

SCOPE OF WORK

PLANNING AND BUILDING DEPARTMENT SUBMITTAL _____

SCOPE OF WORK:

- MERGER OF TWO LOTS

PROJECT INFORMATION

OWNER: STACEY & MIKE SWEENEY
15381 STRATFORD DR.
SAN JOSE, CA 95124
408-772-6911

CONTRACTOR: WOODCLIFF BUILDERS, INC.
JOEY KOCHANSKI, PRESIDENT
355 E MCGLINCY LANE SUITE D, CAMPBELL CA 95008
408-961-6311 | WOODCLIFFBUILD.COM

PROJECT LOCATION: 15381 STRATFORD DR, SAN JOSE CA 95124

APN: 421-04-037

GENERAL PLAN: RESIDENTIAL NEIGHBORHOOD

ZONING: R1-8

OCCUPANCY: R-3

CONSTRUCTION TYPE: TYPE-VB

EXISTING LAND USE: SH: SINGLE FAMILY RESIDENTIAL

FLOOD ZONE: ZONE D

LOT SIZE: 0.23 AC (10,019 SF)

MIN. LOT AREA: 5,000 SF

MAX. FAR: 0.45

MAX HEIGHT: 35 FT

MAX. STORIES: 2

SETBACKS:

FRONT:	25 FT
SIDE INTERIOR:	5 FT
REAR:	25 FT

BUILDING HEIGHT: 16' - 11"

SQUARE FOOTAGE CALCULATION:

(E) MAIN FLOOR:	1,986 SF
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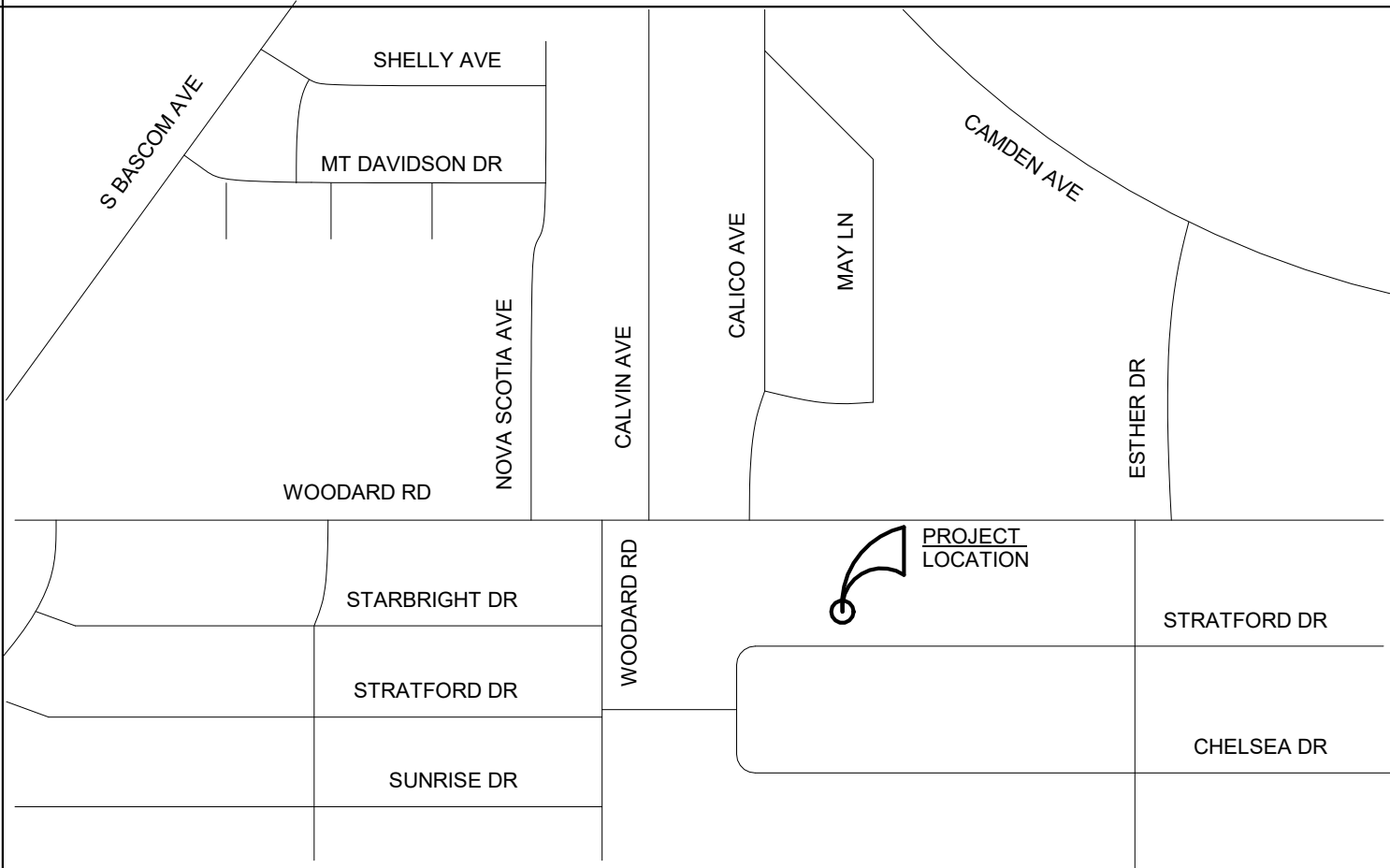
PUBLIC WORKS & SITE PLAN NOTES

- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER COUNTY OF SANTA CLARA.
- OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS PER COUNTY OF SANTA CLARA CODES.
- PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
- ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC, PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE PER UBC SECTION 3403.2.
- CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/ OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID
- PER CGBSC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- PER CGBSC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGREEN CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

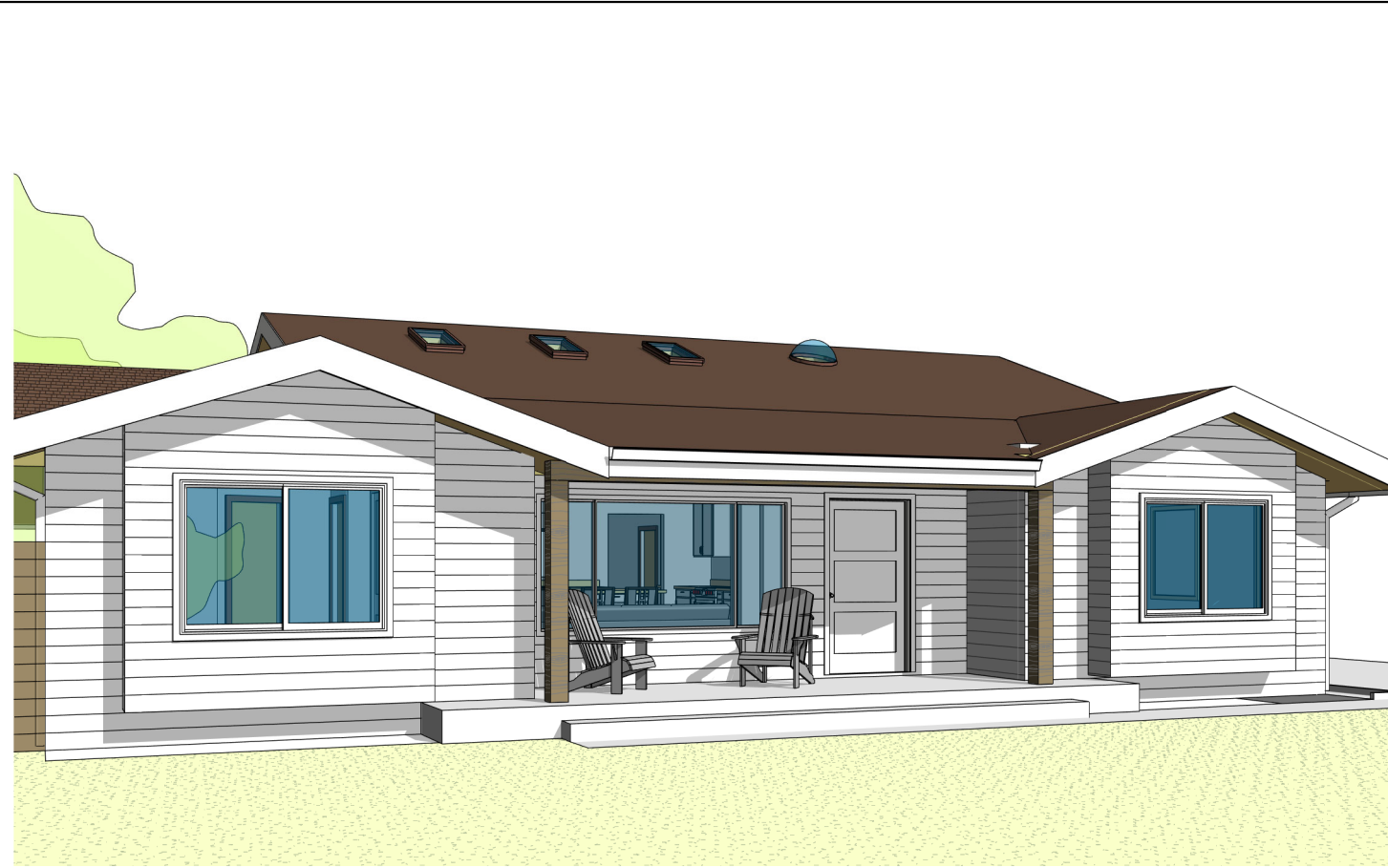
APPLICABLE CODE

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- COUNTY OF SANTA CLARA MUNICIPAL CODE
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS

VICINITY MAP



BUILDING INFORMATION MODEL



SHEET INDEX

Sheet List	
Sheet #	Sheet Name
A000	Coversheet & Site Plan, Proposed
A001	Abbreviations, Symbols & Site Plan, Existing
L1	Lot Merger

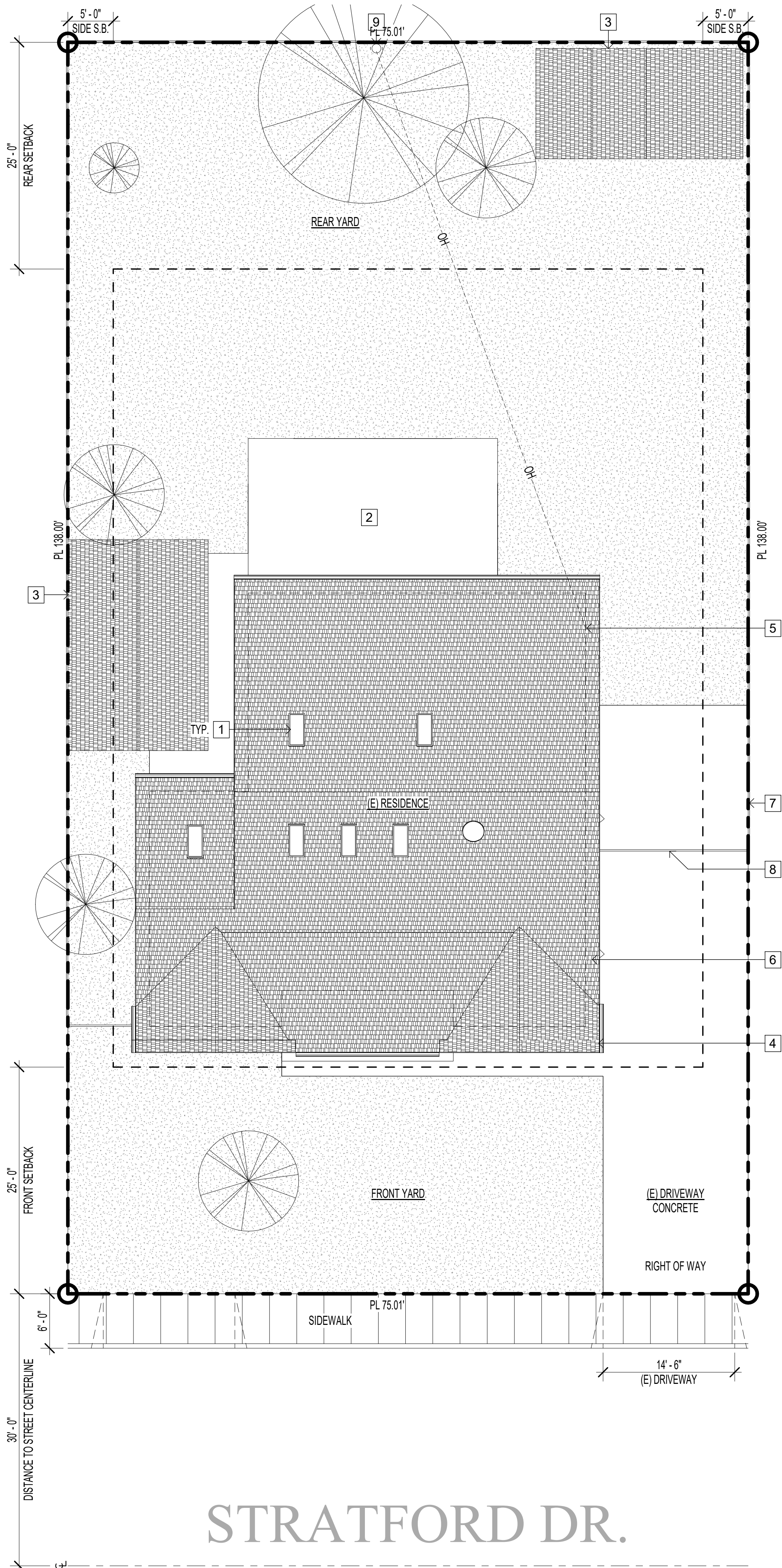


SITE PLAN KEYNOTES, PROPOSED

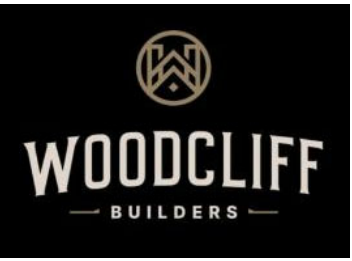
- | | |
|---|--------------------|
| 1 | SKYLIGHT |
| 2 | PATIO W/ SHED ROOF |
| 3 | SHED |
| 4 | PLANTING |
| 5 | ELECTRIC PANEL |
| 6 | GAS METER |
| 7 | FENCE |
| 8 | GATE |
| 9 | UTILITY POLE |

SITE PLAN LEGEND

- | | |
|------------|--------------------|
| --- | PROPERTY LINE |
| --- | SETBACK LINE |
| --- | CENTER LINE |
| --- | BUILDING FOOTPRINT |
| --- OH --- | OVERHEAD LINE |



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WOODCLIFFBUILD.COM
LIC. # 971712



DATE	DESCRIPTION
7/21/2020	CONCEPTS
8/11/2020	PLANNING
x	PERMITS
x	CONTRACT
9/30/2021	REVISIONS
x	REVISIONS
x	REVISIONS

Joey Kochanski

SWEENEY RESIDENCE
15381 Stratford Dr.
San Jose, CA 95124

THESE DRAWINGS ARE THE SOLE POSSESSION OF THE CONTRACTOR (WOODCLIFF BUILDERS). THEY HAVE BEEN PREPARED BY THE CONTRACTOR AND ARE NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE CONTRACTOR. ALL INFORMATION IS TO BE VERIFIED BY ALL PERSONS, COMPANIES AND PROJECT REPRESENTATIVES THAT WILL UTILIZE THESE DRAWINGS. THESE DRAWINGS SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES, UNLESS THEY ARE SPECIFICALLY IDENTIFIED AS SUCH. REPRODUCED OR COPIED WITHOUT THE WRITTEN CONSENT OF THE CONTRACTOR.

DESIGNED BY:
J. PETERS

MANAGED BY:
L. RAMIREZ

DEVELOPED BY:
J. FRITZE

SHEET TITLE:
Coversheet & Site Plan,
Proposed

SHEET SCALE:

SHEET NO:

A000

SHEET PAGE:

ABBREVIATIONS

A ABV AC AD ADDL AFF ASPH	ABOVE ASPHALT CONCRETE AREA DRAIN ADDITIONAL ABOVE FINISH FLOOR ASPHALT	N (N) N NIC NOM NP NR NTS	NEW NORTH NOT IN CONTRACT NOMINAL NO PARKING NON-RATED NOT TO SCALE	G GALV GC GL GND GWB GYP	GALVANIZED GENERAL CONTRACTOR GLASS GROUND GYPSUM WALL BOARD GYSUM	S SCD SCHD SD SECT SED SF SHR SHT SHTG SIM SJ SL SLD SM SMD SOF SOG SPD SPEC/S SQ SS SSD STC STD STL STOR STR SY	SEE CIVIL DRAWINGS SCHEDULE STORM DRAIN SECTION SEE ELECTRICAL DRAWINGS SQUARE FOOT OR FEET SHOWER SHEET SHEATHING SIMILAR SEISMIC JOINT SEALANT SEE LANDSCAPE DRAWINGS SHEET METAL SEE MECHANICAL DRAWINGS SOFFIT SLAB ON GRADE SEE PLUMBING DRAWINGS SPECIFICATION SQUARE SANITARY SEWER SEE STRUCTURAL DRAWINGS SOUND TRANSMISSION COEFFICIENT STANDARD STEEL STORAGE STRUCTURAL SQUARE YARD
B BITUM BKG BLDG BM BR BUR BDR BDW	BITUMINOUS BACKING BUILDING BEAM BACKER ROD BUILT-UP-ROOF BEDROOM BOTTOM OF WALL	O OA OC OD OFCL OFOI	OVERALL ON CENTER OUTSIDE DIAMETER/ DIMENSION OWNER FURNISHED CONTRACTOR INSTALLED OWNER FURNISHED OWNER INSTALL	H HDBD HDR HDWR HDWD HTR HVAC	HARDBOARD HEADER HARDWARE HARDWOOD HEATER HEATING, VENT. & A.C.	I IN INCAND INSUL INT INV	INCH INCANDESCENT INSULATION INTERIOR INVERT
C CAB CB CEM CF CJ CL CTL CLG CONC CPT	CABINET CATCH BASIN CEMENT CUBIC FEET CONTROL JOINT CLOSET CENTERLINE CEILING CONCRETE CARPET	P PENN PERF PERP PL PLAS PLBG PLWD PNL POC PP PREFAB PSF PSI PTD PTR PTRWDQ	PENETRATION PERFORATED PERPENDICULAR PLATE PROPERTY LINE PLASTER PLUMBING PLYWOOD PANEL POINT OF CONNECTION PERMEABLE PAVERS PREFABRICATED POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PAINTED PRESSURE TREATED PRESSURE TREATED WOOD	J JST JT	JOIST JOINT	K K KIT KP	KIPS KITCHEN KICK PLATE
D D DR	DECK DRAIN	L LOC LT	LOCATION LIGHT	M MB MDF MECH MEMB MET MH MSC MTD MTL	MACHINE BOLT MEDIUM DENSITY FIBERBOARD MECHANICAL MEMBRANE METAL MANHOLE MISCELLANEOUS MOUNTED METAL	T T&B T&G TC TOC TOP TOS TRD TW	TOP AND BOTTOM TONGUE AND GROOVE TOP OF CURB TOP OF CONCRETE TOP OF PAVING TOP OF STEEL TREAD TOP OF WALL
E (E) E ELEC EP EXT	EXISTING EAST ELECTRICAL ELECTRICAL PANEL EXTERIOR	Q QTY	QUANTITY REVEAL OR RISER RADIUS REINFORCED CONCRETE PIPE ROOF DRAIN REFERENCE REFLECTED REFRIGERATOR RETAINING OR RETARDANT REGISTER ROUGH OPENING	R R RAD RCP RD REF REFL REFR RET REG RO		U UL UTIL	UNDERWRITERS LABORATORIES UTILITIES
F FDN FH FIN FF FL FLUOR FOC FOF FOS FR FS FSL FTG FURR	FOUNDATION FIRE HYDRANT FINISH FINISH FLOOR FLOW LINE FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUD FIRE RATED FLOOR SINK FIRE SPRINKLER FOOTING FURRING					V VCP VERT VTR	VITREOUS CLAY PIPE VERTICAL VENT THROUGH ROOF
				W W WC WD WDW W/O WP WPT WR	WEST OR WIDTH WATER CLOSET WOOD WINDOW WITHOUT WATER PROOF WORKING POINT WATER RESISTANT		

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
- ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/ OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED. LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.
- ANY EXISTING TO REMAIN SHALL BE IN GOOD CONDITION PRIOR TO THE PLANNING FINAL INSPECTION.
- NEW LANDSCAPING SHALL COMPLY WITH STATE WATER EFFICIENCY STANDARDS.

GRAPHIC SYMBOLS

	CONCRETE PAD		BUILDING SECTION
	DETAIL REFERENCE		APPROXIMATE LINE OF WORK
	INTERIOR ELEVATION		WINDOW TYPE
	WALL TYPE		REVISION
	OR	KEY NOTE	
	DOOR TYPE		REMOVE
	ROOM TAG		

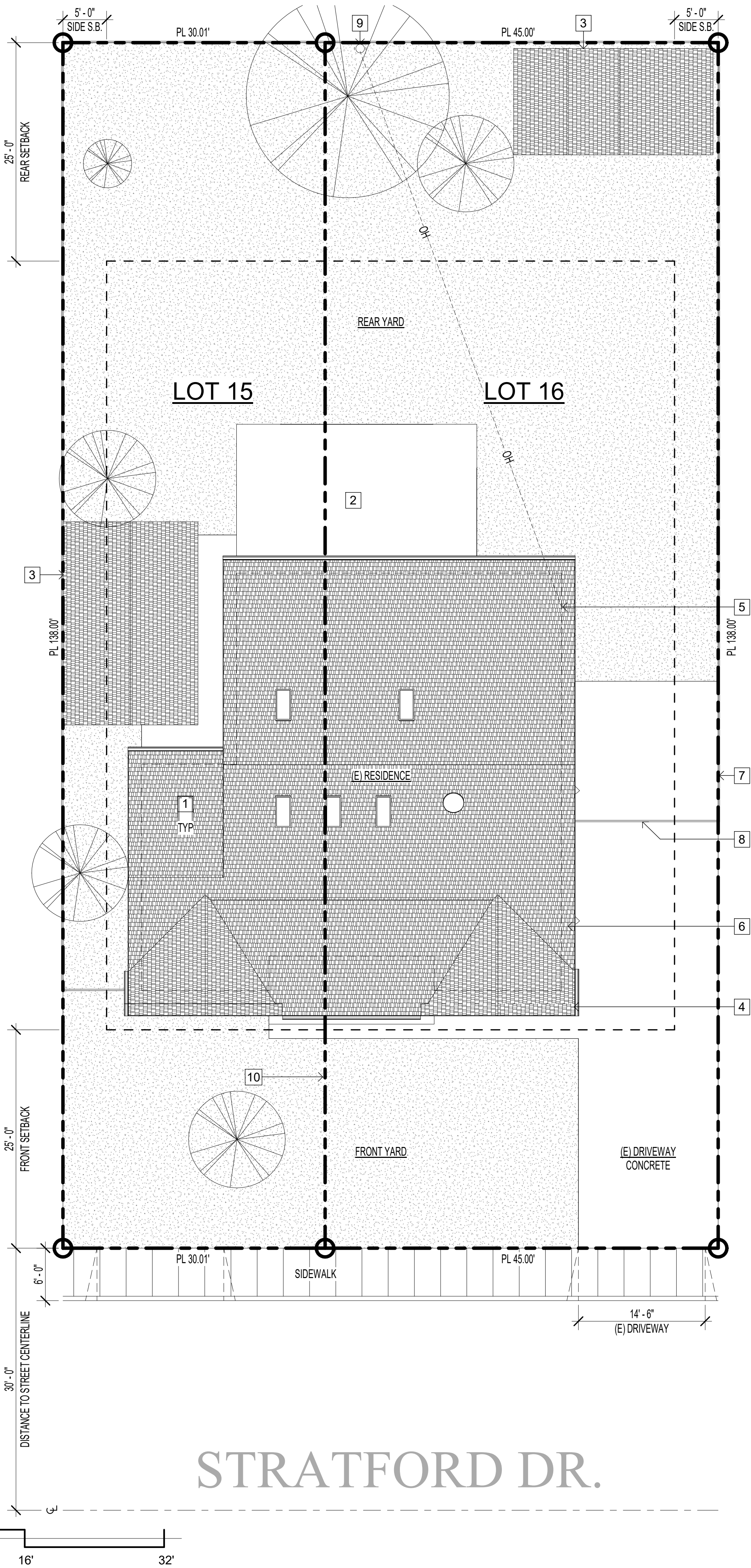


SITE PLAN KEYNOTES, EXISTING

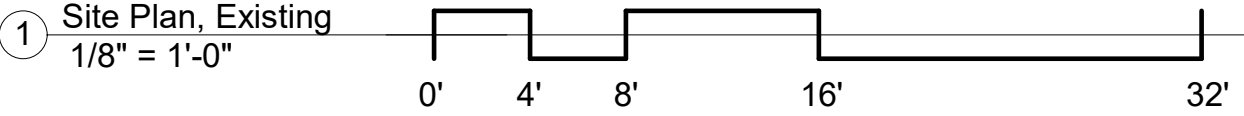
- SKYLIGHT
- PATIO W/ SHED ROOF
- SHED
- PLANTING
- ELECTRIC PANEL
- GAS METER
- FENCE
- GATE
- UTILITY POLE
- PROPERTY LINE TO BE ADJUSTED/ REMOVED

SITE PLAN LEGEND

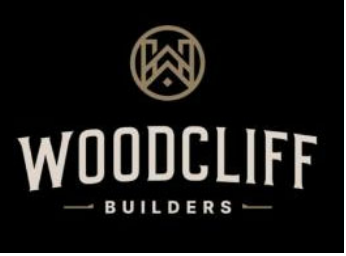
- PROPERTY LINE
- SETBACK LINE
- CENTER LINE
- BUILDING FOOTPRINT
- OH----- OVERHEAD LINE



STRATFORD DR.



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DATE	DESCRIPTION
7/21/2020	CONCEPTS
8/11/2020	PLANNING
x	PERMITS
x	CONTRACT
9/30/2021	REVISIONS
x	REVISIONS
x	REVISIONS

Joey Kochanski

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DEVELOPED BY:

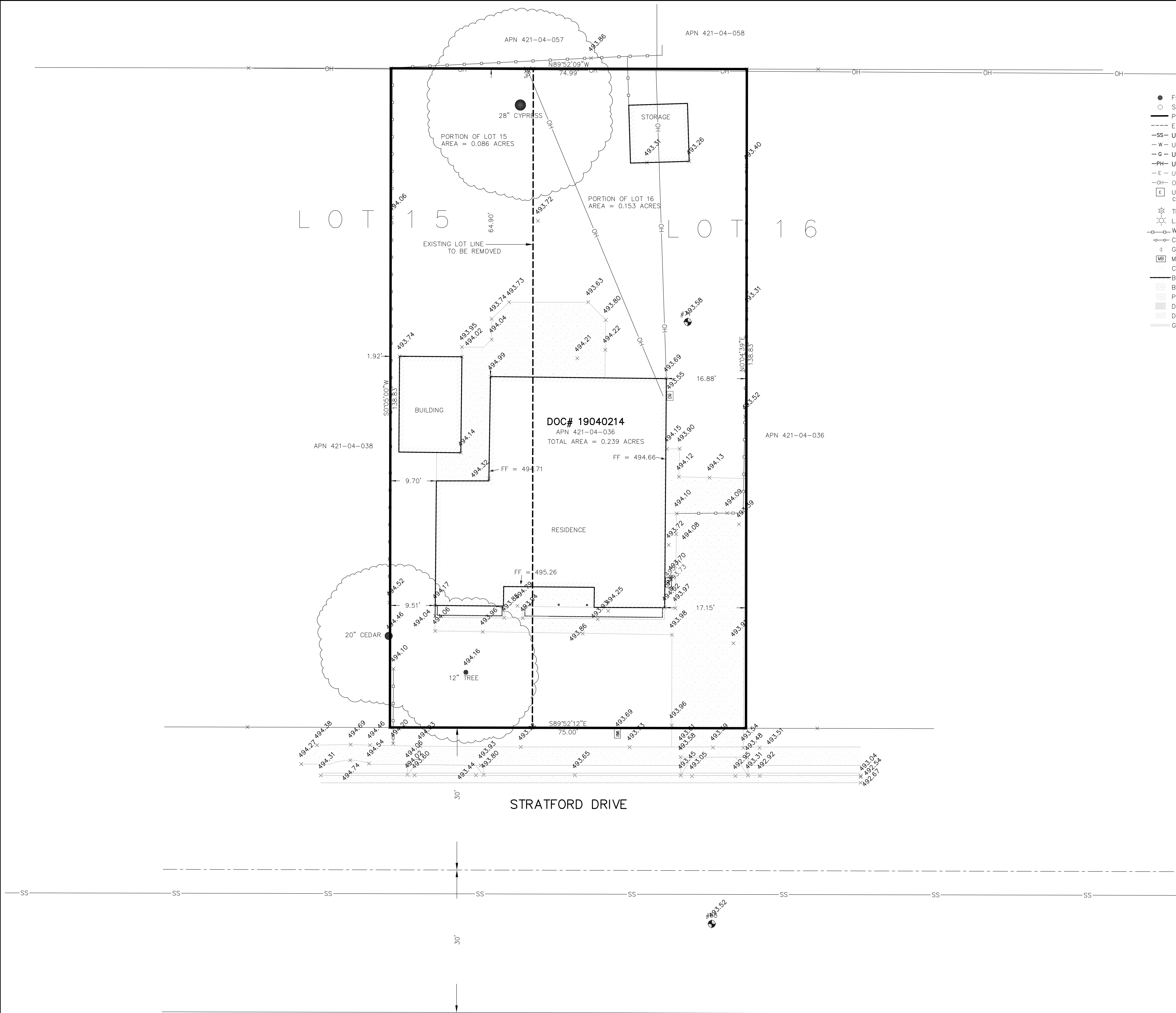
J. FRITZE

SHEET TITLE:
Abbreviations, Symbols &
Site Plan, Existing

SHEET NO:

A001

SHEET PAGE:



LEGEND

- FOUND AS NOTED
- SET AS NOTED
- PROPERTY LINE
- EASEMENT LINE
- SS- UG SEWER LINE
- W- UG WATER LINE
- G- UG GAS LINE
- PH- UG PHONE LINE
- E- UG ELEC LINE
- OH- OVERHEAD LINE
- [E] UTILITY BOX
- COM PH TRFC IRR
- ⊙ TRAFFIC SIGNAL
- ⊙ LAMP POST
- ⊙ WOOD FENCE
- ⊙ CHAIN LINK FENCE
- ⊙ GUYWIRE
- [MB] MAILBOX
- CONCRETE
- BUILDING
- BRICKS
- PAVERS
- DOMES
- DECK
- GROOVED CONCRETE
- ⊙ JP JOINT POLE
- ⊙ PP POWER POLE
- ⊙ UP UTILITY POLE
- ⊙ TP TELEPHONE POLE
- ⊙ BOLLARD
- ⊙ VALVE
- ⊙ HCP SYMBOL
- ⊙ SIGN
- TRAFFIC ARROWS
- ⊙ SANITARY SEWER MANHOLE
- ⊙ STORM DRAIN MANHOLE
- ⊙ COMMUNICATION MANHOLE
- ⊙ PERC TEST
- ⊙ FIRE HYDRANT
- ⊙ SEWER CLEANOUT
- ⊙ SURVEY CONTROL POINT
- [EV] ELEC METER
- [GM] GAS METER
- [WM] WATER METER
- ⊙ LIGHT POLE AND LIGHT
- WALL
- ⊙ DROP INLET
- ⊙ MONITORING WELL

ABBREVIATIONS

- LO LIVE OAK
- WO WHITE OAK
- EUC EUCALYPTUS
- RW REDWOOD
- PUE PUBLIC UTILITY EASEMENT
- CE CLEARANCE EASEMENT

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN ON BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS INC.

Kenneth D. Wilson 10-27-2021
KENNETH D. WILSON LS 5571 DATE

BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF 493.52 AT POINT 68.

GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE, AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

IF NO INDICATION OF SEWER LINES ARE SHOWN, THEN THERE WERE NO VISIBLE MARKINGS OR INDICATIONS OF ANY SEWER APPURTENANCES ON THE SITE. OTHER RECORDS MAY EXIST THAT PROVIDE EVIDENCE OF SEWER LATERAL LOCATIONS.

SETBACK LINES NOTE

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

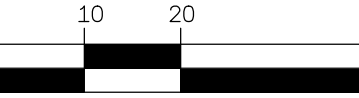
EASEMENT NOTE

EASEMENTS SHOWN ARE BASED ON A TITLE REPORT PREPARED BY DATED .

TITLE REPORT NOTE

A CURRENT TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY. EASEMENTS MAY EXIST ON THIS PROPERTY WHICH ARE NOT SHOWN. A CURRENT TITLE REPORT IS REQUIRED IN ORDER TO DETERMINE THE EXISTENCE OF ANY EASEMENTS OF RECORD. THE BOUNDARY WAS DETERMINED FROM THE CURRENT VESTING DEED.

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on this map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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Email: kenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com



261 CARLTON CT.
LOS GATOS, CA 95032 408-427-2279

LOT MERGER

AS REQUESTED BY:
GORDON WONG

LEGAL DESCRIPTION: PORTIONS OF LOTS 15 AND 16 TRACT 392 CITY OF SAN JOSE, COUNTY OF SANTA CLARA, CA

APN: 421-04-037

DATE: 11/25/21

SITE ADDRESS: 15381 STRATFORD DRIVE SAN JOSE, CA 95124

DRAWN BY: IMD	SCALE 1"=10'	JOB NUMBER L-079	PROJECT G-079	SHEET 1 OF 1
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