

Owner/Applicant:

Marc Lewis
16110 Wassa Ct.
Pauma Valley, CA 92061
mjl@lewis-tralee.com

Engineer:

David L. Faria, CE 92432
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
billm@mhengineering.com

Project Information:

| | |
|------------------------|--------------------------|
| APN | 779-12-006 |
| Present Use: | Vacant |
| Proposed Use: | Residential |
| Present Zoning: | RR-5Ac |
| Proposed Zoning: | RR-5Ac |
| Sanitary Sewer: | On-Site System |
| Gas and Electric: | PG&E |
| Water: | San Martin Water Company |
| Telephone: | Verizon |
| Existing Improvements: | As Shown |
| Area: | 10.001 ac |
| Topo: | Field Topo |

Basis of Bearings: The bearings shown upon this map are based on the centerline of Harding Avenue as found and monumented as North 25°04'00" West on that map thereof recorded at Book P of Maps, Page 46, Santa Clara County Records

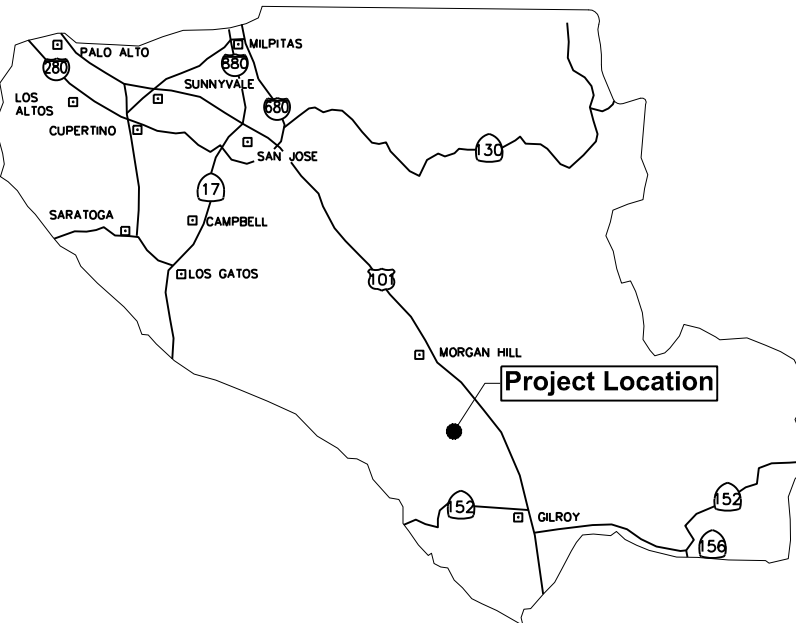
Benchmark: Elevations shown on this site map are based on the Santa Clara Valley Water District BM994 based on the USGS brass disk "G1080", Monterey Road 0.2 miles southerly of Highland Avenue; between Monterey road and UPRR tracks; 21 feet easterly of easterly edge of pavement for Monterey Road; 27 feet northerly of vertical railroad rail, up 0.4 feet in 13 inch diameter concrete post. Unincorporated Santa Clara County. Elevation= 266.83' (NAVD '88)

Flood Zone: The subject property lies partially in Zone AE: Base Flood Elevations Determined and partially in Zone AO: Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain; average depths determined, per FEMA FIRM Panel 06085C0628H, effective May 18, 2009.

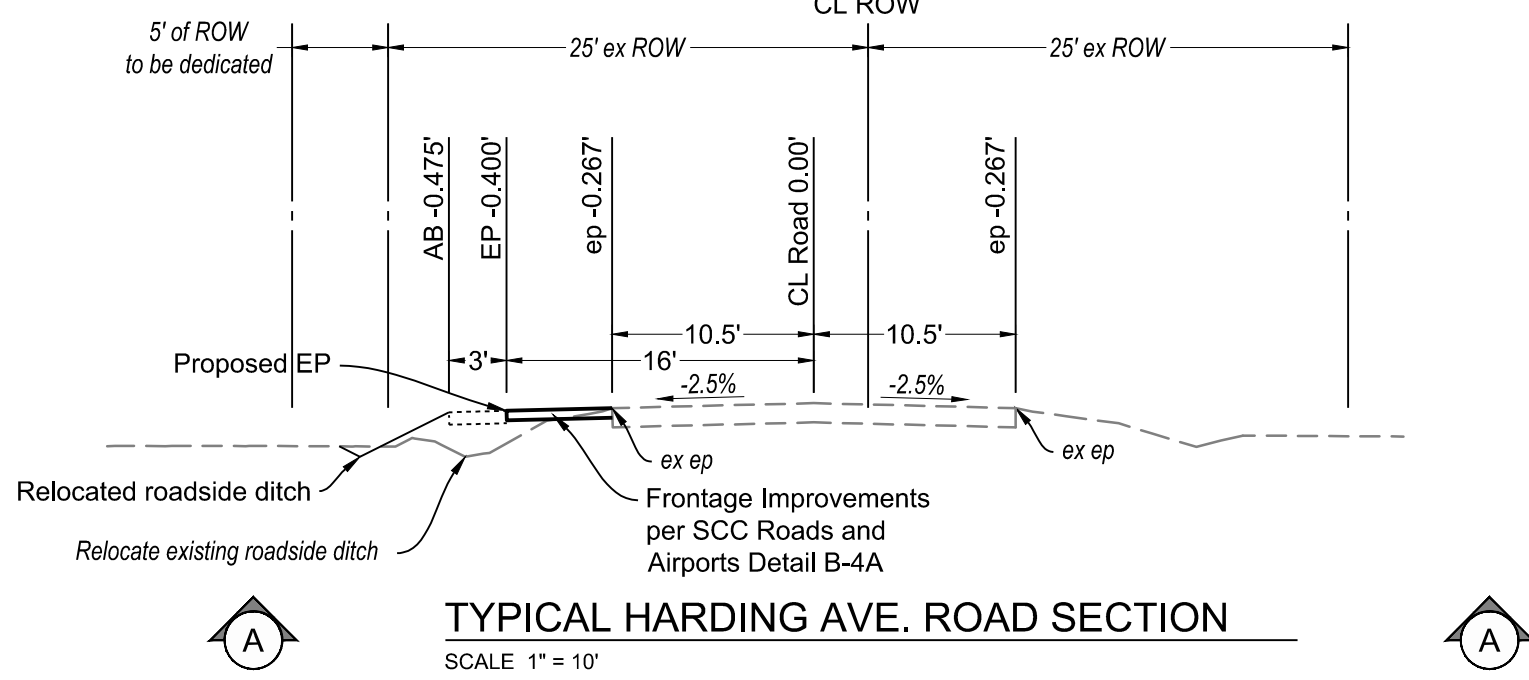
Underground Utility Note: Observed surface evidence of utility lines including facilities, appurtenances and markings were used in depicting the location of underground utilities shown on these plans. However, lacking excavation, the exact location and depth of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

Topography Note: Topography shown from field surveys conducted by MH engineering in October of 2020.

Boundary Note: Property lines shown on this plan are based on record data and boundary monumentation measured to date per Lion Ranch No. 2 as recorded in Book P of Maps, at Page 46, Santa Clara County Records.



County Location Map



Slope Density Calculations

Contour Interval = 1 = 0.50'
Sum of Individual Contour Lengths = L = 12,501'
Parcel Area = A = 10,001 ac
Average Slope = S = (0.0029 x L x L)/A = 1.43%
Min. area per unit = a = 1/(0.2375 - (0.00375 x S)) = 4,308 ac

Impervious Area Summary

| | |
|----------------------------------|-----------------|
| B4/A Improvements | 2,348 SF |
| Total New Impervious Area | 2,348 SF |

Earthwork Quantities

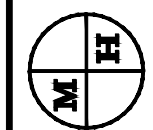
| | Cut | Fill | Max Cut | Max Fill |
|-------------------|---------------|---------------|---------|----------|
| B4/A Improvements | 22 cy | 135 cy | 0.50' | 1.70' |
| Total | 104 cy | 135 cy | | |

Statement of Dedications and Proposed Improvements:

- The owner shall dedicate 5 feet of additional right of way along the entire property frontage of Harding Avenue as shown on this Tentative Map.
- The owner proposes to install frontage improvements along the entire property frontage for Harding Avenue as shown on this Tentative Map.
- The owner proposes to extend the water main of the San Martin Water Company by 364 feet and install a County standard fire hydrant as shown on this Tentative Map.

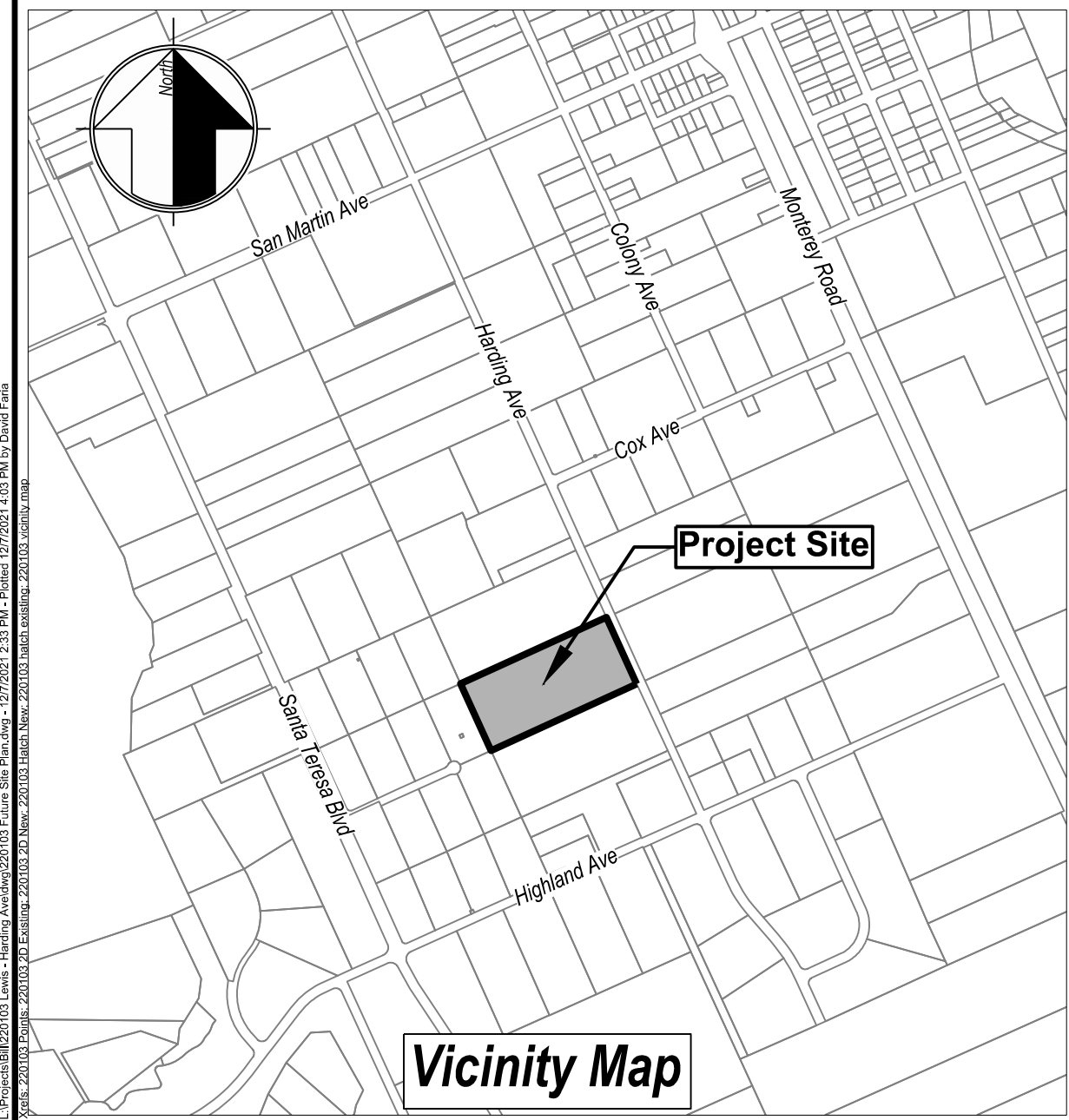
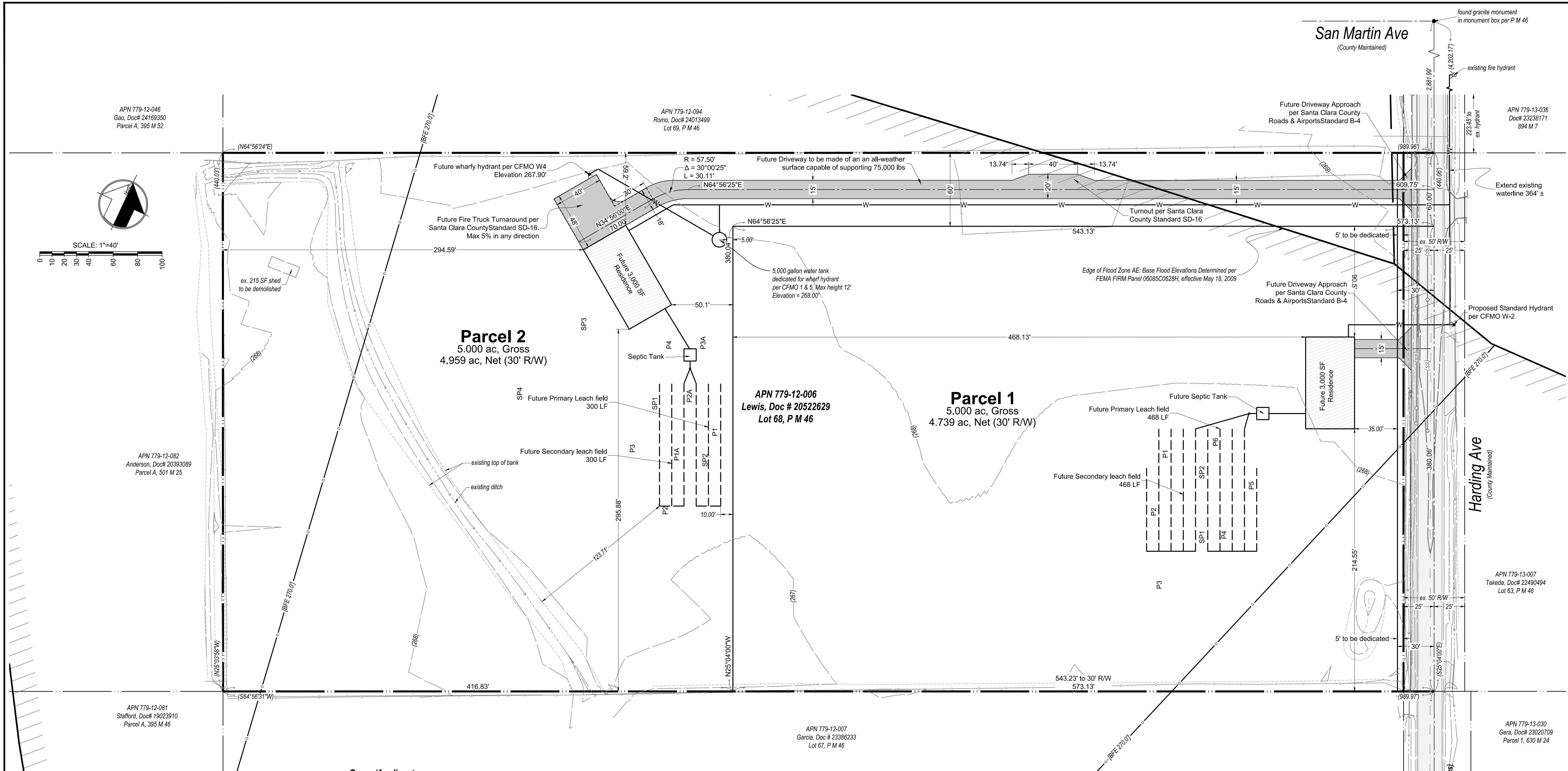


MH engineering Co.
Morgan Hill, CA 95037



Lewis - Vesting Tentative Map
Harding Avenue - APN 779-12-006

| | |
|-----------------|----------------|
| DATE: 8/17/2021 | JOB NO: 220103 |
| SCALE: 1" = 40' | SHEET 1 |
| DRAWN BY: KVM | OF 1 |
| CHECKED BY: WJM | |



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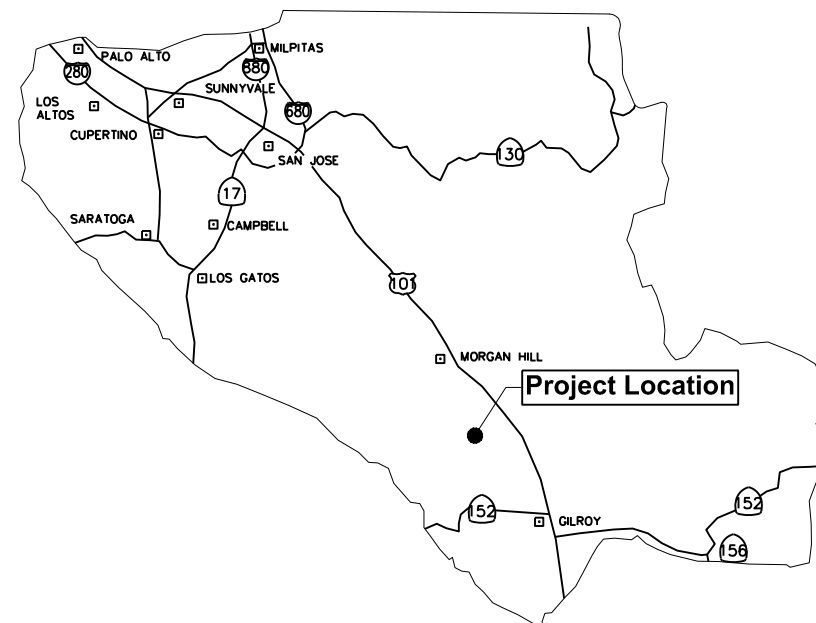
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Fire Sprinkler Note: Fire sprinklers to be a deferred submittal

General Notes:

- No Trees to be removed
- Location or relocation of leachfield to be done prior to recordation
- No grading proposed/Parcel Map
- Residence Finish floor shall be elevated 2' above Base Flood Elevation at time of Building Permits
- No improvements proposed
- Easements requested:
 - Street Dedication
- No grading improvements proposed as part of the subdivision.



County Location Map

REGISTERED PROFESSIONAL ENGINEER
DAVID L. FARRA
No. 92432
EXP. 06-30-2023
CIVIL
STATE OF CALIFORNIA

Future Site Plan

Lewis - APN 779-12-006

DATE: 12/7/2021
SCALE: 1" = 40'
DRAWN BY: KVM
CHECKED BY: DF

JOB NO.

220103

SHEET

2

OF

2

MH

MH engineering Co.

16075 Vineyard Boulevard
Morgan Hill, CA 95037