

**County of Santa Clara**  
**Department of Planning and Development**  
County Government Center, East Wing, 7th Floor  
70 West Hedding Street  
San Jose, CA 95110  
Phone: (408) 299-5700  
www.sccplandev.org



**STAFF REPORT**  
**Zoning Administration**  
**March 2, 2023**  
**Item #2**

Staff Contact: Carl Hilbrants, Senior Planner  
(408) 299-5781, carl.hilbrants@pln.sccgov.org

**PLN22-010**  
**Design Review Tier II and Grading Approval**

Summary: Design Review Tier II and Grading Approval for a one (1) story 6,298 square foot single-family residence with a 1,160 square foot attached garage and a 1,174 square foot detached accessory dwelling unit (ADU), a 960 square foot swimming pool and associated firetruck turnaround. Proposed estimated grading quantities are 505 cubic yards of cut and 460 cubic yards of fill with a maximum depth of 3.5 feet.

<b>Owner:</b>	William Lu	<b>General Plan:</b> Rural Residential
<b>Applicant:</b>	Shair Hayes of Mavrik Studio	<b>Zoning:</b> RR-d1
<b>Location:</b>	Graystone Lane, San Jose	<b>Parcel:</b> 1.08 acres
<b>APN:</b>	696-11-008	<b>Supervisory District:</b> 5
<b>Present Land Use:</b>	Vacant	<b>HCP:</b> Area 2

**RECOMMENDED ACTIONS**

---

- A.** Approve Categorical Exemption, under Section 15303 (a) of the CEQA Guidelines, Attachment A
  
- B.** Approve Design Review and Grading Approval, subject to conditions outlined in Attachment B.

**ATTACHMENTS INCLUDED**

---

Attachment A—Proposed CEQA Determination  
Attachment B—Proposed Conditions of Approval  
Attachment C— Location & Vicinity Map  
Attachment D—Proposed Plans  
Attachment E—Color and Material Sample Board  
Attachment F—Reverse Visibility Site Analysis

Board of Supervisors: Sylvia Arenas, Cindy Chavez, Otto Lee, Susan Ellenberg, Joe Simitian  
County Executive: Jeffrey V. Smith

## PROJECT DESCRIPTION

---

The proposed project includes a request for concurrent land use entitlements of Design Review and Grading Approval for construction of a new 6,298 square foot residence with an attached 1,106 square foot garage, a 1,174 square foot detached accessory dwelling unit (ADU), 960 square foot swimming pool and associated firetruck turnaround. The new construction does not qualify for a Tier I Design Review as the new construction exceeds 5,000 square feet. Except for an approximately 3,000 square foot triangle along the northerly property line which is designated by County GIS as “Low Visibility,” the entire parcel is not visible from the Santa Clara Valley floor. No above-grade improvements are proposed in the area designated as “Low Visibility.” The proposed grading quantities for the project are 505 cubic yards of cut and 460 cubic yards of fill. As such, an associated Grading Approval is necessary for approval for the proposed development.

### Setting / Location Information

The proposed single-story residence is to be located on a 1.08-acre parcel in the lower hills north of the Almaden Valley in south San Jose. The neighborhood consists exclusively of single-family residences, a majority of which are also single story. The proposed development includes a septic system and firetruck turnaround to provide access to the primary dwelling as well as an accessory dwelling unit (ADU). More than 200 feet south of the subject parcel, Alamitos Creek is a Category 1 Habitat Plan creek. The Habitat Plan stream buffer for Alamitos Creek at its nearest point is within 15 feet of the southern property line of the subject parcel. The subject parcel is not within any required top-of-bank setback nor does the project development area encroach into the creek setback. The parcel is not within any mapped habitat area for California Red Legged Frog, California Tiger Salamander or serpentine soils.

## REASONS FOR RECOMMENDATION

---

### A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption under Section 15303(a) of a new single-family residence. As such, an Initial Study and further analysis under the CEQA was not required.

### B. Project / Proposal

1. **General Plan:** Rural Residential:
2. **Building Site Approval:** Per County Ordinance Code Section C12-307, Building Site Approval (BSA) is required for new single-family or two-family dwellings, including any property within the RR-d1 zoning district that is not a designated lot on an approved Tract Map or Parcel Map. However, this parcel was created and recorded as Parcel 3 of *Parcel Map Being a Portion of Lot 3 Map of the Partition of the Skuse Tract F-Maps Page 47* as recorded with the County Clerk-Recorder’s Office in Book 359, Page 33. The proposed project meets all development standards for a primary residence, that is, minimum of 30 feet from the recorded road dedication at the front, minimum of 30 feet from both sides and the rear and maximum height of 35 feet).

Furthermore, the accessory dwelling unit (ADU) also adheres to the setback requirements for an ADU exceeding 16 feet in height, that is, minimum 30 feet from the recorded road dedication at the front, minimum of 30 feet from both sides and the rear and maximum height of 35 feet.

3. **Zoning Standards:** The Santa Clara County Zoning Ordinance specifies the required development standards for the RR-d1 zoning district, summarized below and in Table “A,” to note the project’s conformance with Section 3.20.040 “-d1” Combining District:

Main Residence:

Setbacks (RR): 30 feet from all property lines and / or rights-of-way (ROW)  
 Height: 35 feet maximum  
 Stories: 2 story maximum

Accessory Dwelling Unit (ADU) exceeding 16 feet in height

Setbacks (RR): 30 feet from all property lines and / or rights-of-way (ROW)  
 Height: 35 feet maximum  
 Stories: 2 stories maximum

**Table A: Compliance with Development Standards for -d1 Combining District**

STANDARDS & REQUIREMENTS	CODE SECTION	Meets Standard (Y/N) *
Siting	§ 3.20.040 (A)(2)(b)	Y
Story Poles	§ 3.20.040 (A)(2)(c)	Y
Color & LRV	§ 3.20.040 (B)	Y
Building Form & Massing	§ 3.20.040 (C)	Y
Retaining Walls	§ 3.20.040 (D)	Y
Ridgeline Development	§ 3.20.040 (E)	Y
Design Review Guidelines	§ 3.20.040 (F)	Y
Ongoing Compliance	§ 3.20.040 (H)	Y

\*See Discussion in Design Review Findings Section C below

- C. **Design Review Findings:** Per Section §5.50.040 of the County Zoning Ordinance, all Design Review applications are subject to the stated scope of review. The overall purpose of Design Review is to encourage quality design and mitigate potential adverse visual impacts of development. In the following discussion, the scope of review findings is listed in bold, and an explanation of how the project meets the required standard is in plain text below.

1. **Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;**

The County’s Geographic Information System (GIS) data show the proposed location of new development on the subject parcel will not encroach into the “Low

Visibility” designated area. The “Low Visibility” area is considered visible from the Santa Clara Valley floor. Areas not labeled as Low, Medium, Medium-High, or High, on County GIS layers, are presumed to not be visible from the Santa Clara Valley floor, which is the case for nearly the entire area of the subject parcel. In fact, the entire developed area identified as “Low Visibility” is a triangular shaped 3,000 square foot area at the northern property line. Aside from this 3,000 square foot area deemed “Low Visibility,” the remainder of the parcel is not visible at all from the Santa Clara Valley floor. No permanent construction, at-grade or otherwise, is proposed within that “Low Visibility” portion of the parcel.

In keeping with the requirement for low visibility, the proposed residence is single story, and its height is less than 22 feet, helping to ensure the development will not be visible from the Santa Clara Valley floor. For the above reasons, this finding can be made.

**2. Compatibility with the natural environment;**

The project consists of the construction of a new single-family residence with an attached garage and an accessory dwelling unit (ADU). The parcel is flat with a mild consistent grade with the proposed development requiring minimal grading, mostly to establish an appropriate area for the associated hardscape. The proposed grading does exceed 150 cubic yards of cut and fill, therefore, the proposed development will require a Grading Approval. There are three existing trees on the parcel located along the western property line, none of which are proposed for removal. The development will not impact any existing riparian land cover associated with Alamitos Creek, located across Graystone Lane to the southwest of the property. The Habitat Plan Category 1 Stream Buffer associated with Alamitos Creek extends across Graystone Lane toward the subject parcel but does not extend onto the subject parcel. The parcel is not within the designated habitat area of the California Red Legged Frog, the California Tiger Salamander, nor within any designated sensitive soil areas, including serpentine soil, nor within any sensitive landcover areas. For the above reasons, the proposed project is designed to be compatible with the natural and existing environment and does not compromise the natural terrain. For this reason, this finding can be made.

**3. Conformance with the “Design Review Guidelines,” adopted by the Board of Supervisors;**

The proposed project conforms to the County’s Board adopted Design Review Guidelines. The siting of the proposed residence is on an essentially flat parcel and requires minimal additional site improvements and grading to establish the residence, ADU and associated improvements. Landscaping and continued maintenance to help ensure minimal visibility from Graystone Lane will be incorporated and noted as a condition of approval (Attachment B). Impacts on privacy and views of neighboring properties are negligible due to the lack of elevation difference between the subject parcel and neighboring parcels as well as existing landscaping along the western property line. Regarding possible view of



the proposed development from the Santa Clara Valley floor, the location of the residence and the ADU are outside of the visible area as determined by County GIS data. The proposed residence has a maximum height of 22 feet and is single story, as such, the residence will not create additional visual impact. Furthermore, the development is not located on or above any ridgeline.

The architectural design of the proposed residence and ADU avoids excessive bulk and mass by incorporating non-continuous wall planes. Exterior colors for the house façade, trim, and roof materials all have a Light Reflective Value (LRV) of 45 or less, as shown on the color and materials board (Attachment E). As part of the requirement for Design Review (Tier 2), the applicant is required to erect story poles prior to the Zoning Administration Hearing. To ensure compliance with the story pole erection requirement (Zoning Ordinance Section 3.20.040 (A)(2)(c)), story pole placement will be verified by Staff on February 23, 2023. After inspecting the required story poles, no new impacts were observed by Staff. For these reasons, this finding can be made.

**4. Compatibility with the neighborhood and adjacent development;**

The neighboring properties are developed with single-family residences, either one (1) or two (2) stories, a majority of which were built between in the second half of the 20<sup>th</sup> century. The proposed residence is keeping with the characteristics of the surrounding neighborhood and not be obtrusive in its context as the proposed size, number of stories, and architectural design are compatible with adjacent development and residences. For this reason, this finding can be made.

**5. Compliance with applicable zoning district regulations; and**

As summarized in Section B(3) and Table A of this staff report, residential use is an allowed use in the RR-d1 (Rural Residential with a Design Review Combining District overlay) zoning district and the project complies with the current zoning regulations and development standards. The proposed residence meets the required setbacks (30 feet front, 30 feet side, and 30 feet rear) and height not exceeding 22 feet (maximum allowed 35 feet). Furthermore, the proposed design is also in keeping with the “-d1” design guideline standards and building massing standards as the proposed structures incorporate varied roof heights and uses architectural elements, such as windows and cornices, to produce patterns of light and shade. Exterior colors are proposed and conditioned to have a Light Reflectivity Value (LRV) of 45 or less. For these reasons, Staff has determined that the project is in compliance with the applicable zoning district regulations, and this finding can be made.

**6. Conformance with the general plan, any applicable specific plan, other applicable guidelines.**

The proposed development conforms with the Santa Clara County General Plan Policies *R-LU 56*, *R-LU 57*, *R-GD 22*, and the Santa Clara Design Review

Guidelines. General Plan Policy *R-LU-56* and *R-LU 57* states Rural Residential areas include lands outside of a city Urban Service Areas and of which the land is primarily for residential purposes. Additionally, General Plan Policy *R-GD 22* states that grading shall be kept to a minimal to establish a primary use and avoidance of unnecessary grading. The property is currently outside of the City of San José's Urban Service Area (USA) with the property and entire neighborhood comprised exclusively of residential uses. The proposed project includes construction of one (1) single-family residence, one (1) accessory dwelling unit (ADU) and associated improvements on one (1) lot. Additionally, as noted throughout the report, the parcel is essentially flat requiring minimal grading, none of which will alter existing topography or hillsides. The one (1) story residence is appropriately sized and does not require any unnecessary grading. The proposed development is consistent to the County's Board adopted Design Guidelines as it is sited on an existing flat pad, with tiered rooflines and is devoid of continuous wall planes exceeding 80 feet in length. The exterior color and materials are muted and will use paints with a Light Reflectivity Value (LRV) of 45 or less to ensure compatibility with the surrounding environment and minimal visibility from the Santa Clara Valley floor. Proposed landscaping will be incorporated into the project to ensure minimal visibility of the residence from passers-by on Graystone Lane. Additionally, the proposed residence has a conforming residential setback of a minimum of 30 feet that incorporates the recorded road dedication on Graystone Lane (as shown on the site plan within the project plans in Attachment B). The property is not located within a specific plan. For these reasons, this finding can be made.

**D. Grading Approval:** Pursuant to Section C12-433 of the County Ordinance Code, all Grading Approvals are subject to specific findings. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. **The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.**

The design of the proposed development incorporates land disturbance requiring minimal grading to establish a flat pad for a residence. The majority of the grading is to establish hardscape, landscaping and driveway improvements, all of which are reasonable and minimal to establish a logical footprint normally associated with a single-family residence. For these reasons, this finding can be made.

2. **The grading will not endanger public and / or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.**

Plans prepared by Lea & Braze Engineering, Inc., submitted December 13, 2022, incorporate an Erosion Control Plan delineating where and how runoff will be controlled to ensure; no danger to public and / or private property, no impact on public health and safety, no sedimentation on any public right-of-way and no impairment of a spring or watercourse. For these reasons, this finding can be made.

**3. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.**

The subject parcel is very minimally sloped upward away from Graystone Lane. Due to the minimal difference in elevation throughout the parcel, grading to establish the use will be minimal, although greater than the allowed 150 cubic yard thresholds—mostly due to at-grade surface hardscape and driveway improvements. The proposed improvements do not require the removal of any trees nor will the improvements have any impact on any endangered species. The residence will not have any significant scenic impact is the proposed residence is no more than 22 feet in height and will be no more visually intrusive than the immediately adjacent residences. Furthermore, landscaping along the Graystone Lane frontage is required and listed as a condition of approval for the development. For these reasons, this finding can be made.

**4. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.**

As the parcel is flat, has a consistent mild grade, is rectilinear, is slightly more than one (1) acre in size, has a limited access location due to existing easements and road dedications, and, needing to respect the required setbacks of 30 feet from all sides, there are no other available development sites. For this reason, this finding can be made.

**5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.**

As the parcel is flat, has a consistent mild grade, is rectilinear, is slightly more than one (1) acre in size, has a limited access location due to existing easements and road dedications, and, needing to respect the required setbacks of 30 feet from all sides, there are no other available development sites. For this reason, this finding can be made.

**6. Grading conforms with any applicable general plan or specific plan; and**

Development within the Rural Residential area has no specific grading findings aside from the general grading thresholds of 150 cubic yards of cut and / or fill. The subject parcel is not subject to regulations associated with any specific plan. For these reasons, this finding can be made.

**7. Grading substantially conforms with the adopted "*Guidelines for Grading and Hillside Development*" and other applicable guidelines adopted by the County.**

The proposed development does not require; siting that cuts into any hillside and also grading avoids all natural hazards which are non-existent on the parcel, does not require roads and / or driveways other than a direct non-serpentine access to the parking area, terrain grading for the residence and accessory dwelling unit are minimal at 20 cubic yards of cut and 200 cubic yards of fill for the residence and 80 cubic yards of cut and zero (0) yards of fill for the accessory dwelling unit, and landform grading is minimal to accommodate hardscape, landscape and driveway improvements. For these reasons, this finding can be made.

In conclusion, Staff recommends the Zoning Administration Hearing Officer approve the concurrent land use entitlements for Design Review and Grading Approval pursuant to recommended conditions of approval (Attachment B). As noted throughout the staff report, the proposed project meets all development standards for the primary residence (minimum of 30 feet from recorded road dedication at the front, minimum of 30 feet from sides and rear, and a maximum height of 35 feet) as well as all development standards for an ADU exceeding 16 feet in height (minimum of 30 feet from recorded road dedication at the front, minimum of 30 feet from sides and rear, and a maximum height of 35 feet) as well as all the necessary findings for Design Review.

**BACKGROUND**

---

An application for Design Review was submitted to the County Planning Office for review on January 10, 2022. On February 3, 2022, the Design Review application was deemed incomplete by the County Planning Office and an incomplete letter was sent to the property owner (William Lu) and to the applicant (Hayes Shair). Early Outreach notification was mailed out to affected neighboring parcels on February 8, 2022. The application was resubmitted on October 26, 2022, addressing items noted in the February 3, 2022, incomplete letter. At this time the project was reclassified as Design Review with Grading Approval due to proposed grading quantities exceeding 150 cubic yards of both cut and fill. In addition, due to the resubmittal taking place more than 180 days of issuance of the incomplete letter an additional fee of \$396.23 was remitted to the County Planning Office to continue processing of the application. The application was once again deemed incomplete by the County Planning Office on November 22, 2022, and a second incomplete letter was sent to the property owner (William Lu) and the applicant (Hayes Shair). The application was resubmitted on December 13, 2022, addressing the items from the November 22, 2022, incomplete letter. The application resubmitted December 13, 2022 was

deemed complete in January of 2023, and was scheduled for the Zoning Administration Hearing on March 2, 2023.

A public notice was mailed to all property owners within a 300-foot radius on February 17, 2023 and was also published in the Post Records on February 17, 2023.

**STAFF REPORT REVIEW**

---

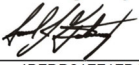
Prepared by: Carl Hilbrants, Senior Planner *Carl Hilbrants*

Reviewed by: Lara Tran, Senior Planner *Lara Tran*  
DocuSigned by:  
747B96A85C894DC...

Approved by: Samuel Gutierrez, Principal Planner *[Signature]*  
DocuSigned by:  
4BFDD21FF1FB4D2...

ATTACHMENT A  
STATEMENT OF EXEMPTION

**ATTACHMENT A**  
**STATEMENT OF EXEMPTION**  
**from the California Environmental Quality Act (CEQA)**

<b>FILE NUMBER</b>	<b>APN(S)</b>	<b>DATE</b>
PLN22-010	696-11-008	2/22/2023
<b>PROJECT NAME</b>	<b>APPLICATION TYPE</b>	
0 Graystone Lane, San Jose Single-Family Residence	Design Review and Grading Approval	
<b>OWNER</b>	<b>APPLICANT</b>	
William Lu	Hayes Shair of Envisuality Group	
<b>PROJECT LOCATION</b>		
0 Graystone Lane, San Jose; APN 696-11-008		
<b>PROJECT DESCRIPTION</b>		
Design Review (Tier 2) and Grading Approval for a new 6,298 square foot single-family residence with a 1,160 square foot attached garage and a detached 1,174 square foot accessory dwelling unit (ADU) within the “-d1” overlay district. Proposed estimated grading quantities are 505 cubic yards of cut and 460 cubic yards of fill with a maximum depth of 3.5 feet.		
All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.		
<b>CEQA (GUIDELINES) EXEMPTION SECTION</b>		
Categorically Exempt – Section 15303(a) of a new single-family residence with attached garage and a detached 1,174 square foot accessory dwelling unit.		
<b>COMMENTS</b>		
The proposed single-story residence is to be located on a parcel slightly larger than one (1) acre in the lower hills north of the Almaden Valley in south San Jose. The neighborhood consists exclusively of single-family residences, a majority of which are also single story. The proposed development includes a septic system and firetruck turnaround to provide access to the primary dwelling as well as an accessory dwelling unit (ADU). The project site does not encroach into a creek setback. However, Alamos Creek is directly across Graystone Lane to the south of the project site. Alamos Creek is a Category 1 Habitat Plan creek and the stream buffer is within 15 feet of the southern property line of the subject parcel. The subject parcel is not within any top-of-bank setback required area. The parcel is not within any mapped habitat area for California Red Legged Frog, California Tiger Salamander or serpentine soils.		
<b>APPROVED BY:</b>	DocuSigned by:  4BF9D21FF1FB4D2... Signature	2/22/2023 Date
Samuel Gutierrez, Principal Planner		

ATTACHMENT B  
PROPOSED CONDITIONS OF APPROVAL



**ATTACHMENT B**  
**PRELIMINARY CONDITIONS OF APPROVAL**  
**DESIGN REVIEW AND GRADING APPROVAL**

**Date:** March 2, 2023  
**Owner /Applicant:** William Lu  
**Location:** Graystone Lane, San Jose (APN: 696-11-008)  
**File Number:** PLN22-010  
**CEQA:** Categorically Exempt – Section 15303, Class 3(a)  
**Project Description:** Design Review (Tier 2) and Grading Approval for a new 6,298 square foot single-family residence with a 1,160 square foot attached garage and a detached 1,174 square foot accessory dwelling unit (ADU) within the “-d1” overlay district. Proposed estimated grading quantities are 505 cubic yards of cut and 460 cubic yards of fill with a maximum depth of 3.5 feet.

Agency	Name	Phone	E-mail
Planning	Carl Hilbrants	(408) 299-5781	<a href="mailto:carl.hilbrants@pln.sccgov.org">carl.hilbrants@pln.sccgov.org</a>
Land Development Engineering	Darrell Wong	(408) 299-5735	<a href="mailto:darrell.wong@pln.sccgov.org">darrell.wong@pln.sccgov.org</a>
Department of Environmental Health	Darrin Lee	(408) 299-5748	<a href="mailto:darrin.lee@cep.sccgov.org">darrin.lee@cep.sccgov.org</a>
Fire Marshal Office	Alex Goff	(408) 299-5763	<a href="mailto:alex.goff@sccfd.org">alex.goff@sccfd.org</a>
Roads & Airports Department	Christine Hi	(408) 573-2417	<a href="mailto:christine.hii@rda.sccgov.org">christine.hii@rda.sccgov.org</a>
Santa Clara Valley Water District	Jourdan Alvarado	(408) 265-2607, ext. 9230	<a href="mailto:jalvarado@valleywater.org">jalvarado@valleywater.org</a>

**STANDARD CONDITIONS OF APPROVAL**

Building Inspection

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at [www.sccbuilding.org](http://www.sccbuilding.org).

Planning

2. Development must take place in accordance with the approved plans, prepared by Hayes Shair of Envisuality Group, Inc. and Lea & Braze Engineering, Inc., submitted on December 13, 2022 (Attachment D). Any changes to the proposed project may result in additional environmental review, pursuant to the California Environmental Quality Act, as well as additional Planning review and costs.
3. Existing Zoning is RR-d1 (Rural Residential with -d Design Review Combining District). Maintain the following minimum zoning standards:

Primary Dwelling Setbacks:

Front: 30 feet  
Sides: 30 feet  
Rear: 30 feet

Primary Dwelling Height:

The maximum allowed height of the primary dwelling is 35 feet and may not exceed two (2) stories.

Accessory Dwelling Unit (ADU) Setbacks:

Front: 30 feet  
Sides: 4 feet  
Rear: 4 feet

Accessory Dwelling Unit (ADU) Height:

The maximum allowed height of an ADU is 18 feet when located within the setback area for the primary residence, however, if the setbacks for the primary residence are adhered to, the maximum height of an ADU is 35 feet, it may not exceed two (2) stories.

4. Accessory Structures are subject to the development standards regarding height and setbacks as outlined in Zoning Ordinance Section 4.20.020(D). Per Zoning Ordinance Section 4.20.020 (I), accessory structures are limited to two (2) plumbing fixtures (toilet and lavatory sink). A Special Permit is required for detached structures with more than two plumbing fixtures. Below are the minimum setbacks for accessory structures from all property lines. Depending on construction type, the following rear and side setback distances and the building separation distance may be decreased:

Front: Rear half of the lot or 30 feet  
Sides: 5 feet  
Rear: 5 feet  
Building Separation: 10 feet

5. Paved driveways, patios, walkways, stairways, decks and similar structures whose height does not exceed 30 inches above grade are exempt from setback requirements as per Zoning Ordinance Section 4.20.020(B)(1).
6. Driveways and parking areas may not be wider than 40% of the width of the lot's frontage along the street, measured where the driveway(s) crosses the edge of the right-of-way. Driveways and parking areas may not cumulatively cover more than 40% of the land area of the front yard (as defined in Santa Clara County Zoning Ordinance Section 1.30.030). These limitations shall not apply to flag lots or any lot whose street frontage is 25 feet or less.
7. All proposed fencing, including walls and gates, are subject to the regulations in Zoning Ordinance Section 4.20.050. Fences over seven (7) feet in height require a building permit.

8. To ensure that the project will not have any significant adverse impacts to air quality at the time of construction, the owner is required to abide by all standard dust control measures set forth by both Land Development Engineering and the Bay Area Air Quality Management District (BAAQMD).
9. All exterior colors, including roofing and trim, must have a Light Reflectivity Value (LRV) of 45 or less and be in accordance with the approved color / materials board submitted within the approved plans on December 13, 2022.

#### Land Development Engineering

10. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to adjoining properties.

#### Department of Environmental Health

11. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

#### Roads & Airports Department

12. A tree removal permit process is required prior to any tree removal, replacement, or relocation within the County right-of-way (ROW). A tree within the ROW requiring removal approval is any tree at least 20 feet in height or at least 12 inches in diameter measured 4.5 feet above grade. The process for obtaining approval for a tree removal and the forms that are required can be found at: [www.countyroads.org](http://www.countyroads.org) > Services > Apply for Permits > Tree Removal from County Right-of-Way.

#### Santa Clara Valley Water District

13. The site may be subject to flooding in the event of a 1 percent or 100-year flood. For more information, please contact the County's Flood Plain Administrator.
14. Santa Clara Valley Water District (District) records indicate the site contains zero (0) wells. Any abandoned wells, or wells that are no longer in use, must be properly destroyed. Any wells in use that will be impacted by project activities must be protected. As required by District Ordinance 90-1, an application must be filed with the District for a permit to construct or destroy any well or to drill any exploratory holes deeper than 45 feet. Contact the District's Wells and Water Measurement Unit at (408) 630-2660, for more information.
15. According to FEMA Firm Panel 06085C0401H (effective date May 18, 2009), the site is located within Zone D, which is an area where flood hazards are undetermined, but possible.

**CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO ISSUANCE OF BUILDING AND / OR GRADING PERMIT ISSUANCE**

Planning

16. **Prior to the issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
17. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125, record a Notice of Permit and Conditions with the Office of the County Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided prior to building permit issuance.
18. If the proposed landscaping is in excess of 5,000 square feet, a Licensed Landscape Architect or equivalent must prepare and sign a landscape plan to be approved by the Planning Office. Also, include calculations concerning the water consumption of your proposed landscaping. Water consumption must not exceed State mandated thresholds. Show all proposed landscaping on your final building plans. Landscaping must include vegetation located along the Graystone Lane frontage to ensure the proposed residence is minimally visible to passers-by.
19. Building permit plans shall show the size and species of all trees 12 inches or more in diameter within the proposed work area. Clearly label all trees proposed for removal (diameter and type). Include all trees where construction will occur within the tree dripline. Any construction or grading occurring within the dripline of any tree 12 inches or more in diameter shall be protected with construction fencing.
20. To mitigate the impacts of any tree removal, as well as any unanticipated tree removal due to construction, the following tree replacement ratios shall be adhered to:
  - a) For each oak tree removed, provide two (2) 24-inch boxed oak trees.
  - b) For each other tree removed, provide one (1) 24-inch boxed trees of similar type to that which is being removed.
  - c) Any replacement trees shall be protected with five-foot tall fencing on steel posts driven into the ground at the dripline of the trees.
21. All graded areas shall be re-seeded in conformance with the County Grading Ordinance to minimize the visual impacts of the graded slopes and to reduce the potential for erosion on the subject site. All excess materials must be removed from the site to a County approved disposal site.

Land Development Engineering

22. Obtain a Grading Permit from Land Development Engineering (LDE) prior to beginning any construction activities. Issuance of the grading permit is required prior

to LDE clearance of the building permit (building and grading permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required to do so can be found at the following web page:  
<https://plandev.sccgov.org/home> > How to > Apply for a Development Permit or Planning Application > Grading Permit

23. The Grading Permit and Roads & Airports Encroachment Permit will be processed concurrently under one set of improvement (grading) plans.
24. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
25. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures, and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:
  - Standard Details Manual, September 1997, County of Santa Clara, Roads and Airports Department; <https://countyroads.sccgov.org/home> > Do Business with Us > County Standard Details, Specifications and Documents
  - 2007 Santa Clara County Drainage Manual; <https://plandev.sccgov.org/home> > Ordinances & Codes > Grading and Drainage Ordinance
26. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified, and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
27. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
28. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.

29. Provide landscaping and disturbed area quantities on the final plans along with water efficiency calculations to demonstrate compliance with water usage requirements.

*Drainage*

30. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.

*Utilities*

31. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

*Stormwater Treatment – San Francisco Bay*

32. Include one of the following site design measures per the 2015 Municipal Regional Permit in the project design: (a) direct hardscape and / or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design. For additional information, please refer to the C.3 Stormwater Handbook (June 2016) available at the following website:

- [www.scvurppp.org](http://www.scvurppp.org) > Elements > New Development and Redevelopment > C.3 Stormwater Handbook (June 2016)

*Soils and Geology*

33. Submit one copy of the signed and stamped geotechnical report for the project.
34. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plan.

Department of Environmental Health

35. Based upon average percolation rate of 43 minutes per inch (MPI) with an application rate of 0.46 gallons per day per square feet, onsite sewage disposal conditions have been determined as follows: 2000-gallon septic tank, a dual dispersal field size at 342 lineal feet plus 342 lineal feet (utilizing Infiltrator chambers), interconnected through a positive diversion valve. This designed onsite wastewater treatment system can process a designed waste flow not to exceed 900 gallons per day.
36. Submit the final onsite wastewater treatment (OWTS) site / design plan to the Department of Environmental Health for septic system clearance. This plan shall be overlaid onto the final grading and drainage plan (as submitted to Land Development and Engineering). The plans

shall include the main house, accessory dwelling unit, accessory structures (if applicable), driveway, septic tank and drain lines to contour. Maintain all setbacks as outlined within County of Santa Clara Onsite Manual.

37. As confirmation of the final onsite wastewater treatment (OWTS) plan/design, provide to the Department of Environmental Health, the final floor plans for the proposed development: the main single-family dwelling and accessory dwelling unit.
38. Provide a current water will serve letter from San Jose Water Company. This letter shall indicate the service provider's intent and ability to provide domestic water to the proposed development.

#### Fire Marshal's Office

39. Fire protection water system shall be installed, functioning and inspected prior to approval of the foundation. System shall be maintained in good working order and accessible throughout construction. A stop-work order may be placed on the project if the required hydrant systems are not installed, accessible, and / or functioning.
40. The minimum fire-flow shall be 1,125 gpm at 20 psi after sprinkler reduction.
41. The fire-flow may be adjusted depending upon the final size of the structure shown on the building permit set of drawings to meet Appendix B of the CFC.
  - a) At the time of plan submittal for building permit, provide written verification from the water company that this condition can be satisfied.
42. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.
43. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop-work order may be placed on the project if required driving surfaces are not installed, accessible, and / or maintained at all times.
44. Roads serving more than two lots, and driveways (roads serving no more than two lots) for fire department access, shall comply with the following:
  - a) Width: Access roads to have a clear drivable width of 18 feet plus a 3-foot shoulder on each side per CFMO-A1. Driveways are to have a 12-foot drivable width and a 3-foot shoulder.
  - b) Vertical Clearance: Minimum vertical clearance of 15 feet shall be maintained to building site. Trim or remove; tree limbs, electrical wires, structures, and similar improvements for access roads and 13 feet 6 inches for driveways.
  - c) Curve Radius: Inside turn radius for curves shall be a minimum of 42 feet.

- d) Grade: Maximum grade shall not exceed 15%.
  - e) Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000-pound gross vehicle weight.
  - f) Turnarounds: Turnaround shall be provided for driveways in excess of 150 feet as measured along the path of travel from the centerline of the access road to the structure. Acceptable turnaround shall comply with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
  - g) Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.
  - h) Address: Numbered address to be easily recognizable from the street.
45. Property is located within the South Santa Clara County District Fire response area and the State Response Area (served by Cal Fire).
46. This property is located in the Wildland/Urban Interface Fire Area. All of the following conditions shall apply:
- a) A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
  - b) Meet Chapter 7A of the CBC.
  - c) Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet of the structure.
47. Fire protection water systems and equipment shall be accessible and maintained in operable condition at all times and shall be replaced or repaired where defective. Fire protection water shall be made available to the fire department.
48. Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department access.

Roads & Airports Department

49. Obtain a Santa Clara County Roads and Airports Department (RDA) Encroachment Permit for the following required improvements:
- a) Installation of the driveway approach to County Standard B/5.
  - b) Removal of any vegetation or other obstructions necessary to provide adequate line-of-sight at the driveway approach.



NOTE: The process for obtaining an Encroachment Permit and the forms that are required can be found at: [www.countyroads.org](http://www.countyroads.org) > Services > Apply for Permits > Encroachment Permit.

50. Demonstrate that the post-development maximum flow rate into the County Road right-of-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any detention or retention system necessary to satisfy this requirement.

Santa Clara Valley Water District

51. On plans to be submitted for a Grading Permit, the following revisions must be addressed:

- a) References to the “Santa Clara Valley Water District in Keynote #33 on Sheets C-3.0 and C-3.1 need to be removed and replaced with the water retailer for the parcel.
- b) References to “earthen swale” in Keynote #9 on Sheets C-2.0 and C-2.1 should be corrected to note “AC swale.”
- c) Keynote #20 on Sheets C-3.01 and C-3.1 should reference Detail #8 on Sheet C-4.0 and not Sheet C-4.1.

52. All exterior colors, including roofing and trim, must have a Light Reflectivity Value (LRV) of 45 or less and be in accordance with the approved color / materials board submitted on December 13, 2022.

**CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.**

Planning

53. Prior to final inspection, contact Carl Hilbrants of the Planning Division at least two (2) weeks in advance to schedule a site visit to verify the approved exterior colors and landscaping have been installed as approved.

Land Development Engineering

54. Existing and set permanent survey monuments shall be verified by inspectors prior to final acceptance of the improvements by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
55. Construct the improvements. Construction staking is required and shall be the responsibility of the developer.

Department of Environmental Health

56. Provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

Fire Marshal's Office

57. An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure.
58. The fire sprinkler system shall be installed and finalized by the Fire Marshal Office prior to occupancy. A separate permit shall be obtained from the Fire Marshal Office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by the Fire Marshal Office.

Roads & Airports Department

59. Construct all the improvements approved under the Encroachment Permit.

ATTACHMENT C  
LOCATION & VICINITY MAP



# ATTACHMENT C



## Location and Vicinity Map

PLN22-010

APN: 696-11-008

GRAYSTONE LN

 Parcel of Interest

0 250 500 1,000  
Feet



Area of Interest



ATTACHMENT D  
PROPOSED PLANS

# LU RESIDENCE

## APPLICABLE CODES:

2019 CALIFORNIA ADMINISTRATIVE CODE  
 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA ELECTRIC CODE  
 2019 CALIFORNIA RESIDENTIAL CODE  
 2019 CALIFORNIA ENERGY CODE  
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 2019 CALIFORNIA FIRE CODE  
 2019 CALIFORNIA EXISTING BUILDING CODE  
 2019 CALIFORNIA REFERENCED STANDARDS CODE  
 COUNTY OF SANTA CLARA COUNTY CODE (SCCC)  
 ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.

ADOPTION OF THE 2019 EDITION OF THE CALIFORNIA STATE BUILDING CODES, TITLE 24, CALIFORNIA CODE OF REGULATIONS IS MANDATED BY PART 2.5 OF DIVISION 13 OF THE CALIFORNIA HEALTH & SAFETY CODE (SECTION 18901 ET SEQ.) THE FOLLOWING LOCAL AMENDMENTS TO THE CALIFORNIA STATE BUILDING CODES WERE FILED WITH THE BUILDING STANDARDS COMMISSION.

## GENERAL NOTES:

- ALL DETAILS, MATERIALS, FINISHES AND ASSEMBLIES ARE NOT NECESSARILY SHOWN. THESE FINAL FINISH DETAILS INCLUDING CASEWORK AND MATERIAL SELECTIONS WILL BE COORDINATED BY THE OWNER.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, APPLICABLE EDITION, THE COUNTY OF SANTA CLARA STANDARD PLANS AND SPECIFICATIONS, AND ALL OTHER PERTINENT CODES, LAWS AND REQUIREMENTS OF THE LOCAL BUILDING OFFICIALS, WHETHER OR NOT SPECIFICALLY SHOWN ON THESE DOCUMENTS. CONTACT ENVISUALITY GROUP INC. IF CONDITIONS OR OTHER CIRCUMSTANCES REQUIRE CHANGES IN THE WORK SHOWN, OR REQUIRE CLARIFICATION. ALL WORK SHALL BE DONE IN A HIGH QUALITY MANNER, ACCORDING TO THE PREVAILING STANDARDS OF THE INDUSTRY FOR EACH TRADE.
- THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION AND CLEAN-UP TO ACCOMPLISH ALL OF THE WORK SHOWN, INCLUDING ALL WARRANTIES AND INSTRUCTIONS, TO PROVIDE A COMPLETE WORKING INSTALLATION, AND TO LEAVE THE OWNER WITH AN APPROVED PRODUCT.
- CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR ALL SAFETY MEASURES TO PROTECT ALL PROPERTY, PERSONNEL AND THIRD PARTIES FROM DAMAGE OR INJURY. THIS RESPONSIBILITY SHALL BE CONTINUOUS AND NOT SOLELY DURING WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS ENVISUALITY GROUP INC., COUNTY OF SANTA CLARA, AND RELATED ENGINEERS FROM ANY CLAIMS OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF HIS WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENVISUALITY GROUP INC. AND RELATED ENGINEERS.
- THESE DOCUMENTS DO NOT CONTAIN PROVISIONS FOR THE HANDLING OR REMOVAL OF ANY HAZARDOUS MATERIALS. SHOULD ANY SUCH MATERIALS BE SUSPECTED OR ENCOUNTERED, SPECIALISTS SHALL BE CALLED IN TO MAKE RECOMMENDATIONS.
- PROVIDE ALL MANDATORY FEATURES REQUIRED BY THE T-24 ENERGY CODE, INCLUDING WEATHER-STRIPPING, BUILDING INSULATION, PIPE INSULATION, LIGHTING AND APPLIANCE MEASURES, AND OTHER FEATURES REQUIRED BY TITLE 24 OR OTHER STATE, FEDERAL OR LOCAL CODES.
- NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS PERMITTED BY THE COUNTY OF SANTA CLARA.

## DEFERRED SUBMITTALS:

- FIRE SPRINKLERS (NFPA 13D)
- SOLAR PV SYSTEM PER CENERGYC 150.1(C)14.

## PROJECT DESCRIPTION:

THE PROJECT PROPOSES A NEW SINGLE-FAMILY HOME, DETACHED ACCESSORY DWELLING UNIT, SWIMMING POOL, AND ASSOCIATED LANDSCAPING IMPROVEMENTS ON A VACANT LOT.

APN: 696-11-008  
 OCCUPANCY GROUP: R-3 (RESIDENTIAL) / U (UTILITY & MISC.)  
 CONSTRUCTION TYPE: TYPE V-B (NON-SPRINKLERED)  
 ZONING DISTRICT: RR-d1 RURAL RESIDENTIAL  
 LOT AREA: 47,176 SF (1.08 AC)

**PROPOSED GROSS FLOOR AREA:** 7,472 SF  
 GARAGE: 1,160 SF  
 GROUND FLOOR: 5,138 SF

DETACHED ADU: 1,174 SF

**PROPOSED NET FLOOR AREA:** 6,312 SF

MAX HEIGHT LIMIT: 35'

MAX NUMBER OF STORIES: 2

**PROPOSED HEIGHT:** 20'-7"

SETBACKS\*:  
 MIN. FRONT: 30'  
 MIN. REAR: 30'  
 MIN. SIDE, INTERIOR: 30'

\*(NOTE: PROJECT COMPLIES WITH ALL SETBACKS)

PARKING CALCULATION:  
 PARKING REQUIRED: 2  
 PARKING PROVIDED: 4

## PROJECT TEAM DIRECTORY:

**ARCHITECT:**  
 ENVISUALITY GROUP, INC  
 2443 FILLMORE ST, #380-6740  
 SAN FRANCISCO, CA 94115  
 CONTACT: HAYES SHAIR, AIA  
 TEL: 310-869-1469  
 EMAIL: HAYES@ENVISUALITYGROUP.COM

**CIVIL ENGINEER:**  
 LEA & BRAZE ENGINEERING  
 2495 INDUSTRIAL PARKWAY WEST  
 HAYWARD, CA 94545  
 CONTACT: PETE CARLINO, PE  
 TEL: 510-887-4086 ext. 163  
 EMAIL: PCARLINO@LEABRAZE.COM

**LANDSCAPE DESIGNER:**  
 ENVISUALITY GROUP, INC  
 2443 FILLMORE ST, #380-6740  
 SAN FRANCISCO, CA 94115  
 CONTACT: HAYES SHAIR, AIA  
 TEL: 310-869-1469  
 EMAIL: HAYES@ENVISUALITYGROUP.COM

**STRUCTURAL ENGINEER:**  
 WARMERDAM STRUCTURAL ENGINEERING  
 284 DONNOR AVENUE  
 LIVERMORE, CA 94551  
 CONTACT: BLAKE WARMERDAM  
 TEL: 510-774-8953  
 EMAIL: BLAKE@WARMERDAMSE.COM

**GEOTECHNICAL ENGINEER:**  
 ROMIG ENGINEERS  
 1390 EL CAMINO REAL, 2ND FLOOR  
 SAN CARLOS, CA, 94070  
 CONTACT: COLEMAN NG, PE  
 TEL: 415-527-8339  
 EMAIL: COLEMAN@ROMIGENGINEERS.COM

**TITLE-24 CONSULTANT:**  
 CARSTAIRS ENERGY  
 2238 BAYVIEW HEIGHTS DRIVE, SUITE E  
 LOS OSOS CA 93402  
 CONTACT: TIMOTHY CARSTAIRS  
 TEL: 805-9049048  
 EMAIL: TITLE24@YAHOO.COM

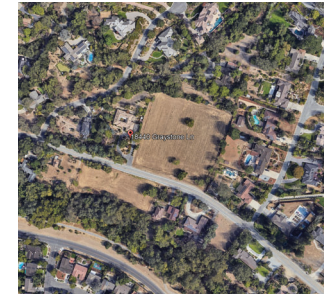
## CONCEPTUAL RENDERING



## DRAWING INDEX:

- A.00 Cover Sheet
- C-1.0 Title Sheet
- C-1.1 Overall Site Plan
- C-2.0 Grading and Drainage Plan
- C-2.1 Grading and Drainage Plan
- C-3.0 Utility Plan
- C-3.1 Utility Plan
- C-4.0 Details
- C-4.1 Details
- C-5.0 Grading Specifications
- ER-1 Erosion Control Plan
- BMP-1 Best Management Practices
- BMP-2 Best Management Practices
- SU-1 Topographic Survey
- SS-1 Septic Title Sheet
- SS-2 Septic Engineered Plan
- SS-3 Septic System Details
- A.01 Illustrative Site Plan
- A.02 Site Renderings
- A.03 CALGREEN Checklist
- A.04 CALGREEN Checklist
- A.05 CALGREEN Checklist
- A.06 CALGREEN Checklist
- A.10 Ground Floor Plan
- A.11 Roof Plan
- A.12 Ground Floor & Roof Plan - ADU
- A.20 Elevation
- A.21 Elevation
- A.22 Elevation
- A.23 Elevation - ADU
- A.30 Sections
- A.31 Sections

## VICINITY MAP



Architect:  
 Envisuality Group, Inc  
 Hayes Shair  
 2443 Fillmore St.  
 San Francisco, CA, 94115  
 (310) 869-1469

Stamp:

**DRAFT  
 (NOT FOR  
 CONSTRUCTION)**

Revision: \_\_\_\_\_  
 Date: \_\_\_\_\_

2022 10 19 PLANNING CYC1

Project:

Lu Residence

Project Address:

18440 Graystone Lane San Jose CA 94150

William Lu  
 1522 Husted Avenue  
 San Jose CA 95125

Issue:

PLANNING SUBMITTAL

Drawing Title:

Cover Sheet

Scale:

Date: 12/12/2022

Job Number: 2022 5

Drawn By: HS

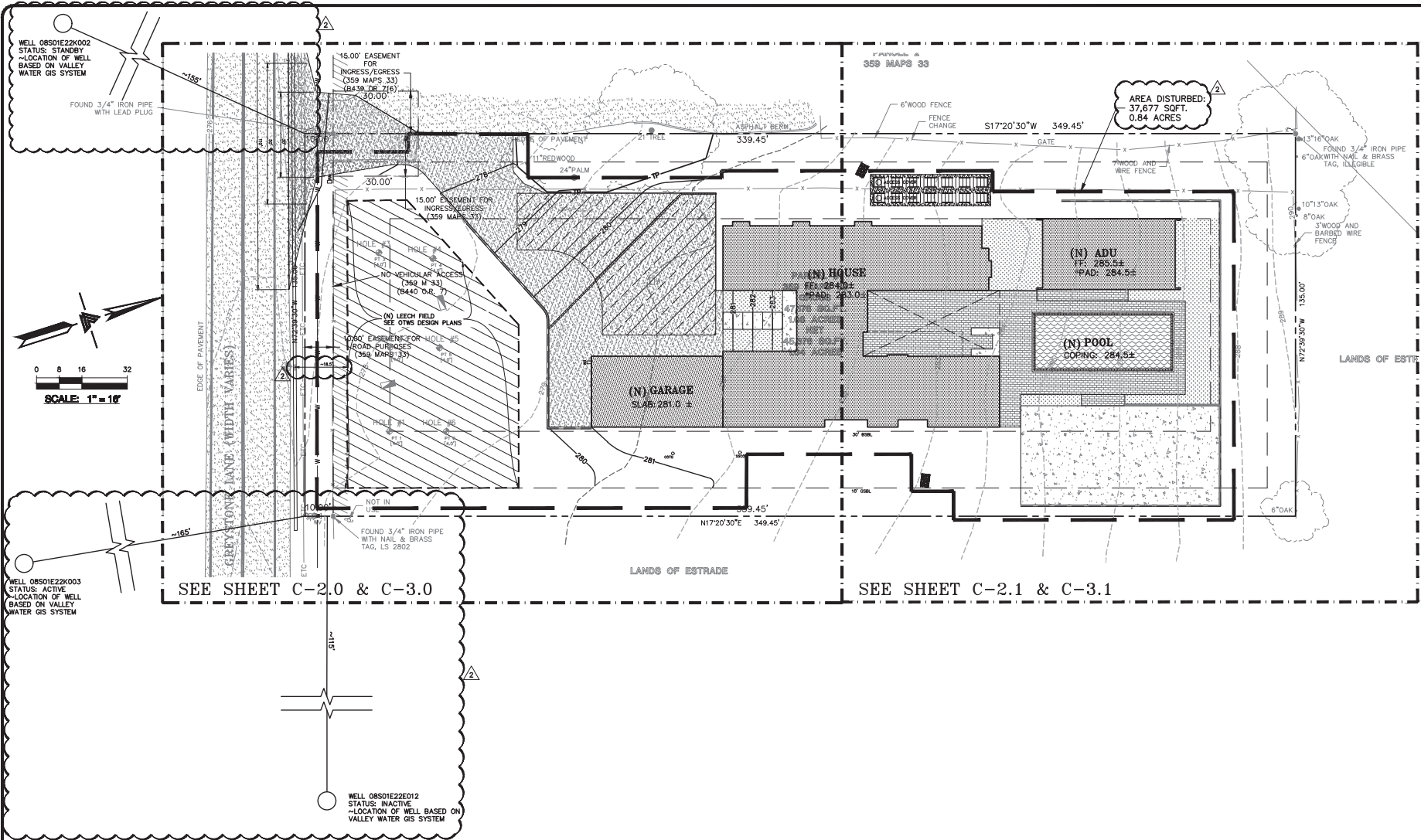
**A.00**









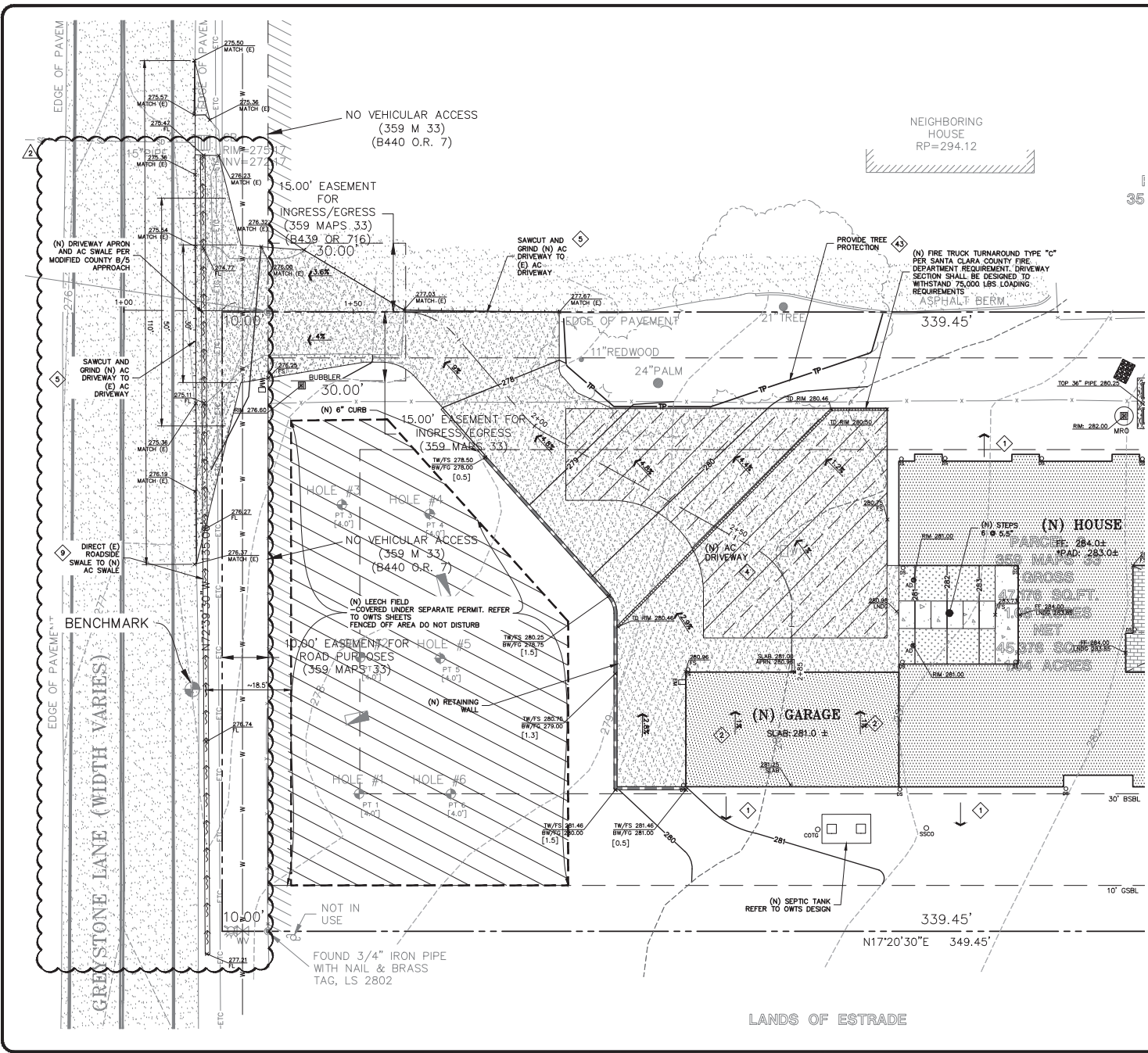


**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS / LAND SURVEYORS  
REGISTERED PROFESSIONAL ENGINEERS  
1844 INDUSTRIAL PARK WEST  
SAN JOSE, CALIFORNIA 94543  
(408) 887-4088  
WWW.LEABRAZE.COM

**LU RESIDENCE**  
18440 GRAYSTONE LANE  
SAN JOSE, CALIFORNIA  
SANTA CLARA COUNTY  
APN: 096-11-008

**OVERALL SITE PLAN**

PLAN CHECK	MR/KA
PLAN CHECK	MR
REVISIONS	BY
JOB NO:	2201913
DATE:	02-04-21
SCALE:	1" = 16'
DESIGN BY:	MR
CHECKED BY:	BY
SHEET NO:	



- FLATWORK** KEYNOTES  $\diamond 1$  TO  $\diamond 9$
- $\diamond 1$  FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MINIMUM OF 5% FOR THE FIRST 10' AWAY FROM THE BUILDING PER CBC 1804.4 OR TO AN APPROVED DRAINAGE SWALE OR STRUCTURE. GRADES SHALL CONTINUE TO SLOPE TOWARDS POSITIVE DRAINAGE AND A POSITIVE OUTFALL. MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MAID SILL AT ALL TIMES PER CBC 2304.12.1.2 UNLESS STRUCTURAL DETAILING ALLOWS LESS. REFER TO STRUCTURAL PLANS FOR FOUNDATION DESIGN AND DETAILS.
  - $\diamond 2$  SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP
  - $\diamond 3$  PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.
  - $\diamond 4$  (N) AC DRIVEWAY. SEE DETAIL 1 ON SHEET C-4.0.
  - $\diamond 5$  GRIND AC TO TIE (N) AC INTO (E) AC PAVING. SEE DETAIL 4 ON SHEET C-4.0.
  - $\diamond 6$  (N) CONCRETE PATIOS/WALKWAYS. SEE DETAIL 3 ON SHEET C-4.0.
  - $\diamond 7$  (N) CONCRETE PATIO IN POOL AREA. SEE DETAIL 3 ON SHEET C-4.0.
  - $\diamond 8$  CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL. SEE DETAIL 2A ON SHEET C-4.0.
  - $\diamond 9$  CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL. SEE DETAIL 2B ON SHEET C-4.0.

- DEMOLITION** KEYNOTES  $\diamond 41$  TO  $\diamond 43$
- $\diamond 41$  DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.
  - $\diamond 42$  REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.
  - $\diamond 43$  PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.

**BREAKDOWN OF IMPERVIOUS AREA**

	Existing	Proposed
Residence	0 sqft.	6,300 sqft.
A.D.U.	0 sqft.	1,174 sqft.
Driveway & Parking	396 sqft.	5,794 sqft.
Patios, Walkways & Pads	0 sqft.	2,764 sqft.
Pool & Spa	0 sqft.	1,050 sqft.
Sports Court	0 sqft.	2,808 sqft.
<b>TOTAL</b>	<b>396 sqft.</b>	<b>19,890 sqft.</b>
<b>NET INCREASE OF IMPERVIOUS AREA:</b>	<b>19,494 sqft.</b>	<b>= 0.448 acre</b>

**FEMA NOTES**  
 SUBJECT IS LOCATED WITHIN FEMA FLOOD ZONE "D", AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 06085C0401H, DATED 05/18/09  
 ZONE "D" IS DESIGNATED AS: WHILE FLOOD RISK REMAINS, THE PROBABILITY OF THAT FLOOD RISK HAS NOT BEEN QUANTIFIED.

**NOTE:**  
 FOR CONSTRUCTION STAGING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. [aabaya@leabraze.com](mailto:aabaya@leabraze.com)

**\* BUILDING PAD NOTE:**  
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAM. SPACE DEPTH TO ESTABLISH PAD LEVEL.

**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS | LAND SURVEYORS  
 RESIDENTIAL OFFICES:  
 18440 GRAYSTONE LANE, WEST  
 SAN JOSE, CALIFORNIA 95145  
 (408) 887-4086  
 WWW.LEABRAZE.COM

**LU RESIDENCE**  
**18440 GRAYSTONE LANE**  
**SAN JOSE, CALIFORNIA**

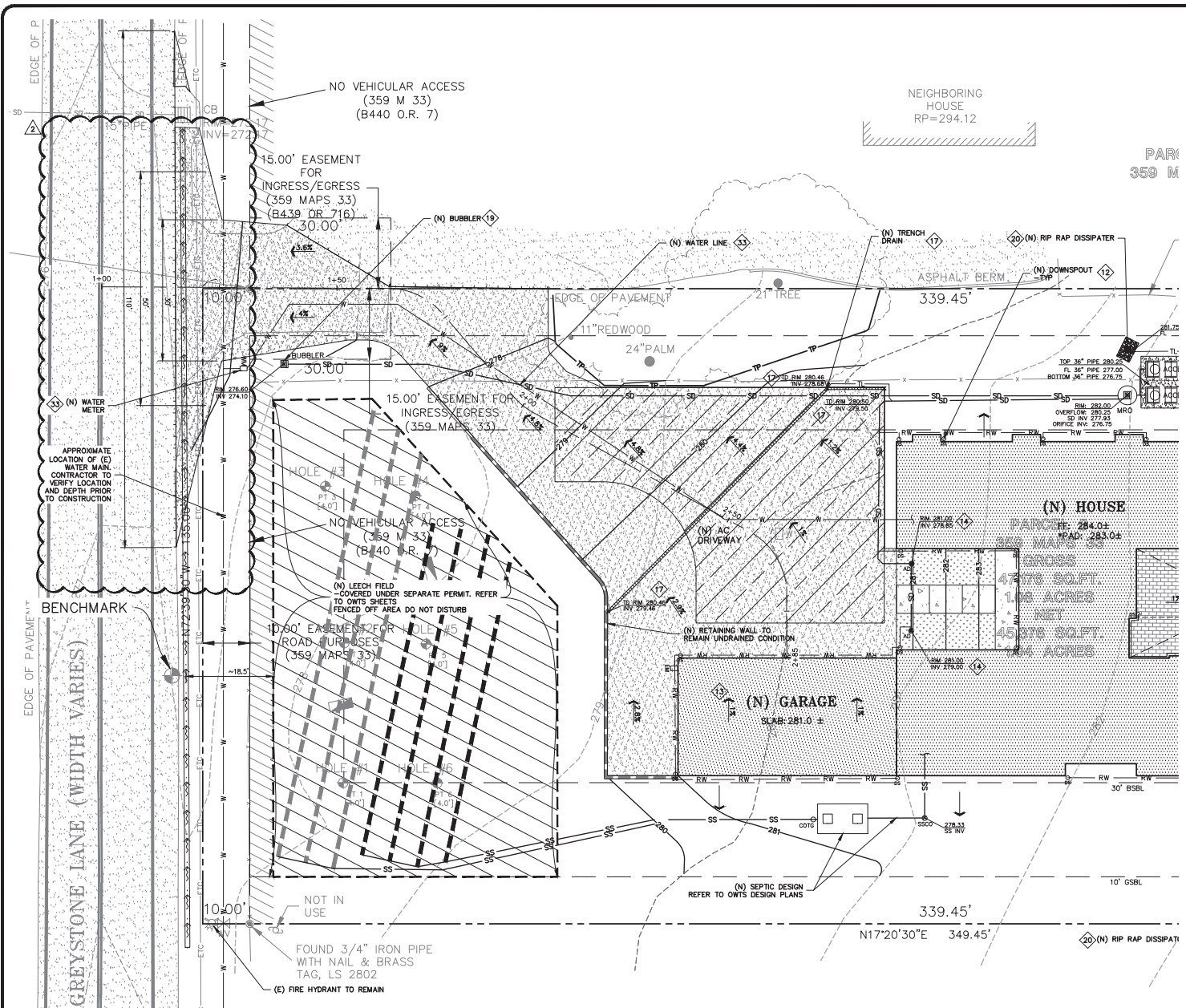
**GRADING AND DRAINAGE PLAN**

APN: 096-11-008

4 OF 13 SHEETS







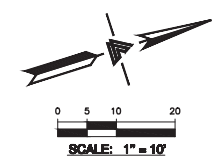
- STORM DRAIN KEYNOTES** 10 to 20
- 10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.
  - 11 INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MFRAT 140). MISDRAIN FOR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.
  - 12 CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE, SLOPED AT 1% MINIMUM. DIRECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLANS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES, HOWEVER, DO NOT CONNECT TO SUBDRAIN LINES.
  - 13 INSTALL (N) "CHRISTY F08" AREA DRAINS. CONNECT TO ON-SITE STORM DRAIN SYSTEM. SEE DETAIL 5 ON C-4.1.
  - 14 INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE). SEE DETAIL 2 ON C-4.1.
  - 15 INSTALL (N) CHRISY V-24 CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 4 ON SHEET C-4.1.
  - 16 INSTALL (N) CHRISY V-12 CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 4 ON SHEET C-4.1.
  - 17 TRENCH DRAINS SHALL BE 6" NDS "DURA-SLOPE" PRESLOPED TRENCH DRAINS W/ TRAFFIC RATED GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 4" PVC TIGHTLINE.
  - 18 INSTALL (N) RETENTION SYSTEM. SEE DETAIL 7 ON SHEET C-4.1.
  - 19 INSTALL (N) BUBBLER. SEE DETAIL 6 ON SHEET C-4.1.
  - 20 INSTALL (N) RIP-RAP ENERGY DISSIPATER. SEE DETAIL 8 ON SHEET C-4.1.

- UTILITIES KEYNOTES** 31 to 34
- 31 INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS.
  - 32 (N) SEWER LATERAL, SEPTIC TANK, AND LEACH FIELD (BY SEPARATE DESIGN). LATERAL SHALL BE 4" PVC (SDR-26 OR BETTER) SLOPED AT 2%.
  - 33 CONNECT (N) WATER SERVICE PER SAN JOSE WATER COMPANY STANDARDS. UPGRADE (E) WATER METER PER SANTA CLARA VALLEY WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.
  - 34 INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

**FEMA NOTES**  
 SUBJECT IS LOCATED WITHIN FEMA FLOOD ZONE "D", AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 06085C0401H, DATED 05/18/09  
 ZONE "D" IS DESIGNATED AS: WHILE FLOOD RISK REMAINS, THE PROBABILITY OF THAT FLOOD RISK HAS NOT BEEN QUANTIFIED.

**NOTE:**  
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)877-4086 EXT 116. aabaya@leabraze.com

**BUILDING PAD NOTE:**  
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 REGISTERED PROFESSIONAL ENGINEERS  
 18440 GRAYSTONE LANE, WEST  
 HAYWARD, CALIFORNIA 94545  
 (510) 877-4086  
 WWW.LEABRAZE.COM

**LU RESIDENCE**  
**18440 GRAYSTONE LANE**  
**SAN JOSE, CALIFORNIA**

**UTILITY PLAN**

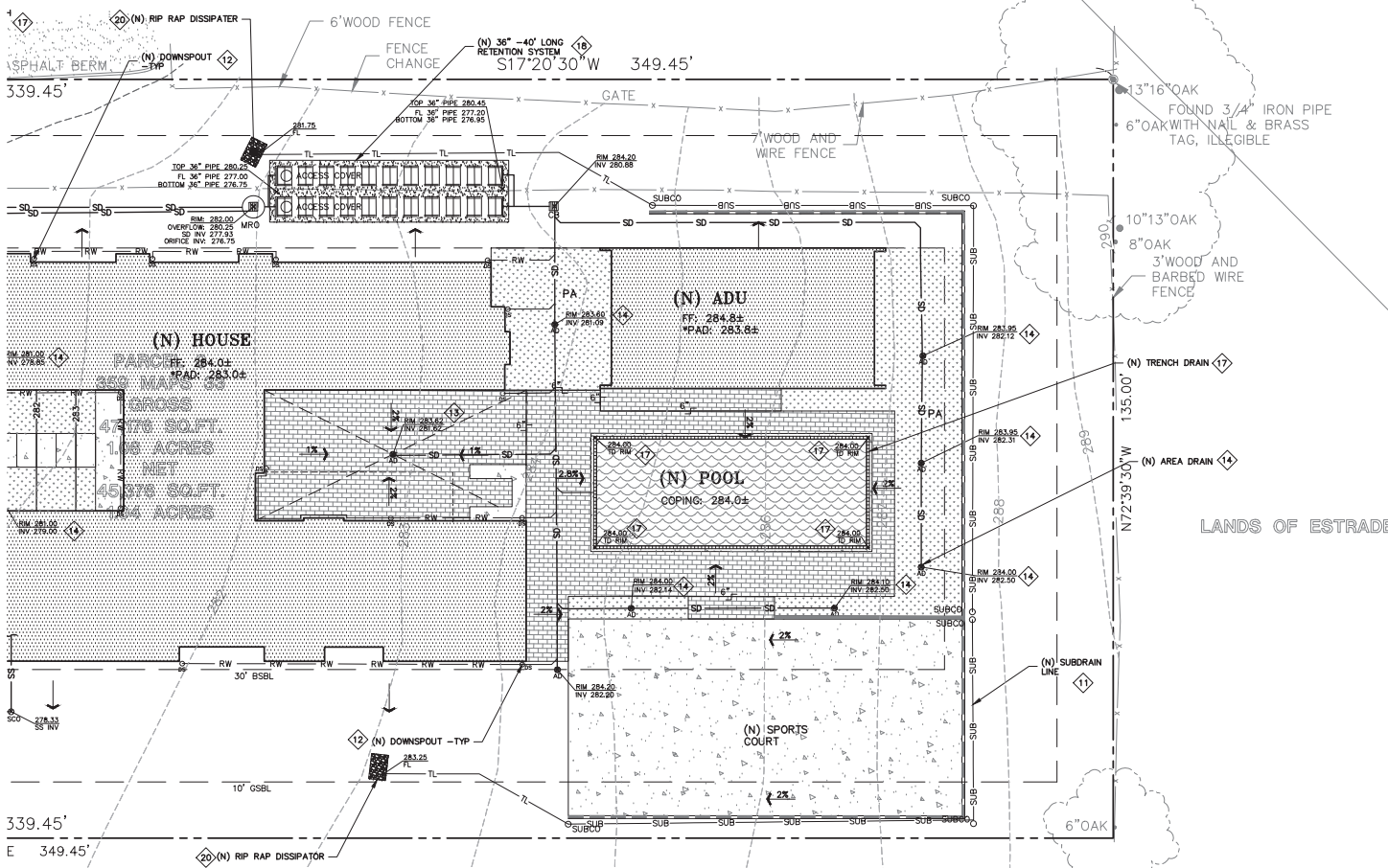
NO.	DESCRIPTION	DATE	BY
1	PLAN CHECK	12-22-22	MR/KA
2	PLAN CHECK	10-21-22	MR
REVISIONS			

JOB NO: 2201913  
 DATE: 02-04-21  
 SCALE: 1" = 10'

DESIGN BY: MR  
 CHECKED BY: BY  
 SHEET NO:  
**C-3.0**  
 06 OF 13 SHEETS

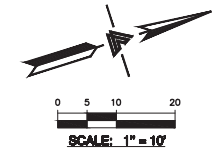
IGHBORING HOUSE  
P=294.12

PARCEL 2  
359 MAPS 33



**STORM DRAIN KEYNOTES** 10 to 19  
 10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.  
 11 INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MFRAT 140N). MIRADRAN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN.  
 12 CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE, SLOPED AT 1% MINIMUM. DIRECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLANS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES, HOWEVER, DO NOT CONNECT TO SUBDRAIN LINES.  
 13 INSTALL (N) "CHRISTY F08" AREA DRAINS. CONNECT TO ON-SITE STORM DRAIN SYSTEM. SEE DETAIL 5 ON C-4.1.  
 14 INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE). SEE DETAIL 2 ON C-4.1.  
 15 INSTALL (N) CHRISTY V-24 CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 4 ON SHEET C-4.1.  
 16 INSTALL (N) CHRISTY V-12 CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 4 ON SHEET C-4.1.  
 17 TRENCH DRAINS SHALL BE 6" NDS "DURA-SLOPE" PRESLOPED TRENCH DRAINS W/ TRAFFIC RATED GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 4" PVC TIGHTLINE.  
 18 INSTALL (N) RETENTION SYSTEM. SEE DETAIL 7 ON SHEET C-4.1.  
 19 INSTALL (N) BUBBLER. SEE DETAIL 6 ON SHEET C-4.1.  
 20 INSTALL (N) RIP-RAP ENERGY DISSIPATOR. SEE DETAIL 8 ON SHEET C-4.1.

**UTILITIES KEYNOTES** 31 to 34  
 31 INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS.  
 32 (N) SEWER LATERAL, SEPTIC TANK, AND LEACH FIELD (BY SEPARATE DESIGN). LATERAL SHALL BE 4" PVC (SDR-26 OR BETTER) SLOPED AT 2%.  
 33 CONNECT (N) WATER SERVICE PER SAN JOSE WATER COMPANY STANDARDS. UPGRADE (E) WATER METER PER SANTA CLARA VALLEY WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.  
 34 INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.



**FEMA NOTES**  
 SUBJECT IS LOCATED WITHIN FEMA FLOOD ZONE "D", AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 06085C0401H, DATED 05/16/09  
 ZONE "D" IS DESIGNATED AS: WHILE FLOOD RISK REMAINS, THE PROBABILITY OF THAT FLOOD RISK HAS NOT BEEN QUANTIFIED.

**NOTE:**  
 FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

**BUILDING PAD NOTE:**  
 ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS | LAND SURVEYORS  
 REGISTERED PROFESSIONAL ENGINEERS  
 1500 INDUSTRIAL PARK WEST  
 HAYWARD, CALIFORNIA 94545  
 (510) 887-4086  
 WWW.LEABRAZE.COM

LU RESIDENCE  
 18440 GRAYSTONE LANE  
 SAN JOSE, CALIFORNIA  
 APN: 096-11-008  
 SANTA CLARA COUNTY

UTILITY PLAN

NO.	DESCRIPTION	DATE	BY
1	PLAN CHECK	12-30-22	MR/KA
2	PLAN CHECK	10-21-22	MR
REVISIONS BY			
JOB NO:	2201913	DATE:	02-04-21
SCALE:	1" = 10'	DESIGN BY:	MR
CHECKED BY:	MR	SHEET NO.:	













**PURPOSE:**

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS. UNDER CERTAIN CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

**EROSION CONTROL NOTES:**

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LOADED RUNOFF TO ANY STORM DRAIN SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM EVENT.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEM. REMOVAL OF ACCUMULATION SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER X THROUGH APRIL X, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARP ALIEN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.

**EROSION CONTROL NOTES CONTINUED:**

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

**EROSION CONTROL MEASURES:**

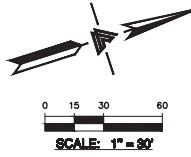
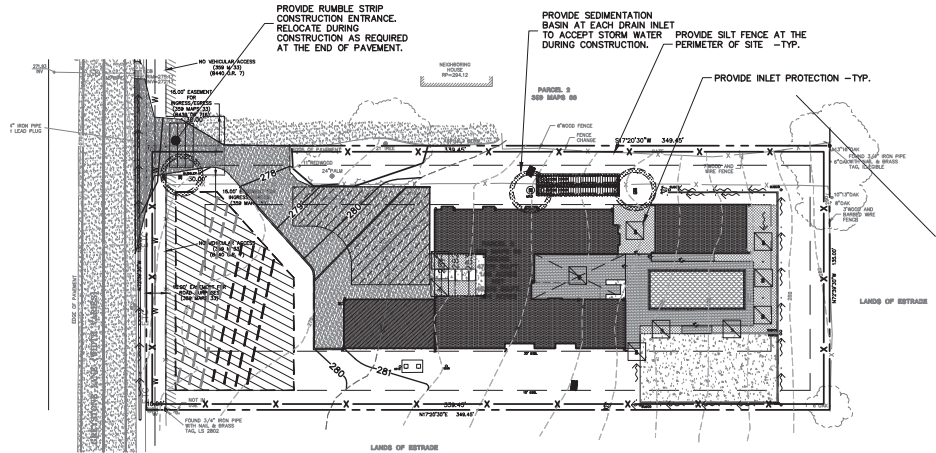
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15TH. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TOPKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. STRAW ROLLS SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURER'S SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

**REFERENCES:**

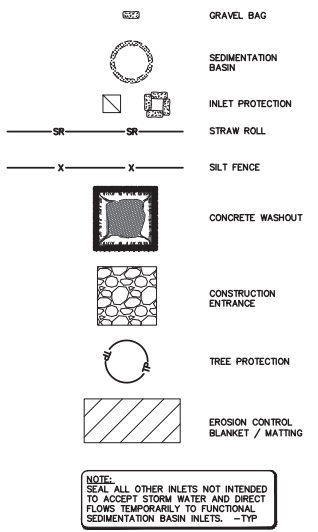
- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL.
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION.

**PERIODIC MAINTENANCE:**

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1' FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND GULLES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELLED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION.



**EROSION CONTROL LEGEND**



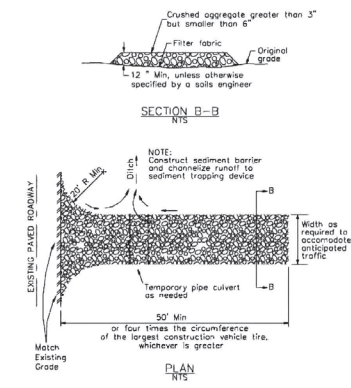
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS | LAND SURVEYORS  
 REGISTERED PROFESSIONAL ENGINEERS  
 18440 GRAYSTONE LANE, SUITE 100  
 SAN JOSE, CALIFORNIA 95138  
 (408) 867-0088  
 WWW.LEABRAZE.COM

LU RESIDENCE  
 18440 GRAYSTONE LANE  
 SAN JOSE, CALIFORNIA  
 APN: 096-11-008  
 SANTA CLARA COUNTY

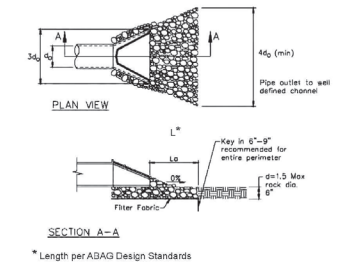
**EROSION CONTROL PLAN**

PLAN CHECK	MR/KA
12-27-22	
PLAN CHECK	MR
10-21-22	
REVISIONS	BY
JOB NO:	2201913
DATE:	02-04-21
SCALE:	1" = 30'
DESIGN BY:	MR
CHECKED BY:	BY
SHEET NO:	

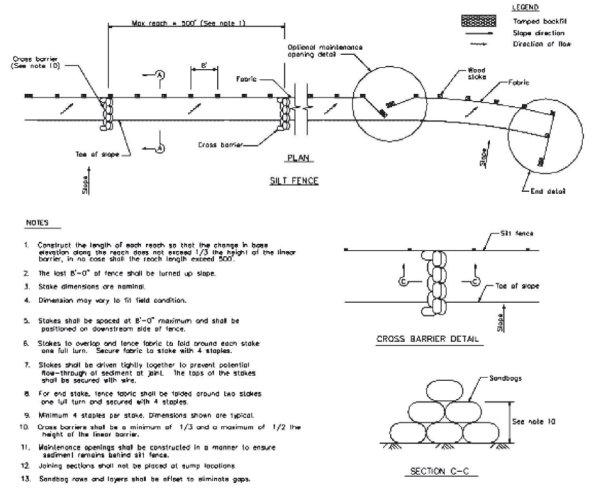
**3 Stabilized Construction Entrance/Exit**  
CASQA Detail TC-1



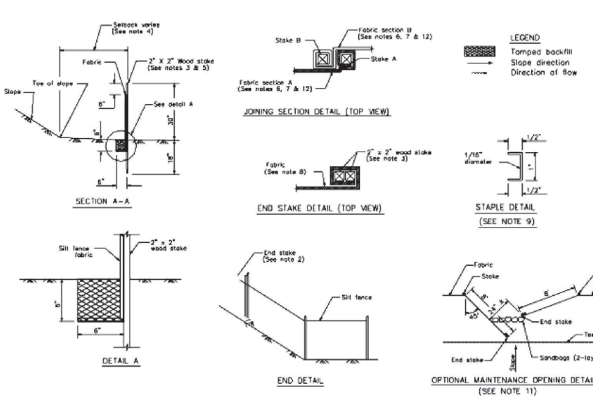
**4 Velocity Dissipation Devices**  
CASQA Detail EC-10



**1 Silt Fence**  
CASQA Detail SE-1



**2 Silt Fence**  
CASQA Detail SE-1



**STANDARD BEST MANAGEMENT PRACTICE NOTES**

- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Utility and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-18) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

**STANDARD EROSION CONTROL NOTES**

- Sediment Control Management:**
  - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
  - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
  - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
  - Dust Control:** The contractor shall provide dust suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
  - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Inspection Control:** During the rain season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rain season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cbmphandbooks.com.

**Best Management Practices and Erosion Control Details Sheet 1**  
County of Santa Clara



**BMP-1**

**Project Information**



**LEA & BRAZE ENGINEERING, INC.**  
CIVIL ENGINEERS / LAND SURVEYORS  
REGISTERED PROFESSIONAL ENGINEERS  
1400 INDUSTRIAL PARK WEST  
HAYWARD, CALIFORNIA 94545  
(925) 887-0088  
WWW.LEABRAZE.COM

**LU RESIDENCE**  
18440 GRAYSTONE LANE  
SAN JOSE, CALIFORNIA  
APN: 096-11-008  
SANTA CLARA COUNTY

**EROSION CONTROL**  
**DETAILS**

PLAN CHECK	MR/KA
REVISIONS	BY
JOB NO:	2201913
DATE:	02-04-21
SCALE:	AS NOTED
DESIGN BY:	MR
CHECKED BY:	BY
SHEET NO:	

**BMP-2**  
12 OF 13 SHEETS





**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS / LAND SURVEYORS  
 RESIDENTIAL / COMMERCIAL / INDUSTRIAL  
 18440 GRAYSTONE LANE  
 SAN JOSE, CALIFORNIA 94543  
 (408) 867-0086  
 WWW.LEABRAZE.COM

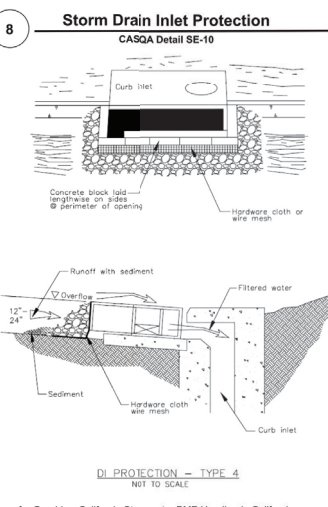
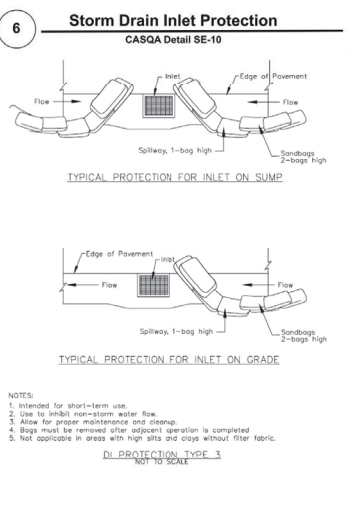
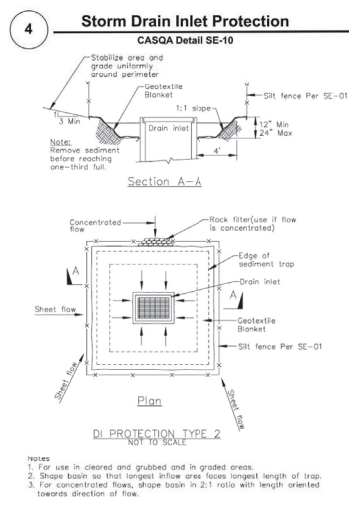
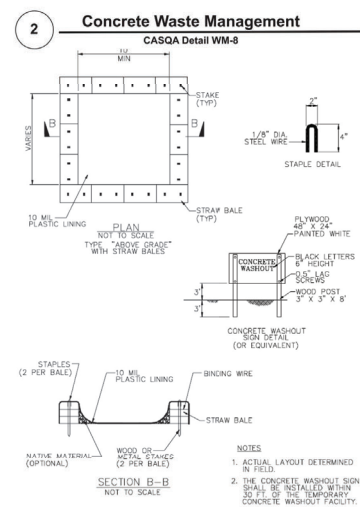
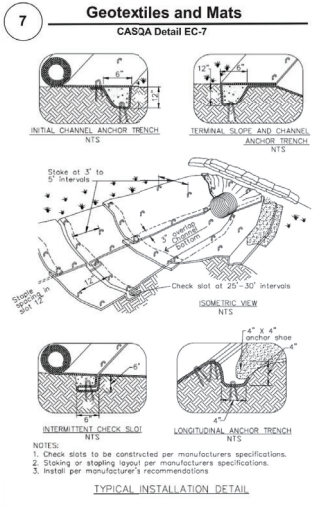
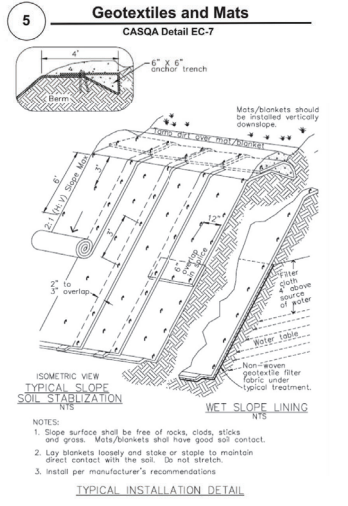
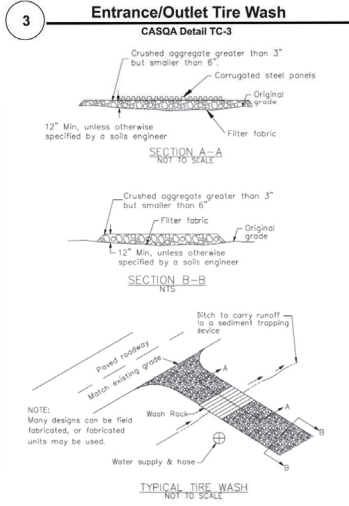
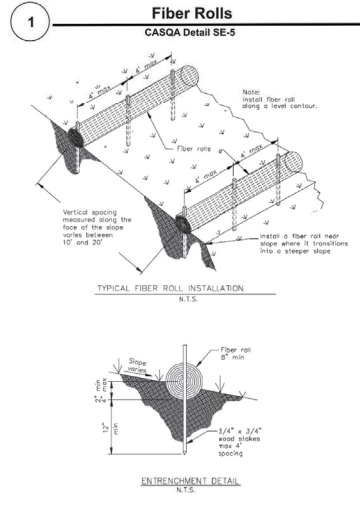
**LU RESIDENCE**  
 18440 GRAYSTONE LANE  
 SAN JOSE, CALIFORNIA  
 APN: 096-11-008  
 SANTA CLARA COUNTY

**EROSION CONTROL  
 DETAILS**

PLAN CHECK	12-27-22	MR/KA
PLAN CHECK	10-21-22	MR
REVISIONS	BY	
JOB NO:	2201913	
DATE:	02-04-21	
SCALE:	AS NOTED	
DESIGN BY:	MR	
CHECKED BY:	BY	
SHEET NO:		

**BMP-2**  
 13 OF 13 SHEETS

Project Information



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

Best Management Practices and Erosion Control Details Sheet 2  
 County of Santa Clara



**BMP-2**







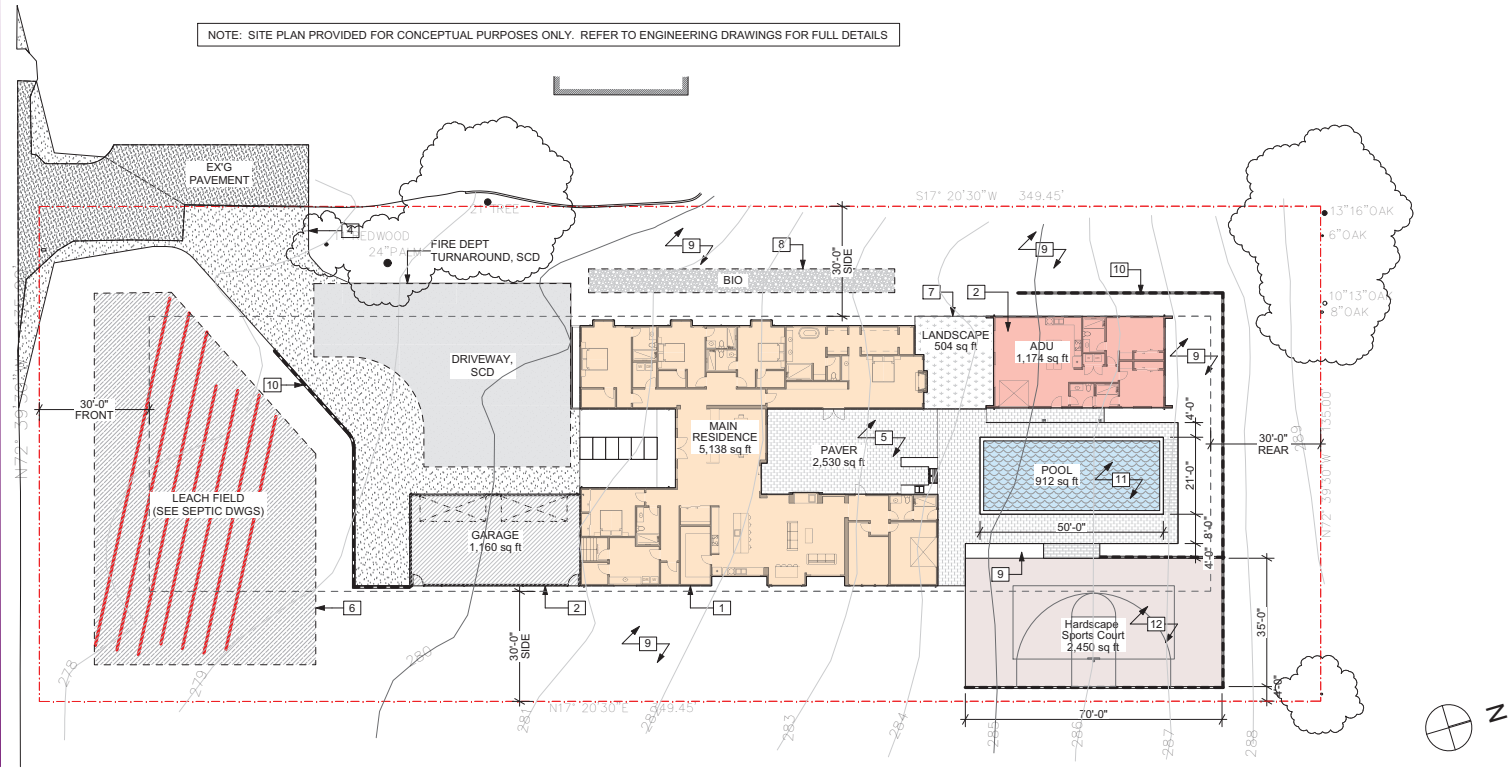


NOTE: SITE PLAN PROVIDED FOR CONCEPTUAL PURPOSES ONLY. REFER TO ENGINEERING DRAWINGS FOR FULL DETAILS



Architect:  
 Envisuality Group, Inc  
 Hayes Shair  
 2443 Fillmore St.  
 San Francisco, CA, 94115  
 (310) 869-1469

GREYSTONE LANE (WIDTH VARIES)



Illustrative Site Plan  
 1/16" = 1'-0"

2

SITE PLAN NOTES & LEGEND:		
1	PRIMARY RESIDENCE	
2	GARAGE	
3	ACCESSORY DWELLING UNIT (ADU)	
4	CONCRETE PAVING, SCD (NON-PERMEABLE)	
5	DECORATIVE UNIT PAVERS (NON-PERMEABLE)	
6	SEPTIC LEACH FIELD, SCD	
7	ARTIFICIAL TURF (PERMEABLE)	
8	BIO-RETENTION AREA, SCD	
9	ALL REMAINING DISTURBED AREAS - PROVIDED NON-IRRIGATED HYDROSEEDED GROUND COVER (CREEPING WILD RYE - LEYMUS TRITICOIDES OR EQ.)	
10	RETAINING WALL, SCD	
11	SWIMMING POOL (BY OTHERS)	
12	PAVED SPORTS COURT (NON-PERMEABLE)	

Stamp:  
**DRAFT (NOT FOR CONSTRUCTION)**

Revision:  
 Date: 2022 10 19  
 By: PLANNING CYC1

Project:  
**Lu Residence**

Project Address:  
 18440 Graystone Lane San Jose CA 94150

Owner:  
 William Lu  
 1522 Husted Avenue  
 San Jose CA 95125

Issue:  
**PLANNING SUBMITTAL**

Drawing Title:  
**Illustrative Site Plan**

Scale:  
 Date: 12/12/2022 Drawing Number:  
 Job Number: 2022\_5  
 Drawn By: HS  
**A.01**

NOTE: RENDERINGS PROVIDED FOR CONCEPTUAL PURPOSES ONLY. ALL PLANTING AND PAVING SHALL CONFORM TO BE PROPOSED SITE PLAN, CIVIL PLANS, AND MEET ALL MAXIMUM ALLOWABLE WATER USAGE (MAWA) REQUIREMENTS.



Architect:  
 Envisuality Group, Inc  
 Hayes Shair  
 2443 Fillmore St.  
 San Francisco, CA, 94115  
 (310) 869-1469

Stamp:

**DRAFT  
 (NOT FOR  
 CONSTRUCTION)**

Revision: \_\_\_\_\_  
 Date: 2022 10 19 By: PLANNING CYC1

Project:

**Lu Residence**

Project Address:

18440 Graystone Lane San  
 Jose CA 94150

Client:

William Lu  
 1522 Husted Avenue  
 San Jose CA 95125

Issue:

**PLANNING SUBMITTAL**

Drawing Title:

**Site Renderings**

Scale:

Date: 12/12/2022

Job Number: 2022\_5

Drawn By: HS

Drawing

Number

**A.02**





**COUNTY OF SANTA CLARA**  
2019 CALGREEN RESIDENTIAL CHECKLIST (MANDATORY+TIER 1)

County Jurisdiction over CALGreen is in Title 1.  
 - Designer to cross out items that are not applicable to the project.  
 - Designer shall verify all applicable requirements have been satisfied and sign and date each row. County Inspectors will verify completion signatures and supporting documentation DURING CONSTRUCTION.

ITEM #	CALGreen CODE SECTION	REQUIREMENT	REFERENCE SHEET	Note or Detail No.	Date	Installer or Designer Verification
<b>PLANNING AND DESIGN: MANDATORY REQUIREMENTS</b>						
1	4.106.2	A plan is developed and implemented to manage storm water drainage during construction.	CG-3	NOTE 1		
2	4.106.3	Construction plans indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	CG-3	NOTES 3 & 4		
3	4.106.4.1	For new dwellings and the rebuild of existing dwellings that include a panel upgrade or construction between panel and parking area, it is necessary to install a dedicated 208/240-volt branch circuit serving the requirements of the panel.	CG-3	NOTES 3 & 4		
<b>PLANNING AND DESIGN: TIER 1 MANDATORY REQUIREMENTS</b>						
4	AA.106.2.3	Deceased topsoil is stockpiled for reuse in a designated area and covered or protected from erosion.	CG-4	NOTE 7		
5	AA.106.4	Not less than 20 percent of the total parking, walking or patio surfaces are permeable.	CG-4	NOTE 9		
6	AA.106.8.1	For new dwellings with attached garage panels, a dedicated 208/240-volt branch circuit including an overcurrent protective device is installed in the room(s), meeting the applicable requirements.	CG-4	NOTE 12		
<b>PLANNING AND DESIGN: TIER 1 ELECTIVE REQUIREMENTS</b>						
7	AA.103.1	An infiltration, infiltration or EPA-recognized and approved site is applicable.	CG-4	NOTE 1		
8	AA.103.2	Continuity of connectivity is facilitated by one of the approved methods.	CG-4	NOTE 2		
9	AA.104.1	An individual with oversight responsibility for the project has developed an educational program promoting environmentally friendly design and construction and has provided instructions to appropriate entities.	CG-4	NOTE 3		
10	AA.105.2	Reusing buildings are dismantled for reuse or recycling of building materials. The proposed structure utilizes at least one of the listed materials.	CG-4	NOTE 4		
11	AA.106.2.1	Soil analysis is performed by a licensed design professional and the findings are utilized in the structural design of the building.	CG-4	NOTE 5		
12	AA.106.2.2	Soil disturbance and erosion are prevented by using one or more of the methods listed.	CG-4	NOTE 6		
13	AA.106.3	Landscape areas developed during construction are restored to be consistent with native vegetation and/or at least 75% native California or drought tolerant plant and tree are utilized.	CG-4	NOTE 8		
14	AA.106.6	A vegetated roof for at least 50% of the roof area is installed. Vegetated roof complies with CBC chapters 15 & 16.	CG-4	NOTE 10		
15	AA.106.7	Nonroof flat areas are restored for 50% of driveways, patios, driveways, or other paved areas by using one or more of the methods listed.	CG-4	NOTE 11		
16	AA.106.10	Outdoor lighting systems are designed and installed to comply with one of the methods listed.	CG-1	TABLE AA.106.10		
<b>ENERGY EFFICIENCY: MANDATORY REQUIREMENTS</b>						
17	4.201.1	Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.	T24 SHEETS			
<b>WATER EFFICIENCY &amp; CONSERVATION: MANDATORY REQUIREMENTS</b>						
18	4.303.1	Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings comply with CALGreen Sections 4.303.1.1 through 4.303.1.4.4.	CG-3	NOTE 5		
19	4.303.2	Plumbing fixtures and fittings required in CALGreen Section 4.303.1 are installed in accordance with the CBC and meet the applicable referenced standards.	CG-3	NOTE 6		
20	4.304.1	Outdoor potable water use in landscape areas comply with a best water efficient landscape or the current California DWR PMWEL, whichever is more stringent.	CG-3	NOTE 7		
21	4.305.1	For new dwellings where distributed tertiary recycled water is available, installation of recycled water supply system is required per CBC Chapter 15.	CG-3	NOTE 8		

ITEM #	CALGreen CODE SECTION	REQUIREMENT	REFERENCE SHEET	Note or Detail No.	Date	Installer or Designer Verification
<b>WATER EFFICIENCY &amp; CONSERVATION: TIER 1 ELECTIVE REQUIREMENTS</b>						
22	AA.303.1	Water efficient showerheads are installed that do not exceed 1.5 gpm at 60 psi. <b>Note exception:</b>	CG-4	NOTE 14		
23	AA.303.2	Alternate potable water resources are used for indoor potable water reduction and are installed in accordance with CBC.	CG-4	NOTE 15		
24	AA.303.3	At least one ENERGY STAR dishwasher or clothes washer is installed.	CG-4	NOTE 16		
25	AA.303.4	Nonwater urinals or composting toilets are installed.	CG-4	NOTE 17		
26	AA.303.5	Dwelling is equipped with a demand hot water recirculation system. The system is installed per CBC, CEC, and the manufacturer's installation instructions.	CG-4	NOTE 18		
27	AA.304.1	An approved rainwater catchment system is designed and installed to use rainwater generated by at least 65% of the available roof area. The system is installed per CBC.	CG-4	NOTE 19		
28	AA.304.2	A water efficient landscape irrigation design that eliminates the use of potable water is provided. The system is used to accomplish the requirements comply with California Building Standards Code and one or more of the listed methods.	CG-4	NOTE 20		
29	AA.304.3	Separate submersers or metering devices for outdoor potable water use is provided for landscape areas less than 1000 sq.ft.	CG-4	NOTE 21		
30	AA.305.1	Alternative plumbing piping is installed to permit the discharge from the clothes washer or other fixtures to be used for an irrigation system in compliance with CBC.	CG-4	NOTE 22		
31	AA.305.3	Dual water piping is installed for future use of recycled water at listed locations.	CG-4	NOTE 23		
32	AA.305.3	Reused water is used for landscape irrigation.	CG-4	NOTE 24		
<b>MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY: MANDATORY REQUIREMENTS</b>						
33	4.406.1	Flame spread, smoke, and toxic gases, conduits or other openings in plates at exterior walls are protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the County of Santa Clara.	CG-3	NOTE 9		
34	4.406.2	Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste. Submit either a Construction Waste Management Plan (CALGreen 4.406.2) or utilize a waste management company (CALGreen 4.406.3).	CG-3	NOTE 10		
35	4.406.5	Documentation is provided to County of Santa Clara which demonstrates compliance with CALGreen sections 4.406.2 or 4.406.3.	CG-2	Construction Waste Management Form 11		
36	4.410.1	An operation and maintenance manual is placed in the building at the time of occupancy.	CG-3	NOTE 12		
<b>MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY: TIER 1 MANDATORY REQUIREMENTS</b>						
37	AA.403.2	Reduction in cement use in foundation mix design is required per CBC 19.02.01.	CG-4	NOTE 26		
38	AA.405.3	Use materials with a total RCV (recycled content value) not less than a 10-percent of the total material cost of the project except structural framing material.	CG-4	NOTE 33		
39	AA.408.1	Reduce construction waste by at least 65%. Documentation is submitted to the County of Santa Clara demonstrating compliance.	CG-3	Construction Waste Management Form 11		
<b>MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY: TIER 1 ELECTIVE REQUIREMENTS</b>						
40	AA.403.1	If fire-retarded Structural Foundation (FSF) is utilized in compliance with CBC, the required manual including instructions to the owner or occupant regarding the necessity for heating the structure per CBC 603.3.1.	CG-4	NOTE 25		
41	AA.404.1	Beams, headers and trimmers are sized and installed as specified in Chapter 23 of CBC or Chapter 6 of CBC.	CG-4	NOTE 27		
42	AA.404.2	Building dimensions and layouts are designed to minimize waste by one or more of the listed measures in at least 50% of the building.	CG-4	NOTE 28		
43	AA.404.3	Manufactured Building System, as listed, is used to eliminate soil seal smelter.	CG-4	NOTE 29		
44	AA.404.4	Material lists are included in the plans which specify the material quantity and direction for on-site cuts, for the listed systems.	CG-4	NOTE 30		
45	AA.405.1	Prefinished building materials are utilized which do not require additional painting or staining. Acceptable material list is per CALGreen AA.405.1.	CG-4	NOTE 31		
46	AA.405.2	Concrete floors that do not require additional painting or staining are used. One or more of the listed materials.	CG-4	NOTE 32		
47	AA.405.3	From rapidly renewable sources or bio-based products are used.	CG-4	NOTE 34		
48	AA.407.1	Foundation and landscape drains with discharge to an approved on-site location is installed.	CG-4	NOTE 35		
49	AA.407.2	Roof gutter and downspout system is installed to route water at least 5 feet away from the foundation or connect to landscape drains with approved on-site discharge.	CG-4	NOTE 36		
50	AA.407.3	Flashing details complying with accepted industry standards or manufacturer's instructions are provided at the details.	CG-4	NOTE 37		
51	AA.407.4	Building materials delivered to the construction site are protected from rain and other sources of moisture.	CG-4	NOTE 38		
52	AA.407.5	Exterior doors are covered to prevent water intrusion by one or more listed methods.	CG-4	NOTE 39		
53	AA.407.7	A permanent overhang or awning at least two feet in depth is provided at all exterior walls.	CG-4	NOTE 40		

ITEM #	CALGreen CODE SECTION	REQUIREMENT	REFERENCE SHEET	Note or Detail No.	Date	Installer or Designer Verification
<b>ENVIRONMENTAL QUALITY: MANDATORY REQUIREMENTS</b>						
54	4.503.1	Any installed fire protection is a direct vent sealed-combustion type. Any installed woodstove or pellet stove comply with US EPA Phase II emission standards.	CG-3	NOTE 13		
55	4.504.1	Duct openings and other related air infiltration component openings are covered during construction until final stoppage of the HVAC equipment.	CG-3	NOTE 14		
56	4.504.2.1	Adhesives, sealants and caulks are compliant with VOC and other toxic compound limits.	CG-2	Table 4.504.1, Table 4.504.2, Note 15		
57	4.504.2.2	Architectural paints and coatings are compliant with VOC limits.	CG-2	Table 4.504.3		
58	4.504.2.3	Across joints and coatings are compliant with product weighted MIR limits for VOC and other toxic compounds.	CG-3	NOTE 16		
59	4.504.2.4	Documentation is provided to the County of Santa Clara to verify that compliant VOC limit fresh materials have been used.	CG-3	NOTE 18		
60	4.504.3	Carpet and carpet systems meet the applicable testing and product requirements.	CG-2	Table 4.504.1, Table 4.504.2		
61	4.504.5	Medium density fiberboard composite wood panel formaldehyde limits.	CG-3	NOTE 19		
62	4.504.5.1	Documentation is provided to the County of Santa Clara to verify composite wood meets applicable formaldehyde limits.	CG-3	NOTE 22		
63	4.505.2	Vapor retarder and capillary break is installed at slab-on-grade foundation. Moisture content of building materials used in wall and floor framing do not exceed 19% prior to enclosure and is checked before enclosure. Insulation installed is in insulated mechanical rooms.	CG-3	NOTE 23		
64	4.505.3	Each bathroom is mechanically ventilated and comply with applicable requirements.	CG-3	NOTE 24		
65	4.506.1	Heating and air-conditioning systems are sized, designed, and equipment is installed by using one of the methods listed.	CG-3	NOTE 25		
66	4.507.2	Heating and air-conditioning systems are sized, designed, and equipment is installed by using one of the methods listed.	CG-3	NOTE 26		
<b>ENVIRONMENTAL QUALITY: TIER 1 MANDATORY REQUIREMENTS</b>						
67	AA.504.2	At least 90% of installed flooring complies with applicable VOC limits.	CG-4	NOTE 43		
68	AA.504.3	Thermal insulation in the building is installed in compliance with applicable standards.	CG-4	NOTE 44		
<b>ENVIRONMENTAL QUALITY: TIER 1 ELECTIVE REQUIREMENTS</b>						
69	AA.504.1	Composite wood products made with MFC or LDF resins are used.	CG-4	NOTE 42		
70	AA.506.2	Filters at MERV 8 or higher are used on return air openings, during construction.	CG-4	NOTE 45		
71	AA.506.3	Direct vent heating and cooling equipment is utilized where the equipment will be located in the conditioned space or the space heating and water heating equipment is located in an insulated mechanical room.	CG-4	NOTE 46		
<b>INSTALLER SPECIAL INSPECTOR QUALIFICATIONS: MANDATORY REQUIREMENTS</b>						
72	702.1	PHVC system installers are trained and certified in the proper installation of PHVC systems.	CG-3	NOTE 27		
73	702.2	If required by County of Santa Clara, owner or owner's agent shall employ special inspector who are qualified and able to demonstrate competence in the discipline they are inspecting.	CG-3	NOTE 28		
74	703.1	Documentation to demonstrate compliance with this code may include construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to County of Santa Clara which show substantial performance.	CG-3	NOTE 29		

**TABLE 4.504.1 FORMALDEHYDE LIMITS**  
Maximum Formaldehyde Emissions in Parts per Million

PRODUCT	CURRENT LIMIT
Hardwood plywood veneer core	0.05
Hardwood plywood composite core	0.05
Particleboard	0.09
Medium density fiberboard	0.11
Thin medium density fiberboard	0.13

**TABLE 4.504.2 MAXIMUM ALLOWABLE BACKLASH, UPLIGHT AND GLARE (BUG) RATINGS<sup>1</sup>**

ALLOWABLE RATING	LIGHTING ZONE 1	LIGHTING ZONE 2	LIGHTING ZONE 3	LIGHTING ZONE 4
<b>Maximum Allowable Backlight Rating<sup>2</sup></b>				
Luminaire glare from 2' mounting height (0.11) from property line	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1 - 3 Mft from property line	B2	B3	B4	B4
Luminaire back hemisphere is 0.5 - 1 Mft from property line	B1	B2	B3	B3
Luminaire back hemisphere is less than 0.5 Mft from property line	B0	B0	B1	B2
<b>Maximum Allowable Uplight Rating<sup>3</sup></b>				
For area lighting <sup>4</sup>	L10	L10	L10	L10
For all other outdoor lighting, including decorative luminaires	U1	U2	U3	U4
<b>Maximum Allowable Glare Rating<sup>5</sup></b>				
Luminaire glare from 2' Mft from property line	G3	G2	G3	G4
Luminaire glare from 1 - 2 Mft from property line	G0	G1	G1	G2
Luminaire glare from 0.5 - 1 Mft from property line	G0	G0	G1	G1
Luminaire back hemisphere is less than 0.5 Mft from property line	G0	G0	G0	G1

1. Backlighting, Uplight, Glare and Bug ratings are applicable only to Lighting Zone as defined in the California Energy Code, Chapter 10 of the California Administrative Code.  
 2. For property lines that are public highways, highways, alleys and parking lots, the property line may be considered to be 1 foot beyond the actual property line for purposes of determining compliance with this section. For property lines that are public roads and public transit corridors, the property line may be considered to be the centerline of the public roadway or public transit corridor for the purpose of determining compliance with this section.  
 3. For the same property line or line that is equal to two mounting heights from the back hemisphere of the luminaire distribution, the applicable reduced backlight rating shall be met.  
 4. General lighting luminaires to serve such as outdoor parking, walk or storage lots shall meet these reduced ratings. Decorative luminaires located in these areas shall meet the applicable ratings for all other outdoor lighting.  
 5. When the same property line is less than or equal to two mounting heights from the front hemisphere of the luminaire distribution, the applicable reduced glare rating shall be met.



Architect:  
 Envisuity Group, Inc  
 Hayes Shair  
 2443 Fillmore St.  
 San Francisco, CA, 94115  
 (310) 869-1469

Stamp:  
**DRAFT**  
**(NOT FOR CONSTRUCTION)**

Revision: \_\_\_\_\_ By: \_\_\_\_\_  
 Date: 2022 10 19 PLANNING CYC1

Project:  
**Lu Residence**

Project Address:  
 18440 Graystone Lane San Jose CA 94150

Client:  
 William Lu  
 1522 Husted Avenue  
 San Jose CA 95125

Issue:  
**PLANNING SUBMITTAL**

Drawing Title:  
**CALGREEN Checklist**

Date: 12/21/2022  
 Job Number: 2022 5  
 Drawing Number: **A.03**







Architect:  
**Enviqualty Group, Inc**  
**Hayes Shair**  
**2443 Fillmore St.**  
**San Francisco, CA, 94115**  
**(310) 869-1469**

**CALGREEN 2019 NOTES – MANDATORY REQUIREMENTS:**

1. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A larger COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.

2. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEMS WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. SWALES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

3. NEW CONSTRUCTION SHALL COMPLY WITH CALGREEN SECTION 4.106.4.1 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, ARTICLE 625.

**EXCEPTIONS:**

A. WHERE COUNTY OF SANTA CLARA HAS DETERMINED EV CHARGING AND INFRASTRUCTURE ARE NOT FEASIBLE.  
 B. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS (JADU) WITHOUT ADDITIONAL PARKING FACILITIES.

4. FOR EACH DWELLING UNIT, INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL NOT BE LESS THAN TRADE SIZE 1 (NOMINAL 1/4-INCH INSIDE DIAMETER). THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER. RACEWAYS ARE REQUIRED TO BE CONTINUOUS AT ENCLOSED, INACCESSIBLE OR CONCEALED AREAS AND SPACES. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

5. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY, OR FINAL PERMIT APPROVAL, BY BUILDING AND INSPECTION DIVISION. SEE CIVIL CODE SECTION 1101.1, ET SEQ., FOR THE DEFINITION OF A NONCOMPLIANT PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER IMPORTANT ENACTMENT DATES.

A. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.

B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.

C. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

D. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

E. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

6. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

7. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

8. NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE DISINFECTED TERTIARY RECYCLED WATER IS AVAILABLE FROM A MUNICIPAL SOURCE TO A CONSTRUCTION SITE, MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED, ALLOWING THE USE OF RECYCLED WATER FOR RESIDENTIAL LANDSCAPE IRRIGATION SYSTEMS. SEE CHAPTER 15 OF THE CALIFORNIA PLUMBING CODE.

9. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

10. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN SECTION 4.408.2 OR 4.408.3.

A. A CONSTRUCTION WASTE MANAGEMENT PLAN IS PROVIDED. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE COUNTY OF SANTA CLARA.

1. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
2. SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
3. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

B. A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE COUNTY OF SANTA CLARA. SEE CALGREEN 4.408.3 FOR FURTHER DETAILS

11. DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH NOTE 10.

12. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE COUNTY OF SANTA CLARA INCLUDES ALL OF THE REQUIRED INFORMATION, SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.

13. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGULATION 6, RULE 3.

14. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

15. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.504.1 OR 4.504.2 AS REPRODUCED ON SHEET CG-1. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED BELOW.

AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

16. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS AS SHOWN IN TABLE 4.504.3 SHEET CG-1. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NON-FLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3. SHEET CG-1 SHALL APPLY.

17. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR VOC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

18. VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

19. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:  
 A. CARPET AND RUG INSTITUTES' GREEN LABEL PLUS PROGRAM.  
 B. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).  
 C. NSF/ANSI 140 AT THE GOLD LEVEL.  
 D. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD.

20. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

- A. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
- B. PRODUCTS CERTIFIED UNDER IUL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM).
- C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSORE PROGRAM.
- D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).

21. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5 SHEET CG-1.

22. VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

23. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:  
 A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

- A. A 4-INCH-THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURTLING, SHALL BE USED.
- B. A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL.

24. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLLOW THE MANUFACTURERS' DRYING RECOMMENDATIONS PRIOR TO ENCLOSURE.

25. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:

- A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.  
 1. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF  $\leq$  50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.  
 2. A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.

26. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

- A. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL 3—2016 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- B. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D—2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S—2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

27. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS INCLUDING DUCTS AND EQUIPMENT BY A NATIONAL OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCERTIFIED PERSONS MAY PERFORM HVAC INSTALLATIONS WHEN UNDER THE DIRECT SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.

28. IF REQUIRED BY THE COUNTY OF SANTA CLARA, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH THIS CODE. SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE COUNTY OF SANTA CLARA FOR THE PARTICULAR TYPE OF INSPECTION OR TASK TO BE PERFORMED. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH NO FINANCIAL INTEREST IN THE MATERIALS OR THE PROJECT THEY ARE INSPECTING FOR COMPLIANCE WITH THIS CODE.

29. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

Stamp:  
**DRAFT**  
**(NOT FOR**  
**CONSTRUCTION)**

Revision  
 Date: \_\_\_\_\_ By: \_\_\_\_\_

2022 10 19 PLANNING CYC1

Project:  
**Lu Residence**

Project Address:

18440 Graystone Lane San Jose CA 94150

Drawn By:  
**William Lu**  
**1522 Husted Avenue**  
**San Jose CA 95125**

Issue:  
**PLANNING SUBMITTAL**

Drawing Title:  
**CALGREEN Checklist**

Scale:

Date: **12/12/2022** Drawing Number:

Job Number: **2022\_5**

Drawn By: **HS**

**A.05**





Architect:  
**Envisuality Group, Inc**  
 Hayes Shair  
 2443 Fillmore St.  
 San Francisco, CA, 94115  
 (310) 869-1469

**EEN 2019 NOTES – TIER 1 REQUIREMENTS:**

WHICH COMPLIES WITH AT LEAST ONE OF THE FOLLOWING CHARACTERISTICS SELECTED:

- INFILL SITE.
- REYFIELD SITE.
- EPA-RECOGNIZED AND REMEDIATED BROWNFIELD SITE.
- TATE COMMUNITY CONNECTIVITY BY ONE OF THE FOLLOWING METHODS:
  - ATE PROJECT WITHIN A ¼ MILE TRUE WALKING DISTANCE OF AT LEAST FOUR SIC SERVICES, READILY ACCESSIBLE BY PEDESTRIANS.
  - ATE PROJECT WITHIN A ½ MILE TRUE WALKING DISTANCE OF AT LEAST SEVEN SIC SERVICES, READILY ACCESSIBLE BY PEDESTRIANS.
  - ER METHODS INCREASING ACCESS TO ADDITIONAL RESOURCES.

3 OF SERVICES INCLUDE, BUT ARE NOT LIMITED TO, BANK, PLACE OF WORSHIP, BNCE GROCERY, DAY CARE, CLEANERS, FIRE STATION, BARBER SHOP, BEAUTY ROWARE STORE, LAUNDRY, LIBRARY, MEDICAL CLINIC, DENTAL CLINIC, SENIOR LITTY, PARK, PHARMACY, POST OFFICE, RESTAURANT, SCHOOL, SUPERMARKET, COMMUNITY CENTER, FITNESS CENTER, MUSEUM OR FARMERS MARKET.

DUALS WITH OVERSIGHT AUTHORITY ON THE PROJECT WHO HAVE BEEN IN AREAS RELATED TO ENVIRONMENTALLY FRIENDLY DEVELOPMENT SHALL ENURE CONCEPTS TO OTHER MEMBERS OF THE DEVELOPMENT STAFF AND ENSURE JING IS PROVIDED TO ALL PARTIES ASSOCIATED WITH THE DEVELOPMENT OF ECT.

BEGINNING THE CONSTRUCTION ACTIVITIES, ALL PARTIES INVOLVED WITH LOPMENT PROCESS SHALL RECEIVE A WRITTEN GUIDELINE AND INSTRUCTION VG THE GREEN GOALS OF THE PROJECT.

LVAGED MATERIALS FROM DECONSTRUCTION OF EXISTING BUILDINGS ON THE L BUILDING STANDARDS REQUIREMENTS OR BE AN ACCEPTED ALTERNATE R BUILDING MATERIAL.

S WHICH CAN BE EASILY REUSED INCLUDE BUT ARE NOT LIMITED TO THE VG:

- HT FIXTURES.
- MBING FIXTURES.
- ORS AND TRIM.
- SONRY.
- TRICAL DEVICES.
- LANCES.
- JNDATIONS OR PORTIONS OF FOUNDATIONS.

MATERIAL SHALL BE IN COMPLIANCE WITH THE APPROPRIATE TITLE 24 ENITS.

NO SITE SOIL ANALYSIS SHALL BE PERFORMED BY A LICENSED DESIGN ONAL AND THE FINDINGS SHALL BE UTILIZED IN THE STRUCTURAL DESIGN OF DING.

ECT OF DEVELOPMENT ON BUILDING SITES SHALL BE EVALUATED AND THE L BE PROTECTED BY ONE OR MORE OF THE FOLLOWING:

TURAL DRAINAGE PATTERNS SHALL BE EVALUATED AND EROSION CONTROLS AL BE IMPLEMENTED TO MINIMIZE EROSION DURING CONSTRUCTION AND ER OCCUPANCY.

E ACCESS SHALL BE ACCOMPLISHED BY MINIMIZING THE AMOUNT OF CUT AND L NEEDED TO INSTALL ACCESS ROADS AND DRIVEWAYS.

ALLOWED BY OTHER PARTS OF THE CALIFORNIA BUILDING STANDARDS CODE, DERGROUND CONSTRUCTION ACTIVITIES SHALL BE COORDINATED TO UTILIZE I SAME TRENCH, MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS OSED AND THE SOIL SHALL BE REPLACED USING ACCEPTED COMPACTION THODS.

IL SHALL BE PROTECTED OR SAVED FOR REUSE. DISPLACED TOPSOIL SHALL BE ED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM PROTECTION FROM EROSION INCLUDES COVERING WITH TARPS, STRAW, HIPPED WOOD, VEGETATIVE COVER, OR OTHER MEANS ACCEPTABLE TO THE F SANITA CLARA TO PROTECT THE TOPSOIL FOR LATER USE.

ONSTRUCTION LANDSCAPE DESIGNS SHALL ACCOMPLISH ONE OR MORE OF THE VG:

SAS DISRUPTED DURING CONSTRUCTION SHALL BE RESTORED TO BE NSISTENT WITH NATIVE VEGETATION SPECIES AND PATTERNS.

BLE AT LEAST 75 PERCENT NATIVE CALIFORNIA OR DROUGHT TOLERANT PLANT D TREE SPECIES APPROPRIATE FOR THE CLIMATE ZONE REGION.

LZE PAVING SHALL BE UTILIZED FOR HOT LESS THAN 20 PERCENT OF THE RING, WALKING OR PATIO SURFACES.

ARY DRIVEWAY, PRIMARY ENTRY WALKWAY AND ENTRY PORCH OR LANDING I BE INCLUDED WHEN CALCULATING THE AREA REQUIRED TO BE A PERMEABLE .

ALL A VEGETATED ROOF FOR AT LEAST 50 PERCENT OF THE ROOF AREA. D ROOFS SHALL COMPLY WITH REQUIREMENTS FOR ROOF GREENS AND ED ROOFS IN THE CALIFORNIA BUILDING CODE, CHAPTER 15 AND CHAPTER

CE NONROOF HEAT ISLANDS FOR 50 PERCENT OF SIDEWALKS, PATIOS, YS OR OTHER PAVED AREAS BY USING ONE OR MORE OF THE METHODS LISTED.

ES OR OTHER PLANTINGS TO PROVIDE SHADE AND THAT MATURE WITHIN 15 RBS OF PLANTING. TREES SHOULD BE NATIVE OR ADAPTIVE TO THE REGION D CLIMATE ZONES AND NONINVASIVE; HARDY AND RESISTANT TO DROUGHT, ICTS AND DISEASE; EASY TO MAINTAIN (NO FREQUENT SHEDDING OF TWIGS, NCHES, UNWANTED FRUIT OR SEED PODS); AND SUITABLE IN MATURE SIZE.

AND ENVIRONMENTAL REQUIREMENTS FOR THE SITE. TREE SELECTION AND PLACEMENT SHOULD CONSIDER LOCATION AND SIZE OF AREAS TO BE SHADED, LOCATION OF UTILITIES, VIEWS FROM THE STRUCTURE, DISTANCE TO SIDEWALKS AND FOUNDATIONS, OVERHANGS ONTO ADJACENT PROPERTIES AND STREETS; OTHER INFRASTRUCTURE AND ADJACENT TO LANDSCAPING. IN ADDITION, SHADING SHALL NOT CAST A SHADOW, AS SPECIFIED, ON ANY NEIGHBORING SOLAR COLLECTORS PURSUANT TO AN INITIAL RESOURCES CODE SECTION 25981, ET SEQ. (SOLAR SHADE CONTROL ACT).

B. USE HIGH ALBEDO MATERIALS WITH AN INITIAL SOLAR REFLECTANCE VALUE OF AT LEAST 0.30 AS DETERMINED IN ACCORDANCE ASTM E1918 OR C1549.

C. USE OPEN GRID PAVEMENT SYSTEM OR PERVIOUS OR PERMEABLE PAVEMENT SYSTEM.

D. LOCATE 50 PERCENT OF PARKING UNDERGROUND OR USE MULTILEVEL PARKING.

E. OTHER METHODS OF REDUCING HEAT ISLAND EFFECTS ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

12. FOR EACH DWELLING UNIT, INSTALL A DEDICATED 208/240-VOLT BRANCH CIRCUIT IN THE RACEWAY REQUIRED BY CALGREEN SECTION 4.106.4.1 (SEE SHEET GB-2 NOTE 4). THE BRANCH CIRCUIT AND ASSOCIATED OVERCURRENT PROTECTIVE DEVICE SHALL BE RATED AT 40 AMPERES MINIMUM. OTHER ELECTRICAL COMPONENTS, INCLUDING A RECEPTACLE OR BLANK COVER, RELATED TO THIS SECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.

THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE DESIGNATED FOR FUTURE EV CHARGING PURPOSES AS "EV READY" IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. THE RECEPTACLE OR BLANK COVER SHALL BE IDENTIFIED AS "EV READY."

13. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING:

- A. THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 1-4 AS DEFINED IN CHAPTER 10 OF THE CALIFORNIA ADMINISTRATIVE CODE; AND
- B. BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS AS DEFINED IN IES TM-15-11; AND
- C. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN CALGREEN TABLE A4.106.10.

EXCEPTIONS:

- 1. LUMINAIRES THAT QUALIFY AS EXCEPTIONS IN THE CALIFORNIA ENERGY CODE.
- 2. EMERGENCY LIGHTING.
- 3. ONE- AND TWO-FAMILY DWELLINGS.

14. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.5 GALLONS PER MINUTE AT 60 PSI. WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

15. ALTERNATE NONPOTABLE WATER SOURCES SHALL BE USED FOR INDOOR POTABLE WATER REDUCTION. ALTERNATE NONPOTABLE WATER SOURCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

16. INSTALL AT LEAST ONE QUALIFIED ENERGY STAR DISHWASHER OR CLOTHES WASHER.

17. NONWATER URINALS OR COMPOSTING TOILETS SHALL BE INSTALLED, WHERE APPROVED, HYBRID URINALS, AS DEFINED IN CALGREEN CHAPTER 2, SHALL BE CONSIDERED NONWATER URINALS.

18. ONE- AND TWO-FAMILY DWELLINGS SHALL BE EQUIPPED WITH A DEMAND HOT WATER RECIRCULATION SYSTEM, AS DEFINED IN CALGREEN CHAPTER 2. THE DEMAND HOT WATER RECIRCULATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, CALIFORNIA ENERGY CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

19. AN APPROVED RAINWATER CATCHMENT SYSTEM SHALL BE DESIGNED AND INSTALLED TO USE RAINWATER GENERATED BY AT LEAST 65 PERCENT OF THE AVAILABLE ROOF AREA. RAINWATER CATCHMENT SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

20. WHEN LANDSCAPING IS PROVIDED AND AS ALLOWED BY LOCAL ORDINANCE, A WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN THAT ELIMINATES THE USE OF POTABLE WATER BEYOND THE INITIAL REQUIREMENTS FOR PLANT INSTALLATION AND ESTABLISHMENT SHALL BE PROVIDED. METHODS USED TO ACCOMPLISH THE REQUIREMENTS OF THIS SECTION SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING STANDARDS CODE AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- A. USE OF CAPTURED RAINWATER.
- B. USE OF RECYCLED WATER.
- C. WATER TREATED FOR IRRIGATION PURPOSES AND CONVEYED BY A WATER DISTRICT OR PUBLIC ENTITY.
- D. USE OF GRAYWATER.
- E. USE OF DROUGHT TOLERANT PLANTS.

21. FOR NEW WATER SERVICE CONNECTIONS, LANDSCAPED IRRIGATED AREAS LESS THAN 5,000 SQUARE FEET SHALL BE PROVIDED WITH SEPARATE SUBMETERS OR METERING DEVICES FOR OUTDOOR POTABLE WATER USE.

22. ALTERNATIVE PLUMBING PIPING SHALL BE INSTALLED TO PERMIT THE DISCHARGE FROM THE CLOTHES WASHER OR OTHER FIXTURES TO BE USED FOR AN IRRIGATION SYSTEM IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.

23. BASED ON PROJECTED AVAILABILITY, DUAL WATER PIPING SHALL BE INSTALLED FOR FUTURE USE OF RECYCLED WATER AT THE FOLLOWING LOCATIONS:

- A. INTERIOR PIPING FOR THE USE OF RECYCLED WATER SHALL BE INSTALLED TO SERVE ALL WATER CLOSETS, URINALS AND FLOOR DRAINS.
- B. EXTERIOR PIPING IS INSTALLED TO TRANSPORT RECYCLED WATER FROM THE POINT OF CONNECTION TO THE STRUCTURE. RECYCLED WATER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

24. RECYCLED WATER SHALL BE USED FOR LANDSCAPE IRRIGATION.

25. AS ALLOWED BY LOCAL CONDITIONS, UTILIZE A FROST-PROTECTED SHALLOW FOUNDATION (FPSF) IN COMPLIANCE WITH THE CALIFORNIA RESIDENTIAL CODE (CRC). WHEN AN FPSF FOUNDATION SYSTEM IS INSTALLED, THE MANUAL REQUIRED BY CALGREEN SECTION 4.410.1 SHALL INCLUDE INSTRUCTIONS TO THE OWNER OR OCCUPANT REGARDING THE NECESSITY FOR HEATING THE STRUCTURE AS REQUIRED IN SECTION R403.3 OF THE CALIFORNIA RESIDENTIAL CODE.

26. AS ALLOWED BY THE COUNTY OF SANTA CLARA, CEMENT USED IN FOUNDATION MIX DESIGN SHALL BE REDUCED NOT LESS THAN 20 PERCENT. PRODUCTS COMMONLY USED TO REPLACE CEMENT IN CONCRETE MIX DESIGNS INCLUDE, BUT ARE NOT LIMITED TO:

- A. FLY ASH.
- B. SLAG.
- C. SILICA FUME.
- D. RICE HULL ASH.

27. BEAMS, HEADERS AND TRIMMERS SHALL BE SIZED AND INSTALLED AS SPECIFIED IN CHAPTER 23 OF THE CALIFORNIA BUILDING CODE, OR CHAPTER 6 OF THE CALIFORNIA RESIDENTIAL CODE, AS APPLICABLE. OTHER CALCULATIONS ACCEPTABLE TO THE COUNTY OF SANTA CLARA WHICH USE THE MINIMUM SIZE MEMBER FOR THE TRIBUTARY LOAD IS ACCEPTABLE.

28. BUILDING DIMENSIONS AND LAYOUTS SHALL BE DESIGNED TO MINIMIZE WASTE BY ONE OR MORE OF THE FOLLOWING MEASURES IN AT LEAST 80 PERCENT OF THE STRUCTURE:

- A. BUILDING DESIGN DIMENSIONS IN 2-FOOT INCREMENTS ARE USED.
- B. WINDOWS AND DOORS ARE LOCATED AT REGULAR 16" OR 24" STUD POSITIONS.
- C. OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

29. PREMANUFACTURED BUILDING SYSTEMS SHALL BE USED TO ELIMINATE SOLID SAW LUMBER WHENEVER POSSIBLE. ONE OR MORE OF THE FOLLOWING PREMANUFACTURED BUILDING SYSTEMS IS USED:

- A. COMPOSITE FLOOR JOIST OR PREMANUFACTURED FLOOR FRAMING SYSTEM.
- B. COMPOSITE ROOF RAFTERS OR PREMANUFACTURED ROOF FRAMING SYSTEM.
- C. PANELIZED (SIPS, ICF OR SIMILAR) FRAMING SYSTEMS.
- D. OTHER METHODS APPROVED BY THE COUNTY OF SANTA CLARA.

30. MATERIAL LISTS SHALL BE INCLUDED IN THE PLANS WHICH SPECIFY THE MATERIAL QUANTITY AND PROVIDE DIRECTION FOR ON-SITE CUTS TO BE MADE FROM THE MATERIAL PROVIDED. MATERIAL LISTS AND DIRECTION SHALL BE PROVIDED FOR THE FOLLOWING SYSTEMS:

- A. FLOOR FRAMING.
- B. WALL FRAMING.
- C. CEILING AND ROOF FRAMING.
- D. STRUCTURAL PANELS AND ROOF SHEATHING.

31. UTILIZE PREFINISHED BUILDING MATERIALS WHICH DO NOT REQUIRE ADDITIONAL PAINTING OR STAINING WHEN POSSIBLE. ONE OR MORE OF THE FOLLOWING BUILDING MATERIALS THAT DO NOT REQUIRE ADDITIONAL RESOURCES FOR FINISHING ARE USED:

- A. EXTERIOR TRIM NOT REQUIRING PAINT OR STAIN.
- B. WINDOWS NOT REQUIRING PAINT OR STAIN.
- C. SIDING OR EXTERIOR WALL COVERINGS WHICH DO NOT REQUIRE PAINT OR STAIN.

32. CONCRETE FLOORS THAT DO NOT REQUIRE ADDITIONAL COVERINGS SHALL BE USED INCLUDING BUT NOT LIMITED TO STAINED, NATURAL OR STAMPED CONCRETE FLOORS.

33. USE MATERIALS, EQUIVALENT IN PERFORMANCE TO VIRGIN MATERIALS WITH A TOTAL (COMBINED) RECYCLED CONTENT VALUE (RCV) OF NOT BE LESS THAN 10 PERCENT OF THE TOTAL MATERIAL COST OF THE PROJECT.

REQUIRED TOTAL RCV (DOLLARS) = TOTAL MATERIAL COST(DOLLARS) × 10 PERCENT

FOR THE PURPOSES OF THIS SECTION, MATERIALS USED AS COMPONENTS OF THE STRUCTURAL FRAME SHALL NOT BE USED TO CALCULATE RECYCLED CONTENT. THE STRUCTURAL FRAME INCLUDES THE LOAD BEARING STRUCTURAL ELEMENTS, SUCH AS WALL, STUDS, PLATES, SILLS, COLUMNS, BEAMS, GIRDERS, JOISTS, RAFTERS AND TRUSSES. SAMPLE FORMS WHICH ALLOW USER INPUT, LOCATED AT SHEET CG-4, MAY BE USED TO SIMPLIFY DOCUMENTING COMPLIANCE WITH THIS SECTION AND FOR CALCULATING RECYCLED CONTENT VALUE OF MATERIALS OR ASSEMBLY PRODUCTS.

SOURCES AND RECYCLED CONTENT OF SOME RECYCLED MATERIALS CAN BE OBTAINED FROM CALRECYCLE IF NOT PROVIDED BY THE MANUFACTURER.

FOR FURTHER INSTRUCTION SEE CALGREEN A4.405.3.

34. ONE OR MORE OF THE FOLLOWING MATERIALS MANUFACTURED FROM RAPIDLY RENEWABLE SOURCES OR AGRICULTURAL BY-PRODUCTS SHALL BE USED:

- A. INSULATION.
- B. BAMBOO OR CORK.
- C. ENGINEERED PRODUCTS.
- D. AGRICULTURAL BASED PRODUCTS.
- E. OTHER PRODUCTS ACCEPTABLE TO THE ENFORCING AGENCY.

THE INTENT OF THIS SECTION IS TO UTILIZE BUILDING MATERIALS AND PRODUCTS WHICH ARE TYPICALLY HARVESTED WITHIN A 10-YEAR OR SHORTER CYCLE.

35. INSTALL FOUNDATION AND LANDSCAPE DRAINS WHICH DISCHARGE TO A DRY WELL, SUMP, BIOSWALE OR OTHER APPROVED ON-SITE LOCATION.

36. INSTALL GUTTER AND DOWNSPOUT SYSTEMS TO ROUTE WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION OR CONNECT TO LANDSCAPE DRAINS WHICH DISCHARGE

TO A DRY WELL, SUMP, BIOSWALE, RAINWATER CAPTURE SYSTEM OR OTHER APPROVED ON-SITE LOCATION.

37. PROVIDE FLASHING DETAILS ON THE BUILDING PLANS WHICH COMPLY WITH ACCEPTED INDUSTRY STANDARDS OR MANUFACTURER'S INSTRUCTIONS. DETAILS SHALL BE SHOWN ON HOUSE PLANS AT ALL OF THE FOLLOWING LOCATIONS:

- A. AROUND WINDOWS AND DOORS.
- B. ROOF VALLEYS.
- C. DECK CONNECTIONS TO THE STRUCTURE.
- D. ROOF-TO-WALL INTERSECTIONS.
- E. CHIMNEYS TO ROOF INTERSECTIONS.
- F. DRIP CAPS ABOVE WINDOWS AND DOORS WITH ARCHITECTURAL PROJECTIONS.

38. PROTECT BUILDING MATERIALS DELIVERED TO THE CONSTRUCTION SITE FROM RAIN AND OTHER SOURCES OF MOISTURE.

39. EXTERIOR DOORS TO THE DWELLING SHALL BE COVERED TO PREVENT WATER INTRUSION BY ONE OR MORE OF THE FOLLOWING:

- A. AN AWNING AT LEAST 4 FEET IN DEPTH IS INSTALLED.
- B. THE DOOR IS PROTECTED BY A ROOF OVERHANG AT LEAST 4 FEET IN DEPTH.
- C. THE DOOR IS RECESSED AT LEAST 4 FEET.
- D. OTHER METHODS WHICH PROVIDE EQUIVALENT PROTECTION.

40. A PERMANENT OVERHANG OR AWNING AT LEAST 2 FEET IN DEPTH SHALL BE PROVIDED AT ALL EXTERIOR WALLS.

41. NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH THE FOLLOWING:

AT LEAST A 65 PERCENT REDUCTION. ANY MIXED RECYCLABLES THAT ARE SENT TO MIXED-WASTE RECYCLING FACILITIES SHALL INCLUDE A QUALIFIED THIRD PARTY VERIFIED FACILITY AVERAGE DIVERSION RATE. VERIFICATION OF DIVERSION RATES SHALL MEET MINIMUM CERTIFICATION ELIGIBILITY GUIDELINES, ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATES COMPLIANCE WITH THIS SECTION. DOCUMENTATION SHALL BE IN COMPLIANCE WITH CALGREEN SECTION 4.409.5.

42. USE COMPOSITE WOOD PRODUCTS MADE WITH EITHER CALIFORNIA AIR RESOURCES BOARD APPROVED NO-ADDED FORMALDEHYDE (NAF) RESINS OR ULTRA-LOW EMITTING FORMALDEHYDE (ULEF) RESINS.

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS.

43. AT LEAST 90 PERCENT OF THE TOTAL AREA OF RESILIENT FLOORING SYSTEMS INSTALLED IN THE BUILDING SHALL COMPLY WITH THE VOC-EMISSIONS LIMITS DEFINED IN AT LEAST ONE OF THE FOLLOWING:

- A. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
- B. PRODUCTS CERTIFIED UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM.)
- C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSURE PROGRAM.
- D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION.

44. INSTALL THERMAL INSULATION IN COMPLIANCE WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL. IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE; PRODUCTS CERTIFIED UNDER THE UL GREENGUARD GOLD (FORMERLY GREENGUARD CHILDREN & SCHOOLS PROGRAM); OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350).

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THE MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION.

45. PROVIDE FILTERS ON RETURN AIR OPENINGS RATED AT MERV 8 OR HIGHER DURING CONSTRUCTION.

46. DIRECT-VENT HEATING AND COOLING EQUIPMENT SHALL BE INSTALLED IF THE EQUIPMENT WILL BE LOCATED IN THE CONDITIONED SPACE OR UTILIZE THE SPACE HEATING AND WATER HEATING EQUIPMENT IN AN ISOLATED MECHANICAL ROOM.

Stamp:

**DRAFT  
(NOT FOR  
CONSTRUCTION)**

Revision Date: 2022 10 19 PLANNING GCYC1

Project: **Lu Residence**

Project Address: **18440 Graystone Lane San Jose CA 94150**

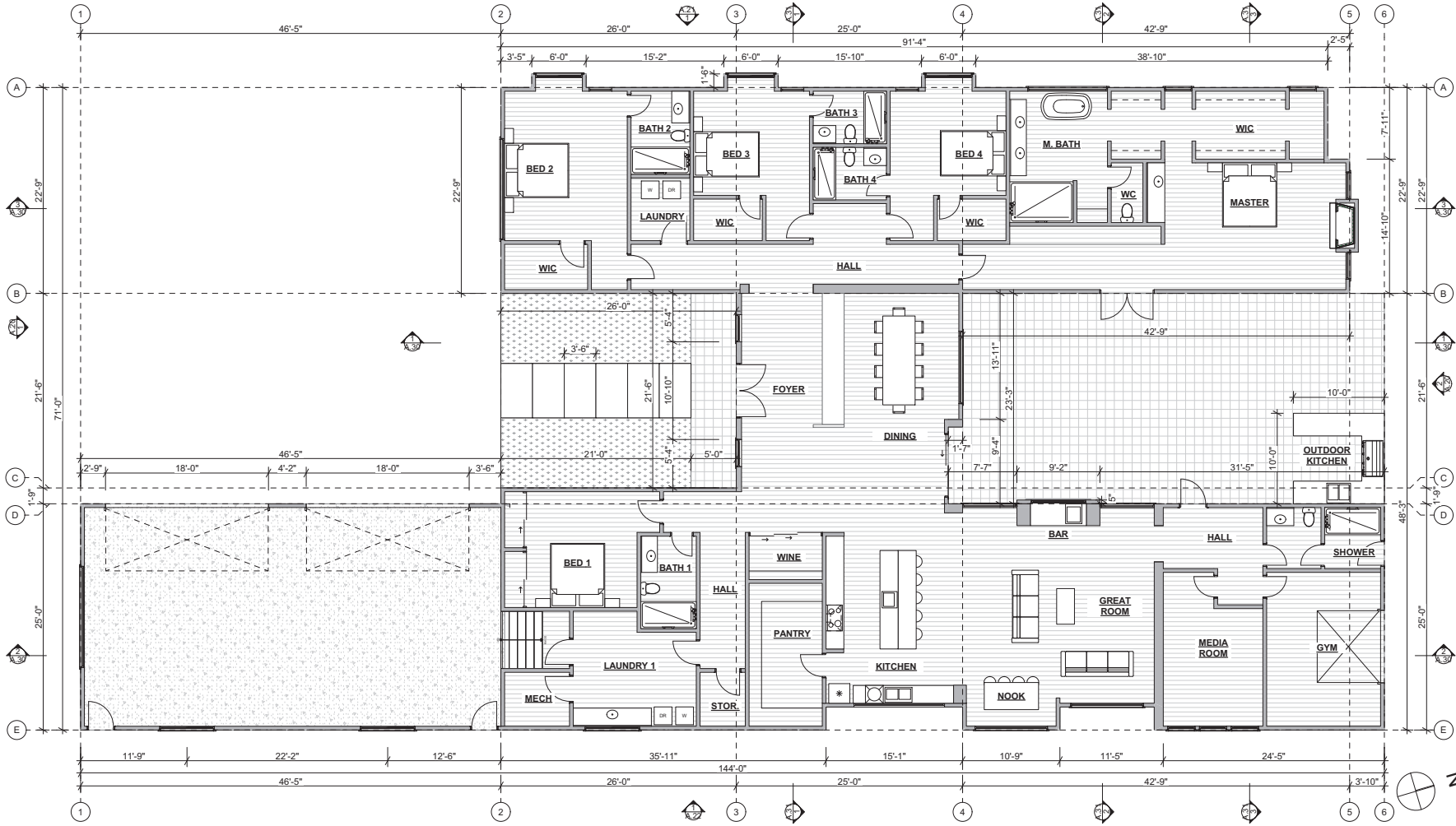
Client: **William Lu  
1522 Husted Avenue  
San Jose CA 95125**

Issue: **PLANNING SUBMITTAL**

Drawing Title: **CALGREEN Checklist**

Date:	12/12/2022	Drawing Number:	
Job Number:	2022 5	Scale:	
Drawn By:	HS		

**A.06**



Stamp:  
**DRAFT  
 (NOT FOR  
 CONSTRUCTION)**

Revision:  
 Date: 2022 10 19  
 By: PLANNING CYC1

Project:  
**Lu Residence**

Project Address:  
 18440 Graystone Lane San  
 Jose CA 94150

Client:  
 William Lu  
 1522 Husted Avenue  
 San Jose CA 95125

Issue:  
**PLANNING SUBMITTAL**

Drawing Title:  
**Ground Floor Plan**

Date: 12/12/2022  
 Job Number: 2022 5  
 Drawing Number: **A.10**

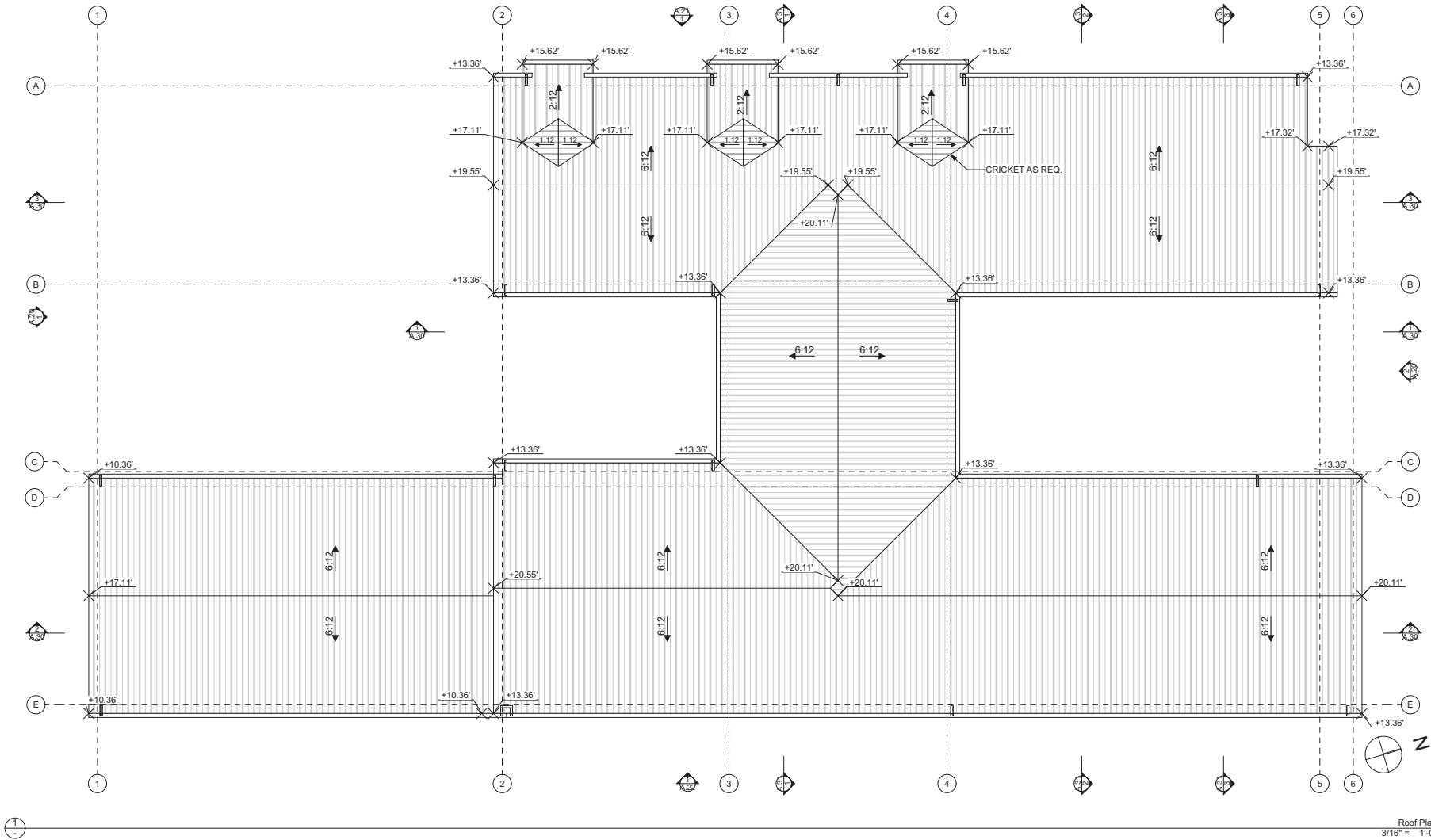
Ground Floor Plan  
 3/16" = 1'-0"

**PLAN NOTES:**

- |   |  |  |   |
|---|--|--|---|
| <p><b>1</b> MULTI-ZONE MINI-SPLIT AC UNIT PROVIDE A "TAMPER PROOF" RECEPTACLES AND LIGHTING EQUIPMENT LOCATION</p> <p><b>2</b> DRYER<br/>         1) PROVIDE A SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE W/ BACK DRAFT DAMPER/36" MIN. AWAY FROM OPENING).<br/>         2) EXCEEDS MAX. VENT DUCT LENGTH OF 14'.<br/>         PROVIDE BOOSTER FAN PER 5 / A.48</p> <p><b>3</b> 30" MIN. CLR @ SHOWER SHOWER DOOR MIN. 22" WIDE, TEMPERED. PROVIDE MIN. 30" CLEAR SPACE AROUND WATER CLOSET.</p> <p><b>4</b> ATTIC ACCESS IN CEILING. MIN. DIMENSION OF 22" X 30".</p> <p><b>5</b> MINIMUM 36" DEEP LEVEL LANDING AT ALL EXTERIOR DOORS.</p> <p><b>5b</b> 12" WIDE STEP TO GRADE CONFORM. HEIGHT TO BE 7.5" MAX AND HALF OF THE OVERALL VERTICAL DROP BETWEEN LANDING AND ADJACENT GRADE LEVEL.</p> | <p><b>6</b> PROVIDE FLOOR FRAMING TO ELIMINATE STEP IN FLOOR</p> <p><b>7</b> PROVIDE 5/8" TYPE 'X' GYP. BD. FROM FOUNDATION TO ROOF SHEATHING AT SEPARATION WALL AND CEILING BETWEEN GARAGE &amp; RESIDENCE.</p> <p><b>8</b> HEAT PUMP WATER HEATER: RHEEM PROPH65 T2 RH350 DCB OR EQ. WATTAGE: 5.000 W, 3.55-3.70 UFG</p> <p><b>9</b> PROVIDE MINIMUM 1-3/8" THICK SOLID CORE DOOR WITH SELF-CLOSING. (SELF LATCHING DOOR W/ FIRE RESISTANCE RATING OF NOT LESS THAN 20 MIN. WHEN TESTED ACCORDING TO ASTM E 2014</p> <p>NEW GRAVITY HOOD ABOVE THE STOVE TOP. WILL BE INSTALLED AND VENTED TO THE OUTSIDE ATMOSPHERE. BROAN 1-WAY. EXTERNAL BLOWER, MODEL E64E36SS OR EQ. INTERNAL BLOWER @ 600 CFM. 10" ROUND DUCT.</p> | <p><b>11</b> GUARD-RAIL AND HANDRAIL SHALL BE 42" IN HEIGHT. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38". OPENINGS BETWEEN INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. SEE SHEET 12 / A.44 FOR GUARDRAIL REQUIREMENTS</p> <p>ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GYPSUM WALLBOARD PER SEC. R302.7.</p> <p><b>12</b> PROVIDE A MINIMUM 72" NONABSORBENT SURFACE AT SHOWER/ BATH/TUB WALLS ABOVE DRAIN INLET PER CRC 3072</p> <p><b>13</b> PROVIDE ALL TOILETS SHALL HAVE MAX. 1.28 GALLON PER FLUSH.</p> <p><b>14</b> PROVIDE KITCHEN FAUCETS TO HAVE A MAX. FLOW OF 1.5 GPM @ 60 PSI PER CalGreen SEC. 4.303.1</p> | <p><b>15</b> PROVIDE ALL SHOWER HEAD (INCLUDING MULTIPLE SHOWERHEADS SERVING ONE SHOWER) TO HAVE A MAX FLOW OF 1.8 GPM @ 80 PSI. AND LAVATORY FAUCETS TO HAVE A MAX. 1.2 GPM @ 60 PSI PER 2019 CALGREEN CODE SEC. 4.303.1.3. METER FAUCETS SHALL HAVE MAX 0.2 GALLONS PER CYCLE. SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD &amp; THERMAL PROTECTION WITH MAXIMUM MIXING TEMPERATURE OF 120 DEG PER CPC 418.</p> <p><b>16</b> 18" X 24" CRAWL SPACE ACCESS.</p> <p><b>17</b> MULTI-ZONE OUTDOOR MINISPLIT CONDENSER UNIT. MOUNT ON 3" CONCRETE SLAB ON 4" A/B FOR AT-GRADE INSTALLATION. PROVIDE STANDOFFS FOR DECK LOCATIONS</p> <p><b>18</b> ELECTRIC INDUCTION COOKTOP &amp; RANGE - BOSCH OR EQ</p> |
|---|--|--|---|



Architect:  
 Envisuality Group, Inc  
 Hayes Shair  
 2443 Fillmore St.  
 San Francisco, CA, 94115  
 (310) 869-1469



Stamp:

**DRAFT  
 (NOT FOR  
 CONSTRUCTION)**

Revision:  
 Date: 2022 10 19 PLANNING CYC1

Project:  
**Lu Residence**

Project Address:  
 18440 Graystone Lane San  
 Jose CA 94150

Client:  
 William Lu  
 1522 Husted Avenue  
 San Jose CA 95125

Issue:  
**PLANNING SUBMITTAL**

Drawing Title:  
**Roof Plan**

Scale:  
 Date: 12/12/2022 Drawing  
 Job Number: 2022 5 Number  
 Drawn By: HS

**A.11**

Roof Plan  
 3/16" = 1'-0"

Stamp:

**DRAFT  
(NOT FOR  
CONSTRUCTION)**

Revision  
Date: 2022 10 19  
By: PLANNING CYC1

Project:  
**Lu Residence**

Project Address:  
**18440 Graystone Lane San  
Jose CA 94150**

Client:  
**William Lu  
1522 Husted Avenue  
San Jose CA 95125**

Issue:  
**PLANNING SUBMITTAL**

Drawing Title:

**Ground Floor & Roof  
Plan - ADU**

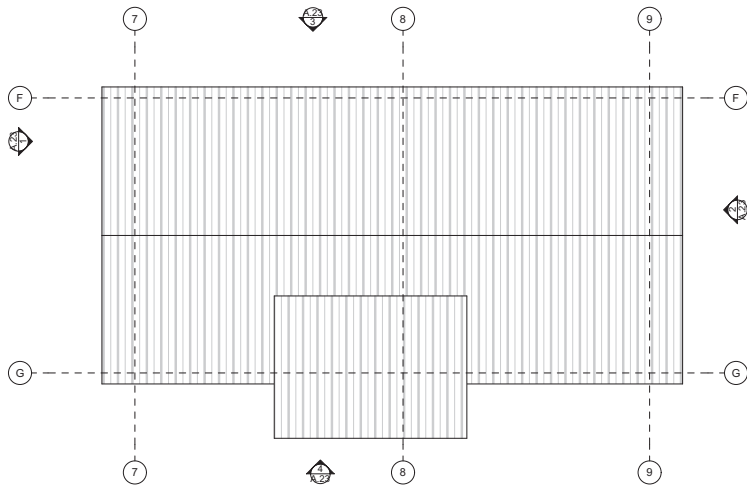
Scale:

Date: 12/12/2022

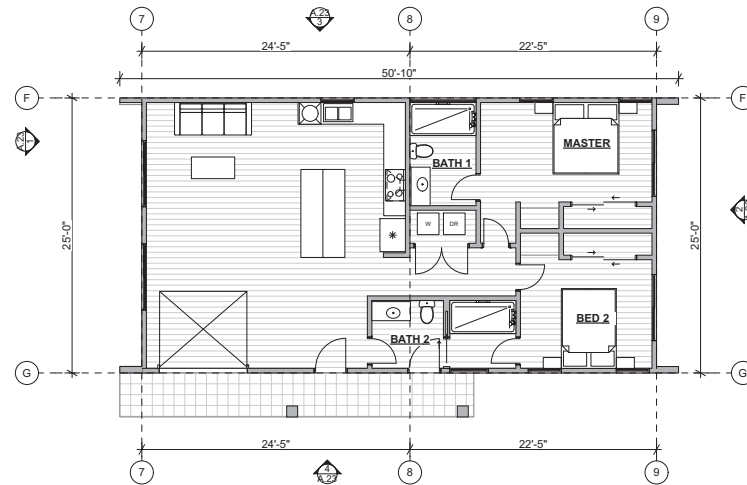
Job Number: 2022\_5

Drawn By: HS

Drawing  
Number:  
**A.12**



Roof Plan - ADU  
3/16" = 1'-0"



Ground Floor Plan - ADU  
3/16" = 1'-0"

**PLAN NOTES:**

- 1** MULTI-ZONE MINI-SPLIT AC UNIT  
PROVIDE A "TAMPER PROOF" RECEPTACLES AND LIGHTING EQUIPMENT  
LOCATION

- 2** **DRYER**  
1) PROVIDE A SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO  
OUTSIDE W/ BACK DRAFT DAMPER; 36" MIN. AWAY FROM OPENING).  
2) EXCEEDS MAX. VENT DUCT LENGTH OF 14'.  
PROVIDE BOOSTER FAN PER 5 / A.48

- 3** 30" MIN. CLR @ SHOWER SHOWER DOOR MIN. 22" WIDE, TEMPERED. PROVIDE  
MIN. 30" CLEAR SPACE AROUND WATER CLOSET.

- 4** ATTIC ACCESS IN CEILING. MIN. DIMENSION OF 22" x 30".

- 5** MINIMUM 36" DEEP LEVEL LANDING AT ALL EXTERIOR DOORS.

- 5b** 12" WIDE STEP TO GRADE CONFORM. HEIGHT TO BE 7.5" MAX AND HALF OF THE  
OVERALL VERTICAL DROP BETWEEN LANDING AND ADJACENT GRADE LEVEL.

- 6** PROVIDE FLOOR FRAMING TO ELIMINATE STEP IN FLOOR

- 7** PROVIDE 5/8" TYPE 'X' GYP. BD. FROM FOUNDATION TO ROOF  
SHEATHING AT SEPARATION WALL AND CEILING BETWEEN GARAGE &  
RESIDENCE.

- 8** HEAT PUMP WATER HEATER: RHEEM PROPH65 T2 RHP350 DCB OR EQ.  
WATTAGE: 5,000 W, 3.55-3.70 UEF

- 9** PROVIDE MINIMUM 1-3/8" THICK SOLID CORE DOOR WITH SELF-CLOSING,  
(SELF LATCHING DOOR W/ FIRE RESISTANCE RATING OF NOT LESS THAN 20  
MIN. WHEN TESTED ACCORDING TO ASTM E 2014

- 10** NEW GRAVITY HOOD ABOVE THE STOVE TOP. WILL BE INSTALLED AND  
VENTED TO THE OUTSIDE ATMOSPHERE. BROAN 1-WAY. EXTERNAL  
BLOWER, MODEL E64E36SS OR EQ. INTERNAL BLOWER @ 600 CFM. 10"  
ROUND DUCT.

- 11** GUARD-RAIL AND HANDRAIL SHALL BE 42" IN HEIGHT. HANDRAIL HEIGHT,  
MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD  
NOSING, OR FINISH SURFACE OF RAMP, SHALL BE NOT LESS THAN 34  
INCHES AND NOT MORE THAN 38". OPENINGS BETWEEN INTERMEDIATE  
RAILS TO BE SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH.  
SEE SHEET 12-A.44 FOR GUARDRAIL REQUIREMENTS

- 12** ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS,  
UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE  
ENCLOSED SIDE WITH 1/2-INCH GYPSUM WALLBOARD PER SEC. R302.7.

- 13** PROVIDE A MINIMUM 72" NONABSORBENT SURFACE AT SHOWER/ BATHTUB  
WALLS ABOVE DRAIN INLET PER CRC 3072

- 14** PROVIDE ALL TOILETS SHALL HAVE MAX. 1.28 GALLON PER FLUSH.

- 15** PROVIDE KITCHEN FAUCETS TO HAVE A MAX. FLOW OF 1.5 GPM @ 60 psi PER  
CalGreen Sec. 4.303.1

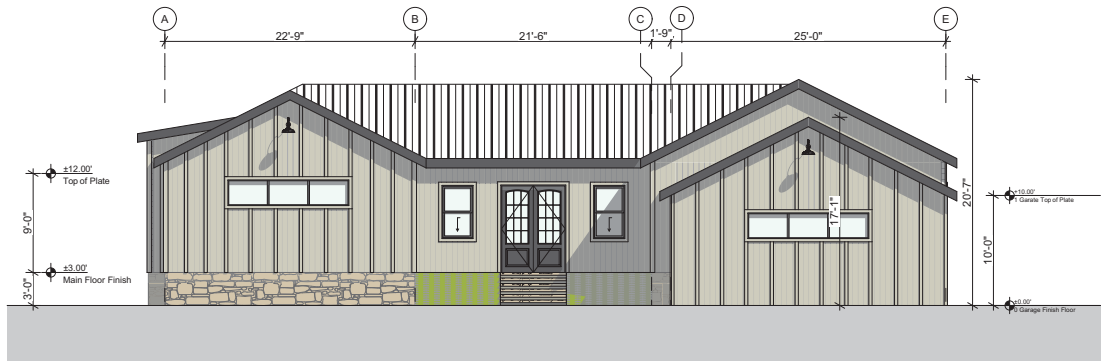
- 16** PROVIDE ALL SHOWER HEAD (INCLUDING MULTIPLE SHOWERHEADS SERVING ONE SHOWER)  
TO HAVE A MAX FLOW OF 1.8 GPM @ 80 PSI. AND LAVATORY FAUCETS TO HAVE A MAX. 1.2 GPM  
@ 60 PSI PER 2019 CALGREEN CODE SEC. 4.303.1.3. METER FAUCETS SHALL HAVE MAX 0.2  
GALLONS PER CYCLE. SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH  
INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR  
COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD  
& THERMAL PROTECTION WITH MAXIMUM MIXING TEMPERATURE OF 120 DEG PER CPC 418.

- 17** 18" X 24" CRAWL SPACE ACCESS.

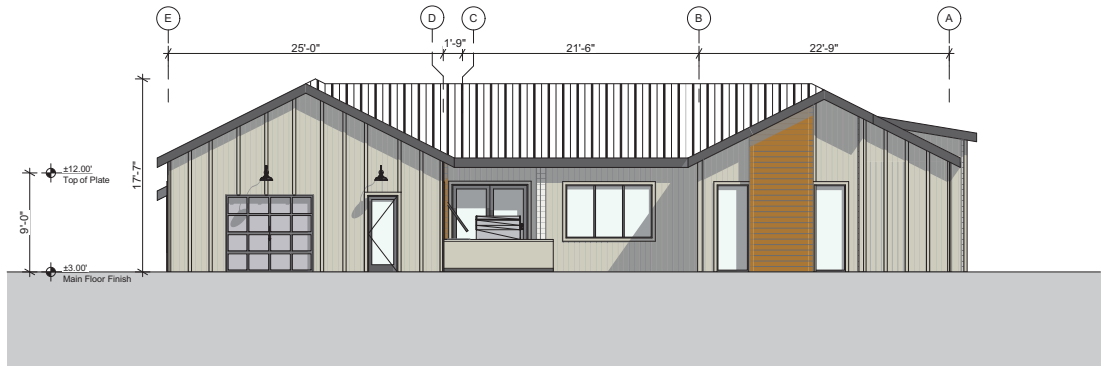
- 18** MULTI-ZONE OUTDOOR MINISPLIT CONDENSER UNIT. MOUNT ON 3" CONCRETE SLAB ON 4" A.B  
FOR AT-GRADE INSTALLATION. PROVIDE STANDOFFS FOR DECK LOCATIONS

- 19** ELECTRIC INDUCTION COOKTOP & RANGE - BOSCH OR EQ






Front Elevation  
3/16" = 1'-0"

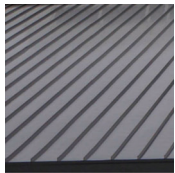


Rear Elevation  
3/16" = 1'-0"

**ELEVATION KEY NOTES:**

- 1 VERTICAL BOARD AND BATTEN SIDING
- 2 CLEAR STAINED T&G CEDAR SIDING
- 3 FIBERGLASS WINDOW / DOOR ASSEMBLY (DARK BRONZE SASH)
- 4 PAINTED EAVES (DARK BROWN)
- 5 STONE ACCENT CLADDING
- 6 CORNICE MOLDING
- 7 DECORATIVE FARMHOUSE LIGHTING FIXTURE
- 8 CUSTOM GARAGE DOOR
- 9 STANDING SEAM METAL ROOFING
- 10 ELEC METER LOCATION (PREFERRED)
- 11 GAS METER LOCATION (PREFERRED)
- 12 DOWNSPOUT AND GUTTER
- 13 CONDENSER UNIT
- 14 GOOD NEIGHBOR FENCE
- 15 BATH / DRYER EXHAUST REGISTER (6" X 10"), (80 CFM)
- 16 KITCHEN EXHAUST REGISTER (6" X 12"), (100 CFM MIN.)
- 17 WATER HEATER EXHAUST REGISTER (12" X 12"), (100 CFM MIN.)
- 18 FOUNDATION SCREEN VENT (6" X 16"), (48.9 IN<sup>2</sup> NFA.)
- 19 PHOTOVOLTAIC PANELS
-  EGRESS WINDOW

**NOTE: EXTERIOR FINISH COLORS SHALL NOT EXCEED AN LRV OF 45 WITHIN THE "-D1" ZONING DISTRICT**



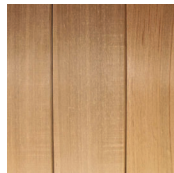
RF-1 STANDING SEAM METAL ROOF CHARCOAL GRAY (12 LRV) TAYLOR METALS PRODUCTS (MS-150)



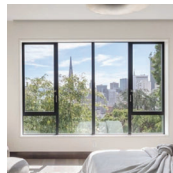
MTL-1 BLACK PAINTED BREAK METAL TO MATCH ROOF



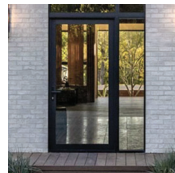
CF-1 WHITE PAINTED BOARD AND BATTEN COBALT FIBER BOARD TRU EXTERIOR BOARD AND BATTEN BENJAMIN MOORE "MUSEUM PIECE" CSP-407 (41.47 LRV)



WD-1 CLEAR STAIN TONGUE AND GROOVE CEDAR SIDING



WINDOWS DARK BRONZE ANODED ALUMINUM MILGARD ALUMINUM THERMAL BREAK



DOORS DARK BRONZE ANODED ALUMINUM STILE AND RAIL MILGARD ALUMINUM THERMAL BREAK



GARAGE DOORS WOOD FARMHOUSE OVERHEAD DOOR OVERHEAD DOOR CABRAGE HOUSE COLLECTION



ADDRESS NUMBERS DARK BRONZE ANODED ALUMINUM NUMBERS



FA EXTERIOR SCIENCE BLACK SHELDED SCIENCE W/ COPPER ACCENT REANVIVATION CARSON GOOSEMEK SCIENCE



Architect:  
Envisuality Group, Inc  
Hayes Shair  
2443 Fillmore St.  
San Francisco, CA, 94115  
(310) 869-1469

Stamp:  
**DRAFT  
(NOT FOR  
CONSTRUCTION)**

Revision:  
Date: 2022 10 19 PLANNING CYC1  
By:  
Project:  
**Lu Residence**

Project Address:  
**18440 Graystone Lane San Jose CA 94150**

Client:  
**William Lu  
1522 Husted Avenue  
San Jose CA 95125**

Issue:  
**PLANNING SUBMITTAL**

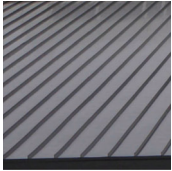
Drawing Title:  
**Elevation**

Scale:  
Date: 12/12/2022 Drawing Number:  
Job Number: 2022 5  
Drawn By: HS

**A.20**



NOTE: EXTERIOR FINISH COLORS SHALL NOT EXCEED AN LRV OF 45 WITHIN THE "D1" ZONING DISTRICT



RF-1  
STANDING SEAM METAL ROOF  
CHARCOAL GRAY (12 LRV)  
TAYLOR METALS PRODUCTS (MS-150)



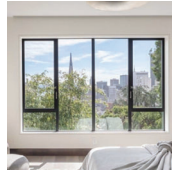
MTL-1  
BLACK PAINTED BREAK METAL TO MATCH ROOF



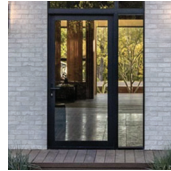
DB-1  
WHITE PAINTED BOARD AND BATTON (GMENT) FBER BOARD  
TRU EXTERIOR BOARD AND BATTON  
BENJAMIN MOORE 'MUSEUM PIECE' CSP-407 #1.17 (LRV)



WD-1  
CLEAR STAIN TONGUE AND GROOVE CEDAR SIDING



WINDOWS  
DARK BRONZE ANODIZED ALUMINUM  
MILGARD ALUMINUM THERMAL BREAK



DOORS  
DARK BRONZE ANODIZED ALUMINUM SILE AND RAIL  
MILGARD ALUMINUM THERMAL BREAK



GARAGE DOORS  
WOOD FARMHOUSE OVERHEAD DOOR  
OVERHEAD DOOR CARRIAGE HOUSE COLLECTION

4

ADDRESS NUMBERS  
DARK BRONZE ANODIZED ALUMINUM NUMBERS



FA EXTERIOR SCONCE  
BLACK SHIELDED SCONCE W/ COPPER ACCENT  
REJAUVENATION CARSON GOOSENECK SCONCE

**ELEVATION KEY NOTES:**

- 1 VERTICAL BOARD AND BATTEN SIDING
  - 2 CLEAR STAINED T&G CEDAR SIDING
  - 3 FIBERGLASS WINDOW / DOOR ASSEMBLY (DARK BRONZE SASH)
  - 4 PAINTED EAVES (DARK BROWN)
  - 5 STONE ACCENT CLADDING
  - 6 CORNICE MOLDING
  - 7 DECORATIVE FARMHOUSE LIGHTING FIXTURE
  - 8 CUSTOM GARAGE DOOR
  - 9 STANDING SEAM METAL ROOFING
  - 10 ELEC METER LOCATION (PREFERRED)
  - 11 GAS METER LOCATION (PREFERRED)
  - 12 DOWNSPOUT AND GUTTER
  - 13 CONDENSER UNIT
  - 14 GOOD NEIGHBOR FENCE
  - 15 BATH / DRYER EXHAUST REGISTER (6" X 10"), (80 CFM)
  - 16 KITCHEN EXHAUST REGISTER (6" X 12"), (100 CFM MIN.)
  - 17 WATER HEATER EXHAUST REGISTER (12" X 12"), (100 CFM MIN.)
  - 18 FOUNDATION SCREEN VENT (6" X 16"), (48.9 IN² NFA.)
  - 19 PHOTOVOLTAIC PANELS
- EGRESS WINDOW



Architect:  
Envisuality Group, Inc  
Hayes Shair  
2443 Fillmore St.  
San Francisco, CA, 94115  
(310) 869-1469

Stamp:

**DRAFT  
(NOT FOR  
CONSTRUCTION)**

Revision:

Date:

2022 10 19 PLANNING CYC1

Project:

Lu Residence

Project Address:

18440 Graystone Lane San Jose CA 94150

Client:

William Lu  
1522 Husted Avenue  
San Jose CA 95125

Issue:

PLANNING SUBMITTAL

Drawing Title:

Elevation

Scale:

Date: 12/12/2022

Job Number: 2022 5

Drawn By: HS

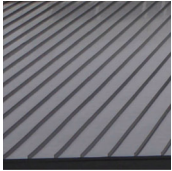
Drawing Number:

A.21



Left Elevation  
3/16" = 1'-0"

NOTE: EXTERIOR FINISH COLORS SHALL NOT EXCEED AN LRV OF 45 WITHIN THE "D1" ZONING DISTRICT



RF-1  
STANDING SEAM METAL ROOF  
CHARCOAL GRAY (12 LRV)  
TAYLOR METALS PRODUCTS (MS-150)



MTL-1  
BLACK PAINTED BREAK METAL TO MATCH ROOF



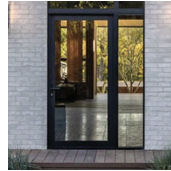
CF-1  
WHITE PAINTED BOARD AND BATTEN CEMENT FIBER BOARD  
TRU EXTERIOR BOARD AND BATTEN  
BENJAMIN MOORE 'MUSEUM PIECE CSP-40' #1.17 LRV



WD-1  
CLEAR STAIN TONGUE AND GROOVE CEDAR SIDING



WINDOWS  
DARK BRONZE ANODIZED ALUMINUM  
MILGARD ALUMINUM THERMAL BREAK



DOORS  
DARK BRONZE ANODIZED ALUMINUM SILE AND RAIL  
MILGARD ALUMINUM THERMAL BREAK



GARAGE DOORS  
WOOD FARMHOUSE OVERHEAD DOOR  
OVERHEAD DOOR CAPRANGE HOUSE COLLECTION

4

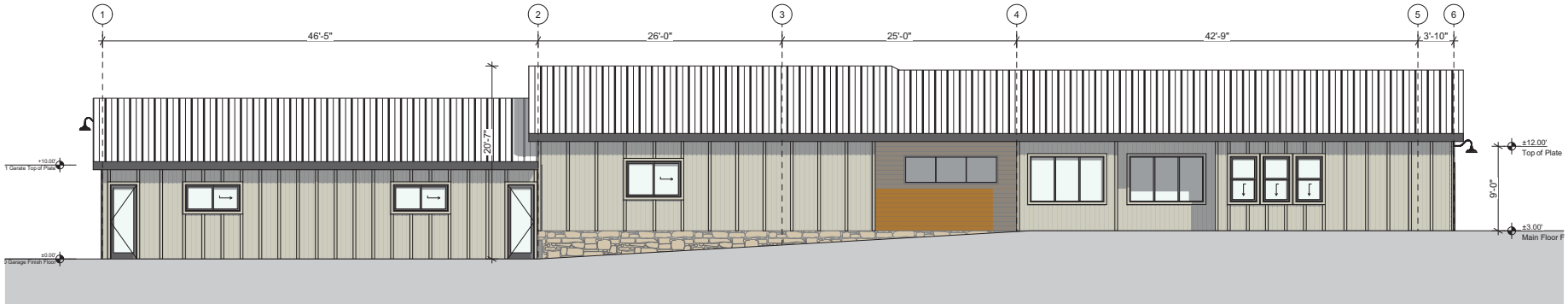
ADDRESS NUMBERS  
DARK BRONZE ANODIZED ALUMINUM NUMBERS



FA EXTERIOR SCONCE  
BLACK SHIELDED SCONCE W/ COPPER ACCENT  
REJAUVENATION CARSON GOOSENECK SCONCE

**ELEVATION KEY NOTES:**

- 1 VERTICAL BOARD AND BATTEN SIDING
  - 2 CLEAR STAINED T&G CEDAR SIDING
  - 3 FIBERGLASS WINDOW / DOOR ASSEMBLY (DARK BRONZE SASH)
  - 4 PAINTED EAVES (DARK BROWN)
  - 5 STONE ACCENT CLADDING
  - 6 CORNICE MOLDING
  - 7 DECORATIVE FARMHOUSE LIGHTING FIXTURE
  - 8 CUSTOM GARAGE DOOR
  - 9 STANDING SEAM METAL ROOFING
  - 10 ELEC METER LOCATION (PREFERRED)
  - 11 GAS METER LOCATION (PREFERRED)
  - 12 DOWNSPOUT AND GUTTER
  - 13 CONDENSER UNIT
  - 14 GOOD NEIGHBOR FENCE
  - 15 BATH / DRYER EXHAUST REGISTER (6" X 10"), (80 CFM)
  - 16 KITCHEN EXHAUST REGISTER (6" X 12"), (100 CFM MIN.)
  - 17 WATER HEATER EXHAUST REGISTER (12" X 12"), (100 CFM MIN.)
  - 18 FOUNDATION SCREEN VENT (6" X 16"), (48.9 IN<sup>2</sup> NFA.)
  - 19 PHOTOVOLTAIC PANELS
- EGRESS WINDOW



Right Elevation  
3/16" = 1'-0"



Architect:  
Envisuality Group, Inc  
Hayes Shair  
2443 Fillmore St.  
San Francisco, CA, 94115  
(310) 869-1469

Stamp:

**DRAFT  
(NOT FOR  
CONSTRUCTION)**

Revision:

Date:

2022 10 19 PLANNING CYC1

Project:

Lu Residence

Project Address:

18440 Graystone Lane San  
Jose CA 94150

Client:

William Lu  
1522 Husted Avenue  
San Jose CA 95125

Issue:

PLANNING SUBMITTAL

Drawing Title:

Elevation

Scale:

Date:

12/12/2022

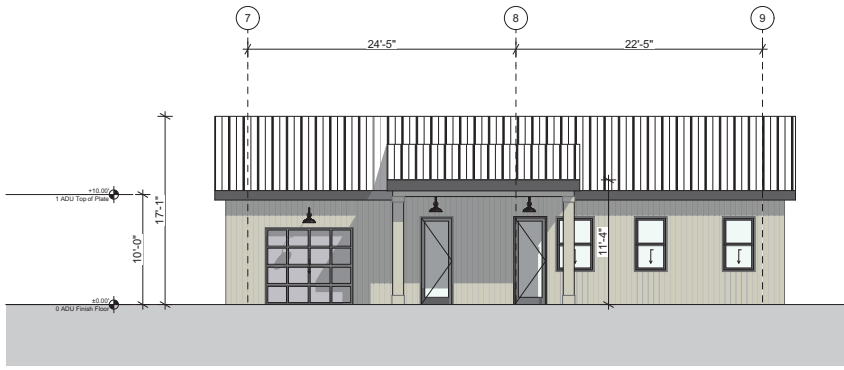
Job Number:

2022 5

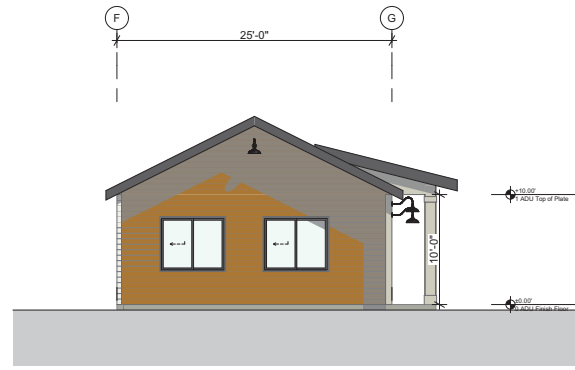
Drawn By:

HS

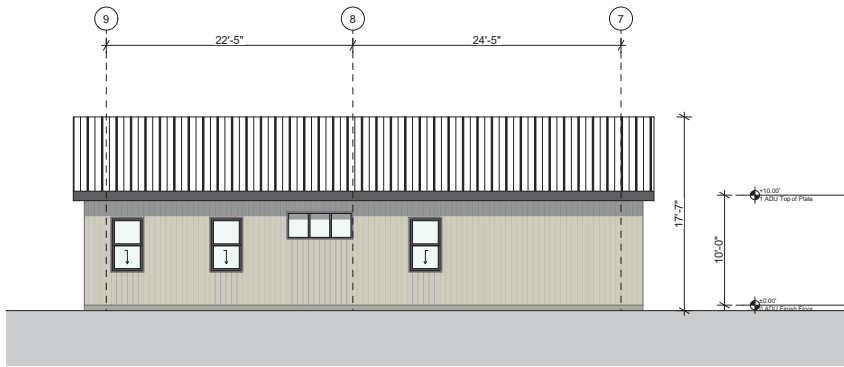
**A.22**



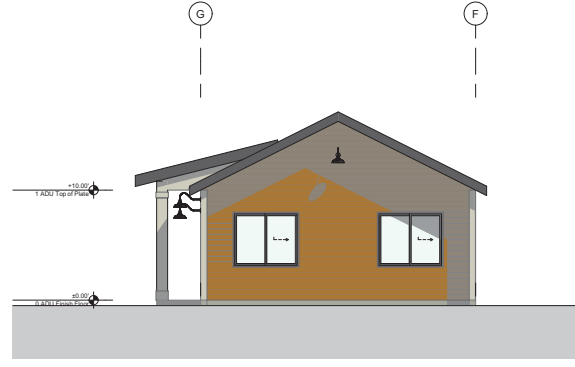
Front Elevation - ADU  
 3/16" = 1'-0"



Left Side Elevation - ADU  
 3/16" = 1'-0"



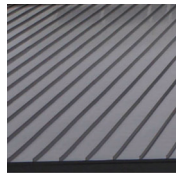
Rear Elevation - ADU  
 3/16" = 1'-0"



Right Side Elevation - ADU  
 3/16" = 1'-0"

- ELEVATION KEY NOTES:**
- 1 VERTICAL BOARD AND BATTEN SIDING
  - 2 CLEAR STAINED T&G CEDAR SIDING
  - 3 FIBERGLASS WINDOW / DOOR ASSEMBLY (DARK BRONZE SASH)
  - 4 PAINTED EAVES (DARK BROWN)
  - 5 STONE ACCENT CLADDING
  - 6 CORNICE MOLDING
  - 7 DECORATIVE FARMHOUSE LIGHTING FIXTURE
  - 8 CUSTOM GARAGE DOOR
  - 9 STANDING SEAM METAL ROOFING
  - 10 ELEC METER LOCATION (PREFERRED)
  - 11 GAS METER LOCATION (PREFERRED)
  - 12 DOWNSPOUT AND GUTTER
  - 13 CONDENSER UNIT
  - 14 GOOD NEIGHBOR FENCE
  - 15 BATH / DRYER EXHAUST REGISTER (6" X 10"), (80 CFM)
  - 16 KITCHEN EXHAUST REGISTER (6" X 12"), (100 CFM MIN.)
  - 17 WATER HEATER EXHAUST REGISTER (12" X 12"), (100 CFM MIN.)
  - 18 FOUNDATION SCREEN VENT (6" X 16"), (48.9 IN<sup>2</sup> NFA.)
  - 19 PHOTOVOLTAIC PANELS
- EGRESS WINDOW

NOTE: EXTERIOR FINISH COLORS SHALL NOT EXCEED AN LRV OF 45 WITHIN THE "-D1" ZONING DISTRICT



RF-1 STANDING SEAM METAL ROOF CHARCOAL GRAY (12 LRV) TAYLOR METALS PRODUCTS (MS-150)



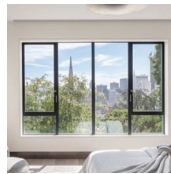
MTL-1 BLACK PAINTED BREAK METAL TO MATCH ROOF



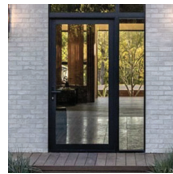
CFB-1 WHITE PAINTED BOARD AND BATTEN COBALT FIBER BOARD TRU EXTERIOR BOARD AND BATTEN BENJAMIN MOORE "MUSEUM PIECE" CSP-407 (41.47 LRV)



WD-1 CLEAR STAIN TONGUE AND GROOVE CEDAR SIDING



WINDOWS DARK BRONZE ANODIZED ALUMINUM MILGARD ALUMINUM THERMAL BREAK



DOORS DARK BRONZE ANODIZED ALUMINUM STYLE AND RAIL MILGARD ALUMINUM THERMAL BREAK



GARAGE DOORS WOOD FARMHOUSE STYLE OVERHEAD DOOR CARTRIDGE HOUSE COLLECTION

4

ADDRESS NUMBERS DARK BRONZE ANODIZED ALUMINUM NUMBERS



FA-1 EXTERIOR SCONCE BLACK SHELDED SCONCE W/ COPPER ACCENT REJUVENATION CARSON GOOSEMEK SCONCE

Stamp:  
**DRAFT (NOT FOR CONSTRUCTION)**

Revision: \_\_\_\_\_  
 Date: 2022 10 19 PLANNING CYC1

Project:  
**Lu Residence**

Project Address:  
 18440 Graystone Lane San Jose CA 94150

Client:  
 William Lu  
 1522 Husted Avenue  
 San Jose CA 95125

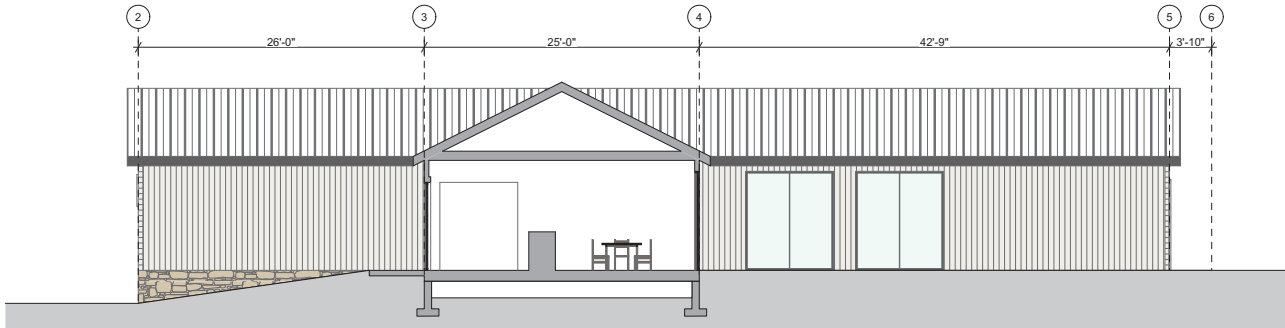
Issue:  
**PLANNING SUBMITTAL**

Drawing Title:  
**Elevation - ADU**

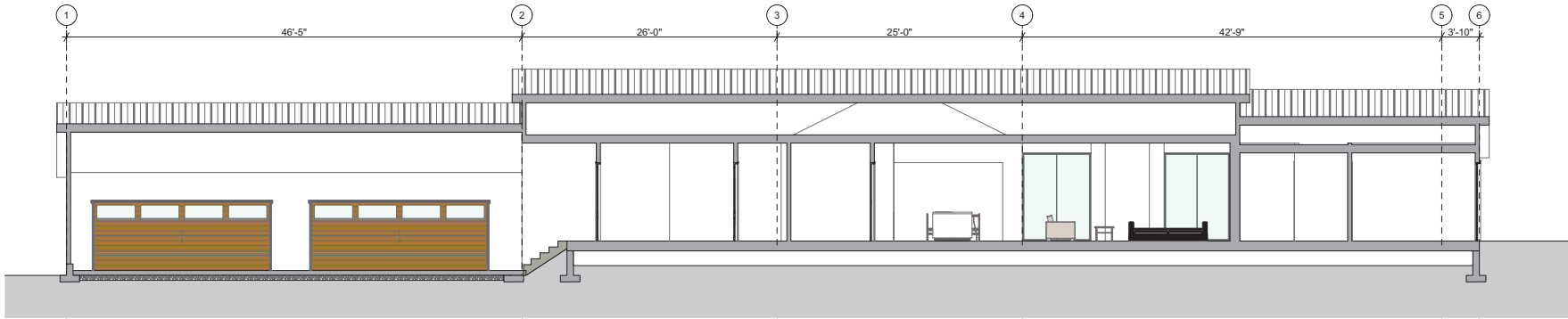
Date: 12/12/2022  
 Job Number: 2022\_5  
 Drawing Number: **A.23**



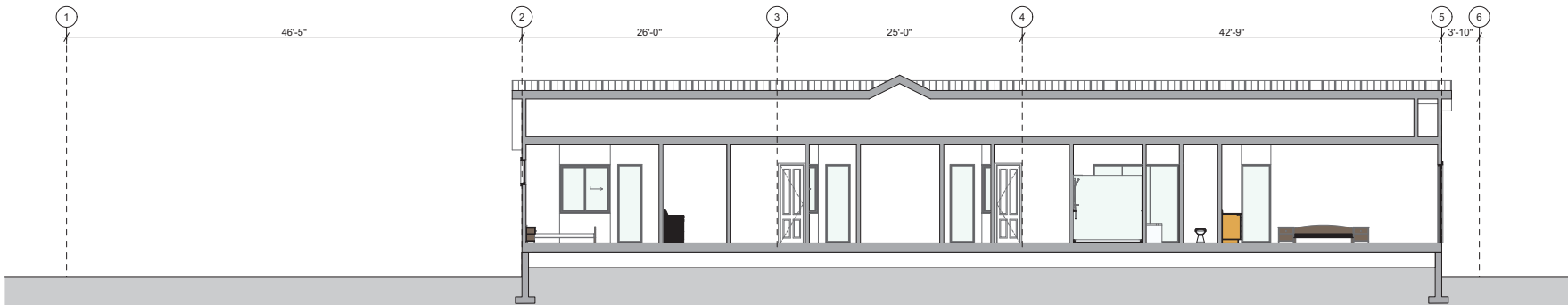
Architect:  
 Envisuality Group, Inc  
 Hayes Shair  
 2443 Fillmore St.  
 San Francisco, CA, 94115  
 (310) 869-1469



1 Long Section @ Entry  
 3/16" = 1'-0"



2 Long Section @ Garage  
 3/16" = 1'-0"



3 Long Section @ Bedrooms  
 3/16" = 1'-0"

Stamp:

**DRAFT**  
**(NOT FOR**  
**CONSTRUCTION)**

Revision

Date

2022 10 19 PLANNING CYC1

Project

Lu Residence

Project Address:

18440 Graystone Lane San  
 Jose CA 94150

Client:

William Lu  
 1522 Husted Avenue  
 San Jose CA 95125

Issue:

PLANNING SUBMITTAL

Drawing Title:

Sections

Scale:

Date: 12/12/2022

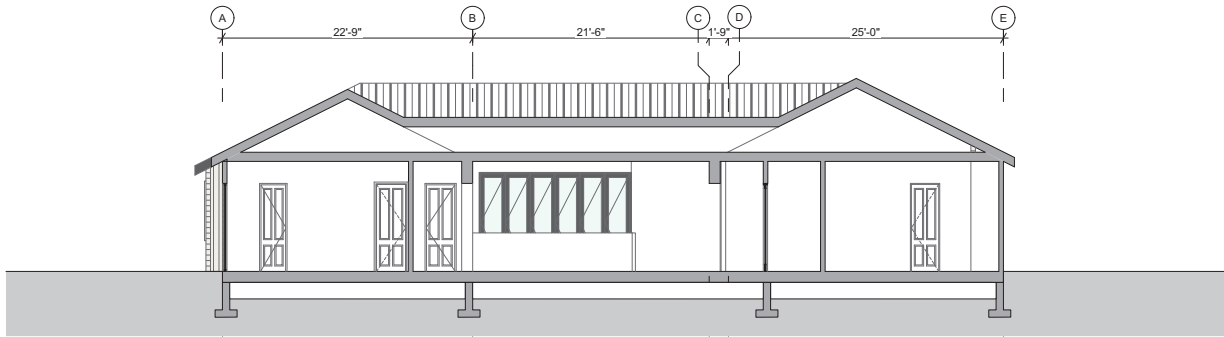
Job Number: 2022\_5

Drawn By: HS

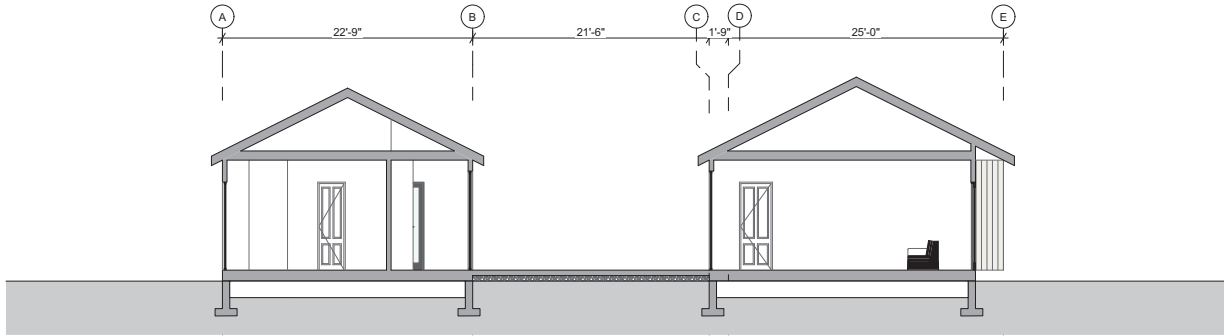
**A.30**



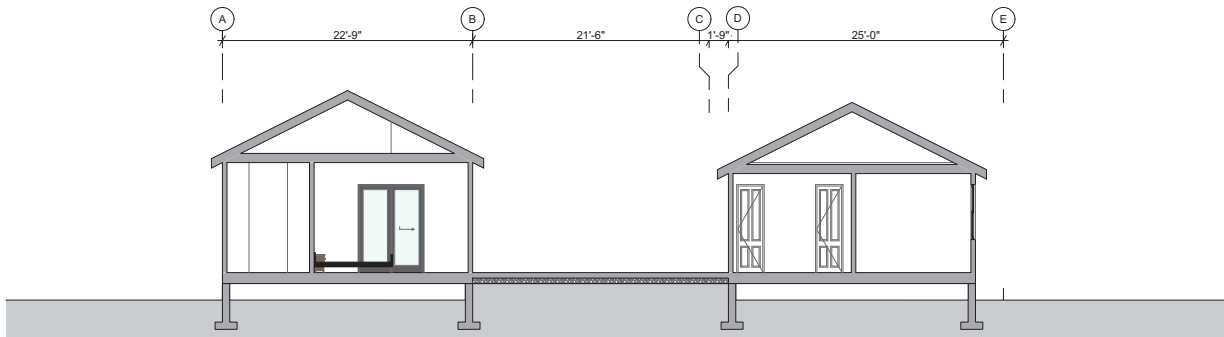
Architect:  
 Envisuality Group, Inc  
 Hayes Shair  
 2443 Fillmore St.  
 San Francisco, CA, 94115  
 (310) 869-1469



1  
 Cross Section @ Entry  
 3/16" = 1'-0"



2  
 Cross Section @ Great Room  
 3/16" = 1'-0"



3  
 Cross Section @ Master  
 3/16" = 1'-0"

Stamp:  
**DRAFT  
 (NOT FOR  
 CONSTRUCTION)**

Revision  
 Date: 2022 10 19  
 By: PLANNING CYC1

Project:  
**Lu Residence**

Project Address:  
 18440 Graystone Lane San  
 Jose CA 94150

Client:  
 William Lu  
 1522 Husted Avenue  
 San Jose CA 95125

Issue:  
**PLANNING SUBMITTAL**

Drawing Title:  
**Sections**

Scale:

Date: 12/12/2022  
 Job Number: 2022\_5  
 Drawing Number: A.31

Drawn By: HS

ATTACHMENT E  
COLOR AND MATERIAL SAMPLE BOARD

# ATTACHMENT E

18440 Graystone Lane,  
San Jose, CA 95120

PLN22-010

Project Address  
696-11-008

Project File Number

APN

## Color/Materials Board\*

### Roof

#### Standing Seam Metal Roofing

Manufacture & Material Taylor Metal Products  
Product Name, Number MS-150, Accent Ribs  
Charcoal Gray, 12 LRV



### Door & Window Frames, Railings

#### Aluminum Thermal Break Windows

Manufacture / Number Milgard Thermally Improved Aluminium  
Color Name, LRV Dark Bronze Anodized, 2.5 LRV



### Trim

#### 1 x 6 Painted Cedar

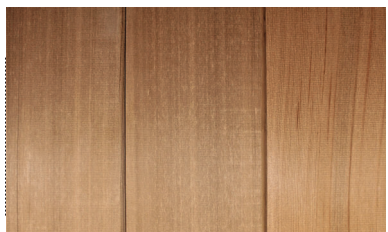
Manufacture / Number Georgia Pacific Lumber  
Color Name, LRV Benjamin Moore "Museum Piece" CSP-40  
LRV = 41.47



### Exterior Walls

#### Vertical T & G Siding

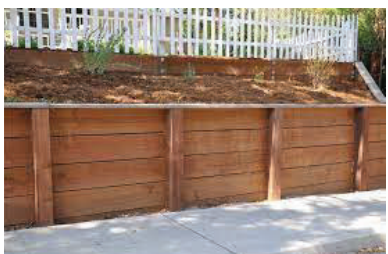
Manufacture / Number Tru Exterior Board and Batten  
Color Name, LRV Benjamin Moore "Museum Piece" CSP-40  
LRV = 41.47



### Architectural Accents (Ex. Stone Veneer)

#### Vertical T & G Cedar Siding

Manufacture / Number Georgia Pacific Lumber  
Color Name, LRV Behr Transparent Wood Finish  
LRV = 11.45



### Retaining Walls

#### Redwood Post and with 2x12 Lagging (Pressure Treated)

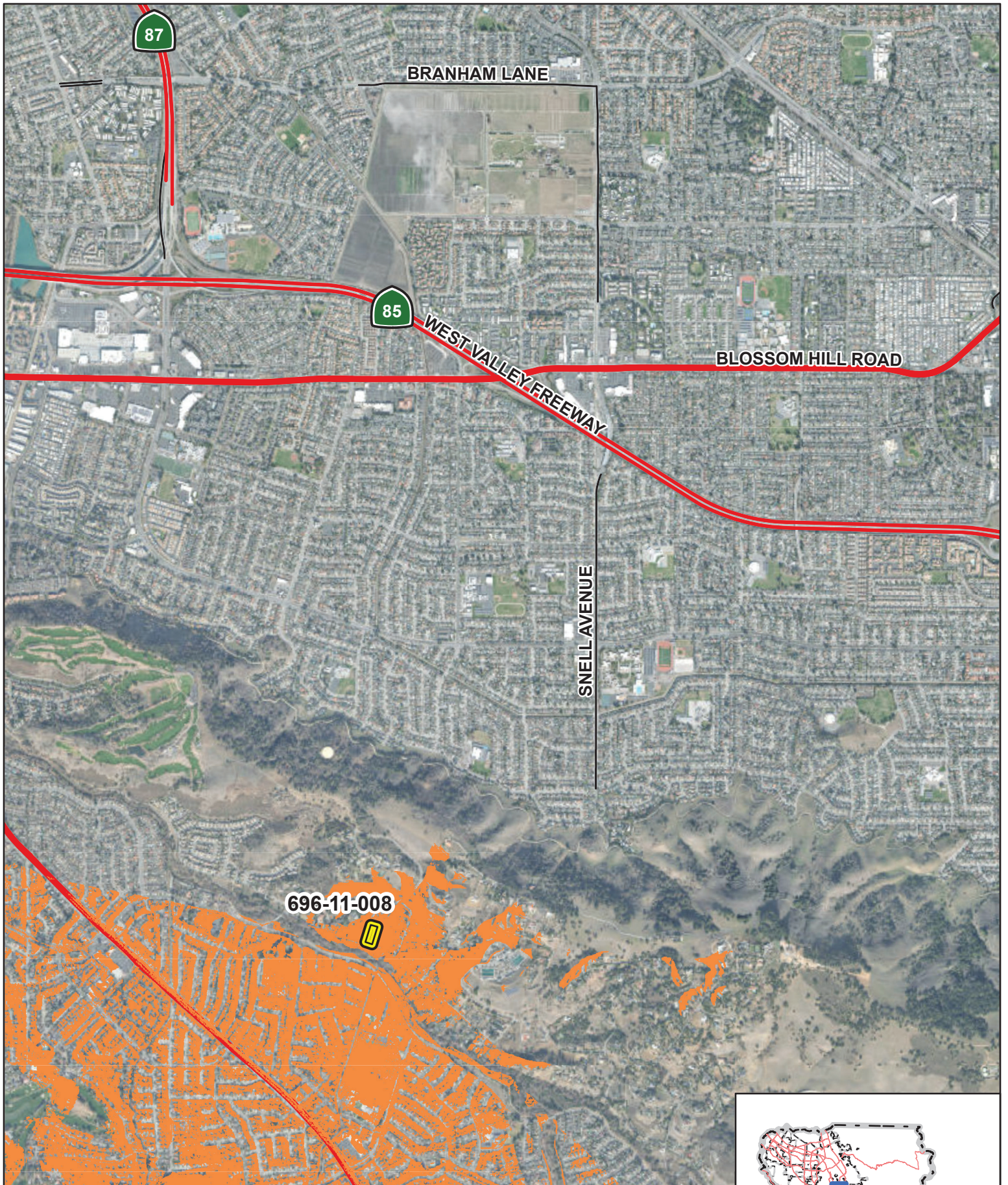
Manufacture / Number Georgia Pacific Lumber  
Color Name, LRV Natural Finish  
LRV = 9.50

\*This information shall also be provided on the elevation drawings in the plans.





ATTACHMENT F  
REVERSE VISIBILITY SITE ANALYSIS





# Location and Vicinity Map

PLN22-010  
APN: 696-11-008  
GRAYSTONE LN

-  Parcel of Interest
-  Visible



Area of Interest