

County of Santa Clara

Department of Planning and Development
Planning Office

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****Via Emails Only****

February 17, 2022

Meyer Randall
15911 West Road
Los Gatos, CA, 95030

FILE NUMBER: PLN22-019
SUBJECT: Special Permit for Setback-Exempt Garage
SITE LOCATION: 15911 West Road, Los Gatos, CA, 95030 (APN: 510-07-011)
DATE RECEIVED: January 18, 2021

Dear Mr. Randall,

Your application for Special Permit has been received on the above date and is deemed **incomplete**. For the application processing to resume, you must resolve the following issues and submit the information listed below.

Resubmittals are made via the internet, to do so, follow the instructions at the following URL: <https://www.sccgov.org/sites/dpd/Iwantto/Permits/Pages/Permits.aspx>. Before resubmitting, please consult me as this process is dynamic and at the time you choose to resubmit the process may have changed and / or been enhanced. The resubmitted materials must include all requested information. Once the information is submitted, Planning Office personnel will distribute the plans, reports, etc. to the appropriate staff or agency for their review.

If you have any questions about the information being requested, you should first call the person whose name is listed as the contact person for that item. He or she represents a specialty or office and can provide details about the requested information.

AS NOTED ABOVE, PRIOR TO RESUBMITTAL PLEASE E-MAIL ME TO DISCUSS THE PROCESS.

Please submit one (1) electronic copy of the revised plans / resubmittal documents with a written response addressing the following items.

PLANNING OFFICE

Contact Xue Ling at (408) 299-5784 or xue.ling@pln.sccgov.org regarding the following comments:

Lot Legality

1. The submitted current Grant Deed does not provide adequate information for Staff to determine lot legality. Please provide one of the following items to help Staff verify the legal creation of the lot.

- a. The grant deed that was in effect on June 25, 1969, and the deed showing first transfer of title after June 25, 1969.
- b. Record of survey with a certification by the Clerk of the Board of Supervisors which matches the legal description on the current deed.

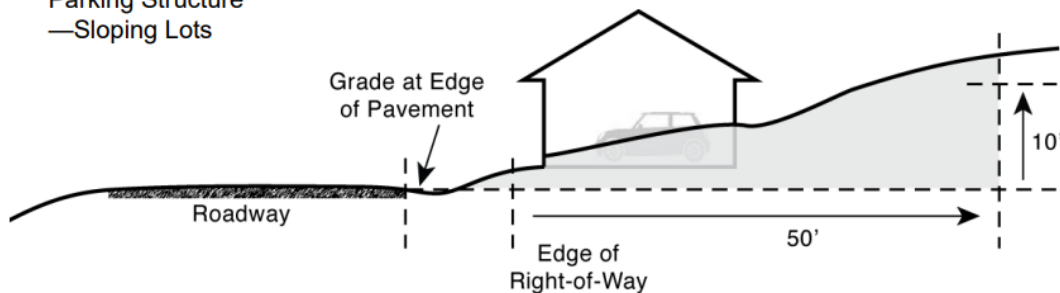
Lot Legality handout can be accessed via the link below:

[DeedLotLegality.pdf \(windows.net\)](#)

Special Permit

2. If the proposed detached garage encroaches into the required front setback, please provide the information below and apply for a Special Permit with filing fees.
 - a. A section drawing cutting through the Redwood Drive roadway and the proposed garage. The section cut shall extend a minimum of 50-feet beyond the edge of the right-of-way. Pursuant to Zoning Ordinance 4.20.020.(F).(1), “Where the grade elevation at a point 50 horizontal feet inward from the edge of right-of-way differs 10 vertical feet or more from the elevation at the adjacent edge of pavement, a garage, carport or other parking structure may be located within the required front or side yard of a lot.” (see Fig 4.20-2 inserted from Zoning Ordinance).

Fig. 4.20-2
Parking Structure
—Sloping Lots



- b. Sight clearance for traffic safety. Pursuant to Zoning Ordinance 4.20.020.(F).(1).(c), “such parking structures must be situated or designed such that adequate sight clearance and safe vehicle movement are afforded the driver of an existing vehicle, consistent with Ordinance Code §§B17-68 and 69”.
 - c. Please provide the building height measured from the grade at entry point to the highest roof ridge pursuant to Zoning Ordinance 4.20.020.(F).(1).(d). The average building height only applies to buildings that have a hip or gable roof, not including the single-sloped roof. Therefore, the building height measured from the grade to the highest roof ridge shall be 12 feet maximum. Should you have any questions, please contact staff to discuss.

FIRE MARSHAL OFFICE

Contact Alex Goff at (408) 299-5763 or alex.goff@sccfd.org for information regarding the following items.

3. Access roads (portions of road serving 3 or more parcels) are to have a minimum drivable width of 18 ft. per CFMO-A1. Plans appear to show an access road (West Rd.) that is below this width.

4. West Rd. appears to be a dead-end road using online maps. The plans are to clarify if there is a fire department turnaround meeting CFMO-SD16 at the end of the access road, or propose a turnaround at the property as part of this project.
5. Plans are to label fire hydrant as standard hydrant or a wharf hydrant.
6. Plans are to show the slope of the access to the site (West Rd.). Fire sprinklers are to be shown as a deferred submittal if the slope is greater than 15% per the County Ordinance.
 - a. Online maps appear to show a steep slope, the exact slope isn't known at this time.

CalFire

Contact Carlos Alcantar at Carlos.Alcantar@fire.ca.gov for information regarding the following items.

Note: This project (PLN22-019) is located within the State Responsibility Area (SRA) and is recommended to follow all minimum wildfire protection standards of **California Code of Regulations Title 14 Natural Resources Division 1.5 Department of Forestry Chapter 7 - Fire Protection Subchapter 2 SRA Fire Safe Regulations Articles 1-5.**

7. **Access:** Ensure West Road and All Access Roads meet specifications in § 1273.01 in the Fire Safe Regulations and provide a minimum of two ten (10) foot traffic lanes, not including shoulder and striping to the building site.

Article 2 Emergency Access and Egress

§ 1273.00. Intent

Roads and driveways, whether public or private, unless exempted under 14 CCR § 1270.02(d), shall provide for safe access for emergency wildfire equipment and civilian evacuation concurrently, and shall provide unobstructed traffic circulation during a wildfire emergency consistent with 14 CCR §§ 1273.00 through 1273.09.

§ 1273.01. Width.

(a) All roads shall be constructed to provide a minimum of two ten (10) foot traffic lanes, not including shoulder and striping. These traffic lanes shall provide for two-way traffic flow to support emergency vehicle and civilian egress, unless other standards are provided in this article or additional requirements are mandated by local jurisdictions or local subdivision requirements. Vertical clearances shall conform to the requirements in California Vehicle Code section 35250.

(b) All one-way roads shall be constructed to provide a minimum of one twelve (12) foot traffic lane, not including shoulders. The local jurisdiction may approve one-way roads.

(1) All one-way roads shall, at both ends, connect to a road with two traffic lanes providing for travel in different directions, and shall provide access to an area currently zoned for no more than ten (10) residential units.

(2) In no case shall a one-way road exceed 2,640 feet in length. A turnout shall be placed and constructed at approximately the midpoint of each one-way road.

(c) All driveways shall be constructed to provide a minimum of one (1) ten (10) foot traffic lane, fourteen (14) feet unobstructed horizontal clearance, and unobstructed vertical clearance of thirteen feet, six inches (13' 6").

8. **Turnaround** on Dead-end Road: West Road will need a turnaround at its terminus since it is a dead end road per § 1273.05. Ensure specifications are met for a turnaround per § 1273.05.

§ 1273.05. Turnarounds

(a) Turnarounds are required on driveways and dead-end roads.

(b) The minimum turning radius for a turnaround shall be forty (40) feet, not including parking, in accordance with the figures in 14 CCR §§ 1273.05(e) and 1273.05(f). If a hammerhead/T is used instead, the top of the "T" shall be a minimum of sixty (60) feet in length.

(c) Driveways exceeding 150 feet in length, but less than 800 feet in length, shall provide a turnout near the midpoint of the driveway. Where the driveway exceeds 800 feet, turnouts shall be provided no more than 400 feet apart.

(d) A turnaround shall be provided on driveways over 300 feet in length and shall be within fifty (50) feet of the building.

(d) Each dead-end road shall have a turnaround constructed at its terminus. Where parcels are zoned five (5) acres or larger, turnarounds shall be provided at a maximum of 1,320 foot intervals.

Dead-end Road: Ensure West Road does not exceed the maximum distance for a dead-end road depending on parcel size.

§ 1273.08. Dead-end Roads

(a) The maximum length of a dead-end road, including all dead-end roads accessed from that dead-end road, shall not exceed the following cumulative lengths, regardless of the number of parcels served:

parcels zoned for less than one acre - 800 feet

parcels zoned for 1 acre to 4.99 acres - 1,320 feet

parcels zoned for 5 acres to 19.99 acres - 2,640 feet

parcels zoned for 20 acres or larger - 5,280 feet

All lengths shall be measured from the edge of the road surface at the intersection that begins the road to the end of the road surface at its farthest point. Where a dead-end road crosses areas of differing zoned parcel sizes requiring different length limits, the shortest allowable length shall apply.

(b) See 14 CCR § 1273.05 for dead-end road turnaround requirements.

Defensible Space: Maintain defensible space specifications described in Public Resource Code 4291.

§ 1276.01. Setback for Structure Defensible Space.

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(c) Structures constructed in the SRA are required to comply with the defensible space regulations in Title 14. Natural Resources Division 1.5. Department of Forestry and Fire Protection Chapter 7. Fire Protection Subchapter 3. Fire Hazard.

Prior to resubmittal, please feel free to contact me to schedule an appointment so we can meet and discuss my comments regarding the project.

Please make sure the requested changes are made for the revised plan sets and documents that are needed for the resubmittal. **Resubmittals are only accepted by appointment with the assigned project planner.** If the requested information is not submitted within **180 days**, you will be required to pay a fee of 10% of the application fee at the time the information is submitted. All requested information must be submitted no later than **one (1) year** from the date of this letter. **PARTIAL RESUBMITTALS WILL NOT BE PROCESSED.** Fees required at the time of resubmittal will be those in effect at that time.

Please note that the Special Permit Application have been charged a minimum fee and will be charged additional fees to continue processing when the initial payment is exhausted.

In submitting this land use application, the owner/applicant included an initial application fee. Application fees are categorized as "fixed fees" and "billable fees", based on the particular application types. "Fixed fee" applications do not require any additional fees to continue processing. However, when funds associated with a "billable fee" application have been spent, an additional deposit will be required to continue processing the application.

If you have questions regarding the application, please contact me at (408) 299-5784 or xue.ling@pln.sccgov.org.

Warm regards,



Xue Ling
Associate Planner

cc:

Alex Goff, FMO
Carlos Alcantar, CalFire