION OR REVISION THEREOF AND WITH ANY AMENDMENT OR SUPPLEMENT THERETO IN EFFECT ON DATE OF ORIGIN ON THIS PROJECT'S CONTRACT DOCUMENTS. SUCH STANDARD, EXCEPT AS MODIFIED HEREIN, SHALL HAVE FULL FORCE AND EFFECT AS THOUGH PRINTED IN CONTRACT DOCUMENTS.
6. CONTRACTOR SHALL WAIVE "COMMON PRACTICE" AND "COMMON USAGE" AS CONSTRUCTION CRITERIA WHEREVER DETAILS AND CONTRACT DOCUMENTS OR GOVERNING CODES, ORDINANCES, ETC., REQUIRE GREATER QUANTITY OR BETTER QUALITY THAN COMMON PRACTICE OR COMMON USAGE WOULD REQUIRE.
7. IF AT ANY TIME BEFORE COMMENCEMENT OF WORK, OR DURING PROCESS THEREOF, CONTRACTOR'S METHODS, EQUIPMENT OR APPLIANCES ARE DEFICIENT OR INAPPROPRIATE FOR SECURING QUALITY OF WORK, OR RATE OF PROGRESS INTENDED BY CONTRACT DOCUMENTS, OWNER MAY ORDER CONTRACTOR TO IMPROVE THEIR QUALITY OR INCREASE THEIR EFFICIENCY. THIS WILL NOT RELIEVE CONTRACTOR OR HIS SURETIES FROM THEIR OBLIGATIONS TO SECURE QUALITY OF WORK AND RATE OF PROGRESS SPECIFIED IN CONTRACT.
8. ALL CUTTING AND PATCHING OF EXISTING WALLS, FLOORS, CEILING, ROOF, FIRE SHAFTS, ETC., TO INSTALL NEW WORK SHALL BE REPAIRED AS REQUIRED TO MEET ALL BUILDING CODE REGULATIONS AND AESTHETIC STANDARDS OF THE BUILDING OWNER.

**SCHEDULE**

1. CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN A MANNER TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY TO ALLOW ARCHITECT A REASONABLE AMOUNT OF TIME TO SELECT A REASONABLE SUBSTITUTE.

2. THIS WORK IS AN OCCUPIED AND OPERATIONAL MULTISE BUILDING. HOURS OF WORK SHALL BE COORDINATED WITH AND MUST BE APPROVED BY THE BUILDING OWNER. EXTRA CARE SHALL BE TAKEN TO CONTROL DUST AND NOISE AND MAINTAIN SAFE CONDITIONS FOR ALL PERSONS USING THE BUILDING INCLUDING, BUT NOT LIMITED TO, THOSE WORKING ON THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING ALL BARRICADES NECESSARY TO CONTROL DUST AND NOISE AND TO MAINTAIN A SAFE ENVIRONMENT.

**SAFETY**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTION PROGRAMS IN CONNECTION WITH WORK, AND FOR MAINTAINING APPROPRIATE INSURANCE TO PROTECT THE CONTRACTOR, THE OWNER AND THE ARCHITECT.
2. THE CONTRACTOR SHALL FURNISH AND MAINTAIN IN SAFE OPERATING CONDITION ALL TOOLS, LADDERS, HOISTS, SCAFFOLDS, STAIRS, RAMPS, ETC. AT THE WORKPLACE. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING CONDITION, PROVIDE BARRICADES AT ALL FLOOR OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING CERTAIN THAT ALL SUBCONTRACTORS WORKING AT THE JOB SITE FOLLOW THESE SAME REQUIREMENTS.
3. ALL APPARATUS, TOOLS, AND EQUIPMENT USE ON THIS JOB SITE SHALL COMPLY WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS AS ESTABLISHED BY FEDERAL, STATE, AND LOCAL AUTHORITIES.
4. POST ALL APPLICABLE RULES AS REQUIRED. ADVISE THE OWNER'S CONSTRUCTION ENGINEER/REPRESENTATIVE IMMEDIATELY OF ANY INJURY OF ANY NATURE AND CONFIRM IN WRITING.

**CODES**

1. ALL WORK SHALL COMPLY WITH THE APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION OVER THIS PROJECT. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL COMPLY.
2. BUILDING CODE REQUIREMENTS TAKE PRECEDENCE OVER THE DRAWINGS AND IT SHALL BE THE RESPONSIBILITY OF ANYONE SUPPLYING LABOR OR MATERIALS OR BOTH TO CONFORM WITH THE CODE, AND TO BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES OR CONFLICTS BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
3. ABBREVIATIONS USED IN REFERRING TO STANDARDS THAT APPLY TO THE WORK INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING:  
 A. AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM)  
 B. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)  
 C. AMERICAN WELDING SOCIETY (AWS)  
 D. AMERICAN CONCRETE INSTITUTE (ACI)  
 E. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)  
 F. ARCHITECTURAL ALUMINUM MANUFACTURER'S ASSOCIATION (AAMA)  
 G. ALUMINUM ASSOCIATION, INC. (AA)  
 H. CONCRETE REINFORCING STEEL INSTITUTE (CRSI)  
 I. NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURERS (NAAMM)  
 J. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)  
 K. NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION (NWWA)  
 L. WOODWORK INSTITUTE OF CALIFORNIA (WIC)
4. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE REGULATIONS RELATED TO TITLE 24 AND ALL APPLIANCES, FIXTURES, AND EQUIPMENT. CONTRACTOR SHALL PREPARE AND SUBMIT ALL REQUIRED CALCULATIONS AND FORMS.

**SUBMITTALS**

1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS FOR ALL SHOP DRAWINGS, FOR FABRICATED ITEMS, CATALOG CUTS OF ALL EQUIPMENT, AND SAMPLES OF ALL MATERIALS CALLED FOR TO THE ARCHITECT FOR APPROVAL TWO (2) WEEKS PRIOR RELEASE FOR FABRICATION / PURCHASING.
2. MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION SYSTEMS, SHOP DRAWINGS AND LAYOUTS SHALL BE SUBMITTED AS SOON AS POSSIBLE AFTER AWARD OF CONTRACT TO THE ARCHITECT ALLOWING TEN (10) WORKING DAYS FOR REVIEW. NO CONSTRUCTION SHALL PROCEED UNTIL THE APPROVAL OF THESE DRAWINGS. ALL THE ABOVE TRADES NEED TO BE REVIEWED BY THE ARCHITECT AT THE SAME TIME.
3. THE CONTRACTOR SHALL SUBMIT WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK; PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT.
4. BY SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT HE HAS CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS.
5. THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES, UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.
6. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DIMENSIONS OR QUANTITIES ON REVIEWED SUBMITTALS.

**ENERGY**

1. ALL OPENABLE WINDOWS AND SLIDING DOORS SHALL LIMIT AIR LEAKAGE AND BE CERTIFIED AND LABELED TO COMPLY WITH ANSI STANDARD A542-1992.
2. FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION.
3. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED.
4. SITE BUILT DOORS MOUNTED ON THE INSIDE OR THE OUTSIDE OF EXTERIOR WALLS SHALL HAVE A MIN. 1" LAP AT JAMPS.
5. OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES BETWEEN WALLS, FOUNDATIONS, ROOFS, PANELS, AND AT PENETRATION OF UTILITIES THRU THE ENVELOPE, SHALL BE SEALED, CALKED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
6. PROVIDE TO FIRE MARSHALL, BUILDING DEPARTMENT, AND ARCHITECT TWO SETS OF FIRE ALARM PLANS FOR APPROVAL AND INSTALLATION PERMIT PRIOR TO INSTALLATION OF EQUIPMENT. INCLUDE PLACEMENT OF SMOKE AND HEAT DETECTORS AND STROBES AS REQUIRED BY ADA.
7. INSULATION SHALL BE INSTALLED TO MEET FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS OF 5311 AND TITLE 24.

**ABBREVIATIONS**

&	And	F.O.	Face Of	PSF	Pounds per Square Foot
~	Angle	F.O.C.	Face of Concrete	PT	Pounds per Square Inch
@	At	F.O.F.	Face of Finish	PTI	Point OR Pressure Treated
⊕	Centrifuge	F.O.I.	Face of Insulation	PTD.	Painted
⊙	Diameter	F.O.W.	Face of Wall	P.T.D.	Paper Towel Dispenser
∅	Diameter	F.P.	Fireproofing	P.T.R.	Paper Towel Receptacle
#	Number OR Pound	F.R.	Fire Retardant, Fire Rated	PTN.	Partition
∥	Parallel	F.S.	Fire Sprinkler, Full Size	PVC	Polyvinyl Chloride
⊥	Perpendicular	FSD	Fire Separation Distance	QTY	Quantity
⊕	Per or Minus	F.F.T.	Foot OR Feet	R.	Riser
⊕	Property Line	FTG.	Footing	R.A.	Return Air
A.B.	Anchor Bolt	FUR.	Furring	RAD.	Radius, Radli
ABV.	Above	FUT.	Future	R.B.	Resilient Base, Rubber Base
AC.	Air Conditioning	F.V.C.	Fire Valve Cabinet	R.C.P.	Reflected Ceiling Plan
A.C.T.	Acoustic Ceiling Tile	GA.	Gauge	R.D.	Root Drain
ACOUS.	Acoustical	GALV.	Galvanized	REC.	Recessed
ADD.	Addendum	G.B.	Grab Bar	REF.	Reference
ADH.	Adhesive	G.C.	General Contractor	REFG.	Refrigerator
ADA	Americans with Disabilities Act	G.D.	Garbage Disposal	RENF.	Reinforce
ADCL.	Additional	GEN.	General	REM.	Remaining
ADJ.	Adjacent	GFCI	Ground Fault Circuit Interruption	REQ.	Required
ADJT.	Adjustable	GL.	Glass, Glazing	RES.	Resistant
A.F.F.	Above Finished Floor	G.L.B.	Glu-Lam Beam	RESIL.	Resilient
AGGR.	Aggregate	G.N.	General Note	RETF.	Retaining
AL.	Aluminum	GND.	Ground	REFL.	Reflected
ALT.	Alteration	G.R.	Guard Rail	RFL.	Reflected
A.P.	Access Panel	GR.	Grade	RGTR.	Register
APPROX.	Approximate	GM	Galvanized Sheet Metal	RH	Right Hand
ANCH.	Anchor	GT	GROUT	R.H.M.	Radiant Heat Manifold
ANOD.	Anodized	GP.	Gypsum Board	RM	Round
ANCH.	Anchor	H.B.	Hose Bib	R.O.	Rough Opening
ANOD.	Anodized	H.C.	Hollow Core	R.P.	Radius Point
ANOD.	Anodized	HD.	Head OR Handryer	RSF	Resilient Sheet Flooring
ANOD.	Anodized	HDBD.	Hardboard	RT	Resilient Tile
ANOD.	Anodized	HDR.	Header	RWL.	Rain Water Leader
ANOD.	Anodized	HDW.	Hardware	S	South
ANOD.	Anodized	HDWD.	Hardware	S.A.F.	Self-Adhered Flashing
ANOD.	Anodized	H.M.	Height	S.C.	Solid Core OR Sealed Concrete
ANOD.	Anodized	H.M.	Height	S.C.D.	Solid Core Dispenser OR See Civil Drawings
ANOD.	Anodized	H.M.	Height	SCHED.	Schedule(d)
ANOD.	Anodized	H.M.	Height	S.D.	Soap Dispenser
ANOD.	Anodized	H.M.	Height	SECT.	Section
ANOD.	Anodized	H.M.	Height	S.E.D.	See Electrical Drawings
ANOD.	Anodized	H.M.	Height	SF	Square Feet
ANOD.	Anodized	H.M.	Height	S.F.P.D.	See Fire Protection Drawings
ANOD.	Anodized	H.M.	Height	S.F.	Square Foot (Feet)
ANOD.	Anodized	H.M.	Height	S.H.	Sprinkler Head OR Single Hung
ANOD.	Anodized	H.M.	Height	S.H.F.	Shelf
ANOD.	Anodized	H.M.	Height	SHTG.	Sheathing
ANOD.	Anodized	H.M.	Height	SHWR.	Showers
ANOD.	Anodized	H.M.	Height	SM.	Similar
ANOD.	Anodized	H.M.	Height	S.J.C.	Seismic Joint Cover
ANOD.	Anodized	H.M.	Height	SK	Sink
ANOD.	Anodized	H.M.	Height	SL	Sliding
ANOD.	Anodized	H.M.	Height	S.L.D.	See Landscape Drawings
ANOD.	Anodized	H.M.	Height	S.M.	See Mechanical Drawings
ANOD.	Anodized	H.M.	Height	S.M.D.	Sanitary Napkin Dispenser
ANOD.	Anodized	H.M.	Height	S.N.R.	Sanitary Napkin Receptacle
ANOD.	Anodized	H.M.	Height	SNT.	Sealant
ANOD.	Anodized	H.M.	Height	S.O.G.	Shut-Off Grade
ANOD.	Anodized	H.M.	Height	S.O.V.	Shut-Off Valve
ANOD.	Anodized	H.M.	Height	S.P.D.	See Plumbing Drawings
ANOD.	Anodized	H.M.	Height	SPEC.	Specification
ANOD.	Anodized	H.M.	Height	SPKR.	Speaker
ANOD.	Anodized	H.M.	Height	SG.	Square
ANOD.	Anodized	H.M.	Height	SGS.	Stainless Steel
ANOD.	Anodized	H.M.	Height	S.S.D.	See Structural Drawings
ANOD.	Anodized	H.M.	Height	ST.	Street OR Stair
ANOD.	Anodized	H.M.	Height	STC	Sound Transmission Coefficient
ANOD.	Anodized	H.M.	Height	STD.	Standard
ANOD.	Anodized	H.M.	Height	STL.	Steel
ANOD.	Anodized	H.M.	Height	STOR.	Storage
ANOD.	Anodized	H.M.	Height	STRUC.	Structure
ANOD.	Anodized	H.M.	Height		



COUNTY OF SANTA CLARA
2019 CALGREEN RESIDENTIAL CHECKLIST (MANDATORY+TIER 1)
County Amendments to CALGreen are in Italics.
- Designer to cross out items that are not applicable to the project.
- Installer or designer shall verify all applicable requirements have been satisfied and sign and date each row. County Inspectors will verify completion signatures and supporting documentation DURING CONSTRUCTION.

Table with columns: ITEM #, CALGreen CODE SECTION, REQUIREMENT, APPLICANT TO COMPLETE (REFERENCE SHEET, Note or Detail No., Date), and Installer or Designer Verification (Signature). Includes sections for Planning and Design, Water Efficiency & Conservation, Energy Efficiency, and Material Conservation & Resource Efficiency.

Table with columns: ITEM #, CALGreen CODE SECTION, REQUIREMENT, APPLICANT TO COMPLETE (REFERENCE SHEET, Note or Detail No., Date), and Installer or Designer Verification (Signature). Includes sections for Water Efficiency & Conservation, Material Conservation & Resource Efficiency, and Material Conservation & Resource Efficiency.

Table with columns: ITEM #, CALGreen CODE SECTION, REQUIREMENT, APPLICANT TO COMPLETE (REFERENCE SHEET, Note or Detail No., Date), and Installer or Designer Verification (Signature). Includes sections for Environmental Quality, Environmental Quality, and Installer and Special Inspector Qualifications.

TABLE 4.504.5 FORMALDEHYDE LIMITS
Maximum Formaldehyde Emissions in Parts per Million
Table with columns: PRODUCT, CURRENT LIMIT

1. Values in this table are derived from those specified by the California Air Resources Board, Air Toxics Control Measure for Composite Wood as tested in accordance with ASTM E1333. For additional information, see California Code of Regulations, Title 17, Sections 93120 through 93120.12.
2. Thin medium density fiberboard has a maximum thickness of 1/8 inch (3 mm).

TABLE A4.106.10 MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS
Table with columns: ALLOWABLE RATING, LIGHTING ZONE 1, LIGHTING ZONE 2, LIGHTING ZONE 3, LIGHTING ZONE 4

1. IESNA Lighting Zones 0 and 5 are not applicable; refer to Lighting Zones as defined in the California Energy Code and Chapter 10 of the California Administrative Code.
2. For property lines that abut public walkways, bikeways, plazas and parking lots, the property line may be considered to be 5 feet beyond the actual property line for purposes of determining compliance with this section. For property lines that abut public roadways and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.
3. If the nearest property line is less than or equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced backlight rating shall be met.
4. General lighting luminaires in areas such as outdoor parking, sales or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet U-value limits for "all other outdoor lighting."
5. If the nearest property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced glare rating shall be met.

LU RESIDENCE
18440 GRAYSTONE LANE
SAN JOSE, CA 94150

Table with columns: NO., REVISION, DATE. Row 1: 1, PLANNING SUBMITTAL, 11-14-2021



DRAWINGS NOT FOR CONSTRUCTION UNTIL STAMPED JOB COPY BY BUILDING DEPARTMENT
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT

CAL GREEN

G1.00





**CALGREEN 2019 NOTES – TIER 1 REQUIREMENTS:**

1. SITE WHICH COMPLIES WITH AT LEAST ONE OF THE FOLLOWING CHARACTERISTICS SHALL BE SELECTED:

- A. AN INFILL SITE.
B. A GREYFIELD SITE.
C. AN EPA-RECOGNIZED AND REMEDIATED BROWNFIELD SITE.

2. FACILITATE COMMUNITY CONNECTIVITY BY ONE OF THE FOLLOWING METHODS:

- A. LOCATE PROJECT WITHIN A 1/4 MILE TRUE WALKING DISTANCE OF AT LEAST FOUR BASIC SERVICES, READILY ACCESSIBLE BY PEDESTRIANS.
B. LOCATE PROJECT WITHIN A 1/2 MILE TRUE WALKING DISTANCE OF AT LEAST SEVEN BASIC SERVICES, READILY ACCESSIBLE BY PEDESTRIANS.
C. OTHER METHODS INCREASING ACCESS TO ADDITIONAL RESOURCES.

EXAMPLES OF SERVICES INCLUDE, BUT ARE NOT LIMITED TO, BANK, PLACE OF WORSHIP, CONVENIENCE GROCERY, DAY CARE, CLEANERS, FIRE STATION, BARBER SHOP, BEAUTY SHOP, HARDWARE STORE, LAUNDRY, LIBRARY, MEDICAL CLINIC, DENTAL CLINIC, SENIOR CARE FACILITY, PARK, PHARMACY, POST OFFICE, RESTAURANT, SCHOOL, SUPERMARKET, THEATER, COMMUNITY CENTER, FITNESS CENTER, MUSEUM OR FARMERS MARKET.

3. INDIVIDUALS WITH OVERSIGHT AUTHORITY ON THE PROJECT WHO HAVE BEEN TRAINED IN AREAS RELATED TO ENVIRONMENTALLY FRIENDLY DEVELOPMENT SHALL TEACH GREEN CONCEPTS TO OTHER MEMBERS OF THE DEVELOPMENT STAFF AND ENSURE THAT TRAINING IS PROVIDED TO ALL PARTIES ASSOCIATED WITH THE DEVELOPMENT OF THE PROJECT.

PRIOR TO BEGINNING THE CONSTRUCTION ACTIVITIES, ALL PARTIES INVOLVED WITH THE DEVELOPMENT PROCESS SHALL RECEIVE A WRITTEN GUIDELINE AND INSTRUCTION SPECIFYING THE GREEN GOALS OF THE PROJECT.

4. THE SALVAGED MATERIALS FROM DECONSTRUCTION OF EXISTING BUILDINGS ON THE SITE SHALL BE REUSED. REUSED MATERIALS OR PRODUCTS MUST COMPLY WITH CURRENT BUILDING STANDARDS REQUIREMENTS OR BE AN ACCEPTED ALTERNATE METHOD OR MATERIAL.

MATERIALS WHICH CAN BE EASILY REUSED INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:

- A. LIGHT FIXTURES.
B. PLUMBING FIXTURES.
C. DOORS AND TRIM.
D. MASONRY.
E. ELECTRICAL DEVICES.
F. APPLIANCES.
G. FOUNDATIONS OR PORTIONS OF FOUNDATIONS.

REUSED MATERIAL MUST BE IN COMPLIANCE WITH THE APPROPRIATE TITLE 24 REQUIREMENTS.

5. BUILDING SITE SOIL ANALYSIS SHALL BE PERFORMED BY A LICENSED DESIGN PROFESSIONAL AND THE FINDINGS SHALL BE UTILIZED IN THE STRUCTURAL DESIGN OF THE BUILDING.

6. THE EFFECT OF DEVELOPMENT ON BUILDING SITES SHALL BE EVALUATED AND THE SOIL SHALL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING:

- A. NATURAL DRAINAGE PATTERNS SHALL BE EVALUATED AND EROSION CONTROLS SHALL BE IMPLEMENTED TO MINIMIZE EROSION DURING CONSTRUCTION AND AFTER OCCUPANCY.
B. SITE ACCESS SHALL BE ACCOMPLISHED BY MINIMIZING THE AMOUNT OF CUT AND FILL NEEDED TO INSTALL ACCESS ROADS AND DRIVEWAYS.
C. AS ALLOWED BY OTHER PARTS OF THE CALIFORNIA BUILDING STANDARDS CODE, UNDERGROUND CONSTRUCTION ACTIVITIES SHALL BE COORDINATED TO UTILIZE THE SAME TRENCH, MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED AND THE SOIL SHALL BE REPLACED USING ACCEPTED COMPACTION METHODS.

7. TOPSOIL SHALL BE PROTECTED OR SAVED FOR REUSE. DISPLACED TOPSOIL SHALL BE STOCKPILED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM EROSION. PROTECTION FROM EROSION INCLUDES COVERING WITH TARPS, STRAW, MULCH, CHIPPED WOOD, VEGETATIVE COVER, OR OTHER MEANS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO PROTECT THE TOPSOIL FOR LATER USE.

8. POSTCONSTRUCTION LANDSCAPE DESIGNS SHALL ACCOMPLISH ONE OR MORE OF THE FOLLOWING:

- A. AREAS DISRUPTED DURING CONSTRUCTION SHALL BE RESTORED TO BE CONSISTENT WITH NATIVE VEGETATION SPECIES AND PATTERNS.
B. UTILIZE AT LEAST 75 PERCENT NATIVE CALIFORNIA OR DROUGHT TOLERANT PLANT AND TREE SPECIES APPROPRIATE FOR THE CLIMATE ZONE REGION.

9. PERMEABLE PAVING SHALL BE UTILIZED FOR NOT LESS THAN 20 PERCENT OF THE TOTAL PARKING, WALKING OR PATIO SURFACES

THE PRIMARY DRIVEWAY, PRIMARY ENTRY WALKWAY AND ENTRY PORCH OR LANDING SHALL NOT BE INCLUDED WHEN CALCULATING THE AREA REQUIRED TO BE A PERMEABLE SURFACE.

10. INSTALL A VEGETATED ROOF FOR AT LEAST 50 PERCENT OF THE ROOF AREA. VEGETATED ROOFS SHALL COMPLY WITH REQUIREMENTS FOR ROOF GARDENS AND LANDSCAPED ROOFS IN THE CALIFORNIA BUILDING CODE, CHAPTER 15 AND CHAPTER 16.

11. REDUCE NONROOF HEAT ISLANDS FOR 50 PERCENT OF SIDEWALKS, PATIOS, DRIVEWAYS OR OTHER PAVED AREAS BY USING ONE OR MORE OF THE METHODS LISTED.

- A. TREES OR OTHER PLANTINGS TO PROVIDE SHADE AND THAT MATURE WITHIN 15 YEARS OF PLANTING. TREES SHOULD BE NATIVE OR ADAPTIVE TO THE REGION AND CLIMATE ZONES AND NONINVASIVE; HARDY AND RESISTANT TO DROUGHT, INSECTS AND DISEASE; EASY TO MAINTAIN (NO FREQUENT SHEDDING OF TWIGS, BRANCHES, UNWANTED FRUIT OR SEED PODS); AND SUITABLE IN MATURE SIZE

AND ENVIRONMENTAL REQUIREMENTS FOR THE SITE. TREE SELECTION AND PLACEMENT SHOULD CONSIDER LOCATION AND SIZE OF AREAS TO BE SHADED, LOCATION OF UTILITIES, VIEWS FROM THE STRUCTURE, DISTANCE TO SIDEWALKS AND FOUNDATIONS, OVERHANGS ONTO ADJACENT PROPERTIES AND STREETS; OTHER INFRASTRUCTURE AND ADJACENT TO LANDSCAPING. IN ADDITION, SHADING SHALL NOT CAST A SHADOW, AS SPECIFIED, ON ANY NEIGHBORING SOLAR COLLECTORS PURSUANT TO PUBLIC RESOURCES CODE SECTION 25981, ET SEQ. (SOLAR SHADE CONTROL ACT).

- B. USE HIGH ALBEDO MATERIALS WITH AN INITIAL SOLAR REFLECTANCE VALUE OF AT LEAST 0.30 AS DETERMINED IN ACCORDANCE ASTM E1918 OR C1549.
C. USE OPEN GRID PAVEMENT SYSTEM OR PERVIOUS OR PERMEABLE PAVEMENT SYSTEM.
D. LOCATE 50 PERCENT OF PARKING UNDERGROUND OR USE MULTILEVEL PARKING.
E. OTHER METHODS OF REDUCING HEAT ISLAND EFFECTS ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

12. FOR EACH DWELLING UNIT, INSTALL A DEDICATED 208/240-VOLT BRANCH CIRCUIT IN THE RACEWAY REQUIRED BY CALGREEN SECTION 4.106.4.1 (SEE SHEET GB-2 NOTE 4). THE BRANCH CIRCUIT AND ASSOCIATED OVERCURRENT PROTECTIVE DEVICE SHALL BE RATED AT 40 AMPERES MINIMUM. OTHER ELECTRICAL COM-PONENTS, INCLUDING A RECEPTACLE OR BLANK COVER, RELATED TO THIS SECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.

THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE DESIGNATED FOR FUTURE EV CHARGING PURPOSES AS "EV READY" IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. THE RECEPTACLE OR BLANK COVER SHALL BE IDENTIFIED AS "EV READY."

13. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING:

- A. THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 1-4 AS DEFINED IN CHAPTER 10 OF THE CALIFORNIA ADMINISTRATIVE CODE; AND
B. BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS AS DEFINED IN IES TM-15-11; AND
C. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN CALGREEN TABLE A4.106.10

EXCEPTIONS:

- 1. LUMINAIRES THAT QUALIFY AS EXCEPTIONS IN THE CALIFORNIA ENERGY CODE.
2. EMERGENCY LIGHTING.
3. ONE- AND TWO-FAMILY DWELLINGS.

14. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.5 GAL-LONS PER MINUTE AT 60 PSI. WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

15. ALTERNATE NONPOTABLE WATER SOURCES SHALL BE USED FOR INDOOR POTABLE WATER REDUCTION. ALTERNATE NONPOTABLE WATER SOURCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

16. INSTALL AT LEAST ONE QUALIFIED ENERGY STAR DISHWASHER OR CLOTHES WASHER.

17. NONWATER URINALS OR COMPOSTING TOILETS SHALL BE INSTALLED. WHERE APPROVED, HYBRID URINALS, AS DEFINED IN CALGREEN CHAPTER 2, SHALL BE CONSIDERED NONWATER URINALS.

18. ONE- AND TWO-FAMILY DWELLINGS SHALL BE EQUIPPED WITH A DEMAND HOT WATER RECIRCULATION SYSTEM, AS DEFINED IN CALGREEN CHAPTER 2. THE DEMAND HOT WATER RECIRCULATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, CALIFORNIA ENERGY CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

19. AN APPROVED RAINWATER CATCHMENT SYSTEM SHALL BE DESIGNED AND INSTALLED TO USE RAINWATER GENERATED BY AT LEAST 65 PERCENT OF THE AVAILABLE ROOF AREA. RAINWATER CATCHMENT SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

20. WHEN LANDSCAPING IS PROVIDED AND AS ALLOWED BY LOCAL ORDINANCE, A WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN THAT ELIMINATES THE USE OF POTABLE WATER BEYOND THE INITIAL REQUIREMENTS FOR PLANT INSTALLATION AND ESTABLISHMENT SHALL BE PROVIDED. METHODS USED TO ACCOM-PLISH THE REQUIREMENTS OF THIS SECTION SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING STANDARDS CODE AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- A. USE OF CAPTURED RAINWATER.
B. USE OF RECYCLED WATER.
C. WATER TREATED FOR IRRIGATION PURPOSES AND CONVEYED BY A WATER DISTRICT OR PUBLIC ENTITY.
D. USE OF GRAYWATER.
E. USE OF DROUGHT TOLERANT PLANTS.

21. FOR NEW WATER SERVICE CONNECTIONS, LANDSCAPED IRRIGATED AREAS LESS THAN 5,000 SQUARE FEET SHALL BE PROVIDED WITH SEPARATE SUBMETERS OR METERING DEVICES FOR OUTDOOR POTABLE WATER USE.

22. ALTERNATIVE PLUMBING PIPING SHALL BE INSTALLED TO PERMIT THE DISCHARGE FROM THE CLOTHES WASHER OR OTHER FIXTURES TO BE USED FOR AN IRRIGATION SYSTEM IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.

23. BASED ON PROJECTED AVAILABILITY, DUAL WATER PIPING SHALL BE INSTALLED FOR FUTURE USE OF RECYCLED WATER AT THE FOLLOWING LOCATIONS:

- A. INTERIOR PIPING FOR THE USE OF RECYCLED WATER SHALL BE INSTALLED TO SERVE ALL WATER CLOSETS, URINALS AND FLOOR DRAINS.
B. EXTERIOR PIPING IS INSTALLED TO TRANSPORT RECYCLED WATER FROM THE POINT OF CONNECTION TO THE STRUCTURE. RECYCLED WATER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

24. RECYCLED WATER SHALL BE USED FOR LANDSCAPE IRRIGATION.

25. AS ALLOWED BY LOCAL CONDITIONS, UTILIZE A FROST-PROTECTED SHALLOW FOUNDATION (FPSF) IN COMPLIANCE WITH THE CALIFORNIA RESIDENTIAL CODE (CRC). WHEN AN FPSF FOUNDATION SYSTEM IS INSTALLED, THE MANUAL REQUIRED BY CALGREEN SECTION 4.410.1 SHALL INCLUDE INSTRUCTIONS TO THE OWNER OR OCCUPANT REGARDING THE NECESSITY FOR HEATING THE STRUCTURE AS REQUIRED IN SECTION R403.3 OF THE CALIFORNIA RESIDENTIAL CODE.

26. AS ALLOWED BY THE COUNTY OF SANTA CLARA, CEMENT USED IN FOUNDATION MIX DESIGN SHALL BE REDUCED NOT LESS THAN 20 PERCENT. RODUCTS COMMONLY USED TO REPLACE CEMENT IN CONCRETE MIX DESIGNS INCLUDE, BUT ARE NOT LIMITED TO:

- A. FLY ASH.
B. SLAG.
C. SILICA FUME.
D. RICE HULL ASH.

27. BEAMS, HEADERS AND TRIMMERS SHALL BE SIZED AND INSTALLED AS SPECIFIED IN CHAPTER 23 OF THE CALIFORNIA BUILDING CODE, OR CHAPTER 6 OF THE CALIFORNIA RESIDENTIAL CODE, AS APPLICABLE. OTHER CALCULATIONS ACCEPTABLE TO THE COUNTY OF SANTA CLARA WHICH USE THE MINIMUM SIZE MEMBER FOR THE TRIBUTARY LOAD IS ACCEPTABLE.

28. BUILDING DIMENSIONS AND LAYOUTS SHALL BE DESIGNED TO MINIMIZE WASTE BY ONE OR MORE OF THE FOLLOWING MEASURES IN AT LEAST 80 PERCENT OF THE STRUCTURE:

- A. BUILDING DESIGN DIMENSIONS IN 2-FOOT INCREMENTS ARE USED.
B. WINDOWS AND DOORS ARE LOCATED AT REGULAR 16" OR 24" STUD POSITIONS.
C. OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

29. PREMANUFACTURED BUILDING SYSTEMS SHALL BE USED TO ELIMINATE SOLID SAWN LUMBER WHENEVER POSSIBLE. ONE OR MORE OF THE FOLLOWING PREMANUFACTURED BUILDING SYSTEMS IS USED:

- A. COMPOSITE FLOOR JOIST OR PREMANUFACTURED FLOOR FRAMING SYSTEM.
B. COMPOSITE ROOF RAFTERS OR PREMANUFACTURED ROOF FRAMING SYSTEM.
C. PANELIZED (SIPS, ICF OR SIMILAR) FRAMING SYSTEMS.
D. OTHER METHODS APPROVED BY THE COUNTY OF SANTA CLARA.

30. MATERIAL LISTS SHALL BE INCLUDED IN THE PLANS WHICH SPECIFY THE MATERIAL QUANTITY AND PROVIDE DIRECTION FOR ON-SITE CUTS TO BE MADE FROM THE MATERIAL PROVIDED. MATERIAL LISTS AND DIRECTION SHALL BE PROVIDED FOR THE FOLLOWING SYSTEMS:

- A. FLOOR FRAMING.
B. WALL FRAMING.
C. CEILING AND ROOF FRAMING.
D. STRUCTURAL PANELS AND ROOF SHEATHING.

31. UTILIZE PREFINISHED BUILDING MATERIALS WHICH DO NOT REQUIRE ADDITIONAL PAINTING OR STAINING WHEN POSSIBLE. ONE OR MORE OF THE FOLLOWING BUILDING MATERIALS THAT DO NOT REQUIRE ADDITIONAL RESOURCES FOR FINISHING ARE USED:

- A. EXTERIOR TRIM NOT REQUIRING PAINT OR STAIN.
B. WINDOWS NOT REQUIRING PAINT OR STAIN.
C. SIDING OR EXTERIOR WALL COVERINGS WHICH DO NOT REQUIRE PAINT OR STAIN.

32. CONCRETE FLOORS THAT DO NOT REQUIRE ADDITIONAL COVERINGS SHALL BE USED INCLUDING BUT NOT LIMITED TO STAINED, NATURAL OR STAMPED CONCRETE FLOORS.

33. USE MATERIALS, EQUIVALENT IN PERFORMANCE TO VIRGIN MATERIALS WITH A TOTAL (COMBINED) RECYCLED CONTENT VALUE (RCV) OF NOT BE LESS THAN 10 PERCENT OF THE TOTAL MATERIAL COST OF THE PROJECT.

REQUIRED TOTAL RCV (DOLLARS) = TOTAL MATERIAL COST(DOLLARS) x 10 PERCENT

FOR THE PURPOSES OF THIS SECTION, MATERIALS USED AS COMPONENTS OF THE STRUCTURAL FRAME SHALL NOT BE USED TO CALCULATE RECYCLED CONTENT. THE STRUCTURAL FRAME INCLUDES THE LOAD BEARING STRUCTURAL ELEMENTS, SUCH AS WALL STUDS, PLATES,SILLS, COLUMNS, BEAMS, GIRDERS, JOISTS, RAFTERS AND TRUSSES. SAMPLE FORMS WHICH ALLOW USER INPUT, LOCATED AT SHEET CG-4, MAY BE USED TO SIMPLIFY DOCUMENTING COMPLIANCE WITH THIS SECTION AND FOR CALCULATING RECYCLED CONTENT VALUE OF MATERIALS OR ASSEMBLY PRODUCTS.

SOURCES AND RECYCLED CONTENT OF SOME RECYCLED MATERIALS CAN BE OBTAINED FROM CALRECYCLE IF NOT PROVIDED BY THE MANUFACTURER.

FOR FURTHER INSTRUCTION SEE CALGREEN A4.405.3.

34. ONE OR MORE OF THE FOLLOWING MATERIALS MANUFACTURED FROM RAPIDLY RENEWABLE SOURCES OR AGRICULTURAL BY-PRODUCTS SHALL BE USED:

- A. INSULATION.
B. BAMBOO OR CORK.
C. ENGINEERED PRODUCTS.
D. AGRICULTURAL BASED PRODUCTS.
E. OTHER PRODUCTS ACCEPTABLE TO THE ENFORCING AGENCY.

THE INTENT OF THIS SECTION IS TO UTILIZE BUILDING MATERIALS AND PRODUCTS WHICH ARE TYPICALLY HARVESTED WITHIN A 10-YEAR OR SHORTER CYCLE.

35. INSTALL FOUNDATION AND LANDSCAPE DRAINS WHICH DISCHARGE TO A DRY WELL, SUMP, BIOSWALE OR OTHER APPROVED ON-SITE LOCATION.

36. INSTALL GUTTER AND DOWNSPOUT SYSTEMS TO ROUTE WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION OR CONNECT TO LANDSCAPE DRAINS WHICH DISCHARGE

TO A DRY WELL, SUMP, BIOSWALE, RAINWATER CAPTURE SYSTEM OR OTHER APPROVED ON-SITE LOCATION.

37. PROVIDE FLASHING DETAILS ON THE BUILDING PLANS WHICH COMPLY WITH ACCEPTED INDUSTRY STANDARDS OR MANUFACTURER'S INSTRUCTIONS. DETAILS SHALL BE SHOWN ON HOUSE PLANS AT ALL OF THE FOLLOWING LOCATIONS:

- A. AROUND WINDOWS AND DOORS.
B. ROOF VALLEYS.
C. DECK CONNECTIONS TO THE STRUCTURE.
D. ROOF-TO-WALL INTERSECTIONS.
E. CHIMNEYS TO ROOF INTERSECTIONS.
F. DRIP CAPS ABOVE WINDOWS AND DOORS WITH ARCHITECTURAL PROJECTIONS.

38. PROTECT BUILDING MATERIALS DELIVERED TO THE CONSTRUCTION SITE FROM RAIN AND OTHER SOURCES OF MOISTURE.

39. EXTERIOR DOORS TO THE DWELLING SHALL BE COVERED TO PREVENT WATER INTRUSION BY ONE OR MORE OF THE FOLLOWING:

- A. AN AWNING AT LEAST 4 FEET IN DEPTH IS INSTALLED.
B. THE DOOR IS PROTECTED BY A ROOF OVERHANG AT LEAST 4 FEET IN DEPTH.
C. THE DOOR IS RECESSED AT LEAST 4 FEET.
D. OTHER METHODS WHICH PROVIDE EQUIVALENT PROTECTION.

40. A PERMANENT OVERHANG OR AWNING AT LEAST 2 FEET IN DEPTH SHALL BE PROVIDED AT ALL EXTERIOR WALLS.

41. NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH THE FOLLOWING:

AT LEAST A 65 PERCENT REDUCTION. ANY MIXED RECYCLABLES THAT ARE SENT TO MIXED-WASTE RECYCLING FACILITIES SHALL INCLUDE A QUALIFIED THIRD PARTY VERIFIED FACILITY AVERAGE DIVERSION RATE. VERIFICATION OF DIVERSION RATES SHALL MEET MINIMUM CERTIFICATION ELIGIBILITY GUIDELINES, ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH THIS SECTION. DOCUMENTATION SHALL BE IN COMPLIANCE WITH CALGREEN SECTION 4.408.5.

42. USE COMPOSITE WOOD PRODUCTS MADE WITH EITHER CALIFORNIA AIR RESOURCES BOARD APPROVED NO-ADDED FORMALDEHYDE (NAF) RESINS OR ULTRA-LOW EMITTING FORMALDEHYDE (ULEF) RESINS.

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS.

43. AT LEAST 90 PERCENT OF THE TOTAL AREA OF RESILIENT FLOORING SYSTEMS INSTALLED IN THE BUILDING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN AT LEAST ONE OF THE FOLLOWING:

- A. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS,"VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
B. PRODUCTS CERTIFIED UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM.)
C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.
D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH,"STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1,FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION.

44. INSTALL THERMAL INSULATION IN COMPLIANCE WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE; PRODUCTS CERTIFIED UNDER THE UL GREENGUARD GOLD (FORMERLY GREENGUARD CHILDREN & SCHOOLS PROGRAM); OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THE MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION.

45. PROVIDE FILTERS ON RETURN AIR OPENINGS RATED AT MERV 8 OR HIGHER DURING CONSTRUCTION.

46. DIRECT-VENT HEATING AND COOLING EQUIPMENT SHALL BE UTILIZED IF THE EQUIPMENT WILL BE LOCATED IN THE CONDITIONED SPACE OR INSTALL THE SPACE HEATING AND WATER HEATING EQUIPMENT IN AN ISOLATED MECHANICAL ROOM.

2046 FARALLON DRIVE
SAN LEANDRO, CA 94577
415.534.8184
WWW.MAVRIKSTUDIO.COM



LU RESIDENCE
18440 GRAYSTONE LANE
SAN JOSE, CA 94150

Table with 3 columns: NO., REVISION, DATE. Row 1: 1, PLANNING SUBMITTAL, 11-14-2021

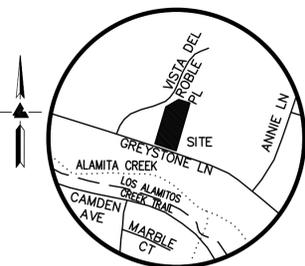


DRAWINGS NOT FOR CONSTRUCTION UNTIL STAMPED JOB COPY BY BUILDING DEPARTMENT
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT

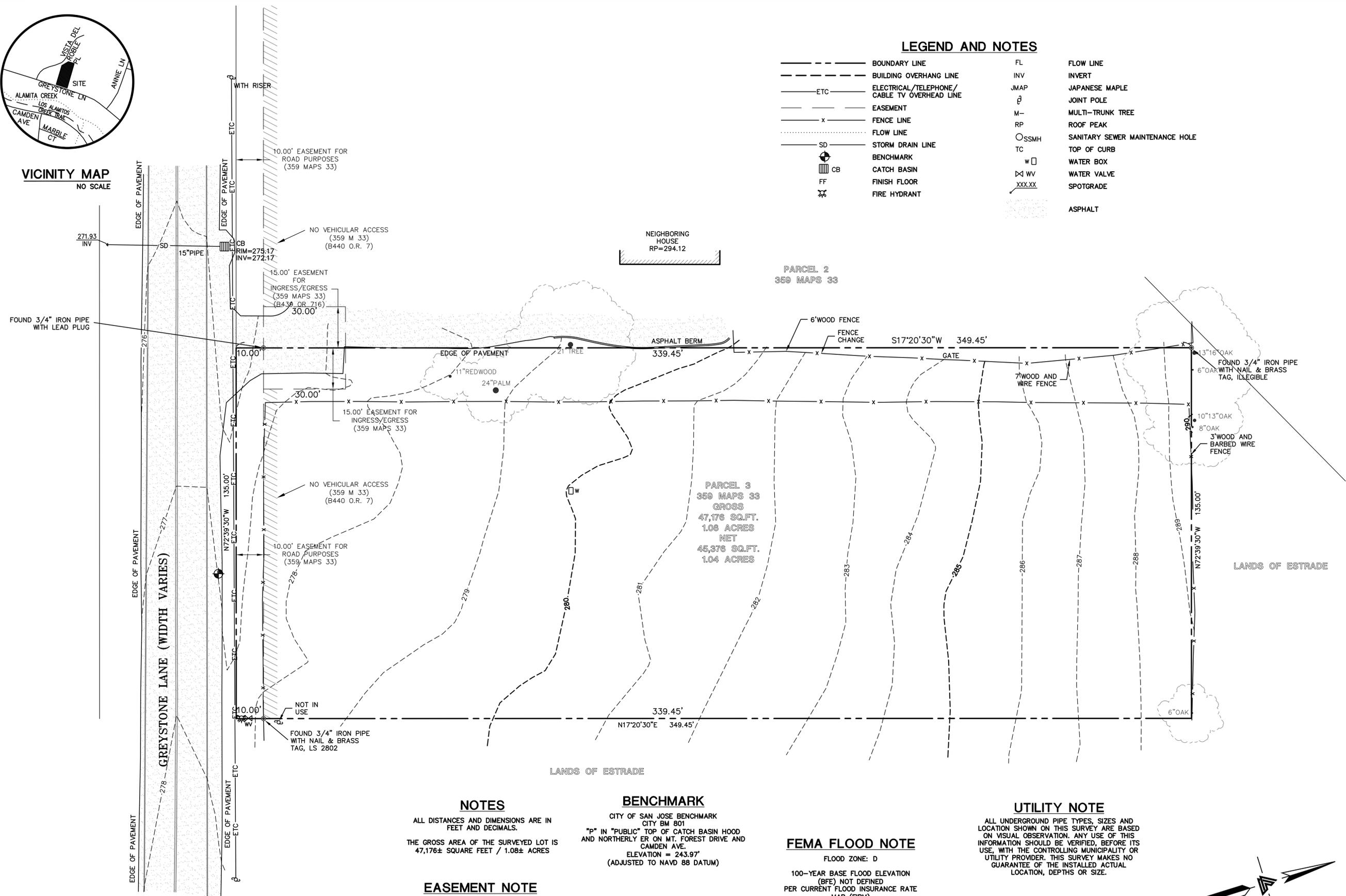
CAL GREEN

G1.03





VICINITY MAP  
NO SCALE



**LEGEND AND NOTES**

- |     |   |        |                                 |
|-----|---|--------|---------------------------------|
| --- | BOUNDARY LINE                                   | FL     | FLOW LINE                       |
| --- | BUILDING OVERHANG LINE                          | INV    | INVERT                          |
| --- | ELECTRICAL/TELEPHONE/<br>CABLE TV OVERHEAD LINE | JMAP   | JAPANESE MAPLE                  |
| --- | EASEMENT  | ⊕      | JOINT POLE                      |
| --- | FENCE LINE                                      | M-     | MULTI-TRUNK TREE                |
| --- | FLOW LINE                                       | RP     | ROOF PEAK                       |
| --- | SD  | ○SSMH  | SANITARY SEWER MAINTENANCE HOLE |
| ⊕   | BENCHMARK                                       | TC     | TOP OF CURB                     |
| ⊕   | CATCH BASIN                                     | w □    | WATER BOX                       |
| FF  | FINISH FLOOR                                    | ⊗ WV   | WATER VALVE                     |
| ⊗   | FIRE HYDRANT                                    | XXX.XX | SPOTGRADE                       |
|     |   |        | ASPHALT                         |

**NOTES**  
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.  
THE GROSS AREA OF THE SURVEYED LOT IS 47,176± SQUARE FEET / 1.08± ACRES

**EASEMENT NOTE**  
A CURRENT TITLE REPORT ISSUED BY FIDELITY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. FSBC-8012002194, DATED OCTOBER 13, 2020. EASEMENT FOR PACIFIC GAS AND ELECTRIC PER 217 O.R. 439 NOT PLOTTABLE, EXACT LOCATION NOT DISCLOSED IN RECORD. EASEMENT FOR PACIFIC GAS AND ELECTRIC PER 1429 OR 227 APPEARS TO BE INCORRECTLY LISTED IN TITLE REPORT.

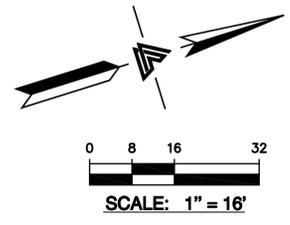
**BENCHMARK**  
CITY OF SAN JOSE BENCHMARK  
CITY BM 801  
"P" IN "PUBLIC" TOP OF CATCH BASIN HOOD AND NORTHERLY ER ON MT. FOREST DRIVE AND CAMDEN AVE.  
ELEVATION = 243.97'  
(ADJUSTED TO NAVD 88 DATUM)

**SITE BENCHMARK**  
SURVEY CONTROL POINT  
MAG AND SHINER SET IN ASPHALT  
ELEVATION = 276.92'  
(ADJUSTED TO NAVD 88 DATUM)

**FEMA FLOOD NOTE**  
FLOOD ZONE: D  
100-YEAR BASE FLOOD ELEVATION (BFE) NOT DEFINED PER CURRENT FLOOD INSURANCE RATE MAP (FIRM)  
FEMA FLOOD INSURANCE RATE MAP NO.: 06085C0401H  
EFFECTIVE DATE: MAY 18, 2009

**UTILITY NOTE**  
ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

**TREE NOTE**  
TREE SIZE, TYPE AND DRILINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.



**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS • LAND SURVEYORS  
REGIONAL OFFICES:  
SAN JOSE OFFICE: 1500 S. MOUNTAIN VIEW BLVD., SUITE 100, SAN JOSE, CA 95128  
SAN FRANCISCO OFFICE: 100 CALIFORNIA ST., SUITE 100, SAN FRANCISCO, CA 94111  
SAN DIEGO OFFICE: 1000 G ST., SUITE 100, SAN DIEGO, CA 92101  
(510) 897-4086  
WWW.LEABRAZE.COM

18440 GREYSTONE LANE  
SAN JOSE  
CALIFORNIA  
SANTA CLARA COUNTY  
APN: 696-11-008

TOPOGRAPHIC SURVEY

REVISIONS	BY
JOB NO:	2201778
DATE:	4-12-21
SCALE:	1"=16'
FIELD BY:	DR
DRAWN BY:	ZB
SHEET NO:	















GENERAL NOTES

ALL GENERAL NOTES, SHEET NOTES, AND LEGEND NOTES FOUND IN THESE DOCUMENTS SHALL APPLY TYPICALLY THROUGHOUT...

THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL REMAIN THE PROPERTY OF LEA AND BRAZE ENGINEERING, INC. WHETHER THE PROJECT FOR WHICH THEY ARE PREPARED IS EXECUTED OR NOT...

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALTRANS STANDARDS AND SPECIFICATIONS, AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL CONDITIONS, DIMENSIONS, LINES AND LEVELS INDICATED. PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED...

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERIFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE/SHE BEGINS HIS/HER WORK. ANY ERRORS, OMISSION, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER/CONTRACTOR BEFORE CONSTRUCTION BEGINS.

COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EXISTING ON SITE, WHICH COULD AFFECT THEIR WORK.

WORK SEQUENCE

IN THE EVENT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER OR THE CONTRACTOR, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGUN.

SITE EXAMINATION: THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL THOROUGHLY EXAMINE THE SITE AND FAMILIARIZE HIM/HERSELF WITH THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED...

LEA AND BRAZE ENGINEERING, INC. EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER...

CONSTRUCTION IS ALWAYS LESS THAN PERFECT SINCE PROJECTS REQUIRE THE COORDINATION AND INSTALLATION OF MANY INDIVIDUAL COMPONENTS BY VARIOUS CONSTRUCTION INDUSTRY TRADES. THESE DOCUMENTS CANNOT PORTRAY ALL COMPONENTS OR ASSEMBLIES EXACTLY...

IF THE OWNER OR CONTRACTOR OBSERVES OR OTHERWISE BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NONCONFORMANCE WITH THE CONTRACT DOCUMENTS, PROMPT WRITTEN NOTICE THEREOF SHALL BE GIVEN BY THE OWNER AND/OR CONTRACTOR TO THE ENGINEER.

THE ENGINEER SHALL NOT HAVE CONTROL OF OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK...

SITE PROTECTION

PROTECT ALL LANDSCAPING THAT IS TO REMAIN. ANY DAMAGE OR LOSS RESULTING FROM EXCAVATION, GRADING, OR CONSTRUCTION WORK SHALL BE CORRECTED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER...

STORMWATER POLLUTION PREVENTION NOTES

- 1) STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
2) CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATER COURSES.

SUPPLEMENTAL MEASURES

- A. THE PHRASE "NO DUMPING - DRAINS TO BAY" OR EQUALLY EFFECTIVE PHRASE MUST BE LABELED ON STORM DRAIN INLETS (BY STENCILING, BRANDING, OR PLAQUES) TO ALERT THE PUBLIC TO THE DESTINATION OF STORM WATER AND TO PREVENT DIRECT DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN.
B. USING FILTRATION MATERIALS ON STORM DRAIN COVERS TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.

GRADING & DRAINAGE NOTES:

1. SCOPE OF WORK

THESE SPECIFICATIONS AND APPLICABLE PLANS PERTAIN TO AND INCLUDE ALL SITE GRADING AND EARTHWORK ASSOCIATED WITH THE PROJECT INCLUDING, BUT NOT LIMITED TO THE FURNISHING OF ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR SITE CLEARING AND GRUBBING, SITE PREPARATION, DISPOSAL OF EXCESS OR UNSUITABLE MATERIAL, STRIPPING, KEYING, EXCAVATION, OVER EXCAVATION, RECOMPACTION PREPARATION FOR SOIL RECEIVING FILL, PAVEMENT, FOUNDATION OF SLABS, EXCAVATION, IMPORTATION OF ANY REQUIRED FILL MATERIAL, PROCESSING, PLACEMENT AND COMPACTION OF FILL AND SUBSIDIARY WORK NECESSARY TO COMPLETE THE GRADING TO CONFORM TO THE LINES, GRADING AND SLOPE SHOWN ON THE PROJECT GRADING PLANS.

2. GENERAL

- A. ALL SITE GRADING AND EARTHWORK SHALL CONFORM TO THE RECOMMENDATIONS OF THESE SPECIFICATIONS, THE SOILS REPORT BY XXXXXXXXXXXXXXXXXXXXXXX, AND THE CITY/TOWN/COUNTY OF XXXXXXXXX.
B. ALL FILL MATERIALS SHALL BE DENSIPIED SO AS TO PRODUCE A DENSITY NOT LESS THAN 90% RELATIVE COMPACTION BASED UPON ASTM TEST DESIGNATION D1557, FIELD DENSITY TEST WILL BE PERFORMED IN ACCORDANCE WITH ASTM TEST DESIGNATION 2922 AND 3017.

3. CLEARING AND GRUBBING

- A. THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION. ALL EXISTING PUBLIC IMPROVEMENTS SHALL BE PROTECTED. ANY IMPROVEMENTS DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LOCAL JURISDICTION WITH NO EXTRA COMPENSATION.
B. ALL ABANDONED BUILDINGS AND FOUNDATIONS, TREE (EXCEPT THOSE SPECIFIED TO REMAIN FOR LANDSCAPING PURPOSES), FENCES, VEGETATION AND ANY SURFACE DEBRIS SHALL BE REMOVED AND DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

4. SITE PREPARATION AND STRIPPING

- A. ALL SURFACE ORGANICS SHALL BE STRIPPED AND REMOVED FROM BUILDING PADS, AREAS TO RECEIVE COMPACTED FILL AND PAVEMENT AREAS.
B. UPON THE COMPLETION OF THE ORGANIC STRIPPING OPERATION, THE GROUND SURFACE (NATIVE SOIL SUBGRADE) OVER THE ENTIRE AREA OF ALL BUILDING PADS, STREET AND PAVEMENT AREAS AND ALL AREAS TO RECEIVE COMPACTED FILL SHALL BE PLOWED OR SCARIFIED UNTIL THE SURFACE IS FREE OF RUTS, HUMMOCKS OR OTHER UNEVEN FEATURES WHICH MAY INHIBIT UNIFORM SOIL COMPACTION.

5. EXCAVATION

- A. UPON COMPLETION OF THE CLEARING AND GRUBBING, SITE PREPARATION AND STRIPPING, THE CONTRACTOR SHALL MAKE EXCAVATIONS TO LINES AND GRADES NOTED ON THE PLAN, WHERE REQUIRED BY THE SOILS ENGINEER. UNACCEPTABLE NATIVE SOILS OR UNENGINEERED FILL SHALL BE OVER EXCAVATED BELOW THE DESIGN GRADE. SEE PROJECT SOILS REPORT FOR DISCUSSION OF OVER EXCAVATION OF THE UNACCEPTABLE MATERIAL. RESULTING GROUND LINE SHALL BE SCARIFIED, MOISTURE-CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS.
B. EXCAVATED MATERIALS SUITABLE FOR COMPACTED FILL MATERIAL SHALL BE UTILIZED IN MAKING THE REQUIRED COMPACTED FILLS. THOSE NATIVE MATERIALS CONSIDERED UNSUITABLE BY THE SOILS ENGINEER SHALL BE DISPOSED OF OFF THE SITE BY THE CONTRACTOR.

6. PLACING, SPREADING AND COMPACTING FILL MATERIAL

A. FILL MATERIALS

THE MATERIALS PROPOSED FOR USE AS COMPACTED FILL SHALL BE APPROVED BY THE SOILS ENGINEER BEFORE COMMENCEMENT OF GRADING OPERATIONS. THE NATIVE MATERIAL IS CONSIDERED SUITABLE FOR FILL; HOWEVER, ANY NATIVE MATERIAL DESIGNATED UNSUITABLE BY THE SOILS ENGINEER SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR...

B. FILL CONSTRUCTION

THE SOILS ENGINEER SHALL APPROVE THE NATIVE SOIL SUBGRADE BEFORE PLACEMENT OF ANY COMPACTED FILL MATERIAL. UNACCEPTABLE NATIVE SOIL SHALL BE REMOVED AS DIRECTED BY THE SOILS ENGINEER. THE RESULTING GROUND LINE SHALL BE SCARIFIED MOISTURE CONDITIONED AND RECOMPACTED AS SPECIFIED IN SECTION 4 OF THESE SPECIFICATIONS...

THE APPROVED FILL MATERIALS SHALL BE PLACED IN UNIFORM HORIZONTAL LAYERS NO THICKER THAN 8" IN LOOSE THICKNESS. LAYERS SHALL BE SPREAD EVENLY AND SHALL BE THOROUGHLY BLADE MIXED DURING THE SPREADING TO ENSURE UNIFORMITY OF MATERIAL IN EACH LAYER...

AFTER EACH LAYER HAS BEEN PLACED, MIXED, SPREAD EVENLY AND MOISTURE CONDITIONED, IT SHALL BE COMPACTED TO AT LEAST THE SPECIFIED DENSITY.

THE FILL OPERATION SHALL BE CONTINUED IN COMPACTED LAYERS AS SPECIFIED ABOVE UNTIL THE FILL HAS BEEN BROUGHT TO THE FINISHED SLOPES AND GRADES AS SHOWN ON THE PLANS. NO LAYER SHALL BE ALLOWED TO DRY OUT BEFORE SUBSEQUENT LAYERS ARE PLACED.

COMPACTION EQUIPMENT SHALL BE OF SUCH DESIGN THAT IT WILL BE ABLE TO COMPACT THE FILL TO THE SPECIFIED MINIMUM COMPACTION WITHIN THE SPECIFIED MOISTURE CONTENT RANGE. COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER ITS ENTIRE AREA UNTIL THE REQUIRED MINIMUM DENSITY HAS BEEN OBTAINED.

7. CUT OR FILL SLOPES

ALL CONSTRUCTED SLOPES, BOTH CUT AND FILL, SHALL BE NO STEEPER THAN 2 TO 1 (HORIZONTAL TO VERTICAL), DURING THE GRADING OPERATION, COMPACTED FILL SLOPES SHALL BE OVERRILLED BY AT LEAST ONE FOOT HORIZONTALLY AT THE COMPLETION OF THE GRADING OPERATIONS...

8. SEASONAL LIMITS AND DRAINAGE CONTROL

FILL MATERIALS SHALL NOT BE PLACED, SPREAD OR COMPACTED WHILE IT IS AT AN UNSUITABLY HIGH MOISTURE CONTENT OR DURING OTHERWISE UNFAVORABLE CONDITIONS. WHEN THE WORK IS INTERRUPTED FOR ANY REASON THE FILL OPERATIONS SHALL NOT BE RESUMED UNTIL FIELD TEST PERFORMED BY THE SOILS ENGINEER INDICATE THAT THE MOISTURE CONDITIONS IN AREAS TO BE FILLED ARE AS PREVIOUSLY SPECIFIED...

9. DUST CONTROL

THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY FOR THE ALLEVIATION OR PREVENTION OF ANY DUST NUISANCE ON OR ABOUT THE SITE CAUSED BY THE CONTRACTOR'S OPERATION EITHER DURING THE PERFORMANCE OF THE GRADING OR RESULTING FROM THE CONDITION IN WHICH THE CONTRACTOR LEAVES THE SITE...

10. INDEMNITY

THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ENGINEER, THE OWNER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES OR DAMAGE ARISING OR ALLEGED TO HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS.

11. SAFETY

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK...

THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

12. GUARANTEE

NEITHER THE FINAL PAYMENT, NOR THE PROVISIONS IN THE CONTRACT, NOR PARTIAL, NOR ENTIRE USE OR OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK NOT DONE IN ACCORDANCE WITH THE CONTRACT OR RELIEVES THE CONTRACTOR OF LIABILITY IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR LIABILITY MATERIAL OR WORKMANSHIP.

THE CONTRACTOR SHALL REMEDY ANY DEFECTS IN WORK AND PAY FOR ANY DAMAGE TO OTHER WORK RESULTING THEREFROM WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.

13. TRENCH BACKFILL

EITHER THE ON-SITE INORGANIC SOIL OR APPROVED IMPORTED SOIL MAY BE USED AS TRENCH BACKFILL. THE BACKFILL MATERIAL SHALL BE MOISTURE CONDITIONED PER THESE SPECIFICATIONS AND SHALL BE PLACED IN LIFTS OF NOT MORE THAN SIX INCHES IN HORIZONTAL UNCOMPACTED LAYERS AND BE COMPACTED BY MECHANICAL MEANS TO A MINIMUM OF 90% RELATIVE COMPACTION...

14. EROSION CONTROL

- A. ALL GRADING, EROSION AND SEDIMENT CONTROL AND RELATED WORK UNDERTAKEN ON THIS SITE IS SUBJECT TO ALL TERMS AND CONDITIONS OF THE COUNTY GRADING ORDINANCE AND MADE A PART HEREOF BY REFERENCE.
B. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO ANY PUBLICLY OWNED AND MAINTAINED ROAD CAUSED BY THE AFORESAID CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE.

- F. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
G. WHEN NO LONGER NECESSARY AND PRIOR TO FINAL ACCEPTANCE OF DEVELOPMENT, SEDIMENT BASINS SHALL BE REMOVED OR OTHERWISE DEACTIVATED AS REQUIRED BY THE LOCAL JURISDICTION.
H. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY. A CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (2" TO 3" MINIMUM DIAMETER) AT LEAST EIGHT INCHES THICK BY FIFTY (50) FEET LONG BY TWENTY (20) FEET WIDE UNLESS SHOWN OTHERWISE ON PLAN AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.

15. CLEANUP

THE CONTRACTOR MUST MAINTAIN THE SITE CLEAN, SAFE AND IN USABLE CONDITION. ANY SPILLS OF SOIL, ROCK OR CONSTRUCTION MATERIAL MUST BE REMOVED FROM THE SITE BY THE CONTRACTOR DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT...

NOTE: THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE. THE REFERENCED SOILS REPORT FOR THE PROJECT AND GOVERNING AGENCY GRADING ORDINANCE SHALL SUPERSEDE THESE NOTES. THE SOILS ENGINEER MAY MAKE ON-SITE RECOMMENDATIONS DURING GRADING OPERATIONS.



LEA & BRAZE ENGINEERING, INC. CIVIL ENGINEERS & LAND SURVEYORS. REGIONAL OFFICES: SAN JOSE, CALIFORNIA; SAN JOSE, CALIFORNIA; SAN JOSE, CALIFORNIA.

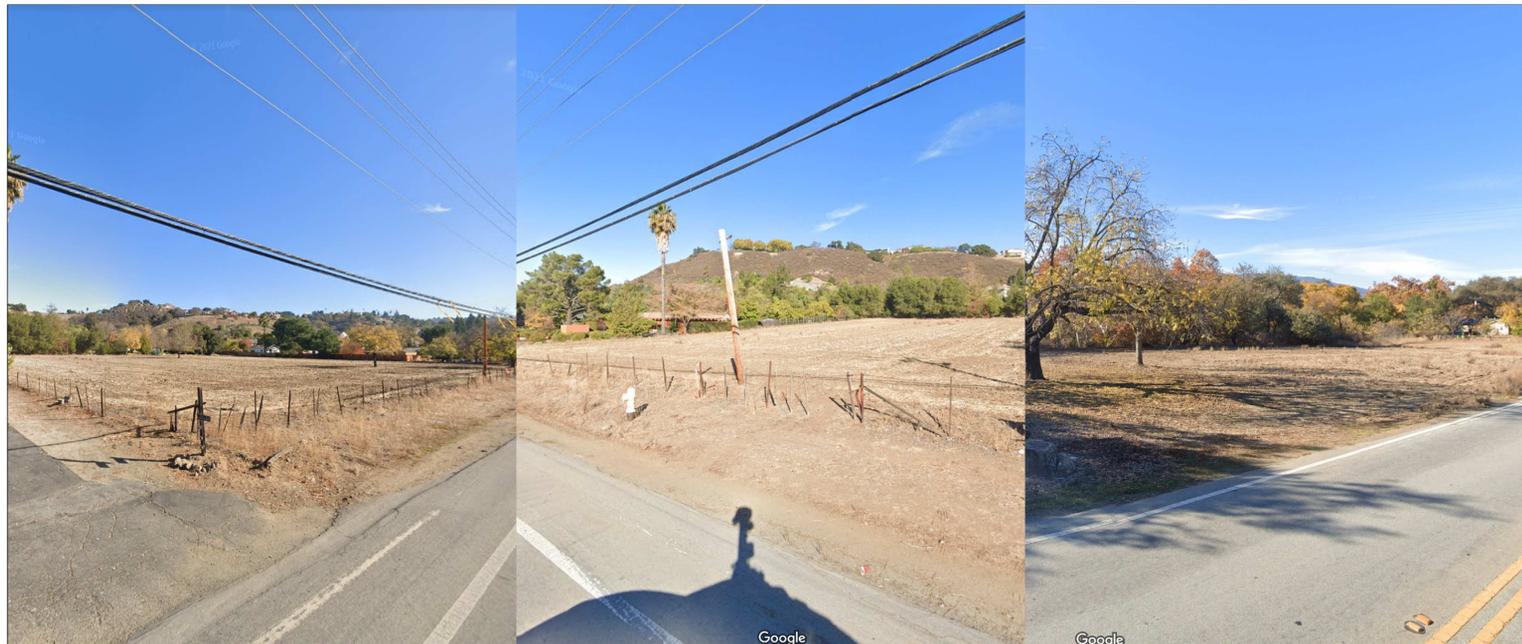
LU RESIDENCE 18440 GRAYSTONE AVE SAN JOSE, CALIFORNIA. APN: 696-11-008. SANTA CLARA COUNTY.

GRADING SPECIFICATIONS

Table with 2 columns: REVISIONS, BY. Includes fields for JOB NO: 2201913, DATE: 02-04-21, SCALE: NO SCALE, DESIGN BY: MR, CHECKED BY: BX, SHEET NO: C-5.0







1. SHARED DRIVEWAY ENTRY @ WEST SIDE OF SITE

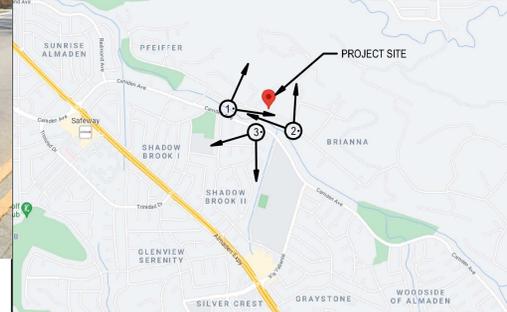
2. PROPERTY EDGE @ EAST SIDE OF SITE

3. OPPOSITE SIDE OF GRAYSTONE LANE

**SITE SHEET NOTES**

- THIS SITE PLAN IS NOT A SURVEY. IT IS PROVIDED FOR BUILDING AND SITE WORK LAYOUT ONLY. THE CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, EXISTING IMPROVEMENTS, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, AND SUB-STRUCTURES. WHERE DISCREPANCIES OCCUR, CONTACT ARCHITECT.
- FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. SEE SOILS REPORT FOR ANY SPECIFIC REQUIREMENTS. FINISHED GRADE SHALL BE 5% MAXIMUM SLOPE AWAY FROM THE BUILDING AND ADJOINING PROPERTY. REFER TO CIVIL PLANS.
- ALL ROOF DRAINAGE SHALL BE PIPED TO STREET OR APPROVED DRAINAGE FACILITY.
- IRRIGATION SYSTEM SHALL BE DESIGNED TO PREVENT THE SATURATION OF SOIL ADJACENT TO BUILDING.
- WHERE DISCREPANCIES BETWEEN SOILS REPORT AND ARCHITECT'S DRAWINGS OCCUR, CONTACT ARCHITECT.
- PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARD.
- PAVING UNDER BUILDING SHALL HAVE POSITIVE SLOPE TO A PERFORATED DRAIN PIPE SET IN A GRAVEL TRENCH. EXTEND PIPE TO ALL PORTIONS OF UNDERFLOOR AREA. PIPE SHALL DISCHARGE TO STREET OR APPROVED DRAINAGE FACILITY.
- A PERFORATED DRAIN SET IN A GRAVEL TRENCH SHALL BE INSTALLED AROUND THE ENTIRE PERIMETER OF THE FOUNDATION. THE DRAIN SHALL DISCHARGE INTO THE STREET OR APPROVED DRAINAGE FACILITY. SEE CIVIL DRAWINGS FOR SPECIFIC REQUIREMENTS.
- PROTECT ALL TREES NOT SCHEDULED FOR REMOVAL THROUGHOUT THE COURSE OF CONSTRUCTION.
- RESTORE NATIVE PLANTING TO GRADED AREAS AND OTHER AREAS DISTURBED BY CONSTRUCTION.

**CONTEXT MAP**



**SITE PLAN KEYNOTES**

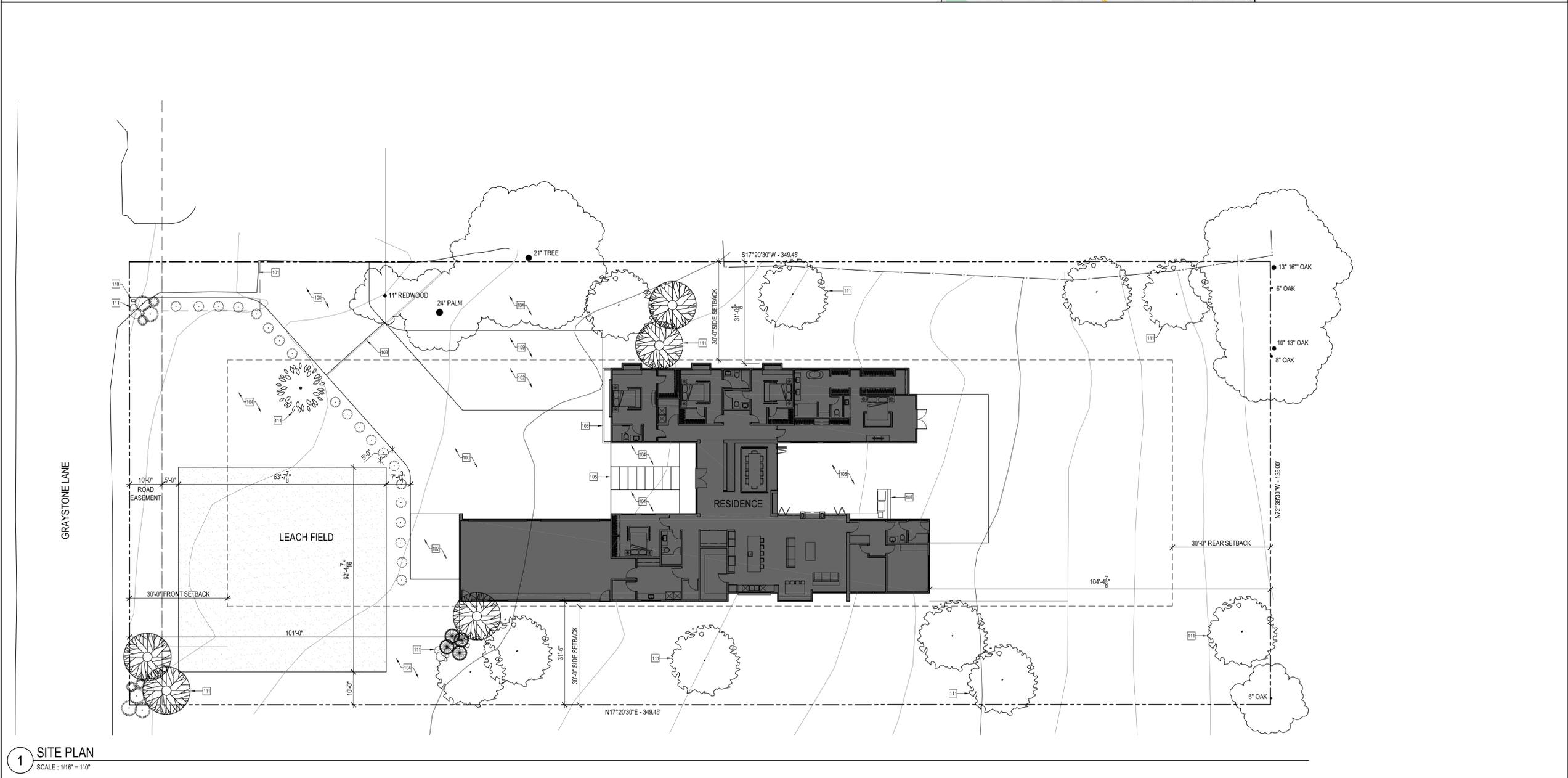
NO.	COMMENT
100	CONCRETE PAVED DRIVEWAY
101	CONNECTION TO (E) SHARED DRIVEWAY AND CURBCUT
102	PERMEABLE PAVERS
103	4'-0" TALL AUTOMATED ENTRY GATE
104	DROUGHT TOLERANT LANDSCAPED AREA
105	CONCRETE STEPS
106	RAISED PLANTER
107	OUTDOOR COOKING AREA
108	DECORATIVE PAVERS
109	CONSTRUCTION STAGING AREA FOR MATERIAL AND TOOL STORAGE, CONCRETE WASHOUT, DUMPSTER, AND PORTABLE TOILET; INSTALL 3" - 6" ROCK DURING COURSE OF CONSTRUCTION
110	MAILBOX
111	PROPOSED PLANTING, S.L.D.

2046 FARALLON DRIVE  
SAN LEANDRO, CA 94577  
415.534.8184  
WWW.MAVRIKSTUDIO.COM



**LU RESIDENCE**  
18440 GRAYSTONE LANE  
SAN JOSE, CA 94150

NO.	REVISION	DATE
1	PLANNING SUBMITTAL	11-14-2021



**1 SITE PLAN**  
SCALE: 1/16" = 1'-0"



DRAWINGS NOT FOR CONSTRUCTION UNTIL STAMPED JOB COPY BY BUILDING DEPARTMENT  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT

**SITE PLAN**

**A1.00**







2048 FARALLON DRIVE  
SAN LEANDRO, CA 94577  
415.534.8184  
WWW.MAVRIKSTUDIO.COM



**RF-1**  
BLACK STANDING SEAM METAL ROOF  
TAYLOR METAL PRODUCTS MS-150



**MTL-1**  
BLACK PAINTED BREAK METAL TO MATCH ROOF



**CF-1**  
WHITE PAINTED BOARD AND BATON CEMENT FIBER BOARD  
TRU EXTERIOR BOARD AND BATTON



**WD-1**  
CLEAR STAIN TONGUE AND GROOVE CEDAR SIDING



**WINDOWS**  
DARK BRONZE ANODIZED ALUMINUM  
MILGARD ALUMINUM THERMAL BREAK



**DOORS**  
DARK BRONZE ANODIZED ALUMINUM STILE AND RAIL  
MILGARD ALUMINUM THERMAL BREAK



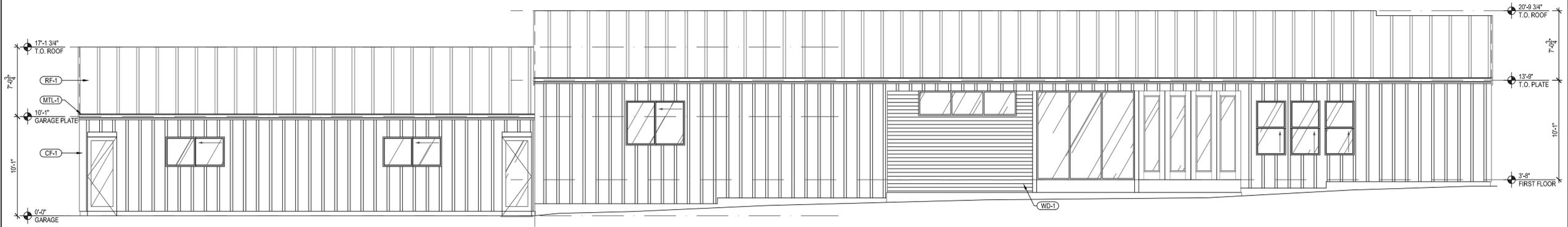
**GARAGE DOORS**  
WOOD FARMHOUSE OVERHEAD DOOR  
OVERHEAD DOOR CARRIAGE HOUSE COLLECTION



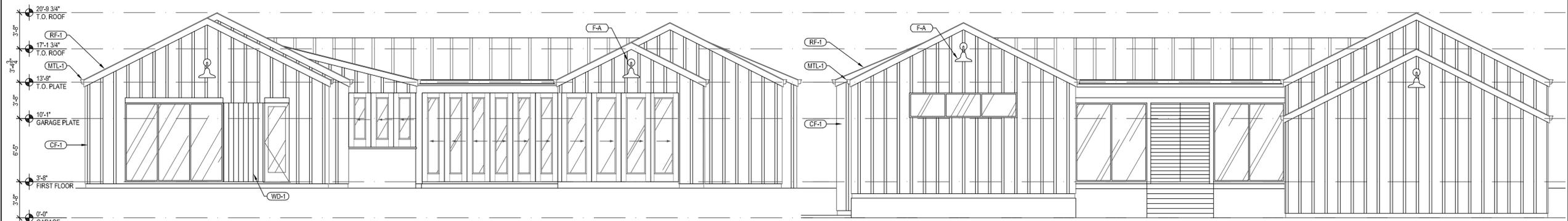
**ADDRESS NUMBERS**  
DARK BRONZE ANODIZED ALUMINUM NUMBERS



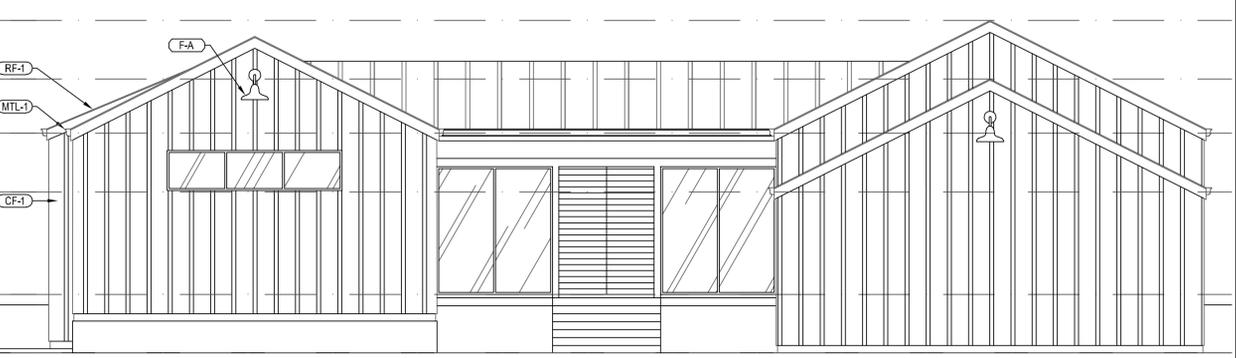
**F-A EXTERIOR SCONCE**  
BLACK SHIELDED SCONCE W/ COPPER ACCENT  
REJUVENATION CARSON GOOSENECK SCONCE



**4 RIGHT ELEVATION**  
SCALE: 3/16" = 1'-0"



**3 REAR ELEVATION**  
SCALE: 3/16" = 1'-0"



**2 FRONT ELEVATION**  
SCALE: 3/16" = 1'-0"



**1 LEFT ELEVATION**  
SCALE: 3/16" = 1'-0"

**LU RESIDENCE**  
18440 GRAYSTONE LANE  
SAN JOSE, CA 94150

NO.	REVISION	DATE
1	PLANNING SUBMITTAL	11-14-2021



DRAWINGS NOT FOR CONSTRUCTION UNTIL STAMPED JOB COPY BY BUILDING DEPARTMENT  
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT

EXTERIOR ELEVATIONS

**A4.00**

**SIDING PAINT**

SW 7099  
Alabaster  
Interior / Exterior  
Location Number: 255-C2

---

**ACCENT PAINT**

SW 7099  
Iron Ore  
Interior / Exterior  
Location Number: 251-C7

**EXTERIOR WALL SCONCE**

**CARSON GOOSENECK**  
WAREHOUSE WALL FIXTURE  
AVAILABLE SIZES: A2049 - 12" PROJ., 18" PROJ., 24" PROJ.

**DETAILS**

UL RATING: Wet  
 NUMBER OF SOCKETS: 1  
 MAX WATTAGE: 300W  
 AVAILABLE SOCKET TYPES: Standard incandescent or GU24  
 NUMBER OF AVAILABLE COMBINATIONS: 120+  
 SHADE SHOWN: B0039 - Angled Dome in Gloss Green  
 AVAILABLE FIXTURE FINISH: Carbon

REJUVENATION.COM

**ALUMINUM WINDOWS AND DOORS**

**Architectural Manual**

Thermally Improved  
**ALUMINUM SERIES**  
Windows & Patio Doors

**Milgard**  
WINDOWS & DOORS  
Clearly the best.

**ALUMINUM WINDOWS AND DOORS**

**TAYLOR METAL PRODUCTS**

**MS-150™ MECHANICALLY SEALED**

12" to 20" coverage options

The MS-150™ is a mechanically sealed roof that is perfect for high wind areas and snow country. The butyl injected seam prevents water from entering the system, giving you a worry free roof for a lifetime.

**KEY FEATURES**

- 12" to 20" coverage options
- 26, 24 & 22 gauge Tru-Gauge™ and .032" Aluminum
- 16 & 20 oz. Copper (Please Inquire)
- Floating clip system: allows for expansion / contraction of panels in longer lengths
- 1-1/2" vertical rib
- Factory injected Butyl sealant
- Concealed fasteners: fasteners cannot leak
- UL Code compliance UL Evaluation Report UL ETR 25913-01
- UL 580 Class 90 Wind Uplift, UL 790 Class A Fire rated and UL 2218 Class 4 Impact (hail) rated
- UL Construction No. 554
- ASTM E1592 - Structural uniform static air pressure  
 ASTM E1646 - Water infiltration  
 ASTM E2140 - Water infiltration  
 ASTM E1889 - Air infiltration
- Weather tightness warranties available:  
 5 to 30 Year Prorated or NDL  
 (Contact TMP representative for details)  
 (For lower pitches, please inquire)
- 1:12 minimum pitch recommended  
 (For longer panels, please inquire)
- Standard panel lengths 2' to 60'  
 (For longer panels, please inquire)
- Onsite roll forming available
- Panel options: Striations, Accent Ribs, and Flat Pan
- Retro-fit systems available

**PANEL PROFILES**

**STRIATIONS**

**ACCENT RIBS** 2 Accent ribs for 12-30ft panel  
3 Accent ribs for 16-60ft & 20' panel

**90° SEAM DETAIL**      **180° SEAM DETAIL**

180 degree seams are not considered an architectural detail. The detail is provided for weather tightness and wind uplift resistance of the panel system, but will show stress and expansion in the seam. The detail is not intended for slopes less than 1:12, roof areas not easily viewed from the ground, and for high wind areas. For structural details, contact a TMP representative and/or engineer for support and information about the proper use of raftering tools.

© COPYRIGHT © 2021 MAVRIK STUDIO

2046 FARALLON DRIVE  
SAN LEANDRO, CA 94577  
415.534.8184  
WWW.MAVRIKSTUDIO.COM

**M**  
MAVRIKSTUDIO

**LU RESIDENCE**  
18440 GRAYSTONE LANE  
SAN JOSE, CA 94150

NO.	REVISION	DATE
1	PLANNING SUBMITTAL	11-14-2021

**BOARD AND BATTON SIDING**

**TruExterior®**  
Siding & Trim

**CRAFTSMAN COLLECTION™ SIDING PRODUCT DATA SHEET**

- Certificates and Listings**
  - IBC/IRC Codes: ICC-ES ACE89, CCRF 0300
  - Texas Department of Insurance (TDI): EC-92
  - Florida Building Codes (FBC): 2020, FL17285
  - California Building Code (CBC): 2019
  - Wildfire Urban Interface (WUI): CA SFM 12-7A-1, 8140-2134-0105
  - Pre-consumer Recycled Content: SCS Global Certification, Minimum 70%
- Properties**
  - Density: ASTM C 1185, 40-50 lb./ft<sup>3</sup>
  - Flexural Strength: ASTM C 1185, > 1600 psi
  - Coefficient of Linear Expansion: ASTM D 6341, < 0.000014 in. / (in. \*°F)
  - Impact Resistance: ASTM D 6110, > 50 in.
- Performance**
  - Fungi Rot: AWPA E10, Brown Rot-Negligible Loss, White Rot-Negligible Loss
  - Termite Resistance: AWPA E1, > 9.0
  - Water Absorption: ASTM D 570, < 1.5%
  - Flame Spread Index: ASTM E 84, < 200
- Manufacturing Tolerances**
  - Width: ± 1/16 in.
  - Thickness: ± 1/16 in.
  - Length: +2.0 / -0.0 in.

**BORAL BUILDING PRODUCTS**

©2021 Boral Building Products Inc.

**Garage Door**

Transform Your Home with the DoorView® Visualization Tool.  
Go to [overheaddoor.com](http://overheaddoor.com) to try our online interactive software tool that lets you visualize what your home would look like with a new Overhead Door™ garage door. Contact your local Overhead Door™ Distributor for more information and to receive a quote.

**The Genuine. The Original.**  
Since 1921, Overhead Door Corporation has not only raised the standards of excellence for the industry – we've created them. We created the first sectional garage door in 1921 and the first electric garage door opener in 1926. Today, our network of over 400 Overhead Door™ Distributors are still leading the way with innovative solutions and unmatched installation, service and support. So look for the Red Ribbon. It's your guarantee that you're getting the genuine, the original Overhead Door™ products and services.

SOLD AND DISTRIBUTED BY:

**The Genuine. The Original.**  
**OVERHEAD DOOR**

2501 S. State Hwy. 121 Bus., Suite 200, Lewisville, TX 75067  
1-800-929-DOOR • sales@overheaddoor.com  
overheaddoor.com

©2020 Overhead Door Corporation. Overhead Door and Impression Collection are trademarks and the Red Ribbon Logo is a registered trademark of Overhead Door Corporation. All other trademarks are the property of their rightful owners. Consistent with our policy of continuing product improvement, we reserve the right to change product specifications without notice or obligation. R900-835 03/20

**Garage Door**

**TAYLOR METAL PRODUCTS**

**MATERIAL SPECIFICATIONS**

- 26 gauge Kynar 500® Painted Steel 0.025" (Thickness prior to painting) G-90 Galvalume or AZ-60
- 24 gauge Kynar 500® Painted Steel 0.023" (Thickness prior to painting) G-90 Galvalume or AZ-60
- 26, 24 & 22 gauge base Zincalume® Plus AZ-60 (No Mill Variance) - 25 yr. Painted Panel Warranty
- 22 gauge Kynar 500® Painted Steel 0.022" (Thickness prior to painting) G-90 Galvalume or AZ-60
- .032" Kynar 500® Painted Aluminum
- 16 and 20 oz. Copper (Please Inquire)
- Kynar 500® and substrate testing data available (See website)
- "Oil Can" test as a means to indicate level of roof and wall products, and if a defect which is not a cause for panel rejection.

**KEY FEATURES**

- 21 Standard Colors, 5 Metallic Colors and 4 Specialized Materials
- Kynar 500® Paint System - 96% ethane in exterior durability and color retention
- "Cool" color pigments are specially designed to reflect a greater light, reducing heat gain, and decreasing air conditioning costs
- Safe for quality, two coat, 70% resin finish, applied at a 1 mil thickness
- 40 Year residential paint warranty
- 20 and 30 Year commercial paint warranty; Contact TMP for warranty specifications

40-Year Residential / 20 and 30 Year Commercial Manufacturer's Limited Warranty

**STANDARD COOL KYNAR® COLORS**

**PREMIUM METALLIC COOL KYNAR® COLORS**

**SPECIALIZED MATERIAL**

These panels can provide a color representation of the colors. Metal panels are available in two finishes. Colors of a low gloss 10-15% luster. 50% = Gloss reflective finish, 20% = Semi-reflective finish. Finishes are not guaranteed without "off" of 500 away are based on actual testing. "Off" coloring is not a cause for material rejection.

Color	Code	Color	Code	Color	Code
White	101	Black	102	Dark Grey	103
Light Grey	104	Medium Grey	105	Dark Grey	106
Light Blue	107	Medium Blue	108	Dark Blue	109
Light Green	110	Medium Green	111	Dark Green	112
Light Yellow	113	Medium Yellow	114	Dark Yellow	115
Light Orange	116	Medium Orange	117	Dark Orange	118
Light Red	119	Medium Red	120	Dark Red	121
Light Purple	122	Medium Purple	123	Dark Purple	124
Light Brown	125	Medium Brown	126	Dark Brown	127

STEELSCOPE PPG ERAC

RIVER SIDE CA • SACRAMENTO CA • SALEM OR • SEATTLE WA • HOOD RIVER VA • ALBANY TAYLOR METAL CO.

LEIGHTON LEE  
No. C-19274  
REN. 08-30-23  
STATE OF CALIFORNIA

DRAWINGS NOT FOR CONSTRUCTION UNTIL STAMPED JOB COPY BY BUILDING DEPARTMENT

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT

**SPECIFICATIONS**

**A9.00**

PROJECT NO. 20026

