County of Santa Clara

Department of Planning and Development

County Government Center, East Wing, 7th Floor 70 West Hedding Street San Jose, CA 95110

Phone: (408) 299-5700 www.sccplandev.org



STAFF REPORT Zoning Administration March 2, 2023 Item #2

Staff Contact: Carl Hilbrants, Senior Planner (408) 299-5781, carl.hilbrants@pln.sccgov.org

PLN22-010

Design Review Tier II and Grading Approval

<u>Summary</u>: Design Review Tier II and Grading Approval for a one (1) story 6,298 square foot single-family residence with a 1,160 square foot attached garage and a 1,174 square foot detached accessory dwelling unit (ADU), a 960 square foot swimming pool and associated firetruck turnaround. Proposed estimated grading quantities are 505 cubic yards of cut and 460 cubic yards of fill with a maximum depth of 3.5 feet.

Owner: William Lu General Plan: Rural Residential

Applicant: Shair Hayes of Mavrik Studio **Zoning**: RR-d1 **Location:** Graystone Lane, San Jose **Parcel**: 1.08 acres

APN: 696-11-008 Supervisorial District: 5

Present Land Use: Vacant HCP: Area 2

RECOMMENDED ACTIONS

A. Approve Categorical Exemption, under Section 15303 (a) of the CEQA Guidelines, Attachment A

B. Approve Design Review and Grading Approval, subject to conditions outlined in Attachment B.

ATTACHMENTS INCLUDED

Attachment A—Proposed CEQA Determination

Attachment B—Proposed Conditions of Approval

Attachment C— Location & Vicinity Map

Attachment D—Proposed Plans

Attachment E—Color and Material Sample Board

Attachment F—Reverse Visibility Site Analysis

PROJECT DESCRIPTION

The proposed project includes a request for concurrent land use entitlements of Design Review and Grading Approval for construction of a new 6,298 square foot residence with an attached 1,106 square foot garage, a 1,174 square foot detached accessory dwelling unit (ADU), 960 square foot swimming pool and associated firetruck turnaround. The new construction does not qualify for a Tier I Design Review as the new construction exceeds 5,000 square feet. Except for an approximately 3,000 square foot triangle along the northerly property line which is designated by County GIS as "Low Visibility," the entire parcel is not visible from the Santa Clara Valley floor. No above-grade improvements are proposed in the area designated as "Low Visibility." The proposed grading quantities for the project are 505 cubic yards of cut and 460 cubic yards of fill. As such, an associated Grading Approval is necessary for approval for the proposed development.

Setting / Location Information

The proposed single-story residence is to be located on a 1.08-acre parcel in the lower hills north of the Almaden Valley in south San Jose. The neighborhood consists exclusively of single-family residences, a majority of which are also single story. The proposed development includes a septic system and firetruck turnaround to provide access to the primary dwelling as well as an accessory dwelling unit (ADU). More than 200 feet south of the subject parcel, Alamitos Creek is a Category 1 Habitat Plan creek. The Habitat Plan stream buffer for Alamitos Creek at its nearest point is within 15 feet of the southern property line of the subject parcel. The subject parcel is not within any required top-of-bank setback nor does the project development area encroach into the creek setback. The parcel is not within any mapped habitat area for California Red Legged Frog, California Tiger Salamander or serpentine soils.

REASONS FOR RECOMMENDATION

A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption under Section 15303(a) of a new single-family residence. As such, an Initial Study and further analysis under the CEQA was not required.

B. Project / Proposal

- 1. General Plan: Rural Residential:
- 2. **Building Site Approval:** Per County Ordinance Code Section C12-307, Building Site Approval (BSA) is required for new single-family or two-family dwellings, including any property within the RR-d1 zoning district that is not a designated lot on an approved Tract Map or Parcel Map. However, this parcel was created and recorded as Parcel 3 of *Parcel Map Being a Portion of Lot 3 Map of the Partition of the Skuse Tract F-Maps Page 47* as recorded with the County Clerk-Recorder's Office in Book 359, Page 33. The proposed project meets all development standards for a primary residence, that is, minimum of 30 feet from the recorded road dedication at the front, minimum of 30 feet from both sides and the rear and maximum height of 35 feet).

Furthermore, the accessory dwelling unit (ADU) also adheres to the setback requirements for an ADU exceeding 16 feet in height, that is, minimum 30 feet from the recorded road dedication at the front, minimum of 30 feet from both sides and the rear and maximum height of 35 feet.

3. **Zoning Standards:** The Santa Clara County Zoning Ordinance specifies the required development standards for the RR-d1 zoning district, summarized below and in Table "A," to note the project's conformance with Section 3.20.040 "-d1" Combining District:

Main Residence:

Setbacks (RR): 30 feet from all property lines and / or rights-of-way (ROW)

Height: 35 feet maximum Stories: 2 story maximum

Accessory Dwelling Unit (ADU) exceeding 16 feet in height

Setbacks (RR): 30 feet from all property lines and / or rights-of-way (ROW)

Height: 35 feet maximum Stories: 2 stories maximum

Table A: Compliance with Development Standards for -d1 Combining District

STANDARDS & REQUIREMENTS	CODE SECTION	Meets Standard (Y/N) *
Siting	§ 3.20.040 (A)(2)(b)	Y
Story Poles	§ 3.20.040 (A)(2)(c)	Y
Color & LRV	§ 3.20.040 (B)	Y
Building Form & Massing	§ 3.20.040 (C)	Y
Retaining Walls	§ 3.20.040 (D)	Y
Ridgeline Development	§ 3.20.040 (E)	Y
Design Review Guidelines	§ 3.20.040 (F)	Y
Ongoing Compliance	§ 3.20.040 (H)	Y

^{*}See Discussion in Design Review Findings Section C below

- C. Design Review Findings: Per Section §5.50.040 of the County Zoning Ordinance, all Design Review applications are subject to the stated scope of review. The overall purpose of Design Review is to encourage quality design and mitigate potential adverse visual impacts of development. In the following discussion, the scope of review findings is listed in bold, and an explanation of how the project meets the required standard is in plain text below.
 - 1. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;

The County's Geographic Information System (GIS) data show the proposed location of new development on the subject parcel will not encroach into the "Low

Visibility" designated area. The "Low Visibility" area is considered visible from the Santa Clara Valley floor. Areas not labeled as Low, Medium, Medium-High, or High, on County GIS layers, are presumed to not be visible from the Santa Clara Valley floor, which is the case for nearly the entire area of the subject parcel. In fact, the entire developed area identified as "Low Visibility" is a triangular shaped 3,000 square foot area at the northern property line. Aside from this 3,000 square foot area deemed "Low Visibility," the remainder of the parcel is not visible at all from the Santa Clara Valley floor. No permanent construction, at-grade or otherwise, is proposed within that "Low Visibility" portion of the parcel.

In keeping with the requirement for low visibility, the proposed residence is single story, and its height is less than 22 feet, helping to ensure the development will not be visible from the Santa Clara Valley floor. For the above reasons, this finding can be made.

2. Compatibility with the natural environment;

The project consists of the construction of a new single-family residence with an attached garage and an accessory dwelling unit (ADU). The parcel is flat with a mild consistent grade with the proposed development requiring minimal grading, mostly to establish an appropriate area for the associated hardscape. The proposed grading does exceed 150 cubic yards of cut and fill, therefore, the proposed development will require a Grading Approval. There are three existing trees on the parcel located along the western property line, none of which are proposed for removal. The development will not impact any existing riparian land cover associated with Alamitos Creek, located across Graystone Lane to the southwest of the property. The Habitat Plan Category 1 Stream Buffer associated with Alamitos Creek extends across Graystone Lane toward the subject parcel but does not extend onto the subject parcel. The parcel is not within the designated habitat area of the California Red Legged Frog, the California Tiger Salamander, nor within any designated sensitive soil areas, including serpentine soil, nor within any sensitive landcover areas. For the above reasons, the proposed project is designed to be compatible with the natural and existing environment and does not compromise the natural terrain. For this reason, this finding can be made.

3. Conformance with the "Design Review Guidelines," adopted by the Board of Supervisors;

The proposed project conforms to the County's Board adopted Design Review Guidelines. The siting of the proposed residence is on an essentially flat parcel and requires minimal additional site improvements and grading to establish the residence, ADU and associated improvements. Landscaping and continued maintenance to help ensure minimal visibility from Graystone Lane will be incorporated and noted as a condition of approval (Attachment B). Impacts on privacy and views of neighboring properties are negligible due to the lack of elevation difference between the subject parcel and neighboring parcels as well as existing landscaping along the western property line. Regarding possible view of

the proposed development from the Santa Clara Valley floor, the location of the residence and the ADU are outside of the visible area as determined by County GIS data. The proposed residence has a maximum height of 22 feet and is single story, as such, the residence will not create additional visual impact. Furthermore, the development is not located on or above any ridgeline.

The architectural design of the proposed residence and ADU avoids excessive bulk and mass by incorporating non-continuous wall planes. Exterior colors for the house façade, trim, and roof materials all have a Light Reflective Value (LRV) of 45 or less, as shown on the color and materials board (Attachment E). As part of the requirement for Design Review (Tier 2), the applicant is required to erect story poles prior to the Zoning Administration Hearing. To ensure compliance with the story pole erection requirement (Zoning Ordinance Section 3.20.040 (A)(2)(c)), story pole placement will be verified by Staff on February 23, 2023. After inspecting the required story poles, no new impacts were observed by Staff. For these reasons, this finding can be made.

4. Compatibility with the neighborhood and adjacent development;

The neighboring properties are developed with single-family residences, either one (1) or two (2) stories, a majority of which were built between in the second half of the 20th century. The proposed residence is keeping with the characteristics of the surrounding neighborhood and not be obtrusive in its context as the proposed size, number of stories, and architectural design are compatible with adjacent development and residences. For this reason, this finding can be made.

5. Compliance with applicable zoning district regulations; and

As summarized in Section B(3) and Table A of this staff report, residential use is an allowed use in the RR-d1 (Rural Residential with a Design Review Combining District overlay) zoning district and the project complies with the current zoning regulations and development standards. The proposed residence meets the required setbacks (30 feet front, 30 feet side, and 30 feet rear) and height not exceeding 22 feet (maximum allowed 35 feet). Furthermore, the proposed design is also in keeping with the "-d1" design guideline standards and building massing standards as the proposed structures incorporate varied roof heights and uses architectural elements, such as windows and cornices, to produce patterns of light and shade. Exterior colors are proposed and conditioned to have a Light Reflectivity Value (LRV) of 45 or less. For these reasons, Staff has determined that the project is in compliance with the applicable zoning district regulations, and this finding can be made.

6. Conformance with the general plan, any applicable specific plan, other applicable guidelines.

The proposed development conforms with the Santa Clara County General Plan Policies *R-LU 56*, *R-LU 57*, *R-GD 22*, and the Santa Clara Design Review

Guidelines. General Plan Policy R-LU-56 and R-LU 57 states Rural Residential areas include lands outside of a city Urban Service Areas and of which the land is primarily for residential purposes. Additionally, General Plan Policy R-GD 22 states that grading shall be kept to a minimal to establish a primary use and avoidance of unnecessary grading. The property is currently outside of the City of San José's Urban Service Area (USA) with the property and entire neighborhood comprised exclusively of residential uses. The proposed project includes construction of one (1) single-family residence, one (1) accessory dwelling unit (ADU) and associated improvements on one (1) lot. Additionally, as noted throughout the report, the parcel is essentially flat requiring minimal grading, none of which will alter existing topography or hillsides. The one (1) story residence is appropriately sized and does not require any unnecessary grading. The proposed development is consistent to the County's Board adopted Design Guidelines as it is sited on an existing flat pad, with tiered rooflines and is devoid of continuous wall planes exceeding 80 feet in length. The exterior color and materials are muted and will use paints with a Light Reflectivity Value (LRV) of 45 or less to ensure compatibility with the surrounding environment and minimal visibility from the Santa Clara Valley floor. Proposed landscaping will be incorporated into the project to ensure minimal visibility of the residence from passers-by on Graystone Lane. Additionally, the proposed residence has a conforming residential setback of a minimum of 30 feet that incorporates the recorded road dedication on Graystone Lane (as shown on the site plan within the project plans in Attachment B). The property is not located within a specific plan. For these reasons, this finding can be made.

- **D. Grading Approval:** Pursuant to Section C12-433 of the County Ordinance Code, all Grading Approvals are subject to specific findings. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.
 - 1. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.

The design of the proposed development incorporates land disturbance requiring minimal grading to establish a flat pad for a residence. The majority of the grading is to establish hardscape, landscaping and driveway improvements, all of which are reasonble and minimal to establish a logical footprint normally associated with a single-family residence. For these reasons, this finding can be made.

2. The grading will not endanger public and / or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.

Plans prepared by Lea & Braze Engineering, Inc., submitted December 13, 2022, incorporate an Erosion Control Plan delineating where and how runoff will be controlled to ensure; no danger to public and / or private property, no impact on public health and safety, no sedimentation on any public right-of-way and no impairment of a spring or watercourse. For these reasons, this finding can be made.

3. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.

The subject parcel is very minimally sloped upward away from Graystone Lane. Due to the minimal difference in elevation throughout the parcel, grading to establish the use will be minimal, although greater than the allowed 150 cubic yard thresholds—mostly due to at-grade surface hardscape and driveway improvements. The proposed improvements do not require the removal of any trees nor will the improvements have any impact on any endangered species. The residence will not have any significant scenic impact is the proposed residence is no more than 22 feet in height and will be no more visually intrusive than the immediately adjacent residences. Furthermore, landscaping along the Graystone Lane frontage is required and listed as a condition of approval for the development. For these reasons, this finding can be made.

4. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.

As the parcel is flat, has a consistent mild grade, is rectilinear, is slightly more than one (1) acre in size, has a limited access location due to existing easements and road dedications, and, needing to respect the required setbacks of 30 feet from all sides, there are no other available development sites. For this reason, this finding can be made.

5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.

As the parcel is flat, has a consistent mild grade, is rectilinear, is slightly more than one (1) acre in size, has a limited access location due to existing easements and road dedications, and, needing to respect the required setbacks of 30 feet from all sides, there are no other available development sites. For this reason, this finding can be made.

6. Grading conforms with any applicable general plan or specific plan; and

Development within the Rural Residential area has no specific grading findings aside from the general grading thresholds of 150 cubic yards of cut and / or fill. The subject parcel is not subject to regulations associated with any specific plan. For these reasons, this finding can be made.

7. Grading substantially conforms with the adopted "Guidelines for Grading and Hillside Development" and other applicable guidelines adopted by the County.

The proposed development does not require; siting that cuts into any hillside and also grading avoids all natural hazards which are non-existent on the parcel, does not require roads and / or driveways other than a direct non-serpentine access to the parking area, terrain grading for the residence and accessory dwelling unit are minimal at 20 cubic yards of cut and 200 cubic yards of fill for the residence and 80 cubic yards of cut and zero (0) yards of fill for the accessory dwelling unit, and landform grading is minmial to accommodate hardscape, landscape and driveway improvements. For these reasons, this finding can be made.

In conclusion, Staff recommends the Zoning Administration Hearing Officer approve the concurrent land use entitlements for Design Review and Grading Approval pursuant to recommended conditions of approval (Attachment B). As noted throughout the staff report, the proposed project meets all development standards for the primary residence (minimum of 30 feet from recorded road dedication at the front, minimum of 30 feet from sides and rear, and a maximum height of 35 feet) as well as all development standards for an ADU exceeding 16 feet in height (minimum of 30 feet from recorded road dedication at the front, minimum of 30 feet from sides and rear, and a maximum height of 35 feet) as well as all the necessary findings for Design Review.

BACKGROUND

An application for Design Review was submitted to the County Planning Office for review on January 10, 2022. On February 3, 2022, the Design Review application was deemed incomplete by the County Planning Office and an incomplete letter was sent to the property owner (William Lu) and to the applicant (Hayes Shair). Early Outreach notification was mailed out to affected neighboring parcels on February 8, 2022. The application was resubmitted on October 26, 2022, addressing items noted in the February 3, 2022, incomplete letter. At this time the project was reclassified as Design Review with Grading Approval due to proposed grading quantities exceeding 150 cubic yards of both cut and fill. In addition, due to the resubmittal taking place more than 180 days of issuance of the incomplete letter an additional fee of \$396.23 was remitted to the County Planning Office to continue processing of the application. The application was once again deemed incomplete by the County Planning Office on November 22, 2022, and a second incomplete letter was sent to the property owner (William Lu) and the applicant (Hayes Shair). The application was resubmitted on December 13, 2022, addressing the items from the November 22, 2022, incomplete letter. The application resubmitted December 13, 2022 was

deemed complete in January of 2023, and was scheduled for the Zoning Administration Hearing on March 2, 2023.

A public notice was mailed to all property owners within a 300-foot radius on February 17, 2023 and was also published in the Post Records on February 17, 2023.

STAFF REPORT REVIEW

Prepared by: Carl Hilbrants, Senior Planner Carl Hilbrants

Reviewed by: Lara Tran, Senior Planner

Approved by: Samuel Gutierrez, Principal Planner

ATTACHMENT A STATEMENT OF EXEMPTION

ATTACHMENT A

STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

FILE NUMBER	APN(S)	DATE	
PLN22-010	696-11-008	2/22/2023	
PROJECT NAME	APPLICATION TYPE		
0 Graystone Lane, San Jose Single-Family Residence	Design Review and Grading Approval		
OWNER	APPLICANT		
William Lu	Hayes Shair of Envisuality Group		
PROJECT LOCATION			

0 Graystone Lane, San Jose; APN 696-11-008

PROJECT DESCRIPTION

Design Review (Tier 2) and Grading Approval for a new 6,298 square foot single-family residence with a 1,160 square foot attached garage and a detached 1,174 square foot accessory dwelling unit (ADU) within the "-d1" overlay district. Proposed estimated grading quantities are 505 cubic yards of cut and 460 cubic yards of fill with a maximum depth of 3.5 feet.

All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.

CEQA (GUIDELINES) EXEMPTION SECTION

Categorically Exempt – Section 15303(a) of a new single-family residence with attached garage and a detached 1,174 square foot accessory dwelling unit.

COMMENTS

The proposed single-story residence is to be located on a parcel slightly larger than one (1) acre in the lower hills north of the Almaden Valley in south San Jose. The neighborhood consists exclusively of single-family residences, a majority of which are also single story. The proposed development includes a septic system and firetruck turnaround to provide access to the primary dwelling as well as an accessory dwelling unit (ADU). The project site does not encroach into a creek setback. However, Alamitos Creek is directly across Graystone Lane to the south of the project site. Alamitos Creek is a Category 1 Habitat Plan creek and the stream buffer is within 15 feet of the southern property line of the subject parcel. The subject parcel is not within any top-of-bank setback required area. The parcel is not within any mapped habitat area for California Red Legged Frog, California Tiger Salamander or serpentine soils.

APPROVED BY:	DoouSigned-by:	
Samuel Gutierrez, Principal Planner	Ang gray	2/22/2023
	4BFDD21FF1FF4D2	Date

ATTACHMENT B PROPOSED CONDITIONS OF APPROVAL

ATTACHMENT B

PRELIMINARY CONDITIONS OF APPROVAL DESIGN REVIEW AND GRADING APPROVAL

Date: March 2, 2023 **Owner / Applicant:** William Lu

Location: Graystone Lane, San Jose (APN: 696-11-008)

File Number: PLN22-010

CEQA: Categorically Exempt – Section 15303, Class 3(a)

Project Description: Design Review (Tier 2) and Grading Approval for a new 6,298

square foot single-family residence with a 1,160 square foot attached garage and a detached 1,174 square foot accessory dwelling unit (ADU) within the "-d1" overlay district. Proposed estimated grading quantities are 505 cubic yards of cut and 460

cubic yards of fill with a maximum depth of 3.5 feet.

Agency	Name	Phone	E-mail
Planning	Carl Hilbrants	(408) 299-5781	carl.hilbrants@pln.sccgov.org
Land Development Engineering	Darrell Wong	(408) 299-5735	darrell.wong@pln.sccgov.org
Department of Environmental Health	Darrin Lee	(408) 299-5748	darrin.lee@cep.sccgov.org
Fire Marshal Office	Alex Goff	(408) 299-5763	alex.goff@sccfd.org
Roads & Airports Department	Christine Hi	(408) 573-2417	christine.hii@rda.sccgov.org
Santa Clara Valley Water District	Jourdan Alvarado	(408) 265-2607, ext. 9230	jalvarado@valleywater.org

STANDARD CONDITIONS OF APPROVAL

Building Inspection

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit

Application Instruction handout from the Building Inspection Office or visit the website at

www.sccbuilding.org.

Planning

- 2. Development must take place in accordance with the approved plans, prepared by Hayes Shair of Envisuality Group, Inc. and Lea & Braze Engineering, Inc., submitted on December 13, 2022 (Attachment D). Any changes to the proposed project may result in additional environmental review, pursuant to the California Environmental Quality Act, as well as additional Planning review and costs.
- 3. Existing Zoning is RR-d1 (Rural Residential with -d Design Review Combining District). Maintain the following minimum zoning standards:

Primary Dwelling Setbacks:

Front: 30 feet Sides: 30 feet Rear: 30 feet

Primary Dwelling Height:

The maximum allowed height of the primary dwelling is 35 feet and may not exceed two (2) stories.

Accessory Dwelling Unit (ADU) Setbacks:

Front: 30 feet Sides: 4 feet Rear: 4 feet

Accessory Dwelling Unit (ADU) Height:

The maximum allowed height of an ADU is 18 feet when located within the setback area for the primary residence, however, if the setbacks for the primary residence are adhered to, the maximum height of an ADU is 35 feet, it may not exceed two (2) stories.

4. Accessory Structures are subject to the development standards regarding height and setbacks as outlined in Zoning Ordinance Section 4.20.020(D). Per Zoning Ordinance Section 4.20.020 (I), accessory structures are limited to two (2) plumbing fixtures (toilet and lavatory sink). A Special Permit is required for detached structures with more than two plumbing fixtures. Below are the minimum setbacks for accessory structures from all property lines. Depending on construction type, the following rear and side setback distances and the building separation distance may be decreased:

Front: Rear half of the lot or 30 feet

Sides: 5 feet Rear: 5 feet

Building Separation: 10 feet

- 5. Paved driveways, patios, walkways, stairways, decks and similar structures whose height does not exceed 30 inches above grade are exempt from setback requirements as per Zoning Ordinance Section 4.20.020(B)(1).
- 6. Driveways and parking areas may not be wider than 40% of the width of the lot's frontage along the street, measured where the driveway(s) crosses the edge of the right-of-way. Driveways and parking areas may not cumulatively cover more than 40% of the land area of the front yard (as defined in Santa Clara County Zoning Ordinance Section 1.30.030). These limitations shall not apply to flag lots or any lot whose street frontage is 25 feet or less.
- 7. All proposed fencing, including walls and gates, are subject to the regulations in Zoning Ordinance Section 4.20.050. Fences over seven (7) feet in height require a building permit.

- 8. To ensure that the project will not have any significant adverse impacts to air quality at the time of construction, the owner is required to abide by all standard dust control measures set forth by both Land Development Engineering and the Bay Area Air Quality Management District (BAAQMD).
- 9. All exterior colors, including roofing and trim, must have a Light Reflectivity Value (LRV) of 45 or less and be in accordance with the approved color / materials board submitted within the approved plans on December 13, 2022.

Land Development Engineering

10. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to adjoining properties.

Department of Environmental Health

11. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

Roads & Airports Department

12. A tree removal permit process is required prior to any tree removal, replacement, or relocation within the County right-of-way (ROW). A tree within the ROW requiring removal approval is any tree at least 20 feet in height or at least 12 inches in diameter measured 4.5 feet above grade. The process for obtaining approval for a tree removal and the forms that are required can be found at: www.countyroads.org > Services > Apply for Permits > Tree Removal from County Right-of-Way.

Santa Clara Valley Water District

- 13. The site may be subject to flooding in the event of a 1 percent or 100-year flood. For more information, please contact the County's Flood Plain Administrator.
- 14. Santa Clara Valley Water District (District) records indicate the site contains zero (0) wells. Any abandoned wells, or wells that are no longer in use, must be properly destroyed. Any wells in use that will be impacted by project activities must be protected. As required by District Ordinance 90-1, an application must be filed with the District for a permit to construct or destroy any well or to drill any exploratory holes dee deeper than 45 feet. Contact the District's Wells and Water Measurement Unit at (408) 630-2660, for more information.
- 15. According to FEMA Firm Panel 06085C0401H (effective date May 18, 2009), the site is located within Zone D, which is an area where flood hazards are undetermined, but possible.

<u>CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO ISSUANCE OF BUILDING AND / OR GRADING PERMIT ISSUANCE</u>

<u>Planning</u>

- 16. **Prior to the issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
- 17. Prior to issuance of a building permit, and pursuant to Zoning Ordinance Section 5.20.125, record a Notice of Permit and Conditions with the Office of the County Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided prior to building permit issuance.
- 18. If the proposed landscaping is in excess of 5,000 square feet, a Licensed Landscape Architect or equivalent must prepare and sign a landscape plan to be approved by the Planning Office. Also, include calculations concerning the water consumption of your proposed landscaping. Water consumption must not exceed State mandated thresholds. Show all proposed landscaping on your final building plans. Landscaping must include vegetation located along the Graystone Lane frontage to ensure the proposed residence is minimally visible to passers-by.
- 19. Building permit plans shall show the size and species of all trees 12 inches or more in diameter within the proposed work area. Clearly label all trees proposed for removal (diameter and type). Include all trees where construction will occur within the tree dripline. Any construction or grading occurring within the dripline of any tree 12 inches or more in diameter shall be protected with construction fencing.
- 20. To mitigate the impacts of any tree removal, as well as any unanticipated tree removal due to construction, the following tree replacement ratios shall be adhered to:
 - a) For each oak tree removed, provide two (2) 24-inch boxed oak trees.
 - b) For each other tree removed, provide one (1) 24-inch boxed trees of similar type to that which is being removed.
 - c) Any replacement trees shall be protected with five-foot tall fencing on steel posts driven into the ground at the dripline of the trees.
- 21. All graded areas shall be re-seeded in conformance with the County Grading Ordinance to minimize the visual impacts of the graded slopes and to reduce the potential for erosion on the subject site. All excess materials must be removed from the site to a County approved disposal site.

Land Development Engineering

22. Obtain a Grading Permit from Land Development Engineering (LDE) prior to beginning any construction activities. Issuance of the grading permit is required prior

to LDE clearance of the building permit (building and grading permits may be applied for concurrently). The process for obtaining a grading permit and the forms that are required to do so can be found at the following web page: https://plandev.sccgov.org/home > How to > Apply for a Development Permit or Planning Application > Grading Permit

- 23. The Grading Permit and Roads & Airports Encroachment Permit will be processed concurrently under one set of improvement (grading) plans.
- 24. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
- 25. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures, and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:
 - Standard Details Manual, September 1997, County of Santa Clara, Roads and Airports Department; https://countyroads.sccgov.org/home > Do Business with Us > County Standard Details, Specifications and Documents
 - 2007 Santa Clara County Drainage Manual; https://plandev.sccgov.org/home > Ordinances & Codes > Grading and Drainage Ordinance
- 26. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified, and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
- 27. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
- 28. All applicable easements affecting the parcel(s) with benefactors and recording information shall be shown on the improvement plans.

29. Provide landscaping and disturbed area quantities on the final plans along with water efficiency calculations to demonstrate compliance with water usage requirements.

Drainage

30. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.

Utilities

31. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.

Stormwater Treatment – San Francisco Bay

- 32. Include one of the following site design measures per the 2015 Municipal Regional Permit in the project design: (a) direct hardscape and / or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design. For additional information, please refer to the C.3 Stormwater Handbook (June 2016) available at the following website:
 - www.scvurppp.org > Elements > New Development and Redevelopment > C.3
 Stormwater Handbook (June 2016)

Soils and Geology

- 33. Submit one copy of the signed and stamped geotechnical report for the project.
- 34. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plan.

Department of Environmental Health

- 35. Based upon average percolation rate of 43 minutes per inch (MPI) with an application rate of 0.46 gallons per day per square feet, onsite sewage disposal conditions have been determined as follows: 2000-gallon septic tank, a dual dispersal field size at 342 lineal feet plus 342 lineal feet (utilizing Infiltrator chambers), interconnected through a positive diversion valve. This designed onsite wastewater treatment system can process a designed waste flow not to exceed 900 gallons per day.
- 36. Submit the final onsite wastewater treatment (OWTS) site / design plan to the Department of Environmental Health for septic system clearance. This plan shall be overlaid onto the final grading and drainage plan (as submitted to Land Development and Engineering). The plans

- shall include the main house, accessory dwelling unit, accessory structures (if applicable), driveway, septic tank and drain lines to contour. Maintain all setbacks as outlined within County of Santa Clara Onsite Manual.
- 37. As confirmation of the final onsite wastewater treatment (OWTS) plan/design, provide to the Department of Environmental Health, the final floor plans for the proposed development: the main single-family dwelling and accessory dwelling unit.
- 38. Provide a current water will serve letter from San Jose Water Company. This letter shall indicate the service provider's intent and ability to provide domestic water to the proposed development.

Fire Marshal's Office

- 39. Fire protection water system shall be installed, functioning and inspected prior to approval of the foundation. System shall be maintained in good working order and accessible throughout construction. A stop-work order may be placed on the project if the required hydrant systems are not installed, accessible, and / or functioning.
- 40. The minimum fire-flow shall be 1,125 gpm at 20 psi after sprinkler reduction.
- 41. The fire-flow may be adjusted depending upon the final size of the structure shown on the building permit set of drawings to meet Appendix B of the CFC.
 - a) At the time of plan submittal for building permit, provide written verification from the water company that this condition can be satisfied.
- 42. These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.
- 43. All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop-work order may be placed on the project if required driving surfaces are not installed, accessible, and / or maintained at all times.
- 44. Roads serving more than two lots, and driveways (roads serving no more than two lots) for fire department access, shall comply with the following:
 - a) Width: Access roads to have a clear drivable width of 18 feet plus a 3-foot shoulder on each side per CFMO-A1. Driveways are to have a 12-foot drivable width and a 3-foot shoulder.
 - b) Vertical Clearance: Minimum vertical clearance of 15 feet shall be maintained to building site. Trim or remove; tree limbs, electrical wires, structures, and similar improvements for access roads and 13 feet 6 inches for driveways.
 - c) Curve Radius: Inside turn radius for curves shall be a minimum of 42 feet.

- d) Grade: Maximum grade shall not exceed 15%.
- e) Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000-pound gross vehicle weight.
- f) Turnarounds: Turnaround shall be provided for driveways in excess of 150 feet as measured along the path of travel from the centerline of the access road to the structure. Acceptable turnaround shall comply with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.
- g) Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.
- h) Address: Numbered address to be easily recognizable from the street.
- 45. Property is located within the South Santa Clara County District Fire response area and the State Response Area (served by Cal Fire).
- 46. This property is located in the Wildland/Urban Interface Fire Area. All of the following conditions shall apply:
 - a) A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
 - b) Meet Chapter 7A of the CBC.
 - c) Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet of the structure.
- 47. Fire protection water systems and equipment shall be accessible and maintained in operable condition at all times and shall be replaced or repaired where defective. Fire protection water shall be made available to the fire department.
- 48. Fire department access roads, driveways, turnouts, and turnarounds shall be maintained free and clear and accessible at all times for fire department access.

Roads & Airports Department

- 49. Obtain a Santa Clara County Roads and Airports Department (RDA) Encroachment Permit for the following required improvements:
 - a) Installation of the driveway approach to County Standard B/5.
 - b) Removal of any vegetation or other obstructions necessary to provide adequate line-of-sight at the driveway approach.

- NOTE: The process for obtaining an Encroachment Permit and the forms that are required can be found at: www.countyroads.org > Services > Apply for Permits > Encroachment Permit.
- 50. Demonstrate that the post-development maximum flow rate into the County Road right-of-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any detention or retention system necessary to satisfy this requirement.

Santa Clara Valley Water District

- 51. On plans to be submitted for a Grading Permit, the following revisions must be addressed:
 - a) References to the "Santa Clara Valley Water District in Keynote #33 on Sheets C-3.0 and C-3.1 need to be removed and replaced with the water retailer for the parcel.
 - b) References to "earthen swale" in Keynote #9 on Sheets C-2.0 and C-2.1 should be corrected to note "AC swale."
 - c) Keynote #20 on Sheets C-3.01 and C-3.1 should reference Detail #8 on Sheet C-4.0 and not Sheet C-4.1.
- 52. All exterior colors, including roofing and trim, must have a Light Reflectivity Value (LRV) of 45 or less and be in accordance with the approved color / materials board submitted on December 13, 2022.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.

Planning

53. Prior to final inspection, contact Carl Hilbrants of the Planning Division <u>at least two (2) weeks in advance</u> to schedule a site visit to verify the approved exterior colors and landscaping have been installed as approved.

Land Development Engineering

- 54. Existing and set permanent survey monuments shall be verified by inspectors prior to final acceptance of the improvements by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
- 55. Construct the improvements. Construction staking is required and shall be the responsibility of the developer.

Department of Environmental Health

56. Provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

Fire Marshal's Office

- 57. An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure.
- 58. The fire sprinkler system shall be installed and finaled by the Fire Marshal Office prior to occupancy. A separate permit shall be obtained from the Fire Marshal Office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by the Fire Marshal Office.

Roads & Airports Department

59. Construct all the improvements approved under the Encroachment Permit.

ATTACHMENT C LOCATION & VICINITY MAP



ATTACHMENT D PROPOSED PLANS

LU RESIDENCE

APPLICABLE CODES:

2019 CALIFORNIA ADMINISTRATIVE CODE 2019CALIFORNIA BUILDING CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA ELECTRIC CODE 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA EXISTING BUILDING CODE 2019 CALIFORNIA REFERENCED STANDARDS CODE COUNTY OF SANTA CLARA COUNTY CODE (SCCC) ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND REGULATIONS.

ADOPTION OF THE 2019 EDITION OF THE CALIFORNIA STATE BUILDING CODES, TITLE 24, CALIFORNIA CODE OF REGULATIONS IS MANDATED BY PART 2.5 OF DIVISION 13 OF THE CALIFORNIA HEALTH & SAFETY CODE (SECTION 18901 ET SEQ.) THE FOLLOWING LOCAL AMENDMENTS TO THE CALIFORNIA STATE BUILDING CODES WERE FILED WITH THE BUILDING STANDARDS COMMISSION

GENERAL NOTES:

- 1. ALL DETAILS, MATERIALS, FINISHES AND ASSEMBLIES ARE NOT NECESSARILY SHOWN. THESE FINAL FINISH DETAILS INCLUDING CASEWORK AND MATERIAL SELECTIONS WILL BE COORDINATED BY THE OWNER
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, APPLICABLE EDITION, THE COUNTY OF SANTA CLARA STANDARD PLANS AND SPECIFICATIONS, AND ALL OTHER PERTINENT CODES, LAWS AND REQUIREMENTS OF THE LOCAL BUILDING OFFICIALS, WHETHER OR NOT SPECIFICALLY SHOWN ON THESE DOCUMENTS, CONTACT ENVISUALITY GROUP INC. IF CONDITIONS OR OTHER CIRCUMSTANCES REQUIRE CHANGES IN THE WORK SHOWN, OR REQUIRE CLARIFICATION. ALL WORK SHALL BE DONE IN A HIGH QUALITY MANNER, ACCORDING TO THE PREVAILING STANDARDS OF THE INDUSTRY FOR EACH TRADE.
- 3. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, SUPERVISION AND CLEAN-UP TO ACCOMPLISH ALL OF THE WORK SHOWN, INCLUDING ALL WARRANTIES AND INSTRUCTIONS. TO PROVIDE A COMPLETE WORKING INSTALLATION, AND TO LEAVE THE OWNER WITH AN APPROVED PRODUCT.
- 4. CONTRACTOR SHALL ASSUME COMPLETE AND SOLE RESPONSIBILITY FOR MEANS AND METHODS OF CONSTRUCTION, AND FOR ALL SAFETY MEASURES TO PROTECT ALL PROPERTY, PERSONNEL AND THIRD PARTIES FROM DAMAGE OR INJURY, THIS RESPONSIBILITY SHALL BE CONTINUOUS AND NOT SOLELY DURING WORKING HOURS. CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS ENVISUALITY GROUP INC., COUNTY OF SANTA CLARA, AND RELATED ENGINEERS FROM ANY CLAIMS OF LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF HIS WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENVISUALITY GROUP INC. AND RELATED ENGINEERS
- 5. THESE DOCUMENTS DO NOT CONTAIN PROVISIONS FOR THE HANDLING OR REMOVAL OF ANY HAZARDOUS MATERIALS. SHOULD ANY SUCH MATERIALS BE SUSPECTED OR ENCOUNTERED, SPECIALISTS SHALL BE CALLED IN TO MAKE RECOMMENDATIONS.
- 6. PROVIDE ALL MANDATORY FEATURES REQUIRED BY THE T-24 ENERGY CODE. INCLUDING WEATHER-STRIPPING, BUILDING INSULATION, PIPE INSULATION, LIGHTING AND APPLIANCE MEASURES. AND OTHER FEATURES REQUIRED BY TITLE 24 OR OTHER STATE. FEDERAL OF LOCAL CODES.
- 7. NO PERSON SHALL ERECT (INCLUDING EXCAVATIONAND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS PERMITTED BY THE COUNTY OF SANTA CLARA.

DEFERRED SUBMITTALS:

- 1) FIRE SPRINKLERS (NFPA 13D)
- 2) SOLAR PV SYSTEM PER CENERGYC 150.1(C)14.

PROJECT DESCRIPTION:

THE PROJECT PROPOSES A NEW SINGLE-FAMILY HOME. DETACHED ACCESSORY DWELLING UNIT, SWIMMING POOL, AND ASSOCIATED LANDSCAPING IMPROVEMENTS ON A VACANT

6,312 SF

GEOTECHNICAL ENGINEER:

ROMIG ENGINEERS 1390 EL CAMINO REAL, 2ND FLOOR

EMAIL: COLEMAN@ROMIGENGINEERS.COM

CARSTAIRS ENERGY 2238 BAYVIEW HEIGHTS DRIVE, SUITE E

SAN CARLOS, CA. 94070

TFI: 415-527-8339

TFI: 805-9049048

CONTACT: COLEMAN NG, PE

TITLE-24 CONSULTANT:

LOS OSOS CA 93402 CONTACT: TIMOTH CARSTAIRS

EMAIL: TITLE24@YAHOO.COM

APN: 696-11-008

OCCUPANCY GROUP R-3 (RESIDENTIAL) / U (UTILITY & MISC.)

CONSTRUCTION TYPE: TYPE V-B (NON-SPRINKLERED) ZONING DISTRICT RR-d1 RURAL RESIDENTIAL

LOT AREA: 47,176 SF (1.08 AC)

PROPOSED GROSS FLOOR AREA: 7,472 SF GARAGE 1 160 SE GROUND FLOOR: 5.138 SF DETACHED ADU: 1.174 SF

MAX HEIGHT LIMIT 35'

PROPOSED HEIGHT: 20'-7'

SETBACKS*

MIN. FRONT 30' 30' MIN. SIDE, INTERIOR:

*(NOTE: PROJECT COMPLIES WITH ALL SETBACKS)

PARKING CALCULATION: PARKING REQUIRED: PARKING PROVIDED:

PROPOSED NET FLOOR AREA:

MAX NUMBER OF STORIES:

PROJECT TEAM DIRECTORY:

ARCHITECT:

ENVISUALITY GROUP, INC 2443 FILLMORE ST, #380-6740 SAN FRANCISCO, CA 94115 CONTACT: HAYES SHAIR, AIA

TEL: 310-869-1469 EMAIL: HAYES@ENVISUALITYGROUP.COM

CIVIL ENGINEER: LEA & BRAZE ENGINEERING

2495 INDUSTRIAL PARKWAY WEST HAVWARD CA 9/5/5 CONTACT: PETE CARLINO, PE TEL: 510-887-4086 ext. 163 EMAIL: PCARLINO@LEABRAZE.COM

I ANDSCAPE DESIGNER ENVISUALITY GROUP, INC 2443 FILLMORE ST. #380-6740

SAN FRANCISCO, CA 94115 CONTACT: HAYES SHAIR, AIA TEL: 310-869-1469 EMAIL: HAYES@ENVISUALITYGROUP.COM

STRUCTURAL ENGINEER: WARMERDAM STRUCTURAL ENGINEERING 284 DONNOR AVENUE

LIVERMORE, CA 94551 CONTACT: BLAKE WARMERDAM TEL: 510-774-8953 EMAIL: BLAKE@WARMERDAMSE.COM

CONCEPTUAL RENDERING



DRAWING INDEX:

A.00 Cover Sheet C-1.0 Title Sheet

C-1.1 Overall Site Plan

C-2.0 Grading and Drainage Plan

C-2.1 Grading and Drainage Plan

C-3.0 Utility Plan

C-3.1 Utility Plan C-4.0 Details

C-4.1 Details

C-5.0 Grading Specifications

ER-1 Erosion Control Plan

BMP-1 Best Management Practices BMP-2 Rest Management Practices

SU-1 Topographic Survey

SS-1 Septic Title Sheet

SS-2 Septic Engineered Plan

SS-3 Septic System Details

Illustrative Site Plan A 01

A.02 Site Renderings

CALGREEN Checklist A.03

CALGREEN Checklist A.04

A.05 CALGREEN Checklist A.06 CALGREEN Checklist

A.10 Ground Floor Plan

A.11 Roof Plan

Ground Floor & Roof Plan - ADU A.12

A.20 Elevation

A.21 Elevation

A.22 Elevation A.23 Elevation - ADU

A.30 Sections

A.31 Sections

VICINITY MAP





Architect: **Envisuality Group, Inc** Haves Shair 2443 Fillmore St. San Francisco, CA, 94115 (310) 869-1469

DRAFT (NOT FOR CONSTRUCTION)

Revision: Date:	By:
2022 10 19	PLANNING CYC1

Lu Residence

18440 Graystone Lane San Jose CA 94150

William Lu 1522 Husted Avenue San Jose CA 95125

PLANNING SUBMITTAL

Cover Sheet

Date: 12/12/2022

A.00

COUNTY OF SANTA CLARA

General Construction <u>Specifications</u>

GENERAL CONDITIONS

- GENERAL CONDITIONS

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- UTILITY LOCATION, TRENCHING & BACKFILL
- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND

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POOL/HARDSCAPE	400 CY	140 CY	3.5 F
LANDSCAPE	0 CY	0 CY	0 F
DRIVEWAY	5 CY	120 CY	2.3 F
OFF SITE IMPROVEMENTS			
TOTAL	EAE OV	100 000	

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
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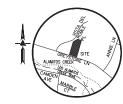
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BZEONNYVALE CUPERTING SITE LOS GATOS J(53)_ COUNTY LOCATION MAP

18840 GRAYSTONE LANE UNINCORPORATED SANTA CLARA COUNTY, CALIFORNIA APN: 696-11-008



VICINITY MAP

CHAIN SEE SIGNAGE LINK DETAIL 1 PIPE 2" O.C. -10'-0" MAX

THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION

SURVEY MONUMENT PRESERVATION

PERFEITATION OF SURVEY WOUNDERTY WITCHES BY CONSTRUCTION
FROM TO THE STATE OF CONSTRUCTION, HE CONTRACTOR SHALL LOCATE,
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GEOTECHNICAL ENGINEER OBSERVATION THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING STE GRADING, DRILLED PER EXCAVATIONS FOR SITE RETAINING WAIL ASCOVARIONS FOR SITE RETAINING WAIL ASCOVARION INSTITUTION AND GRACKFILL SUBGRADE FIRST, AND SIGNATURE OF THE STATE OF THE

HOURS ADVANCE NOTIFICATION (650-559-9980) OF ANY GEOTECHNICAL ASPECTS OF THE CONSTRUCTION AND SHOULD BE PRESENT TO OSSERVE AND TEST THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

EXISTING TREE PROTECTION DETAILS

- EXISTING THEE PROTECTION DETAILS.

 FROM TO BE COMMINIOUS OF ANY GRAND, THE PROTECTION FROM SHALL BE IN PLACE IN ACCORDANGE WITH THE TIES PRESERVATION FLAM CONSTRUCTION AND ACTIVITY DO SHALL BUT THE THEE PROTECTION MEASURED TO CONSTRUCTION, THIS CONSTRUCTION AND ACTIVITY DO SHALL CONSTRUCTION OF STREET OF SHAPE MADE AND ACTIVITY DO SHALL CONSTRUCTION OF SHAPE MADE AND ACTIVITY DO SHALL CONSTRUCTION OF SHAPE MADE AND ACTIVITY DO SHALL CONSTRUCTION OF SHAPE MADE AND ACTIVITY OF SHAPE AND ACTIVITY OF SHAP

STORM DRAINAGE AND STORMWATER MANAGEMENT

- SIDMM DRAINAGE, AND SIDMMWAIER MANAGEM

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AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (___WERE) (___WERE NOT) MINOR FIELD CHANGES — MARKED WITH THE SYMBOL ("). THERE (___WERE) (__WERE NOT) FLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL A.

SIGNATURE

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPYOF THE AS-BULLT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTERCONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

A CONSTRUCTION GESERVATION LETTER FROM THE RESPONSIBILE
GEOTECHNICAL ENGINEER AND ENGINEERING CECLOGYS DETAILING
GEOTECHNICAL ENGINEER AND ENGINEERING CECLOGYS DETAILING
SOME IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL
AND GEOLOGIC REPORTS SHALL BE SUBMITTED PROPR TO THE GRADING
COMPLETION AND RELASE OF THE BOND.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
ISSUED BY: DATE:
ENCROACHMENT PERMIT NO.

NO WORK SHALL BE DONE IN THE COUNTY'S RIGHT-OF-WAY WITHOUT AN ENCROACHEMENT PERMIT, INCLUDING THE STAGING OF CONSTRUCTION MATERIAL AND THE PLACEMENT OF PORTABLE TOILETS.

COUNTY OF SANTA CLARA LAND DEVELOPMENT ENGINEERING & SURVEYING GRADING / DRAINAGE PERMIT NO.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS

CICNIATURE

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF DENORSE PROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE CORRECTION OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE			
	R.C.F. NO.	EXPIRATION DATE	_

A					
	LEA	å	BRAZE	ENGINEERING,	INC

BAY AREA REGION 2459 NUMERON REW WAS AREA REGION 2459 NUMERIA REW WEST SACRAMENTO REGION 2459 NUMERIA REW WEST SACRAMENTO REGION 2459 NUMERIA REW WEST SACRAMENTO REGION 2450 NUMERIA REW WEST SACRAMENTO REGION 2450 NUMERIA REW SACRAMENTO REGION 2450 NUMERIA REM SACRAMENTO REGION 2450 NUMERIA REM

DATE: 06-07-Revision 2 12-07-22 Co. File

18440 GRAYSTONE LANE SAN JOSE, CA APN: 696-11-008

SEE LEGEND ON SHEET C-1.1

SCOPE OF WORK SITE CLEARING AND GRADING FOR CONSTRUCTION OF NEW AC DRIVEWAY, RETAINING WALLS, TEMPORARY AND PERMANENT EROSION CONTROL AS SHOWN ON THESE PLANS.

PRIOR TO GRADING COMPLETION AND RELEASE OF

DEPENDING ON THE SEASON, WEATHER AND FIELD CONDITIONS, EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY, FAILURE TO INSTALL SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURE MAY RESULT IN A VIOLATION, FINES, AND A STOPPAGE OF WORK.

A STOPPAGE OF WORK.

THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE INSTALLATION OF THE WORK PROPOSED ON THE INSTALLATION OF THE RESPONSIBLE FOR THE DESIGN OF THE EROSON CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSON CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSON CONTROL PLANS AND THE PROBLEM THAT THE PROMET HAS THE DEFINITION OF THE EROSON PLANS TO PREVENT ILLICIT DISCHARGES PROM THE SITE DURING CONSTRUCTION.

GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL

SHEET INDEX

COUNTY TITLE SHEET

OVERALL SITE PLAN

GRADING & DRAINAGE PLAN

GRADING & DRAINAGE PLAN LITTLE LTY PLAN

TITLE SHEET

LITTLE TY PLAN

SPECIFICATIONS

EROSION CONTROL PLAN BEST MANAGEMENT PRACTICES BEST MANAGEMENT PRACTICES

TOPOGRAPHIC SURVEY

SEPTIC TITLE SHEET

SEPTIC SYSTEM DETAILS

SEPTIC SYSTEM ENGINEERED PLAN

C-1.0

C-1.2

C-2.0

C-3.0

C-3.1

C-4.0 C-5.0

ER-1

SU-1

SS-1

OWNERS' INFORMATION:

CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF

THE OWNER AND PRIME CONTRACTOR ARE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR ROUND BASIS, DEPENDING ON THE SEASON, WEATHER AND FIELD

APPLICANT: WILLIAM LU COUNTY FILE NO.: TBD ROAD NAME: GRAYSTONE LANE

STREET SIGN

BENCHMARK

CONTOURS

SPOT FLEVATION FLOW DIRECTION

DEMOLISH/REMOVE

TREE TO BE REMOVED TREE PROTECTION FENCING

LINEAR FEET
MAXIMUM
MANHOLE
MINIMUM
MONUMENT
METERED RELEASE OUTLET

OVER
PLANTING AREA
PEDESTRIAN
POST INDICATOR VALVE
PUBLIC SERVICES EASEMENT

PÜBLIC SERVICES EASEMENT
PROPERTY LINE
POWER POLE
PUBLIC UTILITY EASEMENT
POLYVINYL CHLORIDE
RADIUS
REINFORCED CONORETE PIPE
RIM ELEVATION
RAINWATER
RIGHT OF WAY
SLOPE
SANCHITECTURAL DRAWINGS
SANCHITECTURAL DRAWINGS

STORM DRAIN STORM DRAIN MANHOLE

SHEET SEE LANDSCAPE DRAWINGS SPECIFICATION SANITARY SEWER SANITARY SEWER CLEANOUT SANITARY SEWER MANHOLE STREET STATION STANDARD

STRUCTURAL
TELEPHONE
TOP OF CURB
TOP OF WALL
TEMPORARY
TOP OF PAVEMENT
TOP OF PAVEMENT
TOP OF WALL/FINISH GRADE
TYPICAL
VERTICAL CURVE
VITRIFIED CLAY PIPE
VERTICAL

WITH WATER LINE WATER METER WELDED WIRE FABRIC

METERED RELEA: NEW NUMBER NOT TO SCALE ON CENTER

222.57 INV

 $\langle D \rangle$

ABBREVIATIONS

LF MAK MHIN MON. MRO (2)0. NOTS C. O/A) PEIV PSS P. PP US R CP R RW R./W

S.A.D.
SAN
SD
SDMH
SHT
S.L.D.
SPEC
SS
SSCO
SSMH
ST.
STA
STD
STRUCT

TP
TW/FG
TYP
VC
VCP
VERT
W/
W, WL
WM

AGGREGATE BASE

AGGREGATE BASE
ASPHALT CONCRETE
ACCESSIBLE
AREA DRAIN
BEGINNING OF CURVE
BEARING & DISTANCE
BENCHMARK
BUBBLER BOX

BOTTOM OF WALL/FINISH GRADE CATCH BASIN CURB AND GUTTER

CORRUGATED PLASTIC (SMOOTH INTERIOR) CLEANOUT TO GRADE CONCRETE CONSTRUCT OF TION CONCRETE CORNER CUBIC YARD DIAMETER DROP INLET DUCTILE IRON PIPE FACH

EACH
END OF CURVE
EXISTING GRADE
ELEVATIONS
EDGE OF PAVEMENT
EQUIPMENT
EACH WAY

EACH WAY
EXISTING
FACE OF CURB
FINISHED FLOOR
FINISHED GRADE
FIRE HYDRANT
FLOW LINE
FINISHED SURFACE

GAGE OR GALIGE

GAGE OR GAUGE
GRADE BREAK
HIGH DENSITY CORRUGATED
POLVETHYLENE PIPE
HORIZONTAL
HIGH POINT
HUB & TACK
INSDE DIAMETER
INVERT ELEVATION
JUNCTION BOX
JOINT TRENCH
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CENTER LINE CORRUGATED PLASTIC PIPE

222.57 INV

AB AC ACC AD BC B & D BM BUB BW/FG

© CPP

GA GB HDPE

KEY MAP

RETAINING WALL NOTES TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL, NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION. GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEDRAP, ETC.

- NOT IN

FOUND 3/4" IRON PIPE WITH HAIL & BRASS

2. DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION THEQUIREMENTS.

REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.

4. REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINSHES, COLORS, STEEL REFORMOR, MAIRTRIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).

ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.

6. SEE DETAIL SHEET FOR SPECIFIC INFORMATION.

7. PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.





NOTES

THE GROSS AREA OF THE SURVEYED LOT IS 47.176± SQUARE FEET / 1.08± ACRES

EASEMENT NOTE

A CURRENT TITLE REPORT ISSUED BY PEDELTY NATIONAL TITLE INSURANCE COMPANY, ORDER NO. FSEC. BOX200219. ECTRIC PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF THE PROPERTY OF PAGING AND ELECTRIC PER 127 OR. 74.39 NOT PHOTABLE, EXACT LOCATION NOT DISCLOSED IN RECORD. ESSEMENT FOR PAGING GAS AND ELECTRIC PER 1429 OR 227 APPEARS TO BE INCORRECTLY UISTED IN TITLE REPORT.

BENCHMARK

CITY OF SAN JOSE BENCHMARK
CITY BM 801
"P" IN "PUBLIC" TOP OF CATCH BASIN HOOD
AND NORTHERLY ER ON MIT. FOREST DRIVE AND
CAMDEN AVE. ELEVATION = 243.97*

(ADJUSTED TO NAVD 88 DATUM)

SITE BENCHMARK SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 276.92'
(ADJUSTED TO NAVD 88 DATUM)

TREE SIZE, TYPE AND DRIPLINES ARE BASED ON A VISUAL OBSERVATION.
FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

VICINITY MAP

OWNER'S INFORMATION

REFERENCES

THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
1. TOPOGRAPHIC SURVEY BY LEA & BRAZE ENGINEERING, ENTITLED;
"TOPOGRAPHIC SURVEY" 18440 GRAYSTONE AVE SAN JOSE, USA DATED: 04-12-21 JOB# 2201778

2. SITE PLAN BY ENVISUALITY GROUP, INC. ENTITLED: "LU RESIDENCE" 18440 GRAYSTONE LANE SAN JOSE, CA

3. SOIL REPORT BY ROMIG ENGINEERS ENTITLED:
"LU NEW RESIDENCE"
18440 GRAYSTONE LANE
SAN JOSE, CA
JOBJ 5364-1
DATE: FEBRUARY 2021

4. ONSITE WASTEWATER TREATMENT SYSTEM BY LEA & BRAZE ENGINEERING INC, ENTITLED: "ENGINEERING INC., ENTITLED: "ENGINEERING INC., ENTITLED: 18440 GRAYSTONE LANE SAN JOSE, CA. JOBY 2201913, DATE: 09-29-22

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED FOR ALL SHOWN ON THIS SURVEY ARE BASED FOR ALL SHOWN ON SHOULD BE VERHED, BEFORE IS USE, WITH THE CONTROLLING MUNICIPALITY ON UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL OLD AND ALL STANDARD OF SIZE.

TREE NOTE

* BUILDING PAD NOTE: ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD

FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS
PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING





ENGNEEPING, R. E. LAND BURVEYO REGIONAL OFFICES. ROSENUE DUBLIN SAN JOSE

LEA & BRAZE E

LU RESIDENCE 0 GRAYSTONE LANE JOSE, CALIFORNIA 18440 SAN J

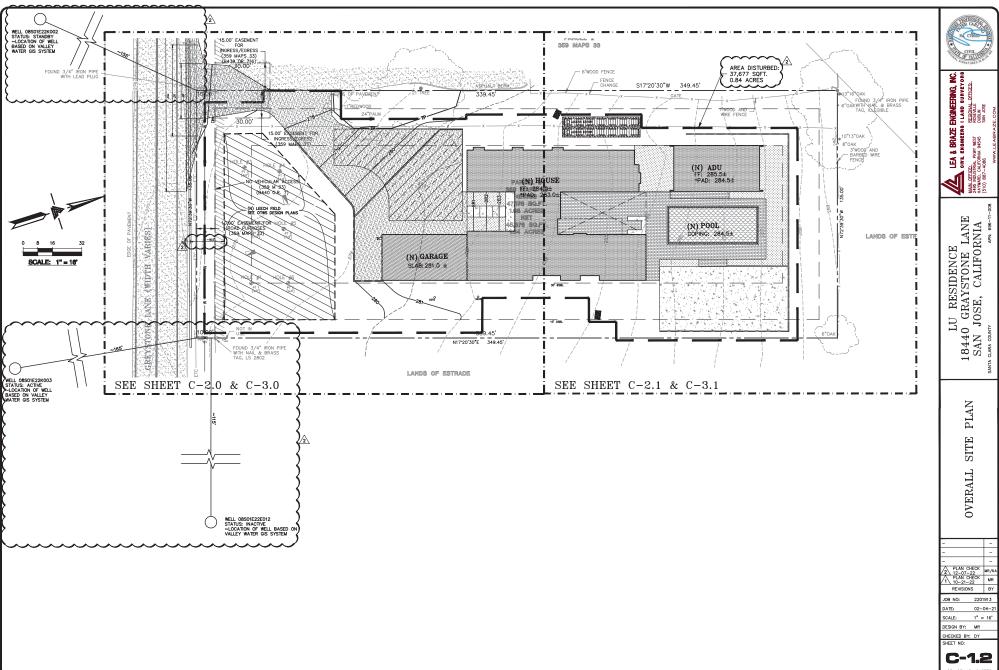
TITLE

PLAN CHECK PLAN CHECK MR 10-21-22 MR MR/K REVISIONS BY 2201913 JOB NO: DATE: 02-04-2 SCALE: 1" = 30"

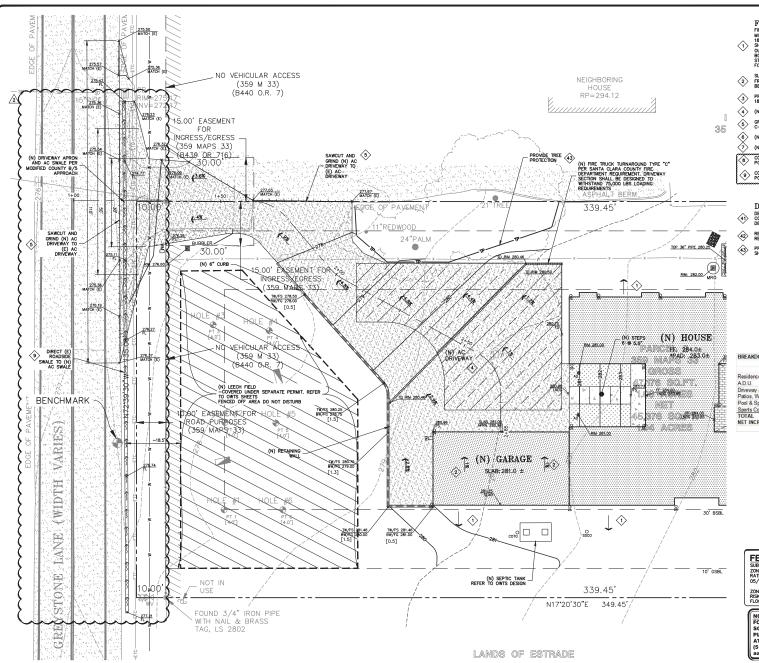
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DESIGN BY: MR

02 OF 13 SHEETS



03 OF 13 SHEETS



FLATWORK KEYNOTES (1) TO (1) FLALT WORK. RETWORES V TO PRINSHED GRADES AT BUILDING PERINSHED FROM SET STUDIED RESIDENCE AND ALL BE SLOPED AT A MANUAUM OF SK FOR THE FIRST TO AWAY FROM THE BUILDING PER BIOLOGICAL AND ALL CONTINUES TO SLOPE TOWNOOS POSITIVE DEANING AND A POSITIVE OUTFALL MAINTAIN 8" CLEMANCE BETWEN FINISH EARTHEN GRADE AND BOTTOM OF MULD SLL AT ALL TIMES PER GREG 20412.12 UNICES STRUCTURAL DETAILING ALLOWS LESS REFER TO STRUCTURAL PLANS FOR FOOMDATION DESIGN AND DETAILS.

SLOPE GARAGE SLAB 1% MINIMUM (1/8" PER FOOT) FROM BACK TO FRONT TO ALLOW FOR ADEQUATE DRAINAGE. MAINTAIN 1/2" TO 1" LIP BETWEEN GARAGE SLAB AND DRIVEWAY. SEE PLANS FOR SPECIFIC DROP

PROVIDE 2% SLOPE ACROSS FLAT WORK AND/OR PAVING PER CBC 1804.4. SLOPE TOWARDS POSITIVE DRAINAGE AS SHOWN ON PLAN.

(N) AC DRIVEWAY. SEE DETAIL 1 ON SHEET C-4.0.

GRIND AC TO TIE (N) AC INTO (E) AC PAVING. SEE DETAIL 4 ON SHEET C-4.0.

(N) CONCRETE PATIOS/WALKWAYS. SEE DETAIL 3 ON SHEET C-4.0.

(N) CONCRETE PATIO IN POOL AREA. SEE DETAIL 3 ON SHEET C-4.0.

CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM POSITIVE OUTFALL. SEE DETAIL 2A ON SHEET C-4.0.

CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL. SEE DETAIL 2B ON SHEET C-4.0.

DEMOLITION KEYNOTES *** TO ***

DEMOLISH (E) IMPROVEMENTS AS NECESSARY TO ACCOMMODATE (N) CONSTRUCTION. NO DEMOLITION SHALL COMMENCE WITHOUT REQUIRED DEMOLITION PERMITS.

REMOVE (E) TREE. CONTRACTOR SHALL OBTAIN THE PROPER TREE REMOVAL PERMITS AS REQUIRED.

PROVIDE TREE PROTECTION AROUND TREES TO REMAIN. SEE DETAIL 6 ON SHEET ER-2.

BREAKDOWN OF IMPERVIOUS AREA 0 sqt. 396 sqt. 0 sqt. 0 sqt. 1,174 sqft 5,794 sqft. 2,764 sqft. 1,050 sqft. 2,808 sqft. Driveway & Parking Patios, Walkways & Pads Pool & Spa Sports Court TOTAL 19,890 sqft. NET INCREASE OF IMPERVIOUS AREA: 19,494 sqft. 0.448 acre





FEMA NOTES
SUBJECT IS LOCATED WITHIN FEMA FLOOD ZONE "D", AS SHOWN ON FLOOD INSURANCE RATE MAP NO. 06085C0401H, DATED 05/18/09

ZONE "D" IS DESIGNATED AS: WHILE FLOOD RISK REMAINS, THE PROBABILITY OF THAT FLOOD RISK HAS NOT BEEN QUANTIFIED.

NOTE: FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

* BUILDING PAD NOTE: ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



LEA & BRAZE ENGNEERAG, INC.

OUT ENGNEERS I LAND SURVEYORS
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DISTRACT PRO

ICE: STRIAL PKWY WEST CALIFORNIA 94545 7-4086 MAIN OFFIC 2495 INDUS HAYWARD, C (510) 887-

LU RESIDENCE O GRAYSTONE LANE JOSE, CALIFORNIA

AND PLAN GRADING DRAINAGE

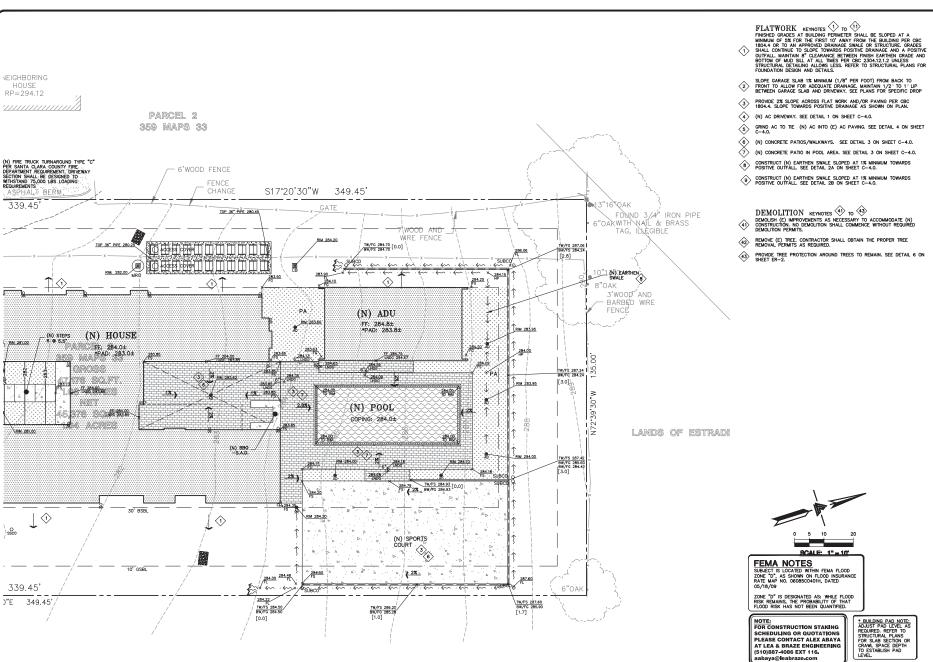
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PLAN CHECK 2 12-07-22 MR/A-1 10-21-22 MR MR/K REVISIONS BY JOB NO: 2201913 DATE:

02-04-21 SCALE: 1" = 10" DESIGN BY: MR

SHEET NO: C-2.0 04 OF 13 SHEETS

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LEA & BRAZE ENGNEERAG, INC.

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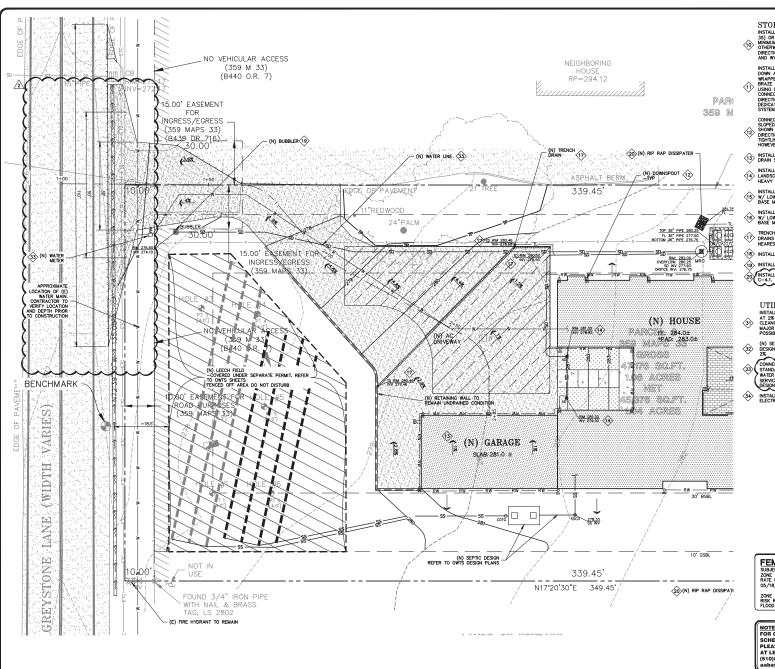
> AND PLAN GRADING DRAINAGE

PLAN CHECK 2 12-07-22 PLAN CHECK 10-21-22 REVISIONS BY 2201913

JOB NO: DATE: 02-04-21 1" = 10"

SCALE: DESIGN BY: MR CHECKED BY: DY SHEET NO:

C-2.1 05 OF 13 SHEETS



STORM DRAIN KEYNOTES ** TO ***

INSTALL (N) ON-SITE STORM DRAIN SYSTEM, USE MINIMUM 6" PVC (SOR

INSTALL (N) ON-SITE STORM DRAIN SYSTEM, USE MINIMUM AT ALL TIMES UNLESS

OTHERWISE NOTE: PROUNDE CLEANOUT TO GRADE AT MAJOR CHANGES IN

DRECTION, AVOID USING 90 BENDS AND INSTEAD USE (2) 45" BENDS

AND WITE CONNECTIONS.

INSTALL (N) SUBDRAIN, USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILER FABBIC (MIRRIT 140%), MIRRADAIN OR OTHER LEA & BRAZE PREAPPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90" BEINDS AND INSTEAD USE (2) 45" BEINDS AND WITE CONNECTIONS, PROVIDE CLEANOUT TO GAZDE AT MAJOR CHANGES IN DECTION AND AT 10" MAXIMUM INTERVALS, SUPERAN SHALL REMAIN A DEDIGATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN STSTEM OR STATEM LASS STEMS OF THE STATEM OF THE STA

CONNECT FAIN WITED DOMISSOURTS TO 4" PVC (SDR-35) TIGHTLINE, SOCIED AT 1% MARMAM. DIRECT TO REARSEST STORM DAWN LINE AS SHOWN ON PLANS, PROVINCE CLEMOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90" BERNS AND INSTEAD USE (2) 45" BERNS TIGHTLINE MAY BE PLACED IN COMMON TERNICH WITH SUBDRAIN LINES, HOWEVER, DIO NOT CONNECT TO SUBDRAIN LINES.

- (3) INSTALL (N) "CHRISTY F08" AREA DRAINS. CONNECT TO ON-SITE STORM DRAIN SYSTEM. SEE DETAIL 5 ON C-4.1.
- INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE). SEE DETAIL 2 ON C-4.1.
- INSTALL (N) "CHRISTY V-24" CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTCOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 4 ON SHEET C-4.1.
- INSTALL (N) "CHRISTY V-12" CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL 4 ON SHEET C-4.1.
- TRENCH DRAINS SHALL BE 6" NDS "DURA-SLOPE" PRESLOPED TRENCH DRAINS W/ TRAFFIC RATED GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 4" PVC TIGHTLINE.
- 18 INSTALL (N) RETENTION SYSTEM. SEE DETAIL 7 ON SHEET C-4.1.
- (9) INSTALL (N) BUBBLER. SEE DETAIL 6 ON SHEET C-4.1.

 (0) INSTALL (N) RIP-RAP ENERGY DISSIPATER. SEE DETAIL 8 ON SHEET C-4.1.

- UTILITIES KENNOTES 3 TO 4 PVC (SDR-26) SLOPED AT 25 MINIMUM. CONNECT TO (6) SERVE MAIN AS SHOWN. PROVIDE CAMOUT TO GRORE AT BUILDING AND BEHIND PROPERTY LIKE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN, REUSE (6) LATERAL IF POSSIBLE. COINCET PER DISTRICT STANDARDS.
- (N) SEWER LATERAL, SEPTIC TANK, AND LEACH FIELD (BY SEPARATE DESIGN). LATERAL SHALL BE 4" PVC (SDR-26 OR BETTER) SLOPED AT 2%.
- 23.

 CONNECT (II) WATER SERVICE PER SAN JUSE WATER COMPANY
 STANDARDS. UPGRADE (E) WATER METER PER SANTA CLARA VALLEY
 WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (II) 2" MINIMUM
 SERVINCE_INE TO (IV) RESIDENCE OR AS DIRECTED BY PIRE SERVINCEE
- INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS. 2



FEMA NOTES

ZONE "D" IS DESIGNATED AS: WHILE FLOOD RISK REMAINS, THE PROBABILITY OF THAT FLOOD RISK HAS NOT BEEN QUANTIFIED.

FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116* BUILDING PAD NOTE: ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.



돌 : ENGNEERING, IN IL LAND BURVEYO REGIONAL OFFICES. ROSEVILE DUBLIN SAN JOSE LEA & BRAZE EL

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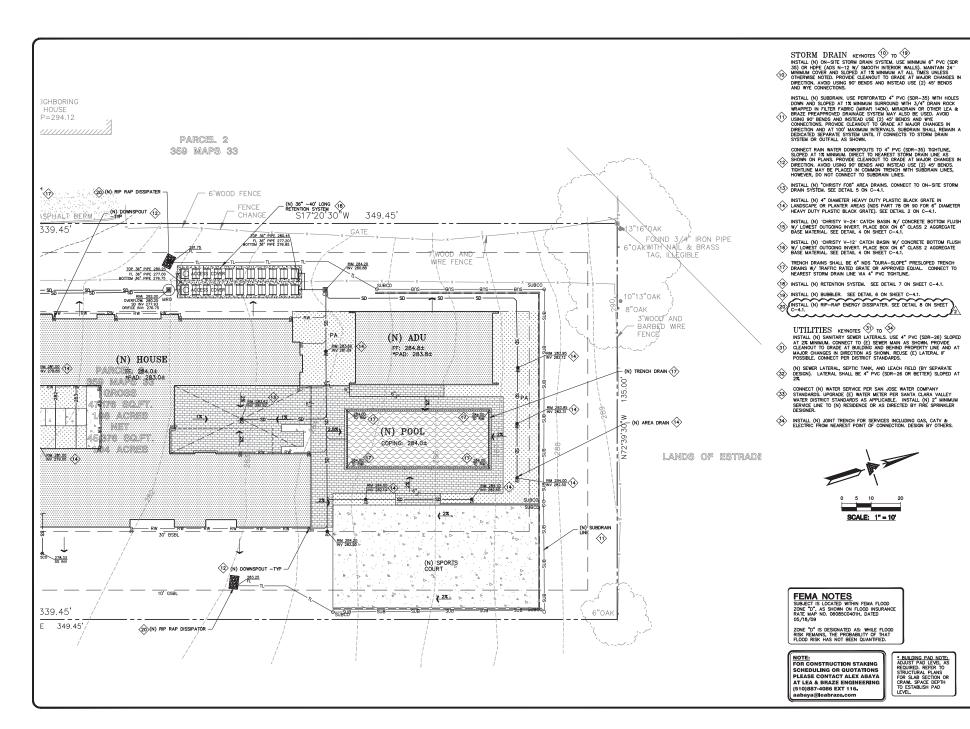
PLAN

PLAN CHECK MR/K 2 12-07-22 MR/K 1 PLAN CHECK MR 1 10-21-22 MR REVISIONS BY JOB NO: 2201913

DATE: 02-04-21 1" = 10"

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돌 : ENGNEERING, IN IL LAND BURVEYO REGIONAL OFFICES. ROSEVILE DUBLIN SAN JOSE

LEA & BRAZE EL ICE: STRIAL PKWY WEST CALIFORNIA 94545 7-4086 MRD WRD MAIN 2495 II HAYWA (510)

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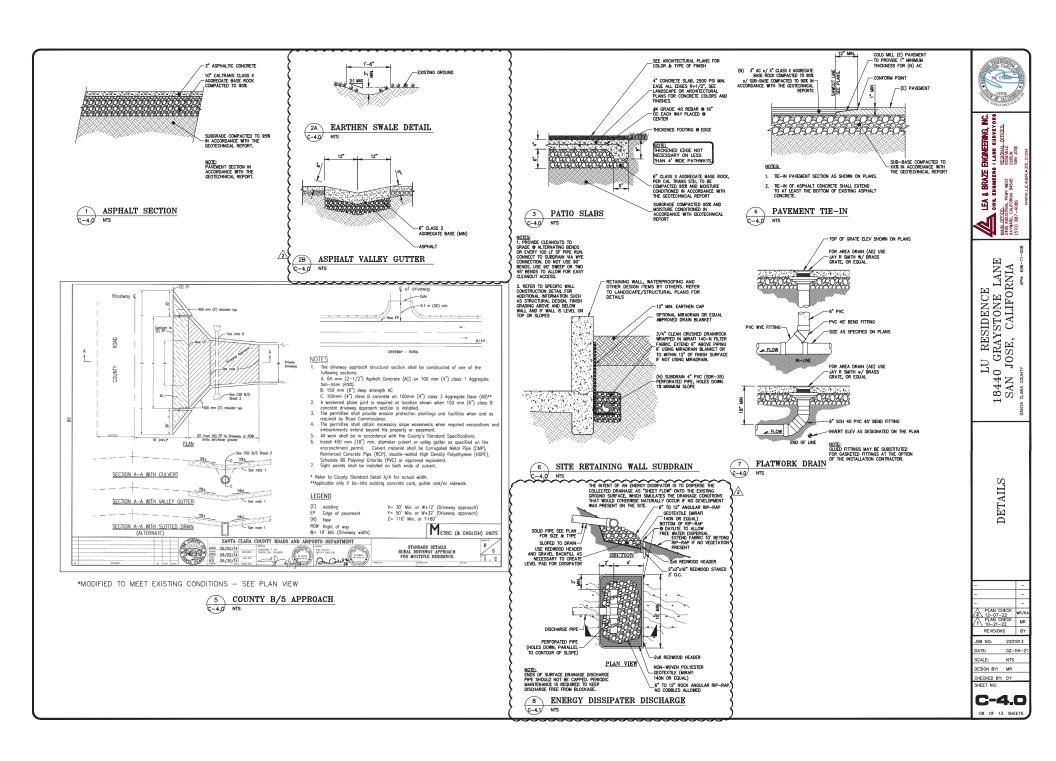
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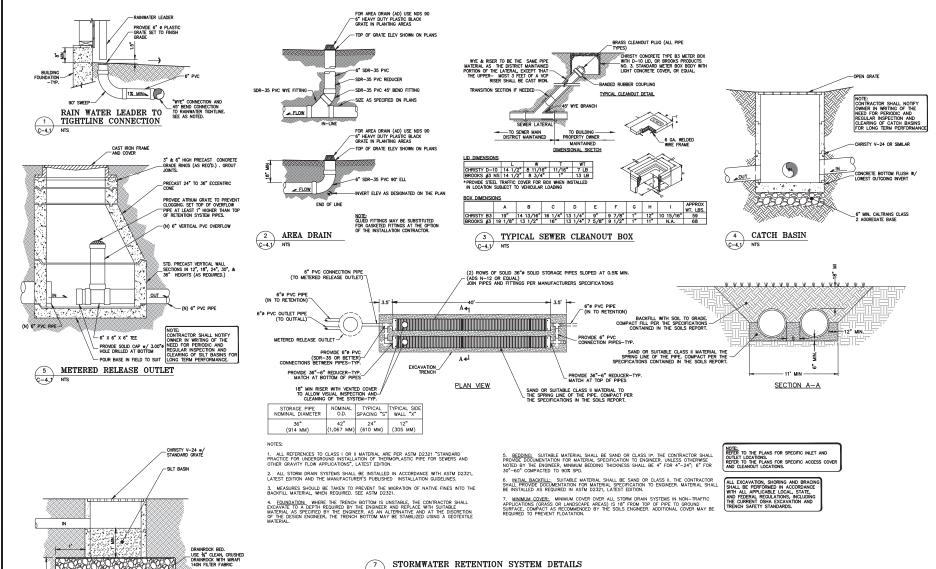
PLAN CHECK MR/K 2 12-07-22 PLAN CHECK 10-21-22 REVISIONS BY JOB NO: 2201913 DATE:

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CIVIL CIVIL CONTRACTORS NO.

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LU RESIDENCE 18440 GRAYSTONE LANE SAN JOSE, CALIFORNIA

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JOB NO: 2201913

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SHEET NO:

THESE DRAWINGS AND THEIR CONTENT ARE AND SHALL RELIAIN THE PROPERTY OF LEA AND BRAZI ENGINEERING, INC. INHERIER THE PROJECT FOR WHICH THEY ARE PREPARED IS DECUTED OR NOT. ARE NOT TO BE USED BY ANY PREPARED IS OF DEEP PROJECTS OR EXTENSIONS OF THE PROJECT EXCEPT BY AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO THE ENGINEER.

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH COVERN EACH PHASE OF WORK INCLUDING, BUT NOT LIMITED TO, CAUFORMA MECHANICAL CODE, CALEFORMA FUNDAMENT AND CODE, CALEFORMA ELECTRICAL CODE, LOUROMAN FARE CODE, CALEFARMS STANDARDS AND SPECIFICATIONS, AND ALL APPLICABLE STATE AND/OR LOCAL CODES AND/OR LEGISLATION.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND ALL SUBCONTRACTORS TO DECK AND MERRY ALL CONDITIONS, DIMENSIONS, LIKES AND LEVELS NOLCHED, PROPER IT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD HERE ER ANY DESCRIPANCES, MINISTREY NOTIFY THE EMPOREER FOR CORRECTION OR AUDISINENT THE EMPORT OF FALLIER TO DO SQ, THE CONTRACTOR SHALL BE RESPONSIBLE FOR GORECTION OF AUDISINENT THE STRUCK.

ALL DIMENSIONS AND CONDITIONS SHALL BE CHECKED AND VERFIED ON THE JOB BY EACH SUBCONTRACTOR BEFORE HE/SHE BEGINS HIS/HER WORK. ANY TRRORS, OMESSION, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTRICTION OF THE OWNER/CONTRACTOR BEFORE CONSTRUCTION BEGINS.

COMMENCEMENT OF WORK BY THE CONTRACTOR AND/OR ANY SUBCONTRACTOR SHALL INDICATE KNOWLEDGE AND ACCEPTANCE OF ALL CONDITIONS DESCRIBED IN THESE CONSTRUCTION DOCUMENTS, OR EASTING ON STITE, WHICH COLUD AFFECT THEIR WORK.

IN THE EVENT ANY SPECIAL SEQUENCING OF THE WORK IS REQUIRED BY THE OWNER OR THE CONTRACTOR, THE CONTRACTOR SHALL ARRANGE A CONFERENCE BEFORE ANY SUCH WORK IS BEGUN.

STE EXAMINATION: THE CONTRACTOR AND ALL SHEONTHACTORS SHALL THOROUGHLY EXAMINE THE STE AND FAMILHABEZ HALFMERZH WITH THE CONCINION UNDER WHICH THE BORK S TO BE WORK AND SHALL BE RESPONSIBLE FOR THE CONSECTION OF THE SAME. HO STEAM COMMENSION WILL BE ALDORED THE CONTRACTOR FOR EXPENSION DUE TO HE SAME. HO STEAM COMMENSION WILL BE ALDORED TO THE CONTRACTOR FOR EXPENSION DUE TO HIS/HER NEGLECT TO EXAMINE, OR FAILURE TO SECONDER, CONCINIONS WHICH THEY CET HE/HER NEGLECT TO EXAMINE, OR

LEA AND BRAZE DIGINEDRING, INC., DOPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS, THESE PLANS ARE NOT TO BE REPRODUCED, GRAHED OR COPPUT ON ANY PROPERTY OF THE PROPERTY RIGHTS IN THE PROPERTY OF THE PROPERTY SHALL HOLD HANDLESS LEAD OR BRAZE DIGINEDRING, INC.

CONSTRUCTION IS ALMAYS LESS THAN PERFECT SINCE PROJECTS REQUIRE THE COORDINATION AND RESIZALITION OF MANY MONOPOLAL COMPONENTS BY WROCKS CONSTRUCTION ROCKING THAT THE RESIZENCE ARE CONSTRUCTION ROCKING THAT THE RESIZENCE ARE COMMENTS THAT THE PREPERSICH ARE COMMENTS THAT THE PREPERSICH ARE COMMENTS THAT THE RESIZENCE ARE LOCK THE RESIZENCE ARE COMMENTS THAT CONSTRUCTION RESIZE STRUCTS BY A RESIZENCE, OR SHOULD HAVE BEEN THE PROBLEMENT THAT CONSTRUCTION RESIZENCES, THE RESIZENCE ARE COMMENTS THAT CONSTRUCTION RESIZENCES, THE RESIZENCE ARE COMMENTS THAT CONSTRUCTION RESIZENCES, THE CONSTRUCTION RESIZENCES.

IF THE OWNER OR CONTRACTOR OBSERVES OR OTHERWISE BECOMES AWARE OF ANY FAULT OR DEFECT IN THE PROJECT OR NOKICONFORMANCE WITH THE CONTRACT DOCUMENTS, PROMPT WRITTEN MOTICE THEREOF SHALL BE GIVEN BY THE OWNER AND/OR CONTRACTOR TO THE ENGNEER.

THE ENGINEER SHALL NOT HAVE CONTROL OF OR CHARGE OF AND SHALL NOT SEE RESPONSIBLE FOR CONSTRUCTION MEANS, METRICO, FOR CHARGE CONTROL OF RESPONSIBLE FOR CONSTRUCTION MEANS, METRICO, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SHATTY PRECAUTIONS AND PROPRIAGES NO CHARGETON METH THE WORK, FOR THE ACTS OR CHASSIONS OF THE CONTRACTORS, SHE CONTRACTORS, OR ANY OTHER PRECAUCE PREFORMS ANY OF THE WORK, OF FOR THE ALLEY OF ANY OF THEM TO CHARGE OTHER THE CHARGE OF THE WORK, OF FOR THE ALLEY OF ANY OF THEM TO CHARGE OTHER THEM.

PROTECT ALL LARGOLAPIES THAT IS TO RELIAR, ANY DANIES OR LOSS RESULTING FROM DECAMBING, AND CONSISTENCE WAS MADE (OR CONSECTION OF REVISION FROM SHARE) OR CONSECTION OF REVISION FROM THE CONTRIVER OF THE CONTRI

STORMWATER POLLUTION PREVENTION NOTES

- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING SOLID WASTES, PAINTS, CONCRETE, PETRICLEUM PRODUCTS, CHEMICALS, MASH WATER OR SEDIMENT, AND NON-STORMMATER DISCHARGES TO STORM PRAINS AND WATER COURSES.
- 3) USE SEDIMENT CONTROL OR FILTRATION TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT. 4) AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON SITE, EXCEPT IN A DESIGNATED AREA IN WHICH RUNGFF IS CONTAINED AND TREATED.
- Delineate Clearing Limits, Easements, Setbacks, Sensitive or Critical Areas, Buffer Zones, Trees and Discharge Course with Field Markers.
- 6) PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OF FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
- 7) PERFORM CLEARING AND EARTH MOVING ACTIVITIES DURING DRY WEATHER TO THE MAXIMUM EXTENT
- 8) LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF
- 9) LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
- 10) AVOID TRACKING DIRT OR MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS TO THE MAXIMUM EXTENT PRACTICAL.

- A. THE PHRASE "NO DUMPING DRAINS TO BAY" OR EQUALLY EFFECTIVE PHRASE MUST BE LABELED ON STORM DRAIN BILETS (BY STENCING, BRANDING, OR PLAQUES) TO ALERT THE PUBLIC TO THE DESTINATION OF STORM WRITER AND TO PREVENT DREFOR DISCHARGE OF POLULITAINTS INTO THE STORM DRAIN.
- R. USING FILTRATION MATERIALS ON STORM DRAIN COVERS TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT
- C. STABILIZING ALL DENIDED AREAS AND MAINTAINING EROSION CONTROL MEASURES CONTINUOUSLY FROM OCTOBER 15 AND APRIL 15.
- D. REMOVING SPOILS PROMPTLY, AND AVOID STOCKPILING OF FILL MATERIALS, WHEN RAIN IS FORECAST. IF RAIN THREATENS, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH A TARP OR OTHER WATERFOOT MATERIAL.
- E. STORING, HANDLING, AND DISPOSING OF CONSTRUCTION MATERIALS AND WASTES SO AS TO AVOID THEIR ENTRY TO THE STORM DRAIN SYSTEMS OR WATER BODY.
- F. AVOIDING CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN AN AREA DESIGNATED TO CONTAIN AND TREAT RINGEF.

GRADING & DRAINAGE NOTES:

1. SCOPE OF WORK

THESE SECURICATIONS AND APPLICABLE FLAME PETEND TO JUDI PALLIES ALL. STE GARDING AND EXHIBITION ASSOCIATION BIT THE PROCESSION FOR SITE CLARRING AND GRADINGS, THE PROPARATION, LOGIC AND EQUIPMENT RECESSION FOR SITE CLARRING AND GRADINGS, SITE PROPARATION, EXCOUNTED THE PROPARATION, EXCOUNTED THE PROPARATION FOR SITE PROPAR

GENERAL.

- ALL FLI LIMITARIUS SHALL SE EDISHINED SO, AS TO ROBUSTE A RESIDENT HAS ILLES THAN 400 KEALTHE COMPACTION BASED DOWN ARTH SETS DESIGNATION 1005.7 FIGURE DOSHITT THIS BLIE SETFORMED IN ACCORDANCE WITH ASTH SETS DESIGNATION 1022 AND 307. THE LOCATION AND PRECIDENCY OF THE TOP LOCATION AND PRECIDENCY OF THE SETS DESIGNATION THAN LIKE AS DETERMINED WITH EAST DESIGNATION. THE SETS THAN ADDITION THE SETS OF THE SETS AND ADDITION THE SETS OF THE SETS AND ADDITION THE SETS OF TH
- C. THE CONTINUED SHALL BE RESPONSED FOR THE SATE ATTOM COMPLETION OF ALL THE CAPHINGON IN ACCORDANCE WITH THESE PLANS AND SPECIALIZIONS. OF DEVIALIDING HIS OWNER SEPCOLATIONS SHALL BE MADE EXCEPT LOPIN INSTITUTE APPROVAL BY THE SILLS DEMERST AND FOR LONGLING AND SHALL BE SHAPE CONTINUED TO THE SATE AND THE SALLS DEMERST AT THE CONTINUED AS SHALL BE SHAPE AT THE SALL SHAPE AND THE SHAPE AND T

CLEARING AND GRUBBING

- A. THE CONTRACTOR SHALL ACCEPT THE SITE IN ITS PRESENT CONDITION, ALL EXISTING PUBLIC IMPROVEMENTS SHALL BE PROTECTED, ANY IMPROVEMENTS DAMAGED SHALL BE REPLACED BY THE CONTRACTOR AS DIRECTED BY THE LOCAL JURISDICTION WITH NO EXTRA COMPENSION.
- B. ALL ABANDONED BUILDINGS AND FOUNDATIONS. TREE (EXCEPT THOSE SPECIFIED TO REMAIN FOR
- C. ALL ABANDONED SEPTIC TANKS AND ANY OTHER SUBSURFACE STRUCTURES EXISTING IN PROPOSED DEVELOPMENT AREAS SHALL BE REMOVED PRIOR TO ANY ORADING OR FILL OPERATION. ALL APPLICIENTANT DRAIN FIELDS AND OTHER CONNECTING LINES MUST ALSO BE TOTALLY REMOVED.
- D. ALL ABANDONED UNDERGROUND RRIGATION OR UTILITY LINES SHALL BE REMOVED OR DEMOLISHED. THE APPROPRIATE FINAL DISPOSITION OF SUCH LINES DEPEND UPON THEIR REPTH AND LOCATION AND THE METHOD OF REMOVAL OR DEMOLITION SHALL BE DETERMINED BY THE SOLS ENGINEER. ONE OF THE FOLLOWING METHODS WILL BE USED:
 - (1) EXCAVATE AND TOTALLY REMOVE THE UTILITY LINE FROM THE TRENCH.
 - (2) EXCAVATE AND CRUSH THE UTILITY LINE IN THE TRENCH.
 - (3) CAP THE ENDS OF THE UTILITY LINE WITH CONCRETE TO PREVENT THE ENTRANCE OF WATER.
 THE LOCATIONS AT WHICH THE UTILITY LINE WILL BE CAPPED WILL BE DETERMINED BY THE
 UTILITY DISTRICT ENGINEET. THE LIDENTH OF THE CAP SHALL NOT RESS THAN FIVE FEET,
 AND THE CONCRETED MIX EMPLOYED SHALL HAVE WINMAIN SHRINKAGE.
- 4. SITE PREPARATION AND STRIPPING
- A. ALL SURFACE ORGANICS SHALL BE STRIPPED AND REMOVED FROM BUILDING PADS, AREAS TO RECEIVE COMPACTED FILL AND PAVEMENT AREAS.
- LIFTON THE CHARGED IN THE GROWNES STREPTING OFFICIALISM. THE GROWNES SHAPPED, FAUNTS CASE, STREETING PORT AND A CASE AND A AND A C

EXCAVATION

- APPORT CONFIDENCE OF THE CLEANER AND CHRISTING, SET PREPARATION AND STREPPINE, THE CONTRICUTION PROLIFECTION OF THE SAME ORGANIC SOUTHON THE PROLIFECTION OF THE SAME ORGANIC SOUTHON OF THE SAME ORGANIC SOUTHON OF THE SAME OF THE SAME OFFICE THE SAME OFFI T
- B. EXCAVATED MATERIALS SUITABLE FOR COMPACTED FILL MATERIAL SHALL BE UTILIZED IN MAKING THE REQUIRED COMPACTED FILLS. THOSE MATIVE MATERIALS CONSIDERED UNSUITABLE BY THE SOILS ENGINEER SHALL BE DEPOSED OF OF THE SITE BY THE CONTRACTOR.

 11.

6. PLACING, SPREADING AND COMPACTING FILL MATERIAL

THE MATERIALS PROPOSED FOR USE AS COMPACED. THE SMALL SE APPROVED BY THE SIZE EXHIBITION CONTRIBUTION OF MATERIAL PROTECTION CONTRIBUTION OF MATERIAL PROTECTION STATUS OF THE SIZE EXHIBITION CONTRIBUTION OF THE SIZE EXHIBITION OF

B. FILL CONSTRUCTION

THE SIZE DURINGE SHALL PRODUCE THE WINTE ONE SUBGROUPE SETTOR. PLASMIST OF MY CONCENTRATE MANNEL AMMONFTHER MAINTE SOIL SHALL BE REMOVED AS RECEIVED BY THE SOILS PRIMERED. THE RESULTION GROUND LIKE SHALL BE SCHRIFTED MOSTINE CONTINUED AND RECOVERANTED AS POSSIONS AS EXTENDED AS PRESSION AS PRODUCED AS PRESSION AS PRODUCED AS PRESSION DEFINED OF THE SUBSOIL BEFORE PLACEMENT OF THE FILL.

THE APPROAD FIL MATERIAS SHALL BE PLACED IN UNFORM HORIZONTAL LAYERS NO THOCH THAN 6" IN LOSE THOCKESS, LAYERS SHALL BE SPREAD FEINT, AND SHALL BE TIMEQUEAY BLUE MICE JOHNS THE SPREADOR TO BUSINE WINDOWN OF MATERIAN BY SOLID LAYER. THE SOMEOTIME WHEN THE MOSTIME CONTINUE OF THE FILL IS BLUE THAT SPECIFIED, WAITE SHALL BE ADOCD LINIL HEN NOSTIME DOWN TO ECOMPACTION FORCESS, WHICH THE WORLD'S CONTINUE OF THE APPLICATION HENCE SHALL BE ADDITIONALLY THE APPLICATION OF THE SHALL BE ADOCD LINIL HENCE SHALL BE ADDITIONALLY SHALL BE ADMITED BY BLUDWE OF HORIZON TO HENCHOLD WITH THE ADMITTAL SHALL BE ADMITED BY BLUDWE OF HORIZON TO HENCE SHALL BE ASSOCIATED AND ASSOCIATED AND ASSOCIATED AND THE SHALL BE ADMITTAL HENCE SHALL BE ASSOCIATED AND THE ASSOCIATION OF THE SHALL BE ADMITTAL HENCE SHALL BE ASSOCIATED AND THE ASSOCIATION OF THE SHALL BE ADMITTAL HENCE SHALL BE ASSOCIATED AND THE ASSOCIATION OF THE SHALL BE ADMITTAL HENCE SHALL BE ASSOCIATED AND THE ASSOCIATION OF THE SHALL BE ADMITTAL HENCE SHALL BE ASSOCIATED AND THE ASSOCIATION OF THE SHALL BE ADMITTAL HENCE SHALL BE ASSOCIATED AND THE ASSOCIATION OF THE SHALL BE ADMITTAL BE ADMITTAL HENCE SHALL BE ASSOCIATED AND THE ASSOCIATION OF THE SHALL BE ADMITTAL HENCE SHALL BE ASSOCIATED AND THE ASSOCIATION OF THE SHALL BE ASSOCIATED.

AFTER EACH LAYER HAS BEEN PLACED, MIXED, SPREAD EVENLY AND MOISTURE CONDITIONED, IT SHALL BE COMPACTED TO AT LEAST THE SPECIFIED DENSITY.

THE FILL OPERATION SHALL BE CONTINUED IN COMPACTED LAYERS AS SPECIFIED ABOVE UNTIL THE FILL HAS BEEN BROUGHT TO THE FINISHED SLOPES AND GRADES AS SHOWN ON THE PLANS, NO LAYER SHALL BE ALLOWED TO DRY OUT BEFORE SUBSEQUENT LAYERS ARE PLACED.

COMPACTION EQUIPMENT SHALL BE OF SUCH DESIGN THAT IT WILL BE ABLE TO COMPACT THE FILL TO THE SPECIFED MINIMUM CHAPACTION WITHIN THE SPECIFED MOSTURE CONTENT RANGE, COMPACTION OF EACH LAYER SHALL BE CONTINUOUS OVER ITS ENTIRE AREA UNTIL THE REQUIRED MINIMUM DENSITY HAS BEEN GRINNED.

7. CUT OR FILL SLOPES

ALL CONSTRUCTED SLOYES, BOTH CUT AND FILL, SHALL BE NO STEEPER THAN 2 TO 1 (MOREONITAL TO METRICAL), DOWNER THE GRANDER COMPANION, COMPANION FILL SCORES SHALL BE OPERATION OF METRICAL DESTROY, ON THE SCORES SHALL BE AND OFF TO DEATH OF PROSED SACE BEAUTION, ALL CUT AND FILL SCORES SHALL BE TRACE WANTED PITTS BEDIE REQUESTED TO THOSE GRANDER, ALL CUT AND FILL SCORES SHALL BE TRACE WANTED PITTS BEDIE REQUEST TO THOSE GRANDER, ALL CUT AND FILL SCORES SHALL BE TRACE WANTED PITTS BEDIE REQUEST TO THOSE GRANDER OF THE STATE SHALL BE TRACE WAS TO THE STATE SHORTER FAT AND PROSE COLORS CONTROL OF EXPOSED, IT SHALL CHARGING TO COLORS. THE STALL SHORTER SHALL RECOMMEND THE APPROPRIATE WITGATION MEASURES AT THE TIME OF THE RECORDS.

8. SEASONAL LIMITS AND DRAINAGE CONTROL

FILL MITSHALS SHALL NOT BE PLACED, SPEED OF COMPATID HILE IT IS IT AN INSULARLY NON INTERPRETED FOR ANY REASON HER FILL OPERATIONS SHALL NOT BE RESIDED UNIT, FIELD ITST PROFORMED TO THE SOLS DEMOMENT BROKET. HIM THE MUST CONTRIDUE IN HER SHALL NOT ENTOUGH THE PROPERTY OF THE PROPERTY OF THE PROPERTY REPORT OF THE PROPERTY RESIDED OF THE PROPERTY RESIDED AND THE SHALL FOR PROPERTY RESIDED AND THE SIZE OF THE PROPERTY RESIDED AND THE PROPERTY RESIDED AND THE SHALL FOR PROPERTY RESIDED AND THE SIZE OF THE PROPERTY RESIDED AND THE PROPERTY RESIDED AND THE SHALL FOR PROPERTY RESIDED AND THE SIZE OF THE PROPERTY RESIDED AND THE PROPERTY RESIDED AND THE SIZE OF THE PROPERTY RESIDED AND THE SIZE OF THE PROPERTY RESIDED AND THE SIZE OF THE PROPERTY RESIDED AND THE PROPERTY RESIDED AND THE SIZE OF THE PROPERTY RESIDED AND THE PROPERTY RESIDED AND THE SIZE OF THE PROPERTY RESIDED AND THE PROPERTY RESIDENCE AND THE PROPERTY RESI

DUST CONTROL

THE CONTROTTED SHALL THER ALL STEPS DESIGNATE FOR THE ALLANDROOF OF PROTORTION OF ANY DOES MARKAGE OF GO AROUT THE STEP ALOUGHD OF THE CONTROLTION OF GRAINS BEING THE THE PROTORMANCE OF THE GRAINSON OR RESILTION FROM THE CONTROLTION LIVES THE STEP ACCOUNTRACTION SHALL SEASON ALL MARKING THE OLDING MOST FOR OF CO-CO-TOPIONATION FOR ALL CASES MELLY THE TO DOES OF MICH. CHIM MAINTAINS, ATTRIBUTION, TO CO-TOPIONATION FOR ALL CASES MELLY THE CONTROLTION AND THE ANY THE ANY AND THE CONTROLTION SHALL SEA ALLOWER. SHALLDON TO THE CENTRALISM THE AROUT AND THE CONTROLTION SHALL SEA ALLOWER. SHALLDON THE CENTRALISM THE AROUT ON THE CONTROLT SHALL SHALLDON, THE STATE OF THE CENTRALISM THE AROUT ON THE CONTROLT SHALL SHALLDON, THE CONTROLT SHALLDON THE CONTROL THE AROUT AND THE CONTROL THE CONTROL THE CONTROL THE CONTROL THE CONTROL THE AROUT THE CONTROL THE AROUT THE CONTROL THE CO

THE CONTRACTOR WILL HOLD HARMLESS, INDEMNEY AND DEFEND THE ENGINEER, THE OWNER AND HIS CONSULTANTS AND EACH OF THERE OFFICERS AND DEPRLOPESS AND ADDITS, FROM ANY AND ALL UNBUTY CLAMS, SOSSES ON BANAGE AGRISING OF ALLEGOD TO HEERIN, BUT NOT INCLUDING THE SOLE REGULGENCE OF THE OWNER, THE ARCHITECT, THE ENGINEER AND HIS CONSULTANTS AND EACH OF THERE OFFICERS AND DEPLLOPESS AND ADDITS.

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB STE. NOLIDING SAFETY OF ALL PERSONS AND PROPERTY DURING PEFFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEERS TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR PART HIE CONSTRUCTION STE

12. GUARANTEE

NETHER THE FINAL PAYMENT, NOR THE PROVISIONS IN THE CONTRACT, NOR PARTIAL, NOR ENTIRE USE OR OCCUPANCY OF THE PREMISES BY THE OWNER SHALL CONSTITUTE AN ACCEPTANCE OF THE WORK NOT DOME IN ACCORDANCE WITH THE CONTRACT OR RELIEVES THE CONTRACTOR OF LUBLITY IN RESPECT TO ANY EXPRESS WARRANTIES OR RESPONSIBILITY FOR FAULTY MATERIAL OR WORKMANSHIP.

THE CONTRACTOR SHALL REMEDY ANY DEFECTS IN WORK AND PAY FOR ANY DAMAGE TO OTHER WOR RESULTING THERE FROM WHICH SHALL APPEAR WITHIN A PERIOD OF ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.

13. TRENCH BACKFILL

EROSION CONTROL

- A. ALL GRADING, EROSION AND SEDIMENT CONTROL AND RELATED WORK UNDERTAKEN ON THIS SITE IS SUBJECT TO ALL TERMS AND CONDITIONS OF THE COUNTY GRADING ORDINANCE AND MADE A PART HEFORE BY DESTROBLY.
- B. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO ANY PUBLICLY OWNED AND MAINTAINED ROAD CAUSED BY THE AFORESAID CONTRACTOR'S GRADING ACTIVITIES, AND SHALL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SHELD ON ANY PUBLIC ROAD ON THE HAUR, CRUD
- C. THE EROSION CONTROL MEASURES ARE TO BE OPERABLE DURING THE RAINY SEASON, GENERALLY FROM OCTOBER FIRST TO APRIL REFIEENTH, EROSION CONTROL PLANTING IS TO BE COMPLETED BY OCTOBER FIRST. NO GRADING OR UTILITY TREAMING SHALL COLD RETURNED OCTOBER FIRST AND APRIL FFTEETH MUSES AUTHORIZED BY THE LOCAL JURISDICTION.
- D. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL, PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE SOLE SENGMEER.
- E. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE WAINTAINED SO AS TO MINIMIZE SEDIMENT—LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- F. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON.
- G. WHEN NO LONGER NECESSARY AND PRIOR TO FINAL ACCEPTANCE OF DEVELOPMENT, SEDIMENT BASINS SHALL BE REMOVED OR OTHERWISE DEACTIVATED AS REQUIRED BY THE LOCAL JURISDICTION.
- H. A CONSTRUCTION EXTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE TO ROADWAY, A CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (2" TO 3") MINIMUM DUMETRY) AT LEAST EIGHT BOOKES THICK OF YFFTY (50) FEET LOGG BY TRENTY (20) FEET INDE UNLESS SHOWN OTHERWISE ON LAWA MAS SHALL E-MANTANED UNIT. THE SITE IS PARED.
- ALL AREAS SPECIFIED FOR HYDROSEEDING SHALL BE NOZZLE PLANTED WITH STABILIZATION MATERIAL CONSISTING OF FIBER, SEED, FERTILIZER AND WATER, MIXED AND APPLIED IN THE FOLLOWING PROPORTIONS:

FIBER, 2000 LBS/ACRE SEED, 200 LBS/ACRE (SEE NOTE J, BELOW) FERTILIZER (11-8-4), 500 LBS/ACRE WATER, AS REQUIRED FOR APPLICATION

- J. SEED WIX SHALL BE PER CALTRANS STANDARDS.
- K. WATER UTILIZED IN THE STABILIZATION MATERIAL SHALL BE OF SUCH QUALITY THAT IT WILL PROMOTE GERHMATION AND STIMULATE GROWTH OF PLANTS. IT SHALL BE FREE OF POLILUTANT MATERIALS AND WEED SEED.
- L. HYDROSEEDING SHALL CONFORM TO THE PROVISIONS OF SECTION 20, EROSION CONTROL AND HIGHWAY PLANTING", OF THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED.
- M. A DISPERSING AGENT MAY BE ADDED TO THE HYDROSEEDING MATERIAL, PROVIDED THAT THE CONTRACTOR FUNNISHES SUITABLE EVIDENCE THAT THE ADDITIVE WILL NOT ADVERSELY AFFECT THE PERFORMANCE OF THE SEPTIMA MUTIFIED.
- N. STABILIZATION MATERIALS SHALL BE APPLIED AS SOOM AS PRACTICABLE AFTER COMPLETION OF GRADING OPERATIONS AND PRIOR TO THE CHIST OF MINTER RAINS, OR AT SUCH OTHER TIME AS DIRECTED BY THE COUNTY DIGNEET. THE MATERIAL SHALL BE APPLIED BEFORE INSTALLATION OF OTHER LANGSCHAPE MATERIALS SUCH AS TREES, SHRINGS AND ORGAND COVERNO COURSE.
- O. THE STABILIZATION MATERIAL SHALL BE APPLIED WITHIN 4-HOURS AFTER MIXING. MIXED MATERIAL NOT USED WITHIN 4-HOURS SHALL BE REMOVED FROM THE SITE.
- P. THE CONTRACTOR SHALL MANTAIN THE SOLL STABILIZATION MATERIAL AFTER PLACEMENT. THE COUNTY MEMOREM MAY REQUIRE SPANY APPLICATION OF WATER OR OTHER MANTEMANCE ACTIVITIES TO ASSIST THE PRETENTING ASSISTANCE ASSISTANCE SHALL BE ACCOMPLISHED USING NOZZLES THAT PRODUCE A SPRAY THAT DOES NOT CONCENTRATE OR WASH AWAY THE STREELZHOM MATERIALS.

15. CLEANUP

THE CONTRACTOR MUST MAINTAIN THE SITE CLEAN, SAFE AND IN USABLE CONDITION, ANY SPILLS OF SOU, ROCK OR CONSTRUCTION MATERIAL MUST BE REMOVED FROM THE SITE BY THE CONTRACTOR DURING CONSTRUCTION AND UPON COMPETION OF THE PROJECT, COST FOR THIS TED OF ROCK SHALL BE INCLUDED IN THE EXCAVATION AND COMPACTION ITEM AND NO ADDITIONAL COMPENSATION SHALL BE INCLUDED.

NOTE:
THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE.
THE REFRENCED SOLIS REPORT FOR THE PROJECT AND GOVERNING
AGENCY GRADING ORDINANCE SHALL SUPPREDED THESE NOTES. THE
SOLIS ENGINEER MAY MAKE ON—SITE RECOMMENDATIONS DURING
GRADING OPERATIONS.



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C-5.0 10 OF 13 SHEETS

DESIGN BY: MR

CHECKED BY: BX

SHEET NO:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDBIENTATION FROLEAVING THE CONSTRUCTION AREA AND AFFECTION BIOGROPHICS STE, NATURAL AREAS, PUBLIC FACULTES OR ANY OTHER AREA THAI MIGHT BE AFFECTED BY STABLE AREA THAI MIGHT BE AFFECTED AND THAI AREA THAI AREA THAI AND THAI AREA THAI ADDITIONAL MEASURES, SUCH MEASURES SHALL BE FER CALFORNIA REGIONAL WATER QUALITY CONTROL BANDES FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PROCINCIS FAMOROM FOR CONSTRUCTION. LEA & BROZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONSTRUCTION.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- 2. THE INTENTION OF THIS FILM IS FOR INTERNI EROSSION AND SESIMENT CONTROL ONLY. ALL EROSON CONTROL MEASURES SHALL DOIFFORM TO CALFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S RELD MANUAL FOR EROSON AND SEMBINATION CONTROL. THE CALFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT FRACTICES HANDBOOK CON CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS
- 3. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS, PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- 4. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- 8. ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- 10. IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- 12. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- 13. MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DRY, MUD. SAND, MOSKS, GRAVEL OR DEBRIS ON THE STORM DRAIN SYSTEMS. THE REMOVAL OF ARCRESAD SHALL BE DONE BY STREET SMEEPING OR HAND SMEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- 15. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER X THROUGH APRIL WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- 17. THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTRY STORM DRAIN SYSTEMS.
- 18. THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- 19. THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A HEAT, CLEAN DUST FREE AND SANTARY CONDITION AT ALL TIMES AND TOTRET SHALL AND SANTARY CONDITION AT ALL TIMES AND TOTRET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBINS, WITH DUST AND OTHER THIS MAINTAIN CONTRACTOR BE RESPONSIBLE FOR EXPONSIBLE FOR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY OFF SMEPHING OF ALL PAYED AREAS, NO STOCKPLING OF BUILDING MATERIALS WITHIN THE TOWN ROBIFT-OF-WAY.
- 20. SEDILENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE STEEDY FAMILE TREATS. THE CONTRACTOR SHALL INSTALL AS TREATS AND AMATRIAL TREATS FROM TO THE INSPECTION OF ANY WORK CONSTRUCTION ENHANCE PRIOR TO THE INSPECTION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNITL' THE COMPLETION OF ALL LANDSCAPING.
- 21. THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- 22. STOCKFILED MATERIALS SHALL BE COVERED WITH VISQUEEN OF A TARPAILM UNIT. THE MATERIAL IS REMOVED FROM THE STEA ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKFILE HAS BEEN REMOVED SHALL BE COVERED UNITL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- 23. EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RICHT-OF-WAYOR ANY OTHER REMANGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- 24. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.

EROSION CONTROL NOTES CONTINUED:

- 24. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAININATE THE SOL AND SURFACE WHERES, ALL APPROVED STORAGE CONTAININESS ARE TO BE PROTECTED FROM THE WEATHER, SPILLS MUST BE CLEAKED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MAINER, SPILLS MUST NOT BE WASHED INTO THE ORDANIAGE STSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- 26. SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

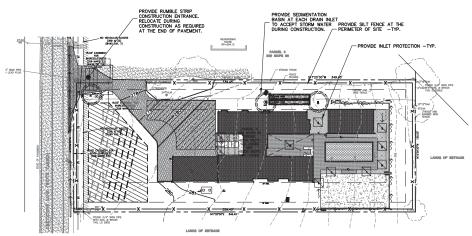
- THE FACLIES SHOM ON THIS PLAN ARE ESSIGNED TO CONTROL EROSON AND ESTIMANT DIRENT THE RANNY ESSON, OCTOBER 15TH TO A PRILL IS. EROSON CONTROL FACULTIES SHALL BE IN PLACE PRIOR TO COTOBER 15TH OF ANY TEAR. GRADING POPERATIONS DURING HER RANY SESSON WHICH LEAVE DENUED SLOPES SHALL BE PROTECTED WITH EROSON CONTROL MEASURES UNMEDITAL THE AUTHORISM CHANGE ON THE SLOPES.
- 2. SIE CONDITIONS AT TIME OF PLACEMENT OF EROSON CONTROL MEASURES MILL MAPT APPROPARE ACTION INCLUDING TEMPORATY SMALLS, INLETS, MAPROPARE ACTION INCLUDING TEMPORATY SMALLS, INLETS, PREVENT EROSON AND SEMEMENTATION FROM LEAVING STE. EROSON CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED FO CONSTRUCTION SHIFT.
- CONSTRUCTION BITEAMES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING ALL CONSTRUCTION TRAFFIC ENTERNO ONTO THE PAYED ROADS MUST GROSS THE STABILIZED CONSTRUCTION ENTRANCES CONTRACTOR SHALL MAINTAIN STREAMED ENTRANCE AT EACH VEHICLE TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DALLY AND AS REQUIRED BY THE COVERNING ACRICY.
- A LL EMPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEDED. IF HYDROSEDIMO IS NOT USED ON IS NOT EFFECTIVE BY COTORER IS. THEN FOR A LL EMPOSED SHAPE SHAPE SHAPE A LL EMPOSED SHAPE SH
- 5. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH ERSONC CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN.
- E. THE EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE STIATIONS THAT MAY ARRES UDMING CONSTRUCTION DUE TO UNANTIONATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS EXPONENT IN THE FIELD. A REPRESENTATIVE OF ELA & BRAZE ENGRESHING SHALL CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE OWNERMA GARCHY OF ANY CHANCES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 CONTOURS AND ROLLS SHALL BE TROITLY BOB BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURES SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- 2. CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- 1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
- B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
- C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
- D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1, FOOT
- E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- F. RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION





EROSION CONTROL LEGEND

GRAVEL BAG

SEDMENTATION BASIN

INLET PROTECTION

SR STRAW ROLL

X X SILT FENCE

6373



CONCRETE WASHOUT



CONSTRUCTION ENTRANCE



TREE PROTECTION



EROSION CONTROL BLANKET / MATTING

NOTE:
SEAL ALL OTHER INLETS NOT INTENDED
TO ACCEPT STORM WATER AND DIRECT
FLOWS TEMPORARILY TO FUNCTIONAL
SEDIMENTATION BASIN INLETS. - TYP



ZE ENCINEERING, INC.
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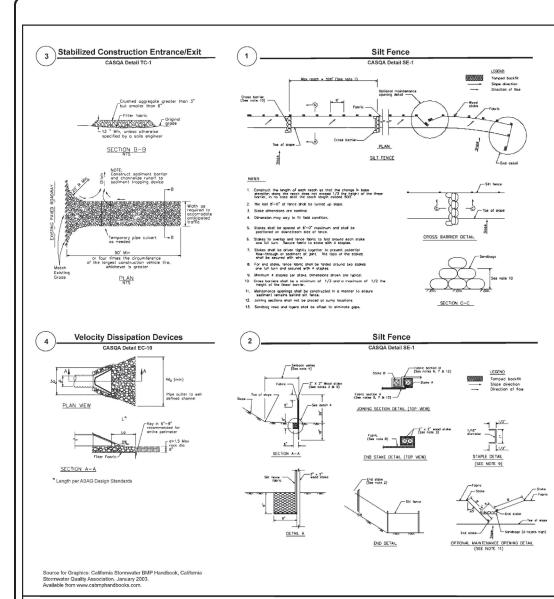
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EROSION CONTROL PLAN

CHECKED BY: DY
SHEET NO:

ER-1

XX OF 13 SHEETS



STANDARD BEST MANAGEMENT PRACTICE NOTES

- Solid and Demolition Waste Management: Provide designated waste collection areas and containers on site away from street gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or
- 2. Hazardous Waste Management: Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- 3. Spill Prevention and Control: Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8,
- 4. Vehicle and Construction Equipment Service and Storage An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures is provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Peoling and major maintenance/tepair, and wasten shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or
- 5. Material Delivery, Handling and Storage: In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided drainage pains and waterways. Farriers snail be provided around storage areas where materials are potentially in o with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement: When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight nit where wasted concrete ear temporary med and wateright pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- 7. Pavement Construction Management: Prevent or reduce the discharge of pollutants from paring operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- 8. Contaminated Soil and Water Management: Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or
- Sanitary/Septic Water Management: Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or
- 10. Inspection & Maintenance: Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified

STANDARD EROSION CONTROL NOTES

Storm Drain Inlet and Catch Basin Inlet Protection: protection. At locations where exposed soils are present, staked fiber roles or staked silt fences

underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures(tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring

- 3. Inspection & Maintenance: Disturbed areas of the Project's site. locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/ or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- 4. Project Completion: Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for crossion on the subject site.
- 5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operati and to keep the entire site in compliance with the erosion control plan.
- 6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped

1. Sediment Control Management

Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be all sites. Clean up of traceco material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosioa & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet present, stated mer roles or stated sitt teness can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed

Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

Stockpiling: Excavated soils shall not be placed in

- 2. Erosion Control: During the rainy seas all disturbed areas must include an effective combination of crossion and sediment control. It is required that temporary crosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site

Information Project

Best Management Practices and Erosion Control Details Sheet 1 County of Santa Clara



BMP-1

BMP-2 12 OF 13 SHEETS

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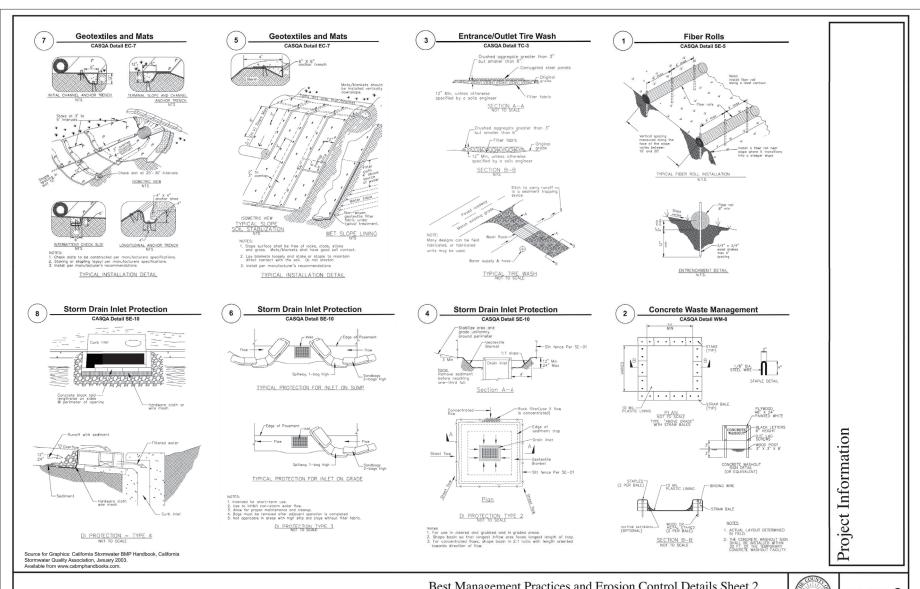
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LU RESIDENCE O GRAYSTONE LANE JOSE, CALIFORNIA 18440 SAN J

EROSION CONTROL DETAILS

DI AN CHECK 2 12-07-22 PLAN CHECK 10-21-22 BY REVISIONS 2201913 JOB NO: DATE: 02-04-2 SCALE: AS NOTED

DESIGN BY: MR CHECKED BY: DY SHEET NO:



Best Management Practices and Erosion Control Details Sheet 2 County of Santa Clara



BMP-2



LU RESIDENCE O GRAYSTONE LANE JOSE, CALIFORNIA 18440 SAN J

EROSION CONTROL DETAILS

2 12-07-22 PLAN CHECK 10-21-22

JOB NO: DATE: 02-04-2 SCALE: AS NOTED

DESIGN BY: MR CHECKED BY: DY



THIS GRADING AND DRAINAGE PLAN IS SUPPLEMENTAL TO:
1. TOPOGRAPHIC SURVEY BY LEA AND BRAZE ENGINEERING
"TOPOGRAPHIC SURVEY"
18440 GREYSTOR LANE
SAN JOSE, CA
DATED: 04-12-2021
JOSE 2201778

2. SITE PLAN BY ENVISUALITY GROUP INC. ENTITLES::
"LU RESIDENCE"
18440 GRAYSTONE LANE
SAN JOSE, CA 94150

3. SOIL REPORT BY ROMIG ENGINEERS ENTITLED:

3. SOIL REPORT BY ROUNG ENGINEERS ENTITLED:
"UL NEW RESIDENCE."
16440 GRATSTIDE LANE
595-20
1012 \$ 536-4
102-2021
114 CONTROOTS SHALL REFER TO THE ABOVE NOTED
SURVEY AND PLAM, AND SHALL VERFY BOTH EXISTING AND
PROPOSED TIESAS COCKROING TO THEM.

GENERAL INSTALLATION NOTES:

PERMITS:
CONSTRUCTION OF THE SEWAGE DISPOSAL SYSTEM SHALL NOT
COMMENCE WITHOUT WRITTEN APPROVAL FROM TOWN OF
WOODSIDE AND SANTA CLARA COUNTY ENVIRONMENTAL HEALTH
SERVICES.

PLAN CHANGES:
CHANGES TO THE PLANS OR SPECIFICATIONS SHALL BE MADE
ONLY AFTER CONSULTATION WITH AND APPROVAL OF THE
DESIGNER AND PERMITTING AGENCY.

INSTALLATION:
ALL INSTALLATION WORK SHALL BE IN ACCORDANCE WITH COUNTY OF SANTA CLARA.

LOCATION OF THE SEPTIC TANK AND LEACHING TRENCHES LOCATIONS SHOWN ON THE PLANS ARE SUBJECT TO ADJUSTMENT IN THE FIELD POSSIGNER WITH APPROVAL OF THE PERMITTING AGENCY. TRENCHES SHALL BE INSTALLED ALONG LEVEL CONTOUR TO BUSINER THE TRENCH BOTTON IS MAINTAINED LEVEL THROUGHOUT THE ENVIRE LENGTH. A TRIPPOD-MOUNTED LASER SHALL BE REQUIRED ON STRE.

SANTA CLARA COUNTY OWTS SETBACKS: MINIMUM DISTANCES (IN FEET) DISPOSAL SEPTIC

MEASURED FROM:	FEILD	IANK
ALL WELLS AND SPINGS	100'	100"
WATERCOURSES* (TOP OF BANK)	100'	100'
RESERVOIRS (HIGHWATER MARK)	200'	200'
CUT OR STEEP EMBANKMENTS (TOP OF CUT)	4 X H**	10 FEET
STEEP SLOPES***	4 X H**	10 FEET
DRAINAGE/SWALE	50'	50'
FOUNDATION	10"	5'
PROPERTY LINE	10'	10'
SEPTIC TANKS	6,	N/A
SWIMMING POOL	25'	25'
ROAD EASEMENT, PAVEMENT, OR DRIVEWAY	5'	5'
DONING AND LANCINGS	400'	400'

* H EQUALS THE HEIGHT OF CUT OR EMBANKMENT IN FEET. THIS SETBACK DISTANCE REQUIREMENT MUST NOT BE LESS THAN 25 FEET OR MORE THAN 100 FEET. *** AS DEFINED BY THE REGIONAL WATER QUALITY CONTROL BOARD HAVING JURISDICTION, BUT NOT EXCEEDING 87 PERCENT.

(M) NO PRIVATE SEWAGE DISPOSAL SYSTEM MAY BE APPROVED ON ANY PARCEL OF LAND WHERE PERCOLATION RATE EXCEEDS 120 MIN/INCH OR IS LESS THAN ONE MIN/INCH.

(N) NO PART OF ANY PRIVATE SEWAGE DISPOSAL SYSTEM MAY CROSS ANY PROPERTY LINE.

(O) IPON MOTICE FROM THE DIRECTION THAT WORK ON THE SENANCE DIRPOSAL SYSTEM IS BEING MADE THE DIRECTION THAT WORK ON THE SENANCE DIRPOSAL SYSTEM IS BEING MADE AND ADMINISTRATION OF THE STORMAN AND THE SENANCE OF THE OWNER, OF THE STORMAN AND THE CONSTITUTION OF THE STORMAN AND THE STATE SENANCE DIRPOSAL THAT STATE THE CONSTITUTION WHICH HE WAS ADMINISTRATION OF PRIVATE SENANCE DIRPOSAL THAT STATE MADE AND THE STATE OF THE STATE OF

TRENCHING NOTE:
ALL TRENCHING FOR THE PROPOSED LEACHFIELDS
WITHIN THE DRIPLINES OF ANY SIGNIFICANT TREE
WILL BE DONE BY HAND UNDER THE SUPERVISION
OF THE PROJECT ARBORIST

STAKED OUT BY A SURVEYOR PRIOR TO INSTALLATION, FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com



15 30

ELEV
(E)
FL
INV
JT
LNDG
MM AX
MIN
(N)
NTS
O.C.

RIM SS SSCO

SCALE: 1" = 30"

ABBREVIATIONS

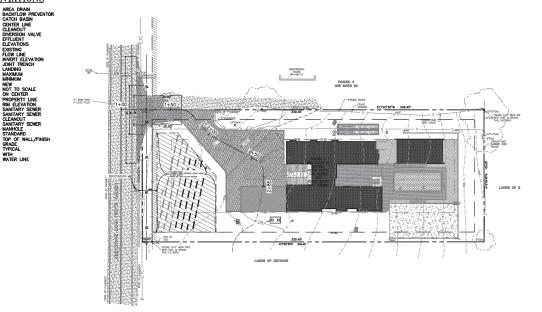
CATCH BASIN
CENTER LINE
CLEANOUT
DIVERSION VALVE
EFFLUENT
ELEVATIONS

ELEVATIONS
EXISTING
FLOW LINE
INVERT ELEVATION
JOINT TRENCH
LANDING
MAXIMUM
MINIMUM

NEW NOT TO SCALE ON CENTER ON CENTER
PROPERTY LINE
RIM ELEVATION
SANITARY SEWER
SANITARY SEWER
CLEANOUT
SANITARY SEWER
MANHOLE
STANDARD

TOP OF WALL/FINISH GRADE TYPICAL

ENGINEERED PLANS FOR ON-SITE WASTEWATER TREATMENT SYSTEM [OWTS] **18440 GRAYSTONE AVE.** SAN JOSE, CALIFORNIA



CONVENTIONAL SYSTEM LEACH LINE CALCULATIONS:
PERCOLATON RATE BASED ON FIELD DATA WAS OBSERVED TO BE 43 WHI. IN ACCORDANCE WITH TABLE (SECTION 5 BACK OF FACE 3-18) OF THE SANTA CLARA COUNTY ONISTE SYSTEMS MANUAL THE APPLICATION FACE 15 0.4-0 GPO/SCAT.

HOME IS PROPOSED WITH 5 BEDROOMS PLUS 2 BEDROOM ADU, THEREFORE, WASTEWATER FLOW IS 900 GAL/DAY PER TABLE 3-1 (SECTION 3) OF THE SANTA CLARA COUNTY ONSITE SYSTEMS MANUAL.

REQUIRED LENGTH CALCULATED BY THE EQUATION SUPPLIED ON PAGE 3-17 OF THE SANTA CLARA COUNTY ONSITE SYSTEMS MANUAL (SECTION 3) THAT STATES:

TRENCH LENGTH - 0 //P+A) TRENCH LENGTH = Q/(R*A)
Q=FLOW RATE (GPD)
R=WASTEWATER APPLICATION RATE (GPD/SQFT)
A=TOTAL INFILITRATIVE AREA PER LINEAR FOOT (SQFT)
[8 SQFT STANDARD]

REQUIRED TRENCH LENGTH FOR 100% CAPACITY CALCULATION (OWTS ORDINANCE REQUIRES 2 100% FIELD "PRIMARY AND SECONDARY"): 900/(8*0.46) = 245 FT REQUIRED

<u>TOTAL CONVENTIONAL DISPERSAL TRENCH LENGTH REQUIRED = 490</u> <u>UNEAR FEET</u>

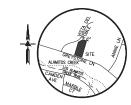
INFILTRATOR REDUCTION RATIO = 70% OF CONVENTIONAL TRENCH 490 * 70% = 343 TOTAL INFILTRATOR = 343 LINEAR FEET

SEE DISPERSAL TRENCH TABLE ON SHEET SS-2 FOR BREAKDOWN OF LEACH LINE LENGTH PROVIDED IN EACH FIELD.

SHEET INDEX:

SEPTIC SYSTEM ENGINEERED PLAN SEPTIC SYSTEM DETAILS

AREA BELOW IS FOR SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH USE ONLY:



VICINITY MAP

LEGEND

<u> </u>
DESCRIPTION
BOUNDARY
PRIMARY LEACH LINE
EXPANSION LEACH LINE
RETAINING WALL
LANDSCAPE RETAINING WALL
TIGHTLINE
EFFLUENT LINE
SET BACK LINE
WATER LINE
FENCE LINE
PRESSURE LINE
JOINT TRENCH
SUBDRAIN LINE
GRADING LIMIT LINE
DIVERSION VALVE
DOWNSPOUT
SANITARY SEWER CLEANOUT
BACKFLOW PREVENTOR
AREA DRAIN
SEPTIC LID
SPOT ELEVATION
CONTOURS

SEPTIC TANK AND DRAINFIELD CONSTRUCTION NOTES:

INSTALL A 1500-GALLON CONCRETE PRECAST SEPTIC TANK. INSTALL GAS-TIGHT RISER TO GRADE.
INSTALL A LANGLEY HILL QUARRY DIVERSION VALVE.
INSTALL A DUAL LEACHING SYSTEM SEPARATED BY A DIVERSION VALVE.

STAKING NOTES:

LEA & BRAZE SHALL STAKE OUT PROPOSED SEPTIC SYSTEM FOR VERIFICATION BY SANTA CLARA COUNTY ENVIRONMENTAL HEALTH PRIOR TO SITE INSPECTION

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		-	ı
REVISION	BY	ı	
IOB NO:	2201913		
ATE:	09-29-22		
CALE:	AS N	OTED	ı
ESIGN BY:	MR		ı



CHECKED BY: DY



ENGNEERING, IP

B I LAND BURVEYO

REGIONAL OFFICES.

ROSENILE

DUBLIN

SAN JOSE

LEA & BRAZE E

LU RESIDENCE O GRAYSTONE LANE JOSE, CALIFORNIA

8440 SAN J

SEPTIC

POLYLOK PL-122 EFFLUENT FILTER_ OR OTHER COUNTY-APPROVED

LIQUID CAPACITY REQUIRED:

DOSING CAPACITY REQUIRED: BOX DESIGN LOAD:

EFFLUENT FILTER

NTS \ss-2/





SEPTIC SYSTEM KEYNOTES \diamondsuit to \diamondsuit

- INSTALL (N) 2000-GALLON PRECAST CONCRETE SEPTIC TANK. SEE DETAIL 3 ON SHEET SS-3.
- **2** INSTALL PRIMARY AND SECONDARY (N) LEACHLINE SYSTEM AS SHOWN
- 3> PROVIDE TREE PROTECTION FOR TREES TO REMAIN IN ACCORDANCE WITH THE ARBORIST REPORT.

CONVENTIONAL SYSTEM LEACH

LINE CALCULATIONS:

PERCOLATION RATE BASED ON FIELD DATA WAS OBSERVED TO BE 43 MPI. IN ACCORDANCE WITH TABLE IT (SECTION 3 BACK OF PAGE 3-18) OF THE SANTA CLARA COUNTY ONSITE SYSTEMS MANUAL THE APPLICATION RATE IS 0.46 GPD/SQFT.

HOME IS PROPOSED WITH 5 BEDROOMS PLUS 2 BEDROOM ADU, THEREFORE, WASTEWATER FLOW IS 900 GAL/DAY PER TABLE 3-1 (SECTION 3) OF THE SANTA CLARA COUNTY ONSITE SYSTEMS MANUAL.

REQUIRED LENGTH CALCULATED BY THE EQUATION SUPPLIED ON PAGE 3-17 OF THE SANTA CLARA COUNTY ONSITE SYSTEMS MANUAL (SECTION 3) THAT STATES:

TRENCH LENGTH = Q/(R*A)
Q=FLOW RATE (GPD)
R=WASTEWATER APPLICATION RATE (GPD/SQFT)
A=TOTAL INFLITATIVE AREA PER LINEAR FOOT (SQFT)
[8 SQFT STANDARD]

REQUIRED TRENCH LENGTH FOR 100% CAPACITY CALCULATION (OWTS ORDINANCE REQUIRES 2 100% FIELD "PRIMARY AND SECONDARY"): 900/(8*0.46) = 245 FT REQUIRED

TOTAL CONVENTIONAL DISPERSAL TRENCH LENGTH REQUIRED = 490 LINEAR FEET

SEE DISPERSAL TRENCH TABLE ON SHEET SS-2 FOR BREAKDOWN OF LEACH LINE LENGTH PROVIDED IN EACH FIELD.

DISPERSAL TRENCH TABLE

PRIMARY OR SECONDARY DRAINFIELD LENGTH OF INFILTRATOR

PRIMARY 65 LF PRIMARY 72 LF

PRIMARY 72 LF PRIMARY 72 LF

PRIMARY TOTAL LENGTH: 281 LF

5) SECONDARY 90 LF SECONDARY 94 LF SECONDARY 97 LF

SECONDARY TOTAL LENGTH: 281 LF

NOTE: FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING

* BUILDING PAD NOTE: ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

ENGINEERING, IN 8 1 LAND BUNVEYO REGIONAL OFFICES. POSEMILE DUBLIN SAN JOSE LEA & BRAZE E ICE: STRIAL PKWY WEST CALIFORNIA 94545 7-4086 MAIN OFFIC 2495 INDUS HAYWARD, C (510) 887-

LU RESIDENCE O GRAYSTONE LANE JOSE, CALIFORNIA 8440 SAN J

SEPTIC SYSTEM ENGINEERED PLANS

REVISIONS OB NO: 2201913 DATE: 09-29-2 SCALE: AS NOTED DESIGN BY: MR

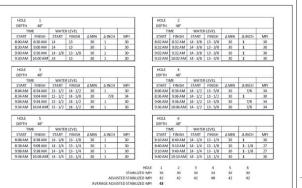
OWTS 88-2

CHECKED BY: DY

36" OF 3/4"- 1-1/2"
CLEAN WASHED DRAIN
ROCK BELOW PIPE MIN.
FOR PRIMARY SYSTEM
ONLY. REFER TO
SPECIFIC INVERT & FOR COMPLETE DESIGN AND PRODUCT INFORMATION CONTACT THE DON CHAPIN COMPANY BOTTOM OF TRENCH GRADES FOR DEPTHS. 2000 GALLONS (6 BEDROOMS) 150 GALLONS (150 GALLONS/BEDROOM PER SANTA CLARA COUNTY OWTS MANUAL 1500 GALLON MIN. FOR RESIDENTIAL USAGE)
NON-TRAFFIC, UP TO 4 FEET OF SOIL COVER, MAXIMUM 500 PSF. (510)887-4086 EXT 116 aabaya@leabraze.com RESIDENTIAL SEPTIC TANK

.8440 SAN J

CHECKED BY: DY OWTS 88-3



PERCOLATION TEST

NTS

0-21" DARK BROWN (10YR3/3) COLOR; CLAY LOAM; MODERATE MEDIUM SUBANGULAR BLOCKY STRUCTURE; SLIGHTLY HARD CONSISTENCE; FEW FINE ROOTS: COMMON FINE PORES: DRY.

21-39: DARK YELLOWISH BROWN (10YR4/6) COLOR; CLAY LOAM; MODERATE MEDIUM SUBANGULAR BLOCKY STRUCTURE; FRIABLE CONSISTENCE; FEW FINE ROOTS; FEW FINE PORES; MOIST.

39-60° STRONG BROWN (7.5YR4/6) COLOR; CLAY LOAM; MODERATE FINE SUBANGULAR BLOCKY STRUCTURE; FIRM CONSISTENCE; MOIST. 60-108" STRONG BROWN (7.5YR4/6) COLOR; GRAVELLY COBBLY CLAY LOAM; MODERATE FINE SUBANGULAR BLOCKY STRUCTURE; FIRM

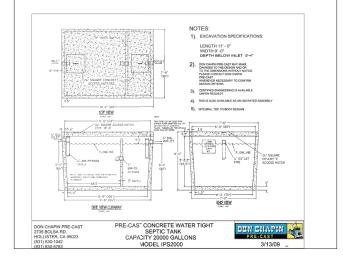
108-156": STRONG BROWN (7.5YR4/6) COLOR; GRAVELLY CLAY LOAM; MODERATE FINE SUBANGULAR BLOCKY STRUCTURE; FIRM CONSISTENCE;

0-28: DARK BROWN (10YR3/3) COLOR; CLAY LOAM: MODERATE MEDIUM SUBANGULAR BLOCKY STRUCTURE; SLIGHTLY HARD CONSISTENCE; COMMON FINE PORES; DRY.

28-68": DARK YELLOWISH BROWN (10YR4/6) COLOR; CLAY LOAM; MODERATE FINE SUBANGULAR BLOCKY STRUCTURE; FEW FINE ROOTS; COMMON FINE PORES: MOIST.

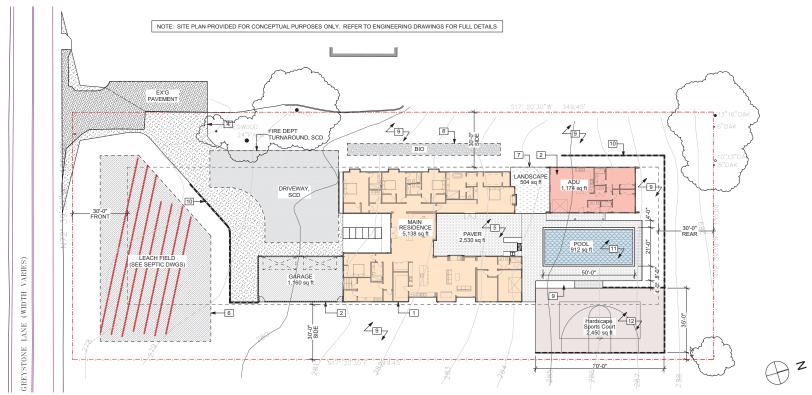
68-150": STRONG BROWN (7.5YR4/6) COLOR; GRAVELLY CLAY LOAM; MODERATE FINE SUBANGULAR BLOCKY STRUCTURE; FIRM CONSISTENCE;

SOIL PROFILE INVESTIGATION LOG SEP. 24, 2021



SEPTIC TANK
SS-3 NTS

2 SOIL PROFILE



Illustrative Site Plan 1/16" = 1'-0"

	SITE PLAN NOTES & LEGEND:	
1	PRIMARY RESIDENCE	
2	GARAGE	
3	ACCESSORY DWELLING UNIT (ADU)	
4	CONCRETE PAVING, SCD (NON-PERMEABLE)	
5	DECORATIVE UNIT PAVERS (NON-PERMEABLE)	
6	SEPTIC LEACH FIELD, SCD	
7	ARTIFICIAL TURF (PERMEABLE)	[::::]
8	BIO-RENTENTION AREA, SCD	
9	ALL REMAINING DISTURBED AREAS - PROVIDED NON- IRRIGATED HYDROSEEDED GROUNDCOVER (CREEPING WILD RYE - LEYMUS TRITICOIDES OR EQ.)	
10	RETAINING WALL, SCD	
11	SWIMMING POOL (BY OTHERS)	
12	PAVED SPORTS COURT (NON-PERMEABLE)	



Architect: Envisuality Group, Inc Hayes Shair 2443 Fillmore St. San Francisco,CA, 94115 (310) 869-1469

DRAFT
(NOT FOR
CONSTRUCTION

Date:	by:	
2022 10 1	9 PLANNING CYC1	
Project:		

Lu Residence

18440 Graystone Lane San Jose CA 94150

William Lu 1522 Husted Avenue San Jose CA 95125

PLANNING SUBMITTAL

Illustrative Site Plan

Date: 12/12/2022 Job Number: 2022_5

NOTE: RENDERINGS PROVIDED FOR CONCEPTUAL PURPOSES ONLY. ALL PLANTING AND PAVING SHALL CONFORM TO BE PROPOSED SITE PLAN, CIVIL PLANS, AND MEET ALL MAXIMUM ALLOWABLE WATER USAGE (MAWA) REQUIREMENTS.











Architect: Envisuality Group, Inc Hayes Shair 2443 Fillmore St. San Francisco,CA, 94115 (310) 869-1469

imp:

DRAFT (NOT FOR CONSTRUCTION)

vision: te:	By:	
2022 1	0 19 PLANNING CYC1	

Project: Lu Residence

at Address:

18440 Graystone Lane San Jose CA 94150

William Lu 1522 Husted Avenue San Jose CA 95125

PLANNING SUBMITTAL

Diawing rise.

Site Renderings

Date: 12/12/202

n By:



COUNTY OF SANTA CLARA
2019 CALGREEN RESIDENTIAL CHECKLIST (MANDATORY+TIER 1)
- Designer to cross of items that are not applicable to the project.
- Installer of designer shall worly all applicable regirements have been satisfied and sign
connectation DWING ODSTRUTTORS.

					T TO COMPLETE	Installer or Designer Verification
ITE	м #	CALGreen CODE SECTION	REQUIREMENT	REFERENCE SHEET	Note or Detail	Installer or Designer Date Signature
,,,,,			PLANNING AND DESIGN: MANU			
	1	4.106.2	A plan is developed and implemented to manage storm water drainage during construction.	CG-3	NOTE 1	
	2	4.106.3	Construction plans indicates how site grading or a drainage system will manage all surface water flows to keep	CG-3	NOTE 2	
	_		water from entering buildings. For new dwellings and the rebuild of existing dwellings that include a panel			
	3	4.106.4.1	upgrade or construction between panel and parking area, a raceway to a dedicated 208/240-volt branch circuit meeting the requirements, is installed.	CG-3	NOTES 3 & 4	
			meeting the requirements, is installed. PLANNING AND DESIGN: TIER 1 M	ANDATORY	REQUIREMENTS	
	4	A4.106.2.3	Displaced topsoil is stockpiled for reuse in a designated area and covered or protected from erosion.	CG-4	NOTE 7	
	5	A4.106.4	Not less than 20 percent of the total parking, walking or patio surfaces are permeable.	CG-4	NOTE 9	
	6	A4.106.8.1	For new dwellings with attached private garages, a dedicated 208/240- volt branch droute including an overcurrent protective device is installed in the raceway, meeting the applicable requirements.	CG-4	NOTE 12	
			PLANNING AND DESIGN: TIER 1	ELECTIVE R	EQUIREMENTS	
	7	A4.103.1	An infill site, greyfield site or EPA- recognized and Brownfield site is applicable.	CG-4	NOTE 1	
licable	8	A4.103.2	Community connectivity is facilitated by one of the approved methods.	CG-4	NOTE 2	
comply with at least two Tier 1 elective measures - Cross out the rows not applicable	9	A4.104.1	An individual with oversight responsibility for the project has participated in an educational program promoting environmentally friendly design or development and has provided instruction to appropriate entities.	CG-4	NOTE 3	
Cross out th	10	A4.105.2	Existing buildings are disassembled for reuse or recycling of building materials. The proposed structure utilizes at least one of the listed materials.	CG-4	NOTE 4	
- saunse	11	A4.106.2.1	Soil analysis is performed by a licensed design professional and the findings are utilized in the structural design of the building.	CG-4	NOTE 5	
tive me	12	A4.106.2.2	Soil disturbance and erosion are minimized by using one or more of the methods listed	CG-4	NOTE 6	
wo Tier 1 elec	13	A4.106.3	Landscape areas disrupted during construction are restored to be consistent with native vegetation and/or at least 75% native California or drought tolerant plant and tree are utilized.	CG-4	NOTE 8	
at least t	14	A4.106.6	A vegetated roof for at least 50% of the roof area is installed. Vegetated roof complies with CBC chapters 15 and 16.	CG-4	NOTE 10	
ıply with	15	A4.106.7	Nonroof heat islands are reduced for 50% of sidewalks, patios, driveways, or other paved areas by using one or more of the methods listed.	CG-4	NOTE 11	
Con	16	A4.106.10	Outdoor lighting systems are designed and installed to comply with one of the methods listed.	CG-4 CG-1	NOTE 13 TABLE A4.106.10	
			Building meets or exceeds the		UIRMENTS	
1	17	4.201.1	requirements of the California Building Energy Efficiency Standards.	T24 SHEETS		
			ATER EFFICIENCY & CONSERVATION Plumbing Fixtures (water dosets and	MANUATO	KT KEQUIKEME	110
1	18	4.303.1	urinals) and fittings (faucets and showerheads) installed in residential buildings comply with CALGreen Sections 4.303.1.1 through 4.303.1.4.4.	CG-3	NOTE 5	
1	19	4.303.2	Plumbing fixtures and fittings required in CALGreen Section 4.303.1 are installed in accordance with the CPC and meet the applicable referenced standards.	CG-3	Note 6	
2	10	4.304.1	Outdoor potable water use in landscape areas comply with a local water efficient landscape or the current California DWR MWELO, whichever is more stringent.	CG-3	Note 7	
2	H.	4.305.1	For new dwellings where disinfected tertiary recycled water is available, installation of recycled water supply system is required per CPC chapter 15.	CG-3	Note 8	

				Plan Chec	T TO COMPLETE ok Review Data	In	staller or Designer Verification
ITEM #		CALGreen CODE	100000000000000000000000000000000000000	REFERENCE	Note or Detail		Installer or Designe
ITE	M #	SECTION	REQUIREMENT TER EFFICIENCY & CONSERVATION :	SHEET TIER 1 ELEC	No. CTIVE REQUIRE	Date	Signature
	22	A4.303.1	Kitchen faucet maximum flow rate	CG-4	NOTE 14		
applicable	23	A4.303.2	does not exceed 1.5 gpm at 60 psi, See exceptions. Alternate nonpotable water resources are used for indoor potable water reduction and are installed in accordance with CPC. At least one qualified ENERGY STAR dishwasher or clothes washer is installed.	CG-4	NOTE 15		
	24	A4.303.3	accordance with CPC. At least one qualified ENERGY STAR dishwasher or dothes washer is	CG-4	NOTE 16		
rows not	25	A4.303.4	Alexander visitado en comencial en hailado	CG-4	NOTE 17		
out the ro	26	A4.303.4 A4.303.5	are installed. Dwelling is equipped with a demand hot water recirculation system. The system is installed per CPC, CEnC, and	CG-4	NOTE 18		
rres - Cross	27	A4.304.1	the manufacturer's installation instructions. An approved rainwater catchment system is designed and installed to use rainwater generated by at least 65% of the available roof area. The system is	CG-4	NOTE 19		
ctive meas			Installed per CPC.				
o Tier 1 ele	28	A4.304.2	design that eliminates the use of potable water, is provided. Method used to accomplish the requirements comply with California Building Standards Code and one or more of listed methods.	CG-4	NOTE 20		
east two	29	A4.304.3	listed methods. Separate submeters or metering devices for outdoor potable water use is provided for landscape areas less than \$500 sq.ft.	CG-4	NOTE 21		
Comply with at least two Tier 1 elective measures - Cross out the	30	A4.305.1	than 5000 sq.ft. Alternative plumbing piping is installed to permit the discharge from the clothes washer or other fixtures to be used for an irrigation system in compliance with CPC.	CG-4	NOTE 22		
Comp	31	A4.305.2	compliance with CPC. Dual water piping is installed for future use of recycled water at listed liceations.	CG-4	NOTE 23		
	32	A4.305.3	focations. Recycled water is used for landscape in igation.	CG-4	Note 24		
		MATERIA	Impation. L CONSERVATION & RESOURCE EFFI Annular spaces around pipes, electric cables, conduits or other openings in	CIENCY: MA	ANDATORY REQU	JIREME	NTS
3	33	4.406.1		CG-3	Note 9		
3	34	4,408.1	plates at exterior wells are protected against the passage of rodents by closing such openings with cement mortary, corrected miscory or similar mortary, correct mortary control and the control santa Clara. Recycle and/or salvage for rouse a minimum of 85 percent of the nonhazardous construction and demolition wastes. Submit either a Construction Wastes management plan construction wastes construction and the control of the construction wastes. Submit either construction wastes management plan trainings and wastes of the construction wastes. Submit either and wastes of the construction wastes. Submit either wastes of construction wastes. Submit either wastes of construction wastes. Well wastes of construction wastes. Well wastes the construction wastes. Well wastes	CG-3	Note 10		
	35	4.408.5	Documentation is provided to County of Santa Clara which demonstrates compliance with CALGreen sections 4.408.2 or 4.408.3.	CG-2	Construction Waste Management Forms		
13	36	4.410.1	An operation and maintenance manual is placed in the building at the time of	CG-3	Note 11 Note 12		
_	37	MATERIAL C	ONSERVATION & RESOURCE EFFICIE			EQUIRE	MENTS
	37	A4,403.2 A4,405.3.1	ixeduction in coment use in roundation mix design is not less than 20 percent. Use materials with a total RCV (recycled content value) not less than a 10-percent of the total material cost of the project except structural framing material.	0G-4 0G-4	Note 26 Note 33		
	39	A4.408.1	Reduce construction waste by at least 65%. Documentation is submitted to the County of Santa Clara	CG-2	Construction Waste Management Forms		
		MATERIAL	demonstrating compliance. CONSERVATION & RESOURCE EFFICE A Frost-Protected Shallow Foundation	CG-34	Note 41	OUIREN	IENTS
	40	A4.403.1	A Frost-Protected Shallow Foundation (FPSF) is utilized in compliance with CRC. The required manual includes instructions to the owner or occupant regarding the necessity for heating the structure per CRC R403.3.	CG-4	NOTE 25		
able	41	A4.404.1	sized and installed as specified in Chapter 23 of CBC or Chapter 6 of	CG-4	NOTE 27		
applicable	42	A4.404.2	Building dimensions and layouts are designed to minimize waste by one or more of the listed measures in at least	OG-4	NOTE 28		
not applic							
se rows not applic	43	A4.404.3	80% of the structure. Premanufactured building system, as	OG-4	NOTE 29		
the rows not	43	A4.404.3 A4.404.4	80% of the structure. Premanufactured building system, as listed, is used to eliminate solid sawn fumber: Material lists are included in the plans which specify the material quantity and direction for on-site cuts, for the listed	0G-4 0G-4	NOTE 29 NOTE 30		
the rows not	44	A4.404.4 A4.405.1	80% of the structure. Premanufactured building system, as listed, is used to eliminate solid sawn lumber. Material lists are included in the plans which specify the material quantity and direction for on-site cuts, for the listed problems. Building materials are utilized which do not require additional saliming, acceptable are utilized which do not require additional saliming acceptabiling.	03-4	NOTE 30		
the rows not	44	A4.404.4	80% of the structure. Premarufacture building system, as listed, is used to eliminate solid sample unber unber which specify the material lists are included in the plans which specify the material quantity and direction for on-site cuts, for the listed systems. Prefirmand building materials are unliked with for on trequire additional painting or staining. Acceptable materials it is per CLGreen A4-05.1.	CG-4	NOTE 30		
the rows not	44	A4.404.4 A4.405.1	80% of the structure. 80% of the structure of uniform system, as issed, is used to eliminate solid seem stated, is used to eliminate solid seem stated list and structured in the plans which spendly the material quantity and direction for on-site cut, for the listed systems. Performand building materials are utilized which do not require additional directions of the structure	03-4	NOTE 30		
the rows not	44 45 46	A4.404.4 A4.405.1 A4.405.2	86% of the structure. 86% of the structure of building system, as investigating the structure of building system, as investigating the structure of the struct	CG-4 CG-4	NOTE 30 NOTE 31 NOTE 32		
two Tier 1 elective measures - Cross out the rows not	44 45 46 47	A4.404.4 A4.405.1 A4.405.2 A4.405.4	185% of the students. 185% of the students are preferred, as the color interest and cannot be interested, as used to control and cannot be interested, as used to control and cannot be interested and control an	03-4 03-4 03-4	NOTE 31 NOTE 32 NOTE 34		
with at least two Tier 1 elective measures - Cross out the rows not	44 45 46 47 48	A4.404.4 A4.405.1 A4.405.2 A4.405.4 A4.407.1	185% of the students. 185% of the students are preferred, as the color interest and cannot be interested, as used to control and cannot be interested, as used to control and cannot be interested and control an	CG-4 CG-4 CG-4 CG-4	NOTE 30 NOTE 31 NOTE 32 NOTE 34 NOTE 35		
two Tier 1 elective measures - Cross out the rows not	44 45 46 47 48	A4.404.4 A4.405.1 A4.405.2 A4.405.4 A4.407.1	185% of the structure. 185% of the structure or person, and the structure of the structure	CG-4 CG-4 CG-4 CG-4 CG-4	NOTE 30 NOTE 31 NOTE 32 NOTE 34 NOTE 35		
with at least two Tier 1 elective measures - Cross out the rows not	44 45 46 47 48 49	A4.405.1 A4.405.2 A4.405.4 A4.407.1 A4.407.2	185% of the students. 185% of the students are preferred, as the color interest and cannot be interested, as used to control and cannot be interested, as used to control and cannot be interested and control an	03-4 03-4 03-4 03-4 03-4	NOTE 30 NOTE 31 NOTE 32 NOTE 34 NOTE 35 NOTE 36		

				APPLICAN Plan Chec	T TO COMPLETE	In	staller or Designer Verification
		CALGreen					
ITEN		CODE	REQUIREMENT	REFERENCE	Note or Detail	Date	Installer or Design Signature
TIEF	4.0	SECTION	ENVIRONMENTAL QUALITY: MAN			Date	Signature
			Any installed gas fireplace is a direct-				
			vent sealed-combustion type. Any				
54	4	4.503.1	installed woodstove or pellet stove comply with US EPA Phase II emission	CG-3	Note 13		
			limits where applicable.				
			Duct openings and other related air				
55	5	4.504.1	distribution component openings are	CG-3	Note 14		
			covered during construction until final startup of the HVAC equipment.				
			Adhesives, sealants and caulks are	CG-2	Table 4.504.1		
56	6	4.504.2.1	compliant with VOC and other toxic		Table 4.504.2		
			compound limits.	CG-2	Note 15 Table 4.504.3	_	
57	7	4.504.2.2	Architectural paints and coatings are	CG-2	Table 4.504.3		
	61.	1.001.6.6	compliant with VOC limits.	CG-3	Note 16		
			Aerosol paints and coatings are				
58	8	4.504.2.3	compliant with product weighted MIR limits for ROC and other toxic	CG-3	Note 17		
			compounds				
			Documentation are provided to the				
59	9	4.504.2.4	County of Santa Clara to verify that	CG-3	Note 18		
			compliant VOC limit finish materials have been used.	100.00			
-	_	245000000	Carpet and carpet systems meet the	CG-2	Table 4.504.1		
60	0	4.504.3	applicable testing and product	0.0000			I
			requirements. Hardwood plywood, particleboard and	CG-3	Note 19 Table 4.504.5		
61	1	4.504.5	medium density fiberboard composite	CG-1	1804 4.304.3		
-	_		wood meet formaldehyde limits.	CG-3	Note 21		
			Documentation is provided to the County of Santa Clara to verify				
62	2	4.504.5.1	composite wood meets applicable	CG-3	Note 22		
			formaldehyde limits,				
63	3	4 505 2	Vapor retarder and capillary break is	CG-3	Note 23		
	_		installed at slab-on-grade foundations. Moisture content of building materials				
			used in wall and floor framing do not				
64	4	4.505.3	exceed 19% prior to endosure and is	CG-3	Note 24		
			checked before endosure. Insulation				
		_	products are dry prior to enclosure. Each bathroom is mechanically				
65	5	4.506.1	ventilated and comply with applicable	CG-3	Note 25		
		(*,50,000,000	requirements.	2000000	0.000,000,000		
			Heating and air-conditioning systems are sized, designed, and equipment is				
66	6	4.507.2	selected by using one of the methods	CG-3	Note 26		
			listed.				
		_	ENVIROMENTAL QUALITY: TIER 1 N At least 90% of resilient flooring	MANDATORY	REQUIREMENT	S	
67	7	A4.504.2	complies with applicable VOC limits,	CG-4	Note 43		
			Thermal insulation in the building is				
68	8	A4.504.3	installed in compliance with applicable	CG-4	Note 44		
			standards.				
		_	ENVIROMENTAL QUALITY: TIER 1	ELECTIVE F	REQUIREMENTS	_	
288	69	A4.504.1	Composite wood products made with	CG-4	Note 42		
255	1000	procession	NAF or ULEF resins are used.	2007000	200120200	_	
D : 10			Filters at MERV 8 or higher are used on				
8 5 a	70	A4.506.2	return air openings, during construction.	CG-4	Note 45		1
10 12			Direct vent heating and cooling				
8 9 5			equipment are utilized where the				
2 4 4			equipment will be located in the				
	71	A4.506.3	conditioned space or the space heating	CG-4	Note 46		
25			and water heating equipment is installed in an isolated mechanical				1
elect t th			room.				
Comply 1 elect out the			R AND SPECIAL INSPECTOR QUALIFI	CATIONS: N	ANDATORY REC	UIREM	ENTS
Comply 1 elect out the		INSTALLE			Note 27		
Comply 1 elect	2		HVAC system installers are trained and certified in the proper installation of	CG-3			
	2	702.1	certified in the proper installation of HVAC systems.	CG-3	Note 27		
	2		certified in the proper installation of HVAC systems. If required by County of Santa Clara,	CG-3	Note 27		
72		702.1	certified in the proper installation of HVAC systems. If required by County of Santa Clara, owner or owner's agent shall employ		(1909)		
Comply with at least one Tier 1 elective measures - Cross out the rows not applicable			certified in the proper installation of HVAC systems. If required by County of Santa Clara, owner or owner's agent shall employ special inspector who are qualified and	CG-3	Note 27		
72		702.1	certified in the proper installation of HVAC systems. If required by County of Sarta Clara, owner or owner's agent shall employ special inspector who are qualified and able to demonstrate competence in the discipline they are inspecting.		(1909)		
72		702.1	certified in the proper installation of HAVAC systems. If required by County of Santa Clara, owner or owner's agent shall employ special inspector who are qualified and able to demonstrate competence in the discipline they are inspecting. Documentation used to show		(1909)		
72		702.1	cartified in the proper installation of HAVIC systems. If required by County of Santa Clara, owner or owner's agent shall employ special impactor who are qualified and able to demonstrate competence in the discipline they are inspecting. Documentation used to show compliance with this code may include		(1909)		
72	3	702.1	cartified in the proper installation of HAVAC systems. If required by Courty of Santa Clara, lif required by Courty of Santa Clara, owner or owner's spent shall employ special inspector who are qualified and able to demonstrate competence in the discipline they are inspecting. Documentation used to show compliance with this code may include construction documents, plans,	CG-3	Note 28		
72	3	702.1	cartified in the proper installation of HAVAC systems. If required by Courty of Sarta Clara, power or owner's open that length special inspector who are qualified and able to demonstrate competence in the discipline they are inspecting. Documentation used to show compliance with this code may include construction documents, plans, specifications, builder or installer postflication, special may be presented as a second property of property of the property of the property of property of proper		(1909)		
72	3	702.1	cartified in the proper installation of HAVAC systems. If required by County of Santa Clara, owner or owner's agent shall employ special impactor who are qualified and able to demonstrate competence in the discipline they are inspecting. Documentation used to show complance with this code may include construction documents, plans, specifications, builder or installer	CG-3	Note 28		

TABLE 4.504.5 FORMAL DEHYDE LIMITS! Formatically de Emissions in Parts per Million

CURRENT LIMI		
0.05		
0.05		
0.09		
0.11		
0.13		

TABLE A4.108.10

MAXIMUM ALLOWARI F RACKLIGHT, UPLIGHT AND GLARF (BUG) RATINGS!

ALLOWABLE RATING	LIGHTING ZONE	LIGHTING ZONE	LIGHTING ZONE	LIGHTING ZONE
Maximum Allowable Backlight Rating ³				
Luminaire greater than 2 mounting beights (MH) from property line	No Limit	No Limit	No Limit	No Limit
Luminaire back hemisphere is 1-2 MH from property line	B2	B3	B4	B4
Luminaire back hemisphere is 0.5 – 1 MH from property line	B1	B2	B3	B3
Luminaire back hemisphere is less than 0.5 MH from property line	BO	BO	B1	B2
Maximum Allowable Uplight Rating				
For area lighting ⁴	U0	U0	U0	U0
For all other outdoor lighting, including decorative luminaires	UI	U2	U3	U4
Maximum Allowable Glare Rating				
Luminaire greater than 2 MH from property line	G1	G2	G3	G4
Luminaire front hemisphere is 1-2 MH from property line	G0	G1	G1	G2
Luminaire front hemisphere is 0.5 – 1 MH from property line	G0	G0	G1	G1
Luminaire back hemisphere is less than 0.5 MH from property line	G0	G0	G0	G1



Architect: Envisuality Group, Inc Hayes Shair 2443 Fillmore St. San Francisco,CA, 94115 (310) 869-1469

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(NOT FOR

CONSTRUCTION)

Revision:	By
2022 10 19	PLANNING CYC1

Lu Residence

18440 Graystone Lane San Jose CA 94150

William Lu 1522 Husted Avenue San Jose CA 95125

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CALGREEN Checklist

Date: 12/12/2022 Drawing Number: Job Number: 2022_5

Less Water and Less Exempt Compounds in Grams per Liter ARCHITECTURAL APPLICATIONS VOC LIMIT			Grams of VOC per Liter of Coating, Less Water and Less Exempt Compounds		
Indeor carnet adhesives	or carpet adhesives 50		COATING CATEGORY	VOC LIMIT	
arpet pad adhesives 50		50	Flat coatings	50	
Outdoor carnet adhesives			Nonflat coatings	100	
Wood flooring adhesive			Nonflat-high gloss coatings	150	
Rubber floor adhesives		60	SPECIALTY COATINGS		
Subfloor adhesives	_	50	Aluminum roof costings	400	
Ceramic tile adhesives		65	Basement specialty coatings	400	
VCT and asphalt tile adhesives		50	Bitumineus reof coatings	50	
Drywell and panel adhesives		50	Bituminous roof primers	350	
Cove base adhesives	_	50	Bond breakers	350	
Multipurpose construction adhe	sives	70	Concrete curing compounds	350	
Structural plazing adhesives		100	Congrete/masorny sealers	100	
Single-ply roof membrane adhesives		250	Driveway seelers	50	
Other adhesives not specifically listed		50	Dry fog coetings	150	
SPECIALTY APPLICATIONS			Four finishing coatings	350	
PVC welding		510	Fire resistive costings	350	
CPVC welding		490	Floor cootings	100	
ABS welding		325	Form-release compounds	250	
Plastic cement welding		250	Graphic arts coatings (sign paints)	500	
Adhesive primer for plastic		550	High temperature coatings	420	
Contact adhesive		80	Industrial maintenance coatings	250	
Special purpose contact adhesive		250	Low solids costings	120	
Structural wood member adhesi		140	Magnesite orment coatings	450	
Top and trim adhesive		250	Mastic texture costinus	100	
SUBSTRATE SPECIFIC APPLIC	ATIONS		Metallic pigmented costings	500	
Metal to metal		30	Multicolor contings	250	
Plastic foams		50	Pretreatment wash primers	420	
Porous material (except wood)		50	Primers, sealers, and undercoaters	100	
Weed		30	Reactive penetrating scalers	350	
Fiberglass		80	Recycled corings	250	
Management of the second or board of the	of an Mars and American	and a state of the state of	Roof continus	50	
 If no achesive is used to bond distinuits substrates together, the adhesive with the highest VOC content shall be allowed. 			Rust proventative costings	250	
2. For additional information regards	ng methods to mea	our the VOC content	Shelleos	409	
specified in this table, see South Co	est Air Quality Ma	sagement District Rule	Clear	730	
1168.			Opaque	550	
TABL	E 4.504.2		Specialty primers, sealers and undercoaters	100	
SEALAN Less Water and Less Exemp	T VOC LIMIT		Stains	250	
SEALANTS		C LIMT	Stone consolidants	450	
Architectural		250	Swimming pool coatings	340	
Marine deck	_	760	Traffic marking coatings	100	
	_	300	Tub and tile refinish costings	420	
Normembrane roof			Waterproofing membranes	250	
Readway		250	Wood costings	275	
Single-ply roof membrane		450	Wood preservatives	350	
Other		420	Zine-rich primers	340	
SEALANT PRIMERS			1. Ones of VOC per liter of costing, including water	and the death of the same	
Architectural			 Grants of VOC per later of conting, including water compounds. 	and montiding ese	
Nonporous	1	250		- I Harby to Mary	
Porous		775	The specified limits remain in effect unless rovis subsequent columns in the table.	sed timing are lister	
Modified bituminous		500			
Marine deck		760	 Values in this table are derived from those specifies. Resources Board, Architectural Continuo Suggest 	d by the California	
Other	750			sed Control pipe	

Table 1 - Recycled Content Value Calculations
 C
 D
 E
 F

 Recycled
 Post Pre

Cost per sf: x 45% = Total Material Cost (\$):

x 45% = Total Material Cost (\$):

calculating the total material cost, choose ONLY ONE of the three options below:

Construction Waste Management (CWM) Plan

ingle interests type, sour as scient roots in reas.

Neter:

1. Waste stream reduction refers to efforts taken by the builder to reduce the amount of waste generated by the project to below four (4) pounds per equire foce of building area.

In the event that Subcontractors furnish their own debris boxes as part of their scope of work, such Subcontractors shall not be excluded from complying with the CWM Plan and will provide weight and waste diversion data for their

t Name: Legend:		Project Name:			
	- Hauling Company	reject value.			
t Manager:	 Sorting Facility Name and Location 	Job Number:			
Hauling Company:	Disposal Service Company	Job Hamber.			
ct Name:		Project Manager:			
bcontractors shall comply with the project's Construction Waste Management Plan.		Waste Hauling Company:			
		Construction Waste Management	(CWM) Plan		
ntractors who fail to comply with the Waste Management Plan will be subject to backch	arges or withholding of payment, as deemed				
mare. For instance, ourcontractors who constituting deems rooms that have been designate harde or withheld payment, as deemed appropriate.	is fee a single material type will be subject to		DIVERSION M	ETHOD:	PROJECTED
The project's overall rate of waste diversion will be		WASTE MATERIAL TYPE	COMMINGLED AND SORTED OFF SITE	SOURCE SEPARATED ON SITE	DIVERSION RATE
This project shall generate the loast amount of waste possible by planning and ordering carefully, following all proper storage and handling procedures to reduce broken and damaged materials and reusing materials wherever possible. The majority of the waste that is generated on this joistic will be directed from the landfill and recycled for other use.		Asphalt			
		Concrete			
Spreadsheet 1, enclosed, identifies the waste materials that will be generated on this project	ect, the diversion strategy for each waste type	Shotorete			
		Metals			
tractor comes on site, the WMP Coordinator will present him/her with a copy of the CA	VM Plan and provide a tour of the jobsite to	Wood			
identify materials to be salvaged and the procedures for handling jobsite debris. All Sub-	contractor foremen will acknowledge in writ-	Rigid insulation			
posted at the jobsite trailer.	ictii oneet encrosed. The C was Fran was de	Fiberglass insulation			
Salvage: Excess materials that cannot be used in the project, nor returned to the vendor,	will be offered to site workers, the owner, or	Accustic ceiling tile			
will provide a commincted drop box at the jobsite for most of	of the construction waste. These commisseled	Gypsum drywall			
drop boxes will be taken to The average diversio	n rate for commingled waste will be%	Carpet/carpet pad			
As site conditions permit, additional drop boxes will be used for particular phases of co- ensure the highest waste diversion rate possible.	istraction (e.g., concrete and wood waste) to	Plastic pipe			
In the event that the waste diversion rate achievable via the strategy described in (6)	shove, is projected to be lower than what is	Plastic buclorts			
required, then a strategy of source-separated waste diversion and/or waste stream	reduction will be implemented. Source	Plastic			
	located to a debris box designated for a	Hardiplank siding and boards			
		Glass			
		Cardboard			
dbb est	Stormer monaster is all a couple with the property's Communities White Management Ham. Contraction from could sign the CWM First Andamed legislated these. The contraction of the couple with the Warter Management with the will be subject to be discharge or with delity of the will be subject to be discharged to the subject of the will be subject to be discharged to the will be subject to be discharged to the will be subject to the subject of the will be subject to the subject to th	Stones Controlled to the Controlled to the Controlled Ward Integration Flat. Controlled to General Section 2011 and the CONT Flat And-conduction was a few and the Controlled to Contr	Inteling Compoy. Depend Service Compoy. Project Masager. Project Masager. Project Masager. What Inteling Compays: The project venture for WH First Automated Plan. What Management Has out and comply with the Water Automated Service Management Has out and comply with the Water Automated Service Management Has out the Company of the Water Automated Service Management Has out the Company of the Water Automated Service Management Has out the Company of the Water Automated Has on the Company of the Water Has on the Company of the Water Has on the Company of the Water Has on the Service Management Has on the Ser	Intelige Compay. Depend Service Company Experience Company Expe	Intellige Company. Deposed Service Company Project Manager. Pro

Construction Waste Management (CWM) Acknowledgment

roject Name:					
ob Number:					
roject Manager:					
aste Hauling Company:					
WM Plan Acknowledgment					
auplete this Acknowledgmen	reontractor that comes on site is to receive a cop it Form. ent Plan for the project; I understand the goals of this				
DATE	SUBCONTRACTOR COMPANY NAME	FOREMAN NAME	SIGNATURE		
			1		
			1		
			_		

Step 5 - Divide the values in Column C by the values in Column B; insert the Post-Consumer Recycled Content of each material in percentages into Column D.

Step 5 - Divide the values in Column E by the values in Column B; insert the Pre-Consumer Recycled Content of each materi in percentages into Column F.

Step 7 - Transfer the percentages of Post-Consumer and Pre-Consumer Recycled Content from Column D and Column F to Table 1, Columns E and F.

	ENVISUALITY GROUP INC.
Architect:	

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DRAFT (NOT FOR CONSTRUCTION)

Date:	By:	
2022 10 19 P	LANNING CYC1	
		_

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PLANNING SUBMITTAL

CALGREEN Checklist

Date: 12/12/2022 Drawing Number: Job Number: 2022_5

A.	0	4
М.	U	4

and the transcription with the CPM Mean and will provide delete locus.

Active lo

A	В	С	D	E	F	G	н	
			Post-	Post-	Pre-	Pre-	Proportional	Proportion
			Consumer	Consumer	Consumer	Consumer	Post-	Pre-
	Material	Material	Recycled	Recycled	Recycled	Recycled	Consumer	Consumer
Assembly Product** V	Weight (lb)	Weight (%)	Content(lb)	Content (%)	Content(lb)	Content (%)	Content (%)	Content (9
Total Weight:								
			Asse	mbly Post-Co				
							cled Content:	

	RECTCEED CONTENT - DECEARATION STATEMENT
Project Name:	
Project Location:	
Project Manager:	
Project Owner:	

The following section shall be completed by a person with overall responsibility for the planning and design portion of the project, DECLARATION STATEMENT:

- I certify under penalty of perjury, under the laws of the State of California, the information provided is true and correct.

Title:
ents:

ble 2 - Assembly	Product Recy	vcled Content	Calculations *

Pallets
Job office trash, paper, glass & pla hottles, cans, plastic

Та	ble 2 - A	ssembly	Product	Recycled	Conten	t Calculat	ions *	
PRODUCT:								
Α	В	С	D	E	F	G	Н	
u Drodust**	Material	Material	Post- Consumer Recycled	Post- Consumer Recycled	Pre- Consumer Recycled	Consumer Recycled	Proportional Post- Consumer Content (%)	Pre- Consumer
y Product	weight (ib)	weight (76)	Content(ib)	Content (78)	contentiny	Content (76)	Content (%)	Content (76)
tal Weight:								
			Asser		nsumer Recy			
				Ass	embly Pre-Co	onsumer Recy	ycled Content:	
neet per asser used as comp		structural fram	ne shall not be i	used to calculat	te recycled con	tent. The struct	ural frame includ	les the load
					rs, joists, rafter			

Construction Waste Management (CWM) Worksheet

	 	 TION	

roject Name:	
roject Location:	
roject Manager:	
roject Owner:	

I certify that the materials, components, assembly products or manufactured devices identified on this certificate conform to all
applicable codes and regulations, and the installation is consistent with the plans and specifications approved by the enforcing

CALGREEN 2019 NOTES - MANDATORY REQUIREMENTS:

 PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN TOTAL DISTURBS ONE ACRE OR MORE, SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. SEE CALGREEN 4.106.2 FOR FURTHER DETAILS.

2. CONSTRUCTION PLANS SHALL INDICATE HOW THE SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER ROWS TO KEEP WATER FROM ENTERING BUILDINGS. SWELES, WATER COLLECTION AND DISPOSAL SYSTEMS, FRENCH DRAINS, WATER RETENTION GARDENS, AND OTHER MEASURES CAN BE USED. EXCEPTION: ADDITION'S AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.

3. NEW CONSTRUCTION SHALL COMPLY WITH CALGREEN SECTION 4,106.4.1 TO FACILITATE FUTURE INSTALLATION AND USE OF EV CHARGERS. ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA

EXCEPTIONS:

- A. WHERE COUNTY OF SANTA CLARA HAS DETERMINED EV CHARGING AND INFRASTRUCTURE ARE NOT FEASIBLE.
- B. ACCESSORY DWELLING UNITS (ADU) AND JUNIOR ACCESSORY DWELLING UNITS

(JADJ) WITHOUT ADDITIONAL PARKING FACILITIES.

4. FOR EACH DWILLING BUTT, INSTALL ALISTED BACKEWAY TO ACCOMMODATE A DEDICATED 205 JACK-VOLT BRAICH CIRCUIT. THE RACEWAY SHALL DISTORDED THAN 15 TABLE STATE IN LINGTING THE LESS THAN TABLE STATE IN LINGTING THE ATTENDED TABLE THE TABLE STATE IN LINGTING THAT THE ACREMY SHALL DISTORDET AT THE PARKE STATE OF THE PARKE STATE STATE OF THE PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES, THE SERVICE PARKE AND/DAS SUBPARILE SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISITED MARKED AS TEV CAPAGED AS TEV CAP

THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

5. ALL NONCOMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATERCONSENSING PLUMBING STRUBES, PLUMBING FIXTURE REPLACEMENT IS REQUIRED
PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL OPPRIETION, CERTIFICATE OF
OCCUPANCY, OR FINAL PERNIT APPROVAL BY BUILDING AND INSPECTION DIVISION. SEE
CIVIL CODE SECTION 1011., IT SEQ., FOR THE DETRINITION OF A NONCOMPLIANT
PLUMBING FIXTURE, TYPES OF RESIDENTIAL BUILDINGS AFFECTED AND OTHER
IMPORTANT ENACTHENT DATES.

- A. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28
 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE
 PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR
 TANK-TYPE TO
- B. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.
- C. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER-HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS FER MINUTE AT SO PS), OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD
- D. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER
- E. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.7 GALLONS FOR MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- 6. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.
- 7. RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.
- 8. NEWLY CONSTRUCTED RESIDENTIAL DEVELOPMENTS, WHERE DISINFECTED TERTIARY RECYCLED WATER IS AVAILABLE FROM A NUMICIPAL SOURCE TO A CONSTRUCTION SITE, MAY BE REQUIRED TO HAVE RECYCLED WATER SUPPLY SYSTEMS INSTALLED, ALLOWING THE USE OF RECYCLED WATER FOR RESIDENTIAL LANDSCAPE IRRIGATION SYSTEMS. SEE CHAPTER 15 OF THE CALIFORNIA PUMBING CODE.

9. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR NETHOD ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

10. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN SECTION 4.408.2 OR 4.408.2

- A. A CONSTRUCTION WASTE MANAGEMENT PLAN IS PROVIDED. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE COUNTY OF SANTA CLARA.
- IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.
- SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM).
- IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE TAKEN.
- IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED.
- Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
- B. A WASTE MANAGEMENT COMPANY CAN BE UTILIZED IF APPROVED BY THE COUNTY OF SANTA CLARA. SEE CALGREEN 4.408.3 FOR FURTHER, DETAILS

11. DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH

12. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE COUNTY OF SANTA CLARA INCLUDES ALL OF THE REQUIRED INFORMATION, SHALL BE PLACED IN THE BUILDING. SEE CALGREEN 4.410.1 FOR DETAILS OF REQUIRED INFORMATION.

13. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PLEIT STOVE SHALL COMPLY WITH U.S. EPA NOW SOURCE PERFORMANCE STANDARDS (INSS) BUSSION LIMITS AS APPLICABLE, SHE AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE MISSION LIMITS. WOODSTOVES, PLEIT STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REQUIREDT OF, RUE AT THE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REQUIREDT OF, RUE AT THE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REQUIREDT OF, RUE AT THE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REQUIRED OF, RUE AT THE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REQUIRED OF, RUE AT THE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REQUIRED OF, RUE AT THE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REQUIRED OF, RUE AT THE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REQUIRED OF, RUE AT THE SANTA CLARA COUNTY ORDINANCES AND BAY AREA AIR QUALITY MANAGEMENT DISTRICT REQUIRED OF THE SANTA CLARA COUNTY OR THE SANTA CLARA CLARA CLARA COUNTY OR THE SANTA CLARA CLARA CLARA CLARA CLARA COUNTY OR THE SANTA CLARA CLARA CLARA COUNTY OR THE SANTA CLARA CLAR

14. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION STEF AND UNIT. I FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TARE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.

15. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF CALGREEN TABLES 4.50.1 OR. 45.00.2 AS REPROJUCED ON SHEET CG-1. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTIAN TOXIC COMPOUNDS (CHLOROPORM, FHTHERE DICHORDE), METHYLENE CHLORIDE, PRCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR ARROSOL PRODUCTS, AS SPECIFIED BLEUW.

AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULING COMPOUNDS (IN UNITS OF RODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 14 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VCC STANDARDS AND OTHER REQUIREMENT, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 4597.

16. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH YOC LIMITS AS SHOWN IN TAKEL 4.5 9.4.3 SHEET CG.1. THE YOC CONTRIVIST THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.5 9.1.3 SHALL BE DETERMINED BY CLASSIFIYING THE COATING AS A FLAT, NOMELAT OR NONELAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.2, 1.4, 3.6, AND 4.3 TO THE 2007 CALIFORNIA AIR RESOURCES DOADS, SUGGESTED CONTROL MEASURE, AND THE COARESPONDING FLAT, NONELAT OR NON-FLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.5.90.3, SHEET CG.1 SHALL APPLY.

17. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROCH IN SECTION 94522(A)2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND DOZONE DEPLETING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND DOZONE DEPLETING SUBSTANCES, IN, SECTIONS 9452(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS NIDER THE JURISDICTION OF THE BAY AREA ARI QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.

18. VERIFICATION OF COMPLIANCE WITH NOTES 15, 16, AND 17 SHALL BE PROVIDED AT THE REQUEST OF THE COUNTY OF SANTA CLARA.

19. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:

- A. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM
- B. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)
- C. NSF/ANSI 140 AT THE GOLD LEVEL.
- D. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE GOLD.

ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM, ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF TABLE 4.504.1. SHEET GG-1.

20. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:

- A. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTIN AND EVALUATION OF VOLATILE ORGANIC CHEMICAL BMISSIONS FROM MISCORD SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01390), CERTIFEO AS A CHPS LOW-ENITHING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE.
- B. PRODUCTS CERTIFIED UNDER UL GREENGUARD GOLD (FORMERLY THE GREENGUARD CHILDREN & SCHOOLS PROGRAM).
- C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI)
- D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 013SO).

21. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN TABLE 4.504.5 SHEET CG-1.

22. VERIFICATION OF COMPLIANCE WITH NOTE 21 SHALL BE PROVIDED AT THE REQUEST

23. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CHAPTER 19 OR CONCRETE SLAB-ON-GROUND FLOORS REQUIRED TO HAVE A VAPOR RETARDER BY CRC CHAPTER 5, SHALL COMPLY WITH FOLLOWING REQUIREMENT:

A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH AT LEAST ONE OF THE FOLLOWING:

- A. A 4-INCH-THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN, WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING, SHALL BE USED.
- B. A SLAB DESIGN SPECIFIED BY THE LICENSED DESIGN PROFESSIONAL

24. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAWAGE SHALL NOT BE INSTALLED, WALL AND FLOOR, FRANKING SHALL NOT BE ERCLÓSED WHEN THE FERAMING MEMBERS EXCEED 19 PERCENT MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENTS TRAIL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. WET-APPLIED INSULATION PRODUCTS SHALL FOLOUT WITH EMPLACTURESS. WITHIN GECOMMENDATIONS PRIOR TO

25. EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH THE FOLLOWING:

- A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- I. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤ 50 PERCENT TO A MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT.
- A HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT TO THE EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL.

26. HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

- A. THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSI/ACCA 2 MANUAL 3—2016 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- B. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSI/ACCA 1 MANUAL D—2016 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
- C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S—2014 (RESIDENTIAL EQUIPMENT SELECTION) OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

22. HAZ SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HAZ SYSTEMS INCLUDING DUTES AND EQUIPMENT BY ANTIONALLY OR REGIONALLY RECOGNIZED TRAINING OR CERTIFICATION PROGRAM. UNCENTIFIED PERSONS MAY REPRORM HAZ INSTALLATIONS WHEN UNDER THE DIECET SUPERVISION AND RESPONSIBILITY OF A PERSON TRAINED AND CERTIFIED TO INSTALL HVAC SYSTEMS OR CONTRACTOR LICENSED TO INSTALL HVAC SYSTEMS.

28. IF REQUIRED BY THE COUNTY OF SANTA CLARA, THE OWNER OR THE RESPONSIBLE ENTITY ACTING AS THE OWNER'S AGENT SHALL BENDY ONE OR NORS SPECIAL INSPECTORS TO PROVIDE INSPECTION OR OTHER DUTIES NECESSARY TO SUBSTANTATE COMPLIANCE WITH THIS CODE, SPECIAL INSPECTORS SHALL DEMONSTRATE COMPETENCE TO THE SATISFACTION OF THE COUNTY OF SANTA CLARA FOR THE PARTICULAR TYPE OF INSPECTION OR TRAKET OR DEFFORMED. SPECIAL INSPECTORS SHALL BE INDEPENDENT ENTITIES WITH HOS FINANCIAL INTEREST IN THE MATERIALS OR THE PRODECT THY ARE INSPECTIONS FOR COMPLIANCE WITH THIS COUNTY.

29. DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE, WHICH SPECIFIC DOCUMENTATION OS SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR DEMOTIFIED IN THE APPLICATION CHECKLIST.



Architect: Envisuality Group, Inc Hayes Shair 2443 Fillmore St. San Francisco,CA, 94115 (310) 869-1469

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DRAFT (NOT FOR CONSTRUCTION)

Date:		Ву:	
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Project:			
Lu Res	idend	e	

18440 Graystone Lane San Jose CA 94150

William Lu 1522 Husted Avenue San Jose CA 95125

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PLANNING SUBMITTAL

rawing Title:

CALGREEN Checklist

Date: 12/12/2022 Job Number: 2022 5

EEN 2019 NOTES - TIER 1 REQUIREMENTS:

HICH COMPLIES WITH AT LEAST ONE OF THE FOLLOWING CHARACTERISTICS SELECTED:

INETH SITE

REYFIELD SITE.
EPA-RECOGNIZED AND REMEDIATED BROWNFIELD SITE.

STC SERVICES, READILY ACCESSIBLE BY PEDESTRIANS.

TATE COMMUNITY CONNECTIVITY BY ONE OF THE FOLLOWING METHODS:

CATE PROJECT WITHIN A ¼ MILE TRUE WALKING DISTANCE OF AT LEAST FOUR SIC SERVICES, READILY ACCESSIBLE BY PEDESTRIANS. TATE PROJECT WITHIN A 1/2 MILE TRUE WALKING DISTANCE OF AT LEAST SEVEN

HER METHODS INCREASING ACCESS TO ADDITIONAL RESOURCES

OF SERVICES INCLUDE, BUT ARE NOT LIMITED TO, BANK, PLACE OF WORSHIP, ENCE GROCERY, DAY CARE, CLEANERS, FIRE STATION, BARBER SHOP, BEAUTY RDWARE STORE, LAUNDRY, LIBRARY, MEDICAL CLINIC, DENTAL CLINIC, SENIOR ILITY, PARK, PHARMACY, POST OFFICE, RESTAURANT, SCHOOL, SUPERMARKET, COMMUNITY CENTER, FITNESS CENTER, MUSEUM OR FARMERS MARKET.

DUALS WITH OVERSIGHT AUTHORITY ON THE PROJECT WHO HAVE BEEN IN AREAS RELATED TO ENVIRONMENTALLY FRIENDLY DEVELOPMENT SHALL LEEN CONCEPTS TO OTHER MEMBERS OF THE DEVELOPMENT STAFF AND ENSURE INING IS PROVIDED TO ALL PARTIES ASSOCIATED WITH THE DEVELOPMENT OF

REGINNING THE CONSTRUCTION ACTIVITIES. ALL PARTIES INVOLVED WITH ICOMMENT PROCESS SHALL RECEIVE A WRITTEN GUIDELINE AND INSTRUCTION VG THE GREEN GOALS OF THE PROJECT.

LVAGED MATERIALS FROM DECONSTRUCTION OF EXISTING BUILDINGS ON THE LL BE REUSED, REUSED MATERIALS OR PRODUCTS MUST COMPLY WITH BUILDING STANDARDS REQUIREMENTS OR BE AN ACCEPTED ALTERNATE DR MATERIAL.

S WHICH CAN BE EASILY REUSED INCLUDE BUT ARE NOT LIMITED TO THE

HT FIXTURES. IMBING FIXTURES. ORS AND TRIM. CTRICAL DEVICES

JNDATIONS OR PORTIONS OF FOUNDATIONS.

NATERIAL MUST BE IN COMPLIANCE WITH THE APPROPRIATE TITLE 24

NG SITE SOIL ANALYSIS SHALL BE PERFORMED BY A LICENSED DESIGN IONAL AND THE FINDINGS SHALL BE UTILIZED IN THE STRUCTURAL DESIGN OF

FECT OF DEVELOPMENT ON BUILDING SITES SHALL BE EVALUATED AND THE LL BE PROTECTED BY ONE OR MORE OF THE FOLLOWING

TURAL DRAINAGE PATTERNS SHALL BE EVALUATED AND EROSION CONTROLS ALL BE IMPLEMENTED TO MINIMIZE EROSION DURING CONSTRUCTION AND

E ACCESS SHALL BE ACCOMPLISHED BY MINIMIZING THE AMOUNT OF CUT AND

E MICLESS SHALL BE MICLOPHICISHED IN PHINIMIZING THE AMOUNT OF CUIT AND L. MEEDED TO INSTALL ACCESS ROADS AND DRIVEWAYS.
ALLOWED BY OTHER PARTS OF THE CALIFORNIA BUILDING STANDARDS CODE, DEGROGUNG CONSTRUCTION ACTIVITIES SHALL BE COORDINATED TO UTILIZE.

SAME TRENCH, MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS. POSED AND THE SOIL SHALL BE REPLACED USING ACCEPTED COMPACTION

IL SHALL BE PROTECTED OR SAVED FOR REUSE. DISPLACED TOPSOIL SHALL BE ED FOR REUSE IN A DESIGNATED AREA AND COVERED OR PROTECTED FROM . PROTECTION FROM EROSION INCLUDES COVERING WITH TARPS, STRAW, HIPPED WOOD, VEGETATIVE COVER, OR OTHER MEANS ACCEPTABLE TO THE DF SANTA CLARA TO PROTECT THE TOPSOIL FOR LATER USE.

ONSTRUCTION LANDSCAPE DESIGNS SHALL ACCOMPLISH ONE OR MORE OF THE

EAS DISRUPTED DURING CONSTRUCTION SHALL BE RESTORED TO BE NSISTENT WITH NATIVE VEGETATION SPECIES AND PATTERNS. LIZE AT LEAST 75 PERCENT NATIVE CALIFORNIA OR DROUGHT TOLERANT PLANT D TREE SPECIES APPROPRIATE FOR THE CLIMATE ZONE REGION.

ABLE PAVING SHALL BE UTILIZED FOR NOT LESS THAN 20 PERCENT OF THE RKING, WALKING OR PATIO SURFACES

ARY DRIVEWAY, PRIMARY ENTRY WALKWAY AND ENTRY PORCH OR LANDING IT BE INCLUDED WHEN CALCULATING THE AREA REQUIRED TO BE A PERMEABLE

ALL A VEGETATED ROOF FOR AT LEAST 50 PERCENT OF THE ROOF AREA ED RODES SHALL COMPLY WITH REQUIREMENTS FOR RODE GARDENS AND PED ROOFS IN THE CALIFORNIA BUILDING CODE, CHAPTER 15 AND CHAPTER

CE NONROOF HEAT ISLANDS FOR 50 PERCENT OF SIDEWALKS, PATIOS YS OR OTHER PAVED AREAS BY USING ONE OR MORE OF THE METHODS LISTED. ES OR OTHER PLANTINGS TO PROVIDE SHADE AND THAT MATURE WITHIN 15 ARS OF PLANTING, TREES SHOULD BE NATIVE OR ADAPTIVE TO THE REGION DICLIMATE ZONES AND NONINVASIVE: HARDY AND RESISTANT TO DROUGHT IECTS AND DISEASE; EASY TO MAINTAIN (NO FREQUENT SHEDDING OF TWIGS ANCHES, UNWANTED FRUIT OR SEED PODS); AND SUITABLE IN MATURE SIZE

AND ENVIRONMENTAL REQUIREMENTS FOR THE SITE. TREE SELECTION AND PLACEMENT SHOULD CONSIDER LOCATION AND SIZE OF AREAS TO BE SHADED, LOCATION OF UTILITIES, VIEWS FROM THE STRUCTURE, DISTANCE TO SIDEWALKS AND FOUNDATIONS, OVERHANGS ONTO ADJACENT PROPERTIES AND STREETS: OTHER INFRASTRUCTURE AND ADJACENT TO LANDSCAPING. IN ADDITION, SHADING SHALL NOT CAST A SHADOW, AS SPECIFIED, ON ANY NEIGHBORING SOLAR COLLECTORS PURSUANT TO PUBLIC RESOURCES CODE SECTION 25981, ET SEO. (SOLAR SHADE CONTROL ACT).

- SEQ. (SOURCE SHADE CONTROL ACT).

 B. USE HIGH ALBEDO MATERIALS WITH AN INITIAL SOLAR REFLECTANCE VALUE OF AT LEAST 0.30 AS DETERMINED IN ACCORDANCE ASTM E1918 OR C1549.
- C. USE OPEN GRID PAVEMENT SYSTEM OR PERVIOUS OR PERMEABLE PAVEMEN
- LOCATE SO PERCENT OF PARKING UNDERGROUND OR USE MULTILEVEL PARKING E. OTHER METHODS OF REDUCING HEAT ISLAND EFFECTS ACCEPTABLE TO THE COUNTY OF SANTA CLARA.

12. FOR EACH DWELLING UNIT, INSTALL A DEDICATED 208/240-VOLT BRANCH CIRCUIT 12. FOR EACH DWELLING UNIT, INSTALL A DEDICATED 208/240-9011 BRANCH CIRCUIT
IN THE RACEWAY REQUIRED BY CALGREEN SECTION 4.106.4.1 (SEE SHEET GB-2 NOTE 4).
THE BRANCH CIRCUIT AND ASSOCIATED OVERCURRENT PROTECTIVE DEVICE SHALL BE
RATED AT 40 AMPERES MINIMUM. OTHER ELECTRICAL COM-PONENTS, INCLUDING A RECEPTACLE OR BLANK COVER, RELATED TO THIS SECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.

THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE DESIGNATED FOR FUTURE EV CHARGING PURPOSES AS "EV READY" IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE. THE RECEPTACLE OR BLANK COVER SHALL BE IDENTIFIED AS "EV READY."

13. OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING:

- A THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 1-4 AS DEFINED IN CHAPTER 10 OF THE CALIFORNIA ADMINISTRATIVE
- B. BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS AS DEFINED IN IES TM-15-11;
- C. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN CALGREEN TABLE

EXCEPTIONS:

- 1. LUMINAIRES THAT QUALIFY AS EXCEPTIONS IN THE CALIFORNIA ENERGY CODE.
- 3. ONE- AND TWO-FAMILY DWELLINGS.

14. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.5 GAL-LONS PER MINUTE AT 60 PSI. WHERE COMPLYING FALICETS ARE LINAVALIABLE, AFRATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

15. ALTERNATE NONPOTABLE WATER SOURCES SHALL BE USED FOR INDOOR POTABLE WATER REDUCTION, ALTERNATE NONPOTABLE WATER SOURCES SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING Code.

16. INSTALL AT LEAST ONE QUALIFIED ENERGY STAR DISHWASHER OR CLOTHES

17. NONWATER URINALS OR COMPOSTING TOTLETS SHALL BE INSTALLED. WHERE APPROVED, HYBRID URINALS, AS DEFINED IN CALGREEN CHAPTER 2, SHALL BE CONSIDERED NONWATER URINALS.

18. ONE- AND TWO-FAMILY DWELLINGS SHALL BE EQUIPPED WITH A DEMAND HOT WATER RECIRCULATION SYSTEM, AS DEFINED IN CALGREEN CHAPTER 2. THE DEMAND HAVER RECIRCULATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WHIT HE CALIFORNIA PLUMBING CODE, CALIFORNIA ENERGY CODE, AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

19. AN APPROVED RAINWATER CATCHMENT SYSTEM SHALL BE DESIGNED AND INSTALLED TO USE RAINWATER GENERATED BY AT LEAST 65 PERCENT OF THE AVAILABLE ROOF AREA. RAINWATER CATCHMENT SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

20. WHEN LANDSCAPING IS PROVIDED AND AS ALLOWED BY LOCAL ORDINANCE, A WATER EFFICIENT LANDSCAPE TRRIGATION DESIGN THAT ELIMINATES THE USE OF POTABLE WATER BEYOND THE INITIAL REQUIREMENTS FOR PLANT INSTALLATION AND ESTABLISHMENT SHALL BE PROVIDED. METHODS USED TO ACCOM-PLISH THE REQUIREMENTS OF THIS SECTION SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING STANDARDS CODE AND SHALL INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- A. USE OF CAPTURED RAINWATER.
- B. USE OF RECYCLED WATER.
 C. WATER TREATED FOR IRRIGATION PURPOSES AND CONVEYED BY A WATER
- DISTRICT OR PUBLIC ENTITY. D. USE OF GRAYWATER
- E. USE OF DROUGHT TOLERANT PLANTS

21. FOR NEW WATER SERVICE CONNECTIONS, LANDSCAPED IRRIGATED AREAS LESS THAN 5,000 SQUARE FEET SHALL BE PROVIDED WITH SEPARATE SUBMETERS OR METERING DEVICES FOR OUTDOOR POTABLE WATER USE.

22. ALTERNATIVE PLUMBING PIPING SHALL BE INSTALLED TO PERMIT THE DISCHARGE FROM THE CLOTHES WASHER OR OTHER FIXTURES TO BE USED FOR AN IRRIGATION SYSTEM IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.

23. BASED ON PROJECTED AVAILABILITY, DUAL WATER PIPING SHALL BE INSTALLED FOR FUTURE USE OF RECYCLED WATER AT THE FOLLOWING LOCATION

- A. INTERIOR PIPING FOR THE USE OF RECYCLED WATER SHALL BE INSTALLED TO SERVE ALL WATER CLOSETS, URINALS AND FLOOR DRAINS.
- B. EXTERIOR PIPING IS INSTALLED TO TRANSPORT RECYCLED WATER FROM THE POINT OF CONNECTION TO THE STRUCTURE RECYCLED WATER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING
- 24. RECYCLED WATER SHALL BE USED FOR LANDSCAPE IRRIGATION.

25. AS ALLOWED BY LOCAL CONDITIONS, UTILIZE A FROST-PROTECTED SHALLOW FOUNDATION (FPSF) IN COMPLIANCE WITH THE CALIFORNIA RESIDENTIAL CODE (CRC). WHEN AN FPSF FOUNDATION SYSTEM IS INSTALLED, THE MANUAL REQUIRED BY CALGREEN SECTION 4.410.1 SHALL INCLUDE INSTRUCTIONS TO THE OWNER OR OCCUPANT REGARDING THE NECESSITY FOR HEATING THE STRUCTURE AS REQUIRED IN SECTION R403.3 OF THE CALIFORNIA RESIDENTIAL CODE.

26. AS ALLOWED BY THE COUNTY OF SANTA CLARA, CEMENT USED IN FOUNDATION MIX DESIGN SHALL BE REDUCED NOT LESS THAN 20 PERCENT, RODUCTS COMMONLY LISED TO REPLACE CEMENT IN CONCRETE MIX DESIGNS INCLUDE, BUT ARE NOT LIMITED TO:

- A. FLY ASH.
- B. SLAG. STLTCA FLIME
- D. RICE HULL ASH

27. BEAMS, HEADERS AND TRIMMERS SHALL BE SIZED AND INSTALLED AS SPECIFIED IN CHAPTER 23 OF THE CALIFORNIA BUILDING CODE, OR CHAPTER 6 OF THE CALIFORNIA RESIDENTIAL CODE. AS APPLICABLE, OTHER CALCULATIONS ACCEPTABLE TO THE NTY OF SANTA CLARA WHICH USE THE MINIMUM SIZE MEMBER FOR THE TRIBUTARY LOAD IS ACCEPTABLE.

28 BUILDING DIMENSIONS AND LAYOUTS SHALL BE DESIGNED TO MINIMIZE WASTE BY ONE OR MORE OF THE FOLLOWING MEASURES IN AT LEAST 80 PERCENT OF

- A. BUILDING DESIGN DIMENSIONS IN 2-FOOT INCREMENTS ARE USED.
- WINDOWS AND DOORS ARE LOCATED AT REGULAR 16" OR 24" STUD POSITIONS OTHER METHODS ACCEPTABLE TO THE COUNTY OF SANTA CLARA

29. PREMANUFACTURED BUILDING SYSTEMS SHALL BE USED TO ELIMINATE SOLID SAWN LUMBER WHENEVER POSSIBLE. ONE OR MORE OF THE FOLLOWING PREMANUFACTURED. BUILDING SYSTEMS IS USED

- A. COMPOSITE FLOOR JOIST OR PREMANUFACTURED FLOOR FRAMING SYSTEM.
 B. COMPOSITE ROOF RAFTERS OR PREMANUFACTURED ROOF FRAMING SYSTEM.
- . PANELIZED (SIPS, ICF OR SIMILAR) FRAMING SYSTEMS
- D. OTHER METHODS APPROVED BY THE COUNTY OF SANTA CLARA.

30. MATERIAL LISTS SHALL BE INCLUDED IN THE PLANS WHICH SPECIFY THE MATERIAL QUANTITY AND PROVIDE DIRECTION FOR ON-SITE CUTS TO BE MADE FROM THE MATERIAL PROVIDED. MATERIAL LISTS AND DIRECTION SHALL BE PROVIDED FOR THE FOLLOWING SYSTEMS

- A FLOOR EDAMING
- . CEILING AND ROOF FRAMING D. STRUCTURAL PANELS AND ROOF SHEATHING.

31. UTILIZE PREFINISHED BUILDING MATERIALS WHICH DO NOT REQUIRE ADDITIONAL PAINTING OR STAINING WHEN POSSIBLE. ONE OR MORE OF THE FOLLOWING BUILDING MATERIALS THAT DO NOT REQUIRE ADDITIONAL RESOURCES FOR FINISHING ARE USED:

- A. EXTERIOR TRIM NOT REQUIRING PAINT OR STAIN.
- B. WINDOWS NOT REQUIRING PAINT OR STAIN.
 C. SIDING OR EXTERIOR WALL COVERINGS WHICH DO NOT REQUIRE PAINT OR STAIN

32. CONCRETE FLOORS THAT DO NOT REQUIRE ADDITIONAL COVERINGS SHALL BE USED INCLUDING BUT NOT LIMITED TO STAINED, NATURAL OR STAMPED CONCRETE FLOORS.

33. USE MATERIALS, EQUIVALENT IN PERFORMANCE TO VIRGIN MATERIALS WITH A TOTAL (COMBINED) RECYCLED CONTENT VALUE (RCV) OF NOT BE LESS THAN 10 PERCENT OF THE TOTAL MATERIAL COST OF THE PROJECT.

REQUIRED TOTAL RCV (DOLLARS) = TOTAL MATERIAL COST(DOLLARS) × 10 PERCENT

FOR THE PURPOSES OF THIS SECTION, MATERIALS LISED AS COMPONENTS OF THE FOR THE PURPOSES OF THIS SECTION, MATERIALS USED AS COMPONENTS OF THE STRUCTURAL FRAME SHALL NOT BE USED TO CALCULATE RECYCLED CONTENT. THE STRUCTURAL FRAME INCLUDES THE LOAD BEARING STRUCTURAL ELEMENTS, SUCH AS WALL STUDS, PLATES, SILLS, COLUMNS, BEAMS, GIRDERS, JOISTS, RAFTERS AND TRUSSES, SAMPLE FORMS WHICH ALLOW USER INPUT, LOCATED AT SHEET CG-4, MAY BE USED TO SIMPLIFY DOCUMENTING COMPLIANCE WITH THIS SECTION AND FOR CALCULATING RECYCLED CONTENT VALUE OF MATERIALS OR ASSEMBLY PRODUCTS.

SOURCES AND RECYCLED CONTENT OF SOME RECYCLED MATERIALS CAN BE OBTAINED FROM CALRECYCLE IF NOT PROVIDED BY THE MANUFACTURER

FOR FURTHER INSTRUCTION SEE CALGREEN A4.405.3.

34. ONE OR MORE OF THE FOLLOWING MATERIALS MANUFACTURED FROM RAPIDLY RENEWABLE SOURCES OR AGRICULTURAL BY-PRODUCTS SHALL BE USED:

- A INSULATION
- BAMBOO OR CORK
- C. ENGINEERED PRODUCTS. D. AGRICULTURAL BASED PRODUCTS.
- . OTHER PRODUCTS ACCEPTABLE TO THE ENFORCING AGENCY.

THE INTENT OF THIS SECTION IS TO UTILIZE BUILDING MATERIALS AND PRODUCTS

WHICH ARE TYPICALLY HARVESTED WITHIN A 10-YEAR OR SHORTER CYCLE 35. INSTALL FOUNDATION AND LANDSCAPE DRAINS WHICH DISCHARGE TO A DRY WELL SUMP, BIOSWALE OR OTHER APPROVED ON-SITE LOCATION.

36. INSTALL GUTTER AND DOWNSPOUT SYSTEMS TO ROUTE WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION OR CONNECT TO LANDSCAPE DRAINS WHICH DISCHARGE TO A DRY WELL, SUMP, BIOSWALE, RAINWATER CAPTURE SYSTEM OR OTHER APPROVED ON-SITE LOCATION.

37 PROVIDE ELASHING DETAILS ON THE BUILDING PLANS WHICH COMPLY WITH 37. PROVIDE PLASHING DETAILS ON THE BUILDING PLANS WHICH COMPLY WITH ACCEPTED INDUSTRY STANDARDS OR MANUFACTURER'S INSTRUCTIONS. DETAILS SHALL BE SHOWN ON HOUSE PLANS AT ALL OF THE FOLLOWING LOCATIONS:

A. AROUND WINDOWS AND DOORS. ROOF VALLEYS.

COUNTY OF SANTA CLARA.

- C. DECK CONNECTIONS TO THE STRUCTURE.
 D. ROOF-TO-WALL INTERSECTIONS.
- E. CHIMNEYS TO ROOF INTERSECTIONS F. DRIP CAPS ABOVE WINDOWS AND DOORS WITH ARCHITECTURAL PROJECTIONS.

38. PROTECT BUILDING MATERIALS DELIVERED TO THE CONSTRUCTION SITE FROM RAIN

AND OTHER SOURCES OF MOISTURE 39. EXTERIOR DOORS TO THE DWELLING SHALL BE COVERED TO PREVENT WATER

- INTRUSION BY ONE OR MORE OF THE FOLLOWING
- A. AN AWNING AT LEAST 4 FEET IN DEPTH IS INSTALLED. B. THE DOOR IS PROTECTED BY A ROOF OVERHANG AT LEAST 4 FEET IN DEPTH.
- THE DOOR IS RECESSED AT LEAST 4 FEET.

D. OTHER METHODS WHICH PROVIDE EQUIVALENT PROTECTION.

40. A PERMANENT OVERHANG OR AWNING AT LEAST 2 FEET IN DEPTH SHALL BE PROVIDED AT ALL EXTERIOR WALLS. 41. NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS GENERATED AT THE TE SHALL BE DIVERTED TO RECYCLE OR SALVAGE IN COMPLIANCE WITH THE

FOLLOWING: AT LEAST A 65 DEPOCENT REDUCTION, ANY MIXED DECYCLARLES THAT ARE SENT TO MIXED-WASTE RECYCLING FACILITIES SHALL INCLUDE A QUALIFIED THIRD PARTY VERIFIED FACILITY AVERAGE DIVERSION RATE. VERIFICATION OF DIVERSION RATES SHALL MEET MINIMUM CERTIFICATION ELIGIBILITY GUIDELINES, ACCEPTABLE TO THE

DOCUMENTATION SHALL BE PROVIDED TO THE COUNTY OF SANTA CLARA WHICH MONSTRATES COMPLIANCE WITH THIS SECTION. DOCUMENTATION SHALL BE IN COMPLIANCE WITH CALGREEN SECTION 4.408.5.

42. USE COMPOSITE WOOD PRODUCTS MADE WITH FITHER CALIFORNIA AIR RESOURCES ARD APPROVED NO-ADDED FORMALDEHYDE (NAF) RESINS OR ULTRA-LOW EMITTING FORMALDEHYDE (ULEF) RESINS.

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS.

43. AT LEAST 90 PERCENT OF THE TOTAL AREA OF RESILIENT FLOORING SYSTEMS INSTALLED IN THE BUILDING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN AT LEAST ONE OF THE FOLLOWING:

- A. PRODUCTS COMPLIANT WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS, VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE
- B. PRODUCTS CERTIFIED UL GREENGUARD GOLD (FORMERLY THE GREENGUARD
- CHILDREN & SCHOOLS PROGRAM.)

 C. CERTIFICATION UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI)
- FLOORSCORE PROGRAM. D. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1.FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350.)

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THAT FINISH MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION

44. INSTALL THERMAL INSULATION IN COMPLIANCE WITH THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH. "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350), CERTIFIED AS A CHPS LOW-EMITTING MATERIAL IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE: PRODUCTS CERTIFIED UNDER THE UL GREENGUARD GOLD (FORMERLY GREENGUARD CHILDREN & SCHOOLS PROGRAM); OR MEET CALIFORNIA DEPARTMENT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS," VERSION 1.1, FEBRUARY 2010 (ALSO KNOWN AS

DOCUMENTATION MUST BE PROVIDED THAT VERIFIES THE MATERIALS ARE CERTIFIED TO MEET THE POLLUTANT EMISSION LIMITS IN THIS SECTION.

45. PROVIDE FILTERS ON RETURN AIR OPENINGS RATED AT MERV 8 OR HIGHER DURING

46. DIRECT-VENT HEATING AND COOLING EQUIPMENT SHALL BE UTILIZED IF THE EQUIPMENT WILL BE LOCATED IN THE CONDITIONED SPACE OR INSTALL THE SPACE HEATING AND WATER HEATING EQUIPMENT IN AN ISOLATED MECHANICAL ROOM

FNVISHALITY

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Lu Residence

18440 Graystone Lane San Jose CA 94150

William Lu 1522 Husted Avenue

San Jose CA 95125

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CALGREEN Checklist

Date: 12/12/2022

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Ground Floor Plan

Date: 12/12/2022 **A.10** 2022_5

6 PROVIDE FLOOR FRAMING TO ELIMINATE STEP IN FLOOR

PROVIDE 5/8" TYPE 'X' GYP. BD. FROM FOUNDATION TO ROOF SHEATHING AT SEPARATION WALL AND CEILING BETWEEN GARAGE & RESIDENCE.

HEAT PUMP WATER HEATER: RHEEM PROPH65 T2 RH350 DCB OR EQ:

PROVIDE MINIMUM 1-3/8" THICK SOLID CORE DOOR WITH SELF-CLOSING (SELF LATCHING DOOR W/ FIRE RESISTANCE RATING OF NOT LESS THAN 20 MIN. WHEN TESTED ACCORDING TO ASTM E 2014

NEW GRAVITY HOOD ABOVE THE STOVE TOP, WILL BE INSTALLED AND VENTED TO THE OUTSIDE ATMOSPHERE. BROAN 1-WAY, EXTERNAL BLOWER, MODEL E64E36SS OR EQ. INTERNAL BLOWER @ 600 CFM. 10" ROUND DUCT

GUARD-RAIL AND HANDRAIL SHALL BE 42" IN HEIGHT. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FINISH SURFACE OF RAMP, SHALL BE NOT LESS THAN 34 NOSING, OR FINISH SURFACE OF FAMIN, SHALL BE NOT LESS HAM 34 INCHES AND NOT MORE THAN 38". OPENINGS BETWEEN INTERMEDIATE RAILS TO BE SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH SEE SHEET 12/ A.44 FOR GUARDRAIL REQUIREMENTS

ENCLOSED ACCESSIBLE SPACE LINDER STAIRS SHALL HAVE WALLS UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH I/2-INCH GYPSUM WALLBOARD PER SEC. R302.7.

PROVIDE A MINIMUM 72" NONABSORBENT SURFACE AT SHOWER/ BATHTUB WALLS ABOVE DRAIN INLET PER CRC 3072

14 PROVIDE ALL TOILETS SHALL HAVE MAX. 1.28 GALLON PER FLUSH.

PROVIDE KITCHEN FAUCETS TO HAVE A MAX. FLOW OF 1.5 GPM @ 60 psi PER 15 CalGreen SEC. 4.303.1

PROVIDE ALL SHOWER HEAD (INCLUDING MULTIPLE SHOWERHEADS SERVING ONE SHOWER)
TO HAVE A MAX FLOW OF 1.8 GPM @ 80 PSI. AND LAVATORY FAUCETS TO HAVE A MAX. 1.2 GPM 16 @ 60 PSI PER 2019 CALGREEN CODE SEC. 4.303.1.3. METER FAUCETS SHALL HAVE MAX. 0.2 OF MINES PER 2019 CALGREEN CODE SEC. 4.303.1.3. METER FAUCETS SHALL HAVE MAX. 0.2 GALLONS PER CYCLE. SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD & THERMAL PROTECTION WITH MAXIMUM MIXING TEMPERATURE OF 120 DEG PER CPC 418.

MULTI-ZONE OUTDOOR MINISPLIT CONDENSER UNIT. MOUNT ON 3" CONCRETE SLAB ON 4" A.B FOR AT-GRADE INSTALLATION. PROVIDE STANDOFFS FOR DECK LOCATIONS 18

19 ELECTRIC INDUCTION COOKTOP & RANGE - BOSCH OR EQ

1

PROVIDE A "TAMPER PROOF" RECEPTACLES AND LIGHTING EQUIPMENT

1), PROVIDE A SMOOTH METAL DUCT FOR DRYER EXHAUST EXTENDING TO OUTSIDE W/ BACK DRAFT DAMPER(36" MIN. AWAY FROM OPENING).
2). EXCEEDS MAX. VENT DUCT LENGTH OF 14". 2

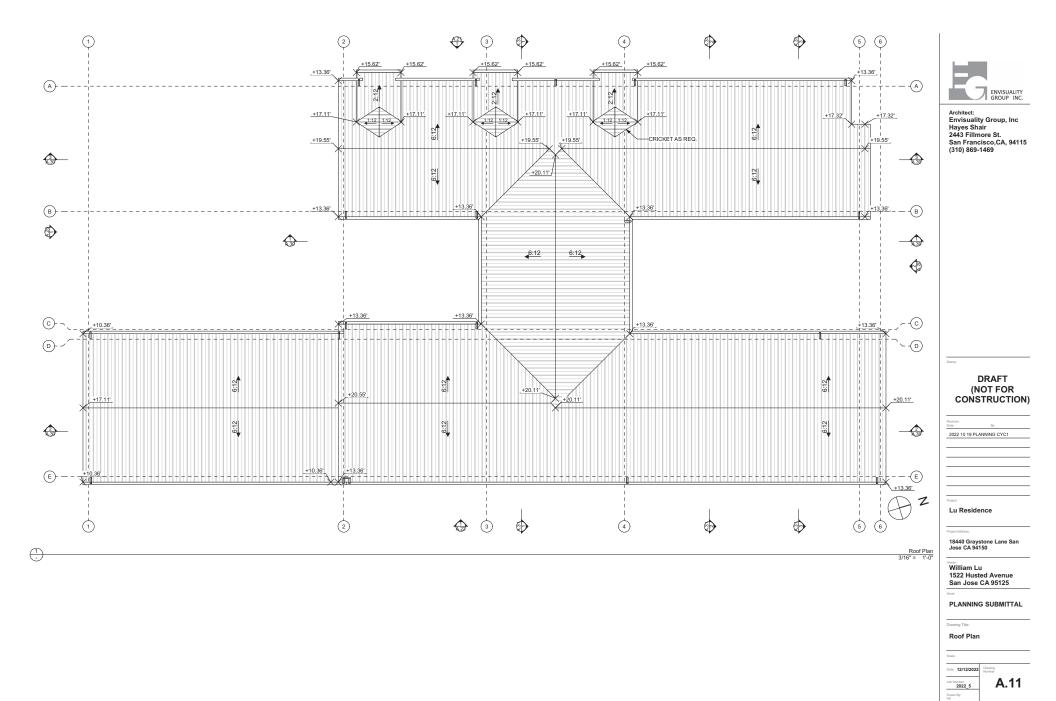
30" MIN. CLR @ SHOWER SHOWER DOOR MIN. 22" WIDE, TEMPERED. PROVIDE 3 MIN. 30" CLEAR SPACE AROUND WATER CLOSET

4 ATTIC ACCESS IN CEILING. MIN. DIMENSION OF 22" x 30"

PROVIDE BOOSTER FAN PER 5 / A 48

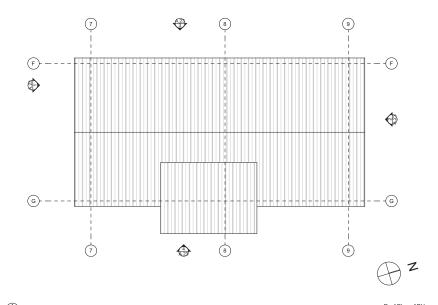
5 MINIMUM 36" DEEP LEVEL LANDING AT ALL EXTERIOR DOORS.

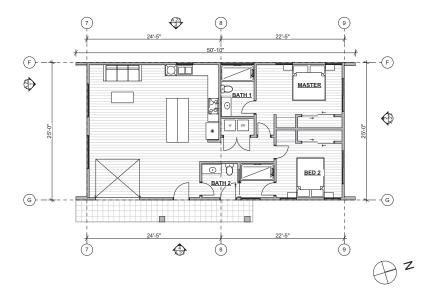
12" WIDE STEP TO GRADE CONFORM. HEIGHT TO BE 7.5" MAX AND HALE OF THE 5b OVERALL VERTICAL DROP BETWEEN LANDING AND ADJACENT GRADE LEVEL





Architect: **Envisuality Group, Inc** Hayes Shair 2443 Fillmore St. San Francisco, CA, 94115 (310) 869-1469





Ground Floor Plan - ADU 3/16" = 1'-0"

PLAN NOTES:

- MULTI-ZONE MINI-SPLIT AC UNIT PROVIDE A "TAMPER PROOF" RECEPTACLES AND LIGHTING EQUIPMENT
 - DRYER

2

- DRYER

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- 5 MINIMUM 36" DEEP LEVEL LANDING AT ALL EXTERIOR DOORS.
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- 6 PROVIDE FLOOR FRAMING TO ELIMINATE STEP IN FLOOR
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- PROVIDE A MINIMUM 72" NONABSORBENT SURFACE AT SHOWER/ BATHTUB WALLS ABOVE DRAIN INLET PER CRC 3072
- 14 PROVIDE ALL TOILETS SHALL HAVE MAX. 1.28 GALLON PER FLUSH.
- PROVIDE KITCHEN FAUCETS TO HAVE A MAX. FLOW OF 1.5 GPM @ 60 psi PER 15 CalGreen SEC. 4.303.1
- PROVIDE ALL SHOWER HEAD (INCLUDING MULTIPLE SHOWERHEADS SERVING ONE SHOWER)
 TO HAVE A MAX FLOW OF 14 GPM §8 0P SI AND LAVATORY FAUCETS TO HAVE A MAX 12 GPM
 96 0P SIPERS 2019 CALGREEN CODE SEC 4. 393.13. METER FAUCETS SHALL HAVE MAX 0.2
 GALLONS PER CYCLE SHOWER AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH
 INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE. THERMOSTATIC, OR
 COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD & THERMAL PROTECTION WITH MAXIMUM MIXING TEMPERATURE OF 120 DEG PER CPC 418.
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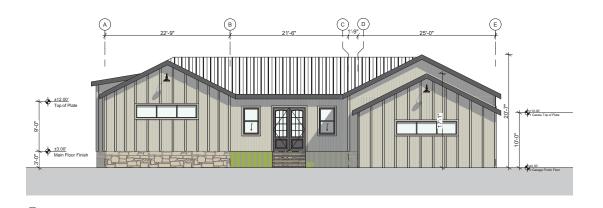
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Ground Floor & Roof Plan - ADU

Date: 12/12/2022 2022_5





NOTE: EXTERIOR FINISH COLORS SHALL NOT EXCEED AN LRV OF 45 WITHIN THE "-D1" ZONING DISTRICT







CF-1
YHHTE PAINTED BOARD AND BATTON CEMENT FIBER
BOARD
TRU EXTERIOR BOARD AND BATTON
BENJAMIN MOORE "MUSEUM PIECE CSP-40" (41.47
LRV)









GARAGE DOORS WOOD FARMHOUSE OVERHEAD DOOR OVERHEAD DOOR CARRIAGE HOUSE COLLECTION



ADDRESS NUMBERS DARK BRONZE ANODIZED ALUMINUM NUMBERS





ELEVATION KEY NOTES:

1 VERTICAL BOARD AND BATTEN SIDING 2 CLEAR STAINED T&G CEDAR SIDING

> FIBERGLASS WINDOW / DOOR ASSEMBLY (DARK BRONZE SASH)

DECORATIVE FARMHOUSE LIGHTING FIXTURE

BATH / DRYER EXHAUST REGISTER (6" X 10"), (80 CFM) 16 KITCHEN EXHAUST REGISTER (6" X 12"), (100 CFM MIN.) WATER HEATER EXHAUST REGISTER (12" X 12"), (100 CFM MIN.) 18 FOUNDATION SCREEN VENT (6" X 16"), (48.9 IN² NFA.)

19 PHOTOVOLATIC PANELS

EGRESS WINDOW

4 PAINTED EAVES (DARK BROWN)

5 STONE ACCENT CLADDING

CORNICE MOLDING

8 CUSTOM GARAGE DOOR 9 STANDING SEAM METAL ROOFING 10 ELEC METER LOCATION (PREFERRED) 11 GAS METER LOCATION (PREFERRED) 12 DOWNSPOUT AND GUTTER 13 CONDENSER UNIT 14 GOOD NEIGHBOR FENCE

6

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RF-1 STANDING SEAM METAL ROOF CHARCOAL GRAY (12 LRV) TAYLOR METALS PRODUCTS (MS-150)



MTL-1 BLACK PAINTED BREAK METAL TO MATCH ROOF



CF-1
WHITE PAINTED BOARD AND BATTON CEMENT FIBER
BOARD
TRU EXTERIOR BOARD AND BATTON
BENJAMIN MOORE "MUSEUM PIECE CSP-40" (41.47



WID-1 CLEAR STAIN TONGUE AND GROOVE CEDAR SIDING



DARK BRONZE ANODIZED ALUMNUM MI GARD ALUMNUM THERMAL BREAK



DOORS

DARK BRONZE ANODIZED ALUMNUM STILE AND RAIL
NILGARD ALUMNUM THERMAL BREAK



GARAGE DOORS
WOOD FARMHOUSE OVERHEAD DOOR
OVERHEAD DOOR CARRIAGE HOUSE COLLECTION

ELEVATION KEY NOTES:

- 1 VERTICAL BOARD AND BATTEN SIDING
- 2 CLEAR STAINED T&G CEDAR SIDING
- 3 FIBERGLASS WINDOW / DOOR ASSEMBLY (DARK BRONZE SASH)
- 4 PAINTED EAVES (DARK BROWN)
- 5 STONE ACCENT CLADDING
- 6 CORNICE MOLDING
- DECORATIVE FARMHOUSE LIGHTING FIXTURE
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- 10 ELEC METER LOCATION (PREFERRED)
- 11 GAS METER LOCATION (PREFERRED)
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- 14 GOOD NEIGHBOR FENCE
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- 19 PHOTOVOLATIC PANELS
- EGRESS WINDOW

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Project: Lu Residence

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Date: 12/12/2022 | Date Number: 2022_5 | Date By:



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MTL-1 BLACK PAINTED BREAK METAL TO MATCH ROOF



CF-1 WHITE PAINTED BOARD AND BATTON CEMENT FIBER



WD-1 CLEAR STAIN TONGUE AND GROOVE CEDAR SIDING





JOORS DARK BRONZE ANODIZED ALUMINUM STILE AND RAIL



ELEVATION KEY NOTES:

- 1 VERTICAL BOARD AND BATTEN SIDING
- 2 CLEAR STAINED T&G CEDAR SIDING
- FIBERGLASS WINDOW / DOOR ASSEMBLY (DARK BRONZE SASH)
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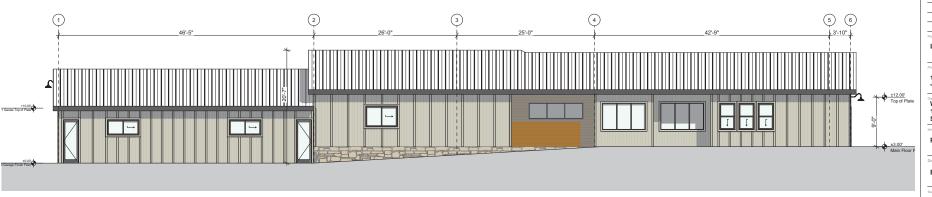
18440 Graystone Lane San Jose CA 94150

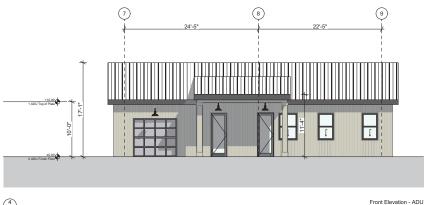
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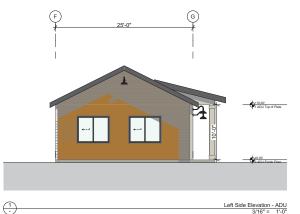
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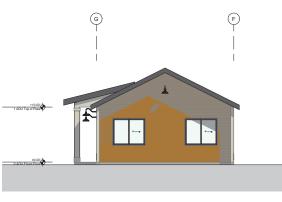
Elevation

Date: 12/12/2022 2022_5









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- 19 PHOTOVOLATIC PANELS
- EGRESS WINDOW

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ENVISUALITY GROUP INC.

Architect: Envisuality Group, Inc Hayes Shair

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San Francisco, CA, 94115 (310) 869-1469

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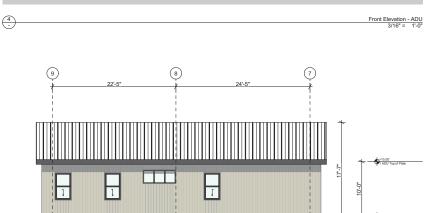
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NOTE: EXTERIOR FINISH COLORS SHALL NOT EXCEED AN LRV OF 45 WITHIN THE "-D1" ZONING DISTRICT















GARAGE DOORS WOOD FARMHOUSE OVERHEAD DOOR OVERHEAD DOOR CARRIAGE HOUSE COLLECTION



ADDRESS NUMBERS DARK BRONZE ANODIZED ALUMINUM NUMBERS



F-A EXTERIOR SCONCE BLACK SHIELDED SCONCE W/ COPPER ACCENT REJUVENATION CARSON GOOSENECK SCONCE

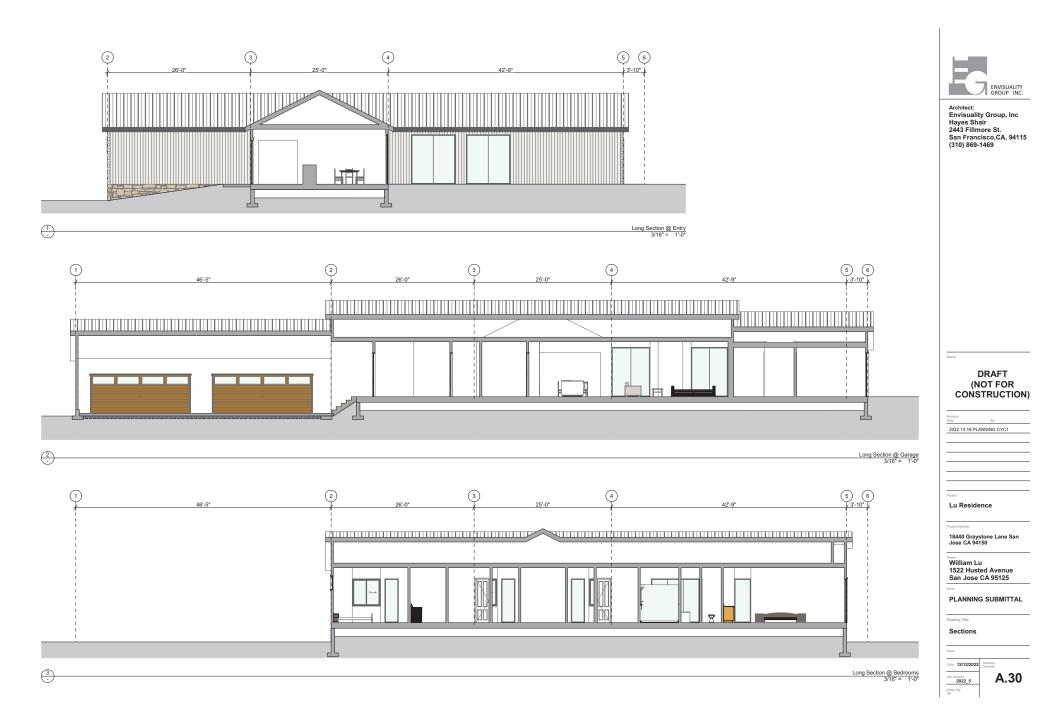


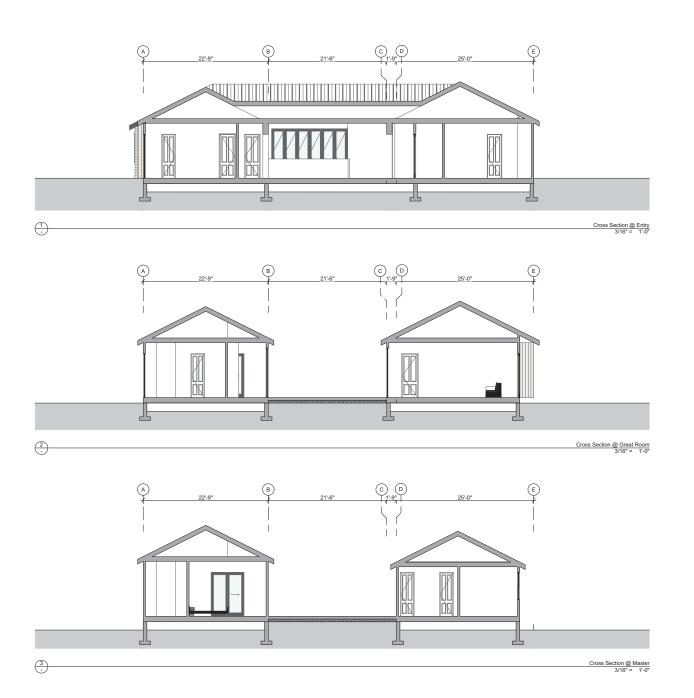














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Project:
Lu Residence
Project Address:
18440 Graystone Lane San Jose CA 94150
Owner: William Lu
1522 Husted Avenue
San Jose CA 95125

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Sections

Scale:



ATTACHMENT E COLOR AND MATERIAL SAMPLE BOARD

ATTACHMENT E

18440 Graystone Lane,	
San Jose, CA 95120	PLN22-010
Project Address	Project File Number
696-11-008	
APN	

Color/Materials Board*

Roof

Standing Seam Metal Roofing

Manufacture & Material Taylor Metal Products
Product Name, Number MS-150, Accent Ribs
Charcoal Gray, 12 LRV



Door & Window Frames, Railings

Aluminum Thermal Break Windows

Manufacture / Number Milgard Thermally Improved Aluminimum Color Name, LRV Dark Bronze Annodized, 2.5 LRV



Trim

1 x 6 Painted Cedar

Manufacture / Number Georgia Pacific Lumber

Color Name, LRV Benjamin Moore "Museum Piece" CSP-40

LRV = 41.47

Exterior Walls

Vertical T & G Siding

Manufacture / Number Tru Exterior Board and Batten

Color Name, LRV Benjamin Moore "Museum Piece" CSP-40

LRV = 41.47

Architectural Accents (Ex. Stone Veneer)

Vertical T & G Cedar Siding

Manufacture / Number Georgia Pacific Lumber

Color Name, LRV Behr Transparent Wood Finish

LRV = 11.45

Retaining Walls

Redwood Post and with 2x12 Lagging (Pressure Treated)

Manufacture / Number Georgia Pacific Lumber

Color Name, LRV Natural Finish

LRV = 9.50







^{*}This information shall also be provided on the elevation drawings in the plans.

ATTACHMENT F REVERSE VISIBILITY SITE ANALYSIS

