



Project Address:

CHEN RESIDENCE
 10250 Crothers Rd, San Jose, CA 95127

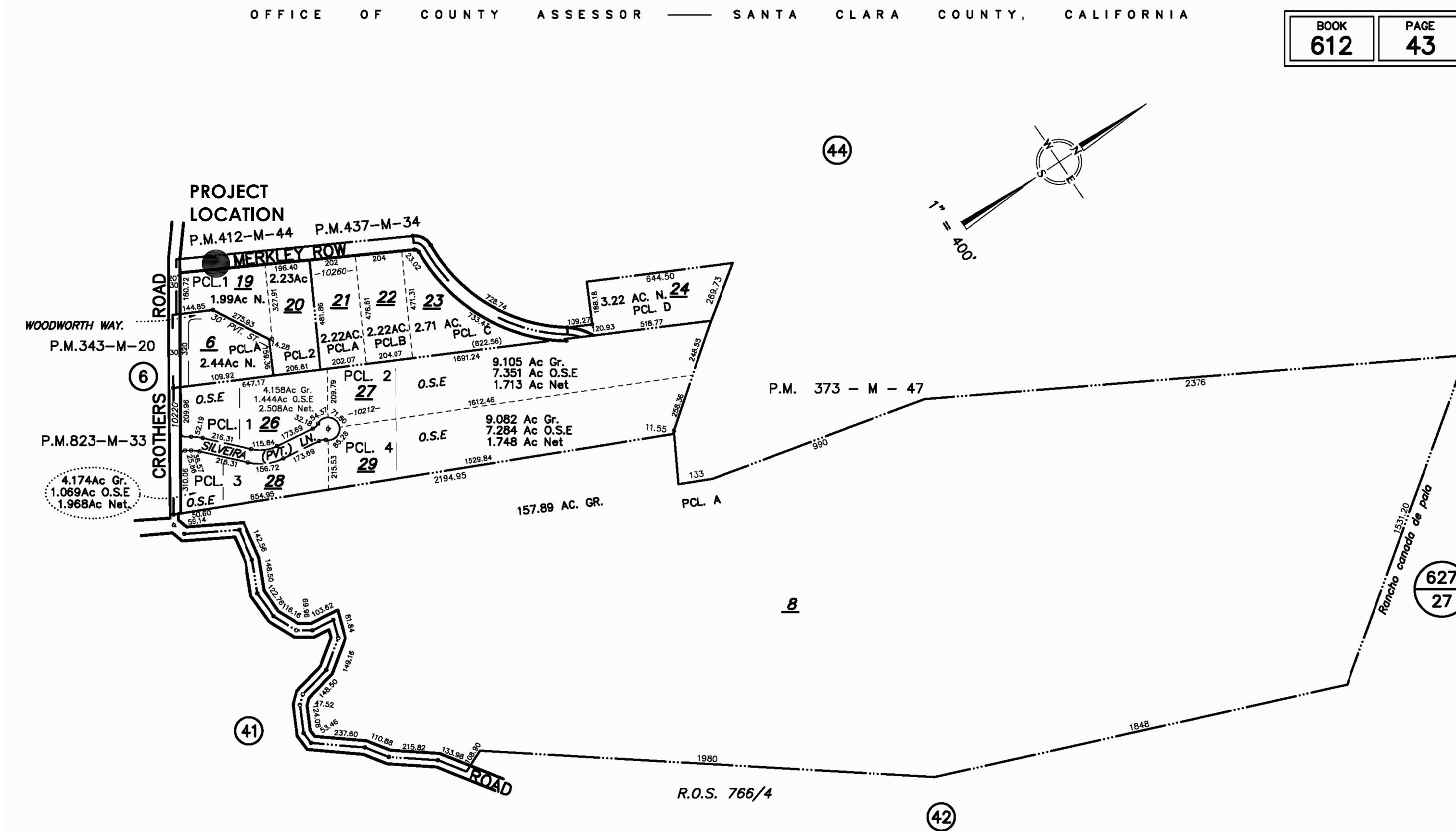
OWNER: Helen Chen
 TEL: 1-510-825-7348
 Email:

REVISIONS	DATE

ABBREVIATION:

- & AND
- CL. CLOSET
- CONC. CONCRETE
- CONT. CONTINUOUS
- CTSK. COUNTERSUNK
- CTR. CENTER
- DIM. DIMENSION
- DN. DOWN
- DWG. DRAWING
- (E) EXISTING
- EXT. EXTERIOR
- F.F. FINISH FLOOR
- F.G. FINISH GRADE
- FIN. FINISH
- FL. FLOOR
- FT. FOOT OR FEET
- FTG. FOOTING
- GB GYPSUM BOARD
- GPF GALLON PER FLUSH
- GPM GALLON PER MINUTE
- HR HOUR
- IN. INCHES
- MAX. MAXIMUM
- MIN. MINIMUM
- L LINEN
- (N) NEW
- No. or # NUMBER
- O.C. ON CENTER
- (P) PROPOSED
- PL PROPERTY LINE
- PLYWD PLYWOOD
- PSF POUNDS PER SQUARE FOOT
- PSI POUNDS PER SQUARE INCH
- PT PRESSURE TREATED
- SQ. SQUARE, AS IN SQ.FT
- W/ WITH
- WP. WATERPROOF
- WRB WATER-RESISTIVE BARRIER
-  DRAWING NUMBER
-  SHEET NUMBER

PROJECT: Proposed Addition & ADU & Remodel to single-family home in 10250 Crothers Rd, San Jose, CA 95127



BOOK 612 PAGE 43

OFFICE OF COUNTY ASSESSOR — SANTA CLARA COUNTY, CALIFORNIA

- SCOPE OF WORK:
 NEW ADDITION
 GROUND FLOOR
 1. GARAGE #656 SQ.FT 3 PARKING SPACES
 2. STAIRCASE/ELEVATOR 168 SQ.FT
 3. LEGALIZE AS BUILT (E) GARAGE CONVERTING TO ADU 748 SQ.FT & ADDITIONAL AREA 275 SQ.FT ADU AREA=1,043 SQ.FT
 4. FRONT PORCH 81
 FIRST FLOOR
 5. NEW ADDITIONAL AREA 1,149 SQ.FT
 6. NEW 100 AMP ELECTRICAL METER FOR ADU
 7. NEW WATER METER FOR ADU
 8. NEW ELEVATOR
 9. PROPOSE A POWDER ROOM
 10. REPAIR THE (E) DRIVEWAY

	ALLOWABLE	EXISTING HABITABLE AREA	PROPOSED HABITABLE AREA	CHANGE
PRIMARY BUILDING AREA (SQ FT)				
Ground Floor		809	483+168(addition)	-326
First Floor		1,464	2,613	+1,149
Loft		737	737	0
Total Habitable	--	3,010	4,001	+991
GROUND FLOOR ADU AREA (SQ FT)				
Garage		0	656	
Deck/Balcony		219	306	
Roof Deck			1,035	
Stairs/ Elevator		--	168	
Entry Porch			81	
Patio			265	
Total Unhabitable	--		2,246	
Building Footprint	--	1,464	2,563	1,099
Building Coverage (%)	--	1.6%	2.7%	1.1%
Lot	--	93,654	93,654	0
FAR	--	3.2%	4.3%	1.1%

TRA DET. MAP 123
 LAWRENCE E. STONE - ASSESSOR
 Digital map for assessment purposes only.
 Compiled under S. & T. Code, Sec. 327.
 Effective Roll Year 2020-2021

**ASSESSOR'S MAP
 SCALE: 1"=400'**

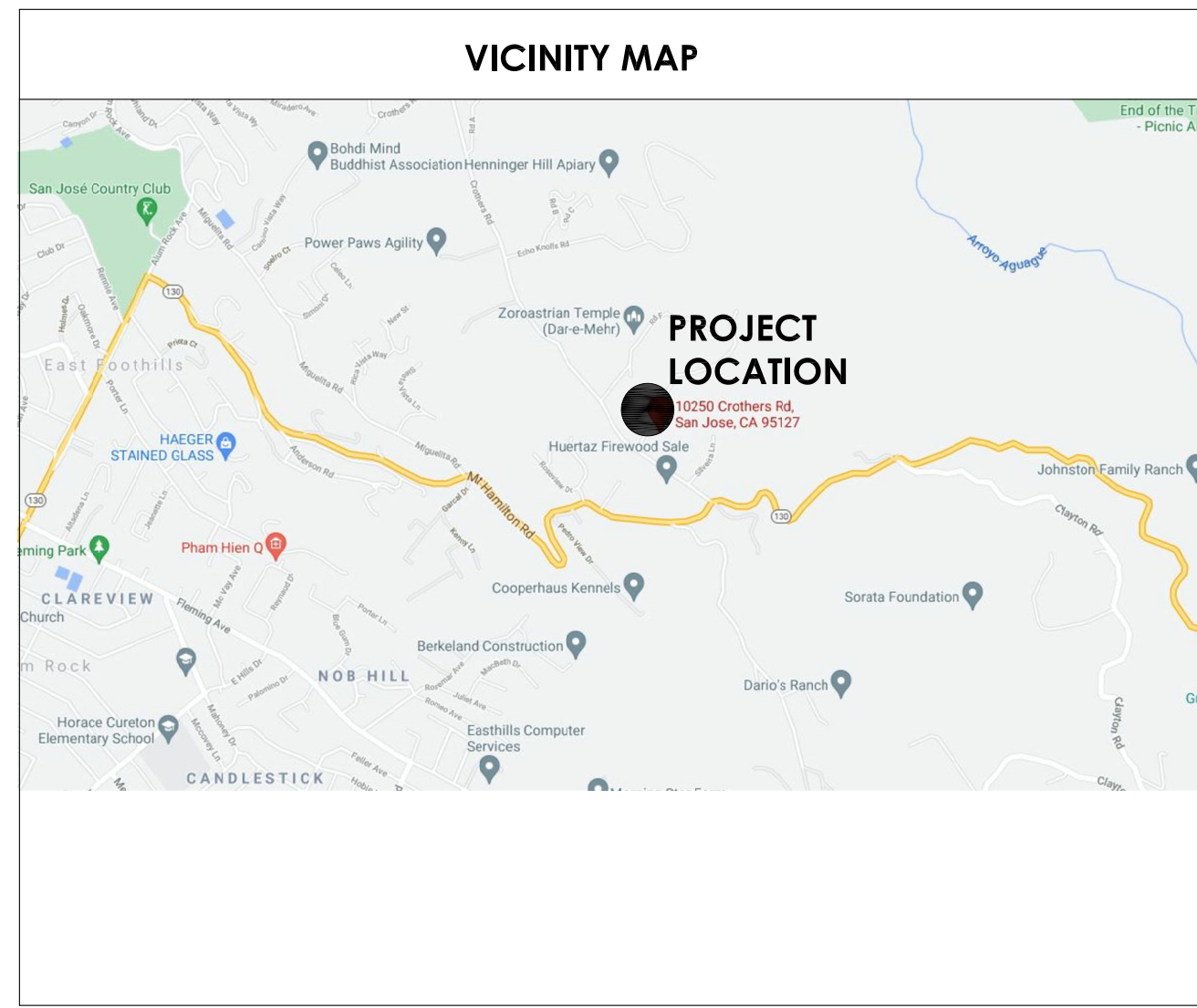
General Note

- All construction, appliances and necessary wiring, piping, ducts etc. are to meet the requirements of 2019 California Building, Mechanical, Plumbing, Electrical and Energy Codes and regulations which govern this project by County of Santa Clara.
- Contractor shall verify all dimensions in the field and on drawing and coordinate location of openings through floor, roof and wall with designer, mechanic, structure and elementary plans.
- Contractor is to provide and install all materials, hardware and fixtures for successful completion of remodeling and addition as agreed upon with owner. Meantime to make addition to match existing wall and roof as far as possible.
- Architectural drawing and specifications represent the finished structure. They do not indicate the method of construction. Contractor shall provide all equipment and material necessary to protect the structures properly and persons during construction.

Design Criteria:

Code: 2019 California Building Code (CBC)

- Dead Loads (Gravity):**
 - Pitched Roof..... 12.5 PSF
 - Floor 10 PSF
- Live Loads:**
 - Roof (Basic live load) 20 PSF
 - Floor 40 PSF
- Wind Loads:**
 - Wind speed 110 MPH Category 1,
 - Exposure B, Wind Pressure Min 16 PSF used
- Earthquake Load:**
 - Risk Category II, S_s = 1.574 S₁ = 0.619, Site Class D,
 - Seismic Design Category E, FA=1.0, FV=1.5 V=0.2099W,
 - Allowable stress design used. R=6.5, Simplified structural design used.
 - Light-frame walls sheathed with wood structural rated for shear resistance.



APPLIED CODES	SHEET INDEX	PROJECT DATA
2019CRC 2019CBC 2019CPC 2019CMC 2019CEC 2019 California Energy Code 2019 California Fire Code 2019 Green Building Codes 2019 Green Referenced Standards Codes 2019 California Referenced Standards Codes Santa Clara County Ordinances	A 0 COVER SHEET, ASSESSOR MAP, TITLE SHEET A 0-1 (E) SITE PLAN A 0-2 (N) SITE PLAN, (N) SITE PLAN LOT COVERAGE CALCULATION A1 ASSEMBLY PLAN A2-1 (E) EXTERIOR FRONT/REAR ELEVATIONS A2-2 (E) EXTERIOR RIGHT/LEFT ELEVATIONS A3 (E) GROUND FLOOR & GARAGE A4 (E) LOT PLAN / ROOF PLAN A5 (P) GROUND FLOOR PLAN/ ADU GARAGE A6 (P) FIRST FLOOR PLAN A7 (P) LOFT PLAN A8 (P) ROOF PLAN A9 (P) FRONT, REAR ELEVATIONS A10 (P) LEFT, LEFT ELEVATIONS A11 SECTION A-A, B-B A12 DOOR & WINDOW SCHEDULE	APN: 612-43-019 LOT AREA: 93,654 SQ.FT / 2.15 ACRES YEAR BUILT: 1980 ZONING DISTRICTS: RR-d1 TYPE OF CONSTRUCTION :-B OCCUPANCY GROUP:-R-3 HABITABLE AREA:-3,010 SQ.FT (E) BEDROOMS: 3 (E) BATHROOM: 2 GARAGE ATTACHED 2 PARKINGS PROPOSED PRIMARY HOUSE HABITABLE AREA:-323 SQ.FT GARAGE 656 SQ.FT 3 PARKING SPACES BEDROOMS: 3 BATHROOMS: 2.5 ACCESSORY DWELLING UNIT 1,024 SQ.FT (N) BEDROOM: 1 (N) BATHROOM: 1 (N) LIVING AREA WITH KITCHEN FLOOD ZONING : NO WILDLAND URBAN INTERFACE ZONE A FIRE SPRINKLER SYSTEM.

Project:
Proposed Addition Remodel ADU

Title:
 Title Sheet

Date: 12-02-2021

Scale: 1"=20'

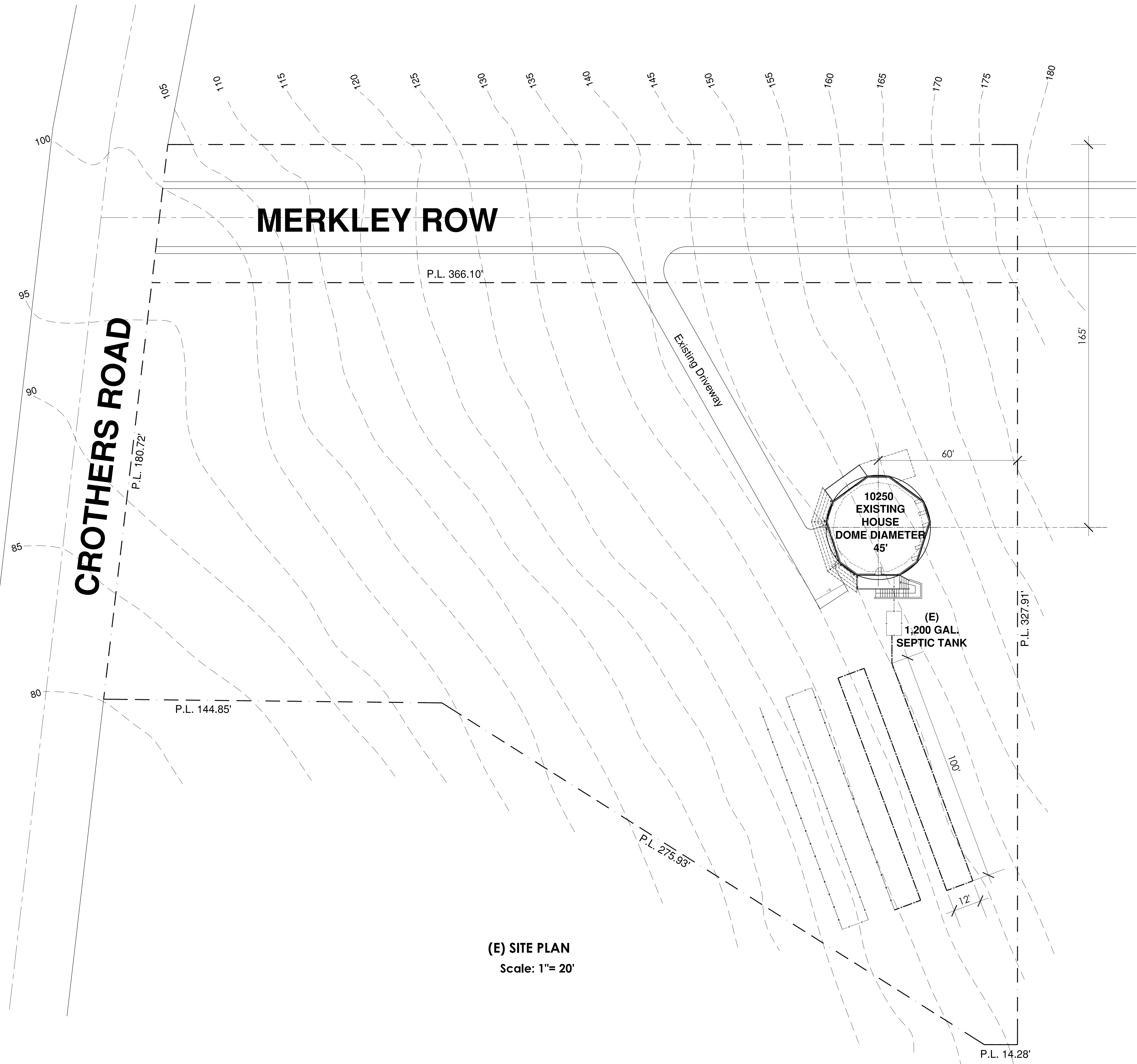
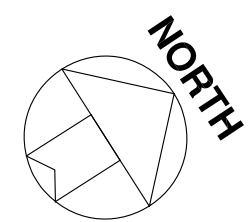
Drawn:

Checked:

Status: Planning Review

Job No.

Sheet
A0
 Of 16 Sheets



(E) SITE PLAN
Scale: 1"= 20'

Project Address:
**CHEN
RESIDENCE**
10250 Crothers
Rd, San Jose, CA
95127

OWNER: Helen Chen
TEL: 1-510 825 7348
Email:

REVISIONS	DATE

Project:
**Proposed
Addition
Remodel
ADU**

Title:
(E) Site Plan

Date: 12-02-2021

Scale: 1"= 20'

Drawn:

Checked:

Status: Planning Review

Job No.

Sheet
A 0-1
Of 16 Sheets

Project Address:

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 95127

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REVISIONS	DATE

Project:

**Proposed
 Addition
 Remodel
 ADU**

Title:
 (P) Site Plan

Date: 12-02-2021

Scale: 1"= 20'

Drawn:

Checked:

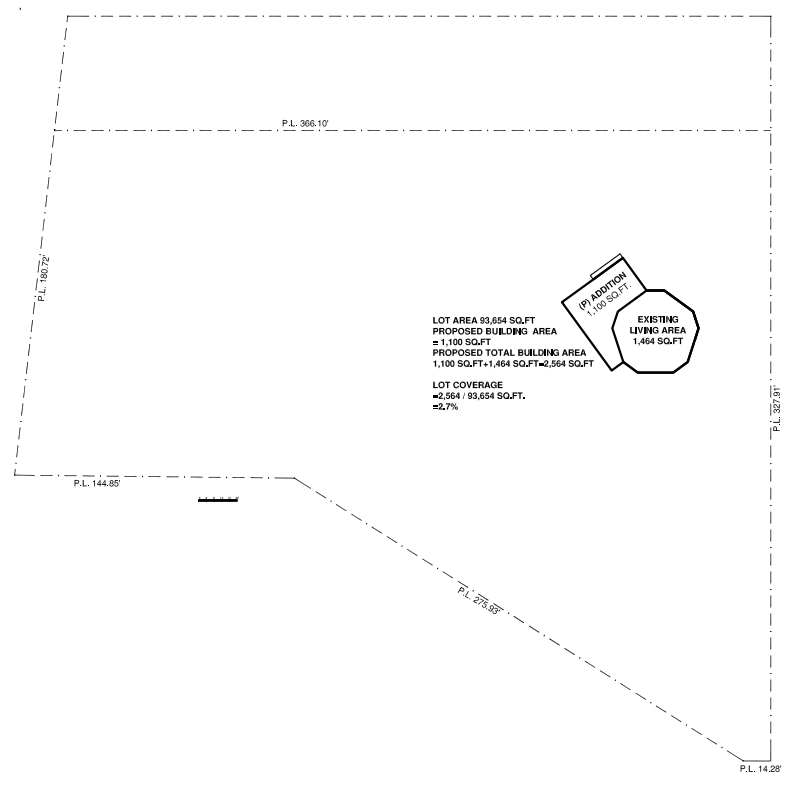
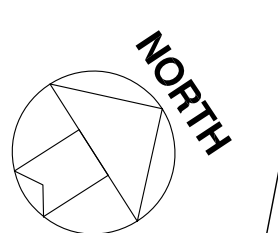
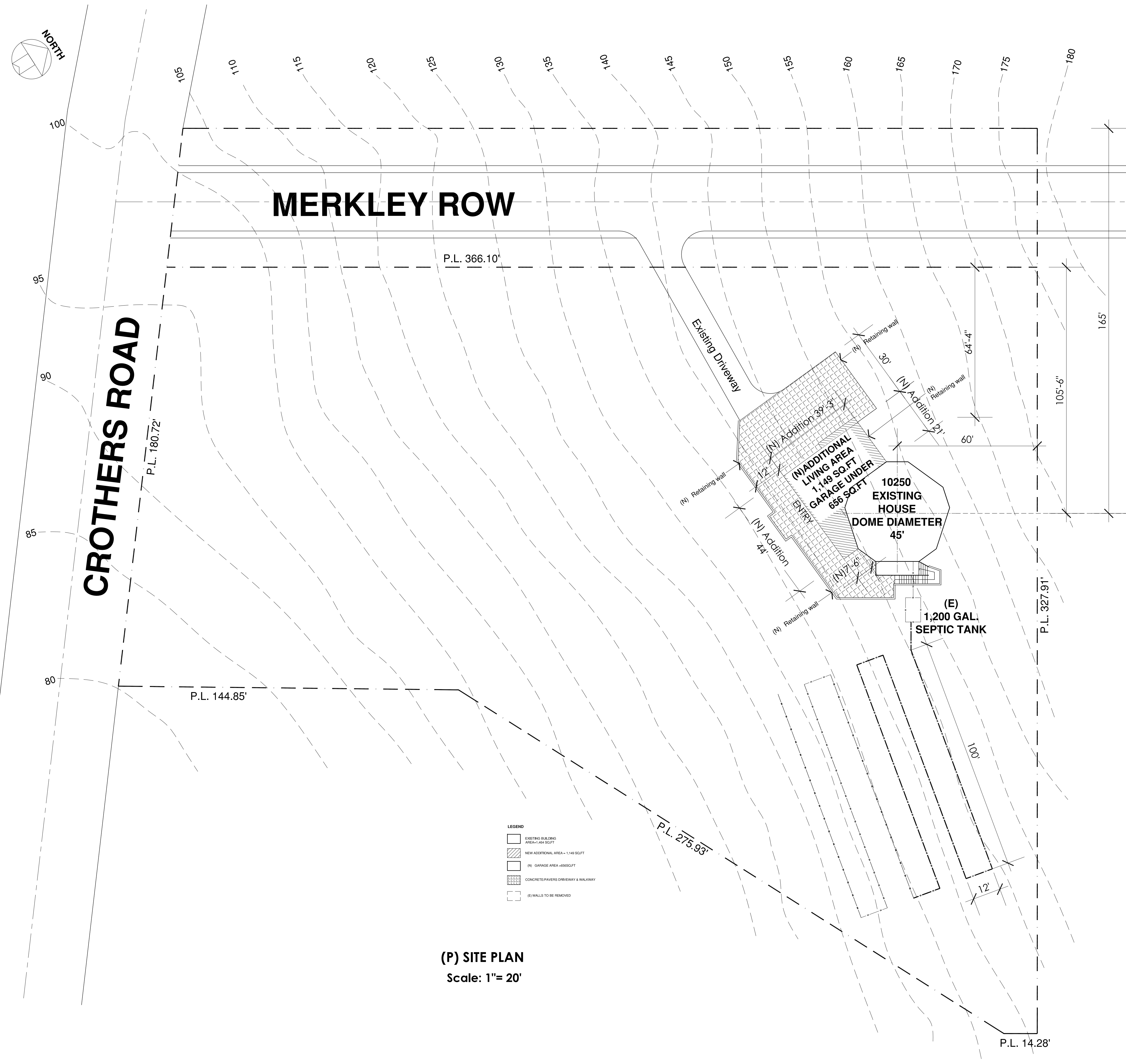
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A 0-2

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LOT COVERAGE CALCULATION
 Scale: 1"=100'

- LEGEND**
- EXISTING BUILDING
 AREA=1,464 SQ.FT
 - NEW ADDITIONAL AREA=1,149 SQ.FT
 - (N) GARAGE AREA=656 SQ.FT
 - CONCRETE/PAVERS DRIVEWAY & WALKWAY
 - (E) WALLS TO BE REMOVED

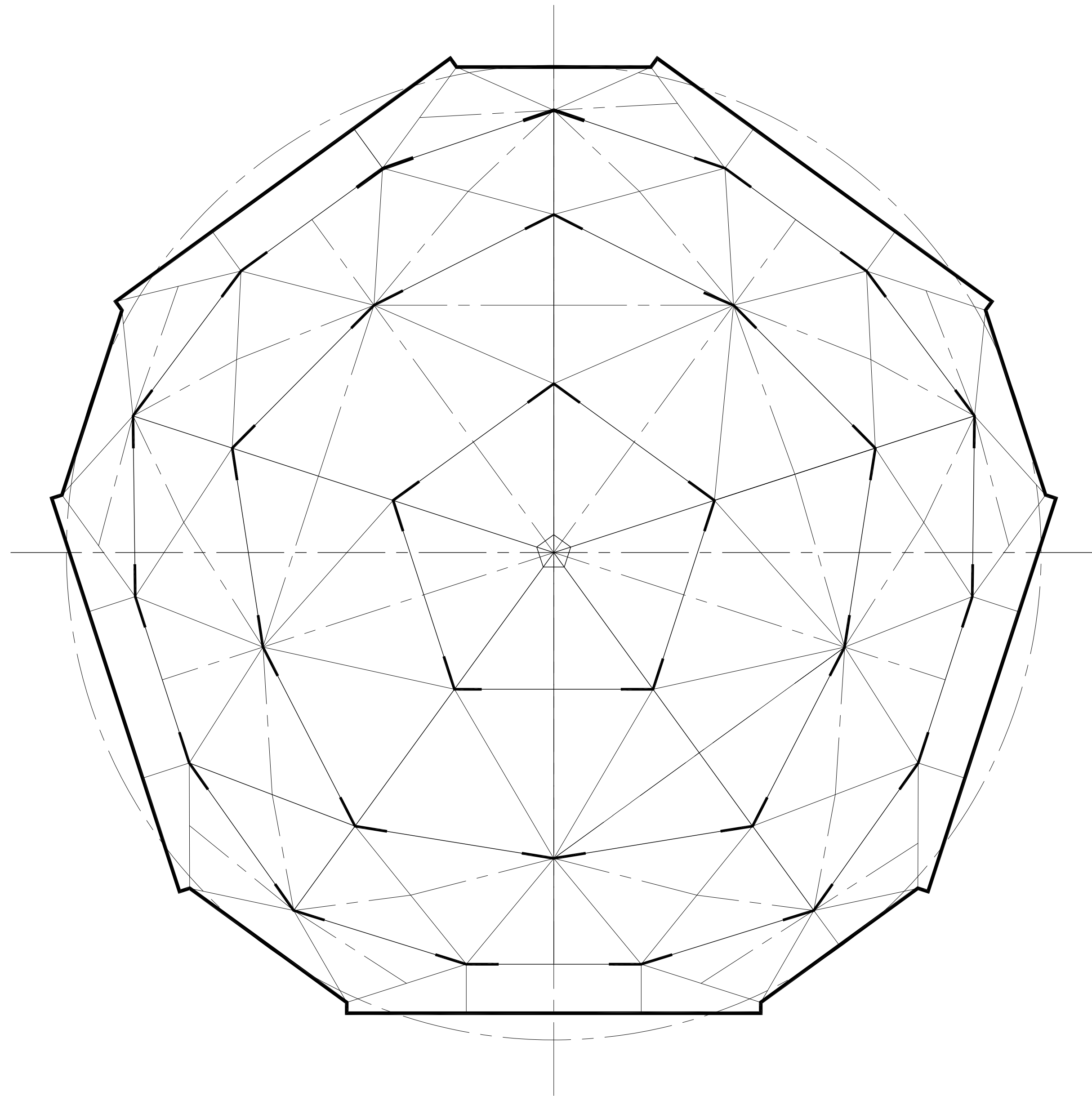
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 Scale: 1"= 20'

Project Address:

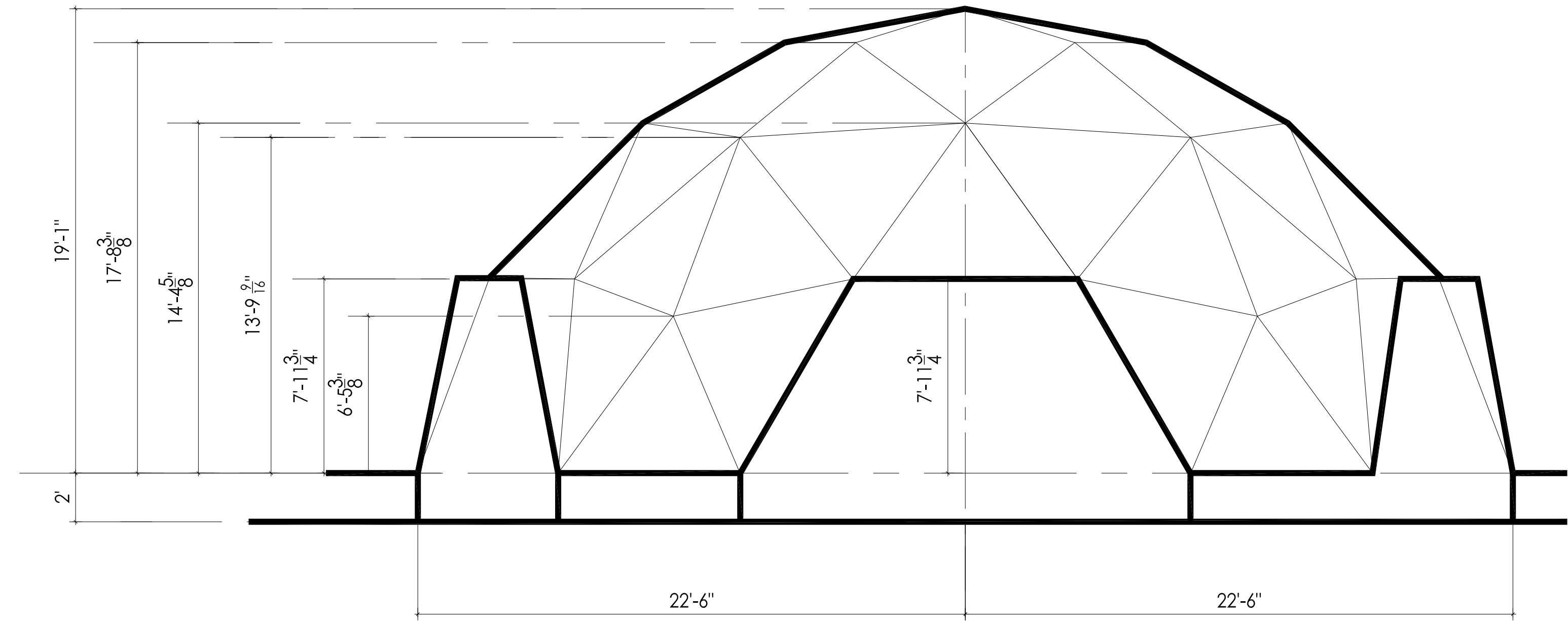
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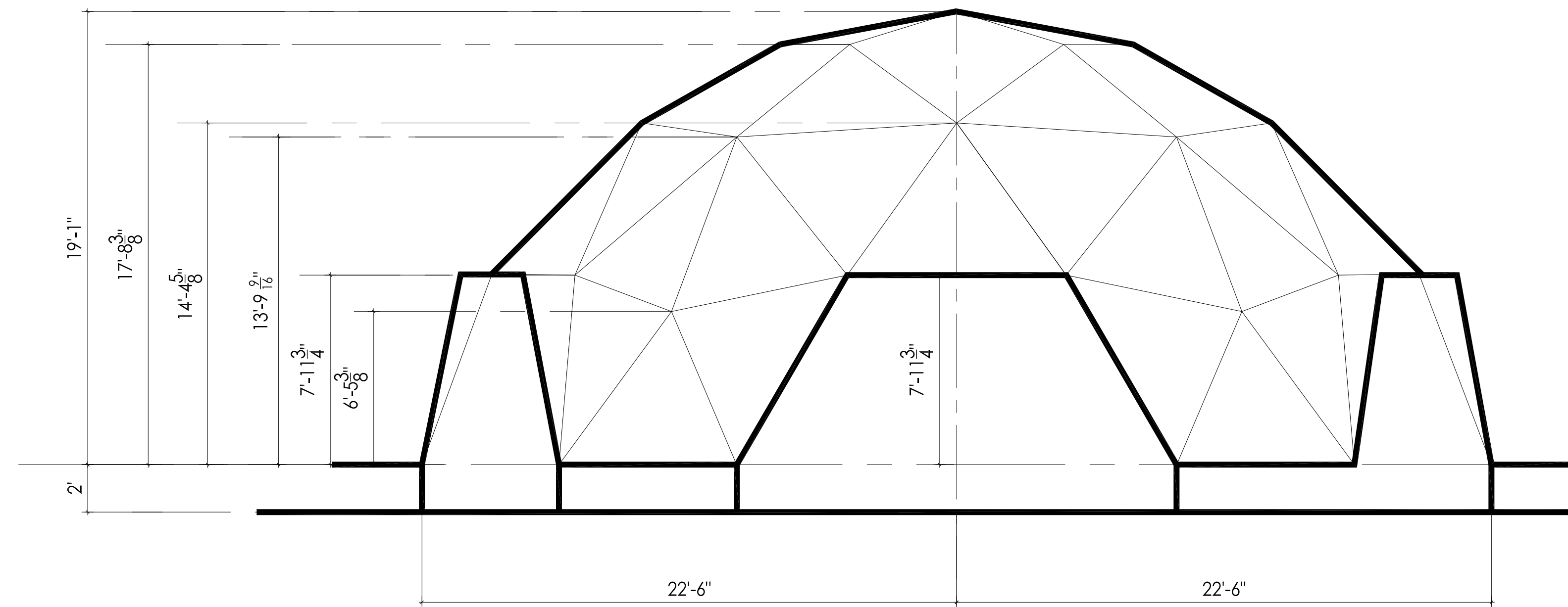
REVISIONS	DATE



ASSEMBLY PLAN
 Scale: 1/4"=1'



EXISTING FRONT ELEVATION
 Scale: 1/4"=1'



EXISTING SIDE ELEVATION
 Scale: 1/4"=1'

45' DIAMETER DOME-EXTERIOR ELEVATIONS

Project:

**Proposed
 Addition
 Remodel
 ADU**

Title:

(E) Assembly Plans

Date: 12-02-2021

Scale: 1/4"=1'

Drawn: HD

Checked:

Status: Planning Review

Job No.

Sheet

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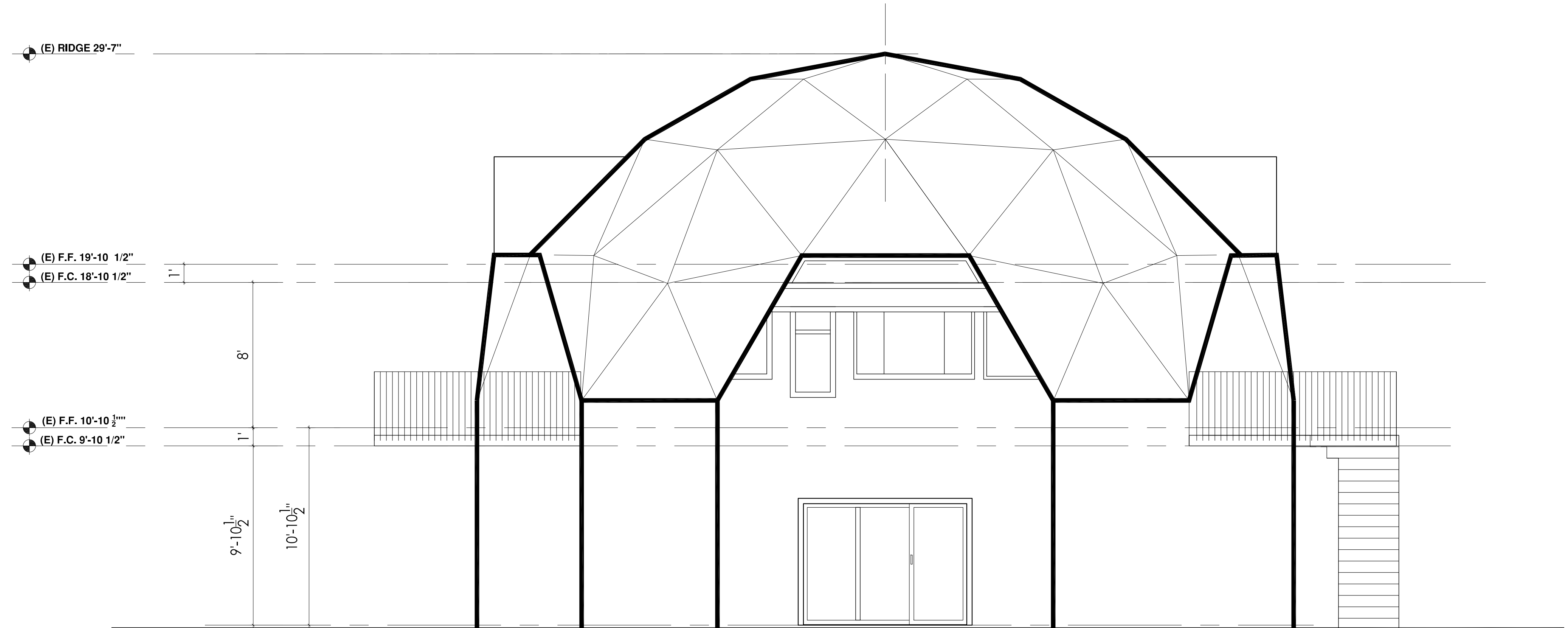
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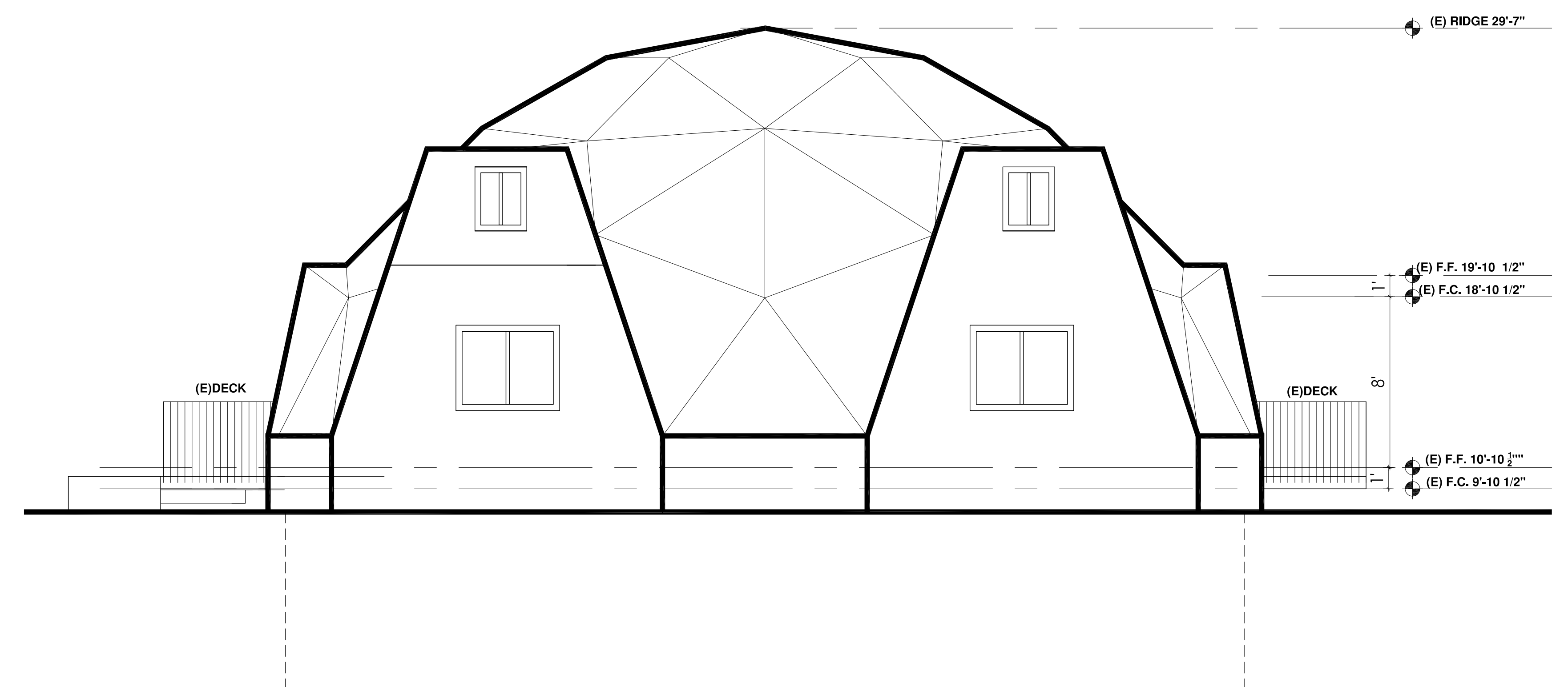
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EXISTING FRONT ELEVATION
 (SOUTH ELEVATION)
 Scale: 1/4"=1'



EXISTING REAR ELEVATION
 (NORTH ELEVATION)
 Scale: 1/4"=1'

Project:

**Proposed
 Addition
 Remodel
 ADU**

Title:
 (E) Exterior Front,
 Rear Elevations

Date: 12-02-2021

Scale: 1/4"=1'

Drawn: HD

Checked:

Status: Planning Review

Job No.

Sheet

A2-1

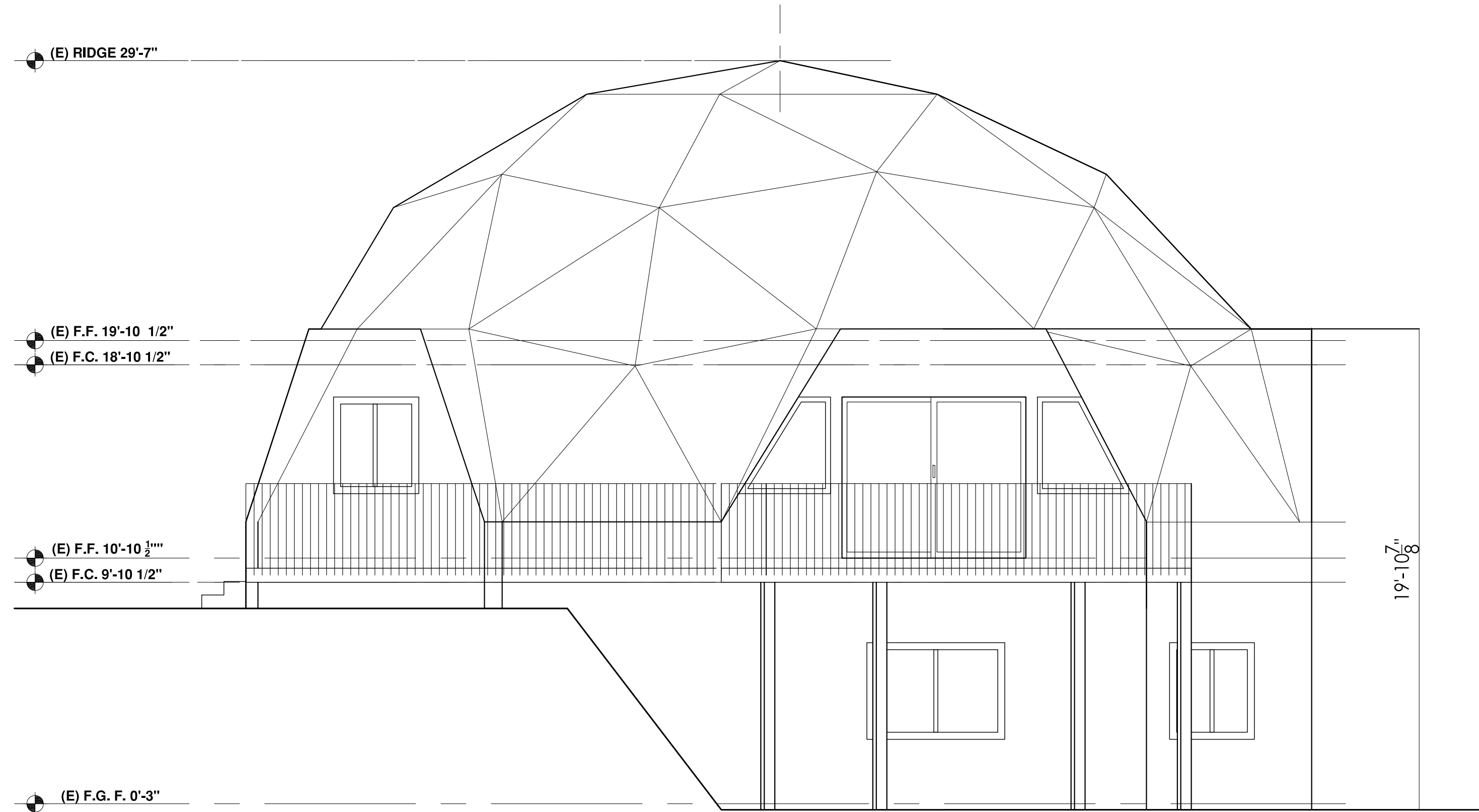
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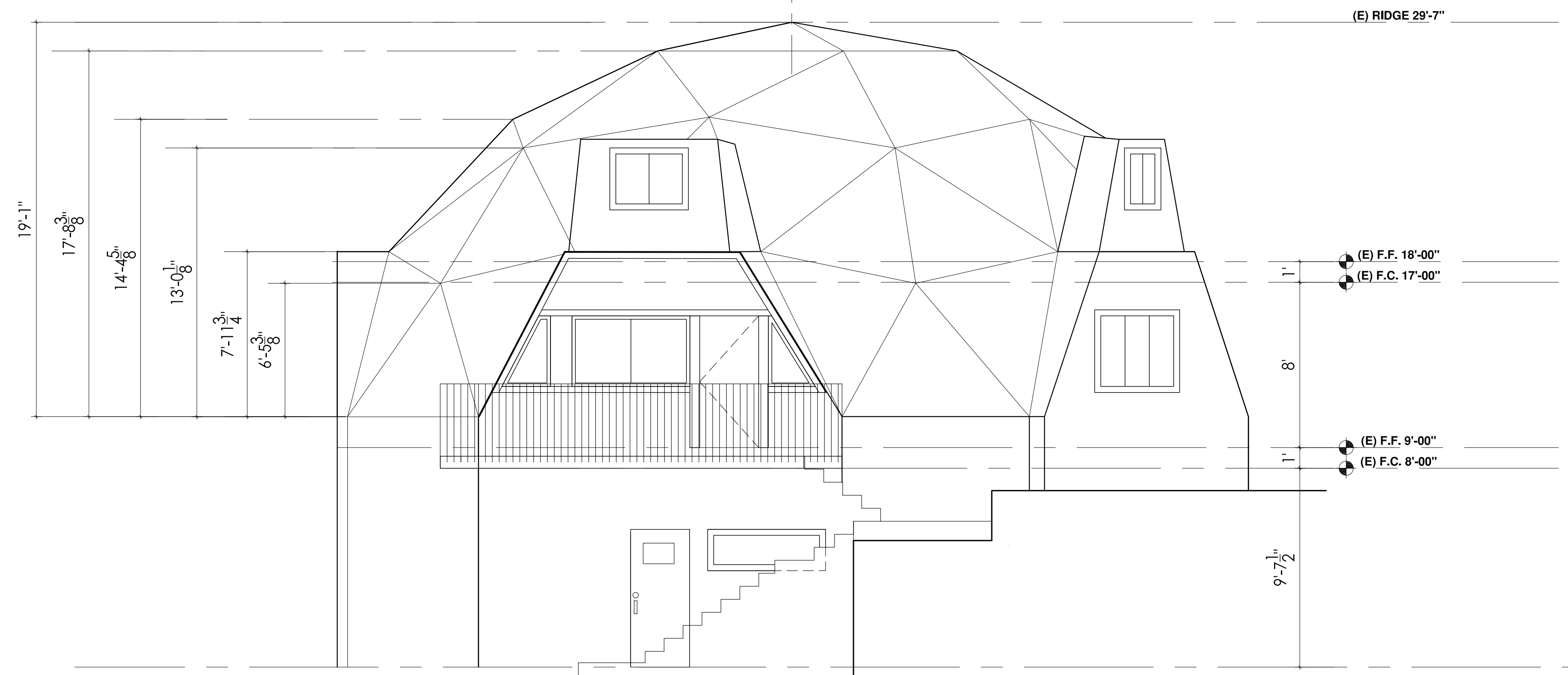
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EXISTING LEFT ELEVATION
 (WEST ELEVATION)
 Scale: 1/4"=1'



EXISTING RIGHT ELEVATION
 (EAST ELEVATION)
 Scale: 1/4"=1'

Project:

**Proposed
 Addition
 Remodel
 ADU**

Title:
 (E) Exterior Left,
 Right Elevations

Date: 12-02-2021

Scale: 1/4"=1'

Drawn: HD

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Job No.

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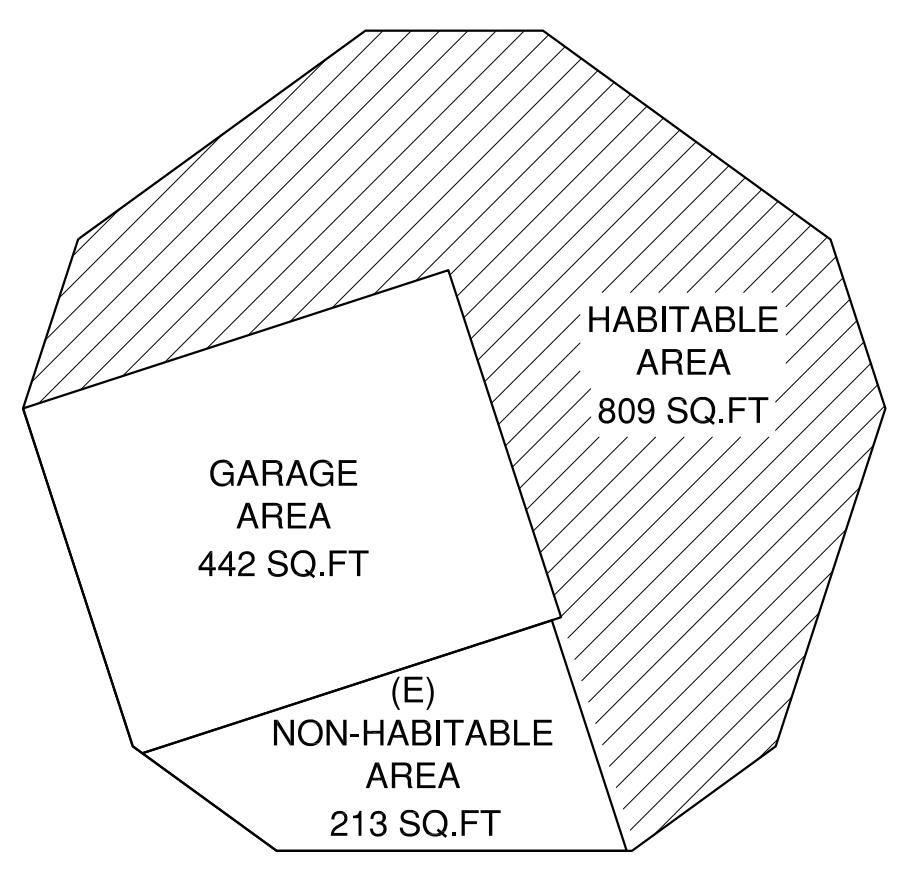
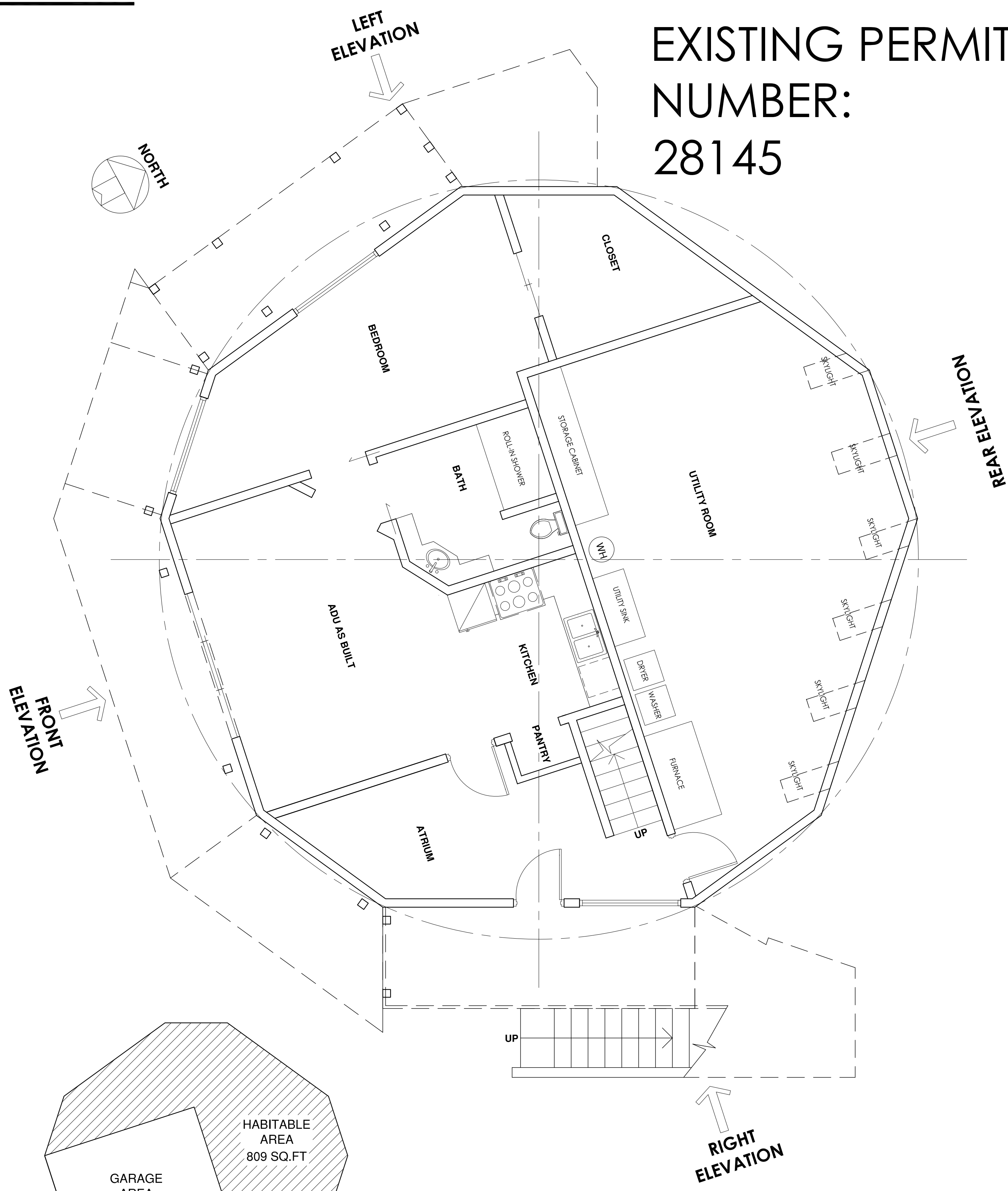
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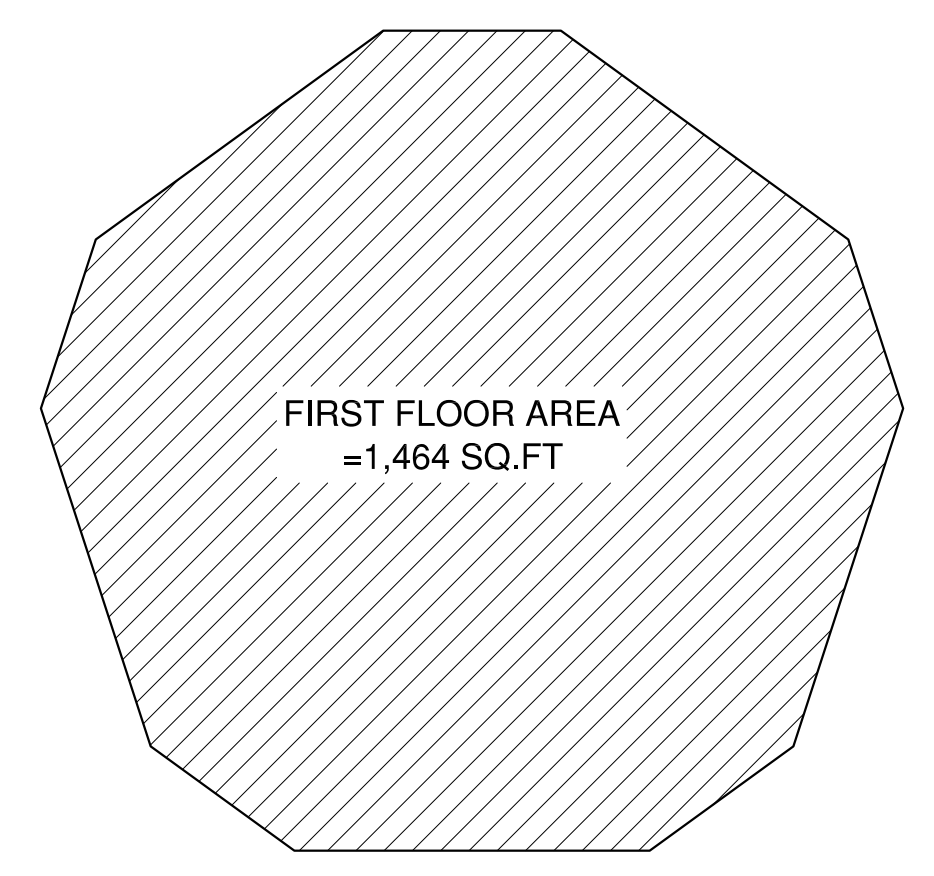
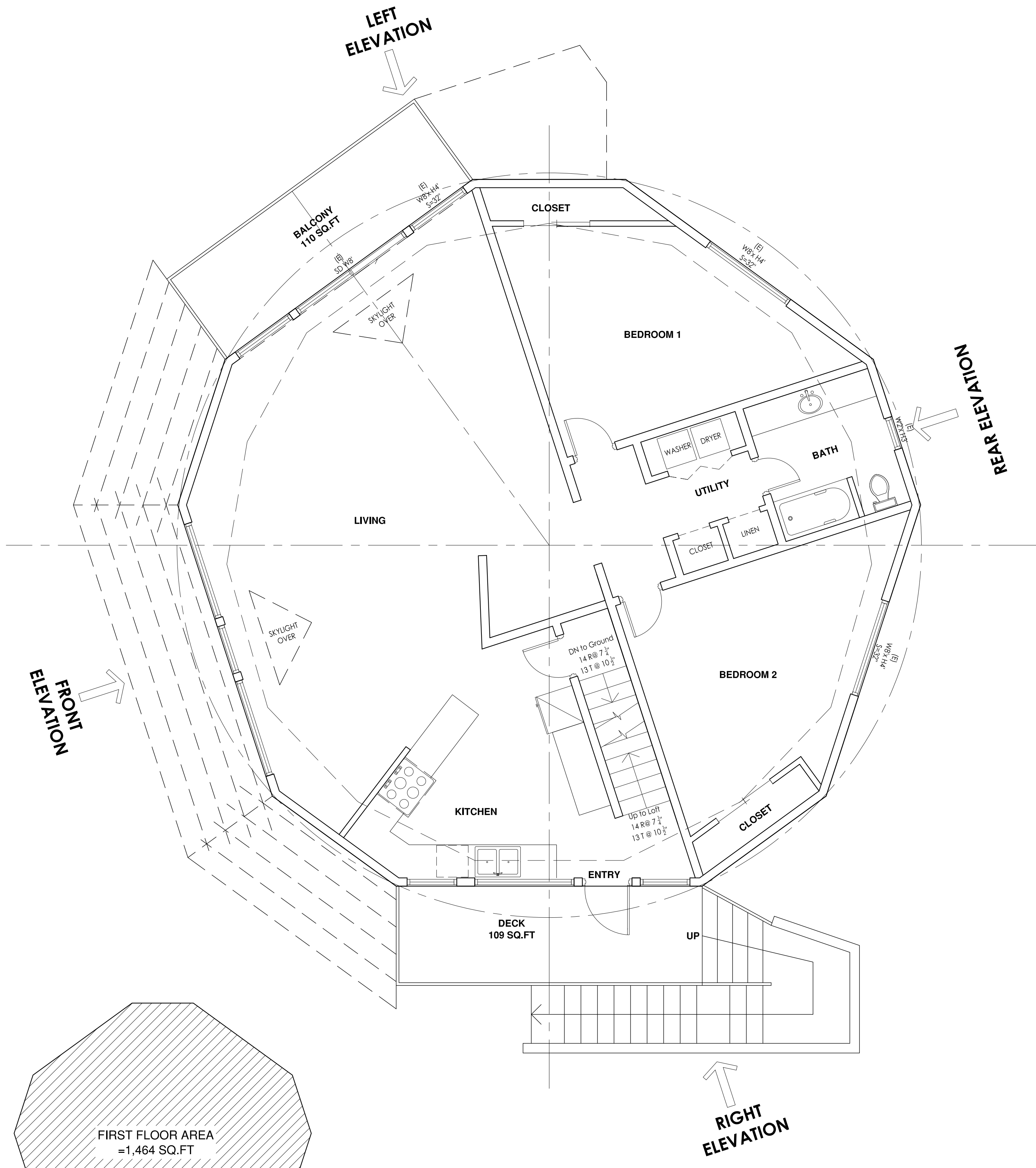
OWNER: Helen Chen
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EXISTING PERMIT NUMBER: 28145



GROUND FLOOR
 HABITABLE AREA=809 SQ.FT
 GARAGE=442 SQ.FT
 NON-HABITABLE AREA=213 SQ.FT
 Scale: 1"=1'-0"



FIRST FLOOR
 HABITABLE AREA=1,464 SQ.FT
 Scale: 1"=1'-0"



Project:

**Proposed
 Addition
 Remodel
 ADU**

Title: (E) Ground Floor Plan
 & Garage Plan/
 ADU AS BUILT

Date: 12-02-2021

Scale: 1/4"=1'

Drawn: HD

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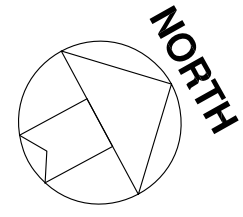
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Rd, San Jose, CA
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REVISIONS	DATE
-----------	------

Project:

**Proposed
Addition
Remodel
ADU**

Title:

(E) Loft Floor Plan
(E) Roof Plan

Date: 12-02-2021

Scale: 1/4"=1'

Drawn: HD

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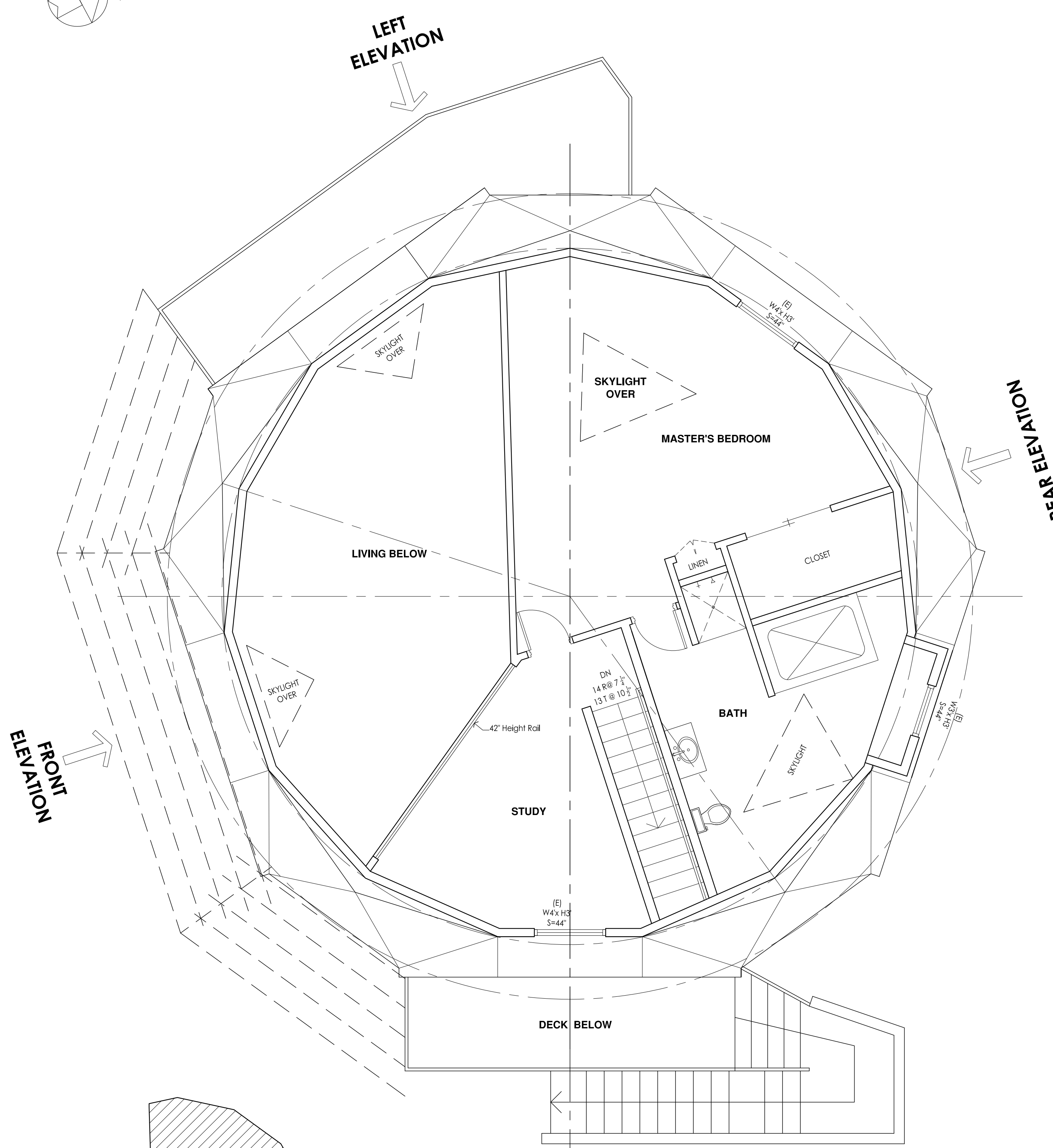
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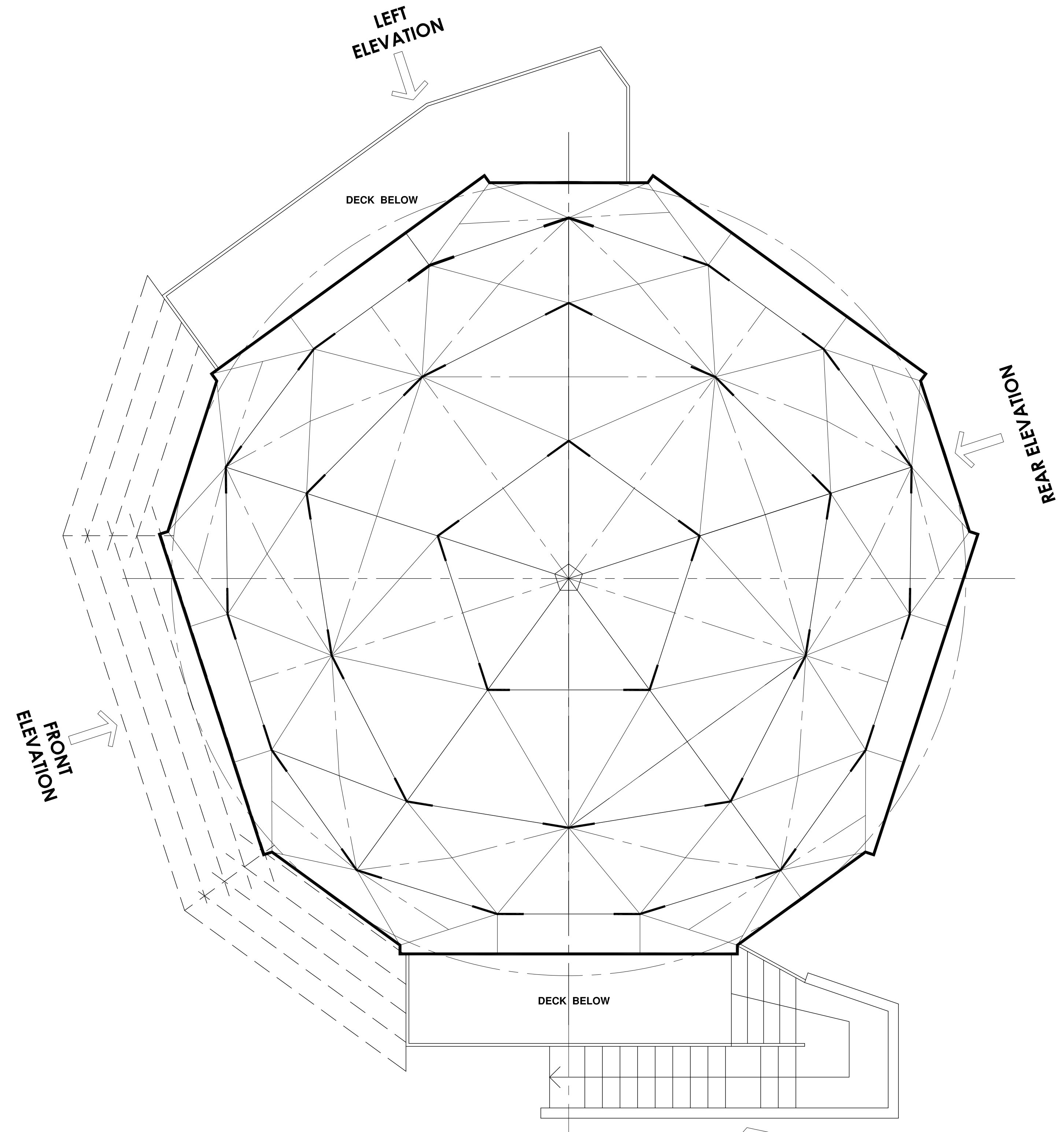
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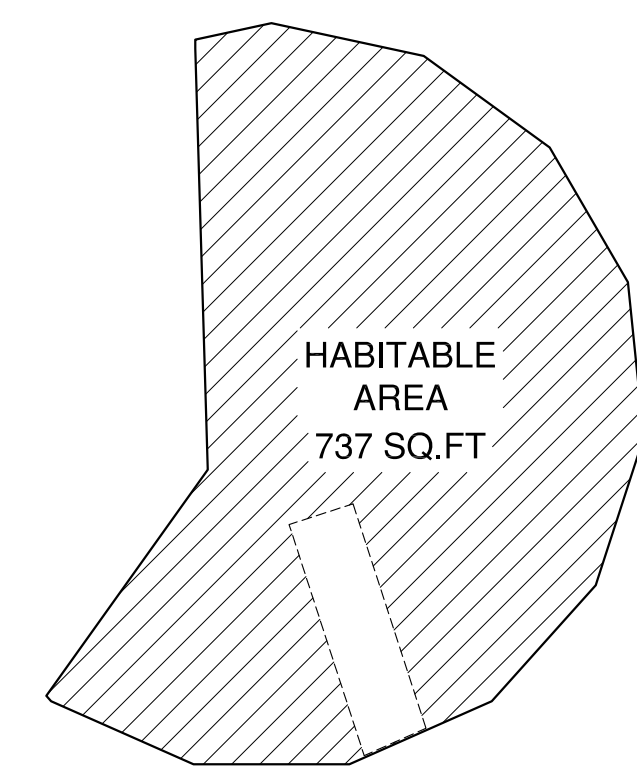
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EXISTING LOFT FLOOR PLAN
Scale: 1/4"=1'

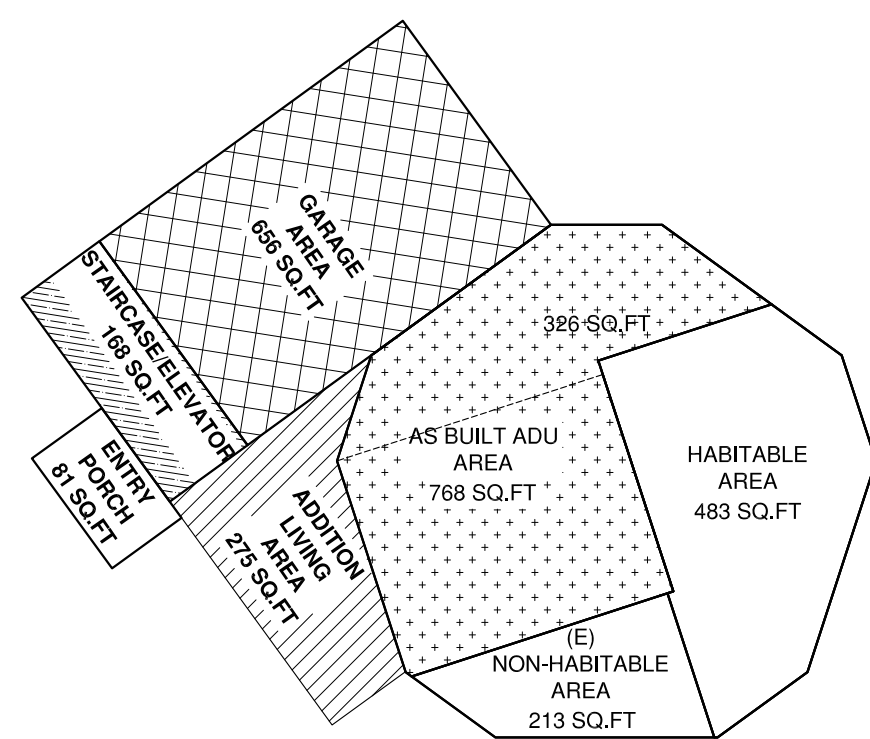
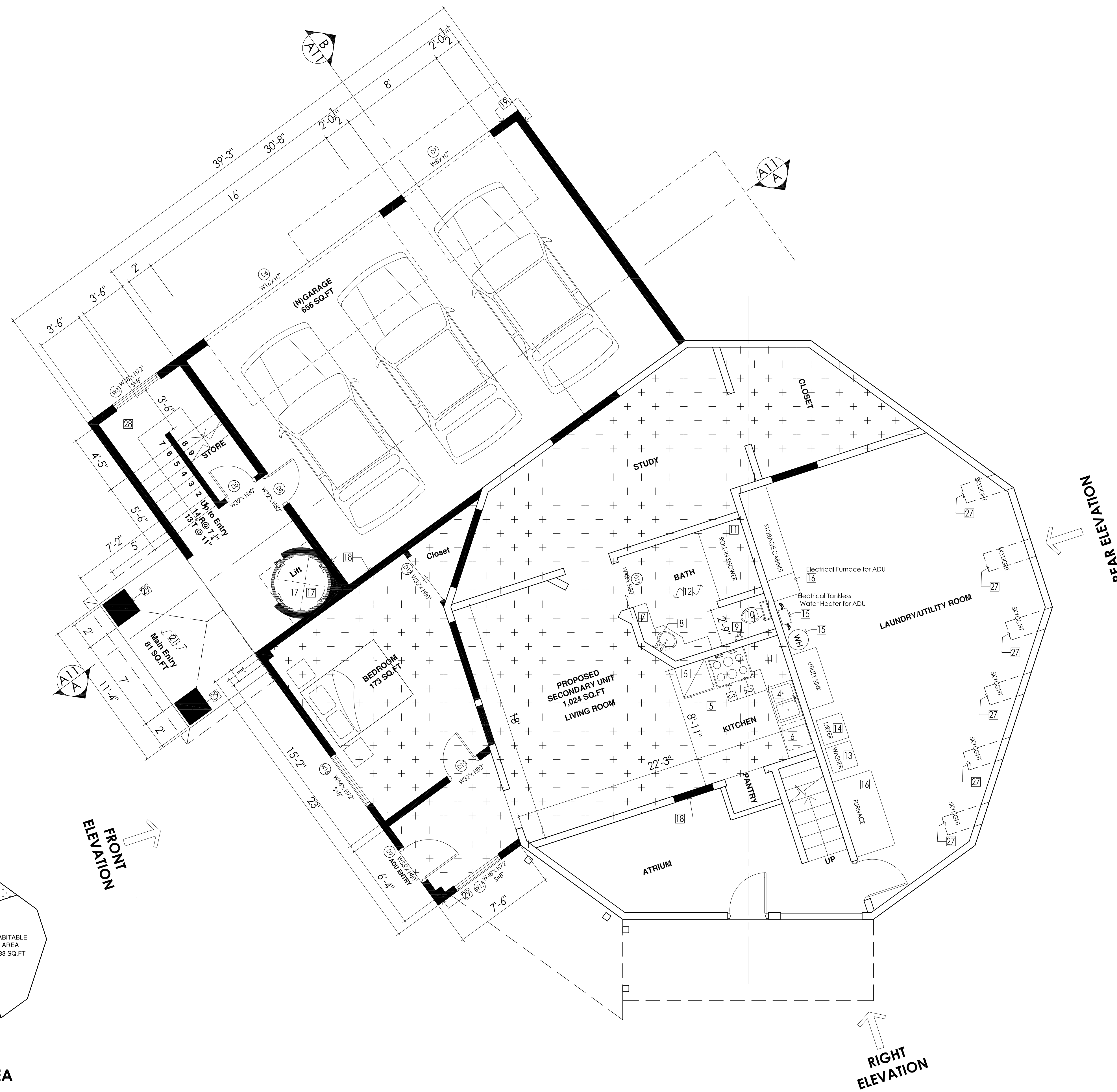
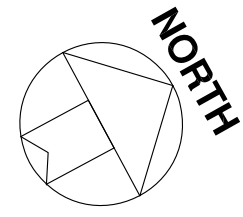


EXISTING ROOF PLAN
Scale: 1/4"=1'



LOFT
HABITABLE AREA=796 SQ.FT
Scale: 1"=1'-0"





(P) GROUND FLOOR PLAN /ADU PLAN/GARAGE
Scale 1/4":1'-0"

- LEGEND.**
- New walls
 - Existing walls
 - Existing walls to be removed



SHEET NOTES:

1. ALL DIMENSIONS ARE TO FACE OF GYPSUM PARTITION UNLESS OTHERWISE NOTED(U.N.O.)
2. ALL INTERIOR WALL PARTITIONS ARE 2X4 WOOD STUDS WITH 1/2 GYP.BD. EA. SIDE, U.N.O.
3. ALL NEW EXTERIOR WALL ARE 2X6 WOOD STUDS WITH 5/8 GYP. BD AT INTERIOR SIDE U.N.O. SIDING OVER W/2 LAYERS "TYVEK" BUILDING WRAP TAPED & SEALED OVER 3/4 PLYWOOD SHEATHING(S.S.D) UNLESS OTHERWISE NOTED.
4. FIELD VERIFY ALL DIMENSIONS LOCATED IN EXISTING CONSTRUCTION PRIOR TO PROCEEDING WITH ANY WORK.

KEY NOTES:

- 1 **COUNTER TOP**
to be selected by the owner
- 2 **ELECTRICAL COOKING RANGE OF ADU**
- 3 **KITCHEN HOOD** shall be min. 100 cfm for intermittent ventilation w/ max. 1 sone sound rating (ASRAE 62.2) Fans shall be Energy Star compliant (CGBC 4.5061) and be ducted to terminate outside the building.
- 4 **SINK w/Garbage disposal**
Kitchen Faucets shall not exceed 1.8 gmp @ 60psi.
- 5 **REFRIGERATOR** space w/ cold water stub-out for icemaker
- 6 **DISHWASHING MACHINE**
Space-provide hot & cold water supply & waste line
Faucets shall not exceed 1.2 gpm @ 60psi
- 7 **LAVATORY** to be selected by owner
Faucets shall not exceed 1.2 gpm @ 60psi
- 8 **MIRROR**
- 9 **TOILET PAPER HOLDER**
- 10 **WATER CLOSET** Ultra low flush(1.28 gal/flush)
- 11 **BATH TUB/SHOWER**
- 12 **CERAMIC TILES**
shall be non-slip and have 4" cove base tiles at walls
- 13 **WATER HEATERS**
a. (E)Primary House Model:301499-402 Electrical
b. (N) ADU Electrical
- 14 **FURNACE - (Utility Room)**
a. Primary House Model Number:301499-402 Electrical.Voltage 230 V
b. ADU Electrical Furnace Voltage 220 V
- 15 **GARAGE DOOR**
See door schedule
- 16 **ELEVATOR**
See future specification
- 17 1/2" **GYP.BD.**
- 18 **INTERIORS WALLS:**
2x4 Studs @ 16" o.c. w/GYP.BD.
both sides Typ.
- 19 **EXTERIOR WALL:** Exterior walls 2x4 studs @16" o.c. 7/8" THK. 7 / 8" min. thick w/ 3-coat plaster Stucco on 2 layers "TYVEK" building wrap over 1/2" ply, over plywd Color match (E) Walls
- 20 **INSULATION:**
Ceilings: R-30 Batt insulation
Walls: R-15 Batt insulation
Floors: R-19 Batt insulation
- 21 **CERAMIC TILES/SANDSTONE**
shall be non-slip and to be selected by owner
- 22 **LOUVER VENTS:**
10" x18" x 8
- 23 **GABLE VENTS & ROOF VENTS:**
18" x14" x 1
- 24 **GUTTER:**
Color to match (E)
- 25 **(E) ROOFING**
Composition shingle roof
- 26 **(N) BUR FLAT ROOFING**
(Class A Fire-retardant)
- 27 **(E)SKYLIGHTS**
- 28 **STAIRCASE/HANDRAILS**
To see details
- 29 **Posts**
To see details



DESIGN & CONSTRUCTION LLC

Address: 3810 Somerset Ave.
Castro Valley,
CA 94546
Tel: 510-996 2398
E-mail: h3das@live.com

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Email:

REVISIONS DATE

REVISIONS	DATE

Project:

**Proposed
Addition
Remodel
ADU**

Title:
(P)Ground Floor Plan/
ADU Floor Plan/Garage

Date: 12-02-2021

Scale: 1/4"=1'

Drawn: HD

Checked:

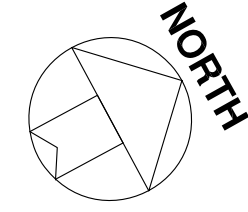
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4. FIELD VERIFY ALL DIMENSIONS LOCATED IN EXISTING CONSTRUCTION PRIOR TO PROCEEDING WITH ANY WORK.

H3D
 DESIGN & CONSTRUCTION LLC
 Address: 3810 Somerset Ave.
 Castro Valley,
 CA 94546
 Tel: 510-996 2398
 E-mail: h3das@live.com

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- 12 CERAMIC TILES shall be non-slip and have 4" cove base tiles at walls
- 13 WATER HEATERS
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 - b. (N) ADU Electrical
- 14 FURNACE - (Utility Room)
 - a. Primary House Model Number:301499-402 Electrical.Voltage 230 V
 - b. ADU Electrical Furnace Voltage 220 V
- 15 ATTIC PER C.R.C. 807.1..C.M.C.904.11 Opening min.22"x30"
- 16 ELEVATOR See future specification
- 17 1/2" GYP.BD.
- 18 INTERIORS WALLS: 2x4 Studs @ 16" o.c. w/GYP.BD. both sides Typ.
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- 26 (N) BUR FLAT ROOFING (Class A Fire-retardant)
- 27 (E) SKYLIGHTS To see details
- 28 STAIRCASE/HANDRAILS To see details
- 29 Posts To see details

Project:
Proposed Addition Remodel ADU

Title:
 Proposed First Floor Plan

Date: 12-02-2021

Scale: 1/4"=1'

Drawn: HD

Checked:

Status: Planning Review

Job No.

Sheet

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 Of 16 Sheets



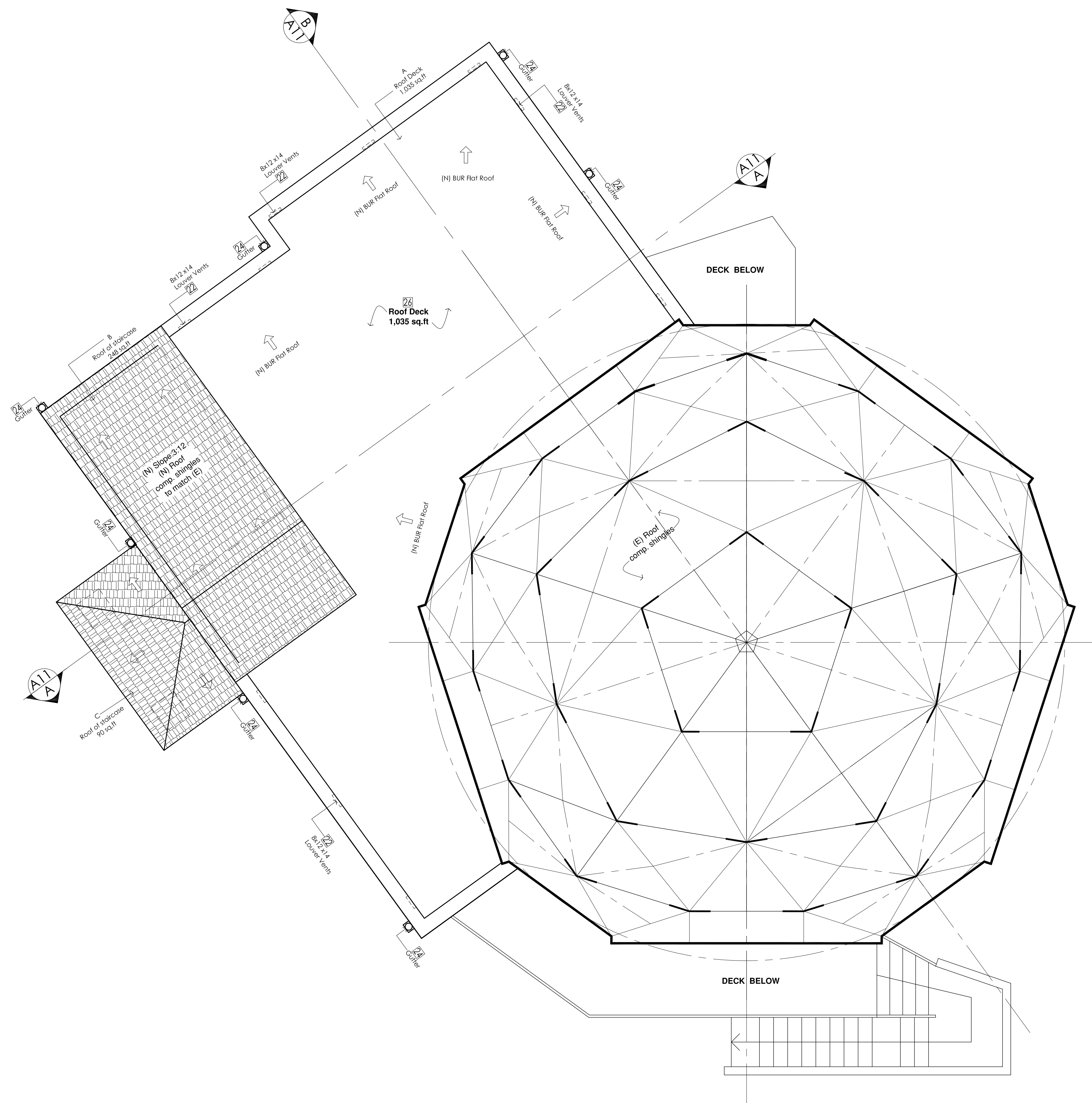
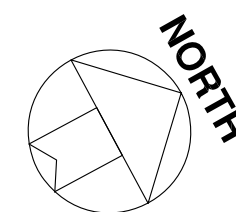
(P) FIRST FLOOR PLAN
 Scale 1/4":1'-0"

LEGEND.

- New walls
- Existing walls
- Existing walls to be removed

NEW ADDITIONAL AREA
 Scale: 1"=1'-0"





(P) ROOF PLAN
Scale 1/4":1'-0"



SHEET NOTES:

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2. ALL INTERIOR WALL PARTITIONS ARE 2X4 WOOD STUDS WITH 1/2 GYP.BD. EA. SIDE, U.N.O.
3. ALL NEW EXTERIOR WALL ARE 2X6 WOOD STUDS WITH 5/8 GYP. BD AT INTERIOR SIDE U.N.O. SIDING OVER W/2 LAYERS "TYVEK" BUILDING WRAP TAPED & SEALED OVER 3/4" PLYWOOD SHEATHING(S.S.D) UNLESS OTHERWISE NOTED.
4. FIELD VERIFY ALL DIMENSIONS LOCATED IN EXISTING CONSTRUCTION PRIOR TO PROCEEDING WITH ANY WORK.

KEY NOTES:

- 1 **COUNTER TOP**
to be selected by the owner
- 2 **ELECTRICAL COOKING RANGE** OF ADU
- 3 **KITCHEN HOOD** shall be min. 100 cfm for intermittent ventilation w/ max. 1 sone sound rating (ASRAE 62.2) Fans shall be Energy Star compliant (CGBCS 4.5061) and be ducted to terminate outside the building.
- 4 **SINK** w/Garbage disposal
Kitchen Faucets shall not exceed 1.8 gmp @ 60psi.
- 5 **REFRIGERATOR** space w/ cold water stub-out for icemaker
- 6 **DISHWASHING MACHINE**
Space-provide hot & cold water supply & waste line
Faucets shall not exceed 1.2 gpm @ 60psi
- 7 **LAVATORY** to be selected by owner
Faucets shall not exceed 1.2 gpm @ 60psi
- 8 **MIRROR**
- 9 **TOILET PAPER HOLDER**
- 10 **WATER CLOSET** Ultra low flush(1.28 gal/flush)
- 11 **BATH TUB/SHOWER**
- 12 **CERAMIC TILES**
shall be non-slip and have 4" cove base tiles at walls
- 13 **WATER HEATERS**
a. (E) Primary House Model:301499-402 Electrical
b. (N) ADU Electrical
14 **FURNACE** - (Utility Room)
a. Primary House Model Number:301499-402 Electrical.Voltage 230 V
b. ADU Electrical Furnace Voltage 220 V
- 15 **ATTIC** PER C.R.C. 807.1..C.M.C.904.11
Opening min.22"x30"
- 16 **ELEVATOR**
See future specification
- 17 1/2" **GYP.BD.**
- 18 **INTERIORS WALLS:**
2x4 Studs @ 16" o.c. w/GYP.BD.
both sides Typ.
- 19 **EXTERIOR WALL:** Exterior walls 2x4 studs @16" o.c. 7/8" THK. 7 / 8" min. thick w/ 3-coat plaster Stucco on 2 layers "TYVEK" building wrap over 1/2" ply, over plywd Color match (E) Walls
- 20 **INSULATION:**
Ceilings: R-30 Batt insulation
Walls: R-15 Batt insulation
Floors: R-19 Batt insulation
- 21 **CERAMIC TILES/SANDSTONE**
Shall be non-slip and to be selected by owner
- 22 **LOUVER VENTS:**
10' x18" x 8
- 23 **GABLE VENTS & ROOF VENTS:**
18" x14" x 1
- 24 **GUTTER:**
Color to match (E)
- 25 **(E) ROOFING**
Composition shingle roof
- 26 **(N) BUR FLAT ROOFING**
(Class A Fire-retardant)
- 27 **(E) SKYLIGHTS**
To see details
- 28 **STAIRCASE/HANDRAILS**
To see details
- 29 **Posts**
To see details

ATTIC VENTILATION CALCULATIONS:

Proposed Roof Deck Area =1,035 sq.ft.
1,035 sq.ft/150x144=994 sq.in
Required Ventilation
A. Roof Deck
Size of Louvre vents:
a. 14"x12"x6=1,008 sq.in.
B. Roof of Staircase 248 sq.ft
Size of Eave Vents
14"x3"=42 sq.in.
6x42 =252 sq.in.
C. Roof of Entrance Porch 90 sq.ft
Size of Eave Vents
=14"x3"x3=126 sq.in



DESIGN & CONSTRUCTION LLC

Address: 3810 Somers Ave.
Castro Valley,
CA 94546
Tel: 510-996 2398
E-mail: h3das@live.com

Project Address:

**CHEN
RESIDENCE**

**10250 Crothers
Rd, San Jose, CA
95127**

OWNER:Helen Chen
TEL:1-510 825 7348
Email:

REVISIONS	DATE

SHEET NOTES:

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Project Address:

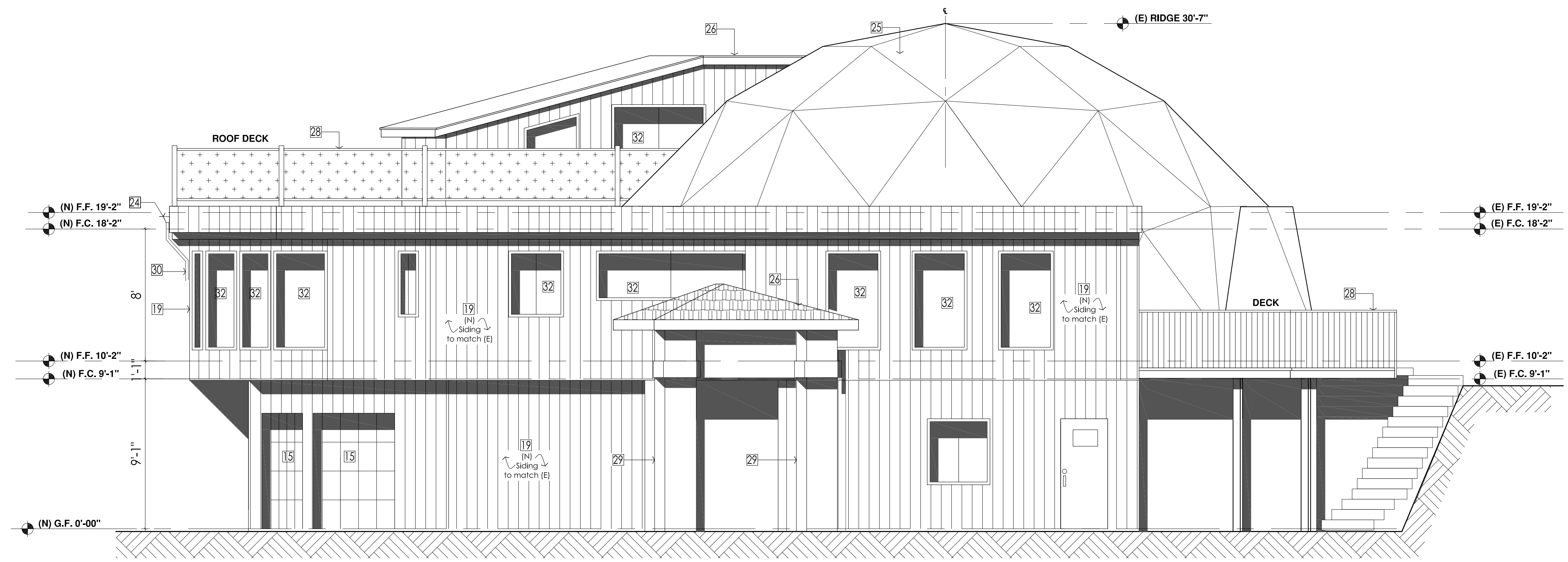
KEY NOTES:

- 15 ATTIC PER C.R.C. 807.1., C.M.C.904.11
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- 16 ELEVATOR
See future specification
- 17 1/2" GYP. BD.
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both sides Typ.
- 19 EXTERIOR WALL: Exterior walls 2x6 studs @ 16" o.c. Siding on 2 layers "TYVEK" building wrap over 3/4" ply. over plywd
- 20 INSULATION:
Ceilings: R-30 Batt insulation
Walls: R-15 Batt insulation
Floors: R-19 Batt insulation
- 21 CERAMIC TILES/SANDSTONE
Shall be non-slip and to be selected by owner
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Color to match (E)
- 25 (E) ROOFING
Composition shingle roof
- 26 (N) BUR FLAT ROOFING/(N) COMPOSITION SHINGLE ROOF
(Class A Fire-retardant)
- 27 (E)SKYLIGHTS
To see details
- 28 STAIRCASE/HANDRAILS
To see details
- 29 Posts
To see details
- 30 DOWNSPOUT:
Drain to splashblock
- 31 Weep screed:
at +8" min.above finished grade or +2 above paved area as per C.R.C. 703.6.2.1.
- 32 WINDOWS:
Vinyl dual glazed,Low-e-Glass windows,color white. Details to see window schedule
- 33 SOLID DOOR To see Door shedule
- 34 SPLASHBLOCK
To see structural's details
- 35 ROOF FRAMING:
To see structural's details
- 36 CEILING JOISTS
To see structural's details
- 37 CONCRETE PIERS AND FOOTING:
To see structural's details
- 38 HEADER
To see structural's details
- 39 FLOOR FRAMING:
To see structural's details
- 40 CONCRETE RETAINING WALLS:
To see structural's details

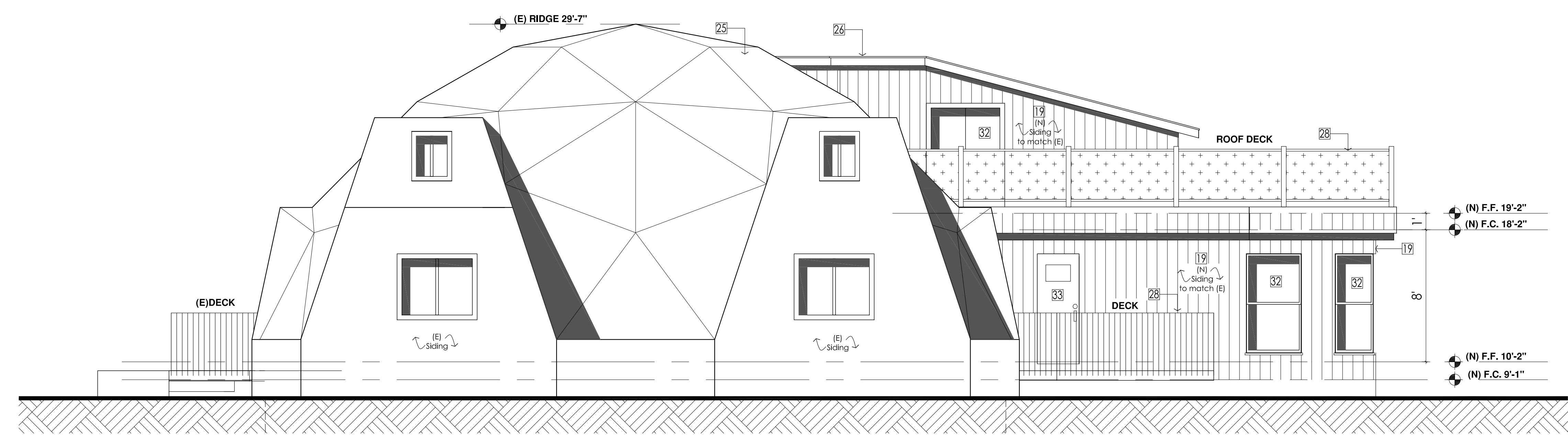
CHEN RESIDENCE
 10250 Crothers Rd, San Jose, CA 95127

OWNER:Helen Chen
 TEL:1-510 825 7348
 Email:

REVISIONS	DATE



PROPOSED FRONT ELEVATION Scale 1/4":1'-0"
(PROPOSED SOUTH ELEVATION)



PROPOSED REAR ELEVATION Scale 1/4":1'-0"
(PROPOSED NORTH ELEVATION)



Project:
Proposed Addition Remodel ADU

Title:
(P) Front,Rear Elevations

Date: 12-02-2021

Scale: 1/4"=1'

Drawn:

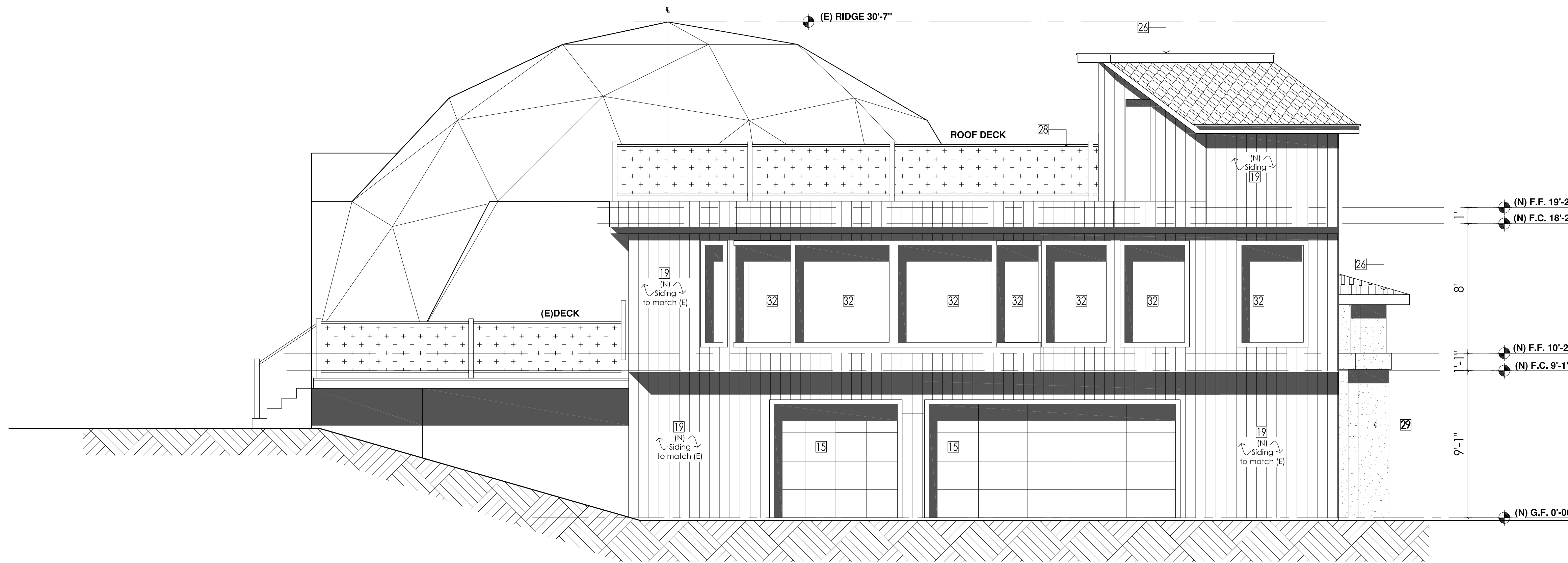
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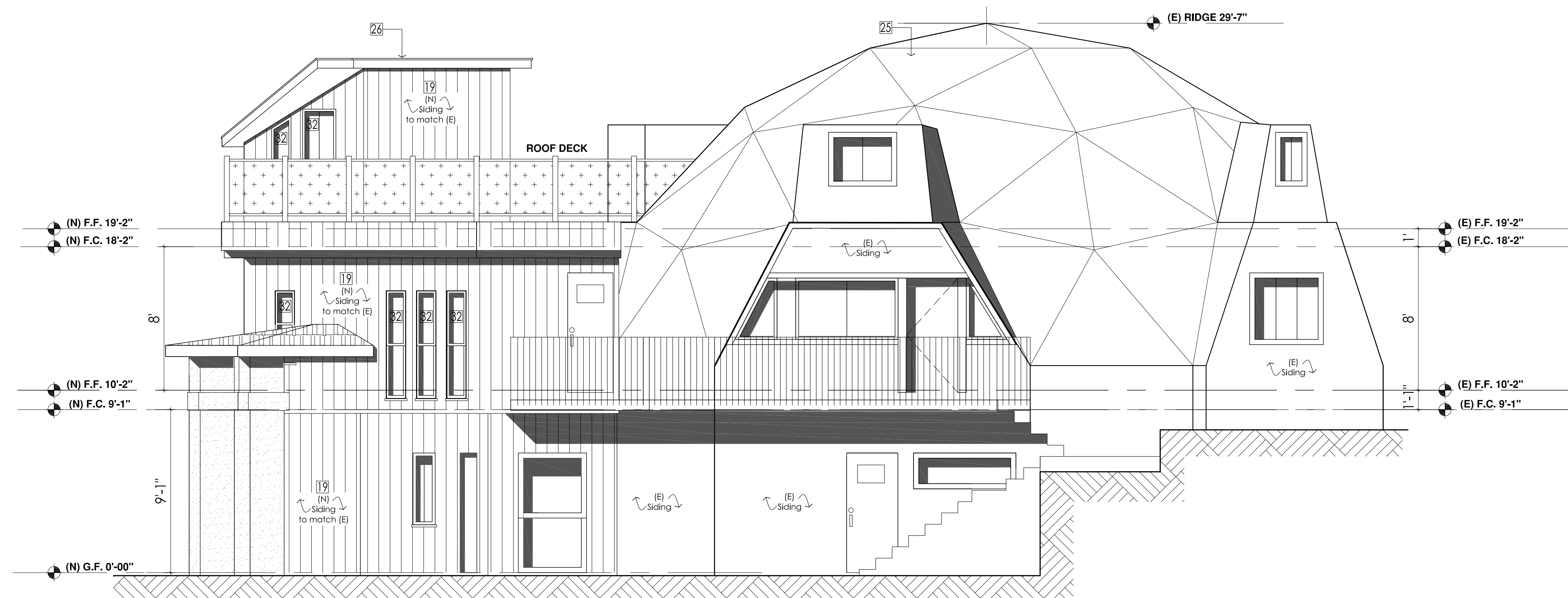
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PROPOSED RIGHT ELEVATION Scale 1/4":1'-0"
 PROPOSED EAST ELEVATION



PROPOSED REAR ELEVATION Scale 1/4":1'-0"
 PROPOSED NORTH ELEVATION



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KEY NOTES:

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- 16 ELEVATOR See future specification
- 17 1/2" GYP.BD.
- 18 INTERIORS WALLS: 2x4 Studs @ 16" o.c. w/GYP.BD. both sides Typ.
- 19 EXTERIOR WALL: Exterior walls 2x6 studs @16" o.c. Siding on 2 layers "TYVEK" building wrap over 3/4 ply. over plywd
- 20 INSULATION: Ceilings: R-30 Batt insulation Walls: R-15 Batt insulation Floors: R-19 Batt insulation
- 21 CERAMIC TILES/SANDSTONE Shall be non-slip and to be selected by owner
- 22 LOUVER VENTS: 10' x18" x 8
- 23 GABLE VENTS & ROOF VENTS: 18" x14" x 1
- 24 GUTTER: Color to match (E)
- 25 (E) ROOFING Composition shingle roof
- 26 (N) BUR FLAT ROOFING/(N) COMPOSITION SHINGLE ROOF (Class A Fire-retardant)
- 27 (E)SKYLIGHTS
- 28 STAIRCASE/HANDRAILS To see details
- 29 Posts To see details
- 30 DOWNSPOUT: Drain to splashblock
- 31 Weep screed: at +8" min.above finished grade or +2 above paved area as per C.R.C. 703.6.2.1.
- 32 WINDOWS: Vinyl dual glazed,Low-e-Glass windows,color white. Details to see window schedule
- 33 SOLID DOOR To see Door shedule
- 34 SPLASHBLOCK
- 35 ROOF FRAMING: To see structural's details
- 36 CEILING JOISTS To see structural's details
- 37 CONCRETE PIERS AND FOOTING: To see structural's details
- 38 HEADER To see structural's details
- 39 FLOOR FRAMING: To see structural's details
- 40 CONCRETE RETAINING WALLS: To see structural's details



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 Email:

REVISIONS DATE

REVISIONS	DATE

Project:
Proposed Addition Remodel ADU

Title:
 (P) Right Left Elevations

Date: 12-02-2021

Scale:1/4"=1'

Drawn:

Checked:

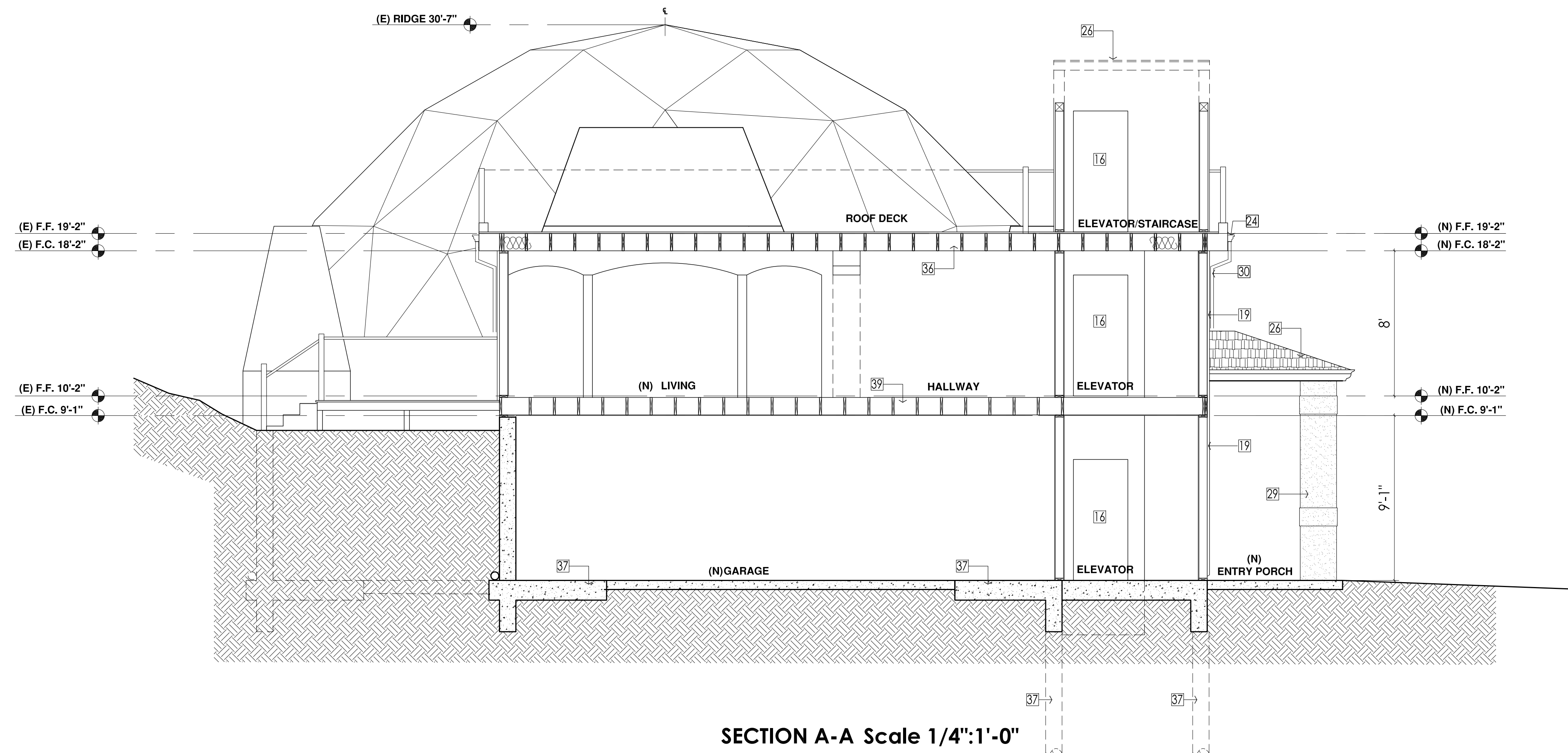
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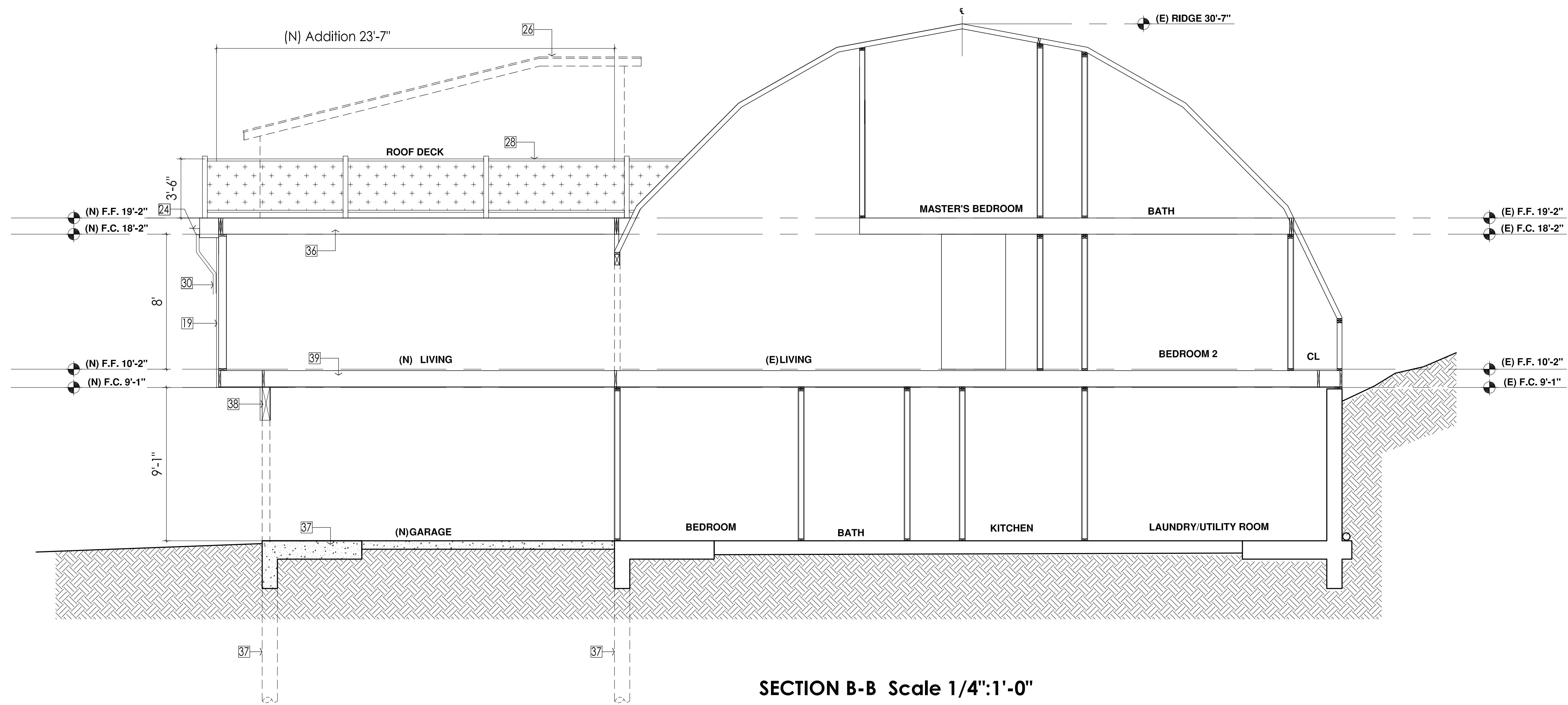
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SECTION A-A Scale 1/4":1'-0"



SECTION B-B Scale 1/4":1'-0"



- SHEET NOTES:**
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Composition shingle roof
 - (N) BUR FLAT ROOFING/(N) COMPOSITION SHINGLE ROOF
(Class A Fire-retardant)
 - (E)SKYLIGHTS
 - STAIRCASE/HANDRAILS
To see details
 - Posts
To see details
 - DOWNSPOUT:
Drain to splashblock
 - Weep screed:
at +8" min.above finished grade or +2 above paved area as per C.R.C. 703.6.2.1.
 - WINDOWS:
Vinyl dual glazed,Low-e-Glass windows,color white. Details to see window schedule
 - SOLID DOOR To see Door shedule
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 - ROOF FRAMING:
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 - CEILING JOISTS
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REVISIONS	DATE

Project:
Proposed Addition Remodel ADU

Title:
Section A-A,B-B

Date: 12-02-2021

Scale: 1/4"=1'

Drawn:

Checked:

Status: Planning Review

Job No.

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DOOR SCHEDULE												
DOOR HEADER AT = 6'-8" above F.F												
LEVEL	NO.	DESCRIPTION	QTY	LOCATION	TYPE	MATERIAL	SIZE	RATING	FINISH/COLOR	DETAIL	MANUFACTURER/BRAND	REMARKS
FIRST FLOOR	D1	5068, Hinge door	1 EA	Entrance	New	Solid	W 60"x H 80"		Selected by owner	Exterior		
	D2	2868, Hinge door	1 EA	Dining	New	Solid	W 32"x H 80"		Selected by owner	Exterior		
	D3	2868, Hinge door	1 EA	Deck	New	Solid	W 32"x H 80"		Selected by owner	Exterior		
	D4	2468, Hinge door	1 EA	Powder Room	New	Wood	W 28"x H 80"		Selected by owner	Exterior		
GROUND FLOOR	D5	2868, Hinge door	1 EA	Store	New	Wood	W 32"x H 80"		Selected by owner	Interior		
	D6	1670, Hinge door	1 EA	Garage	New	Solid/Steel	W 192"x H 84"		Selected by owner	Exterior		
	D7	8070, Hinge door	1 EA	Garage	New	Solid/Steel	W 96"x H 84"		Selected by owner	Exterior		
	D8	2868, Hinge door	1 EA	Garage	New	Solid	W 32"x H 80"		Selected by owner	Exterior		Min. 20 minutes fire rate, Auto self-closing & self-latching
ADU	D9	3068, Hinge door	1 EA	ADU Entrance	New	Solid	W 36"x H 80"		Selected by owner	Exterior		
	D10	2868, Hinge door	1 EA	ADU bedroom	New	Wood	W 32"x H 80"		Selected by owner	Interior		
	D11	3668, Pocket door	1 EA	ADU Bathroom	New	Wood	W 42"x H 80"		Selected by owner	Interior		
	D12	4068, Sliding Door	1 EA	Closet	New	Wood	W 48"x H 80"		Selected by owner	Interior		
ROOF DECK		5068, Hinge door	1 EA	Roof Deck	New	Solid	W 60"x H 80"		Selected by owner	Exterior		

WINDOW SCHEDULE												
WINDOW HEADER AT = 6'-8" above F.F												
LEVEL	NO.	DESCRIPTION	QTY	LOCATION	TYPE	MATERIAL	SIZE	RATING	FINISH/COLOR	DETAIL	MANUFACTURER/BRAND	REMARKS
FIRST FLOOR	W1	Sliding Window	1 EA	Stair Landing	New	VINYL	W72"x H 36"x S= 44"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel Tempered Glass
	W2	Sliding Window	1 EA	Staircase	New	VINYL	W36"x H 48"x S= 32"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel Tempered Glass
	W3	Double Hung	1 EA	Staircase	New	VINYL	W48"x H 36"x S= 44"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel Tempered Glass
	W4	Sliding Window	1 EA	Office	New	VINYL	W54"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W5	Sliding Window	1 EA	Office	New	VINYL	W54"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W6	Fixed Window	1 EA	Living	New	VINYL	W24"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W7	Fixed Window	1 EA	Living	New	VINYL	W24"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W8	Fixed Window	1 EA	Living	New	VINYL	W72"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W9	Sliding Window	1 EA	Living	New	VINYL	W72"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W10	Fixed Window	1 EA	Living	New	VINYL	W24"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W11	Fixed Window	1 EA	Living	New	VINYL	W24"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W12	Double Hung	1 EA	Living	New	VINYL	W36"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W13	Double Hung	1 EA	Dining	New	VINYL	W36"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W14	Double Hung	1 EA	Dining	New	VINYL	W36"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W15	Double Hung	1 EA	Dining	New	VINYL	W36"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
GROUND	W16	Sliding Window	1 EA	Bed room of ADU	New	VINYL	W54"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W17	Sliding Window	1 EA	Entrance of ADU	New	VINYL	W48"x H 72"x S= 8"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
LOFT	W18	Sliding Window	1 EA	Landing	New	VINYL	W72"x H 736"x S= 44"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W21	Fixed Window	1 EA	Staircase	New	VINYL	W48"x H 36"x	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass
	W20	Double Hung	1 EA	Staircase	New	VINYL	W48"x H 36"x S= 44"	Low-e-Glass	White		JELD WEN	All Glazing Dual Panel, Tempered Glass

Note
 All size of windows are nominal. Double check all sizes before order.

WINDOWS REPLACEMENT REQUIREMENT:
 Fenestration (windows) shall be low E and dual pane; and a maximum U-factor of 0.32 and a max. SHGC OF 0.35 (2019 Title 24 Energy Standards)
 Emergency egress windows (bedroom escape window) shall have a minimum of 5.0 square feet of clear opening on grade level floor and 5.7 square feet on subsequent floors; and a minimum clear opening width of 20 inches and height of 24 inches.(RC310)
 Glazing shall be tempered if (CRC R308) located in the Wildland Urban Interface Area, located less than 60 inches measured vertically above walking surface of shower/tub/steam rooms, etc., located in hazardous locations as incicated per CRC R 308.4.
 Provide a fall prevention device if the opening is located more than 72 inches above the finished grade and the lowest part of clear opening is less than 24 inches above finished floor. (CRC R 312.2)

Project Address:

**CHEN
 RESIDENCE**
**10250 Crothers
 Rd, San Jose, CA
 95127**

OWNER: Helen Chen
 TEL: 1-510 825 7348
 Email:

REVISIONS DATE

Project:

**Proposed
 Addition
 Remodel
 ADU**

Title:
**DOOR & WINDOW,
 SCHEDULE**

Date: 12-02-2021

Scale: 1/4"=1'

Drawn:

Checked:

Status: Planning Review

Job No.

Sheet

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