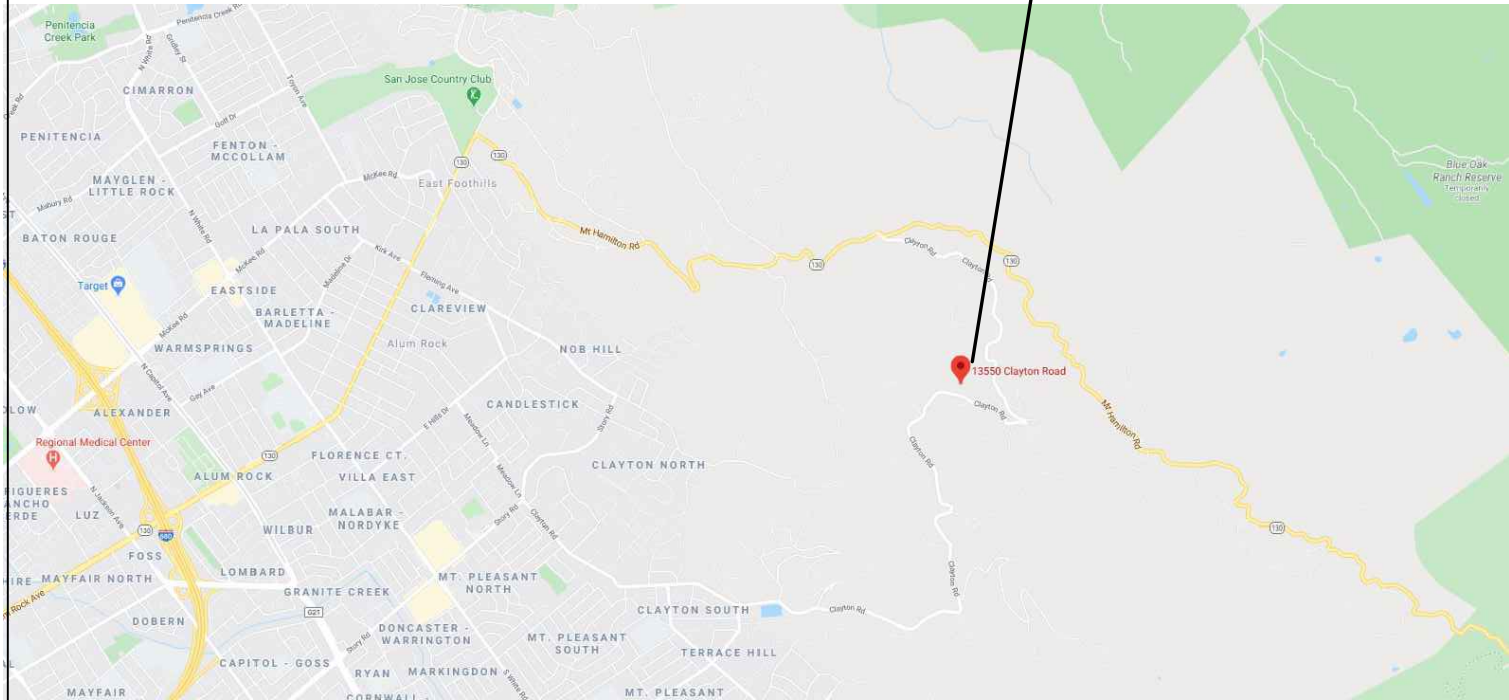


# SINGLE FAMILY RESIDENCE & ADU UNITS

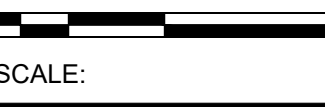
13550 CLAYTON ROAD  
SAN JOSE, CA 95127

	PROJECT DATA	DIRECTORY	DRAWING INDEX																																										
	<div><div>APPLICABLE CODES:</div><div>ALL CONSTRUCTION IS TO CONFORM TO: 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA ENERGY CODE SANTA CLARA COUNTY ZONING ORDINANCES</div></div> <div><div>APN:</div><div>612-40-057</div></div> <div><div>GROSS LOT AREA:</div><div>152,186 SF ( 3.49 ACRES )</div></div> <div><div>JURISDICTION:</div><div>UNINCORPORATED</div></div> <div><div>LANDUSE PLAN DESIGNATION:</div><div>HILLSIDE ( 100%)</div></div> <div><div>ZONING:</div><div>HS</div></div> <div><div>(E) SINGLE FAMILY RESIDENCE TO BE REPLACED:</div><div>±1,348 S.F.</div></div> <div><div>PROPOSED SINGLE FAMILY RESIDENCE:</div><div>±2,182 S.F. ( 2.5 STORY )</div></div> <div><div>PROPOSED ADU:</div><div>± 998 S.F.</div></div> <div><div>(E) DWELLING STRUCTURE TO BE REPLACED:</div><div>±1,348 S.F.</div></div> <div><div>(E) GARAGE STRUCTURE TO BE ALTERED:</div><div>± 925 S.F.</div></div> <div><div>PROPOSED SUB-ADU:</div><div>465 S.F. ( LIVING AREA) ± 460 S.F. ( GARAGE/ STORAGE AREA)</div></div> <div><div>(E) DRIVEWAY</div><div>± 850 S.F.</div></div> <div><div>(N) PAVED PARKING</div><div>±2,888 S.F. ( AREA "A" + AREA "B" )</div></div>	<div><div>OWNER:</div><div>LUIS ERNESTO JIMENEZ 13550 CLAYTON ROAD SAN JOSE, CA 95127 T: 408.623.0651 E: luis@jimenedabuilders.com</div></div> <div><div>CIVIL ENGINEER:</div><div>STERLING CONSULTANTS 46560 FREMONT BLVD, UNIT 205 FREMONT, CA 94538 T: 510.344.8955 E: 1sterlingconsultants@gmail.com</div></div> <div><div>ARCHITECT:</div><div>MENA ARCHITECTS 575 W. EL CAMINO REAL MOUNTAIN VIEW, CA 94040 T: 650.210.8800 E: architect@menaarchitects.com</div></div> <div><div>LAND DEVELOPMENT</div><div>RVR ENGINEERS, LLC. 209 SHADOW DANCE DR. SAN JOSE, CA 95110 TEL: 408.813.2010 E: vince@rvrme.com</div></div> <div><div>LANDSCAPE ARCHITECT:</div><div>WILSON &amp; ASSOCIATES 815 SAN DIEGO ROAD, BERKELEY, CA 94707 TEL: 510.644.9602 E: cwilson815@gmail.com</div></div>	<table><tr><th>SHEET #</th><th>DESCRIPTION</th></tr><tr><td>G-00</td><td>COVER SHEET</td></tr><tr><td>G-01</td><td>OVERALL SITE PLAN</td></tr><tr><td>G-02</td><td>PARTIAL SITE PLAN</td></tr><tr><td>C1</td><td>COVER SHEET</td></tr><tr><td>C2</td><td>BOUNDARY &amp; TOPOGRAPHIC SURVEY</td></tr><tr><td>C3</td><td>EXISTING CONDITIONS MAP &amp; PRELIMINARY DEMOLITION PLAN</td></tr><tr><td>C4</td><td>PRELIMINARY GRADING, DRAINAGE &amp; UTILITY PLAN</td></tr><tr><td>C5</td><td>PRELIMINARY GRADING, DRAINAGE &amp; UTILITY PLAN</td></tr><tr><td>PL1</td><td>PRELIMINARY LANDSCAPE PLAN</td></tr><tr><td>PL2</td><td>LANDSCAPE PLANT PALETTE</td></tr><tr><td>A-01</td><td>FIRST FLOOR PLAN</td></tr><tr><td>A-02</td><td>SECOND FLOOR PLAN</td></tr><tr><td>A-03</td><td>SECOND FLOOR PLAN</td></tr><tr><td>A-04</td><td>SW ELEVATIONS</td></tr><tr><td>A-05</td><td>NE ELEVATIONS</td></tr><tr><td>A-06</td><td>ADU &amp; SUB- ADU FLOOR PLANS</td></tr><tr><td>A-07</td><td>ADU ELEVATIONS</td></tr><tr><td>A-08</td><td>SUB- ADU ELEVATIONS</td></tr><tr><td>R-01</td><td>3D-ILLUSTRATIONS</td></tr><tr><td>R-02</td><td>3D-ILLUSTRATIONS</td></tr></table>	SHEET #	DESCRIPTION	G-00	COVER SHEET	G-01	OVERALL SITE PLAN	G-02	PARTIAL SITE PLAN	C1	COVER SHEET	C2	BOUNDARY & TOPOGRAPHIC SURVEY	C3	EXISTING CONDITIONS MAP & PRELIMINARY DEMOLITION PLAN	C4	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN	C5	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN	PL1	PRELIMINARY LANDSCAPE PLAN	PL2	LANDSCAPE PLANT PALETTE	A-01	FIRST FLOOR PLAN	A-02	SECOND FLOOR PLAN	A-03	SECOND FLOOR PLAN	A-04	SW ELEVATIONS	A-05	NE ELEVATIONS	A-06	ADU & SUB- ADU FLOOR PLANS	A-07	ADU ELEVATIONS	A-08	SUB- ADU ELEVATIONS	R-01	3D-ILLUSTRATIONS	R-02	3D-ILLUSTRATIONS
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	<ul style="list-style-type: none"><li>IT INCLUDES A NEW SINGLE FAMILY RESIDENCE AND RELATED SITE IMPROVEMENTS TO REPLACE AN EXISTING RESIDENCE STRUCTURE ON SITE.</li><li>EXISTING RESIDENCE STRUCTURE TO BE REMOVED. HOWEVER, ITS EXISTING FOUNDATION / CONC. SLAB TO REMAIN AND ACCOMMODATE PROPOSED ADU UNIT</li><li>EXISTING GARAGE STRUCTURE TO BE MODIFIED TO ACCOMMODATE A SUB-ADU UNIT &amp; GARAGE AREA</li></ul>	<div></div>																																											



PLANNING	08.19.21
PLANNING	06.29.21
REVISION	DATE
DATE:	04.26.21
JOB NO.:	20-660

OVERALL SITE PLAN







PARTIAL SITE PLAN

3/32" = 1'-0"  
20-660 AFP

01

SINGLE FAMILY RESIDENCE  
& ADU UNITS

13550 CLAYTON ROAD  
SAN JOSE, CA 95127

PARTIAL SITE PLAN

SCALE: 1/16"=1'-0"

G-02

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COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY AMERICAN SOIL TESTING, INC. AND DATED JULY 12, 2013. THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS, 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.
- DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE.
- DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.
- DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.
- DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA.
- THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.
- DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE COUNTY INSPECTOR.
- ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO THE USE OF SPARK SHOOTERS.
- UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION 96-18).
- THESE PLANS ARE FOR THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.
- ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL POSITION OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.
- ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.
- PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK.
- PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.
- INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE.
- DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.
- THE CONTRACTOR SHALL PROVIDE TO THE COUNTY INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES, PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

SITE PREPARATION (CLEANING AND GRUBBING)

- EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS:
  - TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE)
  - FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES.
- ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR GENERAL INFORMATION ONLY.
- ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE, UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY. GAS AND WATER MAINS SHALL BE INSTALLED OUTSIDE THE PAVED AREAS.
- TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS DIRECTED BY THE COUNTY.
- TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90% THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL, BUT THE COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED.
- BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

STORM DRAINAGE AND STORM WATER MANAGEMENT

- DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS.
- WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW.
- UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES.
- THE COUNTY ENGINEERING INSPECTOR SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS PRIOR TO BACKFILL.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
- COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST 2 FEET OF FREEBOARD.
- PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES.
- SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.
- ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.
- ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR.
- ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE RUNNING IN PROPER CONDITION PRIOR TO CONSTRUCTION.
- POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS: OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.
  - 15 MILES PER HOUR (MPH) SPEED LIMIT
  - 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES
  - TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS: PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLLUTION COMPLAINT HOTLINE OF 1-800-334-6367
- ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING.
- ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL). SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE GROWTH.
- ALL DITCHES SHALL BE LINED PER COUNTY STANDARD S08.
- ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.
- PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE USUAL IMPACTS OF GRADING SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE.
- PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY RELEASE BY THE BUILDING INSPECTION OFFICE.
- THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPs SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:
  - PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYOWN / STAGING AREAS.
  - PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
  - PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.
- THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREA'S, ECT. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.
- EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT POLLUTANT AND LIQUID DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE AND SITUATIONALLY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

ACCESS ROADS AND DRIVEWAYS

- DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH MAXIMUM APPROX SLOPE OF 1 1/4 INCHES PER FOOT).
- ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15% LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING.
- THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS.
- ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM.
- ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT I.E. CABLE, ELECTRICAL, GAS, SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS, ETC.

STREET LIGHTING

- PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.
- ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

RETAINING WALLS

- REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.
- SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

TREE PROTECTION

- FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:
  - FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRUPLINE OF THE TREE OR GROVE OF TREES.
  - THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE MAINTENANCE OF FACILITIES IN A MANNER WHICH SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.
  - FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES.
  - SIGNAL STATING A WARNING THAT THE FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5700, COUNTY OF SANTA CLARA TREE PROTECTION MEASURES MAY BE FOUND AT <http://www.sccplanning.gov/> SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.
- SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

GRADING

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEVED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE.
  - EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE.
  - SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.
  - NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS.
  - THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY.
  - MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL 2 HORIZONTAL TO 1 VERTICAL.
- |                               |      |             |
|-------------------------------|------|-------------|
| ESTIMATED VOLUME OF CUT(SITE) | 68.5 | CUBIC YARDS |
| FILL (SITE)                   | 50.0 | CUBIC YARDS |
| MAXIMUM DEPTH OF CUT (SITE)   | 2.0  | FEET        |
| FILL (SITE)                   | 2.0  | FEET        |
- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE.
- EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.
- NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD.
  - ALL MATERIALS OR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.
  - THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%.
  - ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION.
  - THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY.
  - THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA.
  - GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.
  - TOTAL DISTURBED AREA FOR THE PROJECT 10,150 SF. (INCLUDING OFF-SITE)
  - WDD NO. N/A
  - THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

PORTLAND CEMENT CONCRETE

- CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (\_\_\_\_) WERE (\_\_\_\_) WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL ("). THERE (\_\_\_\_) WERE (\_\_\_\_) WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL \_\_\_\_.

DATE \_\_\_\_\_ SIGNATURE \_\_\_\_\_

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.

GEOTECHNICAL ENGINEER OBSERVATION

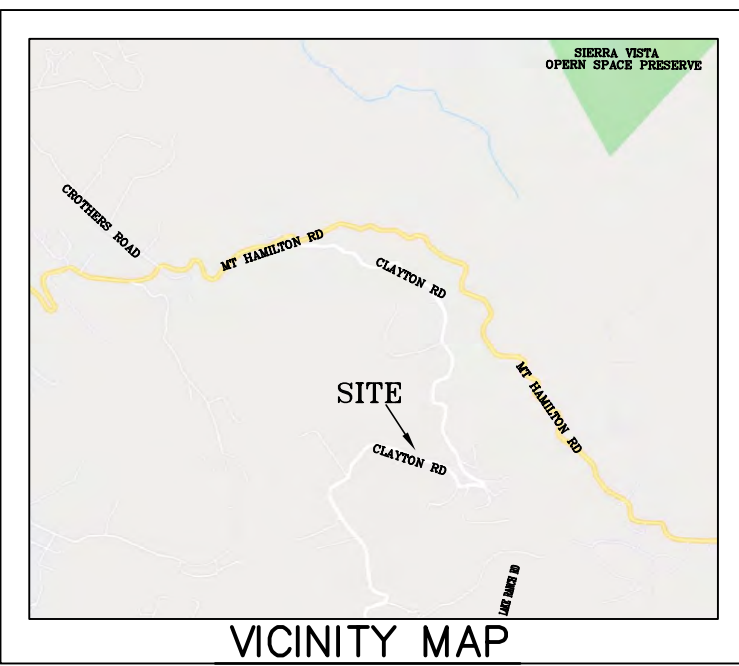
- A CONSTRUCTION OBSERVATION LETTER FROM THE RESPONSIBLE GEOTECHNICAL ENGINEER DETAILING CONSTRUCTION OBSERVATIONS AND CERTIFYING THAT THE WORK WAS DONE IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORTS SHALL BE SUBMITTED PRIOR TO THE GRADING COMPLETION AND RELEASE OF THE BOND.

CONSTRUCTION / ENCROACHMENT / GRADING PERMIT

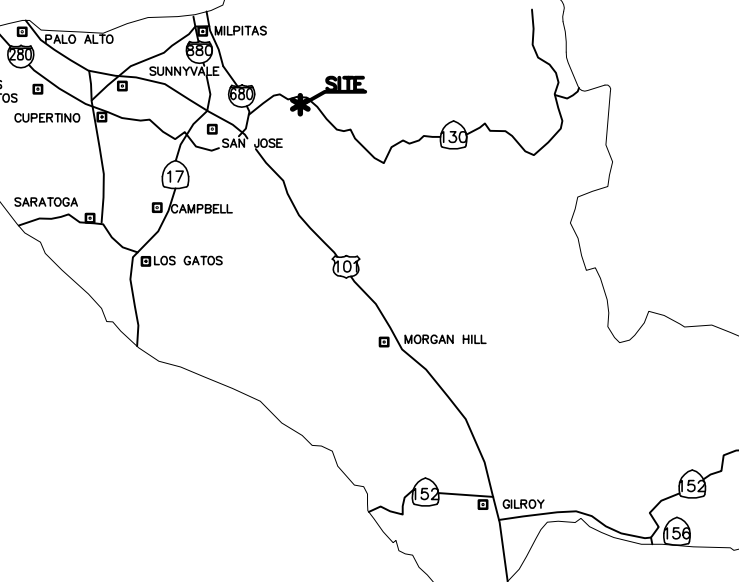
PERMIT(S) NO.: \_\_\_\_\_

FILE(S) NO.: \_\_\_\_\_

ISSUED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
LAND DEVELOPMENT ENGINEERING & SURVEYING  
DEVELOPMENT SERVICES OFFICE  
COUNTY OF SANTA CLARA

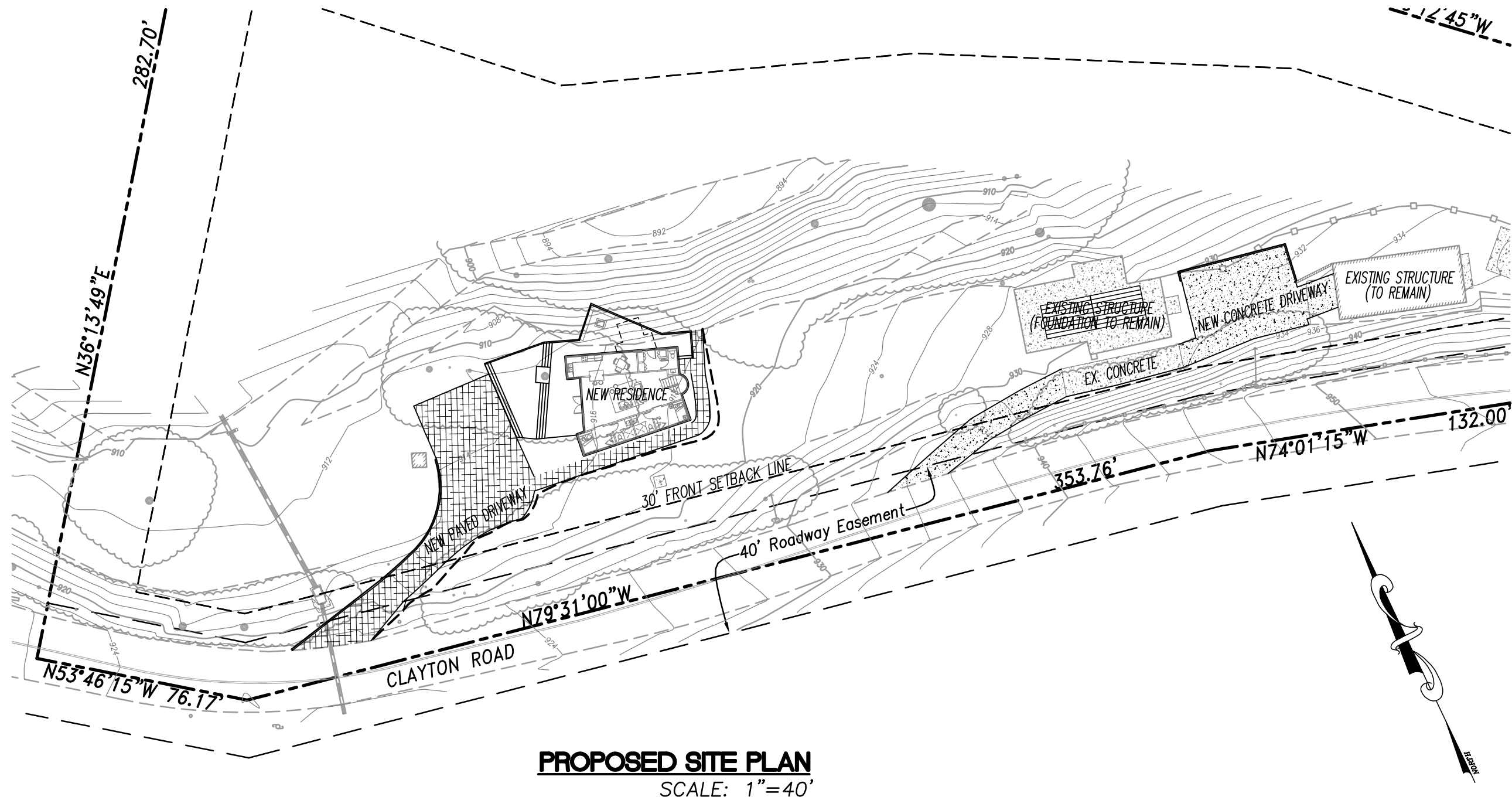


VICINITY MAP



COUNTY LOCATION MAP

BUILDING SITE APPROVAL  
FOR LANDS OF  
LUIS JIMENEZ  
CLAYTON ROAD, SAN JOSE, CA



PROPOSED SITE PLAN  
SCALE: 1"=40'

SURVEYOR'S NOTES:

BASIS OF ELEVATION:

ASSUMED ELEVATION OF 983.0 FEET (GOOGLE EARTH) AT THE STORM DRAIN MANHOLE RIM NEAR THE SOUTHEAST END OF THE SITE.

THE BEARING S74°47'46"E BETWEEN A FOUND IRON PIPE HELD AS THE SOUTHWEST CORNER OF PARCEL 1/2 WITH A FOUND IRON PIPE IN A WELL MONUMENT AT THE SOUTHEAST TERMINUS OF THAT COURSE ON THE SOUTHWEST LINE OF PARCEL 2 LISTED AS N 74°01'15" W 132.00' AS SHOWN ON PARCEL MAP BOOK 285 OF MAPS AT PAGE 6, SANTA CLARA COUNTY RECORDS.

SCOPE OF WORK

- SINCE THE APPLICANT IS PROPOSING TO BUILD A NEW HOME ON THE SUBJECT PROPERTY, A GRADING & DRAINAGE PERMIT IS REQUIRED.
- THE PROPOSED DRAINAGE SCHEME RETURNS TO THE HISTORICAL DRAINAGE PATTERN AND FLOWS TOWARDS THE REAR OF THE LOT.
- GRADING IS CONFINED TO THE HOUSE, DRIVEWAYS, MOTOR COURT AND LIMITED AREAS OF THE LOT AS SHOWN ON SHEET 4. BEYOND THE LIMITS AS SHOWN, NO OTHER GRADING WILL BE DONE ON THE 3.49 ACRE SITE.

LEGEND

DESCRIPTION	TO BE CONST.	EXISTING
PROPERTY LINE		
LIMITS OF WORK OR BOUNDARY		
CURB AND GUTTER		
SIDEWALK		
CITY SURVEY MONUMENT		
SEPTIC TIGHT-LINE		
SEPTIC TANK		
STORM SEWER		
STORM DRAIN MANHOLE		
DRAINAGE INLET AT CURB		
ELECTROLIER		
EDGE OF PAVEMENT		
PAVING CONFORM OR OVERLAY TO FORM SMOOTH AC TRANSITION		

SHEET INDEX

1	COVER SHEET
2	BOUNDARY & TOPOGRAPHIC SURVEY
3	EXISTING CONDITIONS MAP & PRELIMINARY DEMOLITION PLAN
4-5	PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

ENGINEER'S NAME: <u>DILIP KISHNANI, PE, QSD</u> <u>PRINCIPAL, STERLING CONSULTANTS</u>		
ADDRESS: <u>46560 FREMONT BLVD, SUITE 205</u> <u>FREMONT, CA 94538</u>		
PHONE NO. <u>925-705-3633</u> ; <u>510-344-8957</u>		
FAX NO. <u>N/A</u>		
PREPARED BY:		
46560 FREMONT BOULEVARD, SUITE NO. 205 FREMONT, CA 94538 1sterlingconsultants@gmail.com PHONE: 510.344.8955		
Rev.1	<u>APN 612-40-057</u>	Sheet 1 of 5
Rev.2	<u>Co. File</u>	
Rev.3	<u>_____ -18G</u>	

APPLICANT:

ROAD: CLAYTON RD

COUNTY FILE NO.:



LEGEND

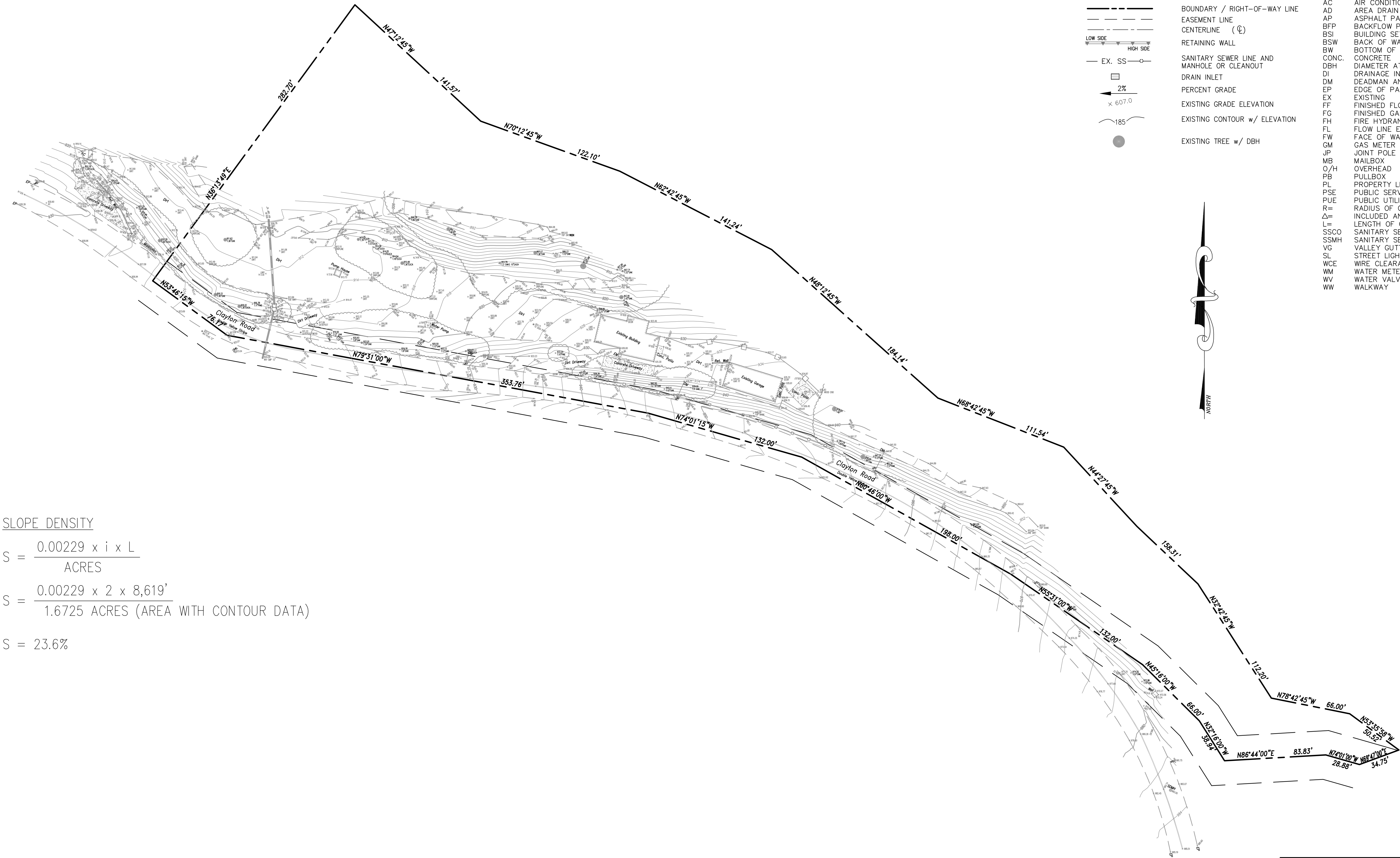
SYMBOL

DESCRIPTIONS

ABBREVIATIONS

- BOUNDARY / RIGHT-OF-WAY LINE  
EASEMENT LINE  
CENTERLINE (CL)  
RETAINING WALL  
EX. SS  
PERCENT GRADE  
EXISTING GRADE ELEVATION  
EXISTING CONTOUR w/ ELEVATION  
EXISTING TREE w/ DBH

- AC  
AD  
AP  
BFP  
BSI  
BSW  
BW  
CONC.  
DBH  
DI  
DM  
EP  
EX  
FF  
FG  
FH  
FL  
FW  
GM  
JP  
MB  
O/H  
PB  
PL  
PSE  
PUE  
R=  
Δ=  
L=  
SSCO  
SSMH  
VG  
SL  
WCE  
WM  
WV  
WW  
AIR CONDITIONER UNIT  
AREA DRAIN  
ASPHALT PAVEMENT  
BACKFLOW PREVENTOR  
BUILDING SETBACK LINE  
BACK OF WALK  
BOTTOM OF WALL (EXPOSED FACE)  
CONCRETE  
DIAMETER AT BREAST HEIGHT  
DRAINAGE INLET  
DEADMAN ANCHOR  
EDGE OF PAVEMENT  
EXISTING  
FINISHED FLOOR ELEVATION  
FINISHED GARAGE ELEVATION  
FIRE HYDRANT  
FLOW LINE ELEVATION  
FACE OF WALL  
GAS METER  
JOINT POLE  
MAILBOX  
OVERHEAD  
PULLBOX  
PROPERTY LINE  
PUBLIC SERVICE EASMENT  
PUBLIC UTILITY EASEMENT  
RADIUS OF CURVE  
INCLUDED ANGLE OF CURVE  
LENGTH OF CURVE  
SANITARY SEWER CLEAN-OUT  
SANITARY SEWER MANHOLE  
VALLEY GUTTER  
STREET LIGHT  
WIRE CLEARANCE EASEMENT  
WATER METER  
WATER VALVE  
WALKWAY



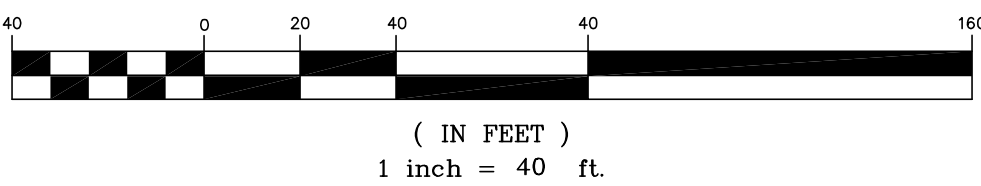
SLOPE DENSITY

$$S = \frac{0.00229 \times i \times L}{\text{ACRES}}$$

$$S = \frac{0.00229 \times 2 \times 8,619'}{1.6725 \text{ ACRES (AREA WITH CONTOUR DATA)}}$$

$$S = 23.6\%$$

GRAPHIC SCALE



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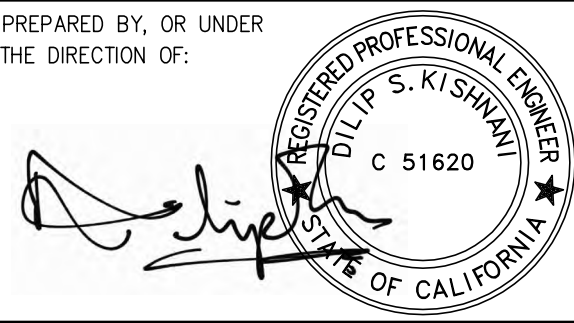
VERTICAL DATUM: ASSUMED ELEVATION OF 983.0 FEET (GOOGLE EARTH) AT THE STORM DRAIN MANHOLE RIM NEAR THE SOUTHEAST END OF THE SITE.

BASIS OF BEARINGS: THE BEARING S74°47'46"E BETWEEN A FOUND IRON PIPE HELD AS THE SOUTHWEST CORNER OF PARCEL 1/2 WITH A FOUND IRON PIPE IN A WELL MONUMENT AT THE SOUTHEAST TERMINUS OF THAT COURSE ON THE SOUTHWEST LINE OF PARCEL 2 LISTED AS N 74°01'15" W 132.00' AS SHOWN ON PARCEL MAP BOOK 289 OF MAPS AT PAGE 6, SANTA CLARA COUNTY RECORDS.

BOUNDARY: BOUNDARY BASED UPON FIELD SURVEY PERFORMED BY OR UNDER DIRECTION OF HELMUT KORSTICK, PLS 7739.



DATE: JUNE 09, 2021					
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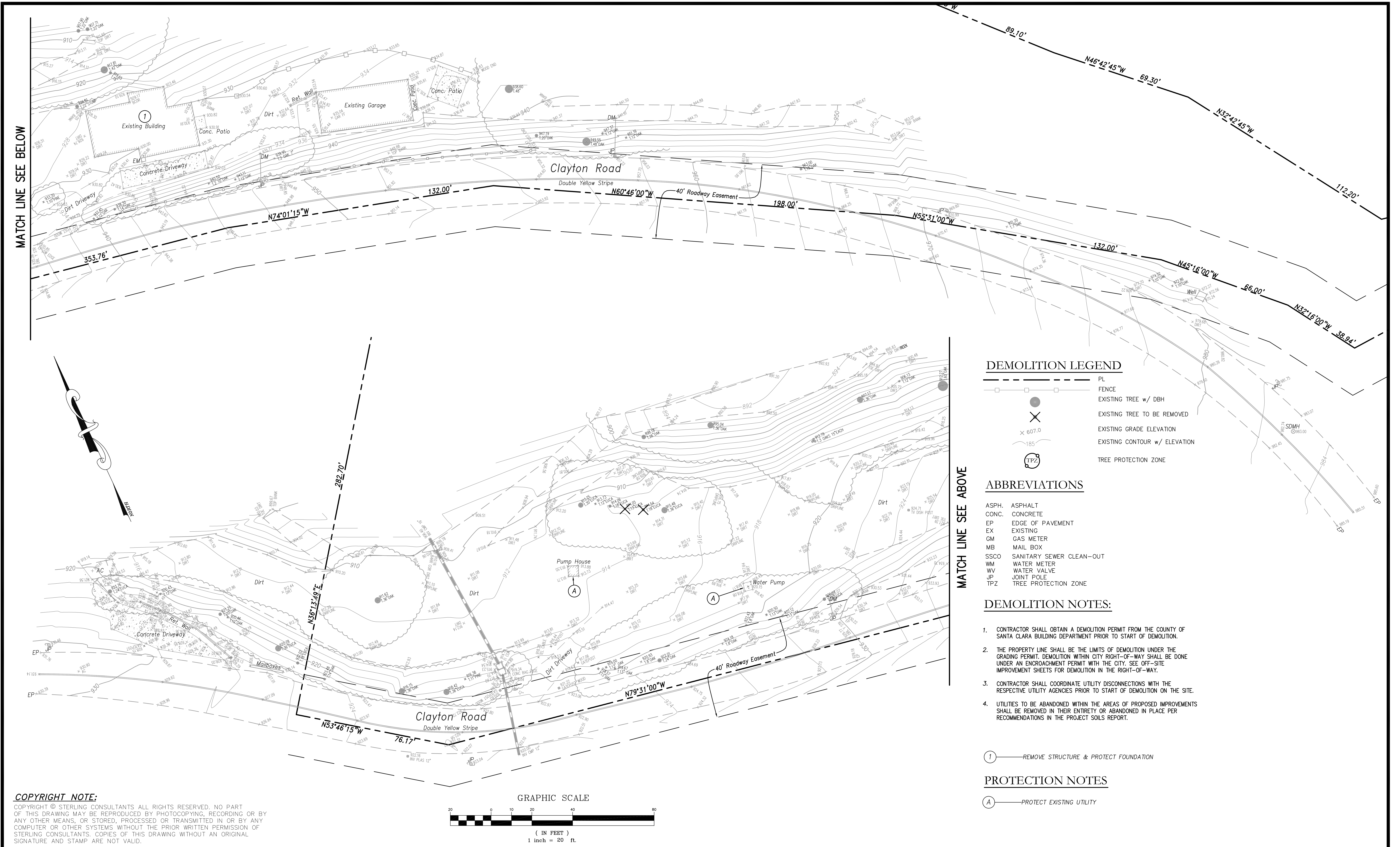
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PREPARED FOR:  
LUIS JIMENEZ (JIMENEDA BUILDERS)  
P.O. BOX 28051  
SAN JOSE, CA 95159  
TEL: 408-623-0651

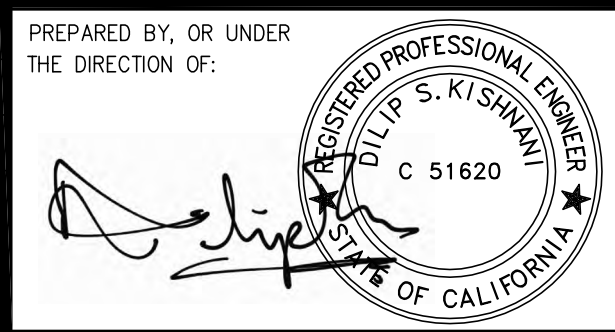
APN: 612-40-057  
13550 CLAYTON ROAD  
**BOUNDARY & TOPOGRAPHIC SURVEY**  
SANTA CLARA COUNTY  
CALIFORNIA

SHEET NO.  
**C2**  
2 OF 5 SHEETS  
JOB NO.  
2020-480





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TEL: 408-623-0651

APN: 612-40-057

13550 CLAYTON ROAD

**EXISTING CONDITIONS MAP & PRELIMINARY DEMO PLAN**

SANTA CLARA COUNTY CALIFORNIA

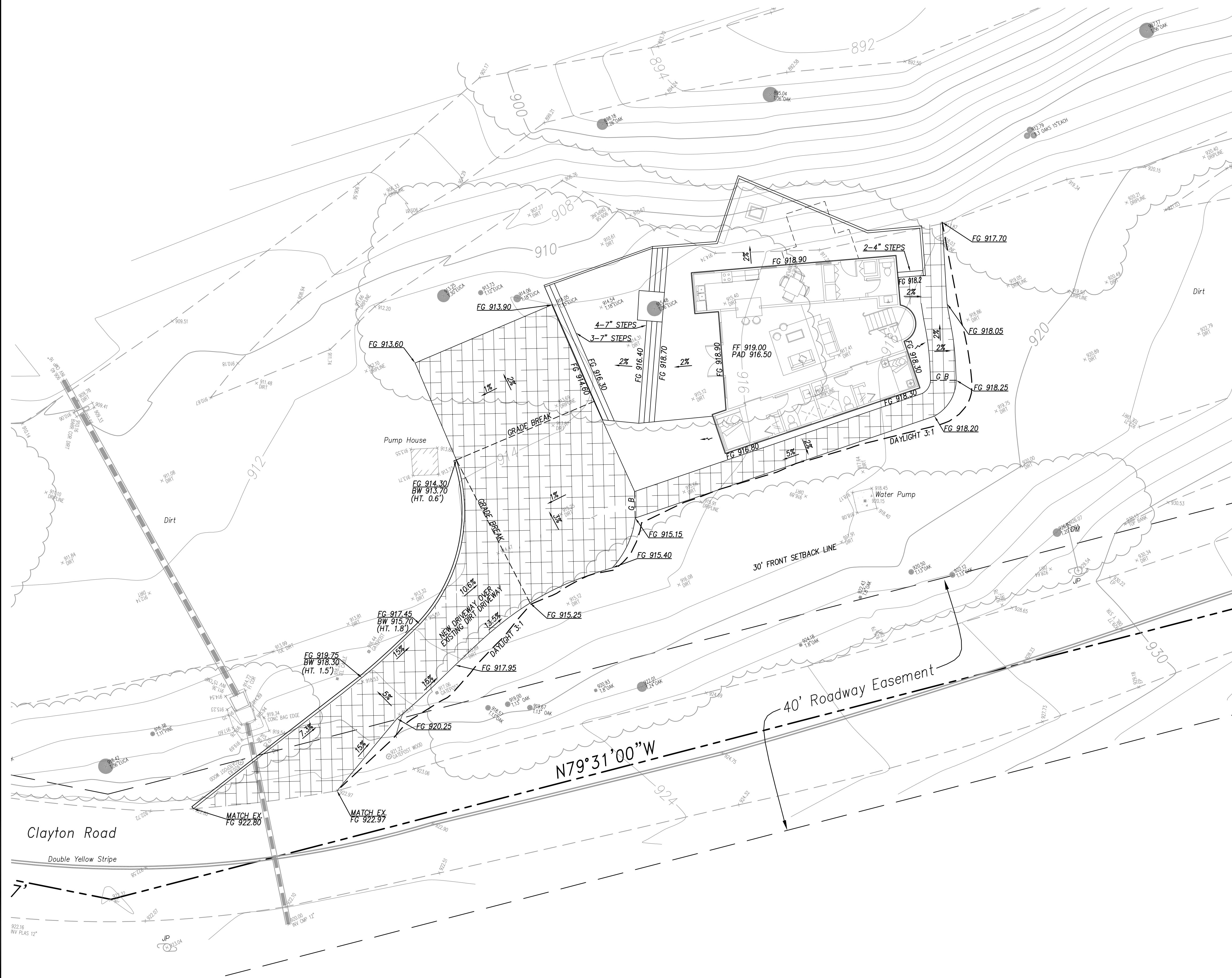
SHEET NO.

**C3**

3 OF 5 SHEETS

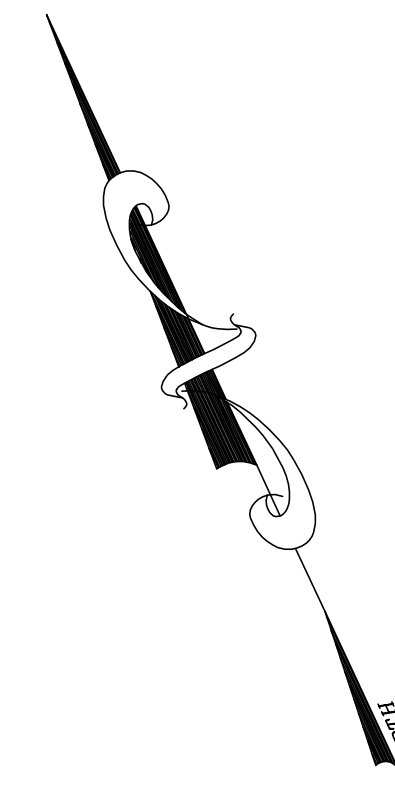
JOB NO. 2020-480





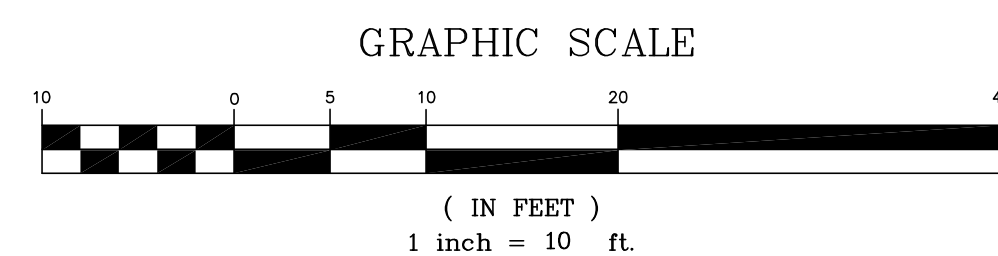
GRADING NOTES:

1. SITE GRADING & EXCAVATIONS SHALL ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE PROJECT GEOLOGICAL REPORT.
2. ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
3. ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES.
4. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
5. DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES BOTH ON-SITE. STREETS SHALL BE SWEEPED PER REQUIREMENTS SPECIFIED IN BLUEPRINT FOR CLEAN BAY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE ENGINEER.
7. WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAWDUSTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
8. FLUSHING OF STREETS/PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. AREAS REQUIRING CLEANING SHOULD BE SWEPT.
9. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS NEEDED.
10. WHERE ABANDONED UNDERGROUND STRUCTURES ARE ENCOUNTERED IN THE STREET AREAS, REMOVE TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS, BACKFILL AND COMPACT DURING ROUGH GRADING. THE INSPECTOR MAY REQUIRE FURTHER WORK TO BE DONE IF VISUAL INSPECTION INDICATES SO DURING CONSTRUCTION.
11. PRIOR TO ANY GRADING, DEMOLITION OF THE SITE SHOULD BE COMPLETED. DEMOLITION SHOULD INCLUDE THE COMPLETE REMOVAL OF ALL SURFACE AND SUBSURFACE STRUCTURES. IF ANY OF THE FOLLOWING ARE ENCOUNTERED: TREE ROOT SYSTEMS, CONCRETE, SEPTIC TANKS, GAS OR OIL TANKS, STORM INLETS, IRRIGATION PIPES, FOUNDATIONS, ASPHALT, DEBRIS AND TRASH, THESE SHOULD ALSO BE REMOVED, WITH THE EXCEPTION OF ITEMS SPECIFIED BY THE OWNER FOR SALVAGE.
12. EARTHWORK QUANTITIES IF SHOWN ON THESE PLANS ARE APPROXIMATE ESTIMATED QUANTITIES AND ARE FURNISHED FOR THE COUNTY'S INFORMATION ONLY. THE ACTUAL AMOUNT MAY VARY DEPENDING ON COMPACTION, CONSOLIDATION, STRIPPING AND THE CONTRACTOR'S METHOD OF OPERATION.



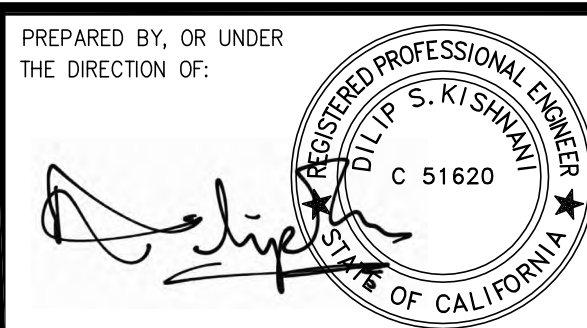
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MANAGER: DSK	NO.	BY	DATE	REVISIONS	CITY APPR

PREPARED BY, OR UNDER  
THE DIRECTION OF:



PREPARED BY:



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APN: 612-40-057

13550 CLAYTON ROAD

## PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

SANTA CLARA COUNTY

CALIFORNIA

SHEET NO.

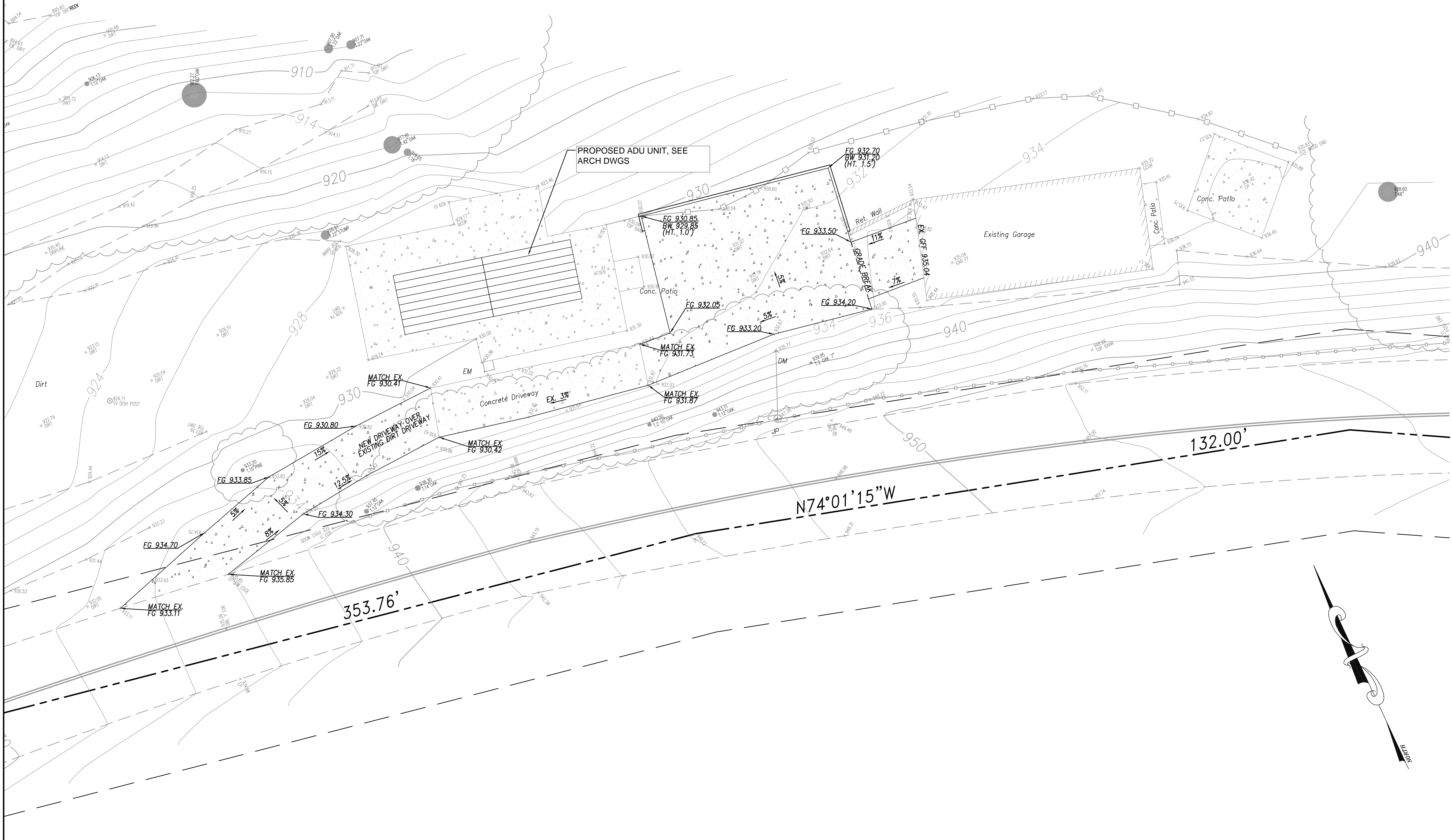
C4

4 OF 5 SHEETS

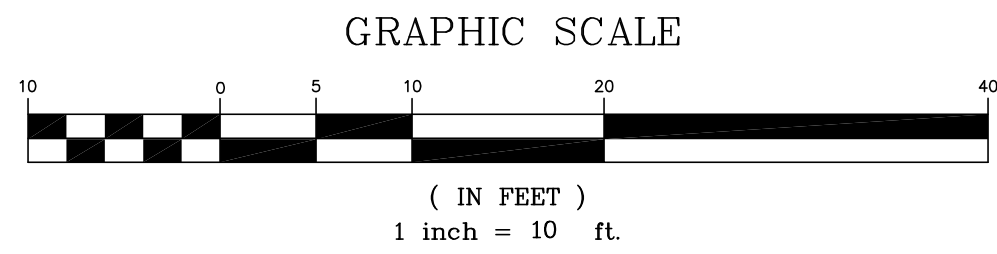
JOB NO. 2020-480



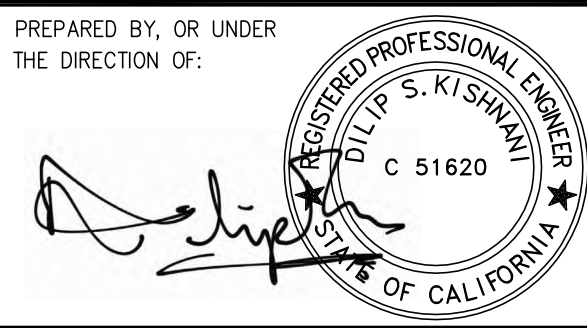
SEE SHEET C4



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## PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN

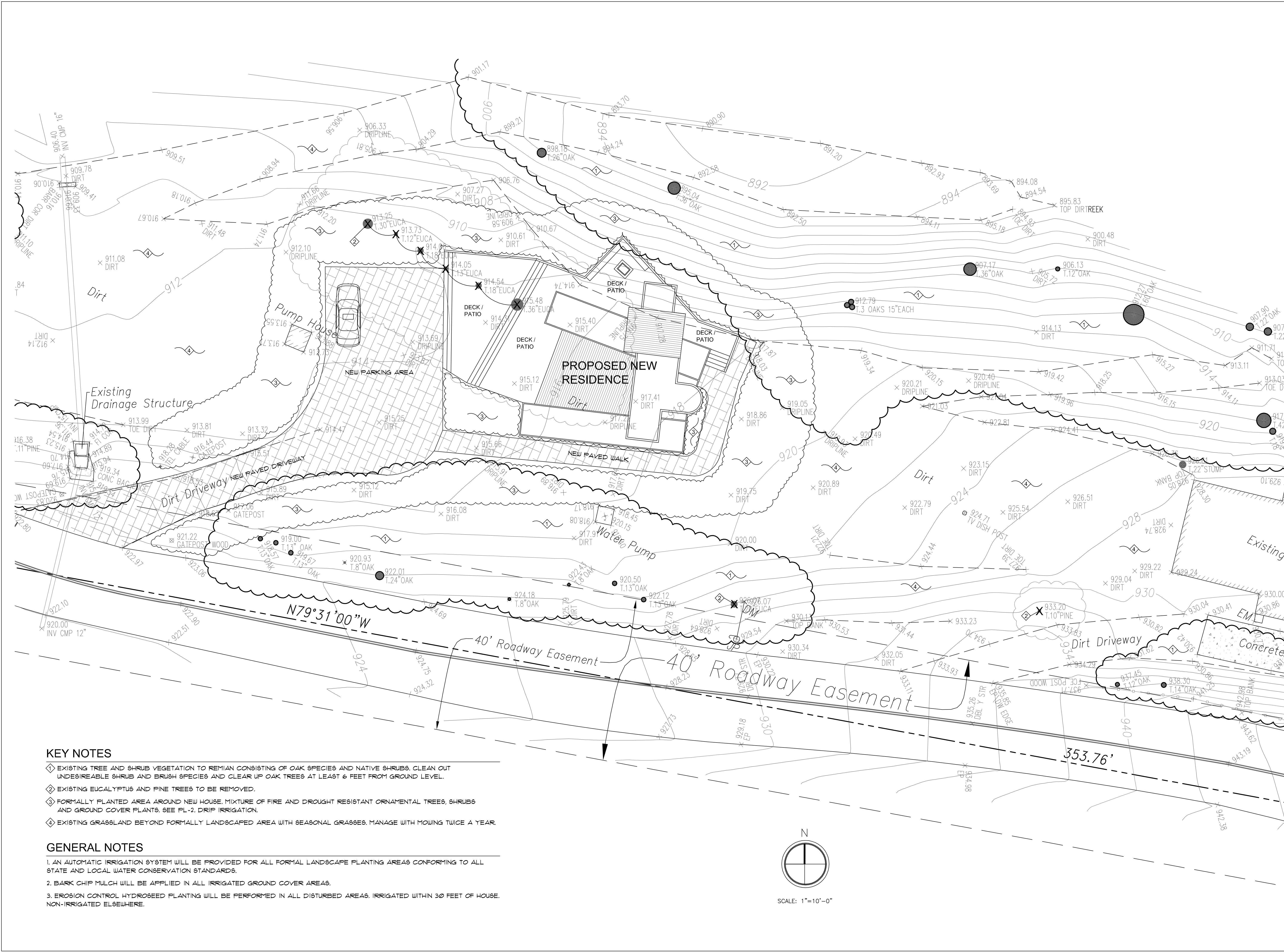
SANTA CLARA COUNTY

13550 CLAYTON ROAD

CALIFORNIA

SHEET NO.  
**C5**  
5 OF 5 SHEETS  
JOB NO.  
2020-480





KEY NOTES

- EXISTING TREE AND SHRUB VEGETATION TO REMAIN CONSISTING OF OAK SPECIES AND NATIVE SHRUBS. CLEAN OUT UNDESIRABLE SHRUB AND BRUSH SPECIES AND CLEAR UP OAK TREES AT LEAST 6 FEET FROM GROUND LEVEL.
- EXISTING EUCALYPTUS AND PINE TREES TO BE REMOVED.
- FORMALLY PLANTED AREA AROUND NEW HOUSE. MIXTURE OF FIRE AND DROUGHT RESISTANT ORNAMENTAL TREES, SHRUBS AND GROUND COVER PLANTS. SEE PL-2. DRIP IRRIGATION.
- EXISTING GRASSLAND BEYOND FORMALLY LANDSCAPED AREA WITH SEASONAL GRASSES. MANAGE WITH MOWING TWICE A YEAR.

GENERAL NOTES

- AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED FOR ALL FORMAL LANDSCAPE PLANTING AREAS CONFORMING TO ALL STATE AND LOCAL WATER CONSERVATION STANDARDS.
- BARK CHIP MULCH WILL BE APPLIED IN ALL IRRIGATED GROUND COVER AREAS.
- EROSION CONTROL HYDROSEED PLANTING WILL BE PERFORMED IN ALL DISTURBED AREAS. IRRIGATED WITHIN 30 FEET OF HOUSE. NON-IRRIGATED ELSEWHERE.





TREE - QUERCUS AGRIFOLIA / COAST LIVE OAK



LARGE SHRUB - ARCTOSTAPHYLOS D. 'HOWARD McMINN' / MANZANITA



LARGE SHRUB - CEANOTHUS 'RAY HARTMAN' / WILD LILAC



MEDIUM SHRUB - SALVIA LEUCANTHA / MEXICAN BUSH SAGE



MEDIUM SHRUB - RHAMNUS CALIFORNICA 'EVE CASE' / COFFEEBERRY



ACCENT PERENNIAL - LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER



GRASS - MISCANTHUS SINENSIS / EULALIA

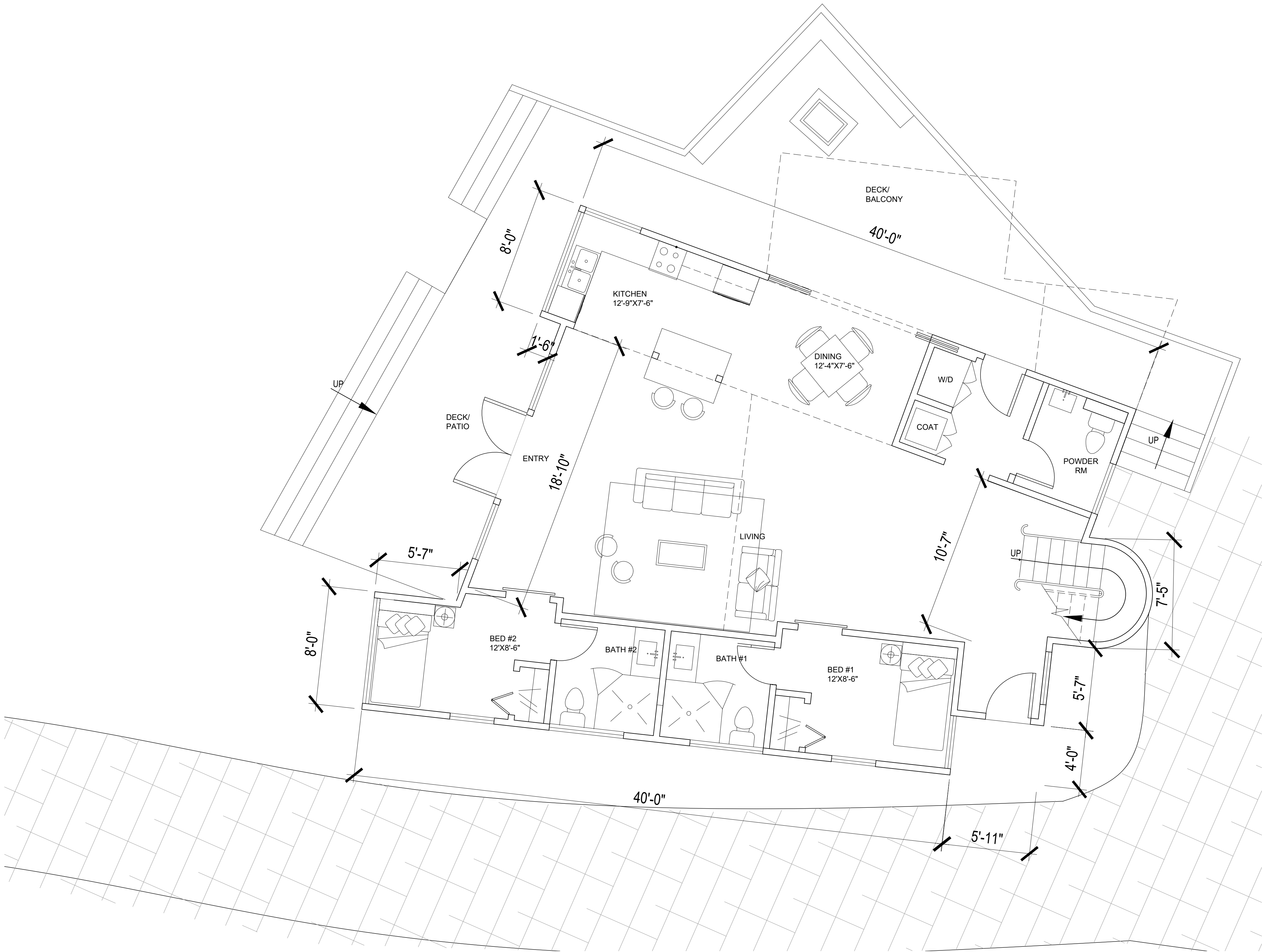


GROUND COVER - BACCHARIS PILULARIS / DWARF COYOTE BUSH



GROUND COVER - ARCTOSTAPHYLOS UVA-URSI / BEARBERRY





FIRST FLOOR PLAN

1/4" = 1'-0"  
20-660 AFP

01

SINGLE FAMILY RESIDENCE  
& ADU UNITS

13550 CLAYTON ROAD  
SAN JOSE, CA 95127

FIRST  
FLOOR PLAN

SCALE:

A-01

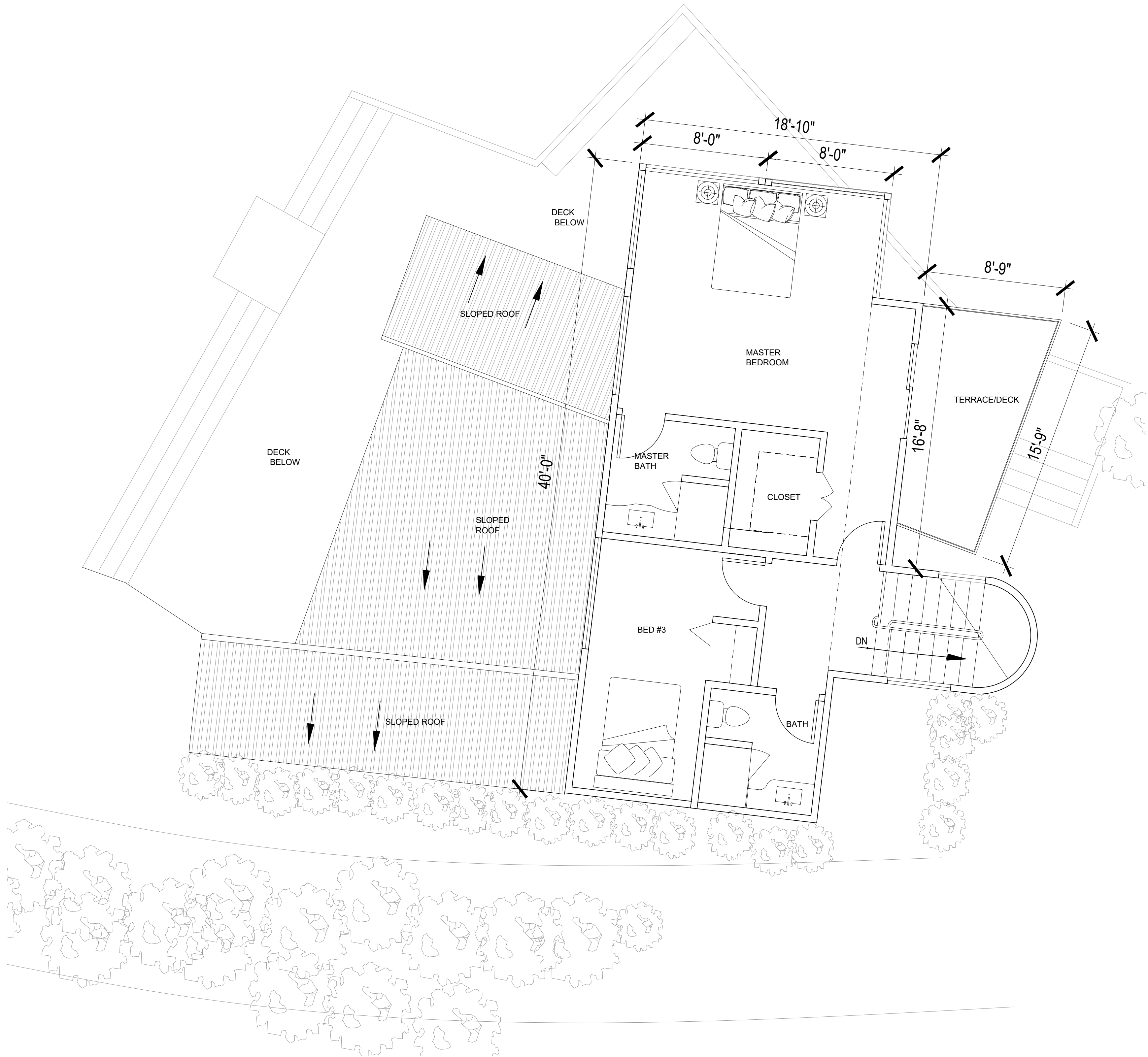
menda architects

architecture / planning / interiors

575 W El Camino Real/Mountain View, CA 94040  
tel 650.210.8800 - email architect@mendaarchitects.com  
www.mendaarchitects.com

PLANNING	08.19.21
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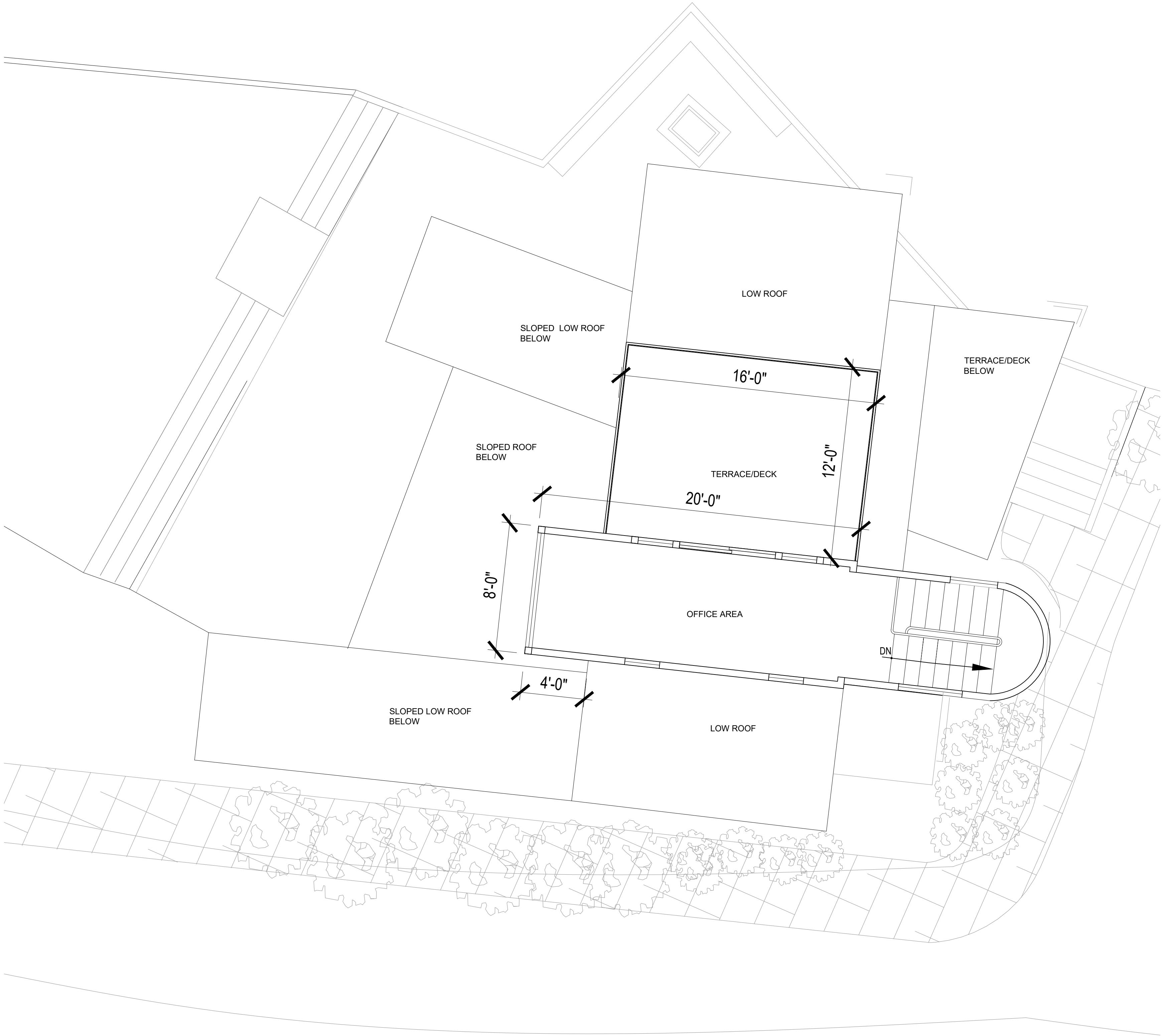
SECOND FLOOR PLAN

1/4" = 1'-0"  
20-660 AFP

01

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THIRD FLOOR PLAN

1/4" = 1'-0"  
20-660 AFP

01

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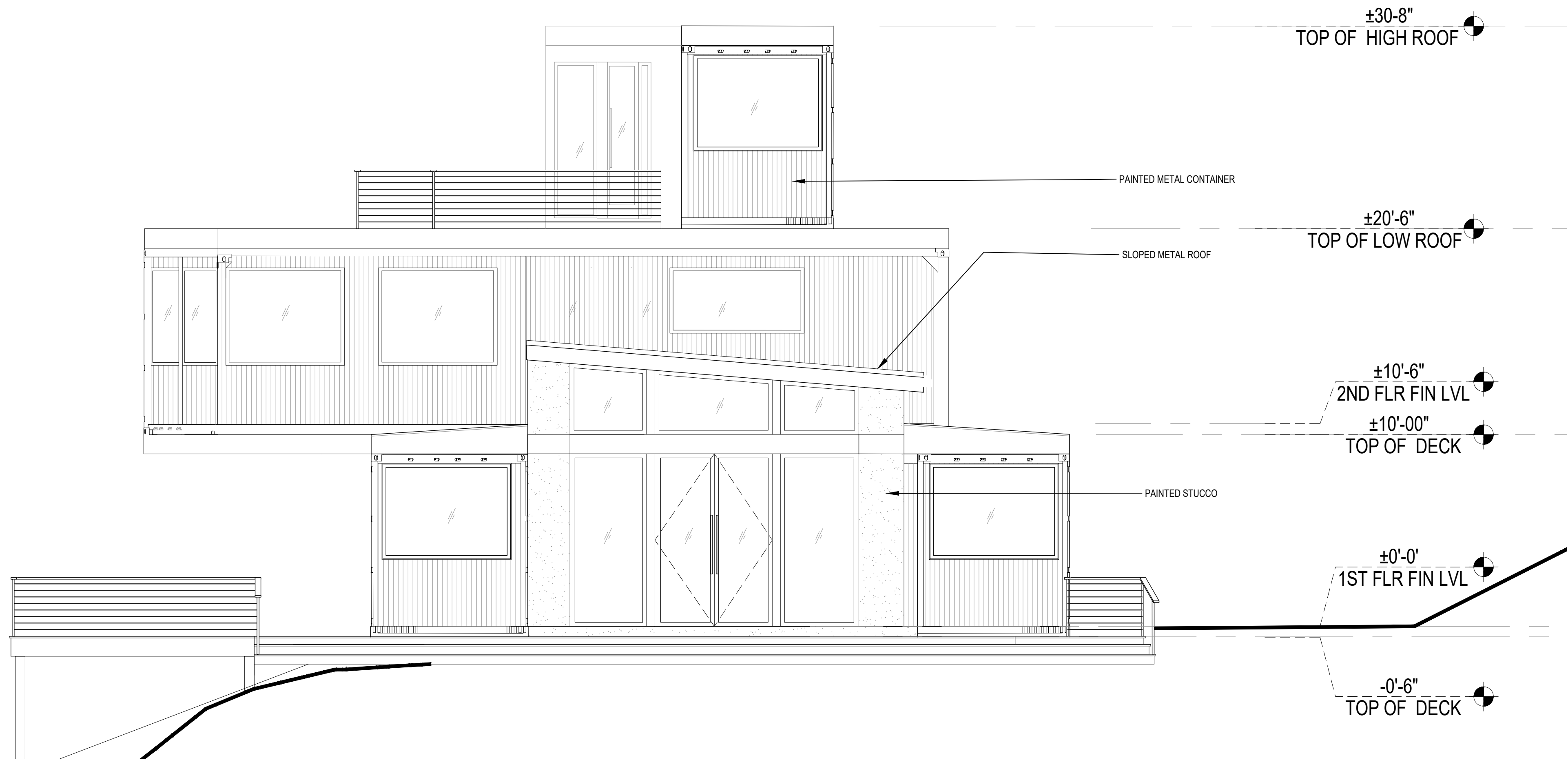




SOUTH ELEVATION

1/4" = 1'-0"  
20-660 AFP

2

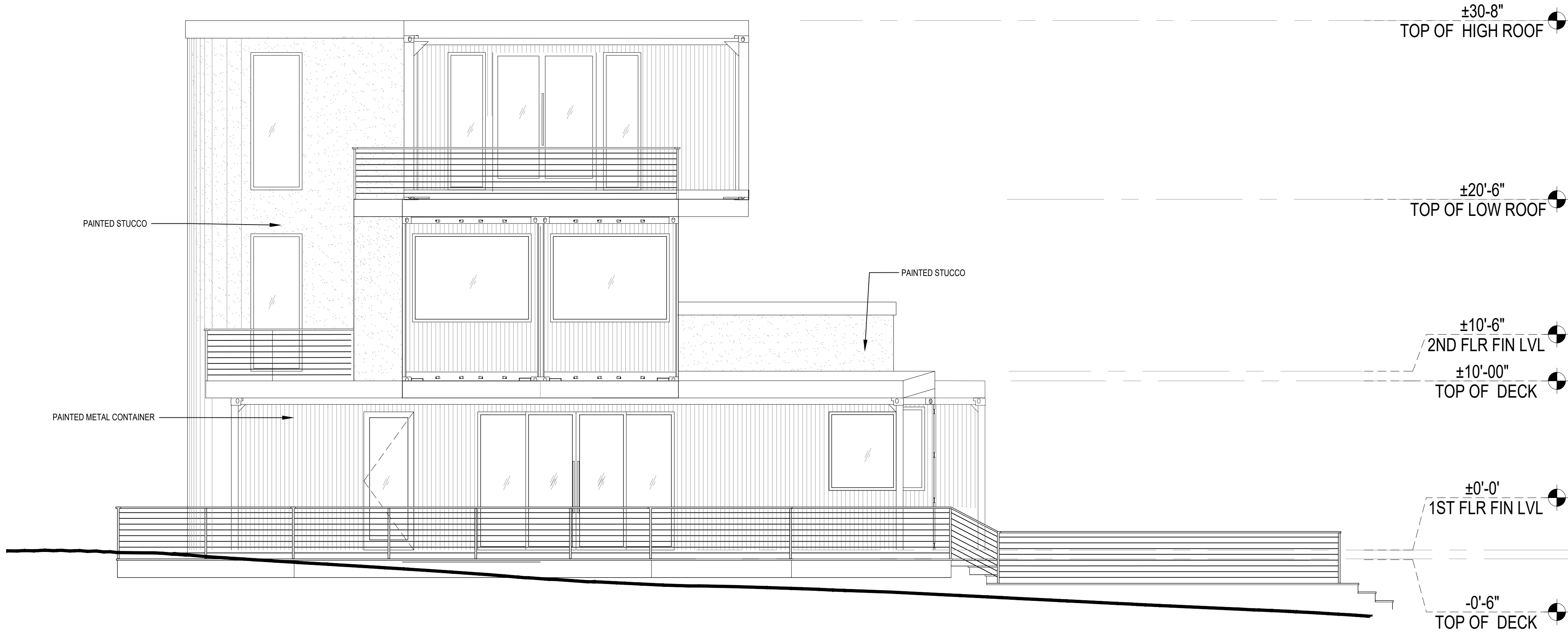


WEST ELEVATION

1/4" = 1'-0"  
20-660 AFP

1

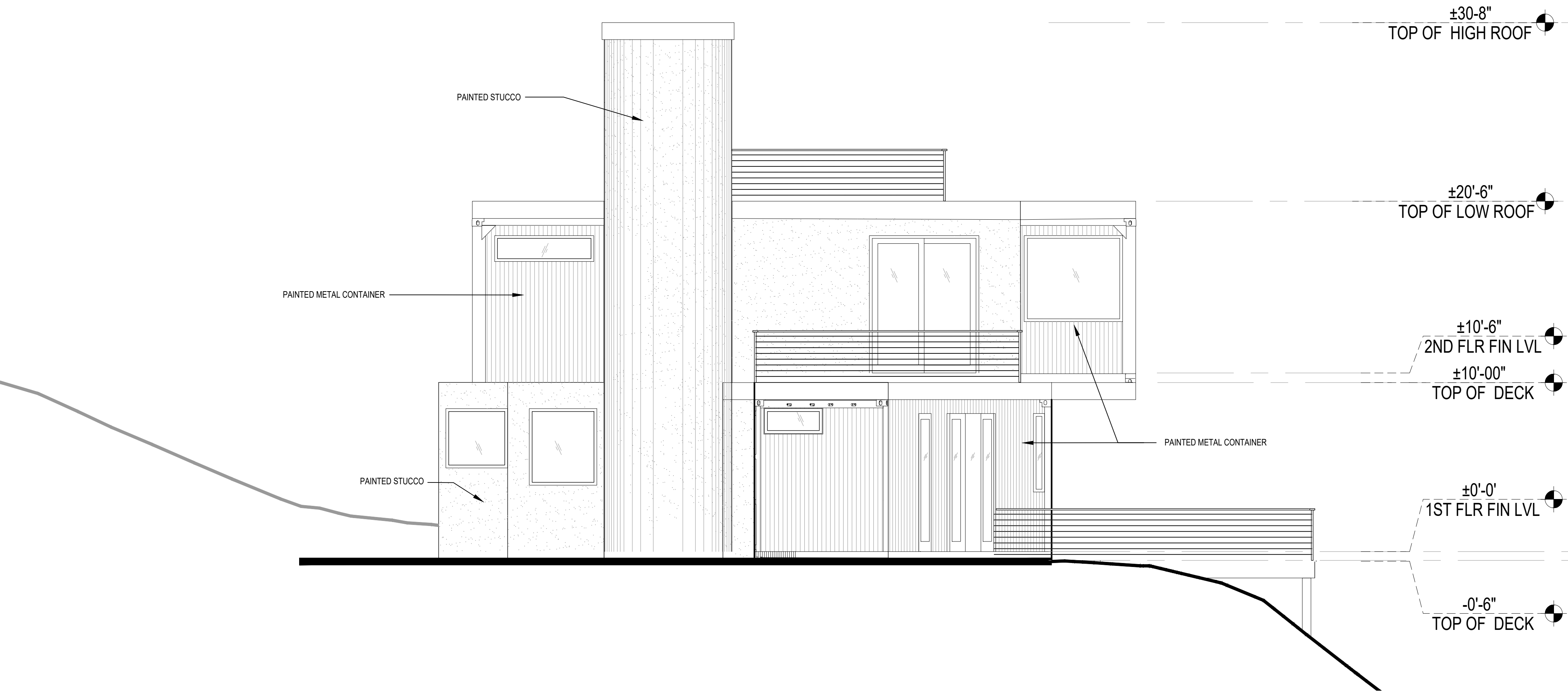




NORTH ELEVATION

1/4" = 1'-0"  
20-660 AFP

2

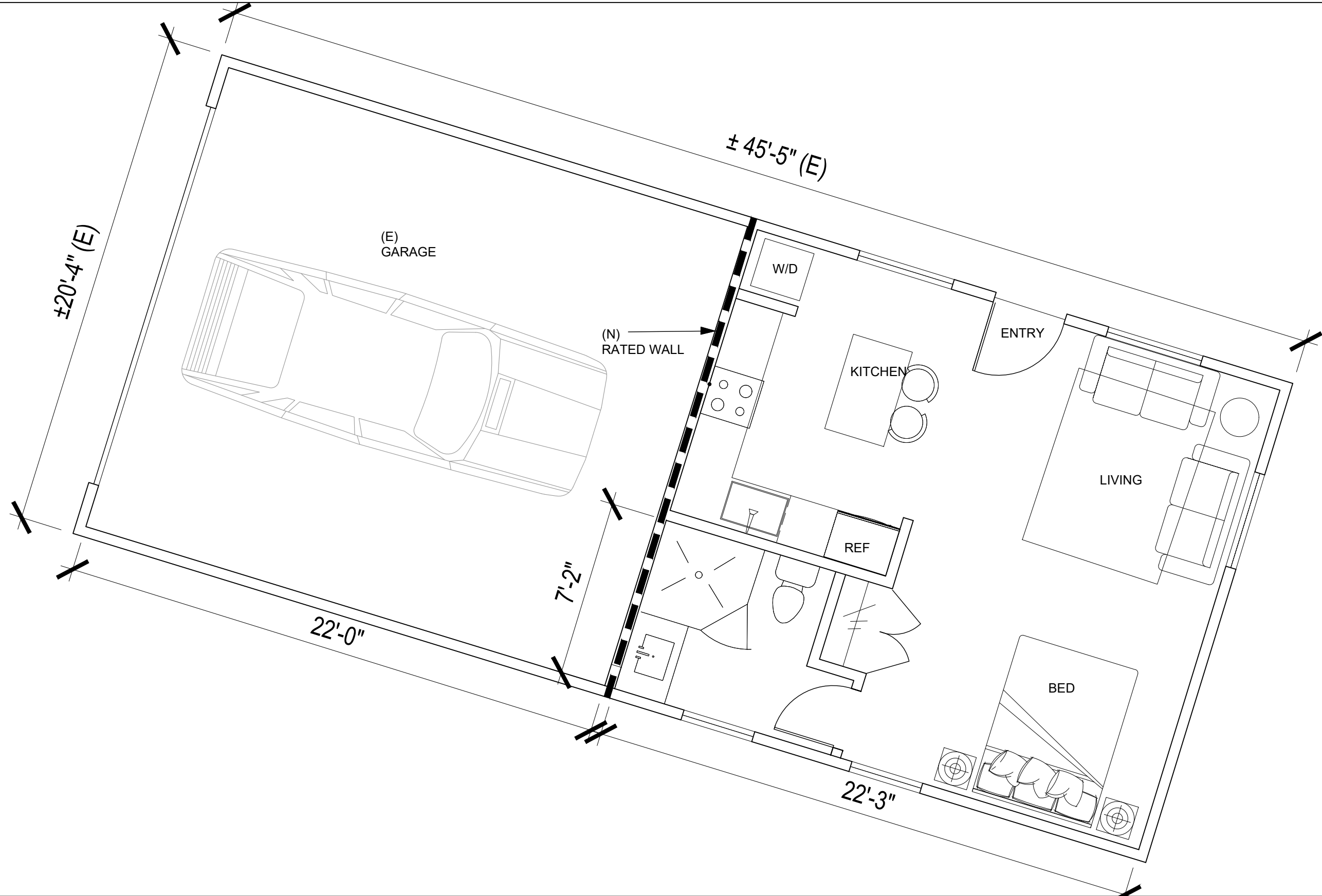


EAST ELEVATION

1/4" = 1'-0"  
20-660 AFP

1



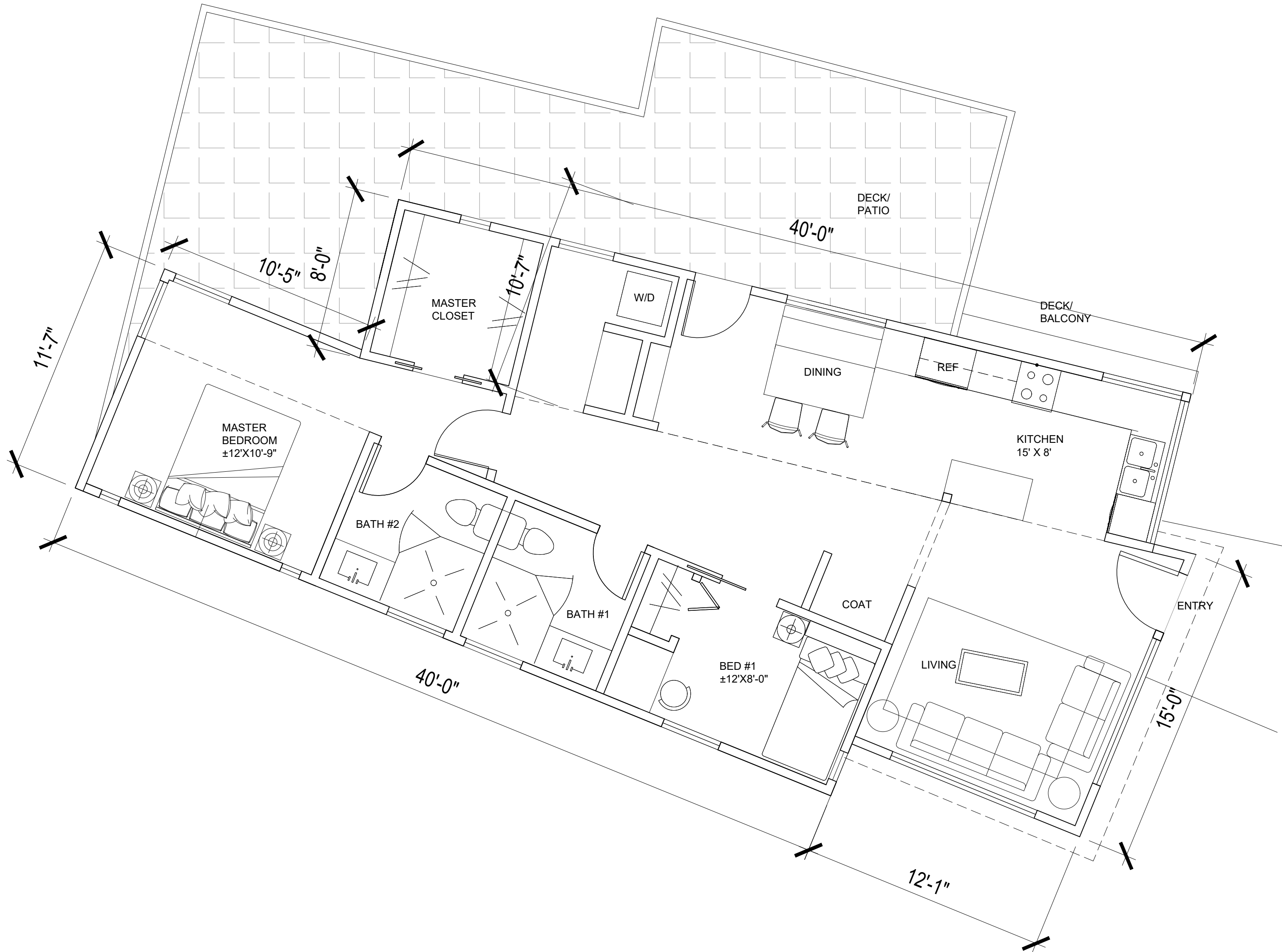


PROPOSED FLOOR AREA : 465 SF  
GARAGE AREA TO REMAIN : ±460 SF



SUB-ADU FLOOR PLAN

1/4" = 1'-0"  
20-660 AFP 01



PROPOSED FLOOR AREA : 998 SF



ADU FLOOR PLAN

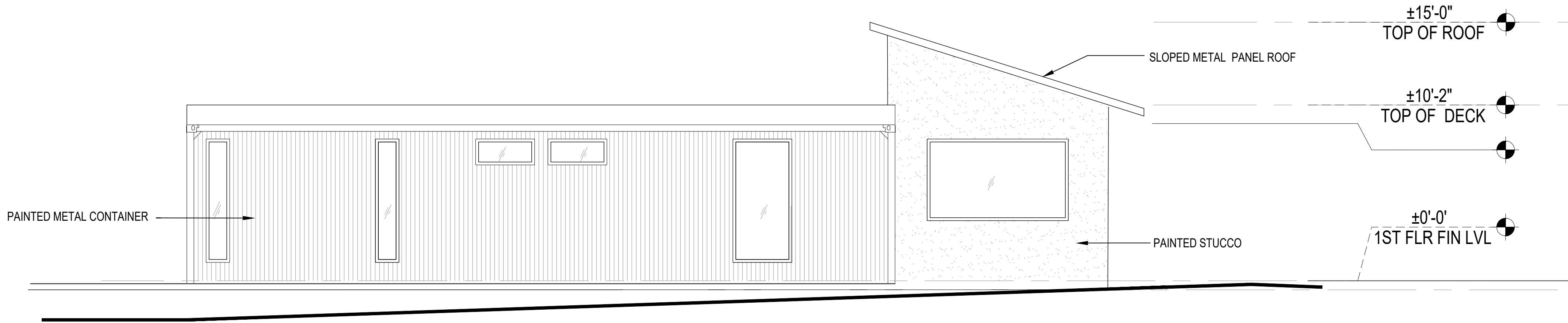
1/4" = 1'-0"  
20-660 AFP 01

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ADU &  
SUB-ADU  
FLOOR PLANS

SCALE:

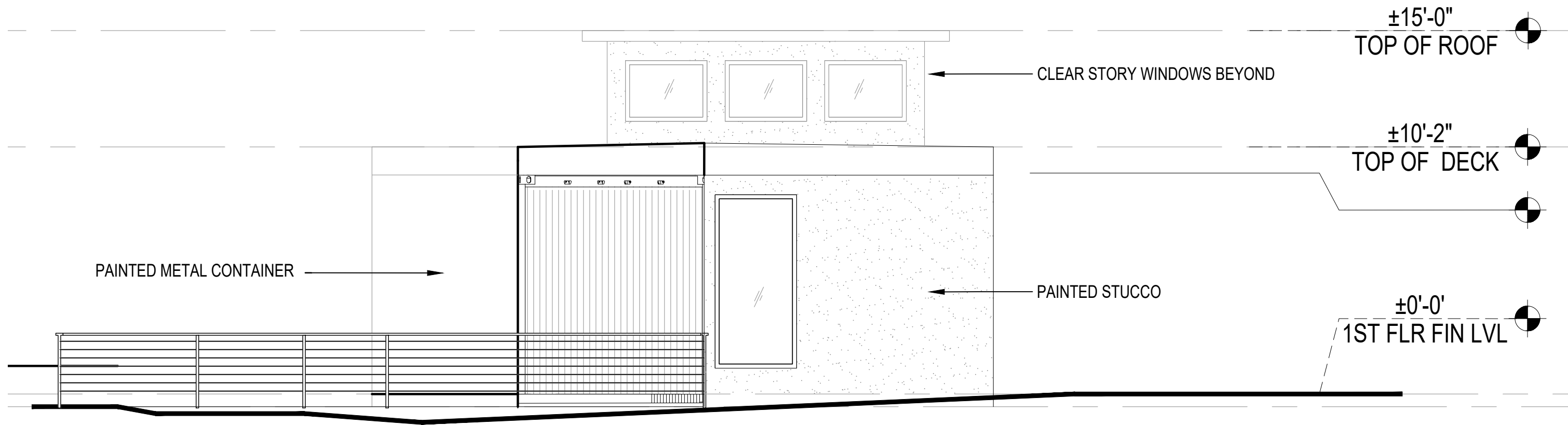




SOUTH ELEVATION

1/4" = 1'-0"  
20-660 AFP

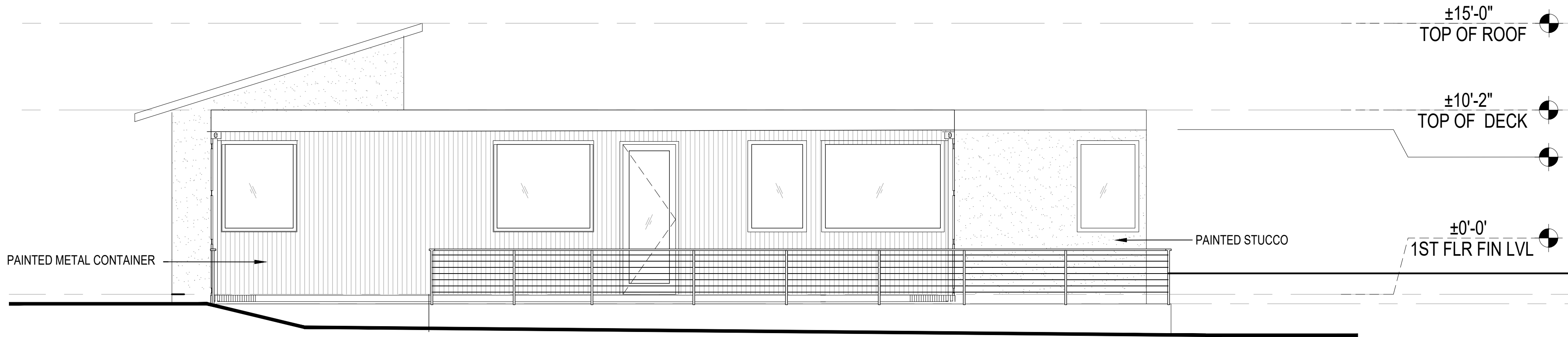
4



WEST ELEVATION

1/4" = 1'-0"  
20-660 AFP

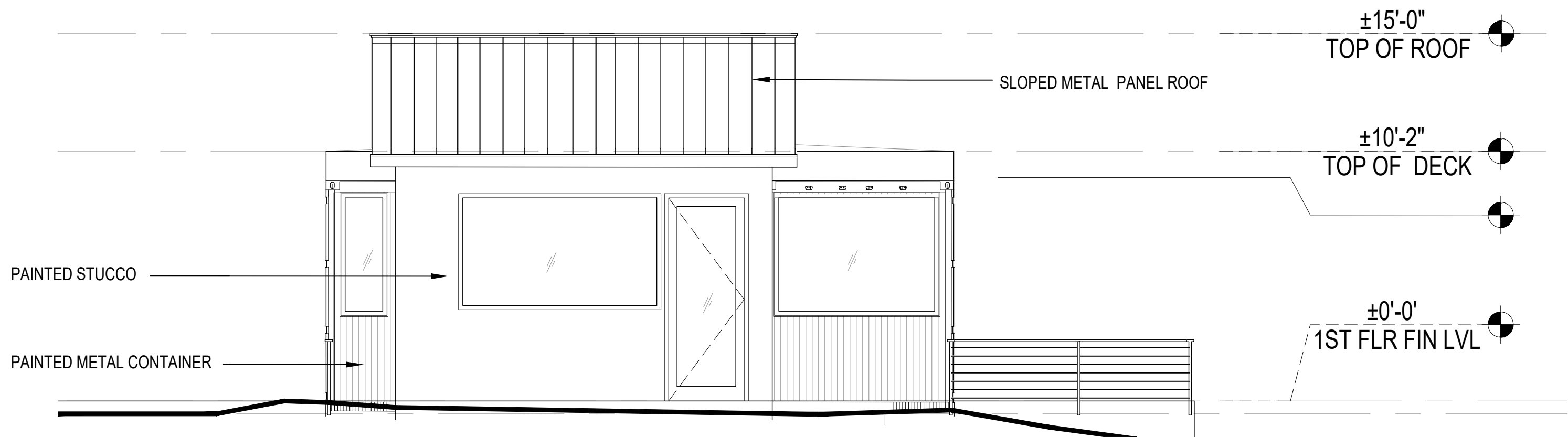
3



NORTH ELEVATION

1/4" = 1'-0"  
20-660 AFP

2

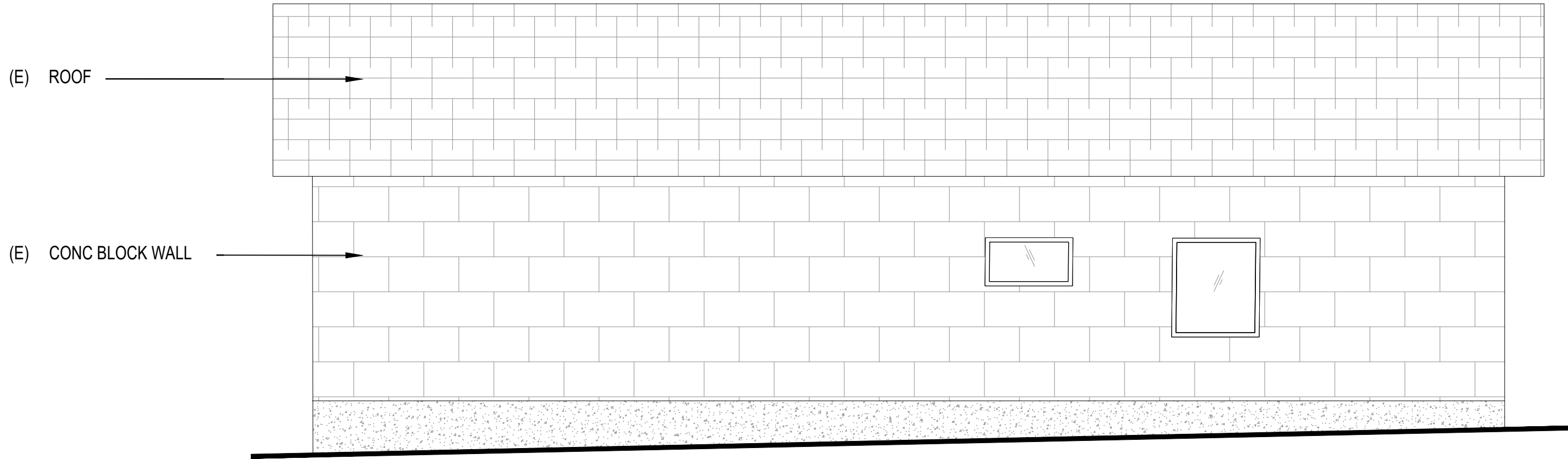


EAST ELEVATION

1/4" = 1'-0"  
20-660 AFP

1

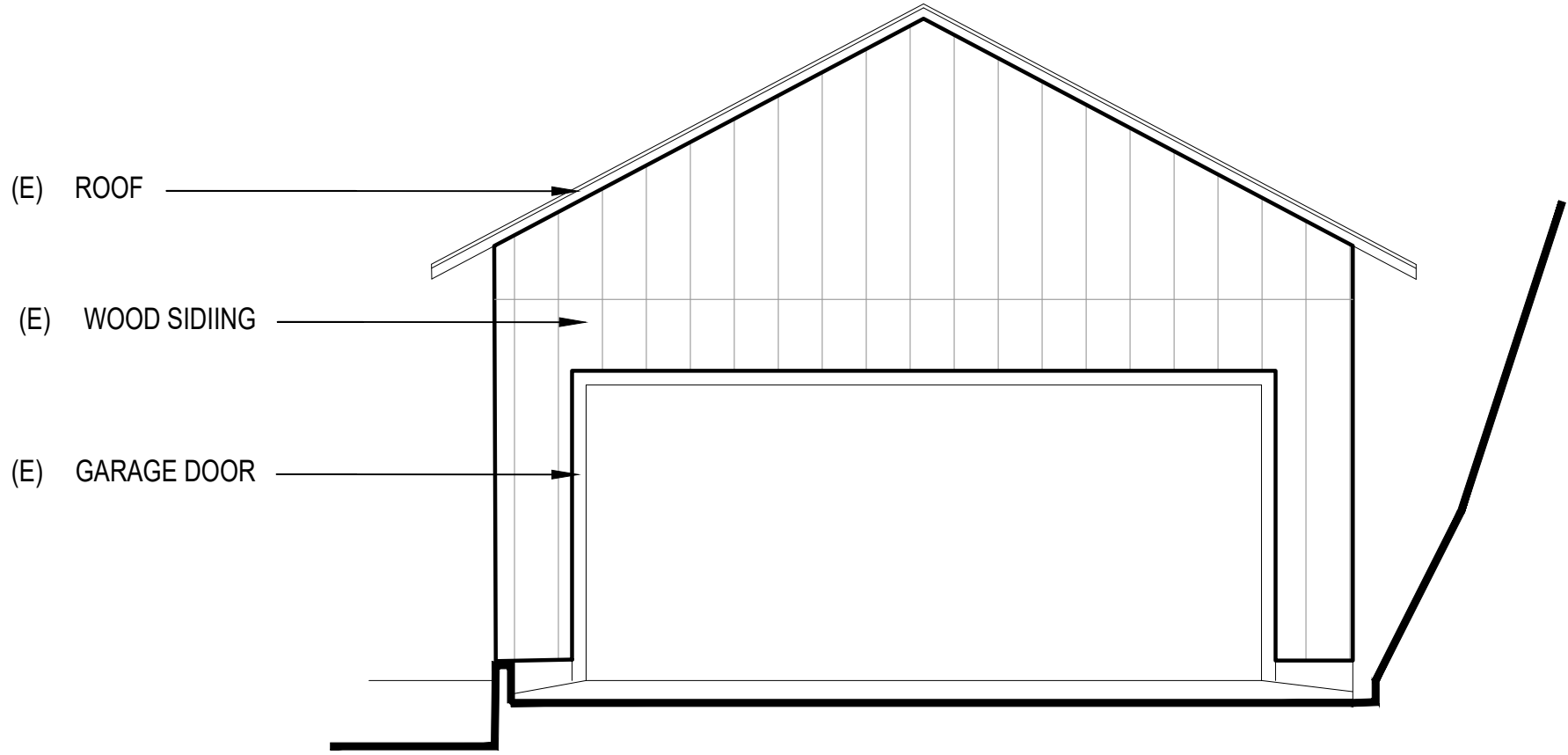




SOUTH ELEVATION

1/4" = 1'-0"  
20-660 AFP

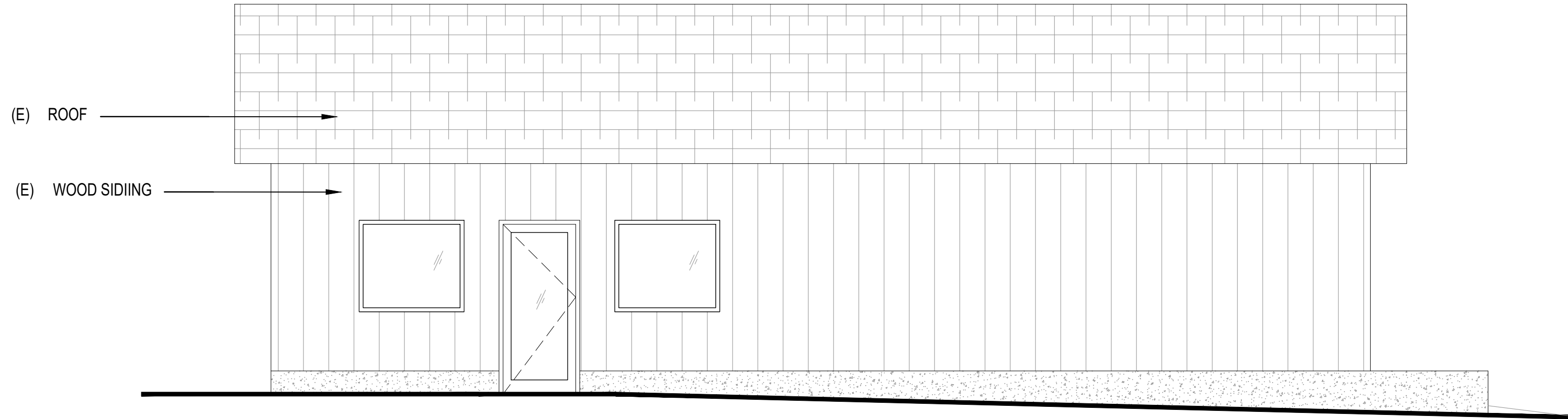
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WEST ELEVATION

1/4" = 1'-0"  
20-660 AFP

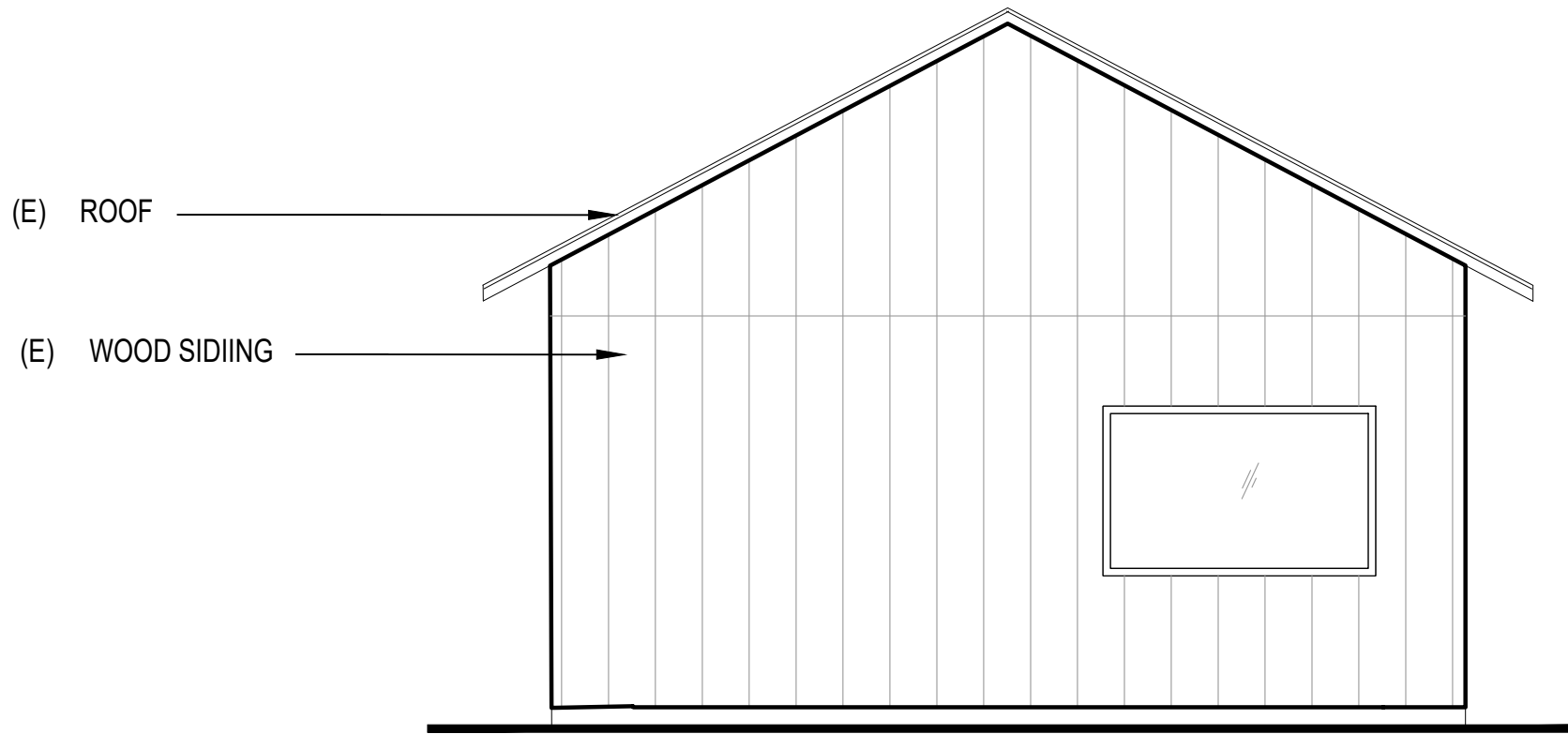
3



NORTH ELEVATION

1/4" = 1'-0"  
20-660 AFP

2



EAST ELEVATION

1/4" = 1'-0"  
20-660 AFP

1





VIEW20-660 AFP04



VIEW20-660 AFP02



VIEW20-660 AFP03



VIEW20-660 AFP01

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3D-ILLUSTRATIONS

SCALE:





VIEW 20-660 AFP 06



VIEW 20-660 AFP 04



VIEW 20-660 AFP 02



VIEW 20-660 AFP 05



VIEW 20-660 AFP 03



VIEW 20-660 AFP 01

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ADU  
3D-ILLUSTRATIONS

SCALE: