

PUBLIC WORK NOTES

1. ANY WORK IN THE CITY RIGHT-OF-WAY, SUCH AS STREET, SIDEWALK AREA, PUBLIC EASEMENTS, AND UTILITY EASEMENTS IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT PRIOR TO STARTING WORK.
2. ALL WORK WITH IN CITY RIGHT-OF-WAY SHALL COMPLY WITH CITY STANDARDS AND DETAILS.
3. THE PROJECT SHALL COMPLY WITH THE CITY'S NPDES PERMIT REQUIREMENTS TO PREVENT STORM WATER POLLUTION. ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT APWA-AGC STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE CALIFORNIA STORMWATER QUALITY ASSOCIATION'S STORMWATER BEST MANAGEMENT PRACTICE HANDBOOK, AND THE CITY OF BURLINGAME STORMWATER MANAGEMENT AND DISCHARGE CONTROL ORDINANCE (MUNICIPAL CODE CHAPTER 15.14). UPON COMPLETION OF THE WORK, ALL STORMWATER PROTECTION MEASURES SHALL BE ENTIRELY REMOVED AND THE RIGHT-OF-WAY SHALL BE LEFT IN AS PRESENTABLE A CONDITION AS EXISTED BEFORE WORK STARTED.
4. ALL DAMAGED AND DISPLACED CURB, GUTTER AND/OR SIDEWALK FRONTING SITE MUST BE REPLACED PRIOR TO FINAL OF BUILDING PERMIT.
5. CONSTRUCTION HOURS IN THE CITY PUBLIC RIGHT-OF-WAY ARE LIMITED TO WEEKDAYS AND NON-CITY HOLIDAYS BETWEEN 8:00A.M. AND 5:00P.M. THIS INCLUDES HAULING.
6. PER MUNICIPAL CODE SECTION 18.08.090, NO STORM WATER OR UNDERGROUND WATER DRAINING FORM ANY LOT, BUILDING, OR PAVED AREA SHALL BE ALLOWED TO DRAIN TO ADJACENT PROPERTIES NOR SHALL THIS WATER BE CONNECTED TO THE CITY'S SANITARY SEWER SYSTEM. REGARDLESS OF THE SLOPE OF THE SOURCE PROPERTY, SUCH WATER SHALL DRAIN TO EITHER ARTIFICIAL OR NATURAL STORM DRAINAGE FACILITIES BY GRAVITY OR PUMPING.
7. ALL WATER LINES CONNECTIONS TO CITY WATER MAINS FOR SERVICES OR FIRE LINE PROTECTION ARE TO BE INSTALLED PER CITY STANDARDS PROCEDURES AND MATERIAL SPECIFICATIONS. CONTACT THE CITY'S WATER DEPARTMENT FOR CONNECTION FEE. IF REQUIRED, ALL FIRE SERVICE AND SERVICE 2" AND OVER SHALL BE INSTALLED BY BUILDER. ALL UNDERGROUND FIRE SERVICE CONNECTIONS SHALL BE SUBMITTED AS SEPARATE UNDERGROUND FIRE SERVICE PERMIT FOR REVIEW AND APPROVAL.
8. NO STRUCTURE SHALL BE BUILT INTO CITY'S RIGHT-OF-WAY.
9. ALL DEBRIS/GARBAGE CONTAINERS LOCATION SHALL BE ON PROPERTY. NO WET GARBAGE FLUID SHALL ENTER PUBLIC RIGHT-OF-WAY OR THE STORM DRAIN SYSTEM.
10. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO NOTIFY UNDERGROUND SERVICE ALERT(USA) AT LEAST 48 HOURS BEFORE THE START OF ANY EXCAVATION WORK.

REQUIREMENT TO PREVENT, CONTROL AND REDUCE STORM WATER POLLUTANTS

A. AUTHORIZATION TO ADOPT AND IMPOSE BEST MANAGEMENT PRACTICES (BMP), THE CITY WILL ADOPT REQUIREMENTS IDENTIFYING BEST MANAGEMENT PRACTICES FOR ANY ACTIVITY, OPERATION OR FACILITY WHICH MAY CAUSE OR CONTRIBUTE TO POLLUTION OR CONTAMINATION OF STORM WATER, THE MS4 SYSTEM OR WATERS OF THE UNITED STATES AS A SEPARATE BMP GUIDANCE SERIES. WHERE BEST MANAGEMENT PRACTICE REQUIREMENTS ARE PROMULGATED BY THE CITY OR ANY FEDERAL, STATE OF CALIFORNIA OR REGIONAL AGENCY FOR ANY ACTIVITY, OPERATION OR FACILITY WHICH WOULD OTHERWISE CAUSE THE DISCHARGE OF POLLUTANTS TO THE MS4 SYSTEM OR WATER OF THE UNITED STATES, EVERY PERSON UNDERTAKING SUCH ACTIVITY OR OPERATION OR OWNING OR OPERATING SUCH FACILITY SHALL COMPLY WITH SUCH REQUIREMENTS.

B. NEW DEVELOPMENT AND REDEVELOPMENT, THE CITY MAY ADOPT REQUIREMENTS IDENTIFYING APPROPRIATE DESIGN STANDARDS AND BEST MANAGEMENT PRACTICES TO CONTROL THE VOLUME, RATE AND POTENTIAL POLLUTANT LOAD OF STORM WATER RUNOFF FROM NEW DEVELOPMENT AND REDEVELOPMENT PROJECTS AS MAY BE APPROPRIATE TO MINIMIZE THE GENERATION, TRANSPORT AND DISCHARGE OF POLLUTANTS. THE CITY SHALL INCORPORATE SUCH REQUIREMENTS IN ANY LAND USE ENTITLEMENT AND CONSTRUCTION OR BUILDING-RELATED PERMIT TO BE ISSUED RELATIVE TO SUCH DEVELOPMENT OR REDEVELOPMENT. THE OWNER AND DEVELOPER SHALL COMPLY WITH THE TERMS, PROVISIONS AND CONDITIONS OF SUCH LAND USE ENTITLEMENTS AND BUILDING PERMITS AS REQUIRED IN THIS CHAPTER.

C. RESPONSIBILITY TO IMPLEMENT BEST MANAGEMENT PRACTICES, NOTWITHSTANDING THE PRESENCE OR ABSENCE OF REQUIREMENTS PROMULGATED PURSUANT TO SUBSECTIONS A AND B, ANY PERSON ENGAGED IN ACTIVITIES OR OPERATIONS OR OWNING FACILITIES OR PROPERTY WHICH WILL OR MAY RESULT IN POLLUTANTS ENTERING STORM WATER, THE MS4 SYSTEM OR WATERS OF THE UNITED STATES SHALL IMPLEMENT BEST MANAGEMENT PRACTICES TO THE EXTENT THEY ARE TECHNOLOGICALLY ACHIEVABLE TO PREVENT AND REDUCE SUCH POLLUTANTS. THE OWNER OR OPERATOR OF A COMMERCIAL OR INDUSTRIAL ESTABLISHMENT SHALL PROVIDE REASONABLE PROTECTION FROM ACCIDENTAL DISCHARGE OF PROHIBITED MATERIALS OR OTHER WASTES INTO THE MS4 OR WATERCOURSES, FACILITIES TO PREVENT ACCIDENTAL DISCHARGE OF PROHIBITED MATERIALS OR OTHER WASTES SHALL BE PROVIDED AND MAINTAINED AT THE OWNER OR OPERATOR'S EXPENSE. BEST MANAGEMENT PRACTICES REQUIRED BY THE CITY CAN BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT BY REQUESTING THE BMP MANUAL APPROPRIATE TO A COMMERCIAL OR INDUSTRIAL ACTIVITY FROM THE BMP GUIDANCE SERIES.

D. MAINTENANCE AGREEMENTS, ALL STRUCTURAL AND NON-STRUCTURAL PERMANENT STORM WATER BMPS NOT IN THE CONTROL OF THE CITY SHALL HAVE AN ENFORCEABLE MAINTENANCE AGREEMENT TO ENSURE THE SYSTEM FUNCTIONS AS DESIGNED. THE AGREEMENT SHALL INCLUDE ANY AND ALL MAINTENANCE EASEMENTS REQUIRED TO ACCESS AND INSPECT THE STORM WATER BMPS AND TO PERFORM ROUTINE MAINTENANCE AS REQUIRED. SUCH AGREEMENTS SHALL SPECIFY THE PARTIES RESPONSIBLE FOR THE PROPER MAINTENANCE OF ALL STORM WATER BMPS. (ORD. 1253 § 1, 2004)

POLLUTANT CONTROL (CALGREEN)

- DUCT AND MECHANICAL SYSTEMS PROTECTION. AT THE TIME OF ROUGH INSTALLATION, DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENTS OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METALS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF WATER, DUST OR DEBRIS, WHICH MAY ENTER THE SYSTEM PER CGC 4.504.1.

• FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH SECTIONS 4.504.2.1 THROUGH 4.504.5.1.

• ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE STANDARDS LISTED IN CGC 4.504.2.1.

• PAINTS AND COATINGS. PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS PER CGC 4.504.2.2.

• AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC AND OTHER REQUIREMENTS PER CGC 4.504.2.3.

• VERIFICATION. DOCUMENTATION WILL BE PROVIDED, AT THE REQUEST OF THE BUILDING DIVISION, TO VERIFY COMPLIANCE WITH VOC FINISH MATERIALS PER CGC 4.504.2.4.

• CARPET SYSTEMS. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENT PER CGC 4.504.3. CARPET CUSHION AND ADHESIVE ALSO MUST COMPLY.

• COMPOSITE WOOD PRODUCTS. HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR AND EXTERIOR OF THE BUILDING SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSION STANDARDS PER CGC 4.504.5.

• DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY.

• PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS PER CALGREEN SECTION 4.406.1.

• COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION PER CALGREEN SECTION 4.504.1.

• PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS PER CALGREEN 4.504.2.2.

• MINIMUM 80% OF FLOOR AREA RECEIVING RESIDENT FLOORING SHALL COMPLY WITH CALGREEN SECTION 4.504.4.

• PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

• INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS PER CALGREEN SECTION 4.505.2.

• CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE PER CALGREEN SECTION 4.505.3.

GENERAL NOTES (APPLY TO ALL SHEETS)

- GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE PROJECT.

• CONTRACTOR SHALL THOROUGHLY REVIEW CONTRACT DOCUMENTS AND NOTIFY ARCHITECT OF ANY CONDITIONS NOT COVERED.

• CONTRACTOR SHALL FIELD-VERIFY SITE DIMENSIONS AND CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. NOTES AND DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.

• DURING CONSTRUCTION, CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SEEK CLARIFICATION IF ANY DISCREPANCIES ARE FOUND. CONTRACTORS SHALL BE RESPONSIBLE FOR REMEDIAL WORK IF RELATED WORK IS CONTINUED AFTER A DISCREPANCY IS IDENTIFIED.

• CONTRACTOR SHALL REMOVE TRASH AND DEBRIS STEMMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.

• CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT MATERIALS, LABOR, INSTALLATION, ETC., CONFORMS TO ALL APPLICABLE CODES AND REQUIREMENTS OF LOCAL GOVERNING AGENCIES.

• CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO WORK AREAS.

• CLEAN UP AND REPAIRS: AT THE COMPLETION OF CONSTRUCTION, REMOVE ALL EXCESS MATERIALS AND RESIDUES FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS.

• PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING SURFACES ALTERED BY CONSTRUCTION, ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.

• ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE WORK.

• INSTALLATION: ALL ITEMS SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURERS' RECOMMENDATION. ALL OPERATING MANUALS AND WARRANTIES SHALL BE GIVEN TO OWNER BY PROJECT COMPLETION.

• NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK. SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

• NEW/EXISTING FINISHES AND CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR FROM POTENTIAL DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. DAMAGE TO FINISHES OR CONSTRUCTION CAUSED IN THIS MANNER SHALL BE REPAIRED OR REPLACED (OWNER'S DECISION) BY THE CONTRACTOR WITH IDENTICAL MATERIAL AND/OR FINISHES.

• GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OR WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

• ALL DEMOLITION INDICATED ON PLANS SHALL BE CAREFULLY CUT AND REMOVED TO MINIMIZE DISRUPTION AND DAMAGE OF EXISTING SPACE.

• CONSTRUCTION MATERIALS STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.

• ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE. THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE IN THIS SCOPE THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.

• NEW WEATHER HEADS/OVERHEAD RACEWAYS SHALL BE A MINIMUM OF 1-1/4" GALVANIZED STEEL CONDUIT, OR 2" RIGID ALUMINUM CONDUIT. THERE SHALL BE A SYSTEM DISCONNECT LOCATION ON THE EXTERIOR - OR PROVIDE A SHUNT-TRIP. THIS WOULD INCLUDE ANY SHUTDOWN DEVICE FOR ALTERNATE SOURCES OF POWER SUCH AS SOLAR, BATTERY, GENERATORS, ETC

UTILITY NOTES

GAS

- PROVIDE PRICE TO UPGRADE EXISTING GAS METER TO ACCOMMODATE GAS DEMAND TO MEET THE PROPOSED REQUIREMENT

• PROVIDE ALT PRICE TO REMOVE EXISTING CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND GUTTER, UPGRADE EXISTING UTILITY LINE TO THE METER AND INSTALL CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND CONCRETE GUTTER AFTER UTILITY INSTALLATION

• PROVIDE NEW GAS LINE FROM GAS METER TO BBQ EXPANSION AND NEW ADU

• PROVIDE NEW CONCRETE WALKWAY OR LANDSCAPE TO MATCH EXISTING AFTER INSTALLATION OF UNDERGROUND GAS LINE

WATER

- PROVIDE PRICE TO UPGRADE EXISTING WATER METER TO ACCOMMODATE WATER DEMAND TO MEET THE PROPOSED REQUIREMENT

• PROVIDE ALT PRICE TO REMOVE EXISTING CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND GUTTER, UPGRADE EXISTING UTILITY LINE TO THE METER AND INSTALL CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND CONCRETE GUTTER AFTER UTILITY INSTALLATION

• PROVIDE NEW WATER LINE FROM GAS METER TO BBQ EXPANSION AREA, FUTURE SWIMMING POOL, OUTDOOR SHOWER AREA AND NEW ADU

• PROVIDE NEW CONCRETE WALKWAY OR LANDSCAPE TO MATCH EXISTING AFTER INSTALLATION OF UNDERGROUND WATER LINE

• PROVIDE NEW WATER LINE FROM THE PUBLIC WATER UTILITY COMPANY TO THE UPGRADED WATER METER FOR WATER DEMAND REQUIREMENT IF NEEDED

SANITARY LINE

- PROVIDE PRICE TO UPGRADE OR INSTALL NEW EXISTING SANITARY CLEANOUT (PER CITY STANDARD) TO ACCOMMODATE PROPOSED SANITARY FIXTURE UNIT DEMAND TO MEET THE PROPOSED REQUIREMENT

• PROVIDE ALT PRICE TO REMOVE EXISTING CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND GUTTER, UPGRADE EXISTING UTILITY LINE TO THE METER AND INSTALL CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND CONCRETE GUTTER AFTER UTILITY INSTALLATION

• PROVIDE NEW SANITARY LINE FROM BBQ EXPANSION AREA, FUTURE SWIMMING POOL, OUTDOOR SHOWER AREA AND NEW ADU TO SANITARY CLEANOUTS OUTSIDE THE MAIN HOUSE

• PROVIDE NEW CONCRETE WALKWAY OR LANDSCAPE TO MATCH EXISTING AFTER INSTALLATION OF UNDERGROUND SANITARY LINE

• PROVIDE POWER AND BOOSTER PUMP TO PUMP THE SEWER TO THE OUTDOOR SANITARY CLEANOUTS

• PROVIDE ALT PRICE TO UPGRADE EXISTING SANITARY LINE FROM THE OUTDOOR CLEANOUTS TO THE PUBLIC SANITARY LINE ON STREET IF NEEDED

• CONTRACTOR SHALL PROVIDE SURVEY TO CONFIRM THE SANITARY ELEVATION AT PUBLIC UTILITY, SANITARY CLEANOUTS, NEW ADU, BBQ EXPANSION AREA, OUTDOOR SHOWER AREA AND FUTURE SWIMMING POOL

ELECTRICITY

- PROVIDE UNDERGROUND CONDUIT AND UTILITIES FROM THE PUBLIC ELECTRICAL UTILITY AT NEAREST PUBLIC STREET TO THE NEW

• ELECTRICAL METER AND PANEL AS SHOWN ON PROPOSED FLOOR PLAN

• PROVIDE ALT PRICE TO REMOVE EXISTING CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND GUTTER, UPGRADE EXISTING UTILITY LINE TO THE METER AND INSTALL CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND CONCRETE GUTTER AFTER UTILITY INSTALLATION

STORM DRAIN LINE

- CONTRACTOR SHALL PROVIDE SURVEY TO CONFIRM THE TOPOGRAPHIC ELEVATION AT ADU AND THE DAYLIGHT LEADER ON

• STREET CONCRETE GUTTER

• PROVIDE ALT PRICE TO REMOVE EXISTING CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND GUTTER, UPGRADE EXISTING UTILITY LINE TO THE METER AND INSTALL CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND CONCRETE GUTTER AFTER NEW 3" DIAMETER STORM DRAIN INSTALLATION FROM DOWNSPOUTS OF THE ADU

• PROVIDE POWER AND BOOSTER PUMP TO PUMP THE STORM WATER FROM ADU THRU UNDERGROUND STORM WATER LINE TO CONCRETE GUTTER

• FIRE SPRINKLER

• PROVIDE PRICE TO UPGRADE EXISTING WATER METER TO ACCOMMODATE WATER DEMAND TO MEET THE PROPOSED FIRE SPRINKLER REQUIREMENT OF THE ADU

• PROVIDE ALTERNATE PRICE TO PROVIDE NEW WATER METER TO ACCOMMODATE WATER DEMAND TO MEET THE PROPOSED FIRE SPRINKLER REQUIREMENT OF THE ADU

• PROVIDE ALT PRICE TO REMOVE EXISTING CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND GUTTER, UPGRADE EXISTING UTILITY LINE TO THE METER AND INSTALL CONCRETE WALKWAY, AC PAVING ON STREET, CONCRETE PUBLIC WALKWAY AND CONCRETE GUTTER AFTER UTILITY INSTALLATION

• PROVIDE NEW WATER LINE FROM THE PUBLIC WATER UTILITY COMPANY TO THE EXISTING OR NEW DEDICATED WATER METER FOR THE PROPOSED FIRE SPRINKLER SYSTEM

• PROVIDE NEW CONCRETE WALKWAY OR LANDSCAPE TO MATCH EXISTING AFTER INSTALLATION OF UNDERGROUND WATER LINE

VICINITY MAP



SITE AND BUILDING ANALYSIS

APN: 57511009
ZONING: HS-SR

OCCUPANCY: R-3/ U (1-HR FIRE RATED OCCUPANCY - NO CHANGE)
CONSTRUCTION TYPE: V-B

SETBACK CLARIFICATION:

FRONT SETBACK : 30'-0"
SIDE SETBACK: 20'-0"
REAR SETBACK: 25'-0"
STREET SIDE SETBACK: 20'-0"

NUMBER OF PROPOSED STORY: 2 STORY

LOT AREA: 20.67 ACRES

PROPOSED BUILDING AREA: 8,991 SF
PROPOSED LANDSCAPE AREA: SF = %
PROPOSED HARDSCAPE AREA : SF
PROPOSED GARAGE: SF

LIVING AREA:

PROPOSED 1ST FLOOR: 3,893 SF
PROPOSED 2ND FLOOR: 5,098 SF

TOTAL: 8,991 SF

PROPOSED REAR PORCH AT FIRST FLOOR : 1,680 SF
PROPOSED SECOND FLOOR PATIO A: 633 SF
PROPOSED SECOND FLOOR PATIO B: 758 SF
PROPOSED SECOND FLOOR PATIO C: 290 SF
PROPOSED SECOND FLOOR PATIO D: 145 SF

SCOPE OF WORK

- NEW GROUND UP RESIDENTIAL BUILDING
- NEW GROUND UP ADU

ABBREVIATIONS

ANCHOR BOLT ASPHALTIC CONCRETE AIR CONDITIONING ACOUSTICAL ACOUSTICAL TILE ADJUSTABLE/ADJACENT ABOVE FINISH FLOOR EXISTING EACH ELECTRICAL ELEVATOR ANODIZED BOARD BUILDING BLOCK CEILING BOTTOM OF CABINET CATCH BASIN CEMENT CERAMIC CAST IRON CONSTRUCTION JOINT CENTERLINE CEILING CLEAR COLUMN COMPOSITION CONCRETE CONNECTION CONTINUOUS COPING CERAMIC TILE	DIAMETER DIMENSION DOOR DOWNSPOUT DRAWING EXISTING EACH ELECTRICAL ELEVATOR EQUAL FORCED AIR UNIT FLOOR DRAIN FIRE EXTINGUISHER FINISH FLOOR FOOTING GAUGE GALVANIZE (D) GENERAL CONTRACTOR GROUND FAULT INTERRUPTER GLASS FIBER REINFORCED CONCRETE GALVANIZED IRON GATE VALVE GYPSUM HOSE BIBB HOLLOW METAL HARDWARE HORIZONTAL HORIZONTAL HEIGHT HOT WATER HEATING VENTILATING INSULATION JANITOR JANITORY BOX LAVATORY	MATERIAL MAXIMUM MACHINE BOLT MECHANICAL MINIMUM MOUNTING NEW NOT IN CONTRACT NOT TO SCALE OVER ON CENTER OUTSIDE DIAMETER OVERFLOW ROOF DRAIN OFFICE OPENING OPPOSITE PLATE PLASTIC LAMINATE PLASTER GROUND FAULT INTERRUPTER RISER RELOCATE(D) REINFORCED CONCRETE PIPE ROOF DRAIN REDWOOD RECESSED REINFORCED ROUND HEAD MACHINE SCREW ROOM ROUGH OPENING RAINWATER LEADER SOLID CORE STORM DRAIN SECTION SIMILAR SANITARY NAPKIN DISPENSER SPECIFICATION	SQUARE SANITARY SEWER STAINLESS STEEL STANDARD STEEL STORAGE STRUCTURAL SUSPENDED TREAD TOP OF CURB/CONCRETE TELEPHONE TONGUE AND GROOVE THICKNESS TOP OF TOP OF SLAB TYPICAL TITLE 24 UNLESS OTHERWISE NOTED VAN ACCESSIBLE VITREOUS CLAY PIPE VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD WITH WATER CLOSET WOOD WATER HEATER WEATHERSTRIPPING WELDED WIRE FABRIC
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NEW SITE IMPROVEMENT

21631 HICKS ROAD, LOS GATOS, CA

PROJECT DATA

JURISDICTION
CITY OF LOS GATOS

CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ENERGY CODE

PROJECT DIRECTORY

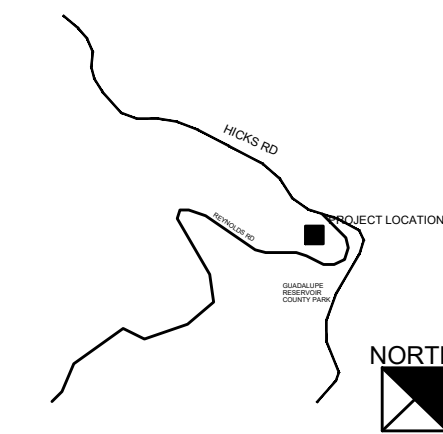
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SHEET INDEX

ARCHITECTURAL DRAWING
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A0.02 RENDERINGS
A1.00 SITE PLAN
A1.01 SITE PLAN WITH TOPOGRAPHIC SURVEY
A2.00 PROPOSED FLOOR PLAN
A2.01 PROPOSED ROOF PLAN
A3.00 PROPOSED ELEVATION
A3.01 PROPOSED ELEVATION
A3.02 MATERIAL BOARD
A6.00 SECTION: BUILDING A
A6.01 SECTION: BUILDING B

VICINITY MAP



Date 2021.11.29
Project No. 2021.117
Sheet Title

TITLE SHEET

Sheet No.

A001
☐ Released for Construction
☐ Not Released for Construction



Print Record	

NEW RESIDENTIAL BUILDING

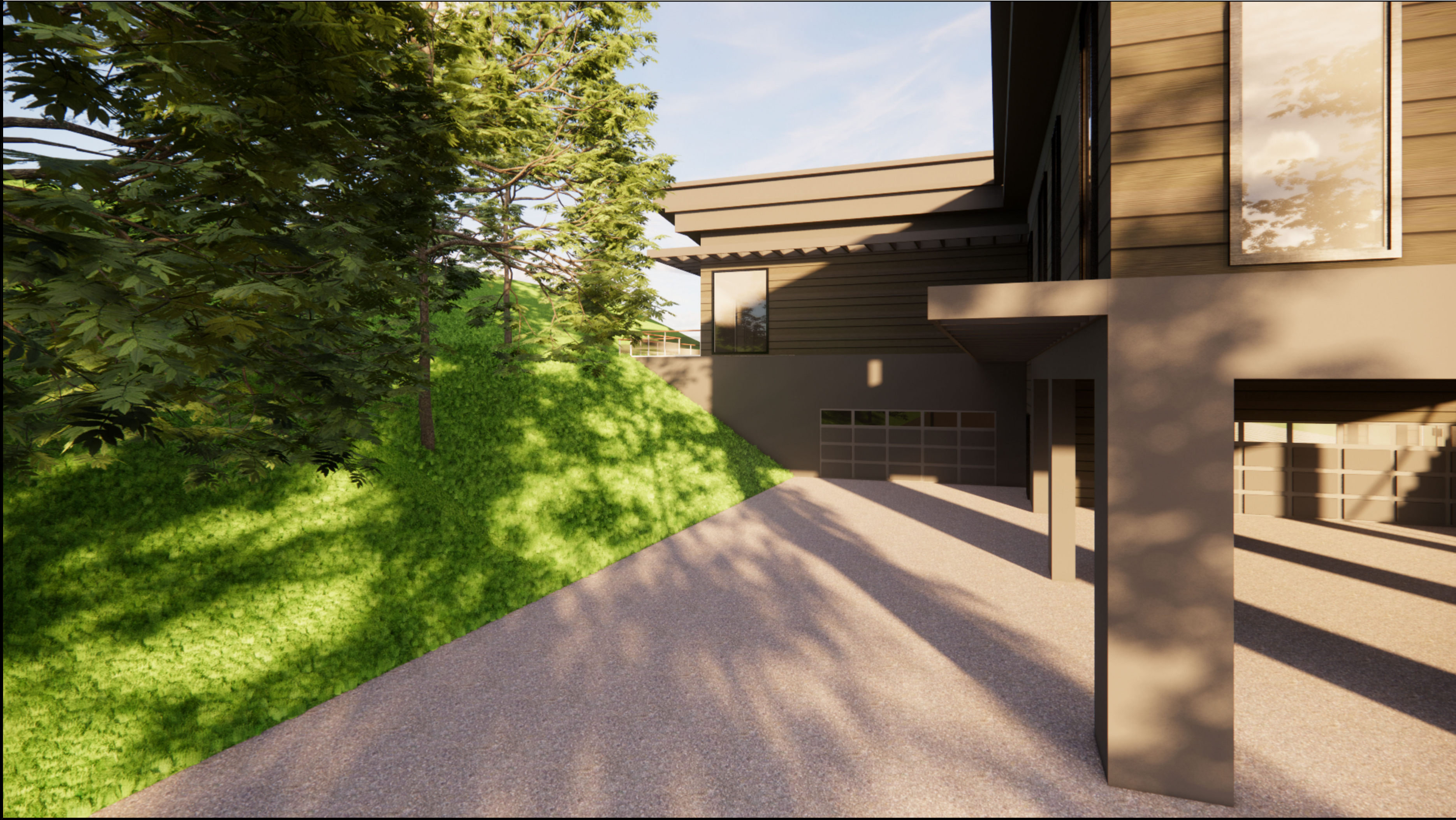
21631 HICKS RD
LOS GATOS, CA 95032

PROPERTY OWNER

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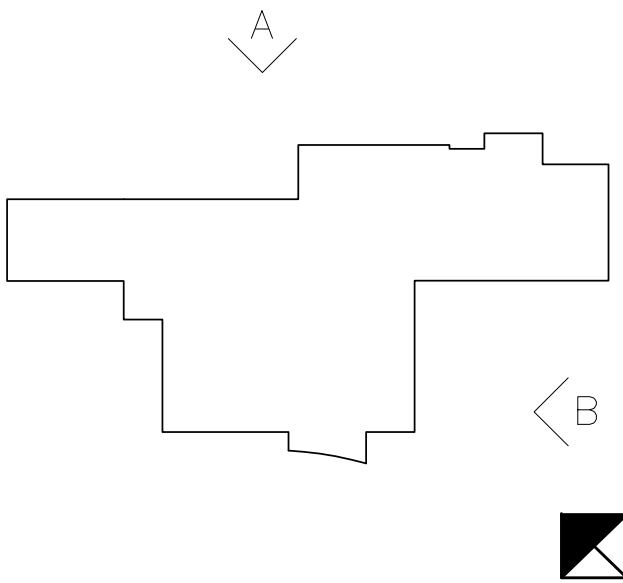


A



B

KEYPLAN





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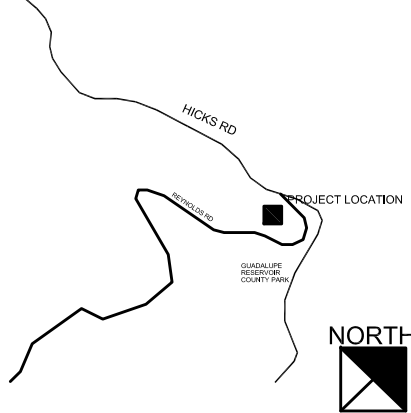
Print Record

**NEW
RESIDENTIAL
BUILDING**
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VICINITY MAP



NORTH

Date
2021.11.29

Project No.
2021.117

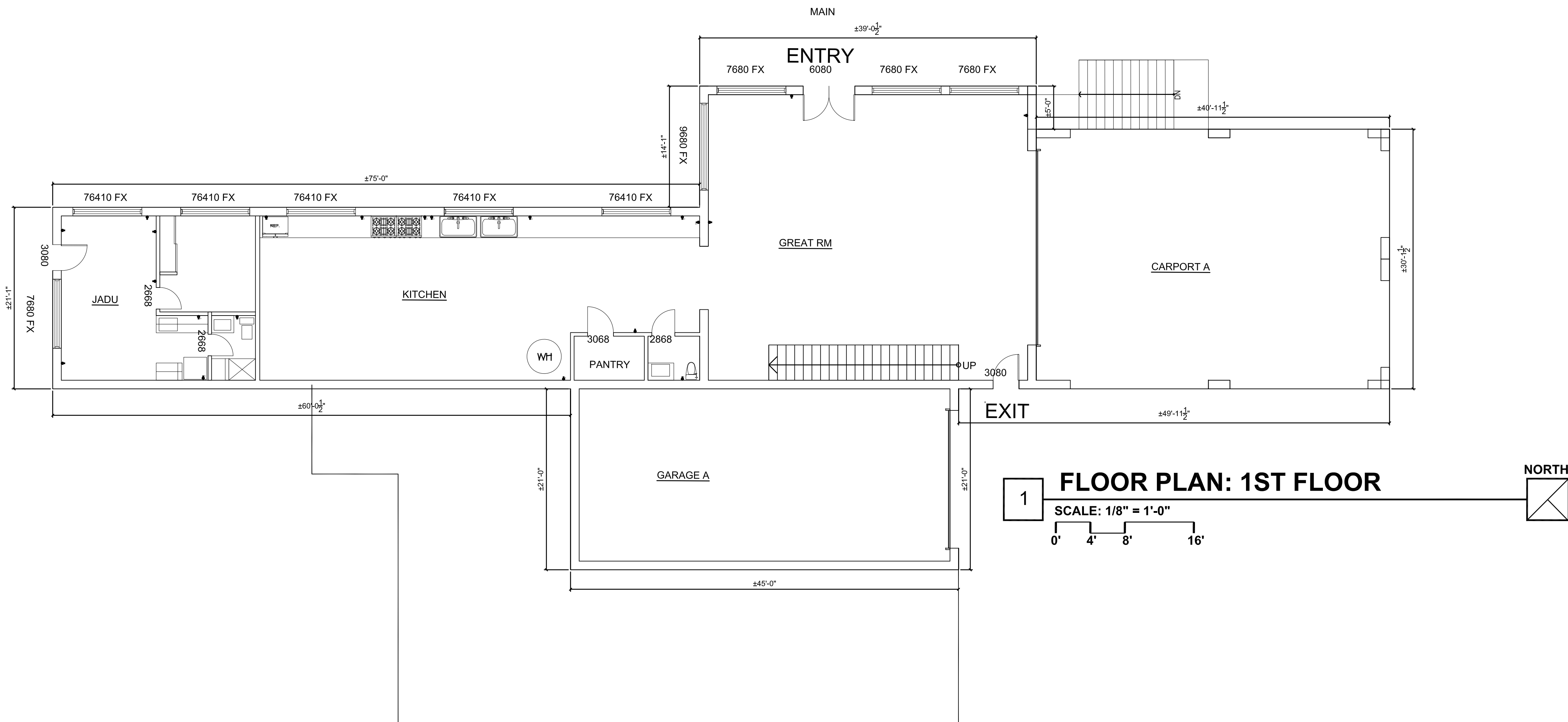
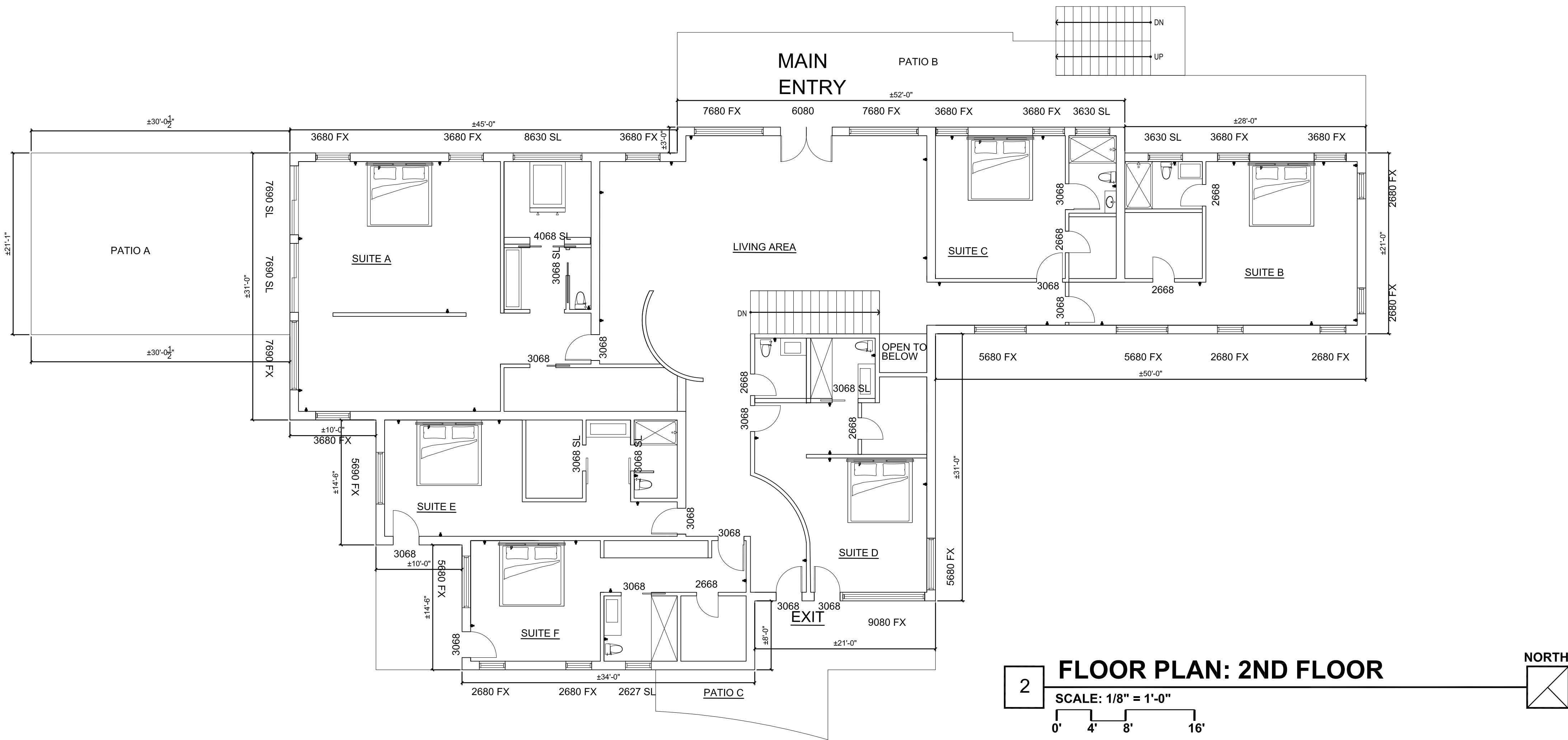
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RENDERINGS

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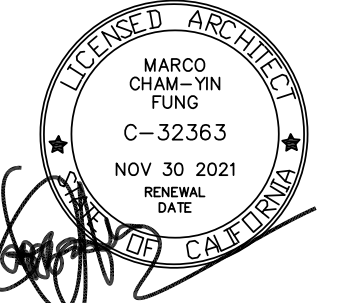
A002

☐ Released for Construction
☐ Not Released for Construction



LEGEND

- EXISTING EXTERIOR FIRE RATED
- NEW WALL
- NEW DOOR
- AFCI PROTECTED DUPLEX RECEPTACLE +15" TO < (U.O.N.)
- DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER
- NEW 50 GAL ELECTRICAL HOT WATER HEATER



80 Eureka Square, Suite 115,
Pacifica, CA 94044
t: 650.270.1754
e-mail: mfung@archistudioarchitecture.com

Print Record

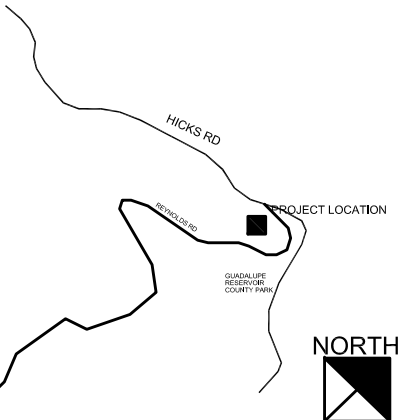
NEW RESIDENTIAL BUILDING

21631 HICKS RD
LDS GATOS, CA 95032

PROPERTY OWNER

ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
ATTN: MARCO FUNG
E: mfung@archistudioarchitecture.com
T: 650.270.1754

VICINITY MAP



Date 2021.11.29 Project No. 2021.117

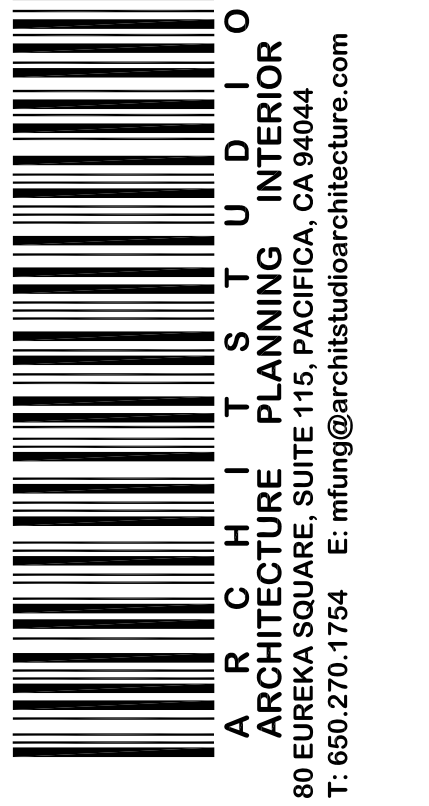
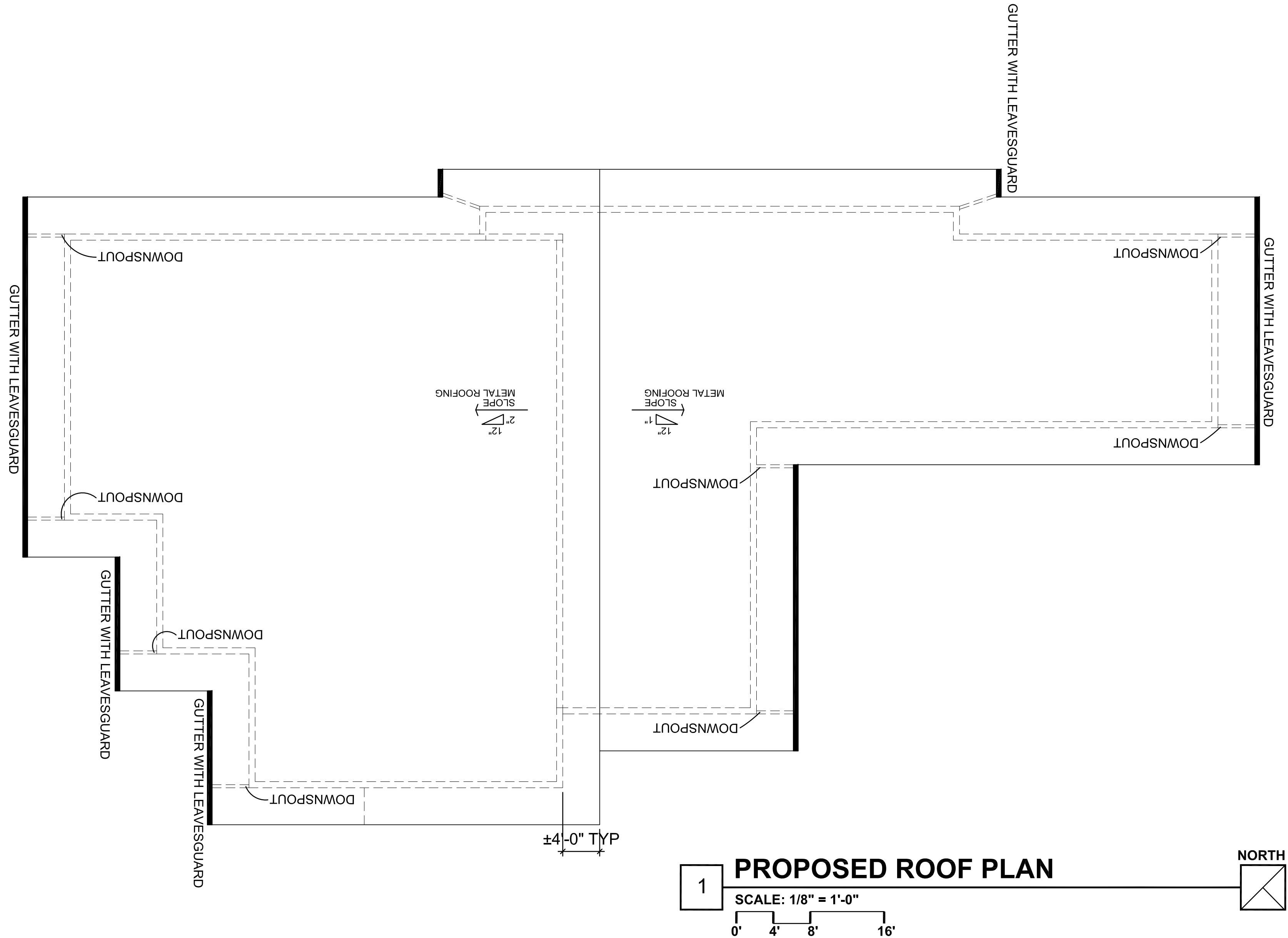
Sheet Title

FLOOR PLAN

Sheet No.

A200

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- Not Released for Construction

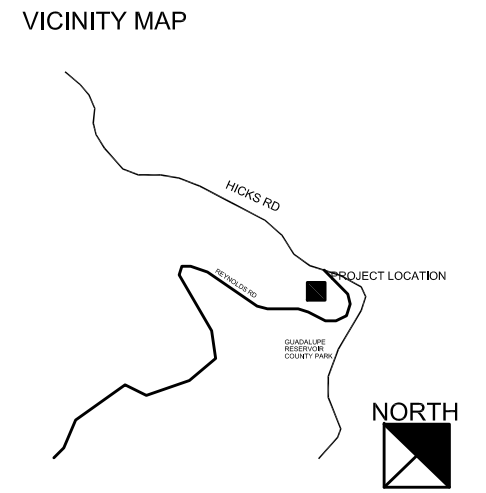


Print Record	

**NEW
RESIDENTIAL
BUILDING**
21631 HICKS RD
LOS GATOS, CA 95032

PROPERTY OWNER

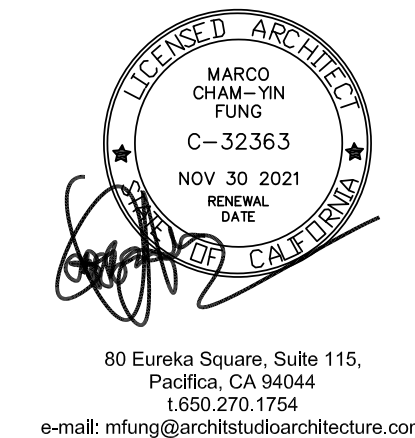
ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
ATTN: MARCO FUNG
E: mfung@architstudioarchitecture.com
T: 650.270.1754



Date: 2021.11.29 Project No.: 2021.117
Sheet Title: ROOF PLAN

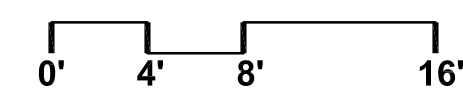
Sheet No.: A201

☐ Released for Construction
☐ Not Released for Construction



1 FRONT ELEVATION

SCALE: 1/8" = 1'-0"

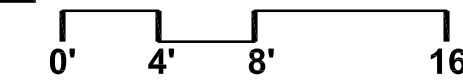


21631 HICKS RD
LOS GATOS, CA 95032

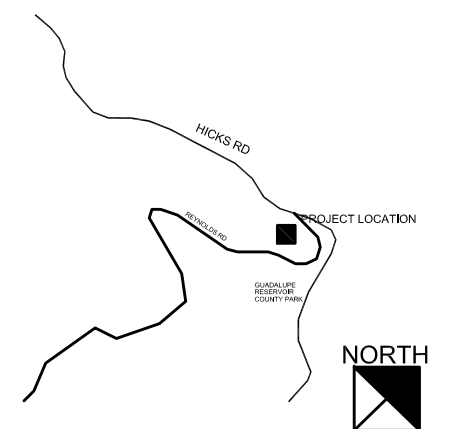
PROPERTY OWNER

ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
ATTN: MARCO FUNG
E: mfung@architstudioarchitecture.com
T: 650.270.1754

2 REAR ELE
SCALE: 1/8" = 1'-0"



VICINITY MAP

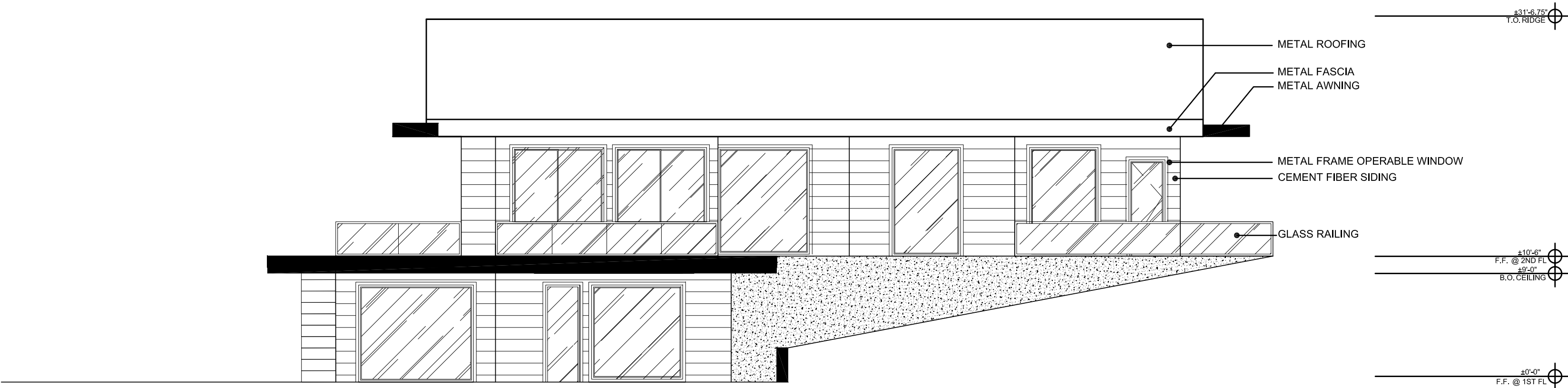


Date	Project No.
2021.11.29	2021.117
Sheet Title	

Sheet
No.

A300

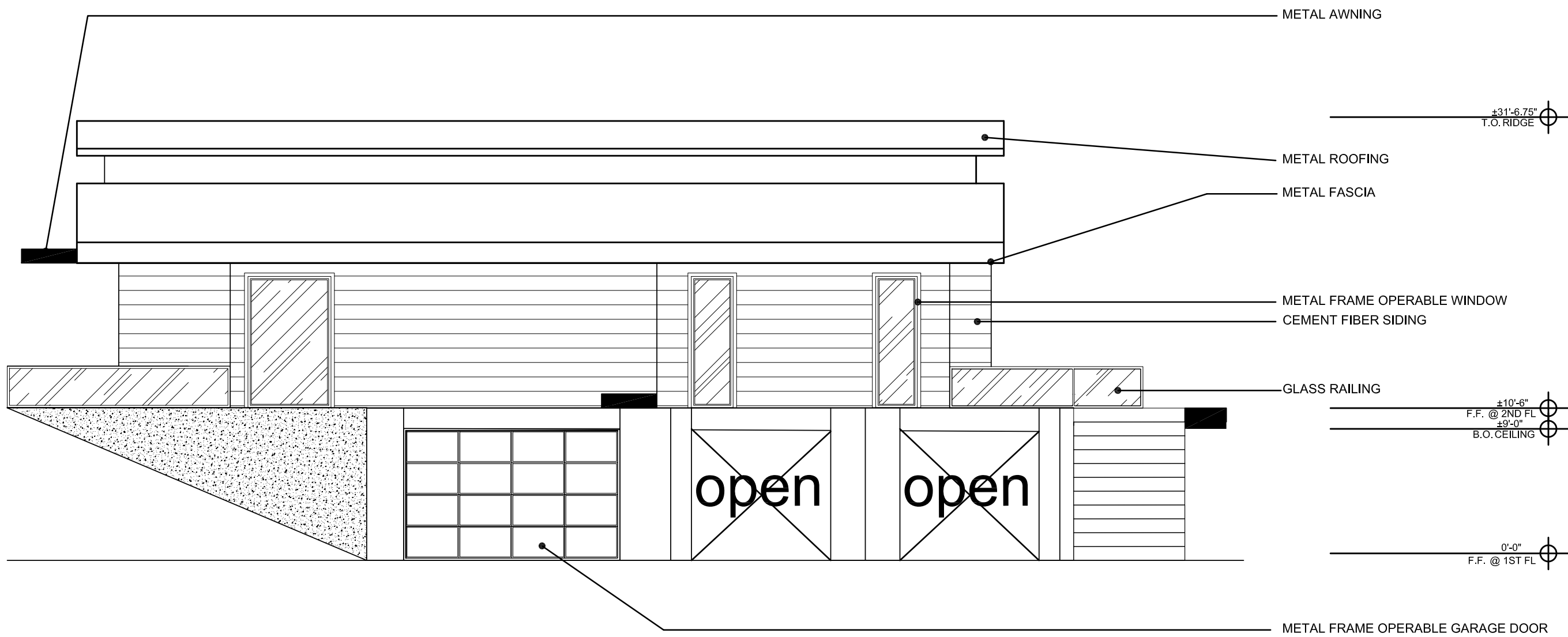
☐ Released for Construction
☐ Not Released for Construction



2 PROPOSED SIDE ELEVATION

SCALE: 1/8" = 1'-0"

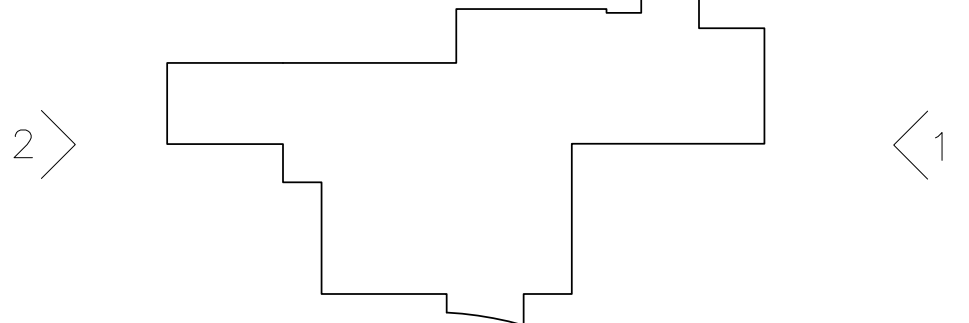
0' 4' 8' 16'



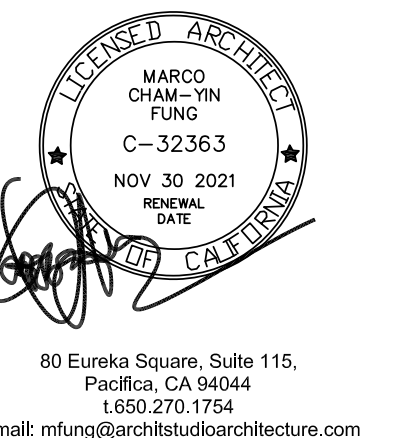
1 PROPOSED SIDE ELEVATION

SCALE: 1/8" = 1'-0"

0' 4' 8' 16'



KEY PLAN

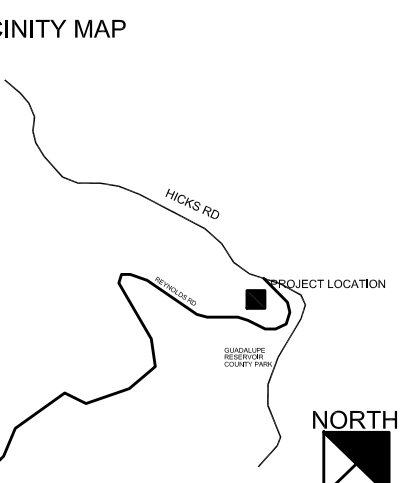


Print Record	

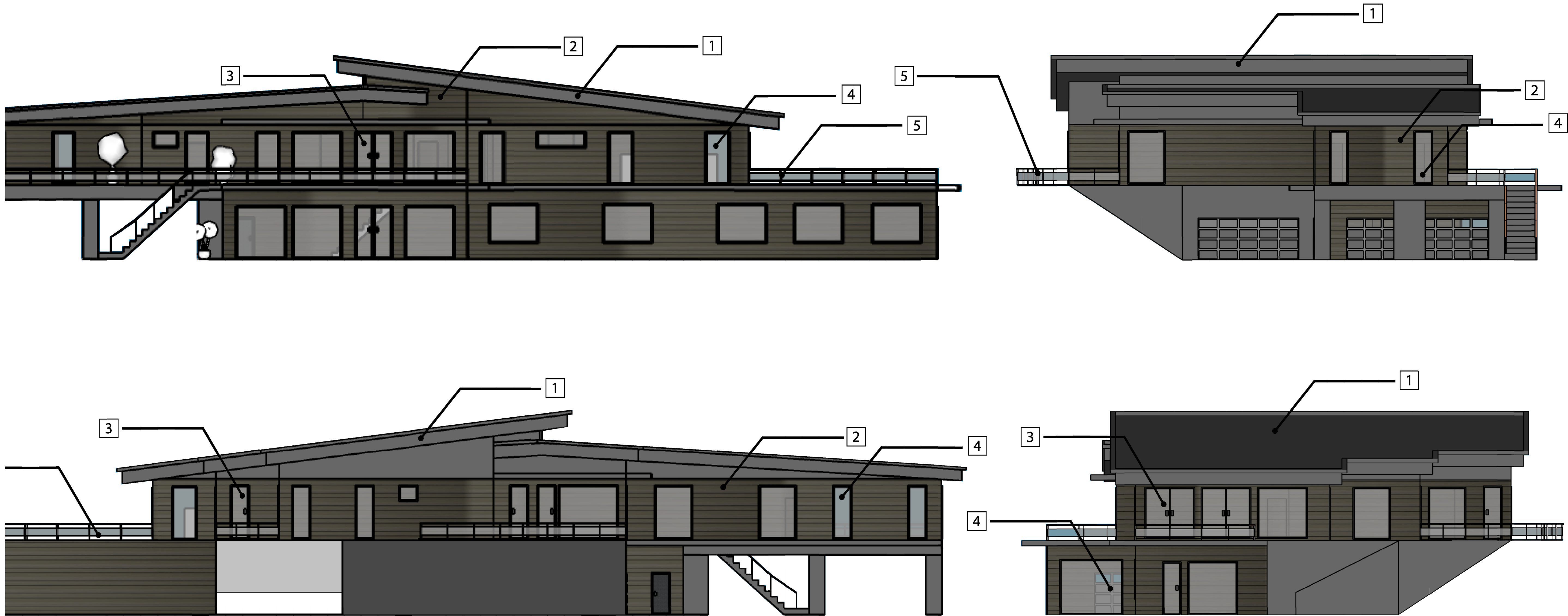
NEW RESIDENTIAL BUILDING
21631 HICKS RD
LOS GATOS, CA 95032

PROPERTY OWNER

ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
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E: mfung@architstudioarchitecture.com
T: 650.270.1754



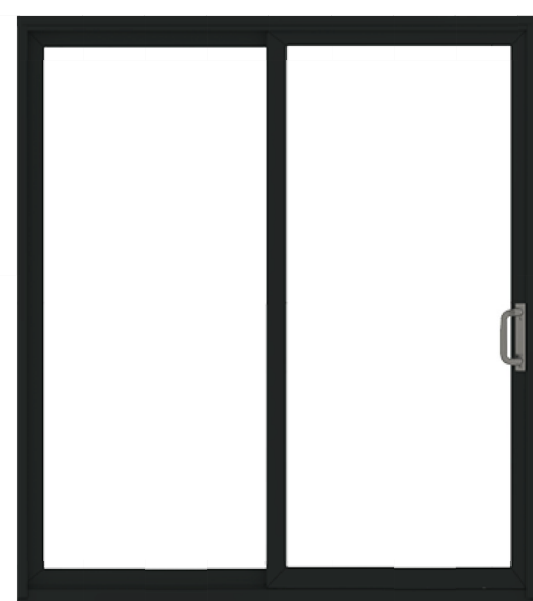
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2021.11.29	2021.117
Sheet Title	
PROPOSED ELEVATION	
Sheet No.	
A301	
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1 407 CARBON
KELLY MOORE



2 407 CARBON
KELLY MOORE



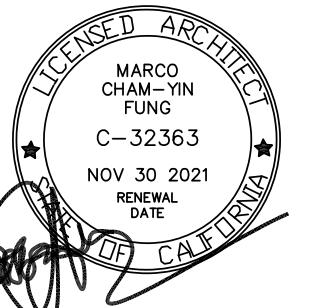
3 EXTERIOR DOOR
BY ANDERSEN



4 EXTERIOR WINDOW
BY ANDERSEN



5 EXTERIOR DECK WITH RAILING



80 Eureka Square, Suite 115,
Pacifica, CA 94044
e-mail: mfung@architstudioarchitecture.com

Print Record

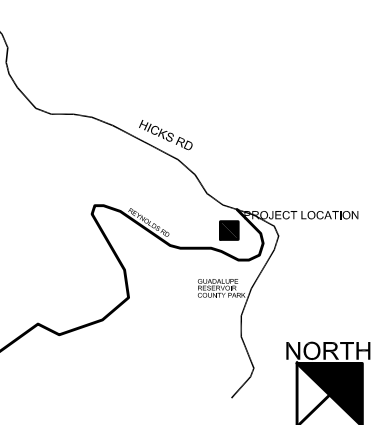
NEW RESIDENTIAL BUILDING

21631 HICKS RD
LDS GATDS, CA 95032

PROPERTY OWNER

ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
ATTN: MARCO FUNG
E: mfung@architstudioarchitecture.com
T: 650.270.1754

VICINITY MAP



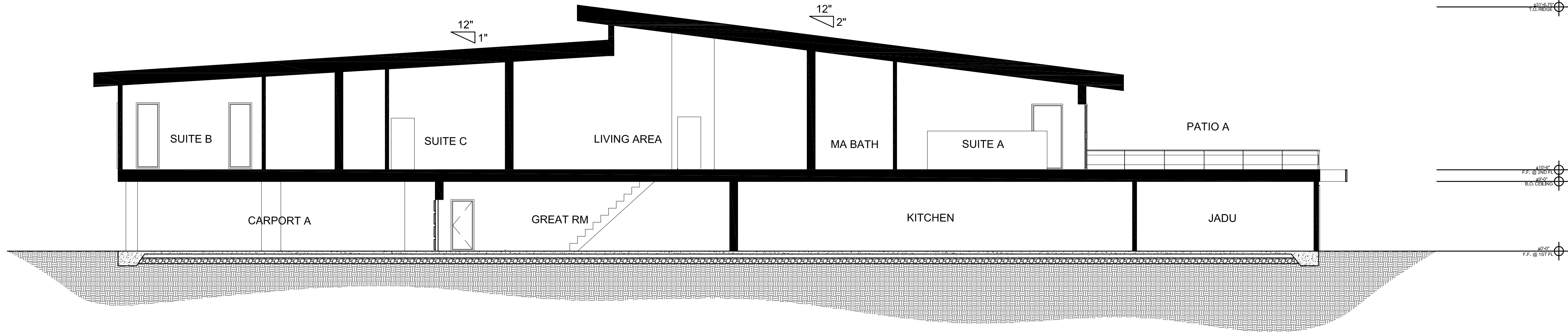
Date
2021.11.29
Project No.
2021.117
Sheet Title

MATERIAL BOARD

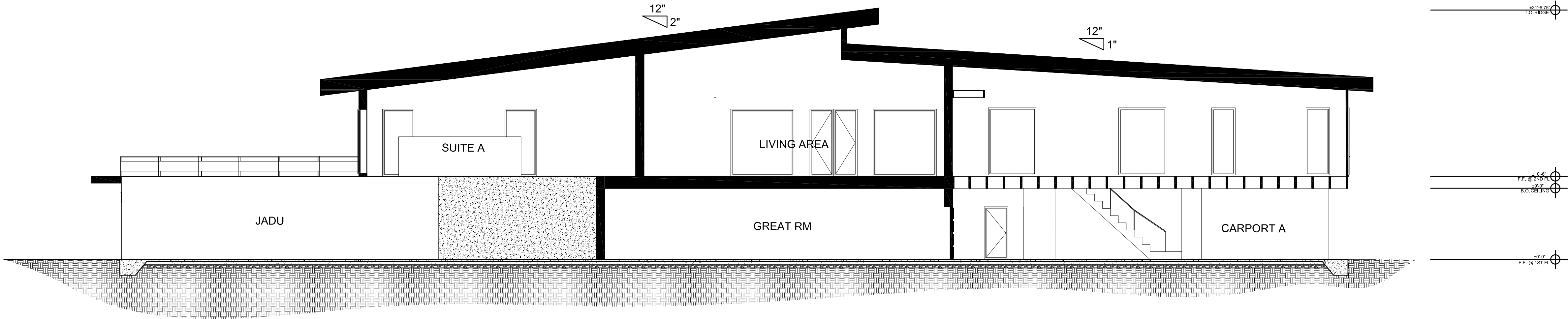
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No.

A302

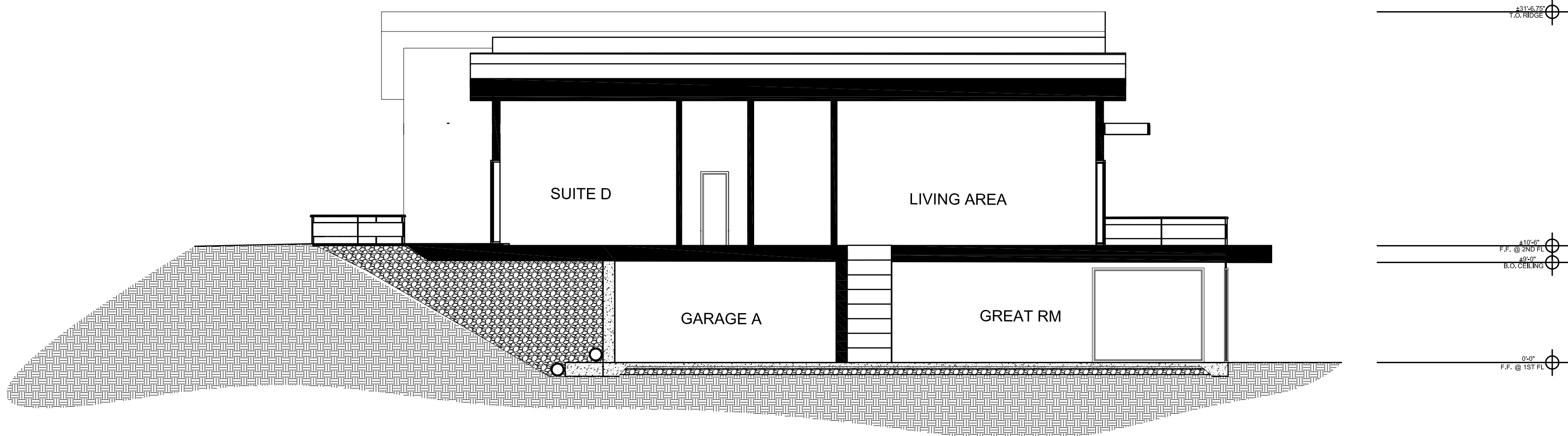
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☐ Not Released for Construction



C



B

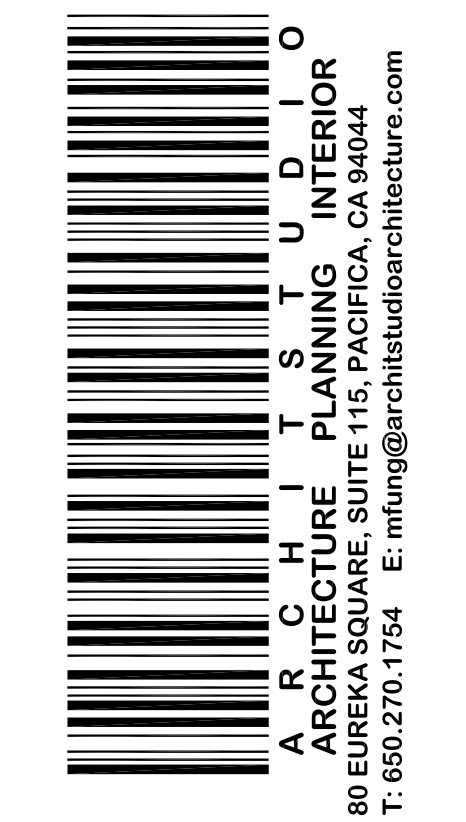
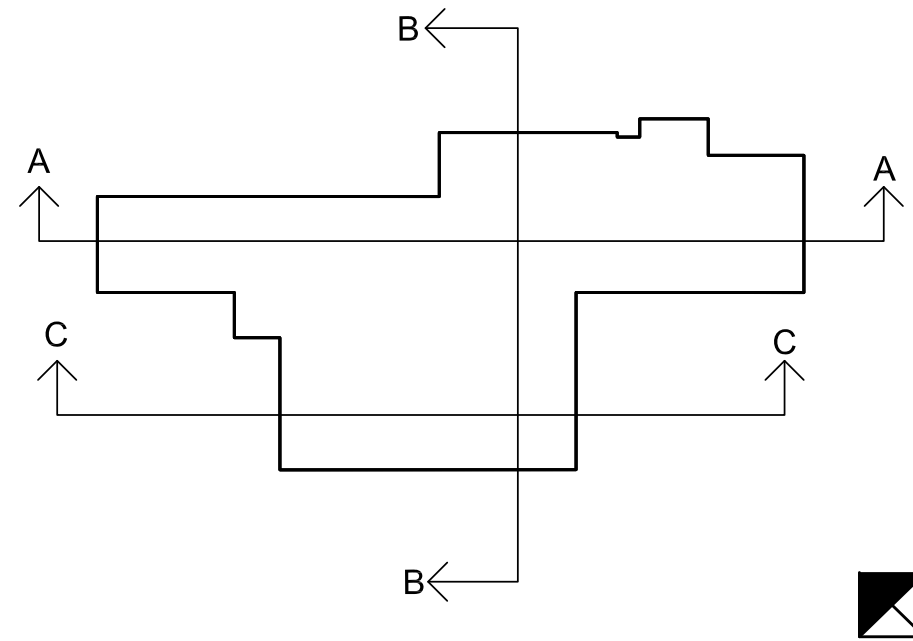


A

1 SECTION
SCALE: 1/8" = 1'-0"

0' 4' 8' 16'

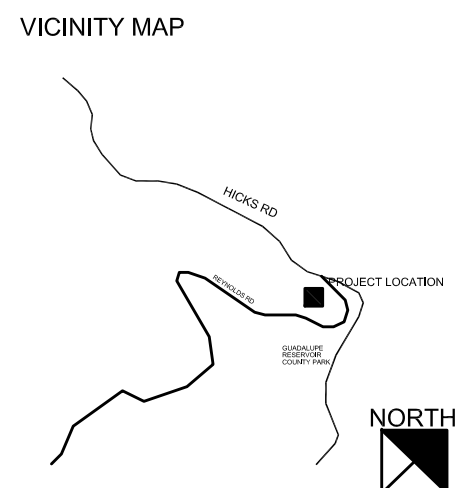
KEY PLAN



Print Record	

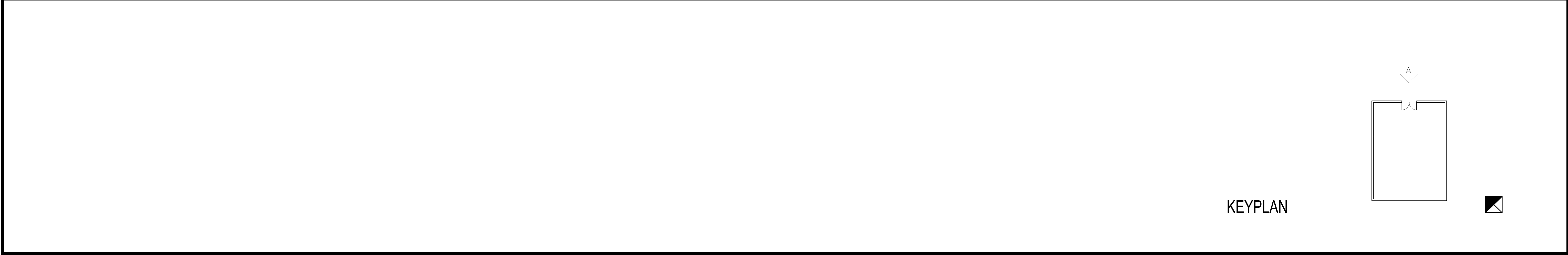
**NEW
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BUILDING**
21631 HICKS RD
LOS GATOS, CA 95032
PROPERTY OWNER

ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
ATTN: MARCO FUNG
E: mfung@architstudioarchitecture.com
T: 650.270.1754



Date: 2021.11.29
Project No.: 2021.117
Sheet Title

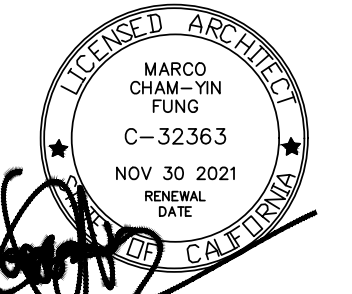
SECTION
Sheet No.
A600
☐ Released for Construction
☐ Not Released for Construction



KEYPLAN



ARCHITECT STUDIO
ARCHITECTURE PLANNING INTERIOR
80 EUREKA SQUARE SUITE 115, PACIFICA, CA 94044
T: 650.270.1754 E: mfung@architstudioarchitecture.com



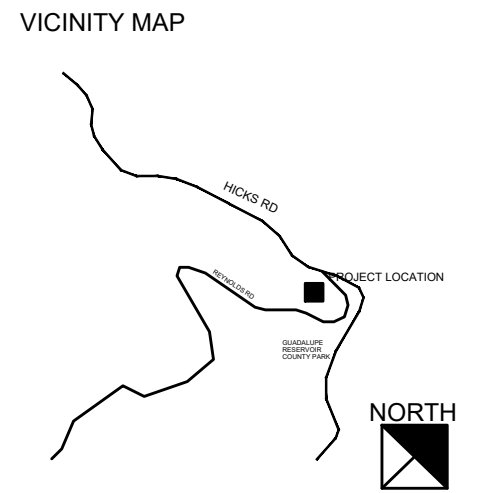
80 Eureka Square, Suite 115,
Pacifica, CA 94044
t: 650.270.1754
e-mail: mfung@architstudioarchitecture.com

Print Record	

**NEW
RESIDENTIAL
BUILDING**
21631 HICKS RD
LOS GATOS, CA 95032

PROPERTY OWNER

ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
ATTN: MARCO FUNG
E: mfung@architstudioarchitecture.com
T: 650.270.1754



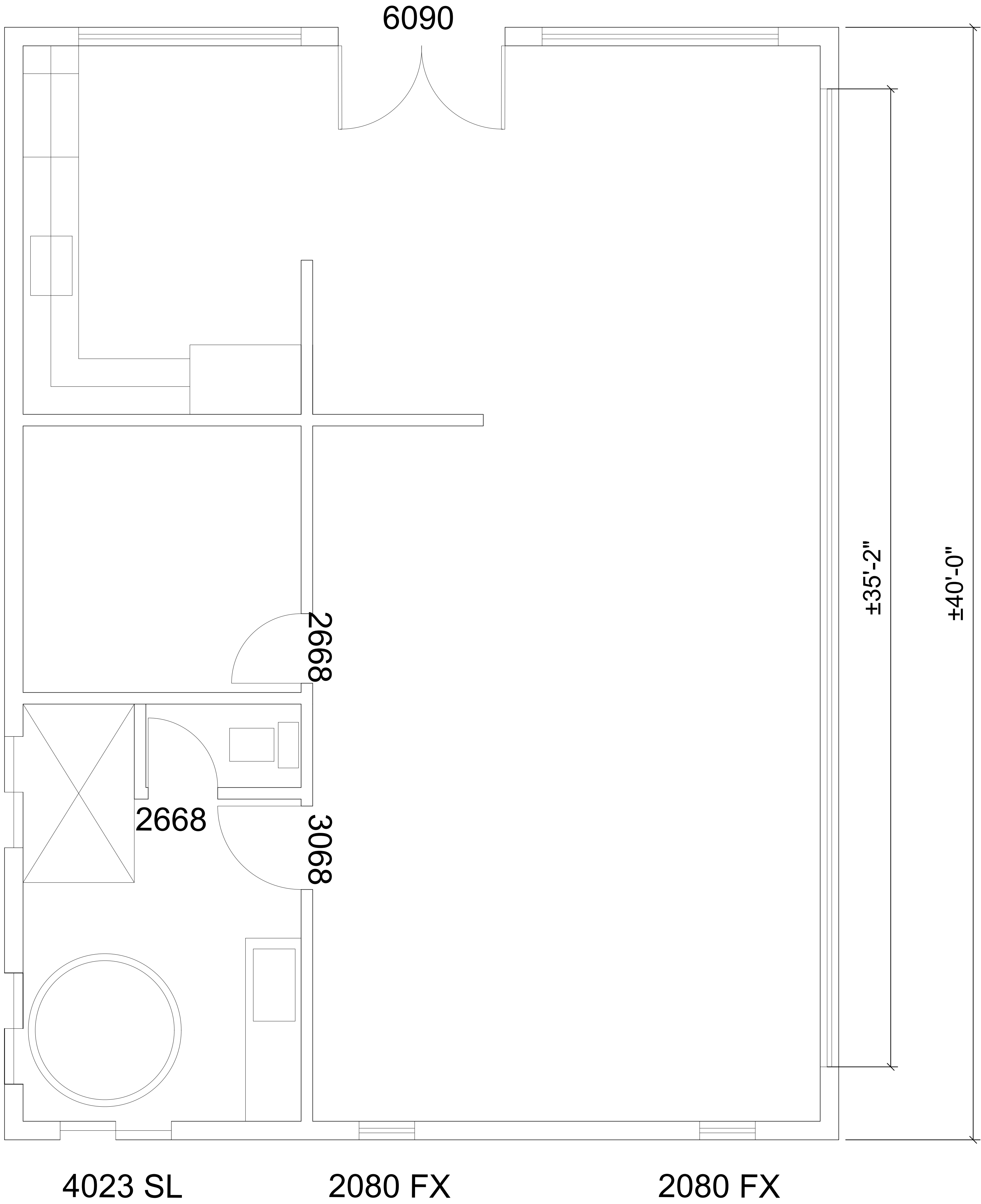
Date	Project No.
2021.11.29	2021.117
Sheet Title	

ADU RENDER

Sheet No.

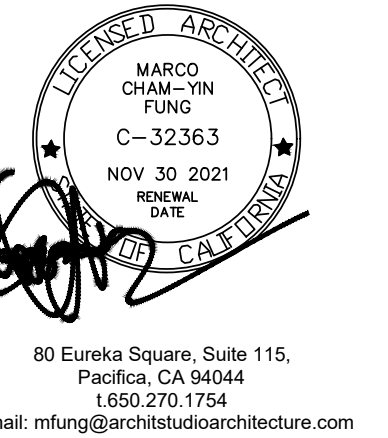
A700

☐ Released for Construction
☐ Not Released for Construction



LEGEND

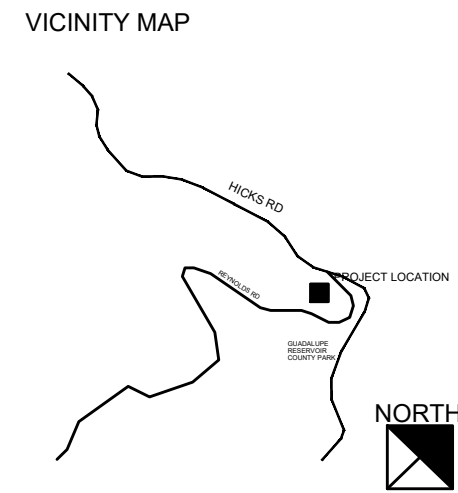
- EXISTING EXTERIOR FIRE RATED
- NEW WALL
- NEW DOOR
- AFCI PROTECTED DUPLEX RECEPTACLE +15" TO < (U.O.N.)
- DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER
- NEW 50 GAL ELECTRICAL HOT WATER HEATER



Print Record	

**NEW
RESIDENTIAL
BUILDING**
21631 HICKS RD
LOS GATOS, CA 95032
PROPERTY OWNER

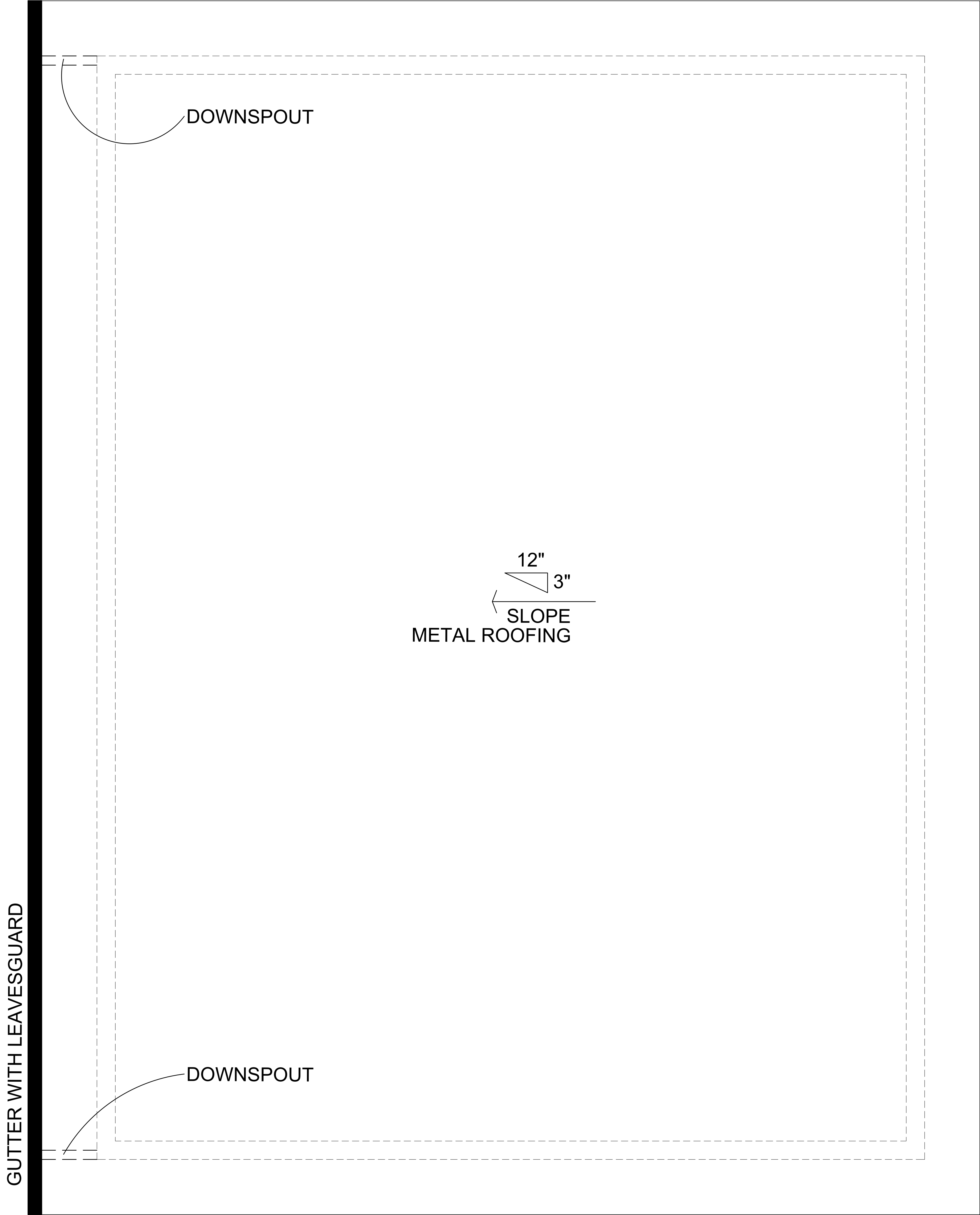
ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
ATTN: MARCO FUNG
E: mfung@architstudioarchitecture.com
T: 650.270.1754



Date	Project No.
2021.11.29	2021.117
Sheet Title	

ADU FLOOR PLAN
Sheet No.

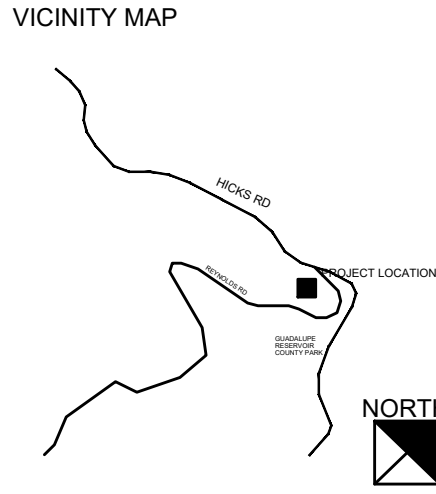
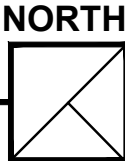
A701
☐ Released for Construction
☐ Not Released for Construction



1

ADU ROOF PLAN

SCALE: 1/2" = 1'-0"



Date: 2021.11.29 Project No.: 2021.117
Sheet Title

ADU ROOF PLAN

Sheet No.

A702

☐ Released for Construction
☐ Not Released for Construction

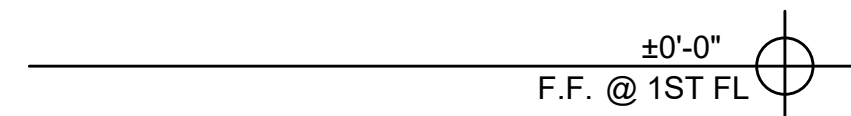
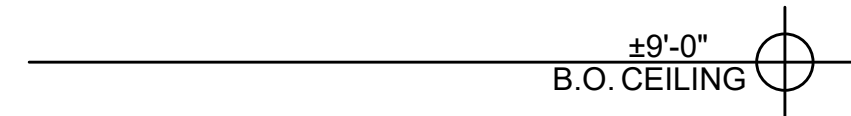
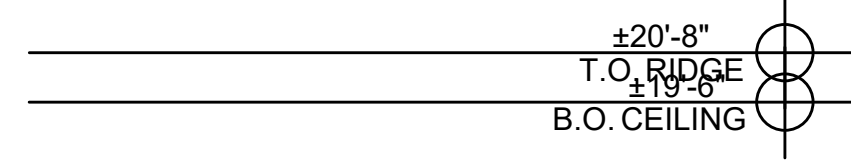
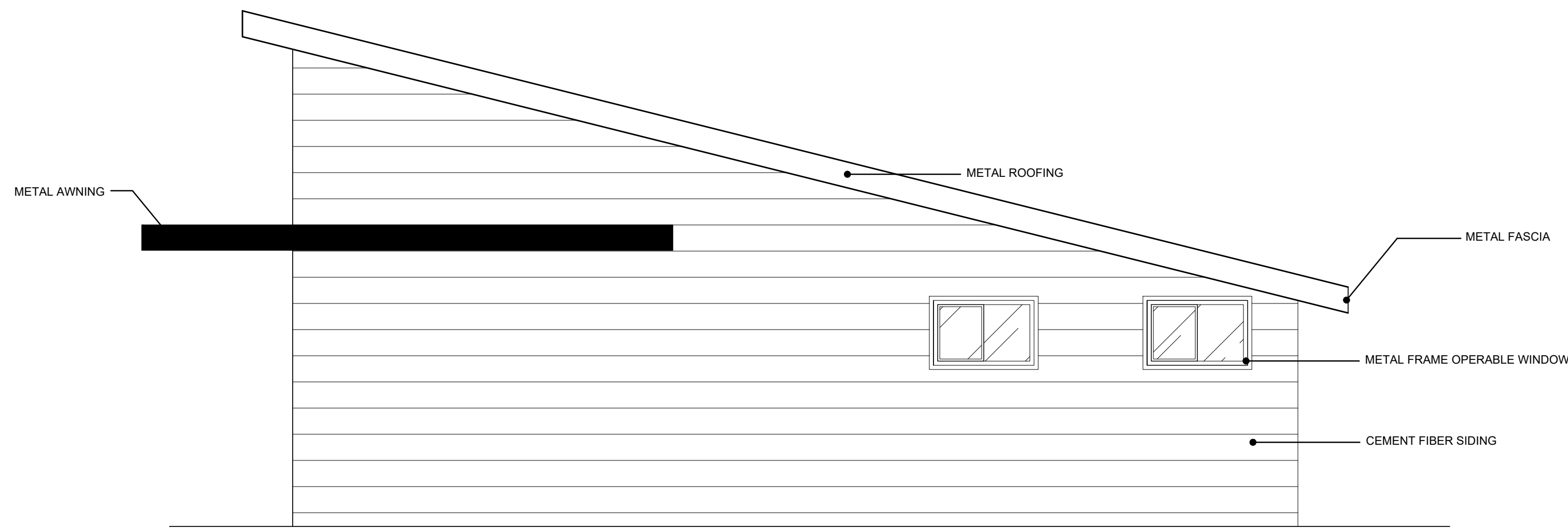


80 Eureka Square, Suite 115,
Pacifica, CA 94044
e-mail: mfung@architstudioarchitecture.com

Print Record	

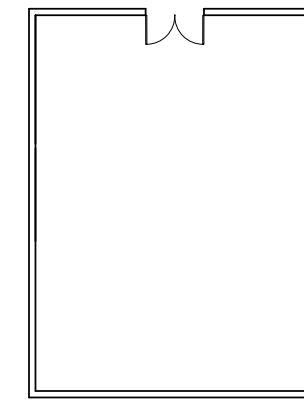
**NEW
RESIDENTIAL
BUILDING**
21631 HICKS RD
LOS GATOS, CA 95032
PROPERTY OWNER

ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
ATTN: MARCO FUNG
E: mfung@architstudioarchitecture.com
T: 650.270.1754



KEYPLAN

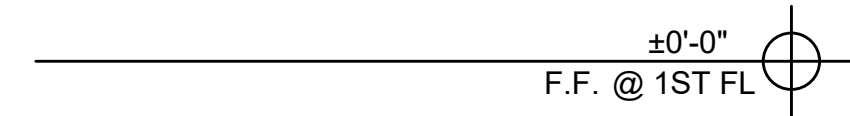
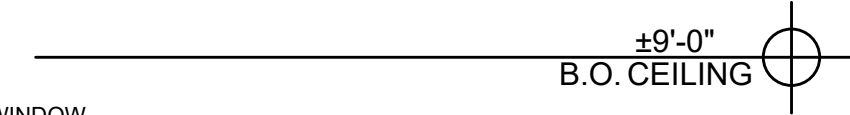
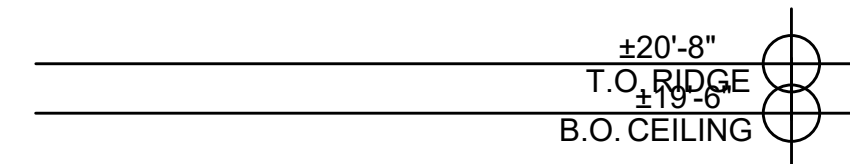
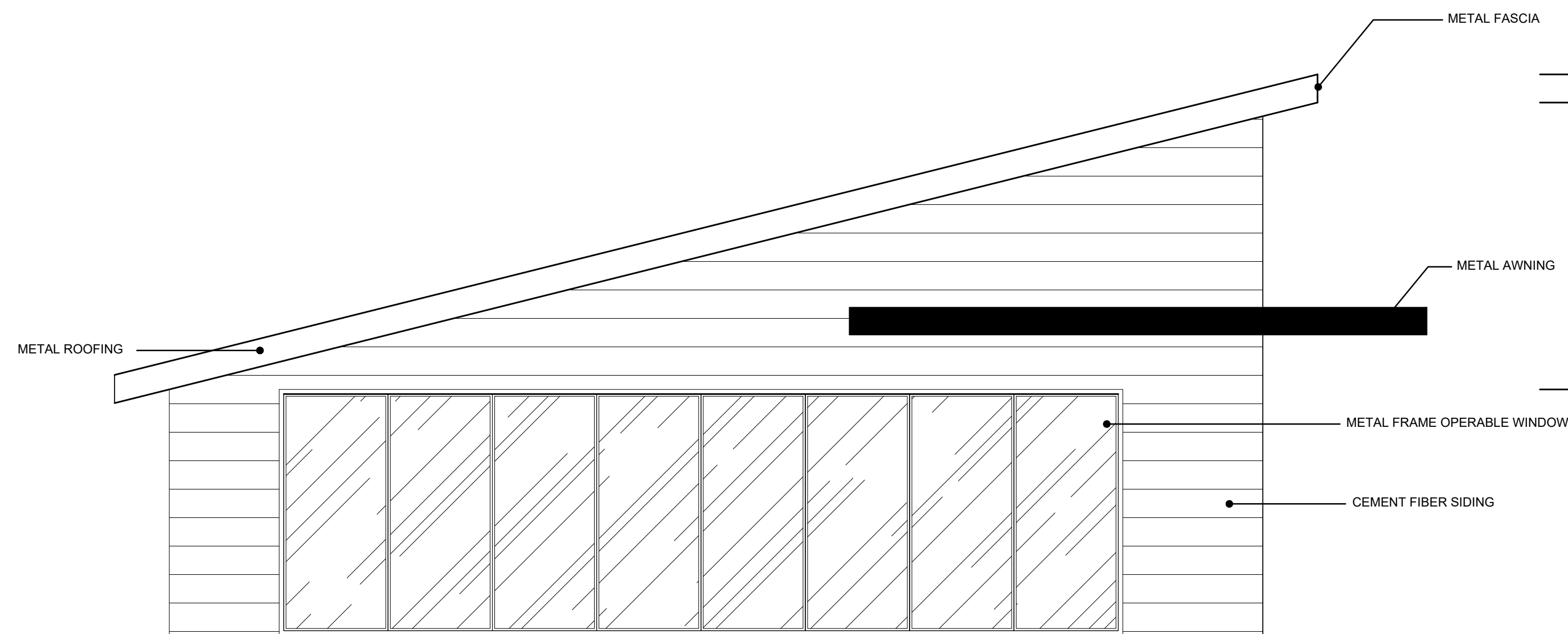
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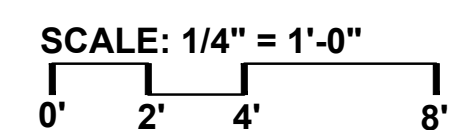
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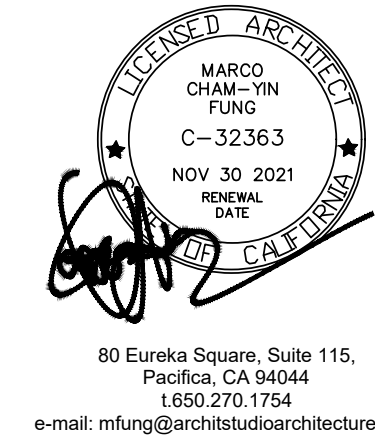
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ADU SIDE ELEVATION



B



Print Record

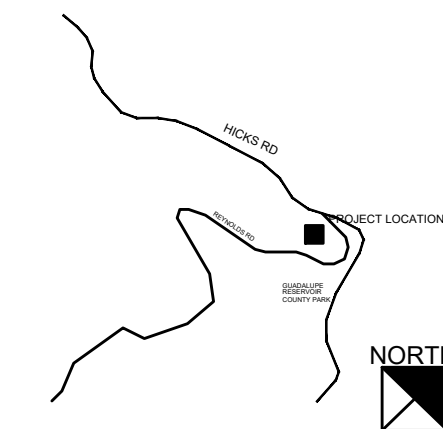
NEW
RESIDENTIAL
BUILDING

21631 HICKS RD
LOS GATOS, CA 95032

PROPERTY OWNER

ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
ATTN: MARCO FUNG
E: mfung@architstudioarchitecture.com
T: 650.270.1754

VICINITY MAP



Date: 2021.11.29
Project No.: 2021.117
Sheet Title

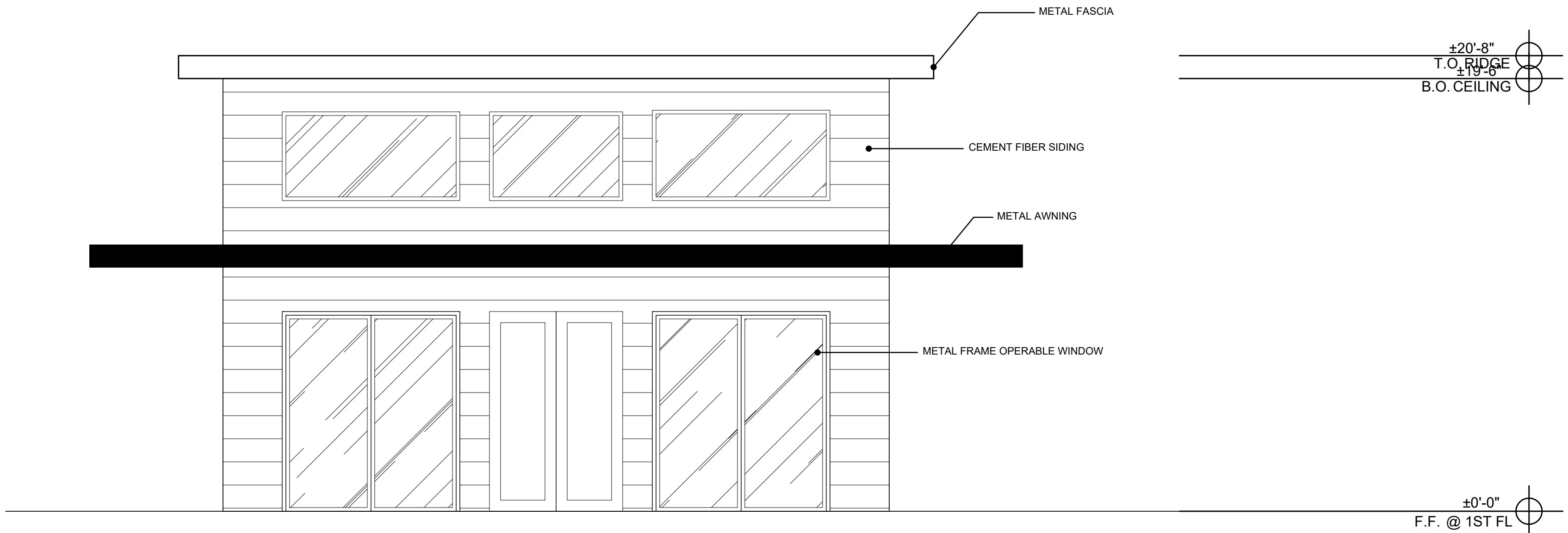
ADU SIDE
ELEVATION

Sheet
No.

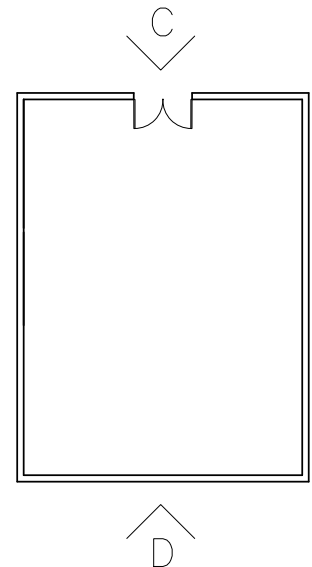
A800

☐ Released for Construction
☐ Not Released for Construction

C

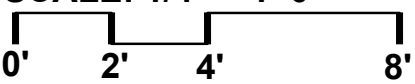


KEYPLAN

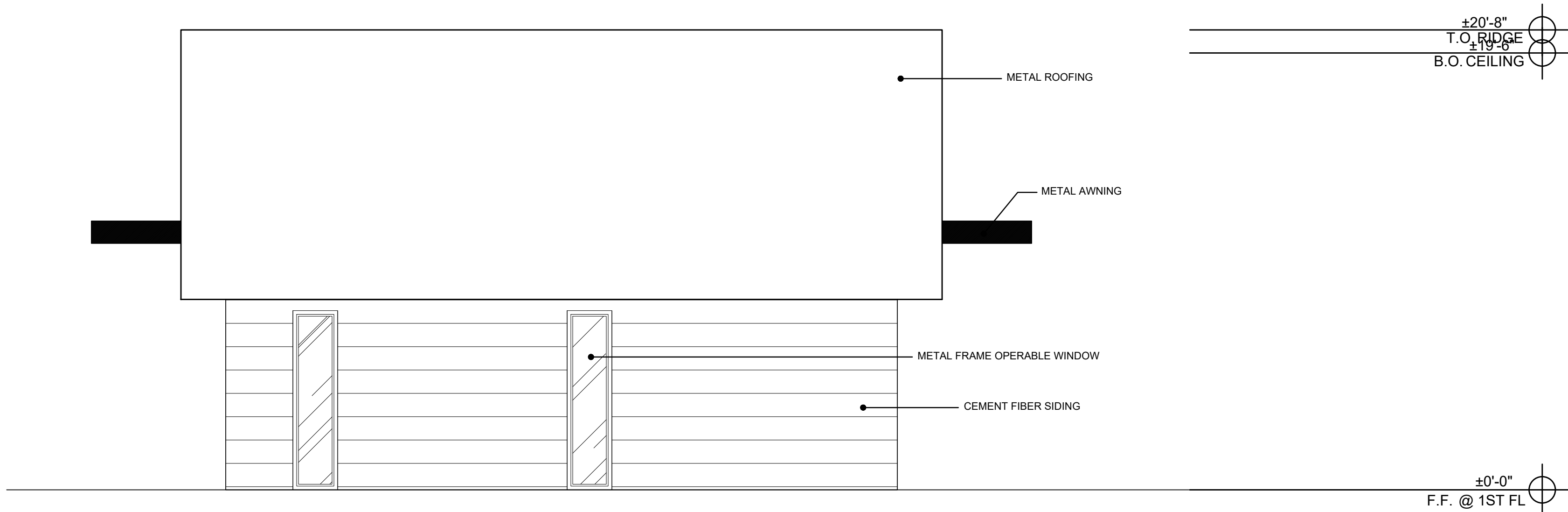


ADU FRONT ELEVATION

1 SCALE: 1/4" = 1'-0"

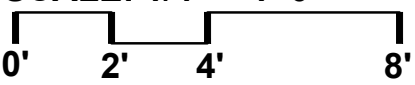


D



ADU REAR ELEVATION

1 SCALE: 1/4" = 1'-0"



80 Eureka Square, Suite 115,
Pacifica, CA 94044
1.650.270.1754
e-mail: mfung@architstudioarchitecture.com

Print Record

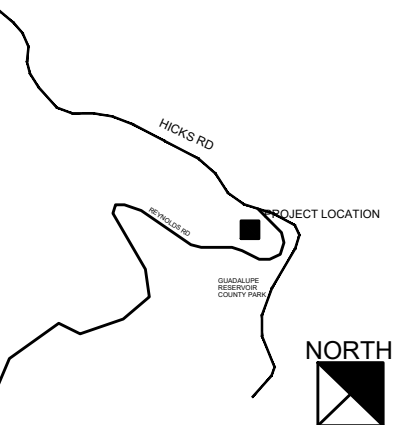
NEW RESIDENTIAL BUILDING

21631 HICKS RD
LOS GATOS, CA 95032

PROPERTY OWNER

ARCHITECT
ARCHIT STUDIO
20 EUREKA SQUARE, SUITE 115
PACIFICA, CA 94044
ATTN: MARCO FUNG
E: mfung@architstudioarchitecture.com
T: 650.270.1754

VICINITY MAP



Date 2021.11.29 Project No. 2021.117

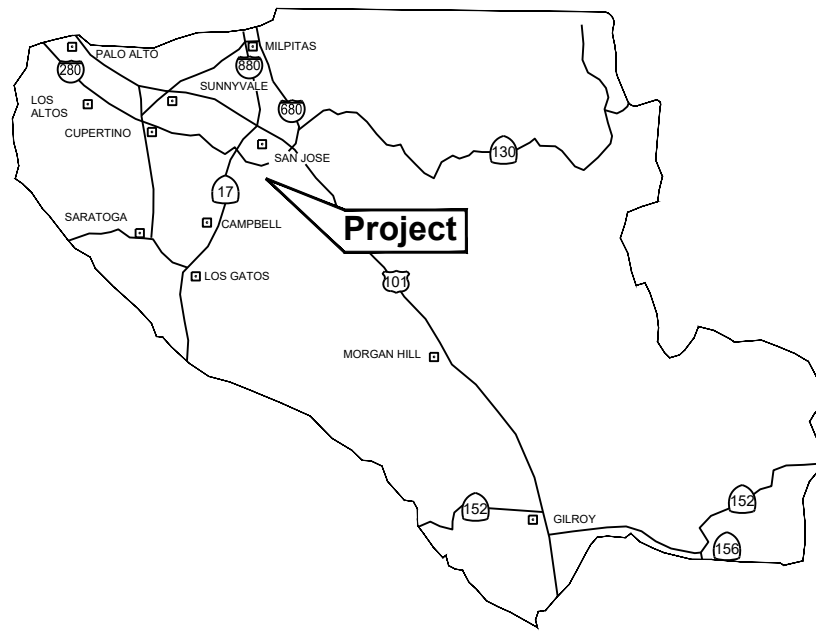
Sheet Title

ADU FRONT ELEVATION

Sheet
No.

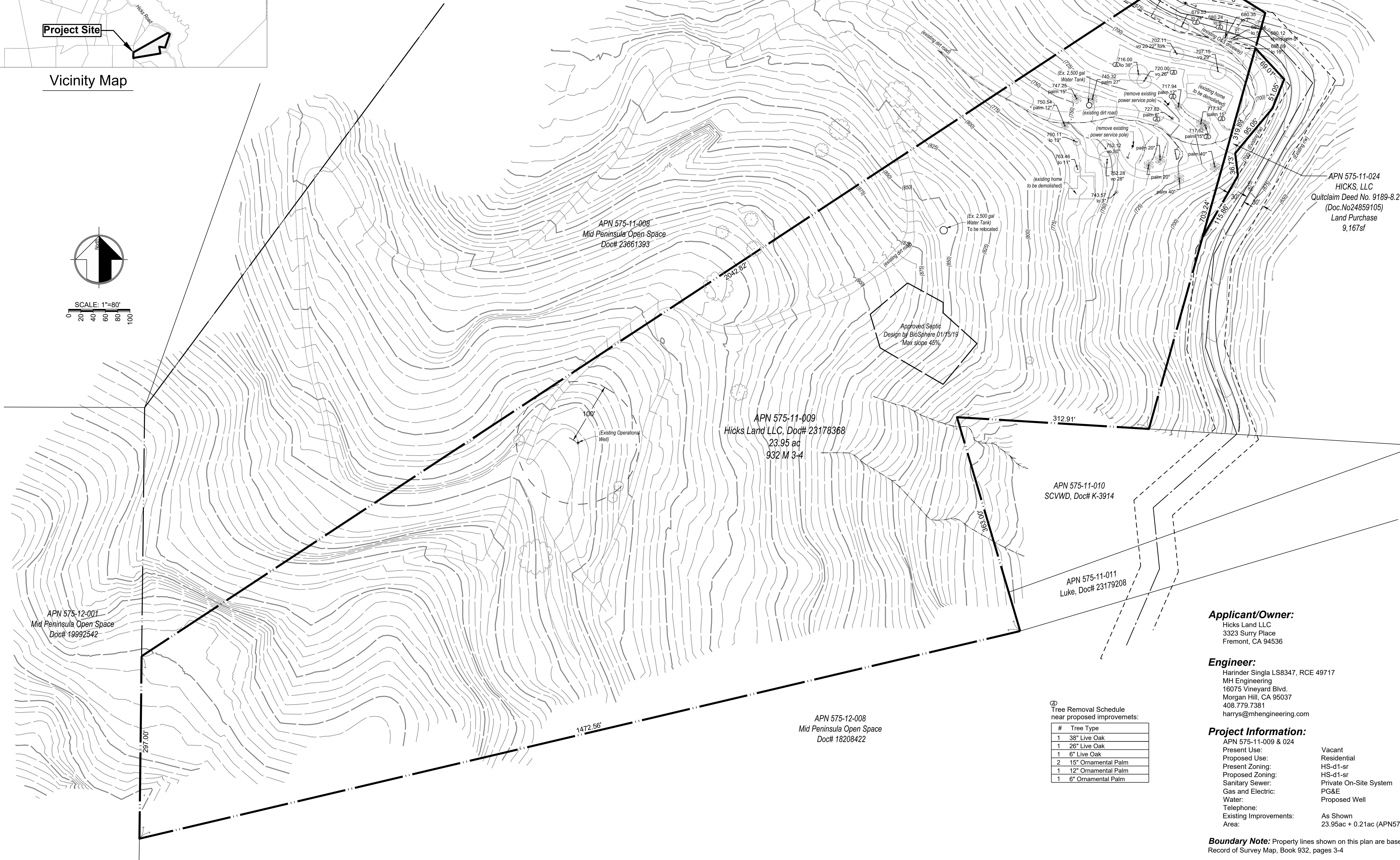
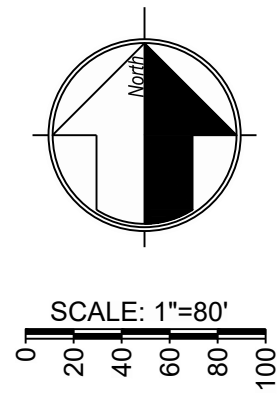
A801

☐ Released for Construction
☐ Not Released for Construction



Project Site

Vicinity Map



Hicks Land LLC
3323 Surry Place
Fremont, CA 94536

Harinder Singla LS8347, RCE 49717
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
harrys@mhengineering.com

APN 575-11-009 & 024

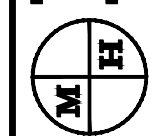
Present Use:	Vacant
Proposed Use:	Residential
Present Zoning:	HS-d1-sr
Proposed Zoning:	HS-d1-sr
Sanitary Sewer:	Private On-Site System
Gas and Electric:	PG&E
Water:	Proposed Well
Telephone:	
Existing Improvements:	As Shown
Area:	23.95ac + 0.21ac (APN575-11-024)

Boundary Note: Property lines shown on this plan are based on the recorded Record of Survey Map, Book 932, pages 3-4

Flood Zone: The property lies wholly in Zone D, areas in which flood hazards are undetermined, but possible, per FEMA Firm Panel 06085C0629H, effective May 18, 2009.



MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

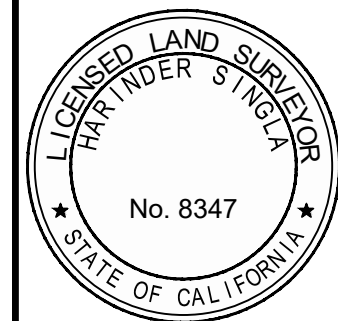


Site Plan - Hicks Land LLC Residence
21631 Hicks Road - APN 575-11-009

E:	12-2021
LE:	As Shown
AWN BY:	MM
CHECKED BY:	HS

JOB NO.
217091

SHEET
1
OF
7



MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Site Plan - Hicks Land LLC Residence

21631 Hicks Road - APN 575-11-009

DATE:	12-2021
SCALE:	As Shown
DRAWN BY:	MM
CHECKED BY:	HS

JOB NO.
217091

SHEET
2

OF
7