

County of Santa Clara

Department of Planning and Development
County Government Center, East Wing, 7th Floor
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San Jose, CA 95110
Phone: (408) 299-5700
www.sccplandev.org



STAFF REPORT
Zoning Administration
June 11, 2024
Item #2

Staff Contact: David Horwitz
(408) 299-5795, david.horwitz@pln.sccgov.org

File: PLN22-019 **Special Permit for a Detached Residential Accessory Structure**

Summary: Consider a request for a Special Permit to allow the construction of a detached 500-square-foot garage located within a required side-yard setback on a sloping, 10,910 square foot lot with an existing residence. Associated improvements include a new driveway approach along West Road. Grading quantities include 12 cubic yards of cut. There are no trees proposed for removal with this project.

Owner: Randall Meyer
Applicant: Robert Mintz
Address: 15911 West Road, Los Gatos
Present Land Use: Single-Family
Supervisory District: #5

GP Designation: USA Monte Sereno
Zoning: RHS-d1
APN: 510-07-011
Lot Size: 10,910 square feet (0.25 acres)
HCP: Not in permit area

RECOMMENDED ACTIONS

- A. Accept Categorical Exemptions, under Section 15303(e) of the CEQA Guidelines, Attachment A; and,
- B. Grant a Special Permit, subject to Conditions of Approval in Attachment B.

ATTACHMENTS INCLUDED

Attachment A – Proposed CEQA Determination
Attachment B – Proposed Conditions of Approval
Attachment C – Location & Vicinity Map
Attachment D – Proposed Plans
Attachment E – Arborist Report

PROJECT DESCRIPTION

The proposed project is for a Special Permit for a single-story 500-square-foot (sq. ft.) detached garage located in the required side-yard setback of a 10,910-sq. ft. (gross-area) lot. Associated

improvements include the installation of a new driveway approach along West Road, the removal of an existing gate, and the relocation of an existing water meter. The proposed grading consists of 12 cubic yards of cut for the driveway approach, with a maximum vertical depth of 1.2 feet. The proposal does not include the removal of any trees. There are two oak trees adjacent to the development site that are proposed to remain.

Setting/Location Information

The subject parcel is 10,910 sq. ft. and located on West Road at the intersection of Mountain Road on the inside of a hairpin turn, approximately one-half of a mile south of Saratoga-Los Gatos Road (Highway 9) in unincorporated Los Gatos. West Road is a County-maintained road with a 30-foot right-of-way (ROW), but has a paved width of roughly 14 feet. At the foot of the Santa Cruz Mountains, the neighborhood has many irregularly-shaped lots with steep topography. Most properties in the vicinity are roughly one acre in size, with a handful of smaller lots. The site is surrounded by single-family residences that were built as early as the 1920’s and 1930’s and as recently as 2019. The subject property was developed in 1926 with a single-family residence. The site is not located within the Santa Clara Valley Habitat Plan permit area, and the California Natural Diversity Database does not identify any recorded sightings of special-status species on-site. A review of the 2015 Fire Resource Assessment Plan shows that the property is located within a coastal oak woodland. According to County GIS, the parcel maintains an average slope of 59.6%. The project plan indicates a difference of 38 feet, 2 inches in elevation between the edge of West Road (pavement surface) and 50 feet into the project site.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The proposed project qualifies for a Categorical Exemption under Section 15303(e) of the California Environmental Quality Act (CEQA) for an accessory (appurtenant) structure. As such, an Initial Study and further analysis under the CEQA was not required.

B. Project/Proposal

1. **General Plan:** Urban Service Area, Monte Sereno
2. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for residential accessory structures, as summarized below, followed by a table noting the project’s conformance with §4.20.020 for accessory structures. The proposed project requires a Special Permit for its current location.

Accessory Structure

Setbacks (Corner Lot abutting three or more streets):	Not located nearer any right-of-way than one-fourth the width or length of the lot representing one-fourth of the depth of the lot nearest either street
Height:	12 feet maximum
Stories:	1-story maximum

Table A: Compliance with Development Standards for Accessory Structures

STANDARDS & REQUIREMENTS	CODE SECTION	Meets Standard (Y/N)*
Height	§ 4.20.020 (D)(1)	N*

Minimum Separation Between Residence and Accessory Structure	§ 4.20.020 (D)(4)	Y
Rear Yard Coverage	§ 4.20.020 (D)(5)	Y
Parking Structure on Sloping Lots	§ 4.20.020 (F)(1)	Y*
Corner Lot Abutting Three or More Streets	§ 4.20.020 (F)(2)	N*

*Refer to the detailed discussion of these development standards within the body of the Special Permit Findings in Section C below

- C. **Special Permit:** In addition to specific findings identified in Section B above, garages located in the required side-yard setback applicable to a main residence are also subject to a Special Permit (Chapter 5.60). In the following discussion, the scope of review findings for a Special Permit are delineated in **bold** type, and an explanation of how the project meets the required findings is in plain text below. The Zoning Administrator is required to make these findings to approve the project.

Special Findings for Parking Structures on Sloping Lots: In addition to the Special Permit Findings of Section 5.60.030, two (2) additional findings shall be made by the Zoning Administration Hearing Officer.

- a. **There are no available, practical, or feasible alternative sites for a parking structure that would conform to setbacks;**

The narrow nature of the lot along with its steep topography does not provide a practical location to place a detached garage. The subject lot is a corner lot abutting three streets, which requires accessory structures to not be located any closer to a right-of-way than a distance representing one-fourth of the lot width or length of the lot. Within this allowed envelope, the steep topography and narrow lot depth make the development of the front-half of the lot infeasible. The rear-half of the lot is occupied by the main residence, three decks, and stairways and walkways to access the residence, and does not contain any feasible location for a garage. There are no other available, practical, or feasible alternative locations on the project site for a parking structure that would conform to the required setbacks. Therefore, this finding can be made.

- b. **The garage location minimizes grading, or minimizes impacts to trees or other natural features;**

The project location overlaps with a pre-existing accessory structure. Twelve cubic yards of cut is required to construct the proposed driveway. The proposed garage is designed to stand on concrete piers, which relieves the project from requiring any fill to establish the structure. No trees are proposed to be removed with this project, and an arborist report by Bo Firestone Trees & Gardens (ISA #WE-8525B) determined that the existing 18-inch and 21-inch oak trees in the vicinity of the proposed development area would sustain low impacts and as conditioned with tree

protection measures (Attachment B, COA No. 16-23, and No. 26), would have a lower likelihood of removal or decline due to the proposed project (Attachment E). Therefore, this finding can be made.

1. The proposed use conforms with the general plan, with the zoning ordinance, and with all standards applicable to the proposed use that have been adopted by the Planning Commission or Board of Supervisors;

As identified from Table A above, the proposed development meets all general plan and zoning ordinance standards applicable to residential use, except for its location in the side yard and height (allowed via a Special Permit) for a corner lot abutting three or more streets, discussed in more detail below.

The proposed garage is located on a steep slope, which sharply descends from the east side to the west side of the property. § 4.20.020(F)(4), of the Zoning Ordinance requires detached accessory buildings on corner lots abutting three or more streets to be built no closer to any right-of-way than one-fourth the length or width of the lot. However, § 4.20.020(F)(1) of the Zoning Ordinance states that where the grade elevation at a point 50 horizontal feet inward from the edge of right-of-way differs 10 vertical feet or more from the elevation at the adjacent edge of pavement, a garage, carport, or other parking structure may be located within the required front or side yard setback applicable to dwellings through obtaining a Special Permit. In accordance with the Zoning Ordinance, the grade elevation at the edge of pavement of the project site is 119 feet, 2 inches, and the grade elevation at the point 50 horizontal feet inward from the edge of right-of-way is 81 feet, a difference of 38 feet, 2 inches. The required exterior side setback for a residence in the Urban Hillside Zoning District is 20 feet. The proposed garage is located 10 inches from the side property line. As such, the garage may be located within the required side yard setback for this lot by obtaining a Special Permit.

The proposed driveway is designed to connect to West Road on the east side of the property, near the highest point of the frontage. § 4.20.020(D)(1) requires a maximum height of accessory structures to be 12 feet, as measured from finished grade to the top of the structure. The rear elevation of the structure measures roughly 25 feet in height. However, § 4.20.020(F)(1)(d), superseding Subsection D, provides a height exception allowance for such a garage on land that slopes downward from the street, allowing for the downslope side of the parking garage to exceed the maximum allowed height; provided the building conforms to the 12-foot height limitation described in § 4.20.020(D)(1) when measured from a horizontal plane whose elevation is equal to the grade at the front (entry) portion of the building. The proposed driveway slopes downward from West Road. It intersects perpendicularly to the road and leads directly into the garage. At that point, the “front” (east-facing side) of the garage is proposed to have a height of 9 feet, 1 inch, measured from the grade at the entry point of the garage, to the highest point of the roof at the entry point. As the lot slopes downward to the west, the sloped roof at the “rear” (west-facing side) of the garage has a proposed maximum height of 12 feet above the finished grade at the front of the garage. As such, the proposed garage complies with the height exception allowance provided by the Zoning Ordinance.

Additionally, the proposed garage maintains more than 6 feet of horizontal distance from the existing residence, is less than 600 sq. ft. in size, and the Roads and Airports Department did not note any impairment to sight clearance for traffic safety. Therefore, the above finding can be made.

- 2. The site is adequate for the proposed use, including but not limited to being of adequate size and shape to accommodate all facilities and development features to integrate the use into the surrounding area and to provide any necessary or appropriate buffers between the use and the surrounding area;**

The site is adequate to accommodate the proposed garage. The subject site is approximately 10,910 sq. ft. and the proposed garage satisfies the requirements for the special setbacks given the sloped nature of the lot. The area of the property and the location of the proposed structure offer adequate separation, and existing trees provide a buffer between the proposed use and the surrounding uses of the adjacent properties. Therefore, this finding can be made.

- 3. The proposed use will not be detrimental to the public health, safety, or general welfare. In this respect, the zoning administrator shall further find, without limitation, that:**

- a. Adequate off-street parking, loading and unloading areas (if applicable) and handicapped access will be provided;**

The property has adequate area for off-street parking with the proposed driveway able to accommodate one uncovered parking space, and the proposed detached garage able to accommodate one covered parking space, as required per County Zoning Ordinance § 4.30.030. The proposed driveway width exceeds the minimum 8-foot-wide driveway width, per County Zoning Ordinance § 4.30.070. Therefore, this finding can be made.

For clarity, there is a minor inconsistency within the plan set between the site plan and the civil survey. In discussions between the applicant and staff, an updated civil plan is being prepared to be consistent with the site plan to accurately indicate the width of the proposed driveway approach. The project has been conditioned to require updated plans to be provided with the building permit submission.

- b. Appropriately designed site access will be provided, including safe and adequate access for fire and emergency vehicles (including secondary access where deemed necessary by the fire marshal);**

The driveway is less than 150 feet in length, and therefore does not require a firetruck turnaround or turnouts. Secondary access is not necessary as the proposed project is an accessory structure appurtenant to an existing, residential use, and does not propose new access. The detached garage does not require fire sprinklers or review by the Fire Marshal's Office because the structure is no more than 500-

square-feet in floor area nor is it a habitable space. Therefore, this finding can be made.

- c. The use will not adversely affect water quality. Adequate wastewater treatment, disposal and sanitation facilities will be provided and will satisfy all applicable local, state and federal requirements;**

The detached garage does not contain habitable space or plumbing fixtures, and as a result, will not require a sewer connection. Therefore, this finding can be made.

- d. The use will not be detrimental to the adjacent area because of excessive noise, odor, dust or bright lights;**

The detached garage would not create noise, odor, dust, or excessive light impacts. Furthermore, residential, and accessory uses shall be subject to the County Noise Ordinance. Therefore, this finding can be made.

- e. The use will not substantially worsen traffic congestion affecting the surrounding area;**

The detached garage will not create any additional traffic as the use continues to be residential and the proposed development area has historically provided off-street parking for the residence. Therefore, this finding can be made.

- f. Erosion will be adequately controlled; and**

Best Management Practices (BMP's) for erosion control during construction will be required through building permit review per the County standards for development permit review. Therefore, this finding can be made.

- g. Adequate storm drainage management exists or will be provided and will comply with all applicable local, state and federal requirements.**

The Special Permit by itself would not trigger the requirement of a Drainage Permit. The overall project has been reviewed and approved by Land Development Engineering to comply with all local, state, and federal requirements. Additionally, an Encroachment Permit was retained via County File No. ENC20-0959 and included a review of the project's adherence to stormwater requirements in accordance with the C.3 Stormwater Handbook, and was approved by Land Development Engineering and the Roads and Airports Department. Therefore, this finding can be made.

In conclusion, Staff recommends the Zoning Administration Hearing Officer to approve the Special Permit. As noted throughout the Staff Report, the proposed project meets all development standards for a residential accessory structure (as noted in the Zoning Standards above) through the approval of the Special Permit and meets the required findings for approval of the Special Permit.

BACKGROUND

On June 14, 2020, the applicant, Robert Mintz, applied for a Building Permit for a detached 600-square-foot garage (DEV20-1055). On October 25, 2021, the Planning Office notified the applicant that the proposed project required a Special Permit before the Building Permit may be approved. Accordingly, on January 13, 2022, the applicant submitted an application request for the Special Permit for the detached garage, and it was converted to a Special Permit application (PLN22-019) on January 18, 2022. The application was deemed incomplete on February 17, 2022. The applicant resubmitted the application on January 11, 2023. The application was deemed incomplete on February 10, 2023 due to discrepancies between the topographic survey and the legal description of the property. The applicant resubmitted the application on April 12, 2024, and it was deemed complete on May 10, 2024. A public notice was mailed to all property owners within a 300-foot radius of the project on May 31, 2024, and published in the San Jose Post Record on [May 31, 2024](#). No public comments have been received regarding this application as of writing this report.

STAFF REPORT REVIEW

Prepared by: David Horwitz, Assistant Planner

Reviewed by: Robert Cain, Senior Planner

Reviewed and Approved by: Samuel Gutierrez, Principal Planner

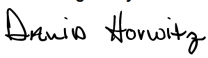
ATTACHMENT A

Proposed CEQA Determination

Attachment A

STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

FILE NUMBER PLN22-019	APN(S) 510-07-011	6/5/2024
PROJECT NAME Detached residential accessory structure (garage); 15911 West Road, Los Gatos, CA 95030	APPLICATION TYPE Special Permit	
OWNER Randall Meyer	APPLICANT Robert Mintz	
PROJECT LOCATION 15911 West Road, Los Gatos, CA 95030		
PROJECT DESCRIPTION Special Permit to construct a single-story 500-square-foot (sq. ft.) detached garage (residential accessory structure) located in the required side-yard setback of a 10,910-sq. ft. parcel. Associated improvements include the installation of a new driveway approach along West Road, removal of an existing gate, and the relocation of an existing water meter. The proposed grading consists of 12 cubic yards of cut for the driveway with a maximum vertical depth of 1.2 feet. No trees are proposed for removal; there are two oak trees (one located on the project site and the other located within the County right of way) adjacent to the development site that are proposed to remain. All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects that meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.		
CEQA (GUIDELINES) EXEMPTION SECTION Section 15303(e) - Class 3(e): One detached residential accessory structure in a residential zone. The proposed project's environmental impacts were analyzed, resulting in a Categorical Exemption. The project will not create any significant environmental impacts as the project minimizes grading and impacts to the natural terrain. The project will not reduce the canopy of the existing oak woodland on-site. The project meets the County-required setback from a watercourse. As such, the project qualifies for a Class 3, Section 15303 (e) accessory (appurtenant) structures Exemption from CEQA.		
COMMENTS The subject property is in an area zoned to allow single-family residential development and allows for accessory structures by right. The project is modest in comparison to other development in the neighborhood.		
APPROVED BY: David Horwitz, Assistant Planner	<small>DocuSigned by:</small>  <small>7068FCE5977A4A3...</small> Signature	6/5/2024 Date

ATTACHMENT B

Proposed Conditions of Approval

ATTACHMENT B
Final Conditions of Approval
SPECIAL PERMIT

Date: June 11, 2024
Owner/Applicant: Randall Meyer/Robert Mintz
Location: 15911 West Road, Los Gatos (APN: 510-07-011)
File Number: PLN22-019
CEQA: Exempt under Section 15303(e)
Project Description: Special Permit to allow construction of a detached 500-square-foot garage located within a required side-yard setback on a sloping, 10,910-square-foot lot with an existing residence. Associated improvements include a new driveway approach along West Road. Grading quantities include 12 cubic yards of cut. There are no trees proposed for removal with this project.

If you have any questions regarding the following preliminary conditions of approval, call the person whose name is listed as the contact for that agency. They represent a particular specialty or office and can provide details about the conditions of approval.

Agency	Name	Phone	E-mail
Planning	David Horwitz	(408) 299-5795	david.horwitz@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 918-3435	darrin.lee@cep.sccgov.org
Roads and Airports	Tom Esch	(408) 573-2450	tom.esch@rda.sccgov.org
Building Inspection		(408) 299-5700	

STANDARD CONDITIONS OF APPROVAL

1. For detailed information about the requirements for a Building Permit, obtain a Building Permit Application Instruction handout from the Building Inspection Office or visit the website at www.sccbuilding.org.

Planning

2. Development must take place according to approved architectural and grading plans prepared by Valley Home Builders, dated May 30, 2024. Changes to the approved project must first be submitted to the Planning Office for review and approval by the Zoning Administrator. Any changes to the approved project may require a modification of this land use entitlement and/or additional environmental review under the California Environmental Quality Act, which may require a public hearing.
3. Plan: An updated civil plan is required to be submitted with the building permit submission that is consistent with the approved architectural and site plans to show consistent information related to the width of the driveway for the project.

4. Permit Expiration: This approval by the Zoning Administrator for a Special Permit related to a new garage, is valid for 48 months (4 years) from the date of this approval. During that time, the establishment of the use and approved structure (i.e. construction and building final inspection of the project) must occur within 4 years of the effective date of the original permit approval. Failure to do so will result in this approval becoming invalid and void, unless an “Extension of Time Application” is submitted to and granted by the Zoning Administrator in advance of the expiration of this approval. Upon application for renewal, the expiration of the permit shall be stayed until a formal action has been taken on the extension request, but in no event for more than two years. If permit renewal is granted, the new approval term shall be established by the Zoning Administrator, at their discretion, and shall begin immediately after the original expiration date.
5. The detached garage shall not exceed more than 12-feet in height, as measured from the horizontal plan that is equal to the grade at the front (entry) portion of the building, pursuant to Section 4.20.020(F)(1)(d) of the County Zoning Ordinance.
6. The detached garage shall be limited to one story.
7. A minimum of 6-feet of separation between the detached garage and a residence shall be maintained (measured between exterior walls of each structure), per Section 4.20.020 (D) (4) of the County Zoning Ordinance.
8. The detached garage shall not be used for dwelling purposes or overnight accommodations.
9. The detached garage shall not be eligible for conversion to an accessory dwelling unit, as the structure will be constructed and inspected after January 1, 2017, per section 4.10.340 (E) (1) of the County Zoning Ordinance, unless County ordinances are amended in the future to allow such conversion.
10. If archaeological resources or human skeletal remains are discovered during construction, work shall immediately stop, and the County Coroner’s Office notified. Upon determination that the remains are Native American, no further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs, in accordance with state law and Chapter B6-18 of the County Ordinance Code.

Environmental Health

11. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154, and prohibited between the hours of 7:00 pm and 7:00 am on weekdays and Saturdays, or at any time on Sundays, for the duration of construction.

Roads and Airports

12. All work in the County right-of-way shall comply with the approved scope of work under Encroachment Permit No. ENC20-0959.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO PERMIT ISSUANCE

Planning

13. **Prior to the issuance of any permits**, the applicant shall pay all reasonable costs associated with the work by the Department of Planning and Development.
14. **Prior to the issuance of a building permit**, and pursuant to Section 5.20.125 of the County Zoning Ordinance, record a "Notice of Permit and Conditions" with the County Office of Clerk-Recorder, to ensure that successor property owners are made aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit application**.
15. The removal of any on this property is subject to the Tree Preservation and Removal Ordinance (Division C16 of the County Code of Ordinances). Pursuant Section C16-3(a), any tree on this property outside of the right-of-way having a main trunk or stem measuring 37.7 inches or greater in circumference (12 inches or more in diameter) at a height of 4 feet, 6 inches above ground level (or in the case of multi-trunk trees, a total of 75.5 inches in circumference or 24 inches or more in diameter) shall submit a Tree Removal Permit application for approval to the Planning Office, or, an applicable Encroachment Permit to Roads and Airports for trees located within the right-of-way, prior to removal of a tree. Trees that pose significant risk and hazard to life or property are subject to removal by the provisions of Section C16-4(a) and C16-4(b) of the County Code of Ordinances. If so, the applicant shall contact the County in advance of the removal to document the hazard.
16. All trees to be retained shall be protected with chain link fencing or other rigid fence enclosure acceptable by the Planning Office. For this project, the trees to be protected are the two oak trees directly adjacent to the project driveway identified as trees No. 1 & No. 2 in the submitted Arborist Report Tree Protection Plan for the project, prepared by Bo Firestone Trees & Gardens dated May 30, 2024. Tree protection fencing shall be a minimum of 5 feet high, mounted on 2-inch diameter, galvanized iron posts, and driven into the ground to a depth of at least 2 feet at no more than 10-foot spacing. All tree protection measures shall be incorporated into final grading, construction, and landscape plans, and adhered to during construction. Tree protection fencing shall be erected before any demolition, grading, or construction begins, and remain in-place until final inspection.
17. A warning sign shall be prominently displayed on each tree protective fence. A copy of the warning sign may be found here:
https://stgenpln.blob.core.windows.net/document/Tree_Warning_Sign.pdf
18. Bare ground within fifteen feet of a tree's dripline in areas that workers and vehicles will be traveling over shall have a material applied over the ground to disperse the load. This may be achieved by applying a 6-to-12-inch layer of wood chip mulch to the area. Mulch in

excess of four inches shall be removed after work is completed. Alternatively, the contractor-of-record may place ¾-inch-thick plywood or road mats over a 4-inch-thick layer of mulch.

19. Mulch at a depth of 4-to-6-inches shall be placed within the tree protection zone to further protect the trees. The base of the tree shall not be covered.
20. If compaction of the trees' root system may result in possible suffocation of the root system, a soil aeration system shall be installed as designed and specified by the project arborist-of-record.
21. Paving, hardscape, and other soil compacting material that encroaches within the tree protection zone shall include an aeration system designed by the project arborist-of-record.
22. Trees shall only be pruned as necessary to provide minimum clearance for proposed structures and workers, vehicles, and machines, while maintaining a natural appearance. Any large, dead branches shall be pruned for the safety of people working on the site. Pruning shall be specified in writing adhering to ANSI A300 pruning standards and performed according to best management practices endorsed by the International Society of Arboriculture. Any pruning or trimming of branches shall be supervised by an ISA-certified arborist.
23. The project arborist-of-record shall inspect the tree protection area after tree protection fencing is installed, but before the start of construction, to document that protection measures are sufficiently in-place.

Roads and Airports

24. County Trees: Tree No. 1 identified in the submitted Arborist Report Tree Protection Plan for the project, prepared by Bo Firestone Trees & Gardens and dated May 30, 2024, is a tree located within the County right-of-way, which is subject to the County Department of Roads and Airports jurisdiction, and requires an encroachment permit for any cutting or alteration of the tree. The request for an encroachment permit from the Department of Roads and Airports shall be submitted not less than 60 days prior to the planned cutting or alteration of the tree.
25. Submit and obtain a valid encroachment permit from the Department of Roads and Airports to complete construction with within the County right-of-way (West Road).

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO FINAL INSPECTION

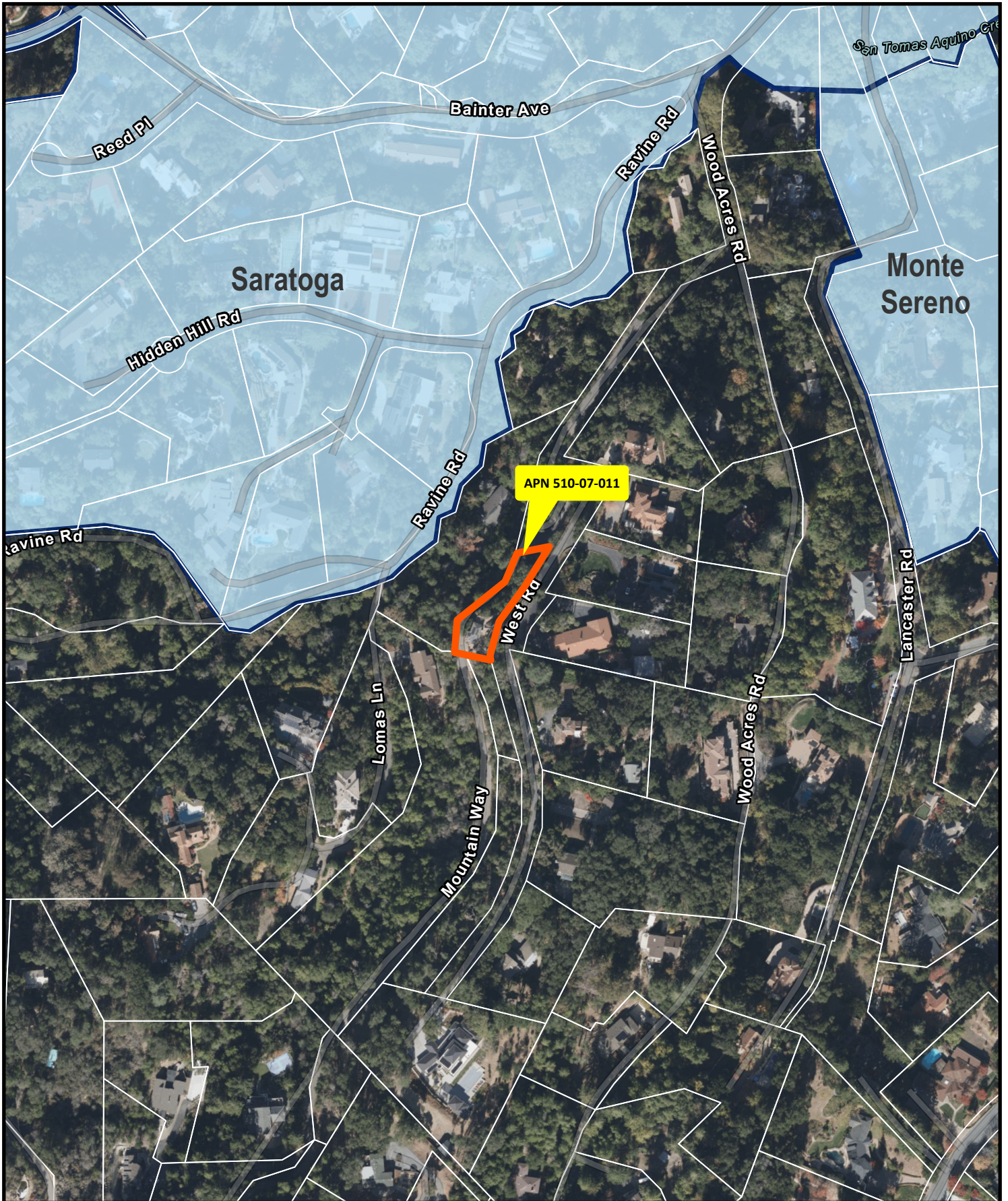
Planning

26. The project arborist-of-record shall monitor construction activity to ensure that the tree protection measures are implemented, and shall submit a construction observation letter to

the Planning Office **prior to final inspection**, summarizing the results of monitoring activity and resulting health of trees designated for preservation on-site. Arborist monitoring may occur before work begins to inspect compliance with the tree protection zone, before trenching or excavation, soon after excavation, and during root pruning.

ATTACHMENT C

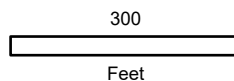
Location & Vicinity Map



APN 510-07-011

Location and Vicinity Map

Record No. PLN22-019
APN 510-07-011
15911 West Road, Los Gatos



ATTACHMENT D

Proposed Plans

PROJECT DATA:

ASSESSOR'S PARCEL NUMBER: 510-07-011
 PROJECT TYPE: NEW GARAGE
 PROJECT LOCATION: 15911 WEST ROAD
 LOS GATOS, CA 95030
 YEAR BUILT: 1926

PLANNING CODE:
 ZONING: RHS-d1 URBAN HILLSIDE RESIDENTIAL

SETBACKS:
 FRONT: 30 FT
 SIDE: 8 FT CH 4.20.110.C.1
 REAR: 25 FT

HEIGHT:
 MAX 12 FT
 PROPOSED 12 FT

PARKING:
 TWO PARKING SPACES: 8.5 FT X 18 FT
 ONE OF WHICH SHALL BE COVERED

BUILDING CODE:
 OCCUPANCY GROUP: (E) MAIN RESIDENCE (N) GARAGE
 CONSTRUCTION TYPE: R3 U
 NUMBER OF STORIES: TWO ONE
 FIRE PROTECTION: N/A N/A



AERIAL VIEW

VIEW FROM ROAD

DRAWING LIST:

- ARCHITECTURAL DRAWINGS**
 A-0 COVER SHEET, PROJECT DATA, PROPOSED SITE PLAN
 A-1 PROPOSED GARAGE PLAN, RCP w/ ELECTRICAL & LIGHTING LAYOUT
 A-2 EXISTING PLAN, DEMOLITION PLAN
 A-3 ELEVATIONS
 A-4 SECTION
- CIVIL DRAWINGS**
 TS-1 BOUNDARY & TOPOGRAPHIC MAP
 ROS RECORD OF SURVEY
 C1 GRADING AND DRAINAGE PLAN
 C2 EARTHWORK QUANTITIES

PROJECT CONTACT:

OWNER: RANDALL MEYER
 15911 WEST ROAD
 LOS GATOS, CA 95030

DESIGNER: VALLEY HOME BUILDERS
 3466 EDWARD AVENUE
 SANTA CLARA, CA 95054
 T: (408) 248-8000

SURVEYOR & CIVIL ENGINEER: OSUNA ENGINEERING INC.
 117 BERNAL ROAD #70-336
 SAN JOSE, CA 95119
 T: (408) 772-4381

ARBORIST: BO FIRESTONE TREES & GARDENS
 2150 LACEY DRIVE
 MILPITAS, CA 95035
 T: (408) 497-7158



DESIGN
 BUILD
 REMODEL

3466 EDWARD AVENUE
 SANTA CLARA, CA 95054
 PHONE: (408) 248-8000
 FAX: (408) 625-7652
 VALLEYHOMEBUILDERS.COM



**MEYER
 RESIDENCE
 NEW GARAGE**

15911 WEST ROAD
 LOS GATOS, CA 95030

AREA CALCULATIONS:

GROSS FLOOR AREAS (SF)	EXISTING	DELTA	SUM
(E) MAIN RESIDENCE: (738 SF UPPER + 347 SF LOWER)	1,085	0	1,085
(E) SHED:	124	- 124	0
(N) GARAGE:	0	+ 500	500
SUM:			1,585

LOT AREA
 NET LOT AREA: 7,017 SF
 GROSS LOT AREA: 10,910 SF

REAR YARD AREA
 ALLOWABLE REAR YARD COVERAGE: 2,010 SF
 (30% REAR YARD)
 PROPOSED REAR YARD COVERAGE: 436 SF

SHEET NOTES

- (E) CMU RETAINING WALL
- (E) TIEBACK CMU WALL
- (E) TIEBACK P.T. WOOD WALL
- WHERE (N) DRIVEWAY MEETS (N) GARAGE DOOR GRADE CHANGES FROM (E) PARKING PAD (+115.1') TO (N) GARAGE PAD (+116.1')
- (E) CONCRETE PAD
- THE EXISTING SINGLE-FAMILY RESIDENCE IS NOT EQUIPPED WITH FIRE SPRINKLERS.
- (N) DRIVEWAY FOR THE GARAGE UNDER ENCROACHMENT PERMIT ENC20-0959
- 1-HR FIRE RESISTANCE RATING AT THIS WALL.

LEGEND

- E** (E) ELECTRIC METER
- G** (E) GAS METER
- W** (E) WATER VALVE

VICINITY MAP:

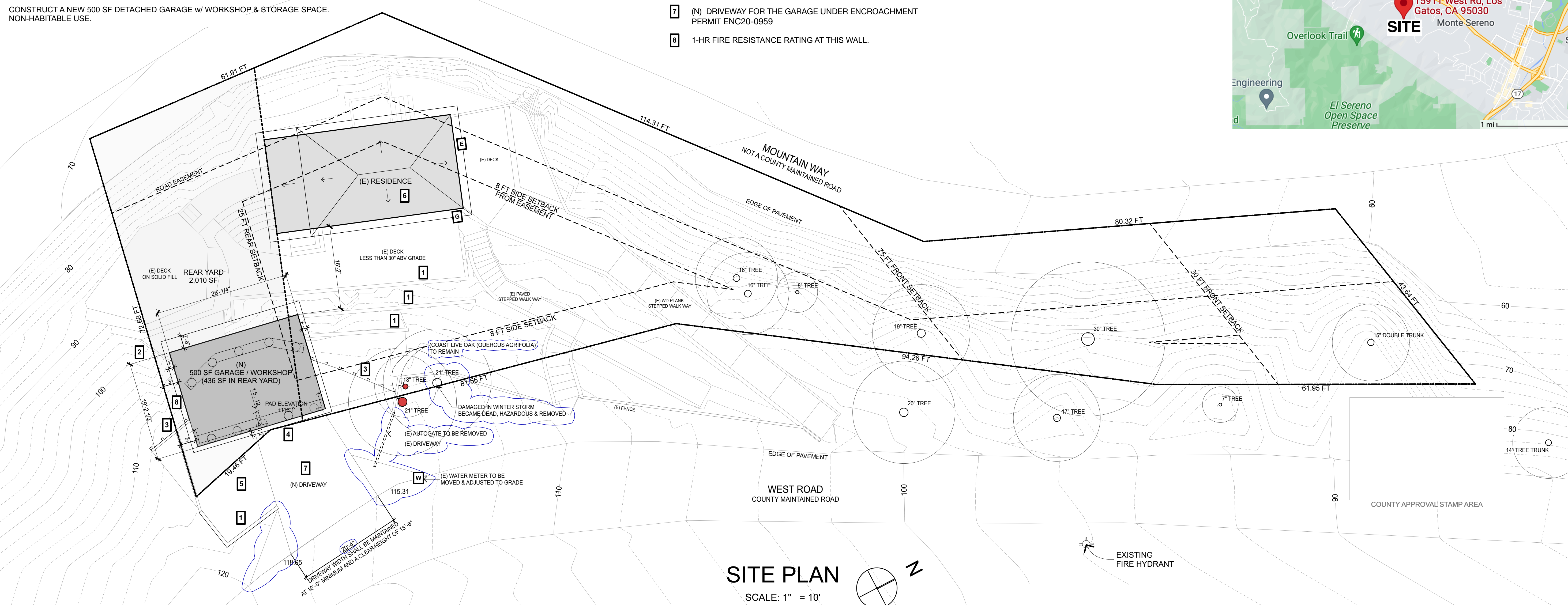


CODE EDITIONS:

- A. CALIFORNIA RESIDENTIAL 2019 EDITION
- B. CALIFORNIA BUILDING 2019 EDITION
- C. CALIFORNIA MECHANICAL 2019 EDITION
- D. CALIFORNIA PLUMBING 2019 EDITION
- E. CALIFORNIA ELECTRICAL 2019 EDITION
- F. CALIFORNIA ENERGY 2019 EDITION
- G. CALIFORNIA FIRE 2019 EDITION
- H. CALIFORNIA GREEN BUILDING STANDARDS 2019 EDITION
- I. ANY OTHER APPLICABLE LOCAL & STATE LAWS & REGULATIONS

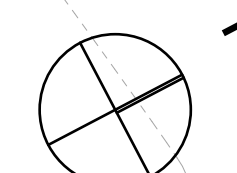
SCOPE OF WORK:

CONSTRUCT A NEW 500 SF DETACHED GARAGE w/ WORKSHOP & STORAGE SPACE. NON-HABITABLE USE.



SITE PLAN

SCALE: 1" = 10'



EXISTING FIRE HYDRANT

MARK	DATE	DESCRIPTION
	05/30/24	RESUBMITTAL
	04/12/24	RESUBMITTAL
	01/09/23	RESUBMITTAL
	01/10/22	SPECIAL PERMIT APPLICATION

PROJECT NO: #P1n
 DATE: 01/10/22
 DRAWN BY: #CAD Technician
 COPYRIGHT: Full Name

SHEET TITLE
**PROJECT DATA,
 PROPOSED SITE
 & ROOF PLAN**

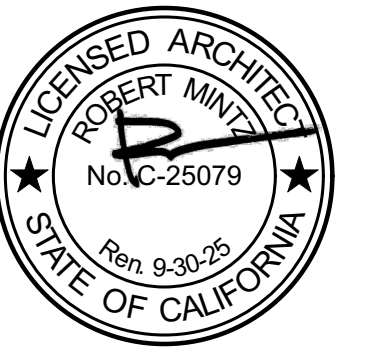
A-0

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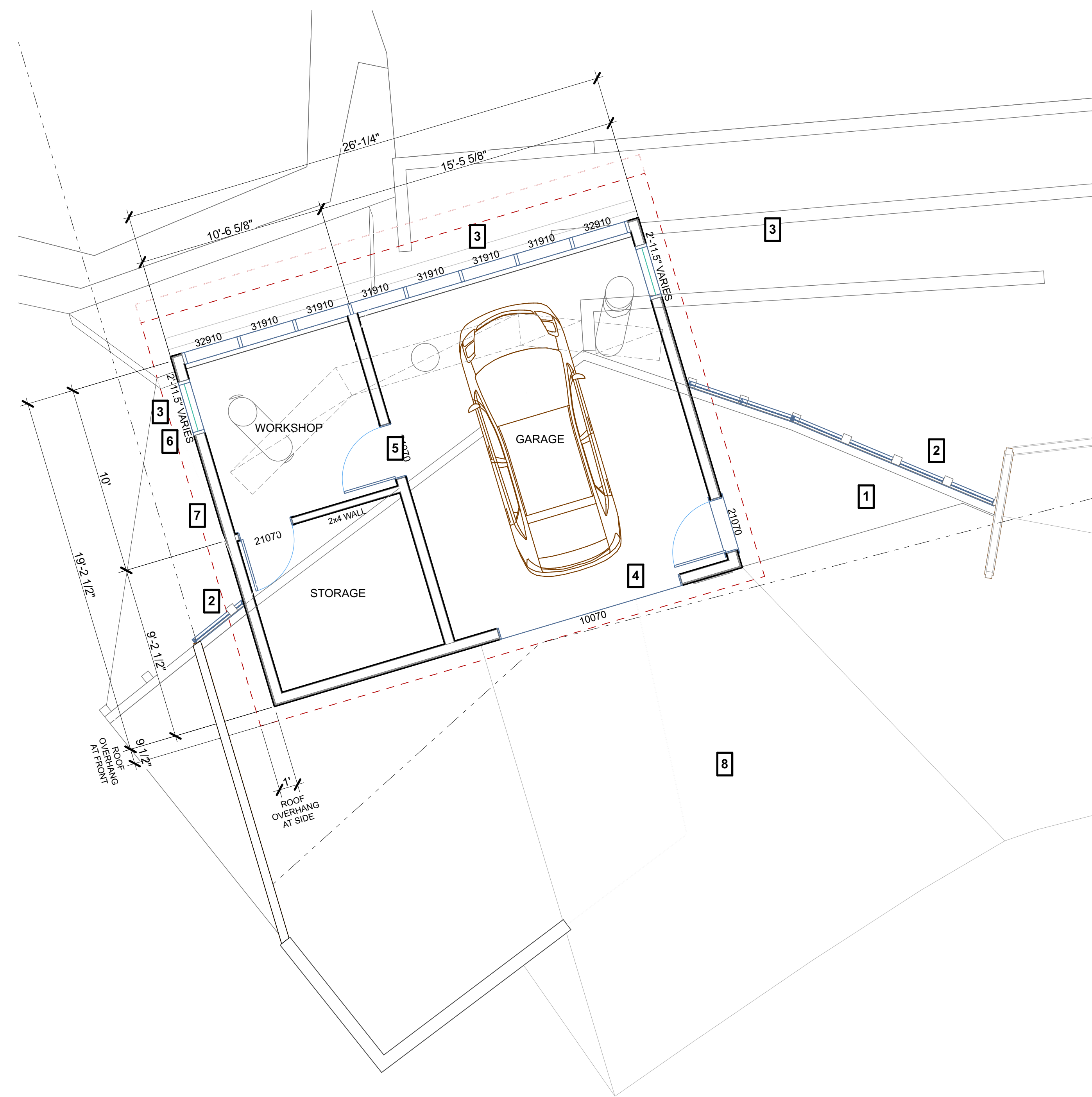
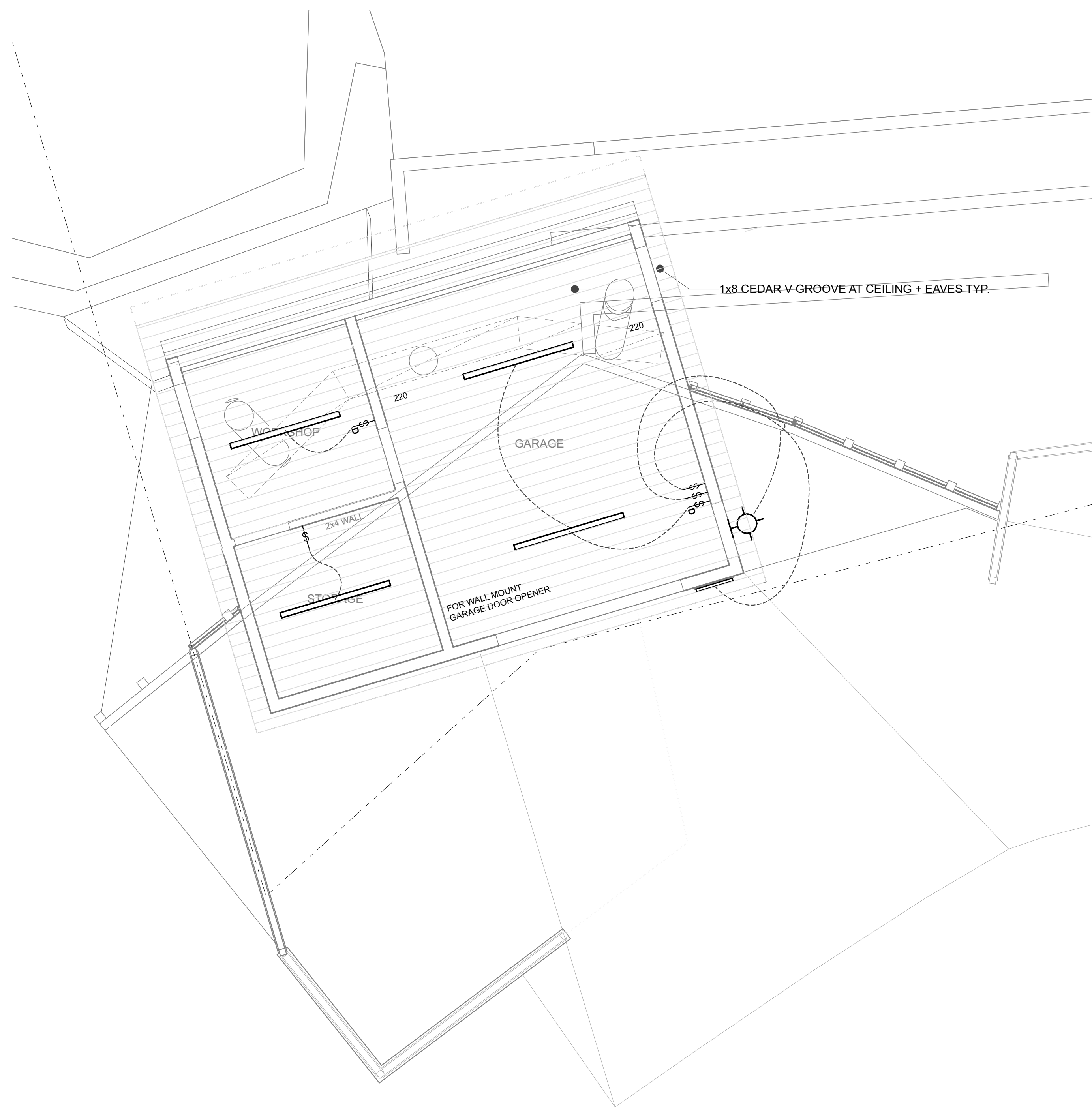
DESIGN
BUILD
REMODEL

3466 EDWARD AVENUE
SANTA CLARA, CA 95054
PHONE: (408) 248-8000
FAX: (408) 625-7652
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**MEYER
RESIDENCE
NEW GARAGE**

15911 WEST ROAD
LOS GATOS, CA 95030



SYMBOLS

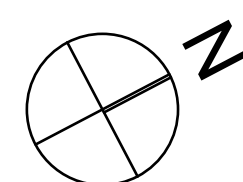
- | | | | |
|--|---|--|--|
| | 1. CEILING HUNG INDIRECT / DIRECT LED | | SWITCH |
| | 2. WALL MOUNTED w/
PHOTOCONTROL & AUTOMATIC TIME SWITCH CONTROL | | SWITCH w/DIMMER |
| | 3. ILLUMINATED ADDRESS w/
PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL | | 120V GFCI OUTLET. 12" A.F.F. U.O.N. |
| | | | 220 GFCI OUTLET. 12" A.F.F. U.O.N.
FOR CAR CHARGING STATION |
- 220
- ALL LIGHTING SHALL BE HIGH EFFICACY

LIGHT FIXTURE LIST

- AMERLUX: LINEA 1.5" MINI DIRECT/INDIRECT W/ REMOTE DRIVER, PL - PERFORMANCE LENS, MINI CABLE KIT: MASW10, CIRCUITING UP/DOWN SWITCH SEPARATELY, 20 WATTS UP, 10 WATTS DOWN, COLOR TEMP: 4000K-83 CRI, FINISH: HIGH REFLECTANCE MATTE WHITE, 120 VOLTAGE, INDIVIDUAL FIXTURE LENGTH 6 FT.
- TECH LIGHTING: PITCH LED OUTDOOR SINGLE WALL LIGHT. 700WSPIT BLACK FINISH LED 80 CRI, 3000K 120V, 26.1 WATTS
- MODERN LIGHTS: LUMA 12 WATT LED BACKLIT 7" NUMBERS. BLACK FINISH

RCP w/ ELECTRICAL & LIGHTING LAYOUT

SCALE: 1/4" = 1'-0"



KEYED NOTES

- LANDING: RISER MAXIMUM 7-3/4". RUN MINIMUM 36" 36" MIN WIDTH
- GUARDRAIL: TOP OF GUARDRAIL +42" ABV FIN FL. 4" MAX SPACING BETWEEN HORIZONTAL BARS
- ANODIZED ALUMINUM STOREFRONT WINDOW w/ TEMPERED GLAZING. SEE ELEVATION FOR OPERATION
- OVERHEAD ANODIZED ALUMINUM GARAGE DOOR
- 20 MINUTE FIRE RATED DOOR. SELF CLOSING AND SELF LATCHING
- 45 MINUTE FIRE PROTECTION RATED WINDOW ASSEMBLY w/OH-45 FIRE RATED GLAZING MARKINGS THIS WINDOW.
- 1-HR FIRE RATED THIS WALL
- (N) DRIVEWAY APPROACH UNDER SEPARATE ENCROACHMENT PERMIT

LEGEND

- (N) INTERIOR WALLS: 2X6 STUD WALLS AT 16" O.C. w/ 5/8" TYPE 'X' GYP BD EACH SIDE. U.O.N.
- (N) EXTERIOR WALLS: 2X6 STUD WALLS AT 16" O.C. w/ JAMES HARDIE 1x8 ARTISAN SMOOTH FINISH FIBER CEMENT 5/8" LAP SIDING w/ W.P. MEMBRANE o/ 1/2" PLYWOOD. 5/8" TYPE 'X' GYP. BD. AT INTERIOR SIDE.
AT 1-HR WALL: PROVIDE 5/8" TYPE 'X' GYP BD UNDER W.P. MEMBRANE & PROVIDE SOLID 2x FIREBLOCKING FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.

GENERAL NOTES

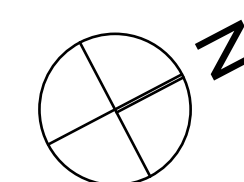
- SEE EXISTING PLAN / SHT A-2 FOR NOTES NOT SHOWN.



COUNTY APPROVAL STAMP AREA

PROPOSED GARAGE PLAN

SCALE: 1/4" = 1'-0"



MARK	DATE	DESCRIPTION
	05/30/24	RESUBMITTAL
	04/12/24	RESUBMITTAL
	01/09/23	RESUBMITTAL
	01/10/22	SPECIAL PERMIT APPLICATION

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SHEET TITLE
**PROPOSED
 GARAGE PLAN
 RCP w/ ELEC &
 LTG LAYOUT**

A-1

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DEMOLITION SHEET NOTES

- 1 REMOVE PORTION OF CMU RETAINING WALL SHOWN DASHED
- 2 SAWCUT & REMOVE PORTION OF PARKING PAD SHOWN DASHED
- 3 SAWCUT & REMOVE PORTION OF CONCRETE DRAINAGE APRON SHOWN DASHED
- 4 REMOVE FENCE SHOWN DASHED
- 5 REMOVE AUTOGATE
- 6 REMOVE SHED
- 7 REMOVE PORTION OF CMU WALL SHOWN DASHED

LEGEND

--- ITEM TO REMOVE SHOWN RED & DASHED

EROSION CONTROL GENERAL NOTES

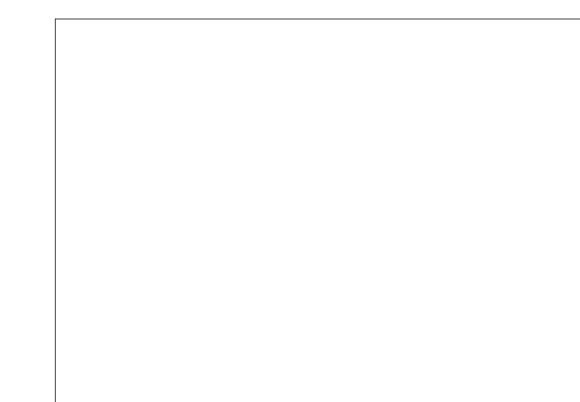
- 8 ALL EROSION CONTROL MEASURES SHALL BE ONSITE AND READILY ACCESSIBLE PRIOR TO THE START OF CONSTRUCTION.
- 9 SWEEP OR SCRAPE UP SOILS TRACKED ONTO THE ROAD AT THE END OF EACH DAY. DO NOT HOSE INTO THE STREET, GUTTER, OR STORM DRAIN.
- 10 REVEGETATE DISTURBED AREAS. EXPOSED BARE DIRT SHALL BE COVERED WITH MULCH, JUT NETTING OR OTHER EROSION CONTROL BLANKET.
- 11 REFER TO SHT. C-5 FOR ADDITIONAL INFORMATION.
- 12 THE SITE SHALL BE MONITORED BY THE CONTRACTOR AFTER RAIN EVENT TO VERIFY EROSION CONTROL MEASURES ARE FUNCTIONING.

EROSION CONTROL SHEET NOTES

- 13 EDGE OF PAVEMENT.
- 14 MATERIAL STORAGE.
- 15 LOCATION OF STRAW ROLLS TO CONTROL EROSION. REF DET 1 / C-4.2.

EXISTING PLAN SHEET NOTES

- 1 (E) CMU RETAINING WALL
- 2 (E) TIEBACK CMU WALL
- 3 (E) TIEBACK P.T. WOOD WALL
- 4 (E) CONCRETE DRAINAGE APRON
- 5 (E) CONCRETE PARKING PAD
- 6 (E) ASPHALT PARKING PAD
- 7 (E) FENCE
- 8 (E) AUTOGATE
- 9 (E) SHED
- 10 (E) CMU WALL



DEMOLITION & EROSION CONTROL PLAN

SCALE: 1/4" = 1'-0"

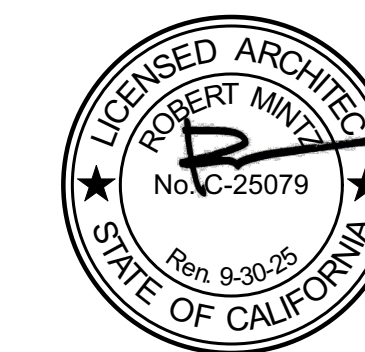
EXISTING PLAN

SCALE: 1/4" = 1'-0"



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**MEYER
RESIDENCE
NEW GARAGE**

15911 WEST ROAD
LOS GATOS, CA 95030

MARK	DATE	DESCRIPTION
	05/30/24	RESUBMITTAL
	04/12/24	RESUBMITTAL
	01/09/23	RESUBMITTAL
	01/10/22	SPECIAL PERMIT APPLICATION

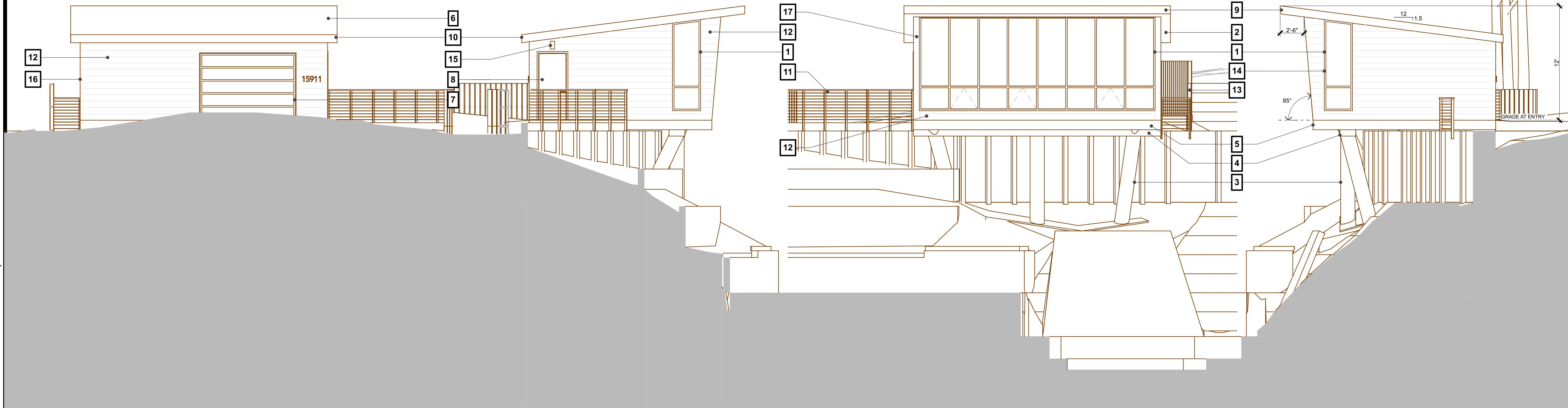
PROJECT NO: #P1n
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SHEET TITLE

**EXISTING PLAN
DEMOLITION &
EROSION
CONTROL PLAN**

A-2

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EAST

NORTH

WEST

SOUTH

PROPOSED ELEVATIONS

SCALE: 3/16" = 1' - 0"

EXTERIOR MATERIAL LIST

- 1** ANODIZED ALUMINUM FRAMED WINDOW w/ TEMPERED GLAZING. TYPICAL U.O.N.
- 2** 1x CEDAR AT UNDERSIDE OF ROOF EAVES & OVERHANGS. TYPICAL.
- 3** CONCRETE COLUMN
- 4** CONCRETE TIE-BEAM
- 5** CONCRETE SLAB
- 6** CLASS 'A' ASPHALT SHINGLE ROOF.

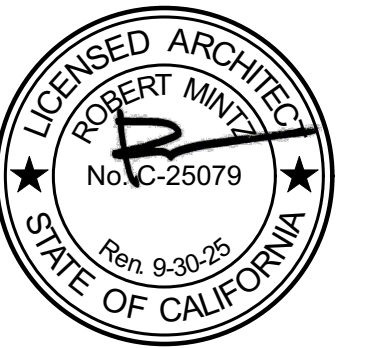
- 7** OVERHEAD ANODIZED ALUMINUM GARAGE DOOR
- 8** 20 MINUTE FIRE RATED DOOR w/ANODIZED ALUMINUM FINISH.
- 9** 2x WOOD FASCIA. PAINTED
- 10** 2x WOOD FASCIA WITH G.S.M. GUTTER + DOWNSPOUT. PAINTED
- 11** PAINTED STEEL GUARDRAILS +42" HIGH w/CABLE RAILS + HDW CAP.
- 12** JAMES HARDIE 1x8 ARTISAN SMOOTH FINISH FIBER CEMENT 5/8" LAP SIDING. PAINT. COLOR LIGHT REFLECTIVITY VALUE SHALL NOT EXCEED 45%.

- 13** WD. FENCE. MATCH EXISTING
- 14** 45 MINUTE FIRE PROTECTION RATED WINDOW ASSEMBLY w/OH-45 FIRE RATED GLAZING MARKINGS AT THIS WINDOW. WINDOW AREA (27.76.7 SF) = 14.82% OF WALL AREA (187.34 SF)
- 15** EXTERIOR LIGHT FIXTURE
- 16** MITERED CORNER AT NON-TILTED WALL. TYP.
- 17** 1x HARDIE-TRIM AT TILTED WALL END. TYP.



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**MEYER
RESIDENCE
NEW GARAGE**

15911 WEST ROAD
LOS GATOS, CA 95030

MARK	DATE	DESCRIPTION
	05/30/24	RESUBMITTAL
	04/12/24	RESUBMITTAL
	01/09/23	RESUBMITTAL
	01/10/22	SPECIAL PERMIT APPLICATION

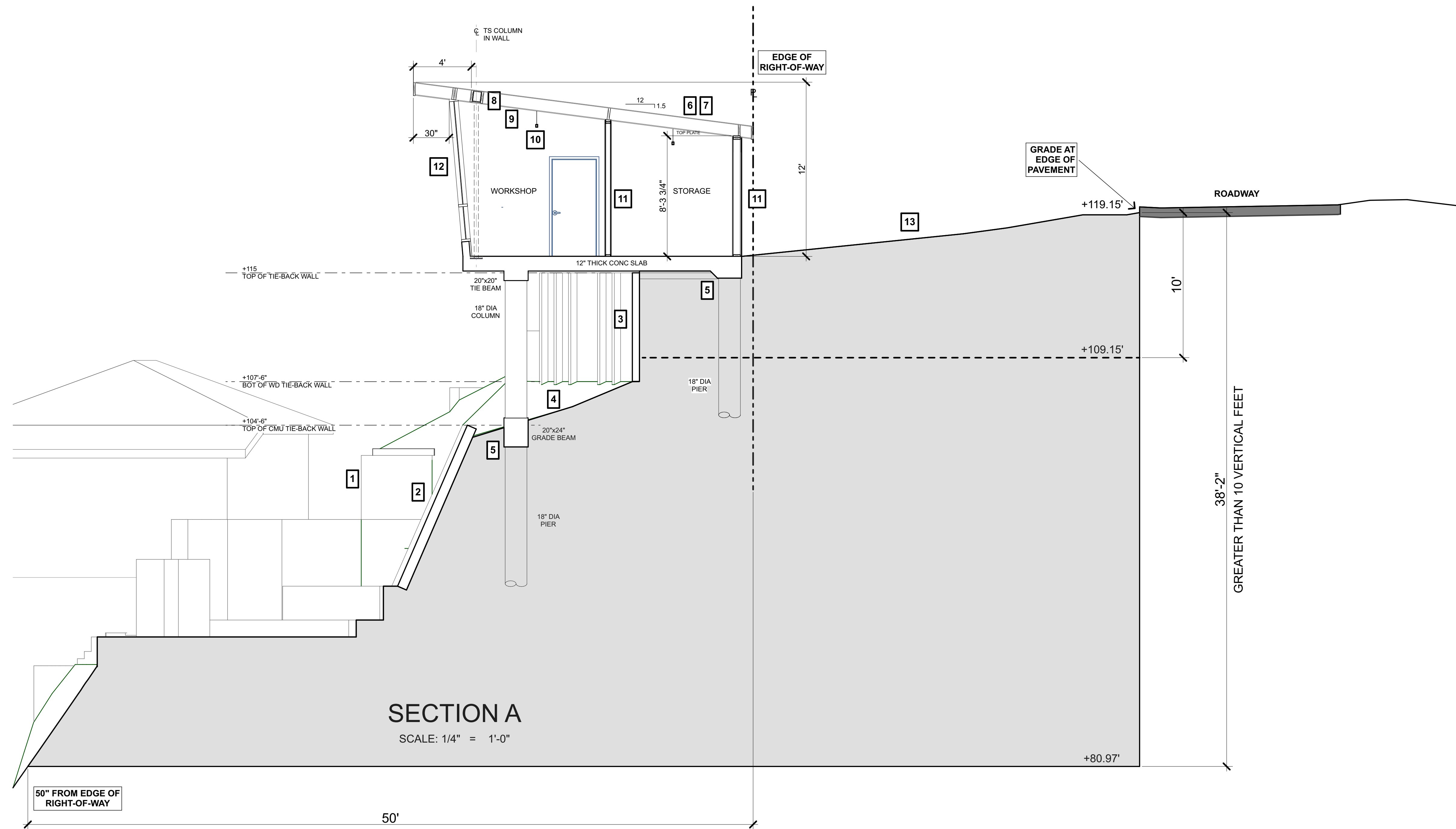
PROJECT NO: #P1n
DATE: 01/10/22
DRAWN BY: #CAD Technician
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SHEET TITLE

ELEVATIONS

A-3

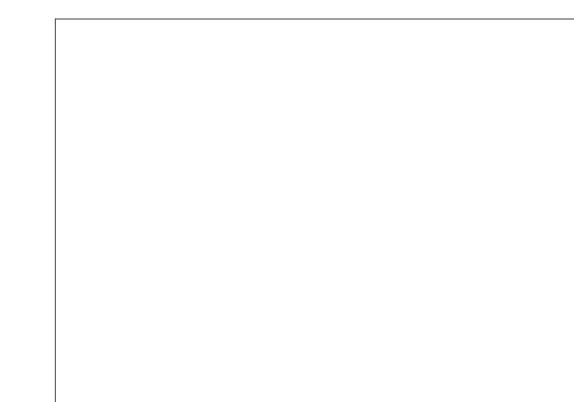
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SECTION A
SCALE: 1/4" = 1'-0"

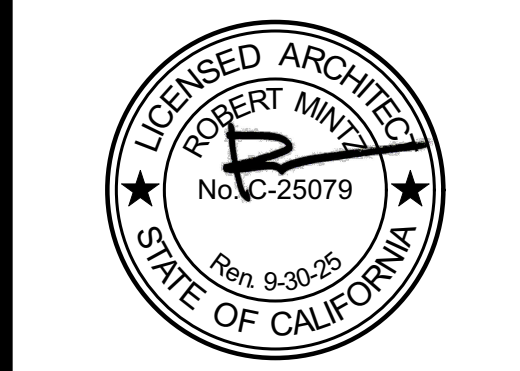
SHEET NOTES

- 1** (E) CMU RETAINING WALL
- 2** (E) TIEBACK CMU WALL
- 3** (E) TIEBACK P.T. WOOD WALL
- 4** (E) CONCRETE DRAINAGE APRON
- 5** TRENCH DOWN ALONG GRADE BEAM PATH TO LOCATE TIE-BACK LOCATIONS BEFORE DRILLING. ADJUST LOCATION OF PIERS TO AVOID CONTACTING (E) TIEBACKS. DRILLING OPERATIONS TO BE OBSERVED & APPROVED BY GEOTECHNICAL ENGINEER.
- 6** CLASS 'A' MODIFIED BITUMEN ROOFING α 1/2" PLYWD. TYP.
- 7** PROVIDE ONE LAYER OF 72LB MINERAL SURFACED NON PERFORATED CAP SHEET COMPLYING WITH ASTM D3909 INSTALLED OVER THE COMBUSTIBLE DECKING FOR MINIMUM OF 36" FROM EAVES.
- 8** AIR-IMPERMEABLE INSULATION AT RAFTER CAVITIES
- 9** 1x8 CEDAR V-GROOVE AT CEILING EAVES.
- 10** UP/ DOWN LED STRIP
- 11** 2x STUD WALL. SEE PLAN FOR ASSEMBLY
- 12** ANODIZED ALUMINUM STOREFRONT WINDOW w/ TEMPERED GLAZING
- 13** (N) DRIVEWAY APPROACH BEYOND UNDER SEPARATE ENCROACHMENT PERMIT ENC20-0959



DESIGN
BUILD
REMODEL

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MEYER RESIDENCE
NEW GARAGE

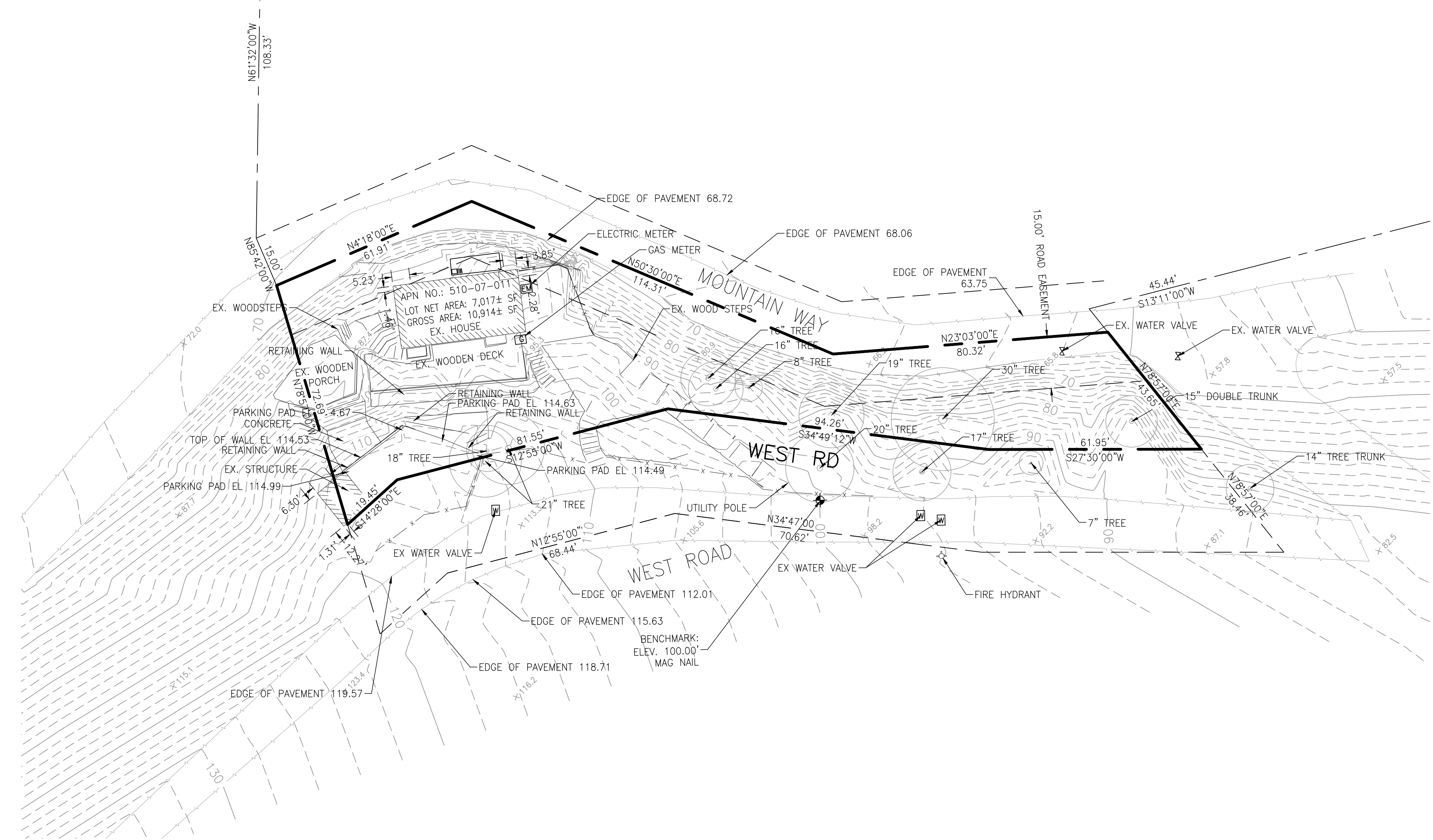
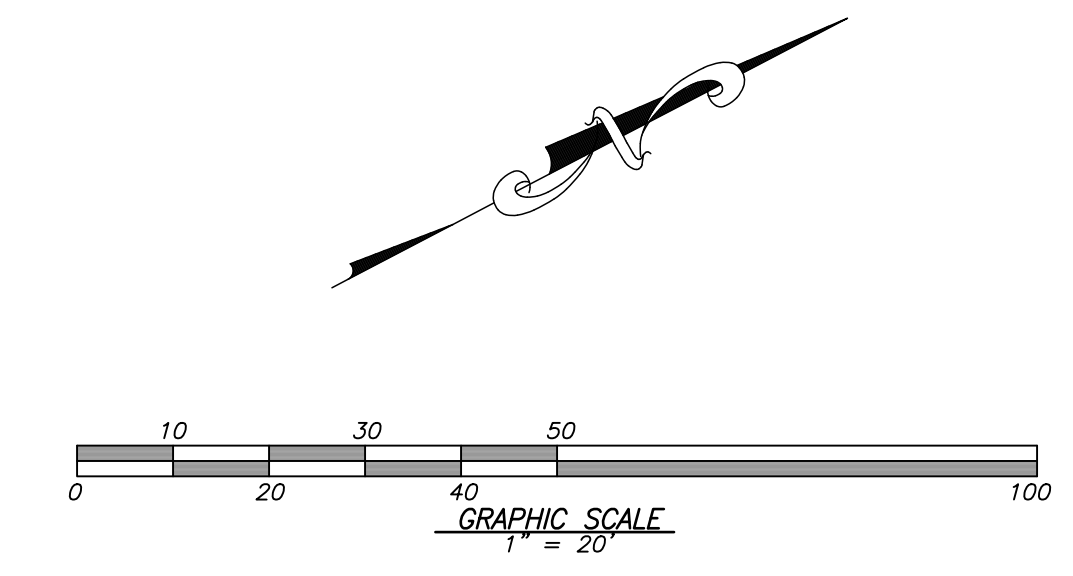
15911 WEST ROAD
LOS GATOS, CA 95030

MARK	DATE	DESCRIPTION
	05/30/24	RESUBMITTAL
	04/12/24	RESUBMITTAL
	01/09/23	RESUBMITTAL
	01/10/22	SPECIAL PERMIT APPLICATION

PROJECT NO: #P1n
DATE: 01/10/22
DRAWN BY: #CAD Technician
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SHEET TITLE
SECTION

LEGEND	
---	EXISTING CONTOUR LINE
---	NATURAL GRADE CONTOUR LINE
⊙	FOUND CITY MONUMENT BOX, OR AS NOTED
---	BOUNDARY OF PROPERTY SURVEYED
()	RECORD INFORMATION
---	CENTERLINE
△	CURB INLET
---	CURB LINE
---	DRIVEWAY APRON
○	ELECTROLIER
-x-x-x-	FENCE
⊕	FIRE HYDRANT
■	FLAT GRATE INLET
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
SS	SANITARY SEWER LINE
○	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER CLEANOUT
⊖	SIGN
SD	STORM DRAIN LINE
⊙	STORM DRAIN MANHOLE
□	UTILITY BOX
⊖	UTILITY POLE
W	WATER LINE
⊕	WATER METER
⊕	WATER VALVE
⊕	ELECTRIC METER
⊕	WATER HEATER
⊕	GAS



REFERENCES:
R1 TRACT NO. 2543 115-M-46&47

BENCH MARK
DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE SOUTHERLY EASTERLY CORNER OF LOT AS SHOWN: ELEV.: 100.00'

ABBREVIATIONS	
APN	ASSESSOR'S PARCEL NUMBER
BM	BENCH MARK
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
FL	FLOW LINE ELEVATION
IP	IRON PIPE
L	CURVE LENGTH
R#	REFERENCE DOCUMENT
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT

- NOTES:**
- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
 - THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
 - TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
 - THIS MAPS REPRESENTS TOPOGRAPHY OF THE SURFACE FEATURES ONLY.
 - UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
 - BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
 - FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
 - A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.



DATE	REVISIONS	DATE	SCALE	DRAWN BY	CHECKED BY
5-07-20	AS SHOWN			O.OSUNA	O.O.

PRELIMINARY BOUNDARY AND TOPOGRAPHIC MAP
LANDS OF MEYER
15911 WEST ROAD
LOS GATOS, CALIFORNIA

JOB NO.
1653

SHEET
1
OF
1

BASIS OF BEARINGS

THE BEARING NORTH 78°49'45" WEST OF THE MONUMENT LINE OF THE SOUTHERLY PROPERTY LINE OF LANDS OF STAVELEY, BC. & M.T. AS SHOWN ON THAT RECORD OF SURVEY FILED FOR RECORD IN BOOK 823 OF MAPS PAGE 9, SANTA CLARA COUNTY RECORDS, AND AS FOUND MONUMENTED, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

NOTES:

1. THIS SURVEY IS BEING FILED PER THE MANDATORY FILING PROVISIONS OF SECTION 8762(B) OF THE PROFESSIONAL LAND SURVEYORS' ACT.
2. DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
3. THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.

RECORDER'S STATEMENT

FILED THIS 6 DAY OF February, 2024, AT 3:26 P.M. IN BOOK 959 OF MAPS AT PAGES 50, AT THE REQUEST OF PORFIRIO OSCAR OSUNA.

FILE NO.: 25595160 FEE \$85.00

REGINA ALCOMENDRAS, COUNTY RECORDER

BY: Faith Pacheco
DEPUTY

COUNTY SURVEYOR'S STATEMENT

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS 1 DAY DAY OF FEBRUARY MONTH, 2024.

FEBRUARY

BY: AUGUST HANKS, PLS NO. 9274
COUNTY SURVEYOR

BY: JEREMY KOENIG, PLS NO. 9394
DEPUTY COUNTY SURVEYOR



SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF ROBERT MINTZ IN MARCH, 2023

Porfirio Oscar Osuna 1-30-24
PORFIRIO OSCAR OSUNA, PLS 8921 DATE

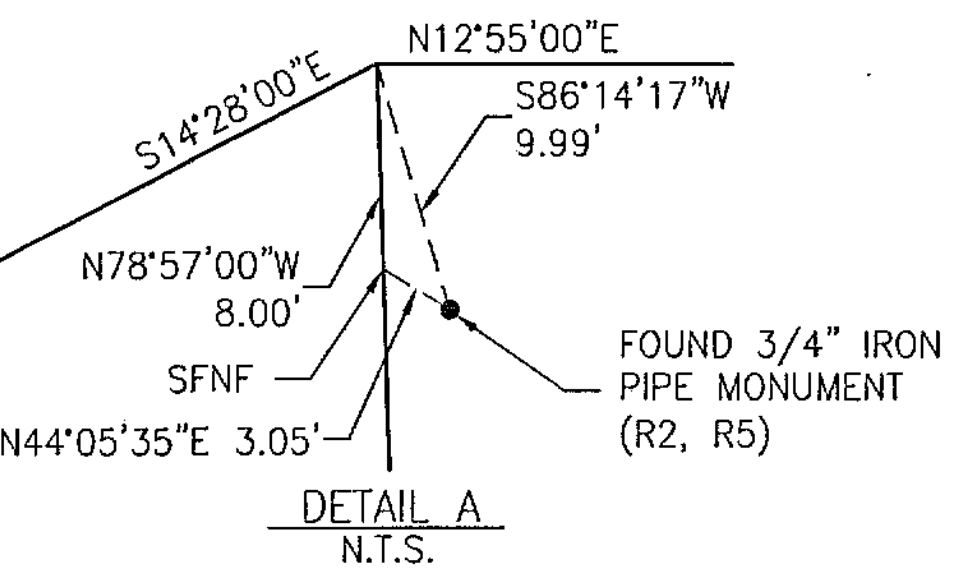
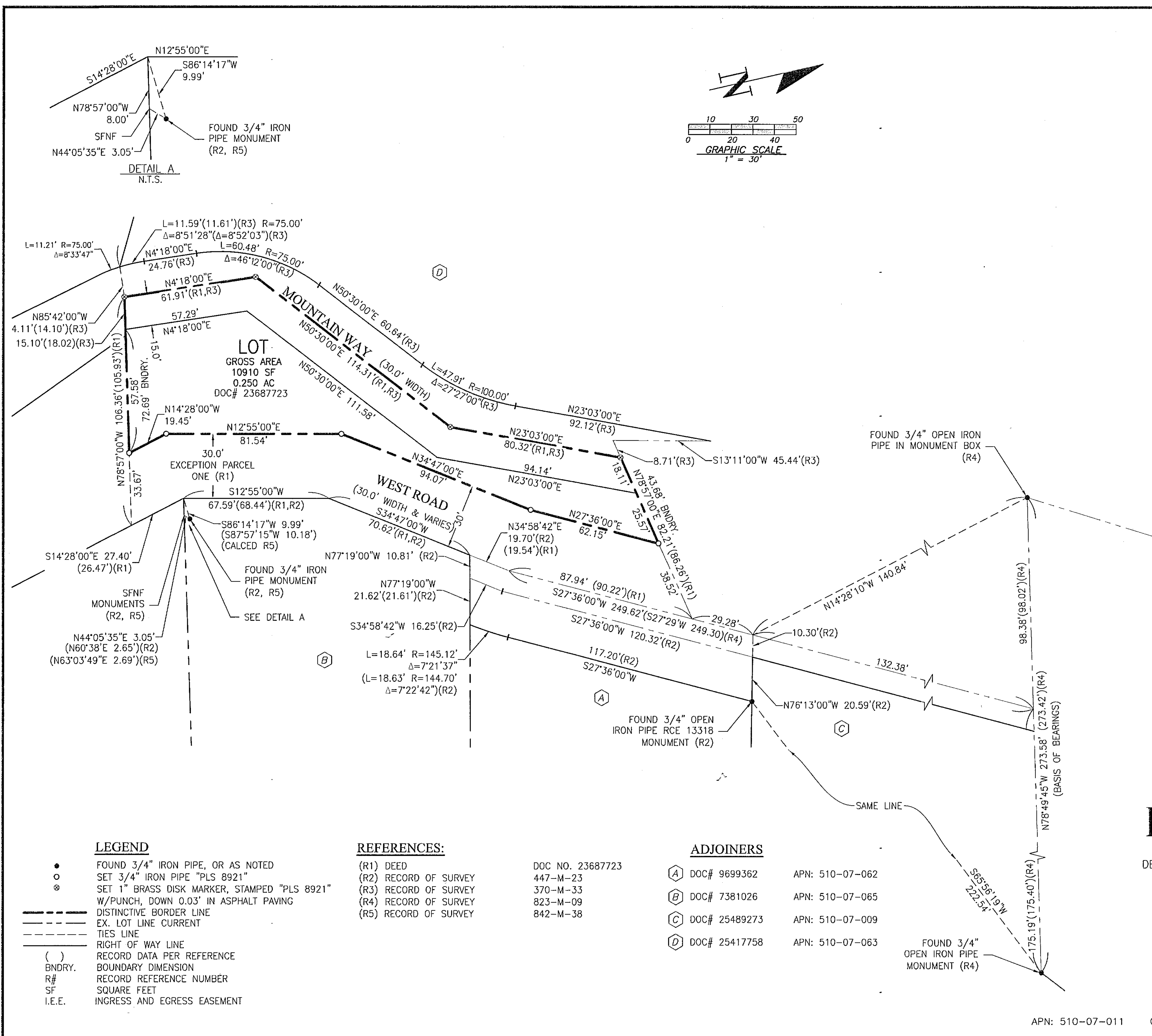
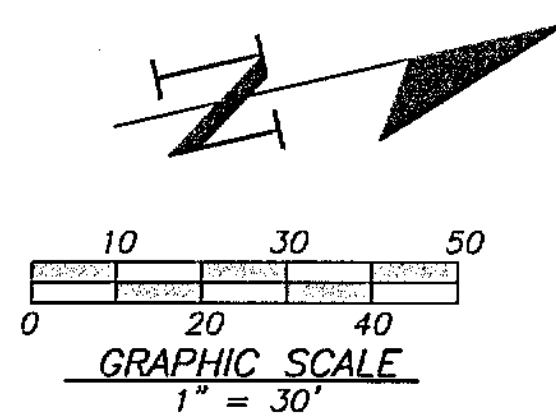


RECORD OF SURVEY

BEING A SURVEY OF THE LANDS OF MEYER AS DESCRIBED IN GRANT DEED RECORDED JUNE 30 2017, AS DOCUMENT NO. 23687723 OFFICIAL RECORDS OF SANTA CLARA COUNTY 15911 WEST ROAD, CITY OF LOS GATOS COUNTY OF SANTA CLARA, CALIFORNIA

OSUNA ENGINEERING INC.

A CALIFORNIA CORPORATION
CONSULTING CIVIL ENGINEERS
1949 O'TOOLE WAY, SAN JOSE, CALIFORNIA
JANUARY, 2024



- LEGEND**
- FOUND 3/4" IRON PIPE, OR AS NOTED
 - SET 3/4" IRON PIPE "PLS 8921"
 - ⊙ SET 1" BRASS DISK MARKER, STAMPED "PLS 8921"
 - W/PUNCH, DOWN 0.03" IN ASPHALT PAVING
 - DISTINCTIVE BORDER LINE
 - - - EX. LOT LINE CURRENT
 - - - TIES LINE
 - - - RIGHT OF WAY LINE
 - () RECORD DATA PER REFERENCE
 - BNDRY. BOUNDARY DIMENSION
 - R# RECORD REFERENCE NUMBER
 - SF SQUARE FEET
 - I.E.E. INGRESS AND EGRESS EASEMENT

- REFERENCES:**
- | | |
|-----------------------|------------------|
| (R1) DEED | DOC NO. 23687723 |
| (R2) RECORD OF SURVEY | 447-M-23 |
| (R3) RECORD OF SURVEY | 370-M-33 |
| (R4) RECORD OF SURVEY | 823-M-09 |
| (R5) RECORD OF SURVEY | 842-M-38 |

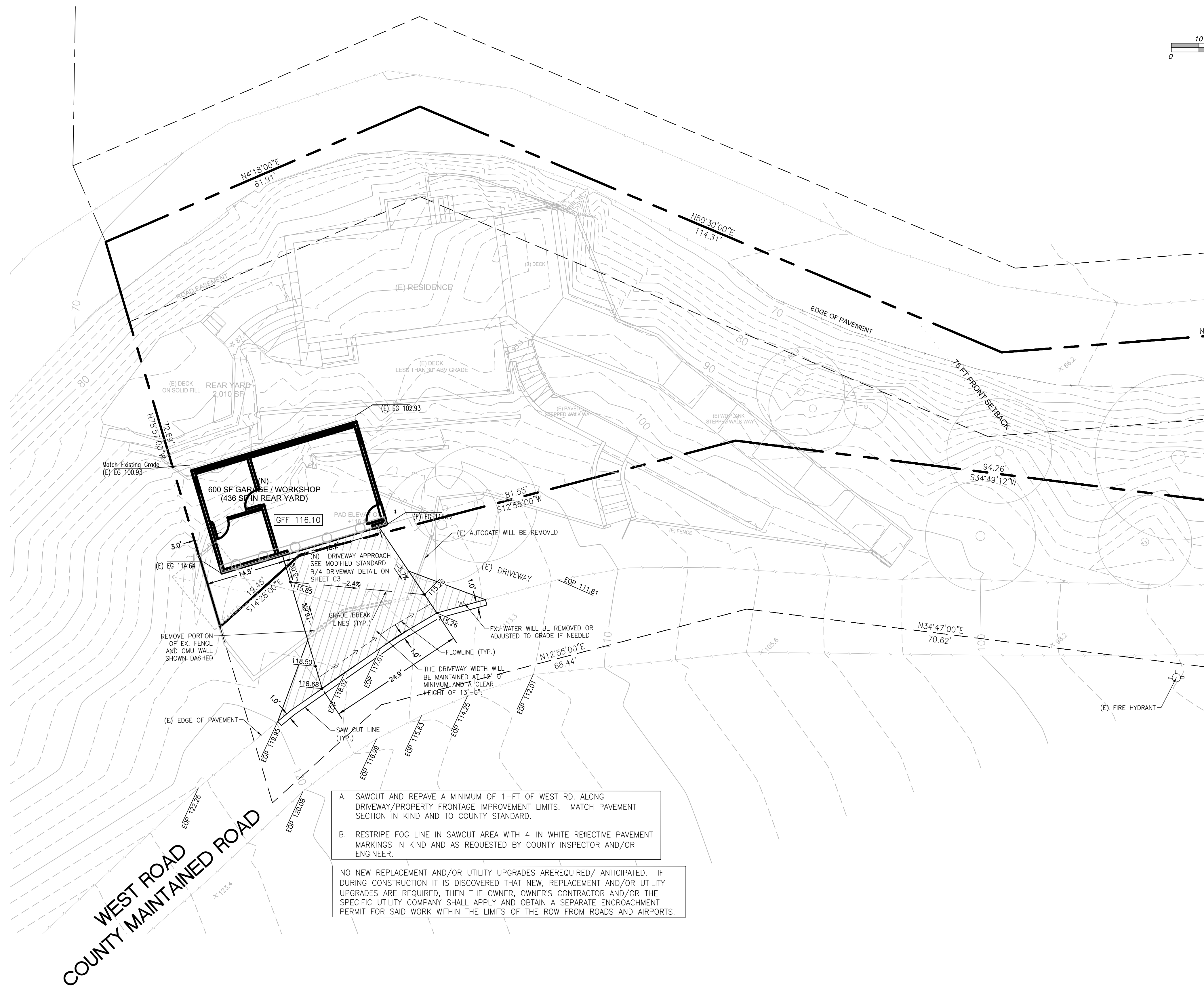
- ADJOINERS**
- | | |
|-------------------|-----------------|
| (A) DOC# 9699362 | APN: 510-07-062 |
| (B) DOC# 7381026 | APN: 510-07-065 |
| (C) DOC# 25489273 | APN: 510-07-009 |
| (D) DOC# 25417758 | APN: 510-07-063 |

25595160

Book 959
Page 50

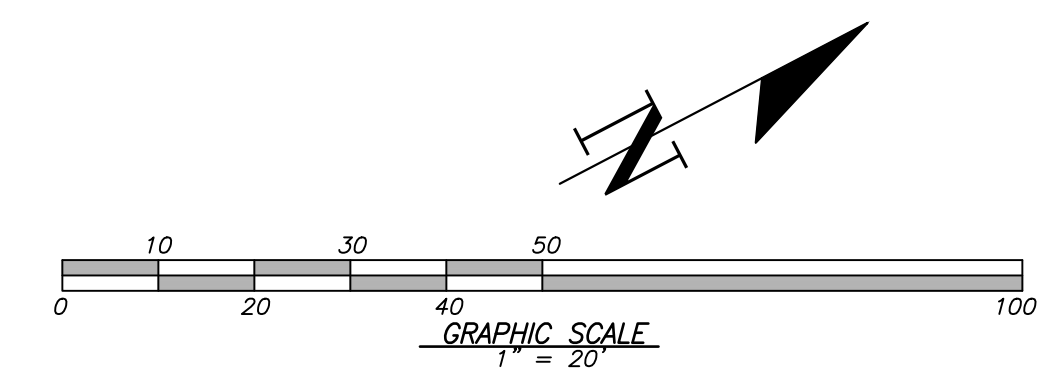
50

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY AND COUNTY OF SAN JOSE, CALIFORNIA, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



- A. SAWCUT AND REPAVE A MINIMUM OF 1-FT OF WEST RD. ALONG DRIVEWAY/PROPERTY FRONTAGE IMPROVEMENT LIMITS. MATCH PAVEMENT SECTION IN KIND AND TO COUNTY STANDARD.
- B. RESTRIPE FOG LINE IN SAWCUT AREA WITH 4-IN WHITE REFLECTIVE PAVEMENT MARKINGS IN KIND AND AS REQUESTED BY COUNTY INSPECTOR AND/OR ENGINEER.

NO NEW REPLACEMENT AND/OR UTILITY UPGRADES ARE REQUIRED/ ANTICIPATED. IF DURING CONSTRUCTION IT IS DISCOVERED THAT NEW, REPLACEMENT AND/OR UTILITY UPGRADES ARE REQUIRED, THEN THE OWNER, OWNER'S CONTRACTOR AND/OR THE SPECIFIC UTILITY COMPANY SHALL APPLY AND OBTAIN A SEPARATE ENCROACHMENT PERMIT FOR SAID WORK WITHIN THE LIMITS OF THE ROW FROM ROADS AND AIRPORTS.



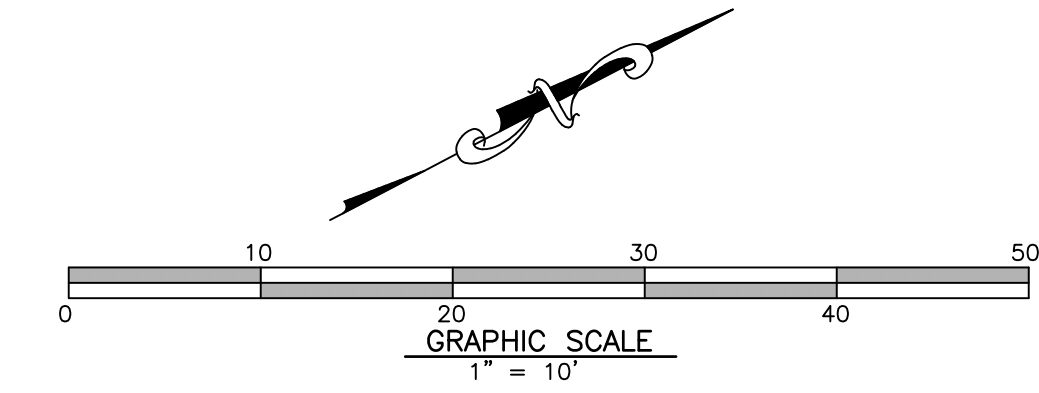
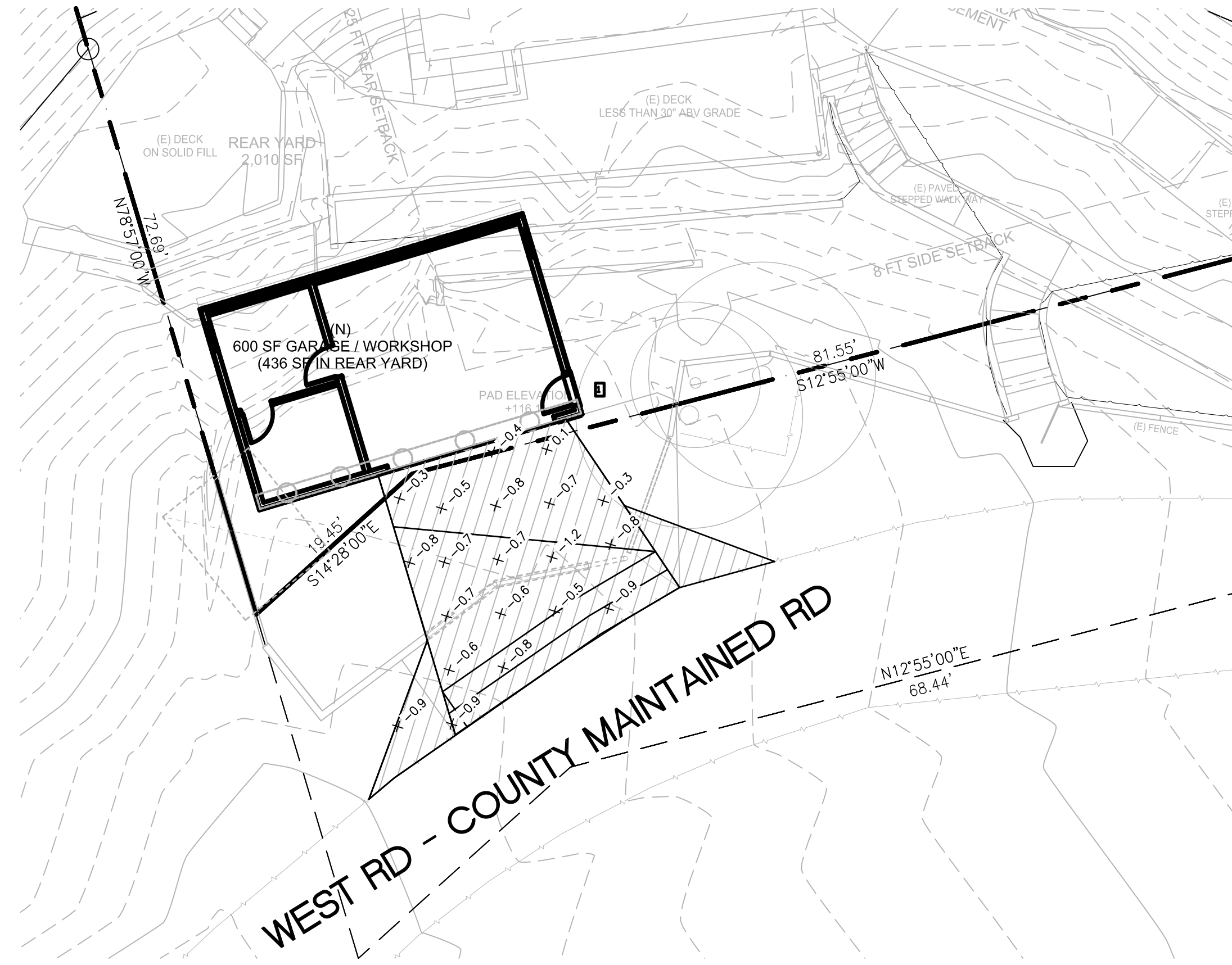
NO.	DATE	CITY	BY	REVISIONS

REGISTERED PROFESSIONAL ENGINEER
 PORFIRIO OSCAR OSUNA
 No. 70829
 Exp. 6-30-23
 CIVIL
 STATE OF CALIFORNIA
 02-25-2021
P. Oscar Osuna
 PORFIRIO OSCAR OSUNA
 RCE 70829 EXP. 6-30-23

OSUNA ENGINEERING INC.
 Planning | Surveying | Civil Engineering
 CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
 117 BERNAL RD. STE. 70-336
 SAN JOSE, CA 95119
 TEL. (408) 772-4381
 info@osunaeengineering.com

GRADING & DRAINAGE PLAN
 PRELIMINARY GRADING PLAN
 15911 WEST RD
 CALIFORNIA
 LOS GATOS, CA
 Project No.: 1653 | Design: JLO/TJM | Check: D.O. | Date: 2/26/2021

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND STRUCTURES ON THE SITE, AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE ENGINEER OR THE OWNER.



EARTHWORK QUANTITIES								
DESCRIPTION	EARTHWORK QUANTITIES ALL			EARTHWORK QUANTITIES EXCLUDING EXEMPT		MAXIMUM DEPTHS		
	CUT (-)	FILL (+)	EXEMPT?	CUT (-)	FILL (+)	CUT (-)	FILL (+)	
	CY	CY	YES/NO	CY	CY	FT	FT	
BUILDING EXEMPT	GARAGE PAD	0	0	YES	---	---	0.0	0.0
SITE WORK	DRIVEWAY APPROACH	12	0	NO	12	0	-1.2	0.0
TOTALS:		12	0		12	0	<- EXEMPT TOTALS	
TOTAL NET IMPORT: IMPORT (+) / EXPORT (-)		-12		CUBIC YARDS (IN-PLACE)	-12		CUBIC YARDS (IN-PLACE)	

2/25/2021

EARTHWORK 2-25-21.html

OSUNA ENGINEERING INC

6920 SANTA TERSA BLVD

Suite #206

SAN JOSE, CA 01234

Surface Report

Project Name: \nas\NAS\OE TEAM\PROJECTS\Job 1653- 15911 West Rd Los Gatos, CA- Robert Mintz\Drawings\1653 Earthwork-Cut & Fill.dwg

Report Date: 2/25/2021 2:05:14 PM

Client: Client Company
 Project Description:
 Prepared by: Preparer

Linear Units: foot	Area Units: squareFoot	Volume Units: cubicYard
--------------------	------------------------	-------------------------

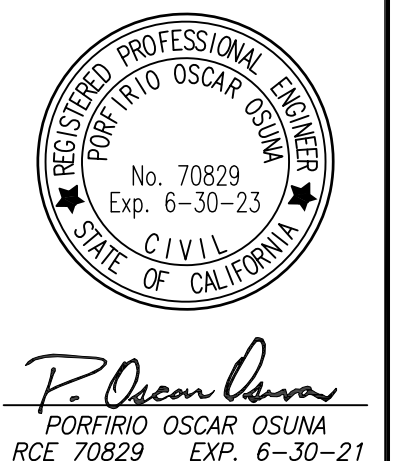
Surface: 1653 Driveway VOL

Description: Description
 Area 2D: 499.021 Area 3D: 503.298
 Elevation Max: 0.309 Elevation Min: -1.469
 Number of Points: 81 Number of Triangles: 129

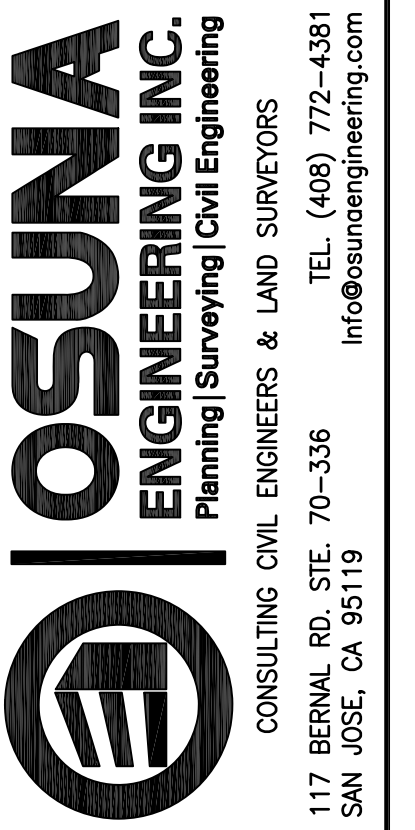
Volume Surface: 1653 Driveway VOL

Description: Description
 Volume Cut: 12.268 Volume Fill: 0.098 Volume Total: -12.169
 Compare Surface: 1653 FG
 Base Surface: 1653 EX SURF

NO.	DATE	BY	REVISIONS



OSUNA ENGINEERING INC.
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GRADING & DRAINAGE PLAN
 PRELIMINARY GRADING PLAN
 15911 WEST RD
 LOS GATOS, CALIFORNIA
 Project No.: 1653 Design: JG/TM Check: OJ Date: 2/26/21

SHEET
C2
 OF 8 SHEETS

ATTACHMENT E

Arborist Report

ARBORIST REPORT

TREE PROTECTION PLAN

MAY 30, 2024

PREPARED FOR: RANDALL MEYER

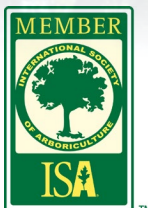
PROJECT: 15911 WEST RD, SANTA CLARA COUNTY



BUSARA FIRESTONE
#WE-8525B



KAITLYN MEYER
#WE-14992A



ON STAFF

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2150 LACEY DR., MILPITAS, CA 95035
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asca RCA #758
Registered Consulting Arborist®

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Introduction

ASSIGNMENT

On May 23rd, 2024, my team visited 15911 West. Rd. at the request of the architect. As Project Arborist, I agreed to write an industry standard tree protection plan for their building permit application. After review of the plans and discussions with the builder, it was my understanding that a new detached garage and workshop were to be built. The existing driveway would be reconfigured and extended to the street.

My assessments in this report were based on review of the following plan sheets:

- Plan Set A-0 – A-4 by Valley Home Builders (dated 04/12/2024)
 - Including Site Plan, Demo Plan, Elevations, and Sections
- Boundary and Topographic Survey by Porfirio Oscar Osuna (05/07/2020)

We identified two (2) “trees of concern” for inclusion in this report as identified by the County Planning Department. These included significant neighboring trees overhanging the project area, as no significant trees were located on the property. No trees were requested for removal as part of the project.

USES OF THIS REPORT

This report was written by Bo Firestone, Project Arborist, to serve as a resource for the property owner, designer, and builder. It provides instructions for retaining, protecting, and working around trees during construction. Observations and recommendations relate to the tree protection and preservation mandates outlined in the Santa Clara County Guidelines for Tree Protection and Preservation for Land Use Applications (revised 3/8/10). **According to County guidelines, all tree protection measures recommended in this report must be shown on the final grading, construction, and landscape plans, and adhered to during construction.**

LIMITATIONS

Trees assessed were limited to the scope of work identified in the assignment. I have estimated the trunk diameters of trees with barriers to access or visibility (such as those on neighboring parcels or behind debris).

Although general structure and health were assessed, formal Tree Risk Assessments were not conducted unless specified. Disease diagnostic work was not conducted unless specified. All assessments were the result of ground-based, visual inspections. No excavation or aerial inspections were performed. Recommendations beyond those related to the proposed construction were not within the scope of work. Full tree risk assessments were not within the scope of work, although assessments of health and structure factored into my condition ratings for each tree.

My tree impact and preservation assessments were based on information provided in the plans I have reviewed to date, and conversations with the involved parties. I assumed that the guidelines and setbacks recommended in this report would be followed. Assessments, conclusions, and opinions shared in this report are not a guarantee of any specific outcome. If additional information (such as engineering or landscape plans) is provided for my review, these assessments would be subject to change.

HOW CONSTRUCTION CAN DAMAGE TREES

Damage to Roots

Where are the Roots?

The most common types of injury to trees that occur during property improvements are related to root cutting or damage. **Tree roots extend farther out than people realize, and the majority are located within the upper 24 inches of soil.** The thickest roots are found close to the trunk, and taper and branch into ropey roots. These ropey roots taper and branch into an intricate system of fine fibrous roots, which are connected to an even finer system of fungal filaments. This vast below-ground network is tasked with absorbing water and nutrients, as well as anchoring the tree in the ground, storage, and communication.

Damage from Excavation

Any type of excavation will impact adjacent trees by severing roots and thus cutting off the attached network. Severing larger roots, or trenching across the root plate, destroys large networks. Even work that appears to be far from a tree (like on the far side of the yard), will impact the fibrous root system where excavation is taking place. Placing impervious surface over the ground, or installing below ground structures, such as a pool, or basement wall, will remove rooting area permanently from a site.

Damage from Fill

Adding fill can smother roots, making it difficult for them to access air and water. The roots and other soil life need time to colonize the new upper layers of soil.

Changes to Drainage and Available Water

Changes to the hydrology of the site, caused for instance by new septic fields, changes to grade, and drainage systems, can also cause big changes in available water for trees. Trees can die from lack of water or disease if their water supply dries up or gets much wetter than they are used to.

Soil Compaction and Contamination

In addition, compaction of soil, or contamination of soil with wash-water, paint, fuel, or other chemicals used in the building process, can cause damage to the rooting environment that can last many years. Tree protection fencing creates a barrier to protect as many roots as possible from this damage. Potential causes may include travelling vehicles, equipment storage, and washing out concrete.

Mechanical Injury

Injury from the impact of vehicles or equipment can occur to the root crown, trunk, and lower branches of a tree. The bark protects a tree – creating a skin-like barrier from disease-causing organisms. The stem tissues support the weight of the plant. They also conduct the flow of water, sugars, and other important compounds throughout the tree. When the bark and wood is injured, the structure and health of the tree is compromised.

Tree Impact Assessment

TREE INVENTORY

This tree preservation plan includes an attached inventory of trees identified as “trees of concern” as identified by the County Planning Department.

The Inventory included each tree’s number (as shown on the TPZ map), measurements, condition, level of impact (due to proximity to work), tolerance to construction, overall suitability for conservation, and preservation/removal status.

SITE & PROJECT DESCRIPTION

The site was located on a hillside, with a steep drop-off between the existing parking pad and home below. Two (2) coast live oak (*Quercus agrifolia*) stood at the top of the property, near the road.

After review of the plans and discussions with the architect, it was my understanding that a new detached garage and workshop were planned near the site of the existing parking pad. Portions of the existing parking pad and gate were to be removed. A concrete landing was planned above grade on the northern side of the garage. The driveway was to be reconfigured and extended to the street, with new excavation required only for the portion nearest the road.

REQUESTED TREE REMOVALS

No trees of any size were requested for removal.

IMPACTS OF CONSTRUCTION

Anticipated impacts to trees:

- **Tree #1 (22" oak, Street tree) and Tree #2 (21" oak):** These trees would be anticipated to sustain "low" impacts from the proposed work (less than 10% root loss).

The evaluation of anticipated project impacts to all trees was summarized in the Tree Inventory under the heading "Impact Assessment." These included impacts of grading, excavation for utility installation, retaining walls, drainage or any other aspect of the project that could impact the service life of the tree. The anticipated impact due to proximity to work was provided using a rating system. General species tolerance to construction, and condition of the trees (health and structural integrity), was also provided. These factors, as well as tree age, soil characteristics, and species desirability, all factored into an individual tree's suitability rating, as summarized on the Inventory. Suitability of trees to be retained was rated as "high," "moderate," or "low."

Tree Preservation & Mitigation Measures

PRE-CONSTRUCTION

Establish Tree Protection Zones (TPZ):

As per County guidelines, all trees to be retained shall be protected with chain link fencing or other rigid fence enclosure acceptable by the Planning Office. This fencing establishes the Tree Protective Zone (TPZ), an area in which no soil disturbance is permitted, and activities are restricted. Storage of construction materials, paints, chemicals etc. is strictly prohibited, and physical entry is limited only to designated personnel. **Arborist-established locations for protective tree fence were shown on the attached TPZ map.**

TPZ fencing is to be a minimum of 5 feet high, mounted on 2-inch diameter galvanized iron posts, and driven into the ground to a depth of at least 2 feet at no more than 10-foot spacing

(see attached SCC fencing detail). This detail shall appear on grading, demolition and building permit plans. Tree fencing shall be erected before any demolition, grading or construction begins and remain in place until the Final Inspection.

A warning sign shall be prominently displayed on each tree protective fence per the requirements of development pursuant to the Santa Clara County Planning Office. The signs are available at the Planning and Building Inspection Offices or at https://stgenpln.blob.core.windows.net/document/Tree_Warning_Sign.pdf

Preventing Soil Disturbance & Root Damage

I recommend that anywhere workers and vehicles will be traveling over bare ground within fifteen feet of a tree's dripline should have material applied over the ground to disperse the load. This may be done by applying a six to 12-inch layer of wood chip mulch to the area. With this method, mulch in excess of four inches would have to be removed after work is completed. As an alternative method that would not require mulch removal, the contractor could place plywood (>3/4-inch-thick) or road mats over a four-inch layer of mulch. Mulch should be spread manually so as not cause compaction or damage. The County requires the following:

A. Mulch to a depth of 4-6" shall be placed within the TPZ to further protect the trees' critical rhizosphere and soil. The base of the tree should not be covered.

B. If compaction of the root system may result in possible suffocation of the root system, a soil aeration system shall be installed as designed and specified by an Arborist.

C. Paving/Hardscape and other soil compacting material that encroaches within the TPZ should include an aeration system designed by an Arborist.

Pruning Branches

I recommend that trees be pruned only as necessary to provide minimum clearance for proposed structures and the passage of workers, vehicles, and machines, while maintaining a natural appearance. Any large dead branches should be pruned out for the safety of people working on the site.

Pruning should be specified in writing adhering to ANSI A300 Pruning Standards and performed according to Best Management Practices endorsed by the International Society of Arboriculture. Any pruning (trimming) of branches should be supervised by an ISA-certified arborist.

DUST CONTROL PROGRAM

The County requires that during grading, or if several weeks pass without rain, that tree trunks, limbs and foliage be sprayed with water to remove accumulated construction dust.

Pre-Construction Inspection

Please refer to your project's Conditions of Approval and check with the City Arborist to identify if inspection is required. In lieu of City Arborist inspection, I recommend Project Arborist inspection after the TPZ fencing is installed and before construction has started to document that protection measures are sufficiently in place.

DURING CONSTRUCTION

Irrigation

Maintain normal irrigation; as a rule of thumb, provide 1- 2 inches per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of the tree roots. However, native oaks usually should not be provided supplemental water during the warm, dry season (June – September) as this activates oak root fungus. Therefore, native oaks should only be watered October – May when rain has been scarce.

Root Pruning

Roots often extend farther beyond the tree than people realize. Even outside of the fencing protecting the critical root zone, there are roots that are important to the wellbeing of the tree. Builders may notice torn roots after digging or trenching. If this happens, exposed ends should be cut cleanly. The cut should be made perpendicular to the growth of the root (i.e., a “square cut”) at a location where bark is undamaged and intact.

However, the best way to cut roots is to cut them cleanly *before* they are torn by excavating equipment. Roots may be exposed by gentle excavation methods and then cut selectively. Alternatively, a tool specifically designed to cut roots may be used to cut through the soil on the tree-side of the excavation line prior to digging so that roots are not torn. **I recommend that root pruning of any root over one inch (1”) be supervised by the project arborist.**

Project Arborist Supervision

Based on specific circumstances, the County may require the following:

The Arborist shall monitor construction activity to ensure that the tree protection measures are implemented and submit a Construction Observation Letter to the Planning Office for approval, prior to final inspection, summarizing the results of the monitoring activity and resulting health of trees designated for preservation onsite.

An Arborist shall submit to the Planning Office two (2) copies of a monitoring report annually from the date of final inspection. The report shall show compliance with the tree protection conditions of approval and verification that all trees are in good health.

If arborist monitoring is required during the project, I recommend the following monitoring schedule:

- Before work begins to inspect TPZ compliance
- Before trenching or excavation
- Soon after excavation
- During any root pruning
- Every six weeks in all other circumstances to inspect TPZ compliance

POST-CONSTRUCTION

Ensure any mitigation measures to ensure long-term survival including but not limited to:

Continued Tree Care

Provide adequate and appropriate irrigation. As a rule of thumb, provide 1- 2 inches of water per month. Water slowly so that it penetrates 18 inches into the soil, to the depth of the tree roots. Native oaks usually should not be provided supplemental water during the warm, dry season (June – September) as this activates oak root fungus. Therefore, native oaks should only be watered October – May when rain has been scarce.

Mulch insulates the soil, reduces weeds, reduces compaction, and promotes myriad benefits to soil life and tree health. Apply four inches of wood chips (or other mulch) to the surface of the soil around trees, extending at least to the dripline when possible. Take care not to pile mulch against the trunk.

Do not fertilize unless a specific nutrient deficiency has been identified and a specific plan prescribed by the project arborist (or a consulting arborist).

Post-Construction Monitoring

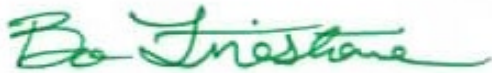
Monitor trees for changes in condition. Check trees at least once per month for the first year post-construction. Expert monitoring should be done at least every 6 months or if trees show signs of stress. Signs of stress include unseasonably sparse canopy, leaf drop, early fall color, browning of needles, and shoot die-back. Stressed trees are also more vulnerable to certain disease and pest infestations. Call the Project Arborist, or a consulting arborist if these, or other concerning changes occur in tree health.

Conclusion

The proposed building project appeared to be a valuable upgrade to the property. If the recommendations and protection measures in this report are followed, all protected trees identified for preservation may survive.

If any of the parties involved have questions on this report, or require Project Arborist supervision or technical support, please do not hesitate to contact me at (408) 497-7158 or busara@bofirestone.com.

Signed,



Busara (Bo) Firestone | ISA Board Certified Master Arborist #WE-8525B | ASCA Registered Consulting Arborist RCA #758 | ISA Qualified Tree Risk Assessor | ASCA Tree and Plant Appraisal Qualification | Member – American Society of Consulting Arborists | Wildlife-trained Arborist

Supporting Documents

Glossary

DSH / DBH: "Diameter at Standard (or Breast) Height," usually measured at 4.5' (54") above grade.

Mathematic DSH / DBH: diameter of multitrunked tree, mathematically derived from the combined area of all trunks.

SPREAD: Diameter of canopy between farthest branch tips

CONDITION-Ground based visual assessment of structural and physiological well-being:

"**Excellent**" = 81 - 100%; Good health and structure with significant size, location or quality.

"**Good**" = 61-80%; Normal vigor, full canopy, no observable significant structural defects, many years of service life remaining.

"**Fair**" = 41-60%; Reduced vigor, significant structural defect(s), and/or other significant signs of stress

"**Poor**" = 21- 40%; In potentially irreversible decline, structure an aesthetics severely compromised

"**Very Poor**" = 6-20%; Nearly dead, or high risk of failure, negative contribution to the landscape

"**Dead/Unstable**" = 0 - 5%; No live canopy/buds or failure imminent

TPZ RADIUS: Minimum recommended tree protection radius to ensure healthy, sound trees. Based on species tolerance, age, and size (total combined stem area).

AGE: Relative to tree lifespan; "Young" <1/3; "Mature" 1/3 - 2/3; "Overmature" >2/3

IMPACT: Anticipated impact to an individual tree including.....

SEVERE - In direct conflict, removal necessary if plans proceed (distance to root cuts/fill within 3X DBH or root loss of > 30% anticipated).

HIGH – Work planned within 6X DBH and/or anticipated root loss of 20% – 30%. Redesign to reduce impact should be explored and may be required by municipal reviewer. Retainment may be possible with monitoring or alternative building methods. Health and structure may worsen **even if** conditions for retainment are met.

MODERATE - Ideal TPZ encroached upon in limited areas. No work or very limited work within 6X TPZ. Anticipated root loss of 10% - 25%. Special building guidelines may be provided by Project Arborist. Although some symptoms of stress are possible, tree is not likely to decline due to construction related activities.

LOW - Anticipated root loss of less than 10%. Minor or no encroachment on ideal TPZ. Longevity uncompromised with standard protection.

VERY LOW - Ideal TPZ well exceeded. Potential impact only by ingress/egress. Anticipated root loss of 0% - 5%. Longevity uncompromised.

NONE - No anticipated impact to roots, soil environment, or above-ground parts

TOLERANCE: General species tolerance to construction (GOOD, MODERATE, or POOR) as given in Managing Trees During Construction, Second Edition, by International Society of Arboriculture

SUITABILITY ASSESSMENT: An individual tree's suitability for preservation considering impacts, condition, maturity, species tolerance, site characteristics, and species desirability. (HIGH, MODERATE, or LOW)

Sources

Fite, Kelby, and E. Thomas Smiley. *Managing trees during construction*, second edition.

Champaign, IL: International Society of Arboriculture, 2016. Print.

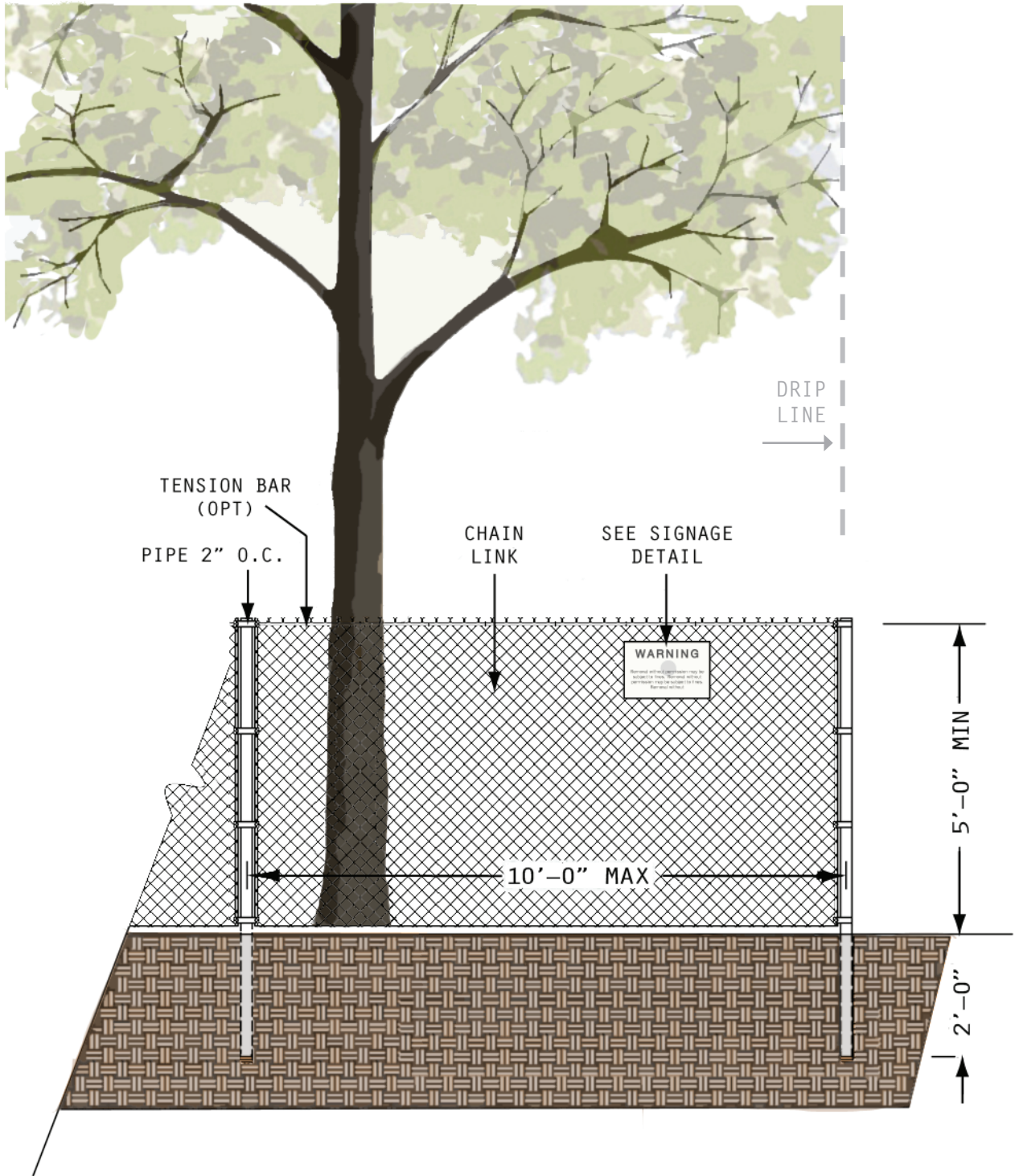
ISA. *Guide for Plant Appraisal*, 10th edition, second printing. Atlanta, GA: International Society of Arboriculture, 2019. Print.

ISA. Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement.

Western Chapter ISA.

Palo Alto Department of Planning and Community Environment. *Tree Technical Manual*. City of Palo Alto, 2001. Print.

Smiley, E. Thomas, Nelda Matheny, and Sharon Lilly. *Best Management Practices: Tree Risk Assessment*: International Society of Arboriculture, 2011. Print.



TREE PROTECTION FENCE DETAIL
ELEVATION VIEW



TREE INVENTORY - 15911 West Rd., Los Gatos, Santa Clara County, CA

Date: 5/30/2024

							TREE IMPACT ASSESSMENT							
Number	Common Name	Botanical Name	DBH (inches)	math. DBH (inches)	Height (feet)	Spread (feet)	Condition	Age	Species Tolerance	TPZ mult. Factor	Ideal TPZ Radius (ft)	Impact Level **	Suitability Rating	Remove / Preserve
1	Coast Live Oak	<i>Quercus agrifolia</i>	22	22	40	30	FAIR	MATURE	HIGH	8	15	LOW	MODERATE	PRESERVE
2	Coast Live Oak	<i>Quercus agrifolia</i>	21	21	40	25	FAIR	MATURE	HIGH	8	14	LOW	MODERATE	PRESERVE
KEY:														
#	Street Tree													

SEE GLOSSARY FOR DEFINITION OF TERMS

**ASSUMES STANDARD AND SPECIAL TREE PROTECTION MEASURES ARE FOLLOWED.

TREE PROTECTION ZONE MAP

15911 WEST RD, SANTA CLARA COUNTY, CA



DATE:
05/30/24

TPZ ELEMENTS DRAWN:
B. FIRESTONE
ISA BOARD CERTIFIED
MASTER ARBORIST
#WE-8525B

BASE MAP: SITE PLAN AQ.1
by KLOPE ARCHITECTURE
(08/04/2024)

ARBORIST REPORT
pg. 16

TPZ MAP LEGEND:

- TREE TO REMAIN
- TREE IN PUBLIC RIGHT-OF-WAY
- TREE PROTECTION FENCING (SEE SPEC.)
- TRUNK WRAP (SEE SPEC.)

TREE PROTECTION FENCING SIGNAGE AVAILABLE AT
https://stgenpln.blob.core.windows.net/document/Tree_Warning_Sign.pdf

