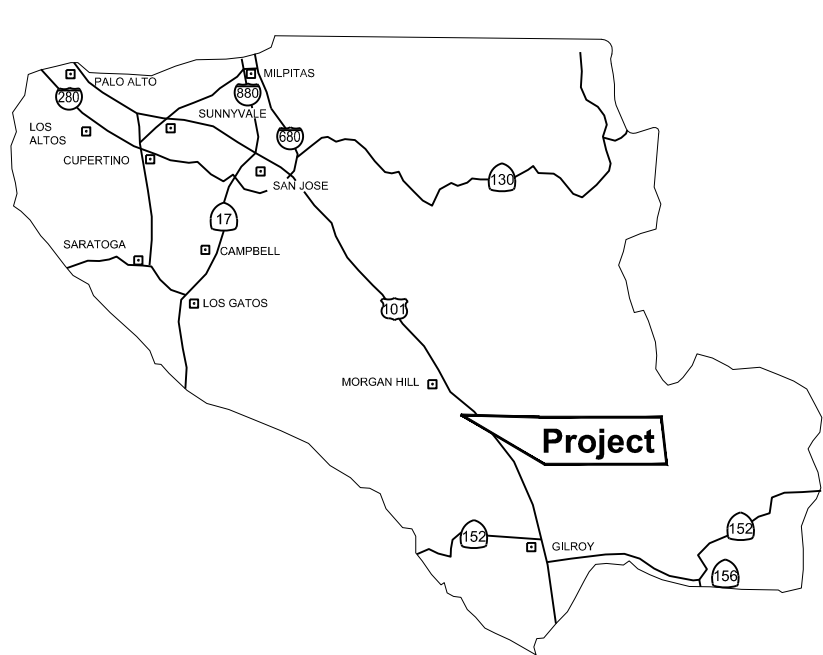




Vicinity Map



County Location Map

Applicant/Owner:

Son Nguyen and Eileen Mai
1537 Hermocilla Way
San Jose, CA 95116
408-799-1813
trungson@gmail.com

Engineer:

David L. Faria, RCE 92432
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
davidl@mhengineering.com

Project Information:

APN 825-07-048
Present Use: Agriculture
Proposed Use: Residential / Agriculture
Present Zoning: A-20Ac-sr
Existing Improvements: As Shown
Water: ex well
Sanitary Sewer: OWTS
Gas & Electric: PGE
Fire Responsibility Area: LRA
Wildland Urban Interface: N/A
HCP Area: Rural Development Not Covered
Gross Area: 4.00 ac
Net Area: 3.77 ac

825-07-048

Agriculture

Residential / Agriculture

A-20Ac-sr

As Shown

ex well

OWTS

PGE

LRA

N/A

Rural Development Not Covered

4.00 ac

3.77 ac

Boundary Note:

Property lines shown on this plan are based on that certain San Martin Ranch Map No.4, filed for record on May 2, 1896 in Book F-1 of Maps at page 1, Santa Clara County Records.

Flood Zone: The property lies wholly in Zone AE per FEMA Firm Panel 06085C0626H, effective May 18, 2009.

Basis of Bearings: The bearings shown on this map are based on the centerline of Llagas Avenue as found monumented and recorded as South 23°49' East, in F-1 of Maps, Page 1, Santa Clara County Records.

Benchmark: Elevations show on this plan are based on Santa Clara Valley Water District Benchmark BM319, a brass disk located on top of bridge deck, at southeast corner of W. Middle Avenue bridge; 0.2 miles easterly of Olive Avenue; on deck of 35 foot wide bridge; 2 feet northerly of southerly wall; 12.5 feet westerly of easterly end of wall. Unincorporated Santa Clara County

Impervious Area Summary

Proposed Residence	3,093 SF
Proposed AC Driveway	5,906 SF
Proposed Paver Driveway	4,554 SF
Covered Patios	676 SF
Total New Impervious Area	14,229 SF

Note: No landscaping is proposed for this project. All non improved disturbed areas are to be hydroseeded.

Tree Note: No trees are to be removed.

Total Disturbed Area = 33,898 sq. ft.

Grading Permit Earthwork Quantities

	Cut	Fill	Max Cut	Max Fill
Building Pad	0 cy	252 cy	0.00'	1.50'
Driveway	102 cy	89 cy	1.50'	1.50'
Septic Area Fill	0 cy	397 cy	0.00'	1.00'
Stormwater Treatment	46 cy	0 cy	4.00'	0.00'
Total	148 cy	738 cy		

Note: Any excess material shall be hauled offsite to a county approved location.

Proposed Floor Area

Proposed Residence	3,888 SF
Proposed Garage	1,098 SF
Total Floor Area	4,986 SF

LEGEND

- Proposed Structure
- Proposed Shoulder
- Proposed Pavement
- Pavers
- (ex pavement)
- (ex AB road)
- Existing Contour



FOR PLANCHCK ONLY

signature and seal must be present on all sheets

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Drainage Notes

- All culverts shall be made of high density polyethylene (HDPE), polyvinyl chloride (PVC), or reinforced concrete (RCP). All culverts shall have a smooth interior.
- Inlets shall be made of concrete and have a smooth bottom.
- All roof downspouts shall be connected into the 4" perimeter storm drain system routed to the treatment area.
- Paved surfaces adjacent to foundations shall be sloped away at a minimum of 2%. Un paved surfaces adjacent to foundations shall be sloped away at a minimum of 5%.
- All non improved disturbed area to be hydroseeded to match existing vegetation.

Total Disturbed Area = 33,898 sq. ft.

Impervious Area Summary

Proposed Residence	3,093 SF
Proposed AC Driveway	5,906 SF
Proposed Paver Driveway	4,554 SF
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Grading Permit Earthwork Quantities

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Total	148 cy	738 cy		

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LEGEND

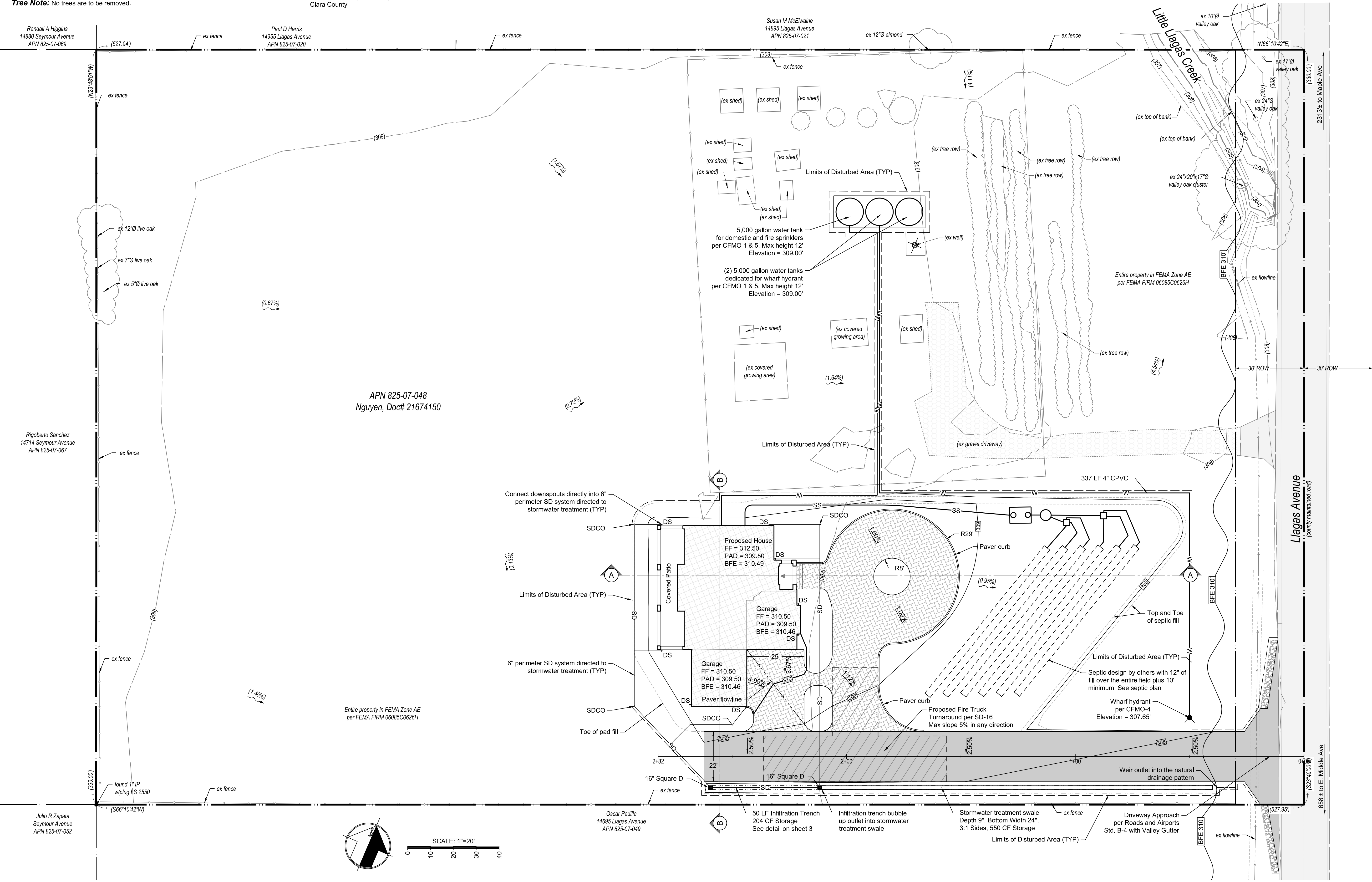
- Proposed Structure
- Proposed Shoulder
- Proposed Pavement
- Pavers
- (ex pavement)
- (ex AB road)
- (0) Existing Contour

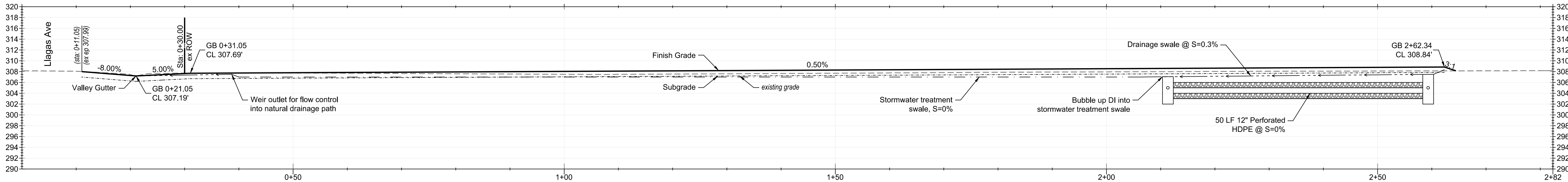


MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

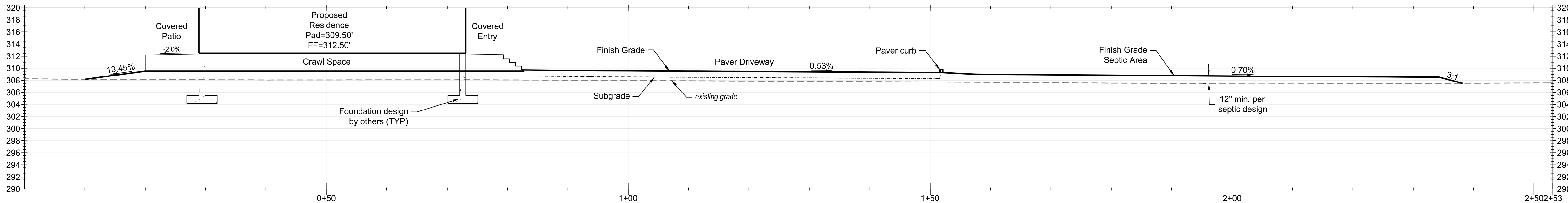
Preliminary Grading Plan
Llagas Ave - APN 825-07-048

DATE: 01/06/2022
SCALE: 1"=20'
JOB NO: 221040
SHEET 2
OF 3
DRAWN BY: DF
CHECKED BY: DF

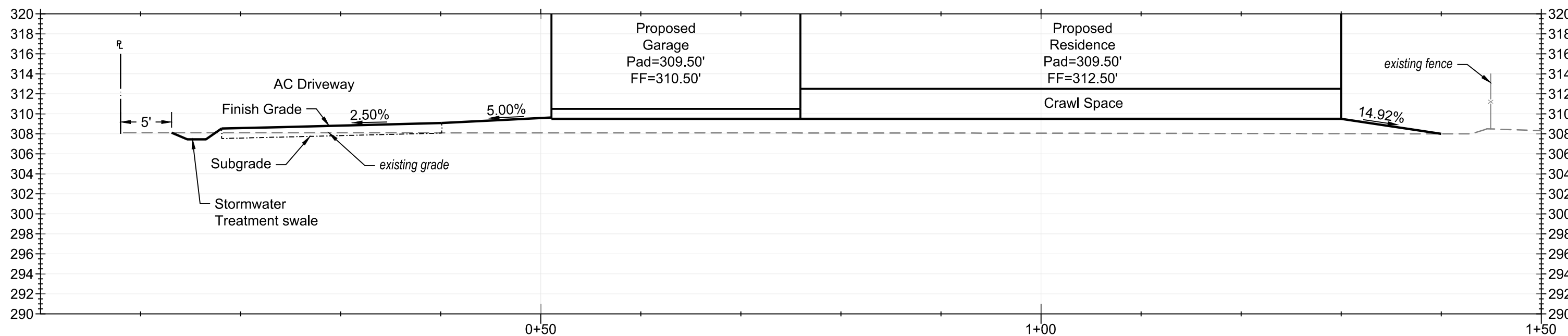




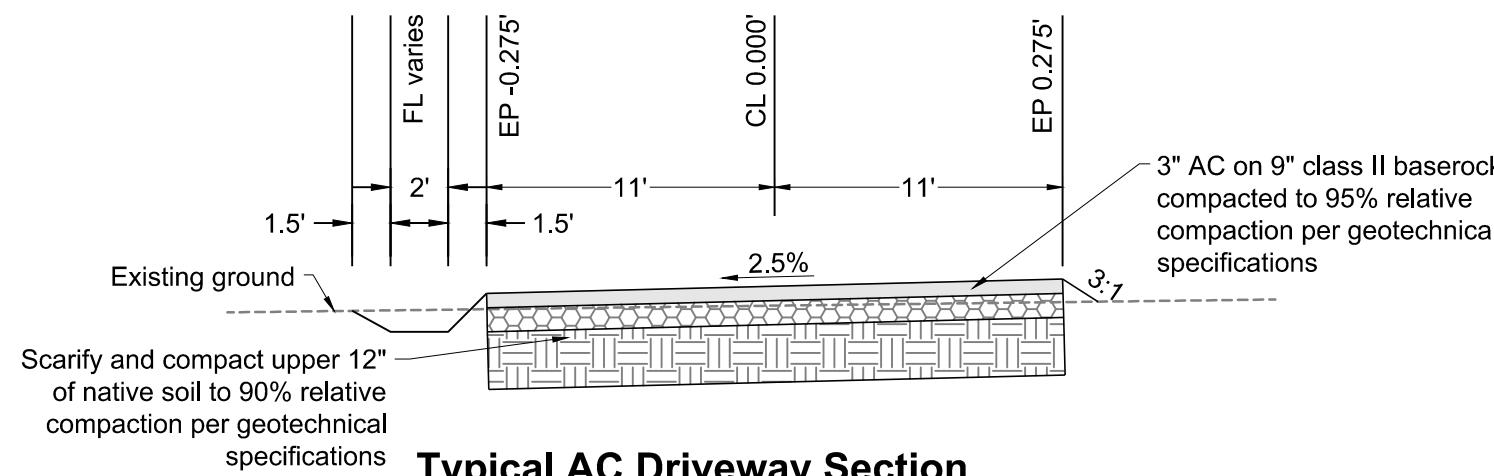
PROFILE: Driveway Centerline
SCALE H: 1"=10' SCALE V: 1"=10'



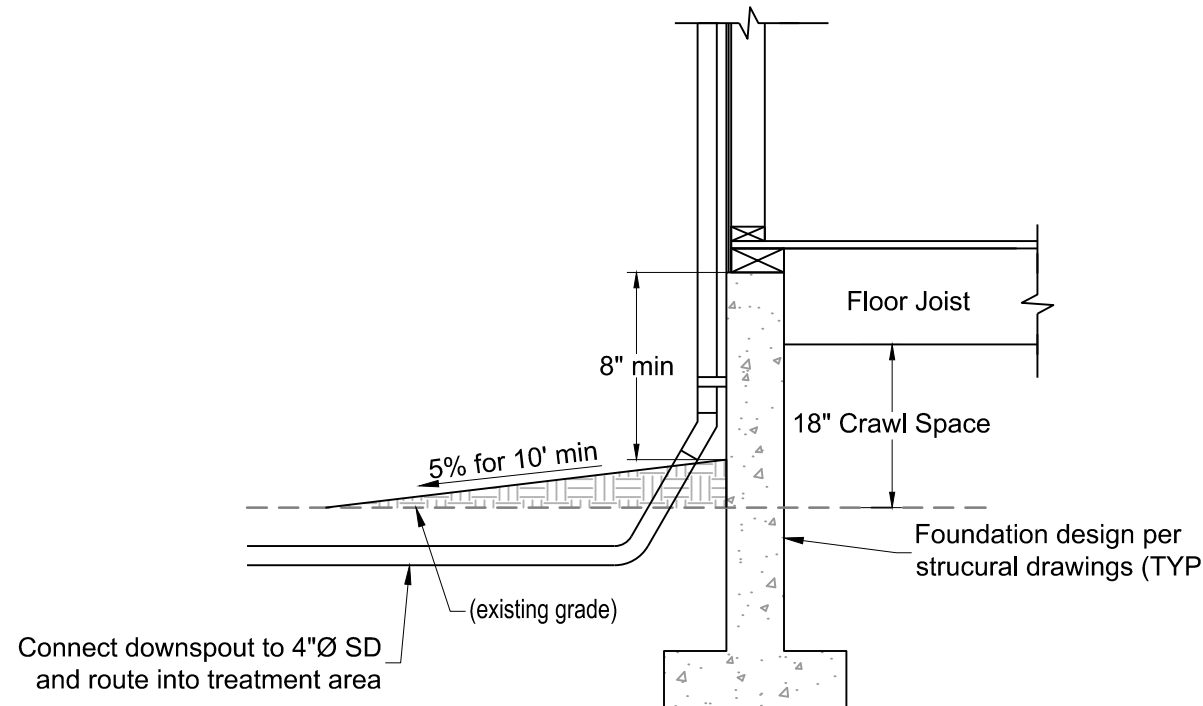
PROFILE: A-A
SCALE H: 1"=10' SCALE V: 1"=10'



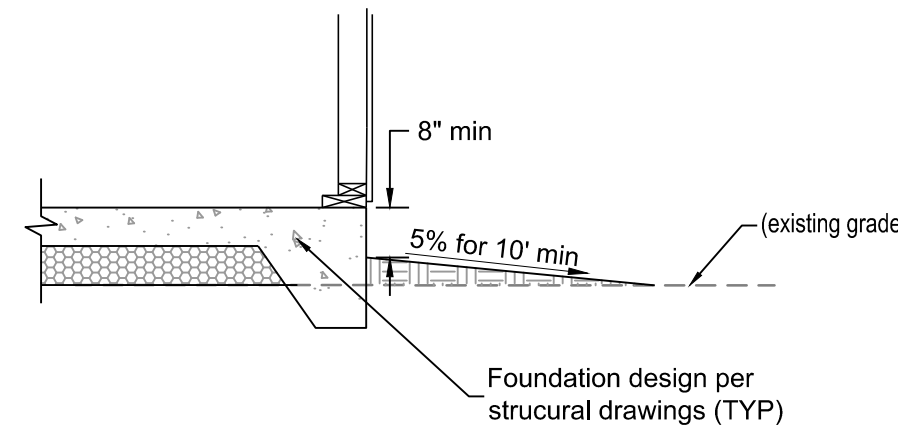
PROFILE: B-B
SCALE H: 1"=10' SCALE V: 1"=10'



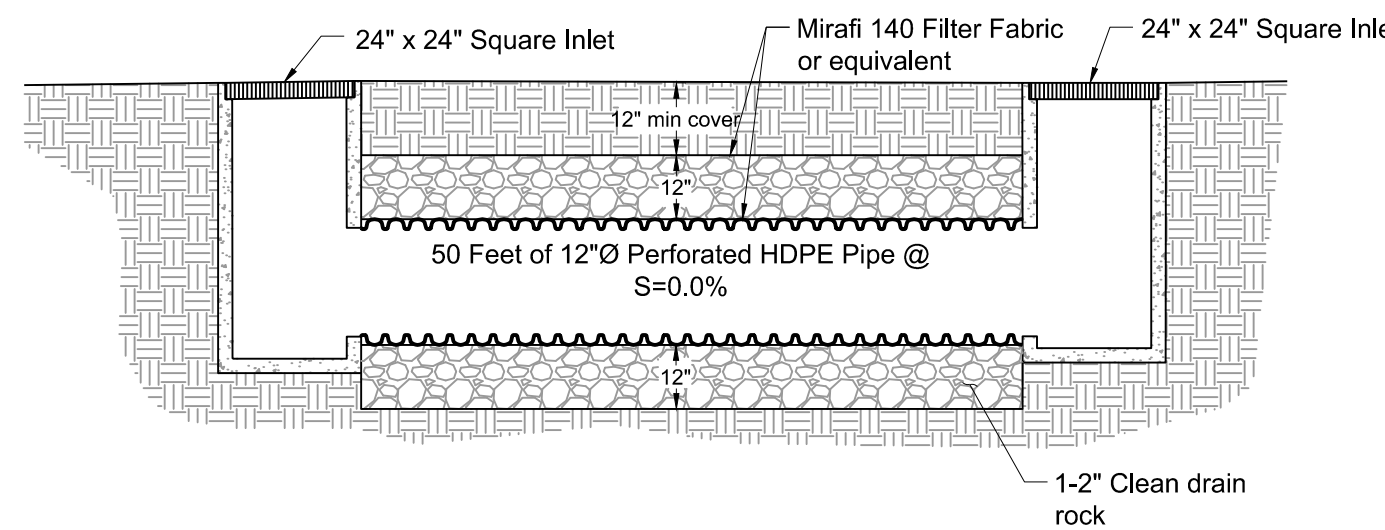
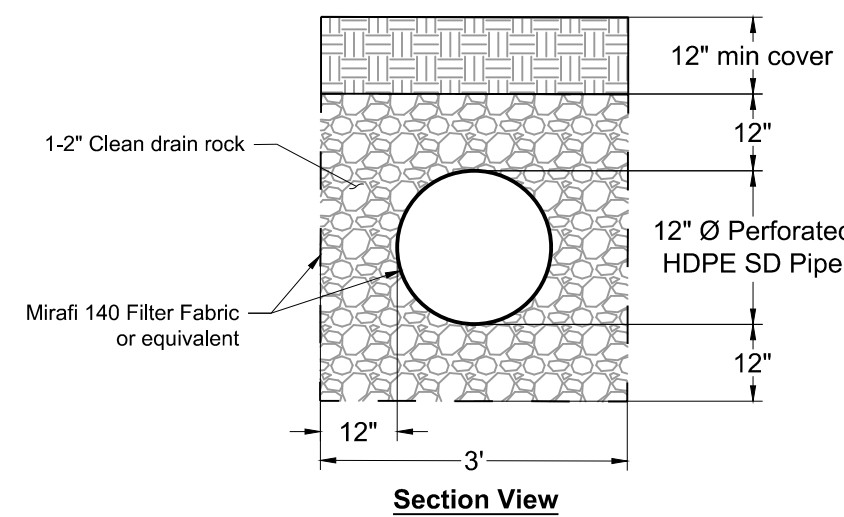
Typical AC Driveway Section
N.T.S.



Foundation Grading & Downspout Detail
N.T.S.



Exterior Footing Grade @ Structure
N.T.S.



Typical Infiltration Trench Detail
N.T.S.