W.U.I. NOTES

·This parcel is located in the WUI (Wildland Urban Interface).
·This parcel is located in the State Response Area. Therefore the responding agency is CAL Fire and must comply with SRA Fire Safety Regulations- PRC 4290.
·A defensible space to be maintained at all times. (2)

Materials, Systems and Methods of Construction
Roofing Assemblies:
Roofing assemblies shall be designed to prevent the intrusion of flames and embers between the roof covering and the roof decking.
Roof valley flashing shall be made of not less that 26-gage galvanized sheet metal installed over a minimum 36" wide underlayment of one layer of 72# cap sheet running the full length of the valley.
Roof gutters shall be designed to prevent the accumulation of leaves and debris in the gutter.

Attic Ventilation:
Ventilation openings for enclosed attics, enclosed eave soffit spaces, enclosed rafter spaces formed where ceilings are applied directly to underside of roof rafters & underfloor ventilation openings shall be fully covered with Wildland Flame & Ember Resistant (WUI) vents approved & listed to ASTM E2886 as per CRC code section R337.6.2.

Vents shall not be installed on underside of eaves & cornices unless vents are Wildland Flame & Ember Resistant (WUI) vents approved & listed by the California State Fire Marshal, or WUI vents listed to ASTM E2886 as per CRC code section R337.6.3.

Eave protection: Eaves & soffits shall be protected by ignition-resistant materials or noncombustible construction on the exposed underside as per CRC R337.7.4 & R337.7.5

Exterior Walls:
Exterior walls shall be designed using ignition-resistant materials, noncombustible construction, heavy timber, log wall construction, or equivalent.
Exterior wall coverings shall extend from the top of the foundation to the roof, and terminate at 2" nominal solid wood blocking between the rafters at all roof overhangs, or terminate at an eave enclosure.

Exterior vertical wall vents: Per CRC R337.6.2.1, requirements of 706.A.2 shall apply to gable ends, ridge ends, crawl spaces, foundations and all other ventilation vents that mount on a vertical wall. Wildland Flame & Ember Resistant vents approved & listed by the CA State Fire Marshall or WUI vents listed to ASTM E2886 shall be used.

Exterior window, window wall, and glazed door assemblies shall have a 20 minute fire-resistant rating, or be designed using insulating-glass units with a minimum of one tempered pane, or glass block units.

Exterior door assemblies shall have a 20-minute fire-resistant rating, or be designed using noncombustible construction, or be constructed of solid-core wood having stiles and rails not less than 1-3/8" thick, and field panels not less than 1-1/4" thick.

Exterior vehicle access doors shall be non-combustible or exterior fire-retardant treated wood.

Weather stripping:
Exterior garage doors shall be provided with weather stripping to resist the intrusion of embers from entering through gaps between doors and door openings when visible gabs exceed 1/8 inch (3.2mm). Weather stripping or seals shall be installed on the bottom, sides, and tops of doors to reduce gaps between doors and door openings to 1/8 inch or less. CRC Sec. R337.8.4.

Decking: Deck surfaces; stair treads, risers and landings; porches; and balconies within 10 feet of the primary structure shall comply with the following:
* Shall be designed using ignition-resistant materials, noncombustible construction, heavy timber, exterior fire-retardant treated wood or equivalent.
* The use of paints, coatings, stains or other surface treatments are not an approved method of protection.

Underfloor and appendages protection
The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls, or the projections shall be enclosed to grade.

Ancillary buildings and structures, and detached accessory structures, shall comply with the above provisions.

Prior to building permit final approval, the property shall be in compliance with the state's vegetation clearance requirements prescribed in California Fire Code Sec. 4906, incl. California Public Resources Code 4291 or California Government Code Section 51182 per CRC R337.1.5.

FIRE NOTES

FIRE SPRINKLER SYSTEM:
AN APPROVED RESIDENTIAL FIRE SPRINKLER SYSTEM COMPLYING WITH CFMO-SP6 SHALL BE INSTALLED THROUGHOUT THE STRUCTURE SYSTEM & FINALED BY THE FIRE MARSHAL OFFICE.

RESIDENTIAL FIRE SPRINKLER SYSTEM WILL BE A DEFERRED SUBMITTAL.

THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AND FINALED BY THE COUNTY OF SANTA CLARA FIRE DEPARTMENT PRIOR TO OCCUPANCY. A SEPARATE PERMIT SHALL BE OBTAINED FROM THE COUNTY OF SANTA CLARA FIRE DEPARTMENT BY A STATE LICENSED C-16 CONTRACTOR PRIOR TO INSTALLATION. PLEASE ALLOW FOR A MINIMUM OF 30 DAYS FOR PLAN REVIEW OF FIRE SPRINKLER PLANS BY THE COUNTY OF SANTA CLARA FIRE DEPARTMENT.

MAINTENANCE:
FIRE PROTECTION WATER SYSTEMS AND EQUIPMENT SHALL BE ACCESSIBLE AND MAINTAINED IN OPERABLE CONDITION AT ALL TIMES, AND SHALL BE REPLACED OR REPAIRED WHERE DEFECTIVE. FIRE PROTECTION WATER SHALL BE MADE AVAILABLE TO THE FIRE DEPT.

FIRE DEPT. ACCESS ROADS, DRIVEWAYS, TURNOUTS, & TURNAROUNDS SHALL BE MAINTAINED FREE & CLEAR & ACCESSIBLE AT ALL TIMES FOR FIRE DEPT. USE. GATES SHALL BE MAINTAINED IN GOOD WORKING ORDER, & SHALL REMAIN IN COMPLIANCE WITH FIRE MARSHAL STANDARD CFMO-A3 AT ALL TIMES.

APPROVED NUMBER OR ADDRESSES shall be placed on all new buildings in such a position to be plainly visible & legible from the street or road fronting the property. Address numbers shall be Arabic & contrast with their background & be min. of 4" in ht. w/min. stroke width of 0.5 in. If means of private road and building cannot be viewed from public right of way, a pole or other sign/means shall be used to identify the structure. Numbers to be maintained per cfc sec. 505.1.

GEN. CONSTRUCTION NOTES

ANY VARIATION FROM THE SPECIFIED DESIGN, FINISH PRODUCTS OR EXTERIOR ELEVATION STYLE IS TO BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO CONSTRUCTION.

ANY DISCREPANCY DISCOVERED ON THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF D&Z DESIGN ASSOCIATES PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION. ALL WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL WORK TO BE IN CONFORMANCE WITH
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA HISTORICAL BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA EXISTING BUILDING CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA REFERENCED STANDARDS CODE
2022 CALIFORNIA ELECTRICAL CODE
AS WELL AS THE STATE, LOCAL CODES & COUNTY OF SANTA CLARA ORDINANCE CODE

CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR METHOD & MANNER OF CONSTRUCTION & FOR ALL JOB SITE SAFETY DURING CONSTRUCTION.

VERIFY LOCATION OF UTILITIES AND EXISTING CONDITIONS AT SITE PRIOR TO CONSTRUCTION AND BIDDING.

SLOPE ALL FINISH GRADES A MIN. OF 5% FOR 10'-0" "AWAY" FROM STRUCT. FOR POSITIVE DRAINAGE @ LANDSCAPED AREAS & SLOPE GRADE 2% MIN. @ PAVED AREAS.

THE BUILDER SHALL PROVIDE THE BUILDING OWNER, MANAGER, & ORIGINAL OCCUPANTS A LIST OF ENERGY-SAVING CONSERVATION FEATURES DEVICES, MATERIALS, & COMPONENTS INSTALLED IN THE BUILDING, & INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY, SUCH FEATURES INCL. HEATING, COOLING, WATER HEATING, & LIGHTING SYSTEMS, AS WELL AS INSULATION, WEATHER-STRIPPING WINDOW SHADES, & THERMAL MASS MATERIALS, THE INSTRUCTIONS SHALL BE CONSISTANT WITH SPECS. SET FORTH BY THE EXECUTIVE DIRECTOR

ALL WORK APPLIANCES AND EQUIPMENT SHALL COMPLY WITH C.E.C. TITLE 24 RESIDENTIAL ENERGY STANDARDS.

SEE SHEET T24.1 & T24.2 FOR ADDITIONAL ENERGY COMPLIANCE NOTES

IF ARCHEOLOGICAL RESOURCES OR HUMAN SKELETAL REMAINS ARE DISCOVERED DURING CONSTRUCTION, WORK SHALL STOP IMMEDIATELY, AND THE COUNTY RECORDER'S OFFICE NOTIFIED.

ALL CONSTRUCTION ACTIVITIES SHALL BE IN CONFORMANCE WITH THE SANTA CLARA COUNTY NOISE ORDINANCE SECTION B11-154 & PROHIBITED BETWEEN THE HOURS OF 7:00 P.M. & 7:00 A.M. ON WEEKDAYS & SATURDAYS, OR AT ANY TIME SUNDAYS FOR THE DURATION OF CONSTRUCTION.

SYMBOLS

SHEARWALL
A/3 — WALL TYPE, LENGTH
PLATE LINE HT.

SECTION
A/A5 — SECTION NUMBER, SHEET NUMBER
REVISION NUMBER

NOTE: SEE SHEET EM1 FOR ELECTRICAL SYMBOLS LIST

DETAILS
1/S2 — DETAIL NUMBER, SHEET NUMBER

SCOPE OF WORK

Construction of a new 4,868 s.f. two level Single Family Residence w/lower level living space w/400 s.f. unconditioned storage space, attached 946 s.f. 3-car Garage & 107 s.f. covered Entry Porch. The proposed project includes site retaining walls and is located on a vacant parcel within an existing subdivision.

CONSULTANTS

SOILS ENGINEER
Geo-Logic Associates
6300 San Ignacio Avenue, Ste. A
San Jose, California 95119
(408) 778-2818
Project: PA21.1036.00
Dated: February 9, 2022

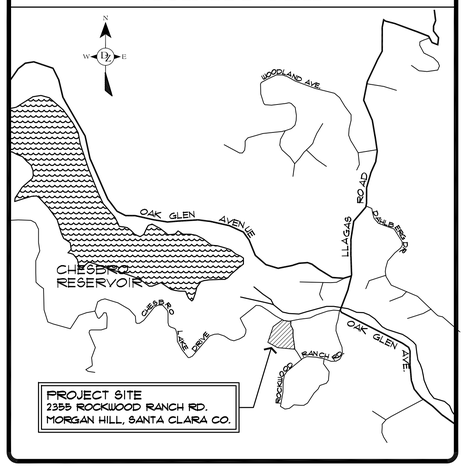
CIVIL ENGINEER & SEPTIC DESIGN
Le Engineering
598 E. Santa Clara Street, Suite #270
San Jose, California 95112
(408) 806-7187

BIOLOGIST
Coast Range Biological, LLC
PO Box 1238
Santa Cruz, California 95061
(831) 426-6226

LANDSCAPE ARCHITECT
Karen Aitken & Associates
8262 Rancho Real
Gilroy, California 95020
(831) 842-0245

ARBORIST
David Hamilton
Mighty Tree Movers, Inc.
P.O. Box 12
Los Gatos, California 95031
(408) 464-5200

VICINITY MAP



DRAWING INDEX

PROJECT DATA

OWNER:
Brooke Rahn
695 E. Brokaw Road
San Jose, Calif. 95112
(650) 868-6716

LOT DATA:

APN:	776-35-012
ZONING:	HS-d (95.1%) RR (4.9%)
LOT SIZE:	5.4 Ac. (236,531 S.F.)
LOT:	2355 Rockwood Ranch Rd. Morgan Hill, California Lot 12 Chesbro Lake Estates Tract 8520
Occupancy Group:	R3/U
Type of Construction:	VB

PROJECT GROSS FLOOR AREA:
4084 sq. ft. Entry Level Living Area
784 sq. ft. Lower Level Living Area
4868 sq. ft. Total Living Area
946 sq. ft. Garage
400 sq. ft. Unconditioned Storage
107 sq. ft. Covered Entry Porch
6321 sq. ft. Total Gross Area

RAHN RESIDENCE

2355 Rockwood Ranch Road Morgan Hill, California

NO./ DATE/ REVISION
⚠1 PLANNING 9-1-2022
⚠2 PLANNING 10-20-2022

D/Z Design Associates, Inc.
A California Corporation
18640 Sutter Blvd., Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7065 Fax: (408) 778-7064
email: dz.designassociates@gmail.com

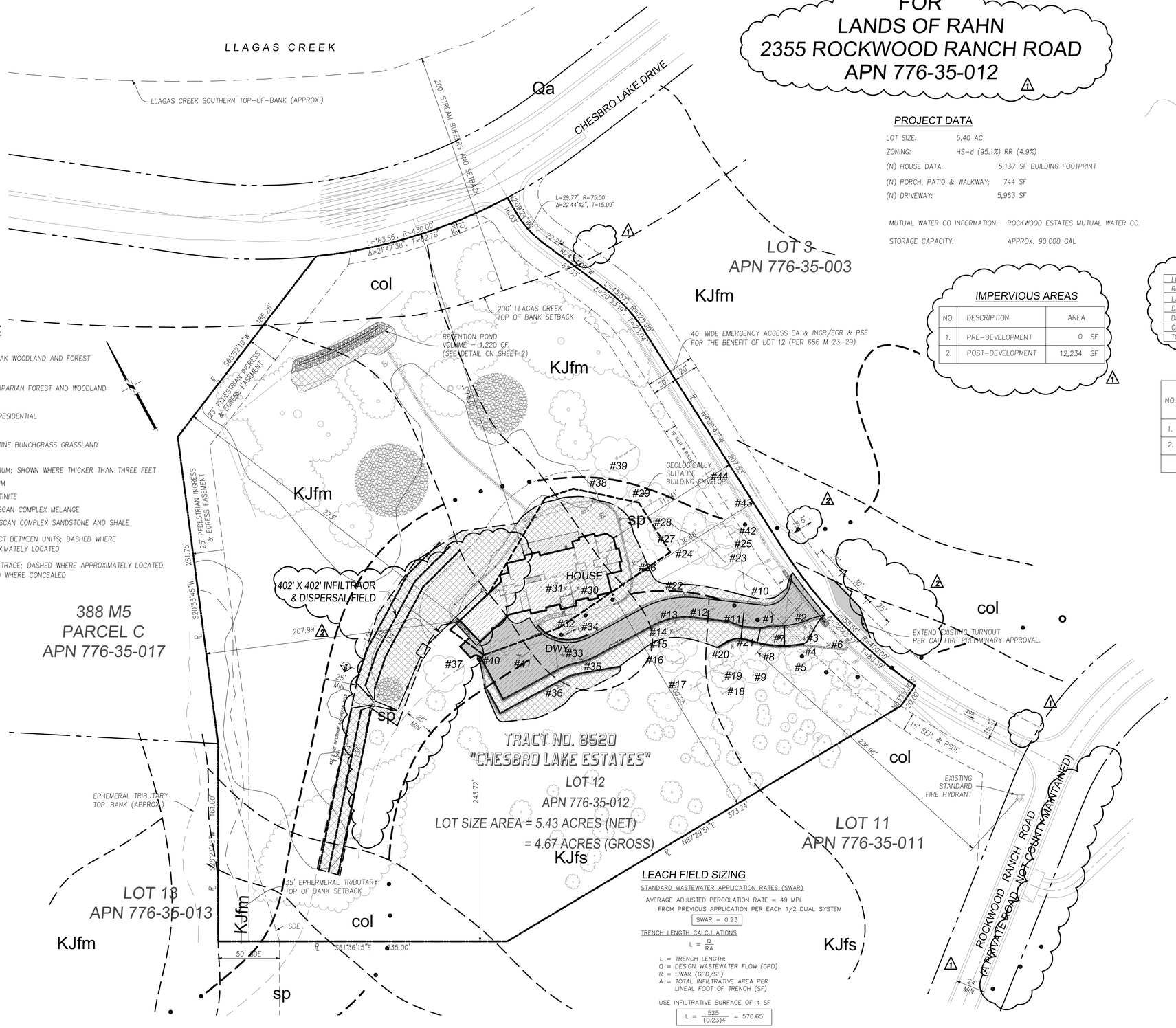
DRAWING TITLE: Title Sheet
JOB TITLE: Rahn Residence
JOB ADDRESS: 2355 Rockwood Ranch Road Morgan Hill, California

DATE: JAN. 24, 2021
SCALE: NONE
PROJECT MANAGER: M. DAVIS
DRAWN: MIKE
JOB NO.: DZ3521
SHEET: T1

PRELIMINARY GRADING PLAN

FOR
LANDS OF RAHN
2355 ROCKWOOD RANCH ROAD
APN 776-35-012

1



LEGEND:

- MIXED OAK WOODLAND AND FOREST
- MIXED RIPARIAN FOREST AND WOODLAND
- RURAL RESIDENTIAL
- SERPENTINE BUNCHGRASS GRASSLAND

col	COLLUVIUM; SHOWN WHERE THICKER THAN THREE FEET
Qa	ALLUVIUM
sp	SERPENTINITE
KJfm	FRANCISCAN COMPLEX MELANGE
KJfs	FRANCISCAN COMPLEX SANDSTONE AND SHALE

- CONTACT BETWEEN UNITS; DASHED WHERE APPROXIMATELY LOCATED
- FAULT TRACE; DASHED WHERE APPROXIMATELY LOCATED, DOTTED WHERE CONCEALED

LEACH FIELD SIZING

STANDARD WASTEWATER APPLICATION RATES (SWAR)

AVERAGE ADJUSTED PERCOLATION RATE = 49 MPI
FROM PREVIOUS APPLICATION PER EACH 1/2 DUAL SYSTEM

SWAR = 0.23

TRENCH LENGTH CALCULATIONS

$$L = \frac{Q}{RA}$$

L = TRENCH LENGTH;
Q = DESIGN WASTEWATER FLOW (GPD)
R = SWAR (GPD/SF)
A = TOTAL INFILTRATIVE AREA PER LINEAL FOOT OF TRENCH (SF)

USE INFILTRATIVE SURFACE OF 4 SF

$$L = \frac{525}{(0.23)4} = 570.65'$$

30% INFILTRATOR CHAMBER REDUCTION

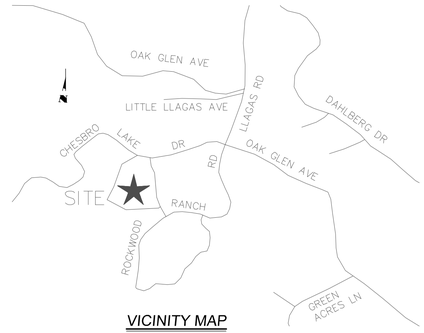
570.65 X 0.7 = 399.45' ; USE 402'

PROJECT DATA

LOT SIZE:	5.40 AC
ZONING:	HS-d (95.1%) RR (4.9%)
(N) HOUSE DATA:	5,137 SF BUILDING FOOTPRINT
(N) PORCH, PATIO & WALKWAY:	744 SF
(N) DRIVEWAY:	5,963 SF

MUTUAL WATER CO INFORMATION: ROCKWOOD ESTATES MUTUAL WATER CO.

STORAGE CAPACITY: APPROX. 90,000 GAL



VICINITY MAP
NTS

IMPERVIOUS AREAS

NO.	DESCRIPTION	AREA
1.	PRE-DEVELOPMENT	0 SF
2.	POST-DEVELOPMENT	12,234 SF

1

EARTHWORK QUANTITY

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE	207	259	7'
LANDSCAPE	148	388	3'
DRIVEWAY	1,669	79	12'
DETENTION	45		
OFF SITE IMPROVEMENTS	–	–	–
TOTAL	2,070	726	

2

DISTURBED AREAS

NO.	DESCRIPTION	AREA (SQUARE FEET) ON-SITE	AREA (SQUARE FEET) OFF-SITE
1.	TEMPORARY	22,792	0
2.	PERMANENT	15,232	444
	TOTAL AREA	38,024	444

TREES TO BE REMOVED

TREE NO.	SPECIES	DIAMETER (IN)	CANOPY DIA (FT)	AREA (SF)
1	VALLEY OAK	21	20	314
2	COAST LIVE OAK	15	DEAD	
3	VALLEY OAK	10	20	314
6	VALLEY OAK	15	30	707
7	VALLEY OAK	16	20	314
11	OAK	12	DEAD	
12	VALLEY OAK	17	15	177
13	VALLEY OAK	16	25	491
14	VALLEY OAK	15	25	491
21	OAK	18	25	491
22	VALLEY OAK	22	22	380
26	OAK	28	35	962
30	VALLEY OAK	22	30	707
31	VALLEY OAK	24	25	491
33	OAK	22	20	314
34	VALLEY OAK	15	20	314
35	OAK	13	15	177
36	VALLEY OAK	14	25	491
40	VALLEY OAK	12	15	177
41	VALLEY OAK	10	20	314
	TOTAL	20		7626*

* OAK CANNOPY TO BE REMOVED

NOTES:

1. FIRE SPRINKLERS ARE TO BE A DEFERRED SUBMITTAL.
2. ROCKWOOD RANCH ROAD & DRIVEWAY TO BE CAPABLE OF SUPPORTING A 75,000 LBS FIRETRUCK AND THAT THE DRIVEWAY BE MAINTAINED TO SUPPORT 40,000 LBS.
3. THE RUNOFF ON SITE SHALL BE COLLECTED BY STORM DRAIN INLETS AND DRAINED TO THE RETENTION BY THE PIPE.

REGISTERED PROFESSIONAL ENGINEER N. M. LC No. 47518 CIVIL STATE OF CALIFORNIA

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERS

NO.	REVISIONS	BY	DATE	APP'D
1	PLANNING COMMENTS	PT	10/20/22	
2	PLANNING COMMENTS	PT	9/7/22	

PT DESIGNED 11/17/21 DATE
PT DRAWN 11/17/21 DATE
1" = 40' SCALE
NL CHECKED 11/17/21 DATE

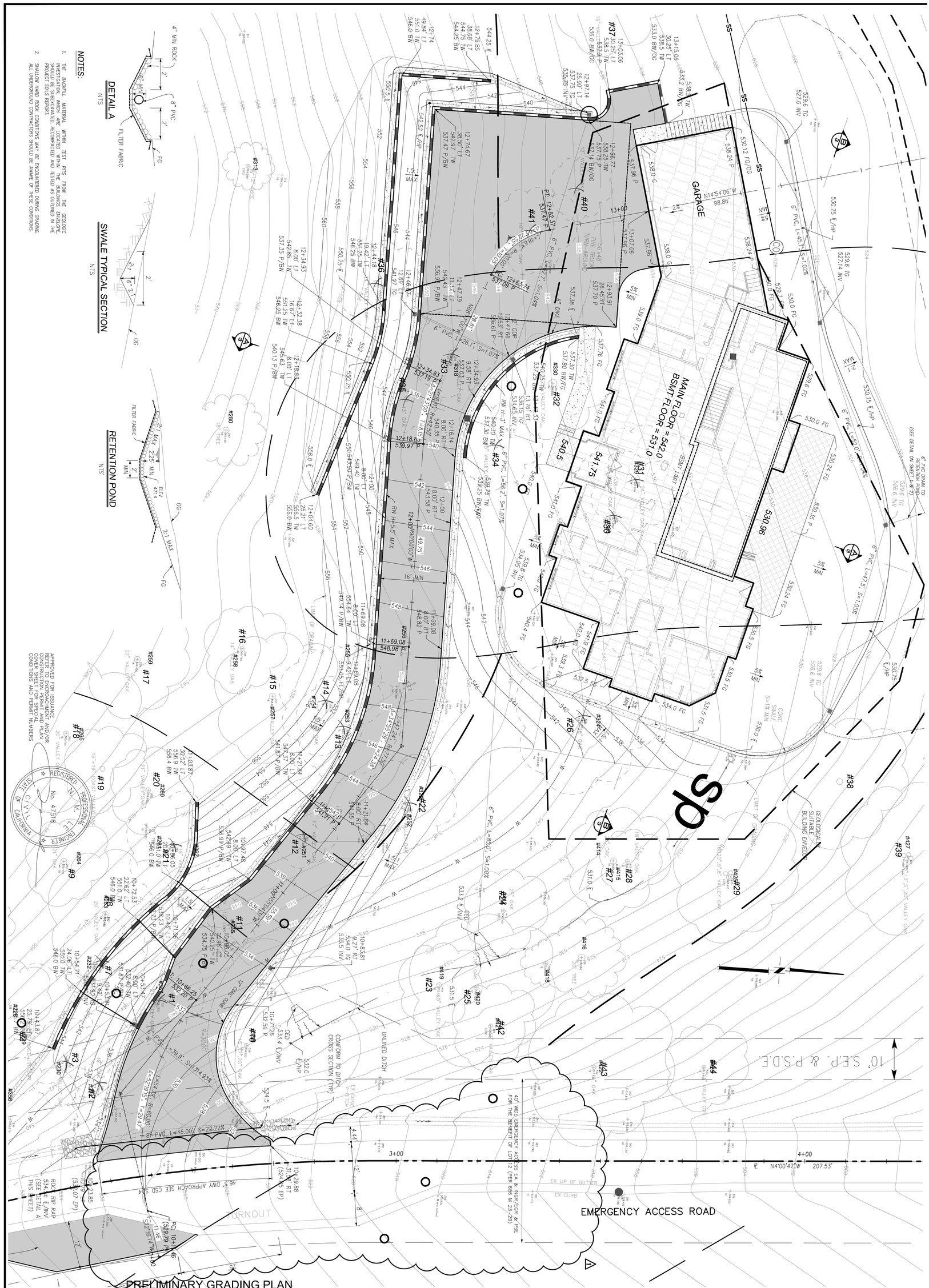
LC ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187

SITE PLAN
LANDS OF RAHN
2355 ROCKWOOD RANCH ROAD
APN 776-35-012

California
Morgan Hill

PROJECT NO.
CONTRACT NO.
DRAWING NO.
SHT NO. 1 OF 5
FILE NO.

APPLICANT : RAHN
ROAD NAME : ROCKWOOD RANCH ROAD
COUNTY FILE NO :



DRAWING NO.

SHT NO. 2 OF 5

FILE NO. | CONTRACT NO. | PROJECT NO.

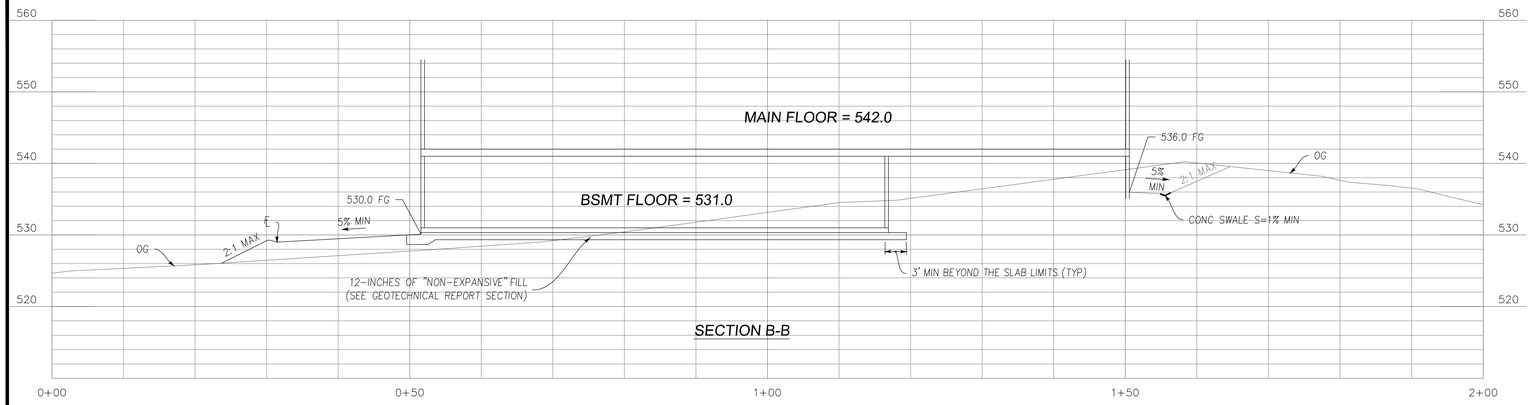
GRADING, DRAINAGE PLAN
LANDS OF RAHN
2355 ROCKWOOD RANCH ROAD
APN 776-35-012

Morgan Hill — California

LE ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187

QB	11/17/21
DESIGNED	DATE
PT	11/17/21
DRAWN	DATE
1" = 10'	
SCALE	
NL	11/17/21
CHECKED	DATE

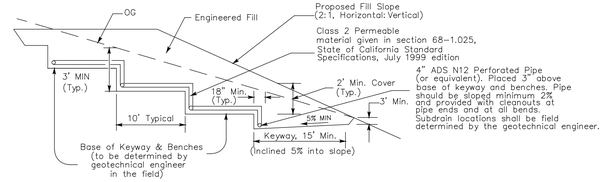
BY	DATE	APP'D	REVISIONS	NO.
	9/7/22		PLANNING COMMENTS	1



SECTION B-B

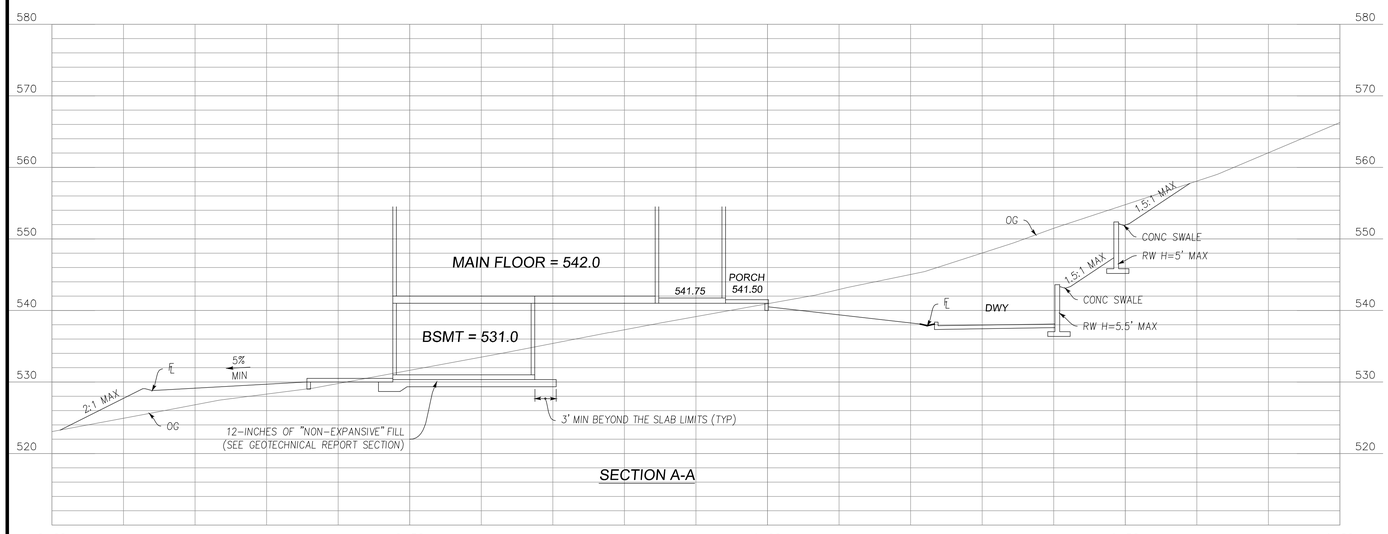
DETAIL B

NTS

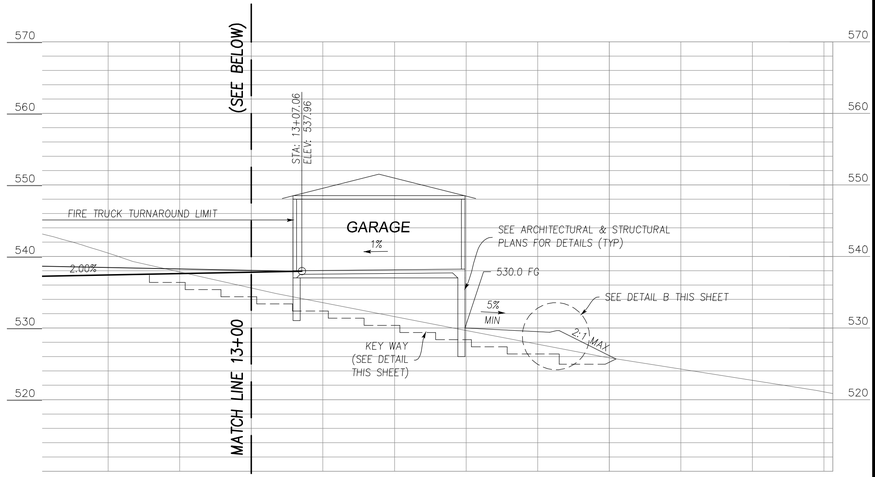


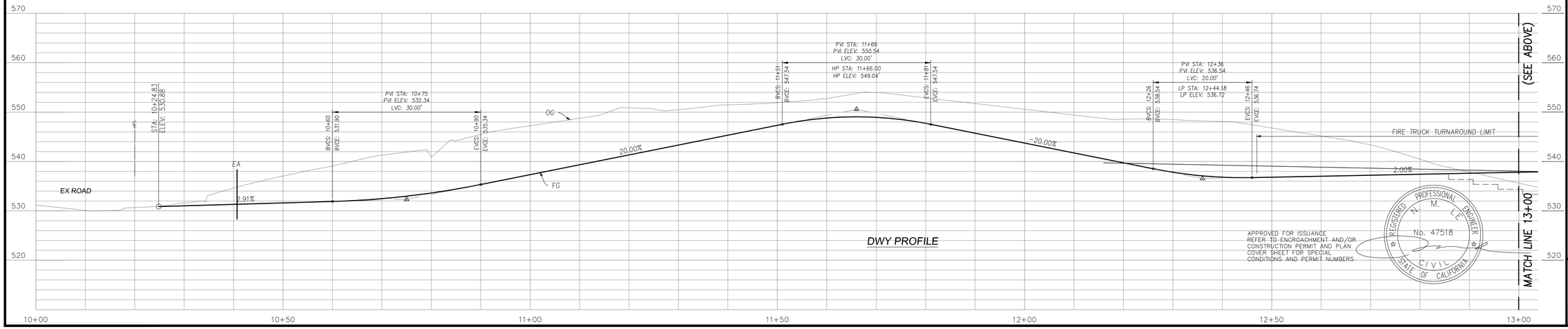
KEYWAY DETAILS (FOR FILL SLOPE > 6:1)

NOTES: Outlets for subdrains shall be located by the geotechnical engineer.
The necessity for subdrains shall be field determined by
the geotechnical engineer.



SECTION A-A





DWY PROFILE

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR
CONSTRUCTION PERMIT AND PLAN
COVER SHEET FOR SPECIAL
CONDITIONS AND PERMIT NUMBERS

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	BY	DATE	APP'D
1	PLANNING COMMENTS		9/7/22	

PT DESIGNED 11/17/21 DATE
PT DRAWN 11/17/21 DATE
1" = 10' SCALE
NL CHECKED 11/17/21 DATE

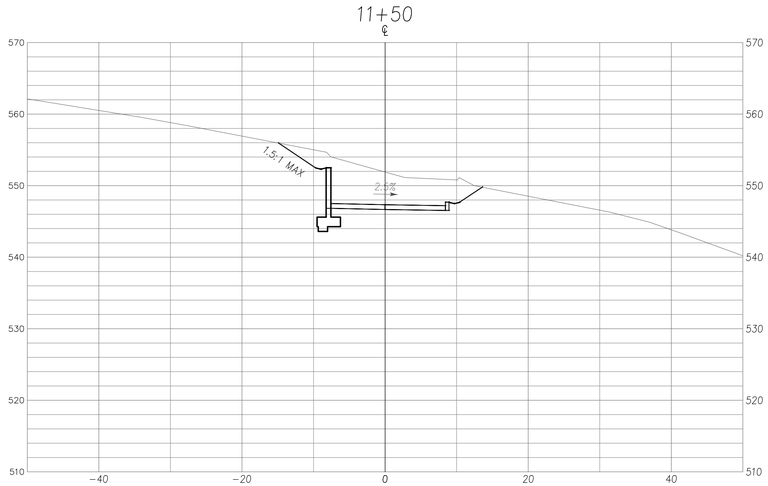
LE ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187

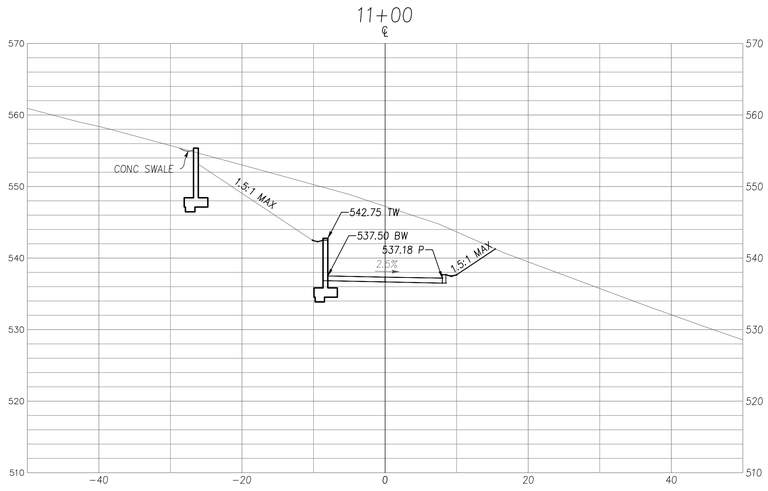
DRIVEWAY PROFILE AND CROSS SECTIONS
LANDS OF RAHN
2355 ROCKWOOD RANCH ROAD
APN 776-35-012

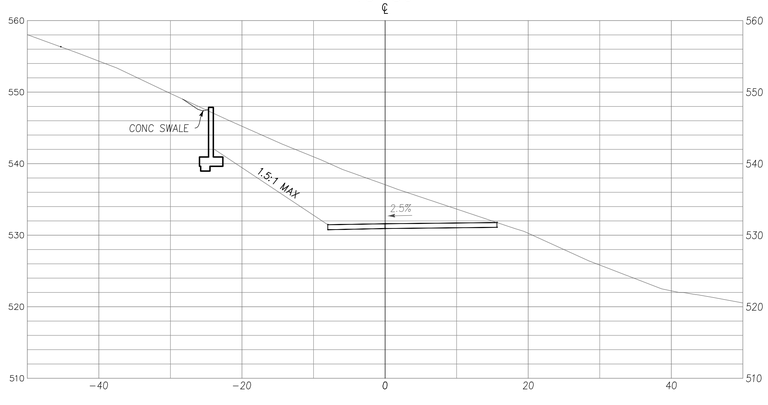
Morgan Hill California

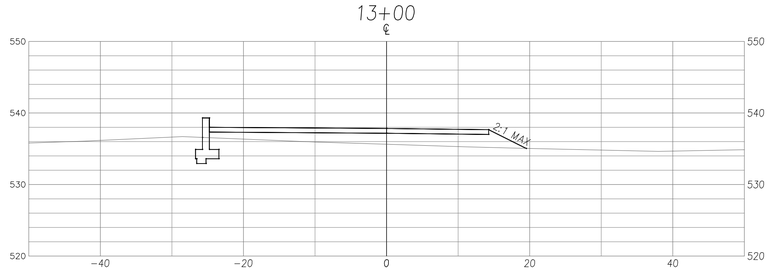
PROJECT NO.
CONTRACT NO.
DRAWING NO.
SHT NO. 3 OF 5
FILE NO.

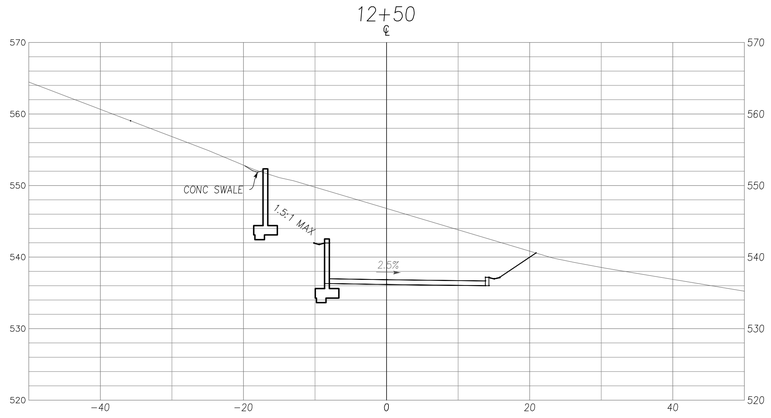
APPLICANT : RAHN ROAD NAME : ROCKWOOD RANCH ROAD COUNTY FILE NO :

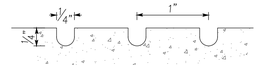




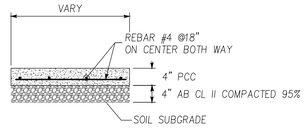








DRIVEWAY GROOVING DETAIL
NTS



CONC DRIVEWAY SECTION
NTS

ESTIMATE EARTHWORK QUANTITY

No.	STATION		AREA (SQUARE FEET) CUT	AREA (SQUARE FEET) FILL	DISTANCE (FEET)	VOLUME (CUBIC YARD) CUT	VOLUME (CUBIC YARD) FILL
1	A-A	MIDDLE	80.00	100.00	70.00	207.41	259.26
1	A-A	(LEFT)		70.00	80.00	0.00	207.41
2	B-B	(LEFT)		61.00	80.00	0.00	180.74
3	A-A	(RIGHT)			COUNTED ON DRIVEWAY SECTION		
4	B-B	(RIGHT)	40.00		100.00	148.15	0.00
5	10+50		197.00		50.00	437.96	0.00
6	11+00		276.00		50.00	345.37	0.00
7	11+50		97.00		50.00	230.56	0.00
8	12+00		152.00		50.00	398.15	0.00
9	12+50		278.00		50.00	257.41	78.70
10	13+00			85.00			
	DETENTION					45.19	
					TOTAL	2,070.00	726.00

IMPORT	0	CUBIC YARD
EXPORT	1,344	CUBIC YARD

NO.	REVISIONS	BY	DATE	APP'D
1	PLANNING COMMENTS		9/7/22	

DESIGNED	PT	11/17/21 DATE
DRAWN	PT	11/17/21 DATE
SCALE	1" = 10'	
CHECKED	NL	11/17/21 DATE

LC ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187

DRIVEWAY SECTIONS
LANDS OF RAHN
2355 ROCKWOOD RANCH ROAD
APN 776-35-012

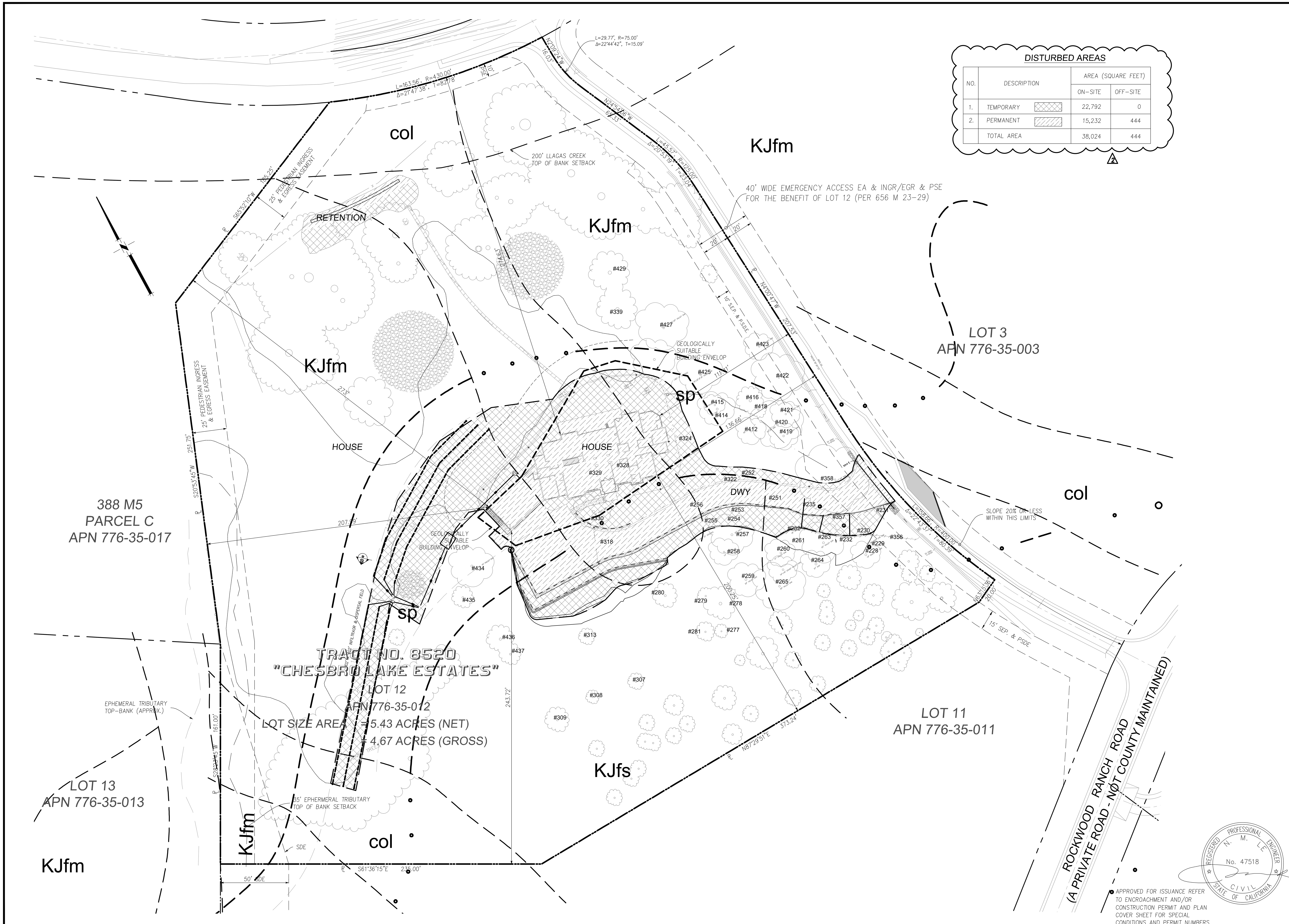
Morgan Hill, California

PROJECT NO.
CONTRACT NO.
FILE NO.
DRAWING NO.
SHT NO. 4 OF 5

APPLICANT : RAHN

ROAD NAME : ROCKWOOD RANCH ROAD

COUNTY FILE NO :



DISTURBED AREAS

NO.	DESCRIPTION	AREA (SQUARE FEET) ON-SITE	AREA (SQUARE FEET) OFF-SITE
1.	TEMPORARY	22,792	0
2.	PERMANENT	15,232	444
	TOTAL AREA	38,024	444

LE ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187

DISTURBED AREAS
LANDS OF RAHN
2355 ROCKWOOD RANCH ROAD
APN 776-35-012

Morgan Hill, California

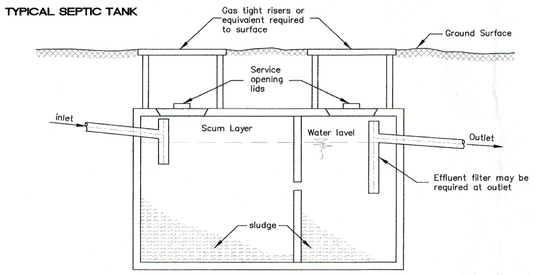
DESIGNED	PT 11/17/21
DRAWN	PT 11/17/21
SCALE	1" = 30'
CHECKED	NL 11/17/21

NO. | REVISIONS | APP'D | DATE | BY

SHT NO. 5 OF 5

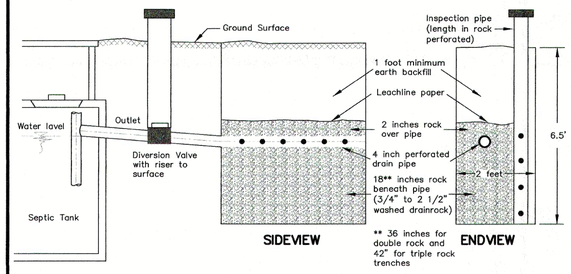
APPLICANT : RAHN   ROAD NAME : ROCKWOOD RANCH ROAD   COUNTY FILE NO : 10349-62-35-13G

TYPICAL SEPTIC TANK



Concrete tanks must be used where possible. Alternative materials are approved on a site specific basis. The Department of Environmental Health maintains a list of approved septic tanks.

DRAINLINE DETAIL



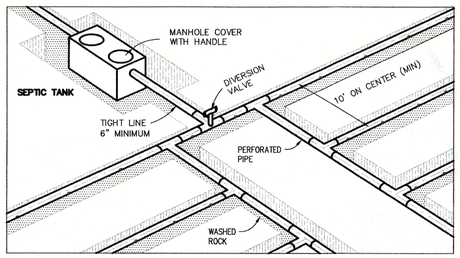
Two drainfields, each 100% of the total size required shall be installed and interconnected with an approved diversion valve. The valve must be capable of directing the septic tank effluent to one drainfield at a time.

Drainline pipes shall be of approved, perforated pipe at least 4 inches in diameter. The tightline from the septic tank to the diversion valve must be ABS or schedule 40 PVC joined with glue, cement or elastomeric seal to be water tight.

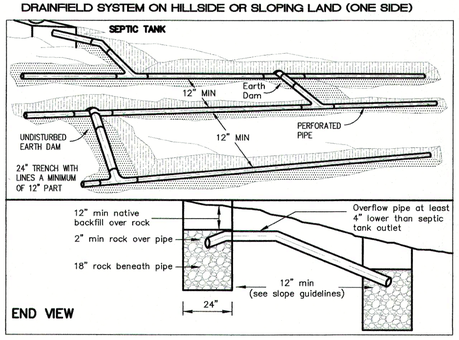
The drainline trench bottom must be level. They must be at least 24 inches wide and 3 to 8 feet deep. At least 18 inches of clean, washed drainrock must be placed beneath the drainpipe and filled around and over the pipe at least 2 inches. The rock must be covered with untreated building paper or filter fabric to prevent clogging the rock with earth prior to backfilling.

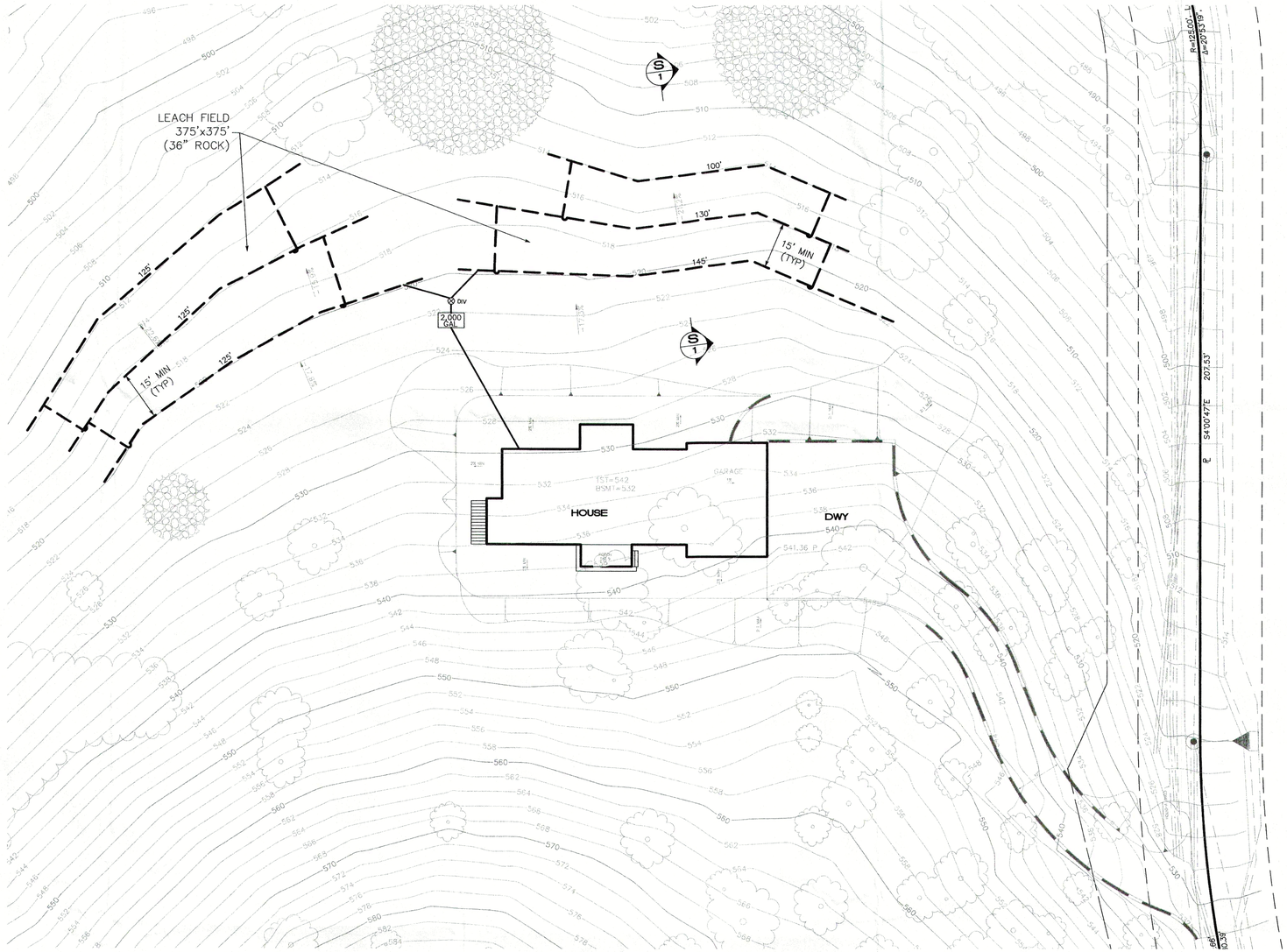
Illustration #3 shows typical drainline installations for level land and hillside or sloping land.
Illustration #3

DRAINFIELD SYSTEM ON LEVEL LAND



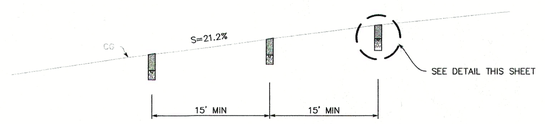
DRAINFIELD SYSTEM ON HILLSIDE OR SLOPING LAND (ONE SIDE)





SEPTIC SYSTEM CONSTRUCTION NOTES

1. SYSTEM TO SERVE A NEW 4 BEDROOM, 5,235 SF (LIVING AREA). INSTALLATION OF SYSTEM TO CONFORM TO SANTA CLARA COUNTY SEWAGE DISPOSAL ORDINANCE. CALL SANTA CLARA COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH 24 HOURS MIN. PRIOR TO START OF WORK (408) 918–3400.
2. SEWAGE DISPOSAL SYSTEM CONSISTS OF A NEW 2,000 GALLON CONCRETE SEPTIC TANK WITH WATERTIGHT ACCESS RISERS TO GRADE; A BULL–RUN DIVERSION VALVE; AND TWO 375 LF – 36" ROCK (EQUIVALENT TO 650'x650') OF LEACHFIELDS WITH INSPECTION RISERS TO GRADE.
3. GROUND SLOPE OF LEACHFIELD #1 & LEACH FIELD #2 ARE BETWEEN 13% AND 23%. LEACH FIELDS TO BE INSTALLED LEVEL AND ON CONTOURS AS SHOWN ON PLAN. EXCESS SPOIL FROM LEACHFIELD CONSTRUCTION SHALL BE SPREAD ON SITE AT A DEPTH OF 8" MAX OR BE REMOVED OFF–SITE.
4. THE SEPTIC TANK SHALL BE INSTALLED IN UNDISTURBED NATIVE SOIL.
5. THE DIVERSION VALVE SHALL BE OPERATED ANNUALLY TO ROTATE THE USE OF LEACHFIELDS TO EXTEND THE LIFE OF THE SEPTIC SYSTEM.
6. MARK CAPS OF ALL BULL RUN VALVES (DV) AND RISERS (R) WITH A PERMANENT MARKET OR LABEL.
7. SWIMMING POOLS OR SPAS MUST NOT BE DRAINED OR BACKWASHED INTO THE SEPTIC SYSTEM.
8. AVOID PLANTING TREES IN LEACHFIELD OR CLOSE TO SEPTIC TANK.
9. GARBAGE DISPOSAL IS NOT RECOMMENDED. IF THEY ARE INSTALLED, THEY SHOULD BE USED SPARINGLY OR NOT AT ALL.
10. THE SOLIDS THAT ACCUMULATE IN THE SEPTIC TANK SHOULD BE REMOVED BY PUMPING EVERY 3–5 YEARS TO PREVENT SOLIDS FROM ENTERING AND CLOGGING THE LEACHFIELDS.
11. ALL WORK IN TO BE PERFORMED BY AN APPROPRIATELY LICENSED CONTRACTOR.
12. PRIOR TO STARTING CONSTRUCTION, CONTRACTOR SHALL CONTACT USA AT 1–800–227–2600 TO LOCATE ALL UNDERGROUND UTILITIES.



SECTION S–S

SEWAGE SYSTEM REVIEW
SANTA CLARA COUNTY
DEPARTMENT OF ENVIRONMENTAL HEALTH
Project Description: SFR 5,600SF w/ 4 BR
APPROVAL RECOMMENDED
☐ With existing system
☒ Install/modify system per plan (describe below)
Obtain a permit from Environmental Health
2000 gallon tank, (650 + 650) (375 + 375 w/ 36" rock)
R.E.H.S. _____ Date 12/17/12
Not A Sewage System Permit

APPROVED FOR ISSUANCE
REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERS

REGISTERED PROFESSIONAL ENGINEER
N. M. LE
No. 47518
EXP. 12–31–13
CIVIL
STATE OF CALIFORNIA

NO.	REVISIONS	DATE	APP'D	BY

GB DESIGNED 10/16/12 DATE
PT DRAWN 10/16/12 DATE
1" = 20' SCALE
NL CHECKED 10/16/12 DATE

LC ENGINEERING
1291 Oakland Road
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

SEPTIC SYSTEM PLAN
LANDS OF LEISCH
2355 ROCKWOOD RANCH ROAD
APN 776-35-017

Morgan Hill, California

DRAWING NO. | SHT NO. 1 OF 1 | FILE NO. | CONTRACT NO. | PROJECT NO.

APPLICANT : LEISCH

ROAD NAME : ROCKWOOD RANCH ROAD

COUNTY FILE NO :

DRAINAGE NOTE:
DIRECT ALL DOWNSPOUTS OF ADU TO LANDSCAPE AREA- ALL DRAINAGE MUST REMAIN ON SITE

PROVIDE FIBER ROLL STORM WATER DRAINAGE & RETENTION DURING CONSTRUCTION AS SHOWN PER DETAIL 1/BMP2

Proposed 500 s.f. distrubed area - Hydroseed only

2,000 GAL

4" ø SAN. SEWER LINE TO SEPTIC FIELD. PLUMBING CONTR. SHALL DETERMINE FALL OF LINE @ JOB SITE

FUTURE POOL 36' x 16'

TERRACE

HATCHING INDICATES BASEMENT LEVEL

BASEMENT 531.0' F.F.

BASEMENT RETAINING WALL

GARAGE 539.0' F.S.

GARAGE RETAINING WALL

HOUSE LOCATION 542.0' F.F.

ENTRY 541.75' F.S.

540.5' F.S.

GARBAGE CAN STG.

6'-0" HIGH STEEL CHAIN LINK FENCE-TREE PROTECTION PER ARBORIST'S REPORT, TYP.

4' WIDE CONC. WALKWAY

24" VALLEY OAK (TO REMAIN)

50'-0"

48'-0"

RETAINING WALL, SEE CIVIL

50' x 48' FIRE TRUCK TURN-AROUND

FIRE DEPT. TURNAROUND SHALL COMPLY W/SANTA CLARA COUNTY FIRE STANDARD, CFMO-SD16

PORTABLE TOILET

MATERIAL STORAGE AREA DURING CONSTRUCTION

CONCRETE WASH-OUT

3'-0" HT. MAX. RETAINING WALL

5'-0" MAX. HT. RETAINING WALL

16'-0" WIDE TYPICAL

PROPOSED GRAVEL DRIVEWAY (ALL-WEATHER SURFACE CAPABLE OF SUPPORTING 15,000 LBS.) UNDER SEPARATE PERMIT (SEE CIVIL DWGS.)

RETAINING WALL, SEE CIVIL

NOTE: SEE SHEET 2 OF 4, CIVIL DRAWINGS FOR DRIVEWAY GRADING

GEOLOGICAL SUITABLE BUILDING ENVELOPE SEE SOILS REPORT

10' S.E.P. & P.S.D.E.

111'-0"

207.33'

N40°01'47"W

20'-0" EMERGENCY ACCESS EASEMENT & INGRESS/EGRESS & P.S.E.

EX CONC V-DITCH

30'-0" FRONT SETBACK LINE

TURN-OUT SEE CIVIL DWGS.

CONFORM TO DITCH CROSS SECTION (TYP)

ROCK RIP RAP 528 INV

(528.52 EP)

529.32 P/FL

534.15 EP

(534.31 EP)

RET. WALL SEE CIVIL

1¼" MAIN WATER SUPPLY LINE TO METER @ STREET- VERIFY SIZE @ JOB SITE

MAIN ELECT. METER /PANEL LOCATION

CONNECT TO EX WM

TREE PROTECTION LEGEND:

- 6'-0" HIGH STEEL CHAIN LINK FENCE-TREE PROTECTION, TYP.
- TREE NUMBER (SEE ARBORIST REPORT FOR TREE LIST INVENTORY)

427	39	TREE CLUSTER
426	38	VALLEY OAK (TO REMAIN) PROTECTED TREE
425	29	4 - 12" PROTECTED TREE
423	44	12" TREE
422	43	12" TREE
415	28	12" PROTECTED TREE
414	27	18" PROTECTED TREE
416		20" TREE
418		12" TREE
412	24	12" LIVE OAK
421	42	3 - 12" TREE
420	25	12" TREE
419	23	15" TREE
434	37	18" TREE
436		20" TREE
437		16" TREE
329	31	24" VALLEY OAK (REMOVE)
328	30	20" VALLEY OAK (REMOVE)
324	26	28" LIVE OAK (REMOVE)
330	32	24" VALLEY OAK (TO REMAIN)
	40	VALLEY OAK (REMOVE)
	41	VALLEY OAK (REMOVE)
	34	VALLEY OAK COAST LIVE (REMOVE)
318	33	22" LIVE OAK (REMOVE)
	35	12" TREE (REMOVE)
	36	VALLEY OAK (TO BE REMOVED)
322	22	15" VALLEY OAK & 16" LIVE OAK (TO BE REMOVED)
252		
253	13	15" LIVE OAK (TO BE REMOVED)
254	14	10" LIVE OAK (TO BE REMOVED)
251	12	12" LIVE OAK (REMOVE)
235	11	12" LIVE OAK (REMOVE)
358	10	12" LIVE OAK (TO REMAIN)
357	1	10" VALLEY OAK (REMOVE)
262	21	18" TREE (TO BE REMOVED)
263	8	18" TREE
232	7	12" VALLEY OAK (REMOVE)
231	2	12" VALLEY OAK (REMOVE)
230	3	8" VALLEY OAK (REMOVE)
264	9	18" TREE
265	18	15" TREE
260	20	15" TREE
259	17	18" TREE
257	15	18" TREE
258	16	12" TREE
313		2-12" TREE
280		18" TREE
279		12" TREE
278		24" TREE
281		14" TREE
277		10" TREE
309		18" TREE
308		2-10" TREE
307		2-10" TREE
229	4	16" VALLEYOAK (TO REMAIN)
228	5	18" VALLEYOAK (TO REMAIN)
356	6	12" VALLEY OAK (REMOVE)

Site Plan

A.P.N. 776-35-012

scale: 1"=10'-0"

NOTE:
SEE CIVIL & STRUCT. DWGS. FOR GRADING, DRAINAGE & RETAINING WALLS

NO./ DATE/ REVISION
1 PLANNING 9-7-2022
2 PLANNING 10-20-2022

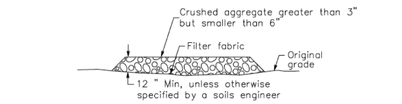
DZ Design Associates, Inc.
A California Corporation
18640 Sutter BVD. Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7065 Fax: (408) 778-7064
email: dzdesign@attbi.com

DRAWING TITLE	Site Plan
JOB TITLE	Rahn Residence
JOB ADDRESS	2355 Rockwood Ranch Road Morgan Hill, California

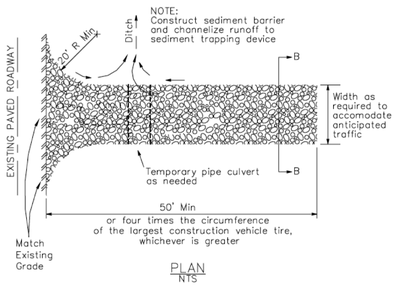
DATE	JAN. 24, 2021
SCALE	1" = 10'-0"
PROJECT MANAGER	M. DAVIS
DRAWN	DZ
JOB NO.	DZ3521
SHEET	A1.1

3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



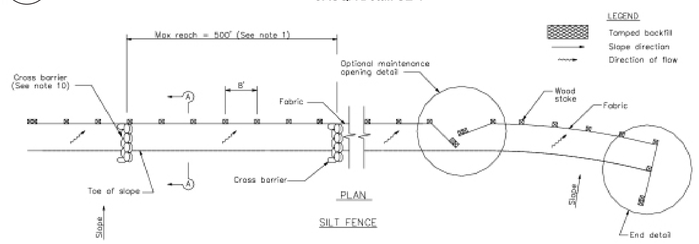
SECTION B–B
NTS



PLAN
NTS

1 Silt Fence

CASQA Detail SE-1

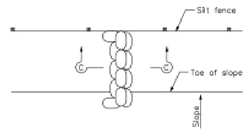


PLAN

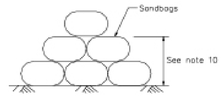
SILT FENCE

NOTES

1. Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/3 the height of the linear barrier, in no case shall the reach length exceed 500'.
2. The last 8'–0" of fence shall be turned up slope.
3. Stake dimensions are nominal.
4. Dimension may vary to fit field condition.
5. Stakes shall be spaced at 8'–0" maximum and shall be positioned on downstream side of fence.
6. Stakes to overlap and fence fabric to fold around each stake one full turn. Secure fabric to stake with 4 staples.
7. Stakes shall be driven tightly together to prevent potential flow–through of sediment at joint. The tops of the stakes shall be secured with wire.
8. For end stake, fence fabric shall be folded around two stakes one full turn and secured with 4 staples.
9. Minimum 4 staples per stake. Dimensions shown are typical.
10. Cross barriers shall be a minimum of 1/3 and a maximum of 1/2 the height of the linear barrier.
11. Maintenance openings shall be constructed in a manner to ensure sediment remains behind silt fence.
12. Joining sections shall not be placed at sump locations.
13. Sandbag rows and layers shall be offset to eliminate gaps.



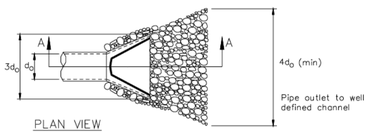
CROSS BARRIER DETAIL



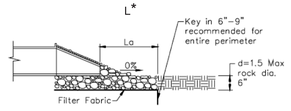
SECTION C–C

4 Velocity Dissipation Devices

CASQA Detail EC-10



PLAN VIEW

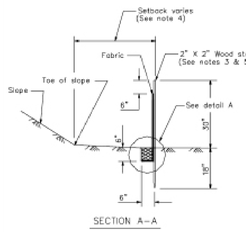


SECTION A–A

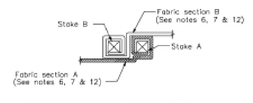
* Length per ABAG Design Standards

2 Silt Fence

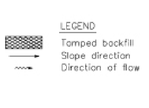
CASQA Detail SE-1

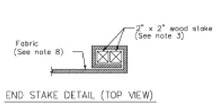


SECTION A–A

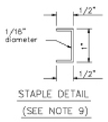


JOINING SECTION DETAIL (TOP VIEW)

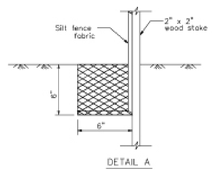




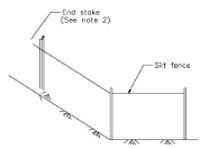
END STAKE DETAIL (TOP VIEW)



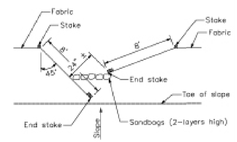
STAPLE DETAIL
(SEE NOTE 9)



DETAIL A



END DETAIL



OPTIONAL MAINTENANCE OPENING DETAIL
(SEE NOTE 11)

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

STANDARD BEST MANAGEMENT PRACTICE NOTES

1. Solid and Demolition Waste Management: Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
2. Hazardous Waste Management: Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
3. Spill Prevention and Control: Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
4. Vehicle and Construction Equipment Service and Storage: An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
5. Material Delivery, Handling and Storage: In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
6. Handling and Disposal of Concrete and Cement: When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
7. Pavement Construction Management: Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
8. Contaminated Soil and Water Management: Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
9. Sanitary/Septic Water Management: Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
10. Inspection & Maintenance: Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

1. Sediment Control Management:

   Tracking Prevention & Clean Up: Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.

   Storm Drain Inlet and Catch Basin Inlet Protection: All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.

   Storm Water Runoff: No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.

   Dust Control: The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.

   Stockpiling: Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures(tarps, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
2. Erosion Control: During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
3. Inspection & Maintenance: Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/ or alternative control measures implemented immediately, within 24 hours of the problem being identified.
4. Project Completion: Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Project Information

Best Management Practices and Erosion Control Details Sheet 1
County of Santa Clara

BMP-1

NO./ DATE/ REVISION

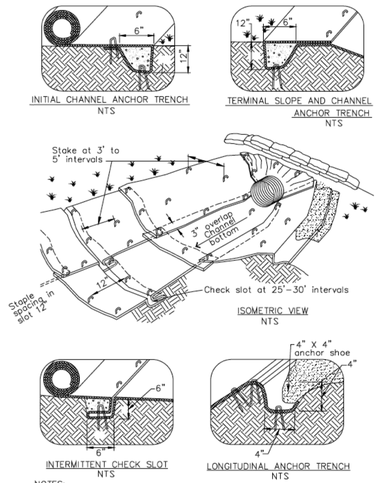
DZ Design Associates, Inc.
A California Corporation
18640 Sutter BVD. Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7065 Fax: (408) 778-7064
email: dz.design@garlic.com

DRAWING TITLE: BMP 1/Erosion Control Details
JOB TITLE: Rahn Residence
JOB ADDRESS: 2355 Rockwood Ranch Road, Morgan Hill, California

DATE: JAN. 24, 2021
SCALE: NONE
PROJECT MANAGER: M. DAVIS
DRAWN: DZ
JOB NO.: DZ3521
SHEET: A1.2

7 Geotextiles and Mats

CASQA Detail EC-7

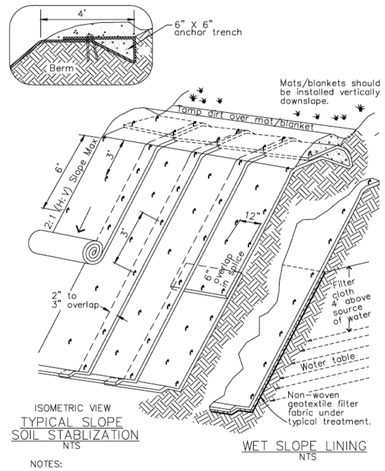


NOTES:
1. Check slots to be constructed per manufacturers specifications.
2. Staking or stapling layout per manufacturers specifications.
3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

5 Geotextiles and Mats

CASQA Detail EC-7

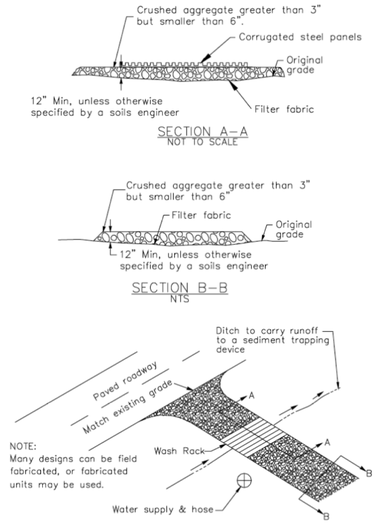


NOTES:
1. Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact.
2. Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.
3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

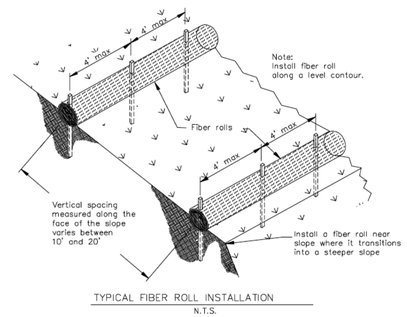
3 Entrance/Outlet Tire Wash

CASQA Detail TC-3



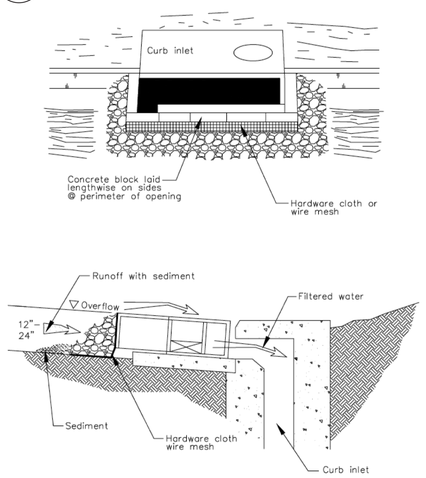
1 Fiber Rolls

CASQA Detail SE-5



8 Storm Drain Inlet Protection

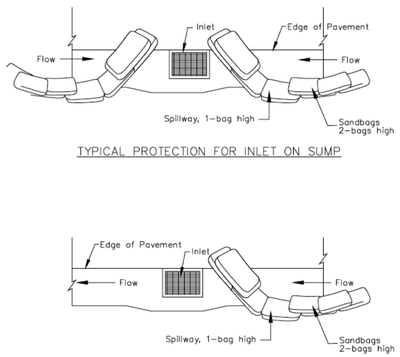
CASQA Detail SE-10



Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003.
Available from www.cabmphandbooks.com.

6 Storm Drain Inlet Protection

CASQA Detail SE-10

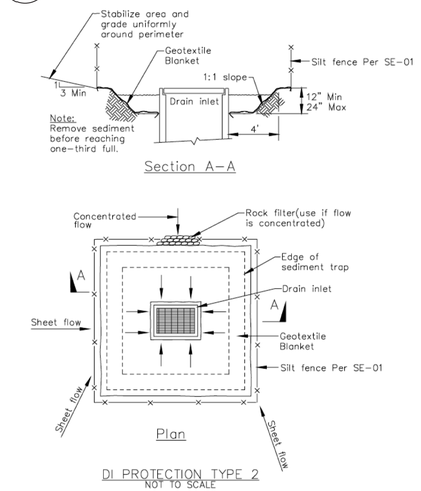


NOTES:
1. Intended for short-term use.
2. Use to inhibit non-storm water flow.
3. Allow for proper maintenance and cleanup.
4. Bags must be removed after adjacent operation is completed
5. Not applicable in areas with high silts and clays without filter fabric.

DI PROTECTION TYPE 3
NOT TO SCALE

4 Storm Drain Inlet Protection

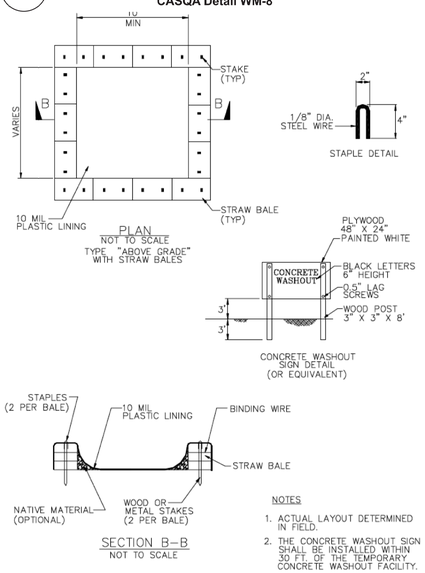
CASQA Detail SE-10



Notes
1. For use in cleared and grubbed and in graded areas.
2. Shape basin so that longest inflow area faces longest length of trap.
3. For concentrated flows, shape basin in 2:1 ratio with length oriented towards direction of flow.

2 Concrete Waste Management

CASQA Detail WM-8



NOTES
1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

Best Management Practices and Erosion Control Details Sheet 2
County of Santa Clara

BMP-2

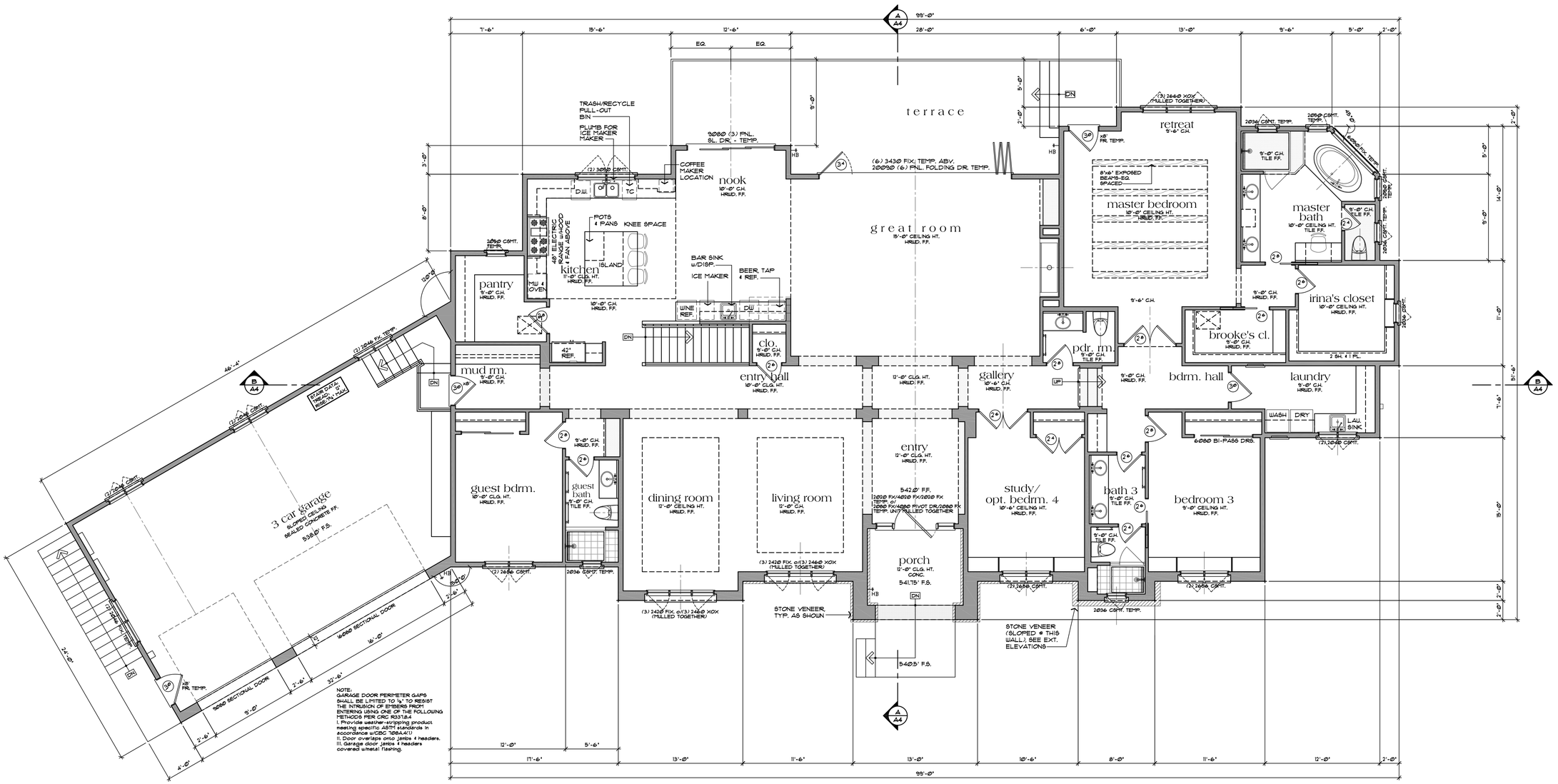
NO./ DATE/ REVISION

DBZ Design Associates, Inc.
A California Corporation
1864-0 Sutter BVD. Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7065 Fax: (408) 778-7064
email: dbzdesign@garlic.com

Project Information

DRAWING TITLE: BMP 2/Erosion Control Details
JOB TITLE: Rahn Residence
JOB ADDRESS: 2355 Rockwood Ranch Road Morgan Hill, California

DATE: JAN. 24, 2021
SCALE: NONE
PROJECT MANAGER: M. DAVIS
DRAWN: DZ
JOB NO.: DZ3521
SHEET: A1.3



Entry Level Floor Plan

4084 sq. ft. Entry Level Living Area
784 sq. ft. Lower Level Living Area
4868 sq. ft. Total Living Area
946 sq. ft. Garage
400 sq. ft. Unconditioned Storage
107 sq. ft. Covered Entry Porch
6321 sq. ft. Total Gross Area

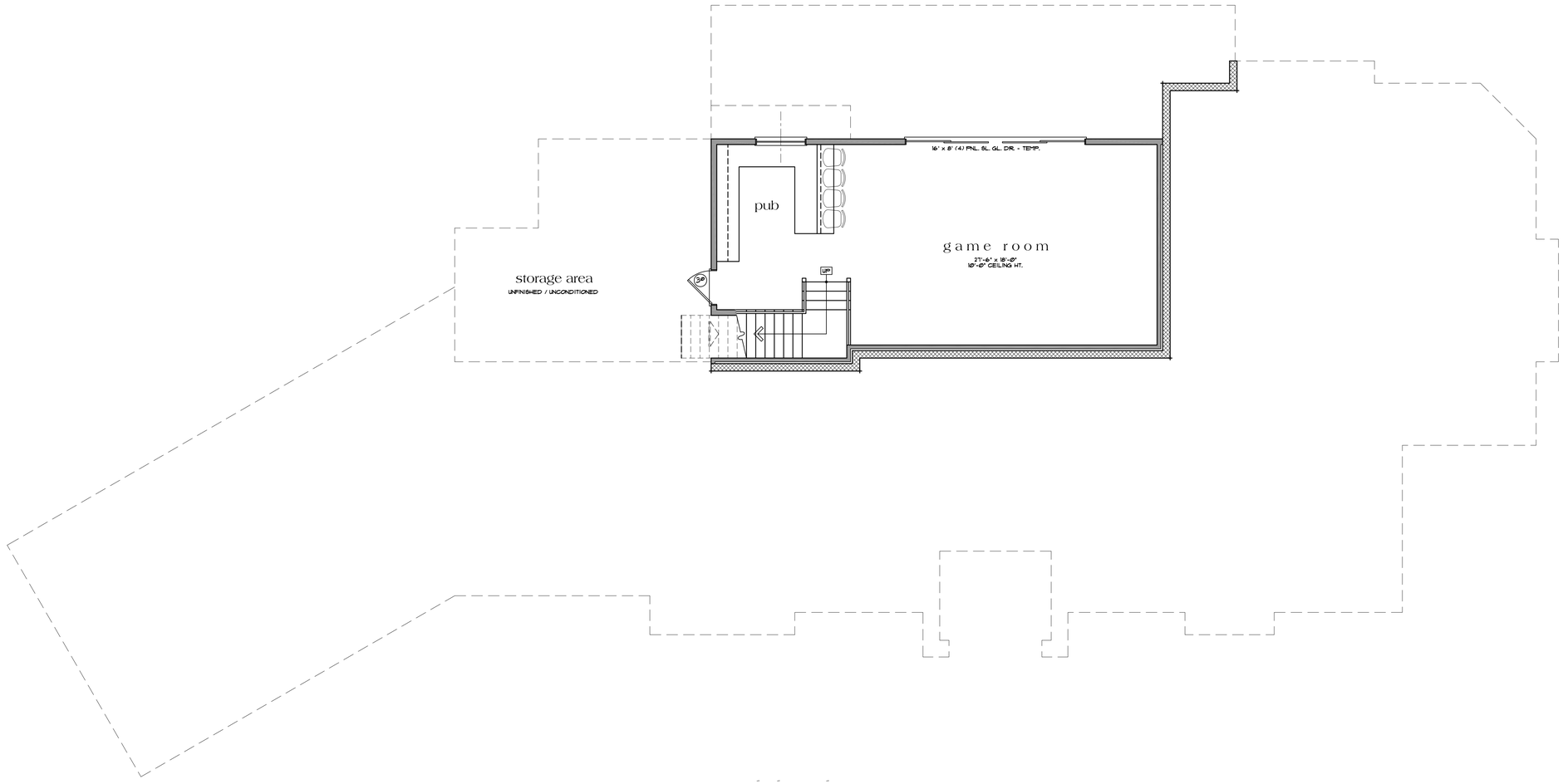
scale: 3/16"=1'-0"

NO./ DATE/ REVISION

DZ Design Associates, Inc.
A California Corporation
18646 Sutter Blvd. Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7065 Fax: (408) 778-7064
email: dz.design@gmail.com

DRAWING TITLE: Entry Level Floor Plan
JOB TITLE: Rahn Residence
JOB ADDRESS: 2355 Rockwood Ranch Road, Morgan Hill, California

DATE: JAN. 24, 2021
SCALE: 3/16" = 1'-0"
PROJECT MANAGER: M. DAVIS
DRAWN: DEB
JOB NO.: DZ3521
SHEET: A2.1



Lower Level Floor Plan

784 sq. ft. Lower Level Living Area
400 sq. ft. Unconditioned Stg. Area

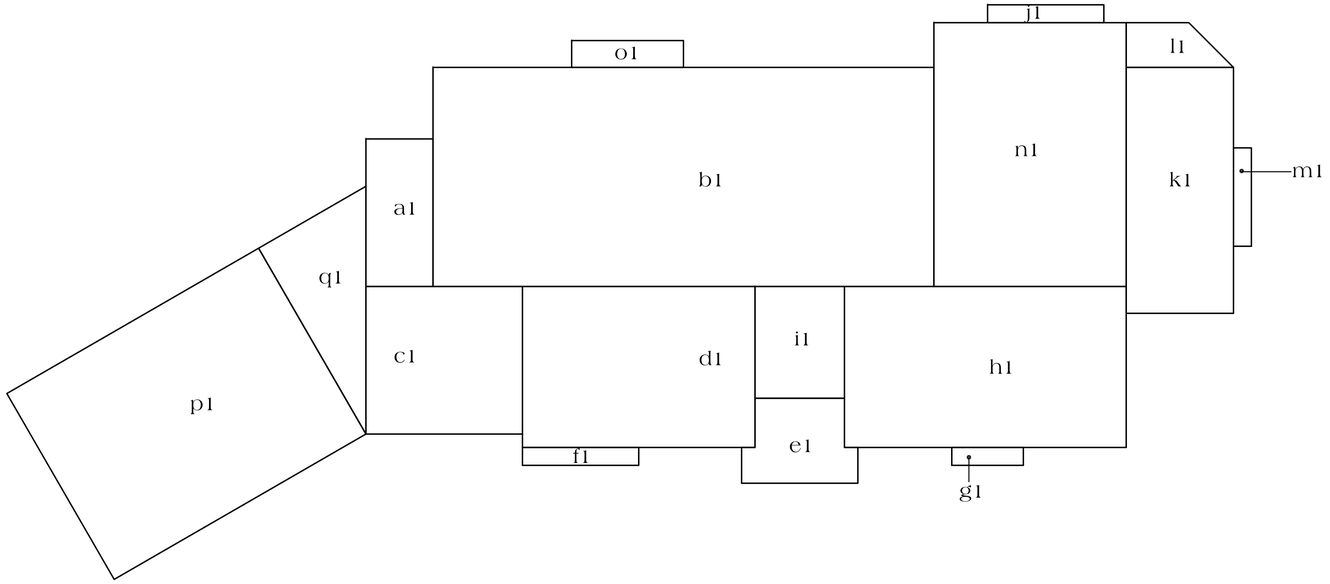
scale: 3/16"=1'-0"

NO./ DATE/ REVISION

DZ Design Associates, Inc.
A California Corporation
18640 Sutter Blvd., Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7065 Fax: (408) 778-7064
email: dz@dzdesign.com

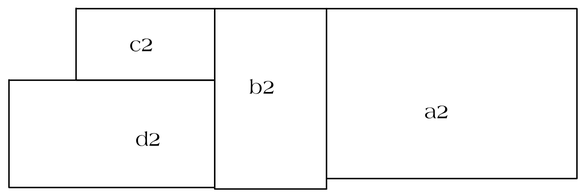
DRAWING TITLE: Lower Level Floor Plan
JOB TITLE: Rahn Residence
JOB ADDRESS: 2355 Rockwood Ranch Road
Morgan Hill, California

DATE: JAN. 24, 2021
SCALE: 3/16" = 1'-0"
PROJECT MANAGER: M. DAVIS
DRAWN: DEB
JOB NO.: DZ3521
SHEET: A2.2



Entry Level

scale: 1/8"=1'-0"



Lower Level

scale: 1/8"=1'-0"

Entry Level

a1	7'-6"	x	16'-6"	124.0	s.f.
b1	56'-0"	x	24'-6"	1372.0	s.f.
c1	17'-6"	x	16'-6"	289.0	s.f.
d1	26'-0"	x	18'-0"	468.0	s.f.
f1	13'-0"	x	2'-0"	26.0	s.f.
g1	8'-0"	x	2'-0"	16.0	s.f.
h1	31'-6"	x	18'-0"	567.0	s.f.
i1	10'-0"	x	12'-6"	125.0	s.f.
j1	13'-0"	x	2'-0"	26.0	s.f.
k1	12'-0"	x	27'-6"	330.0	s.f.
l1	shape			47.5	s.f.
m1	2'-0"	x	11'-0"	22.0	s.f.
n1	21'-6"	x	29'-6"	634.0	s.f.
o1	12'-6"	x	3'-0"	37.5	s.f.
➡ total living:				4084.0	s.f.
p1	32'-6"	x	24'-0"	780.0	s.f. (garage)
q1	shape			166.0	s.f. (garage)
e1	shape			107.0	s.f. (porch)
total non-living:				1053.0	s.f.

Lower Level

a2	28'-4"	x	18"-10"	532.0	s.f.
b2	12'-6"	x	20'-0"	252.0	s.f.
➡ total living:				784.0	s.f.
c2	15'-6"	x	8'-0"	124.0	s.f. (unconditioned storage)
d2	23'-0"	x	12'-0"	276.0	s.f. (unconditioned storage)
total non-living:				400.0	s.f.

➡ Total Living Area: 4868.0 s.f.

NO./ DATE/ REVISION

DZ Design Associates, Inc.
A California Corporation
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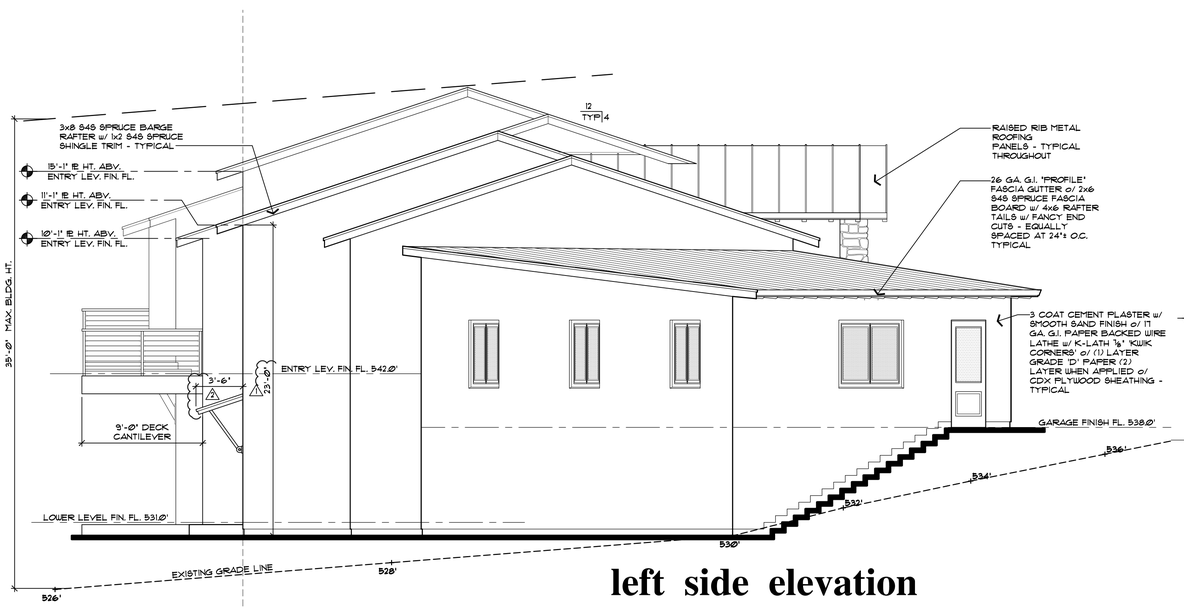
Morgan Hill, California 95037
Phone: (408) 778-7065 Fax: (408) 778-7064
email: dz-design@garlic.com

DRAWING TITLE: Floor Area Diagrams
JOB TITLE: Rahn Residence
JOB ADDRESS: 2355 Rockwood Ranch Road, Morgan Hill, California

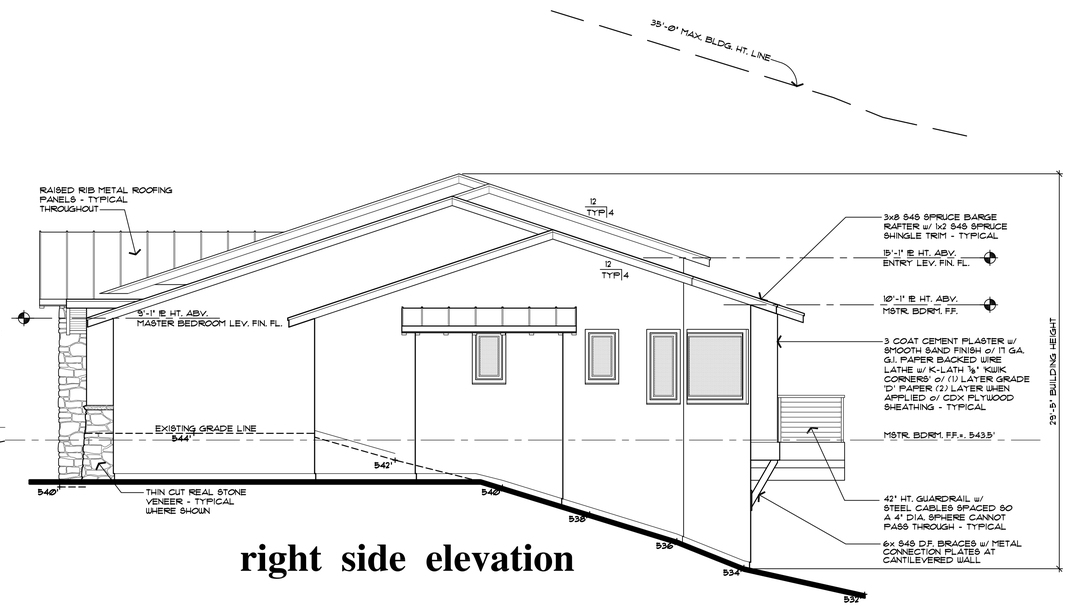
DATE	JAN. 24, 2021
SCALE	1/8"=1'-0"
PROJECT MANAGER	M. DAVIS
DRAWN	MB
JOB NO.	DZ3521
SHEET	A2.3

front elevation

rear elevation



left side elevation



right side elevation

EXTERIOR FINISHES

1 ROOFING MATERIAL:
CUSTOM-BILT METALS
'WEATHERED COPPER' 8R-333.0 E-85, 8RI-34

2 BASE COLOR:
KELLY MOORE PAINTS
'TOWNHOUSE TAUPE' KM5759, LRV 45

3 WINDOW FRAMES:
ANDERSEN E-SERIES (EAGLE)
'DARK ANODIZED' FRAMES

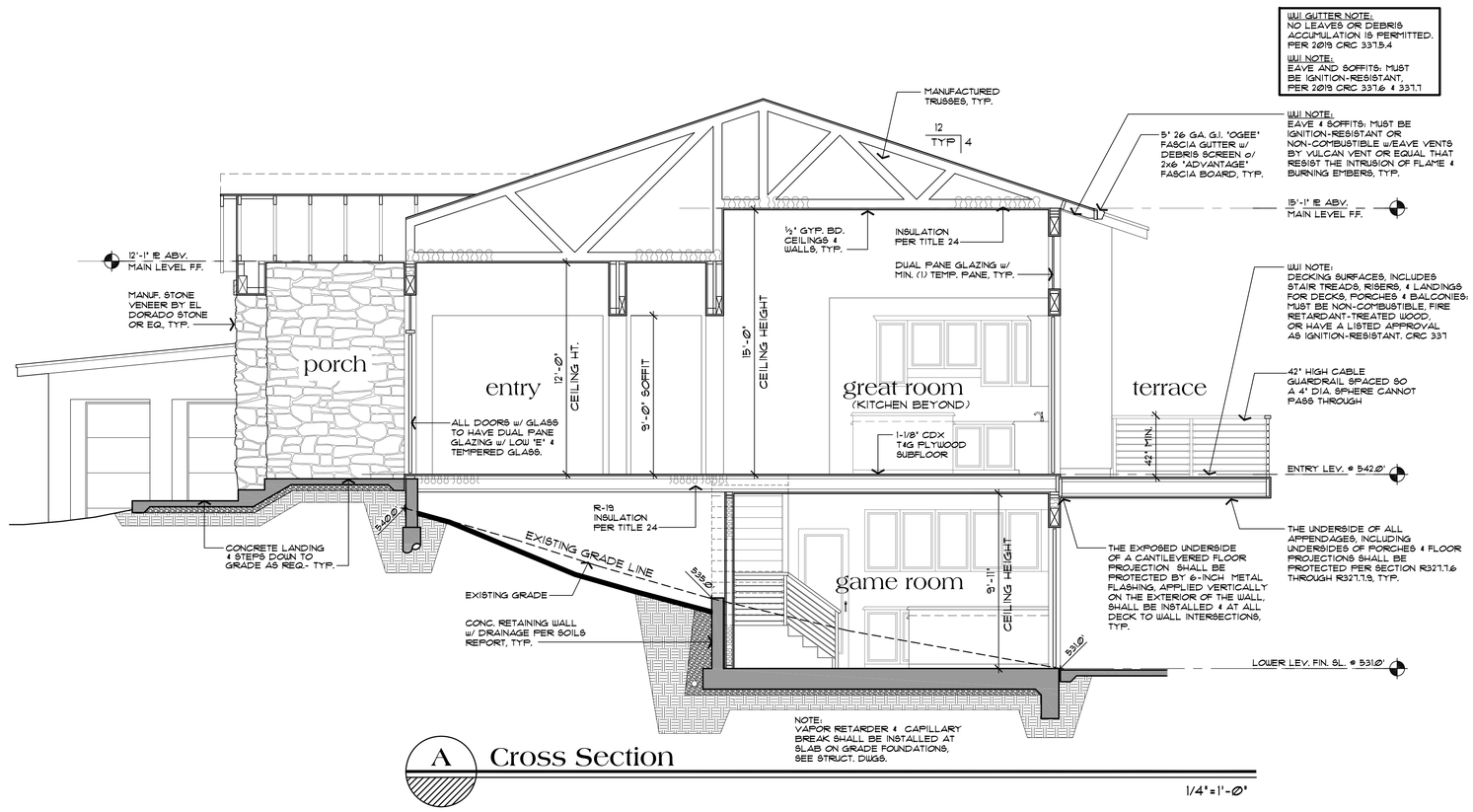
4 STONE VENEER:
NATURAL STONE LEDGESTONE VENEER
'PLACER GOLD CRAFTSMAN'

NO./ DATE/ REVISION
1 PLANNING 9-7-2022
2 PLANNING 10-20-2022

DBZ Design Associates, Inc.
A California Corporation
18640 Sutter BVD. Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7065 Fax: (408) 778-7064
email: dbzdesign@attl.com

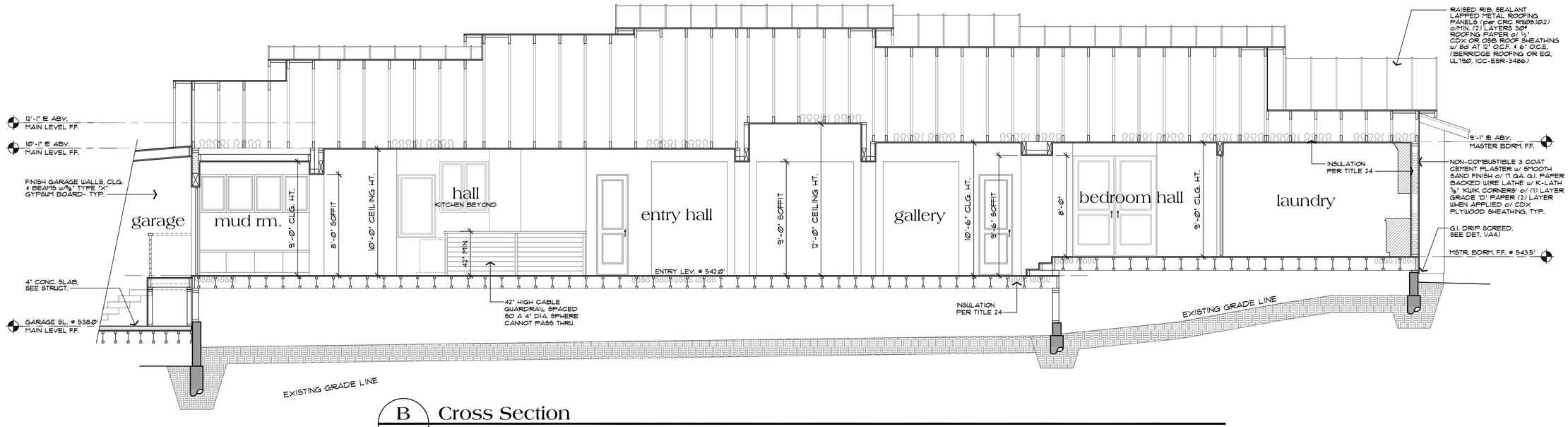
DRAWING TITLE	Exterior Elevations
JOB TITLE	Rahn Residence
JOB ADDRESS	2355 Rockwood Ranch Road Morgan Hill, California

DATE	JAN. 24, 2021
SCALE	3/16" = 1'-0"
PROJECT MANAGER	M. DAVIS
DRAWN	DEB
JOB NO.	DZ3521
SHEET	A3



A Cross Section

1/4"=1'-0"



B Cross Section

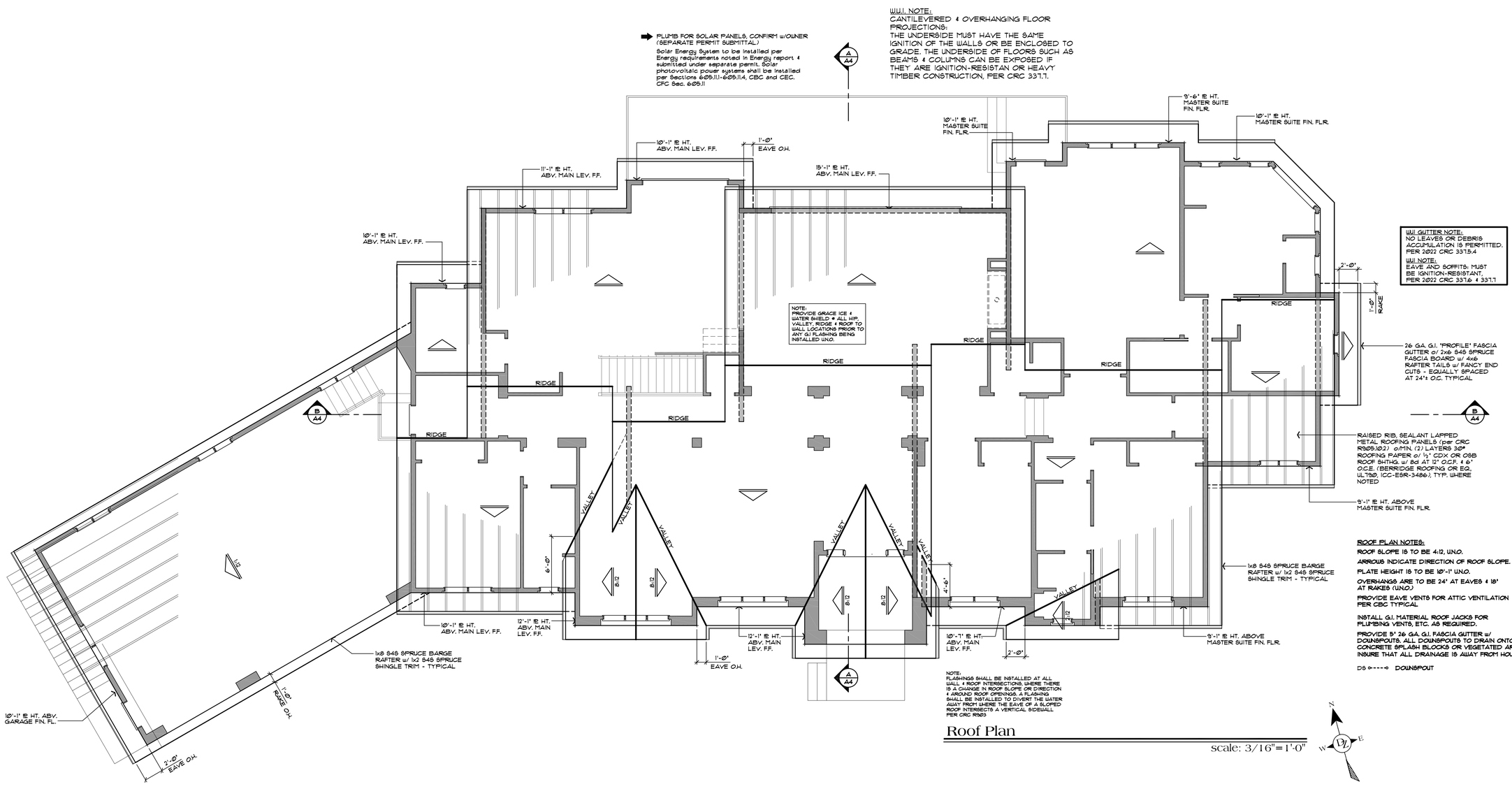
1/4"=1'-0"

NO./ DATE/ REVISION

DZ Design Associates, Inc.
A California Corporation
18640 Sutter BVD. Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7005 Fax: (408) 778-7004
email: dz.design@pacbell.com

DRAWING TITLE: Cross Sections
JOB TITLE: Rahn Residence
JOB ADDRESS: 2355 Rockwood Ranch Road, Morgan Hill, California

DATE: JAN. 24, 2021
SCALE: 1/4"= 1'-0"
PROJECT MANAGER: M. DAVIS
DRAWN: MB
JOB NO.: DZ3521
SHEET: A4



Roof Plan

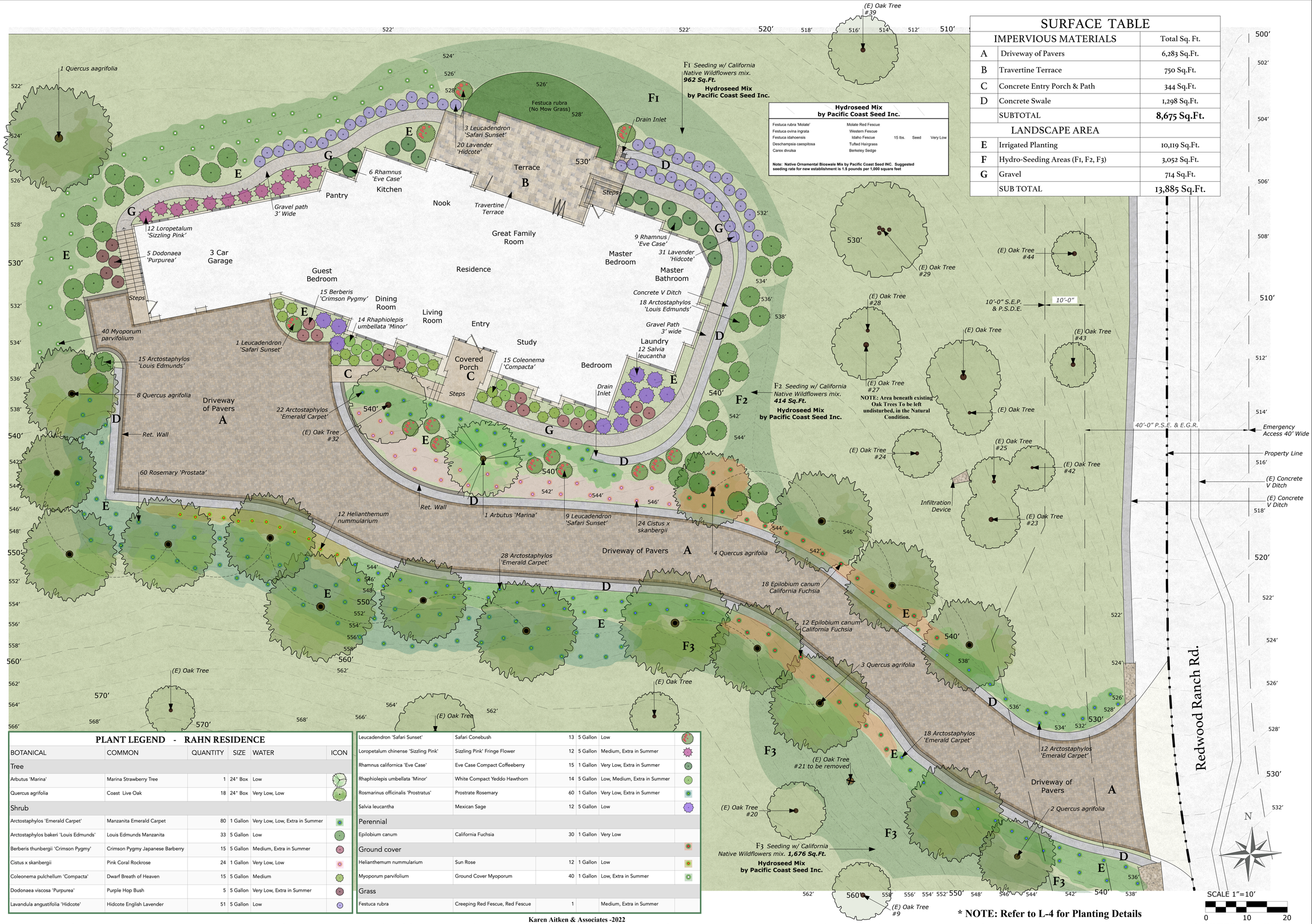
scale: 3/16"=1'-0"

NO./ DATE/ REVISION

DZ Design Associates, Inc.
A California Corporation
18640 Sutter BVD. Suite 500
Morgan Hill, California 95037
Phone: (408) 778-7065 Fax: (408) 778-7064
email: dz-design@attbi.com

DRAWING TITLE: Roof Plan
JOB TITLE: Rahn Residence
JOB ADDRESS: 2355 Rockwood Ranch Road, Morgan Hill, California

DATE	JAN. 24, 2021
SCALE	3/16" = 1'-0"
PROJECT MANAGER	M. DAVIS
DRAWN	DEB
JOB NO.	DZ3521
SHEET	A5



Hydroseed Mix by Pacific Coast Seed Inc.

Festuca rubra 'Molate'	Molate Red Fescue			
Festuca ovina ingrata	Western Fescue			
Festuca idahoensis	Idaho Fescue	15 lbs.	Seed	Very Low
Deschampsia caespitosa	Tufted Hairgrass			
Carex divulsa	Berkeley Sedge			

Note: Native Ornamental Bioswale Mix by Pacific Coast Seed INC. Suggested seeding rate for new establishment is 1.5 pounds per 1,000 square feet

SURFACE TABLE

	IMPERVIOUS MATERIALS	Total Sq. Ft.
A	Driveway of Pavers	6,283 Sq.Ft.
B	Travertine Terrace	750 Sq.Ft.
C	Concrete Entry Porch & Path	344 Sq.Ft.
D	Concrete Swale	1,298 Sq.Ft.
	SUBTOTAL	**8,675 Sq.Ft.**
	LANDSCAPE AREA	
E	Irrigated Planting	10,119 Sq.Ft.
F	Hydro-Seeding Areas (F1, F2, F3)	3,052 Sq.Ft.
G	Gravel	714 Sq.Ft.
	SUB TOTAL	**13,885 Sq.Ft.**

PLANT LEGEND - RAHN RESIDENCE

BOTANICAL	COMMON	QUANTITY	SIZE	WATER	ICON
Tree					
Arbutus 'Marina'	Marina Strawberry Tree	1	24" Box	Low	
Quercus agrifolia	Coast Live Oak	18	24" Box	Very Low, Low	
Shrub					
Arctostaphylos 'Emerald Carpet'	Manzanita Emerald Carpet	80	1 Gallon	Very Low, Low, Extra in Summer	
Arctostaphylos bakeri 'Louis Edmunds'	Louis Edmunds Manzanita	33	5 Gallon	Low	
Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Japanese Barberry	15	5 Gallon	Medium, Extra in Summer	
Cistus x skanbergii	Pink Coral Rockrose	24	1 Gallon	Very Low, Low	
Coleonema pulchellum 'Compacta'	Dwarf Breath of Heaven	15	5 Gallon	Medium	
Dodonaea viscosa 'Purpurea'	Purple Hop Bush	5	5 Gallon	Very Low, Extra in Summer	
Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	51	5 Gallon	Low	
Leucadendron 'Safari Sunset'	Safari Conebush	13	5 Gallon	Low	
Loropetalum chinense 'Sizzling Pink'	Sizzling Pink' Fringe Flower	12	5 Gallon	Medium, Extra in Summer	
Rhamnus californica 'Eve Case'	Eve Case Compact Coffeeberry	15	1 Gallon	Very Low, Extra in Summer	
Rhaphiolepis umbellata 'Minor'	White Compact Yeddo Hawthorn	14	5 Gallon	Low, Medium, Extra in Summer	
Rosmarinus officinalis 'Prostratus'	Prostrate Rosemary	60	1 Gallon	Very Low, Extra in Summer	
Salvia leucantha	Mexican Sage	12	5 Gallon	Low	
Perennial					
Epilobium canum	California Fuchsia	30	1 Gallon	Very Low	
Ground cover					
Helianthemum nummularium	Sun Rose	12	1 Gallon	Low	
Myoporum parvifolium	Ground Cover Myoporum	40	1 Gallon	Low, Extra in Summer	
Grass					
Festuca rubra	Creeping Red Fescue, Red Fescue	1		Medium, Extra in Summer	

REVISIONS	BY

Karen Aitken & Associates
Landscape Architecture & Design

KAREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS
8262 Rancho Real Gilroy Ca. 95020
Calif. Reg.#2239 (408) 842-0245
karen@kaa.design

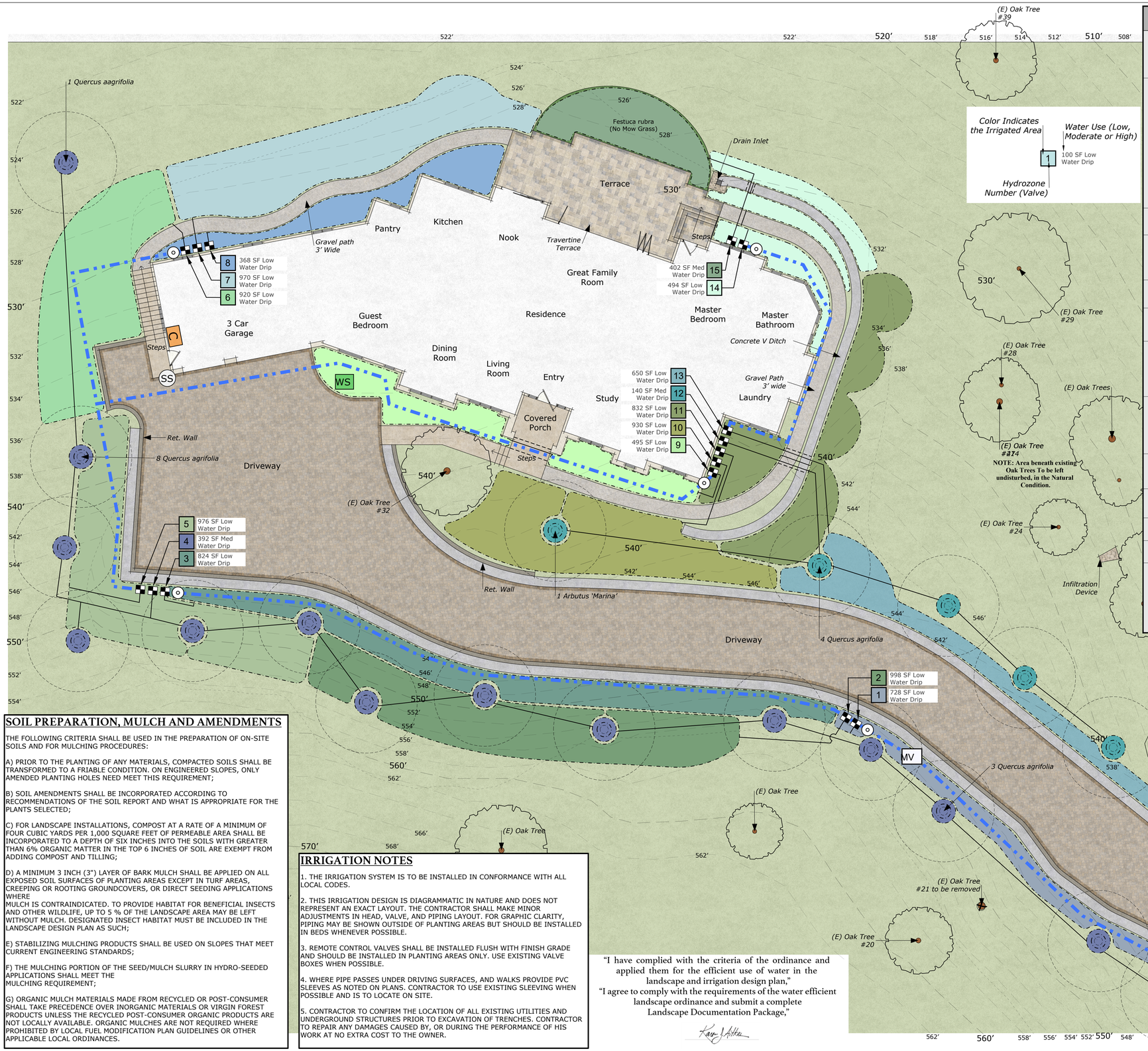
RAHN RESIDENCE
2355 Rockwood Ranch Rd., Morgan Hill, CA

PLANTING PLAN

LICENSED LANDSCAPE ARCHITECT
KAREN JONES AITKEN
No. 2239
Exp. 8-31-23
STATE OF CALIFORNIA

DATE	09-09-22
SCALE	1"=10'-0"
DRAWN	EM
JOB	RAHN

L-1



Color Indicates the Irrigated Area

Water Use (Low, Moderate or High)

1 — 100 SF Low Water Drip

Hydrozone Number (Valve)

SOIL PREPARATION, MULCH AND AMENDMENTS

THE FOLLOWING CRITERIA SHALL BE USED IN THE PREPARATION OF ON-SITE SOILS AND FOR MULCHING PROCEDURES:

A) PRIOR TO THE PLANTING OF ANY MATERIALS, COMPACTED SOILS SHALL BE TRANSFORMED TO A FRIABLE CONDITION. ON ENGINEERED SLOPES, ONLY AMENDED PLANTING HOLES NEED MEET THIS REQUIREMENT;

B) SOIL AMENDMENTS SHALL BE INCORPORATED ACCORDING TO RECOMMENDATIONS OF THE SOIL REPORT AND WHAT IS APPROPRIATE FOR THE PLANTS SELECTED;

C) FOR LANDSCAPE INSTALLATIONS, COMPOST AT A RATE OF A MINIMUM OF FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF SIX INCHES INTO THE SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING;

D) A MINIMUM 3 INCH (3") LAYER OF BARK MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE
MULCH IS CONTRAINDICATED. TO PROVIDE HABITAT FOR BENEFICIAL INSECTS AND OTHER WILDLIFE, UP TO 5 % OF THE LANDSCAPE AREA MAY BE LEFT WITHOUT MULCH. DESIGNATED INSECT HABITAT MUST BE INCLUDED IN THE LANDSCAPE DESIGN PLAN AS SUCH;

E) STABILIZING MULCHING PRODUCTS SHALL BE USED ON SLOPES THAT MEET CURRENT ENGINEERING STANDARDS;

F) THE MULCHING PORTION OF THE SEED/MULCH SLURRY IN HYDRO-SEEDED APPLICATIONS SHALL MEET THE
MULCHING REQUIREMENT;

G) ORGANIC MULCH MATERIALS MADE FROM RECYCLED OR POST-CONSUMER SHALL TAKE PRECEDENCE OVER INORGANIC MATERIALS OR VIRGIN FOREST PRODUCTS UNLESS THE RECYCLED POST-CONSUMER ORGANIC PRODUCTS ARE NOT LOCALLY AVAILABLE. ORGANIC MULCHES ARE NOT REQUIRED WHERE PROHIBITED BY LOCAL FUEL MODIFICATION PLAN GUIDELINES OR OTHER APPLICABLE LOCAL ORDINANCES.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM IS TO BE INSTALLED IN CONFORMANCE WITH ALL LOCAL CODES.

2. THIS IRRIGATION DESIGN IS DIAGRAMMATIC IN NATURE AND DOES NOT REPRESENT AN EXACT LAYOUT. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS IN HEAD, VALVE, AND PIPING LAYOUT. FOR GRAPHIC CLARITY, PIPING MAY BE SHOWN OUTSIDE OF PLANTING AREAS BUT SHOULD BE INSTALLED IN BEDS WHENEVER POSSIBLE.

3. REMOTE CONTROL VALVES SHALL BE INSTALLED FLUSH WITH FINISH GRADE AND SHOULD BE INSTALLED IN PLANTING AREAS ONLY. USE EXISTING VALVE BOXES WHEN POSSIBLE.

4. WHERE PIPE PASSES UNDER DRIVING SURFACES, AND WALKS PROVIDE PVC SLEEVES AS NOTED ON PLANS. CONTRACTOR TO USE EXISTING SLEEVING WHEN POSSIBLE AND IS TO LOCATE ON SITE.

5. CONTRACTOR TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGES CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK AT NO EXTRA COST TO THE OWNER.

"I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan,"
"I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package,"

Karen Aitken

IRRIGATION KEY

	Hunter ICZ-101-25-LF Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: .5-15 GPM. 150 mesh stainless steel screen.
	Area to Receive Dripline HDL-06-12-CV: Hunter Dripline w/ 0.6 GPH emitters at 12" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.
	Tree Ring Irrigation Dripline w/ 0.9 drip emitters placed every 12 in. Inner ring 12" from plant. Outter ring 30" from plant. Place tie down every 4' in loam and 5' in clay.
	Shut Off Valve
MV	**Hunter ICV-G-BSP 1-1/2"** 1", 1-1/2", 2", and 3" Plastic Electric Master Valve, Globe Configuration, with BSP Threaded Inlet/Outlet, for Commercial/Municipal Use.
B	**FEBCO 825Y 1-1/2"** Reduced Pressure Backflow Preventer
C	**Hunter ACC-1200** 12 Station Outdoor Modular Controller. No Module Required. High-End Commercial Use. Metal Cabinet.
WS	**Hunter SOIL-CLIK** The Soil-Clik probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.
SS	**Hunter Solar-Sync** Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.
	Hunter HFS-150 Flow Sensor for use with ACC controller, 1-1/2" Schedule 40 Sensor Body, 24 VAC, 2 amp.
WM	Water Meter 1-1/2" NEW IRRIGATION WATER METER
	Irrigation Lateral Line: PVC Schedule 40
	Irrigation Mainline: PVC Schedule 40
	Pipe Sleeve: PVC Class 200 Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.

*** NOTE: Refer to L-3 & L-4 for Water Calcs. & Irrigation Details**

*** NOTES (E) = Existing**

SCALE 1"=10'

0 10 20

REVISIONS	BY

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Exp. 8-31-23
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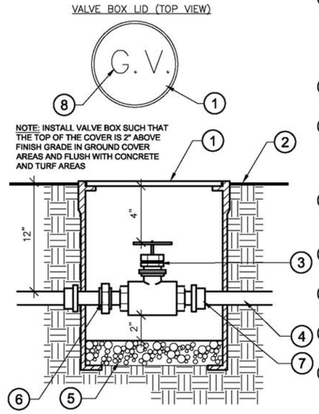
2355 Rockwood Ranch Rd., Morgan Hill, CA

IRRIGATION PLAN

DATE	09-09-22
SCALE	1"=10'-0"
DRAWN	EM
JOB	RAHN

L-2



1. CARSON ROUND VALVE BOX (SEE IRRIGATION EQUIPMENT SCHEDULE) INSTALL FLUSH W/ FINISH GRADE
2. FINISH GRADE
3. GATE VALVE (SEE IRRIGATION LEGEND AND IRRIGATION EQUIPMENT SCHEDULE)
4. PRESSURIZED PVC MAINLINE
5. 1 CU CRUSHED GRAVEL
6. BRASS UNION
7. SCH 80 PVC NIPPLE
8. HEAT BRAND "G.V." IN 2" TALL CHARACTERS ON TOP CENTER OF VALVE BOX LID

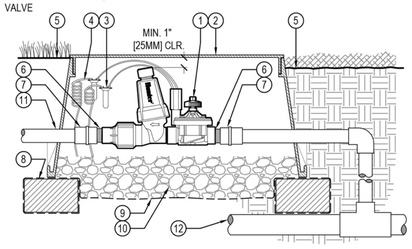
ISOLATION SHUT OFF VALVE

1. FINISH GRADE
2. SMALL CARSON VALVE BOX
3. DRIP AIR RELIEF VALVE INSTALLED AT HIGH POINTS OF THE DRIP ZONE - MATCH TO DRIPLINE MANUFACTURER
4. PVC SCH 40 FEMALE ADAPTER
5. PVC SCH 80 RISER
6. BRICK
7. PVC HEADER PIPE
8. PVC SCH 40 TEE
9. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

AIR RELIEF VALVE IN PVC HEADER

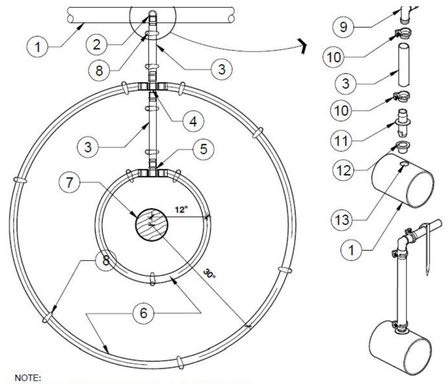
LEGEND

1. HUNTER REMOTE CONTROL VALVE (ICZ) WITH FILTER REGULATOR
2. IRRIGATION VALVE BOX: HEAT STAMP LID WITH "RCV" IN 2" LETTERS
3. WATERPROOF CONNECTORS (2)
4. 18"-24" COILED WIRE TO CONTROLLER
5. FINISH GRADE AT ADJACENT SURFACE (TURF OR MULCH)
6. SCH. 80 CLOSE NIPPLE, MATCH SIZE TO VALVE
7. PVC SLIP X FPT ADAPTOR
8. BRICK SUPPORTS (4)
9. FILTER FABRIC - WRAP TWICE AROUND BRICK SUPPORTS
10. 3/4" WASHED GRAVEL - 4" MIN. DEPTH
11. IRRIGATION LATERAL
12. MAINLINE LATERAL AND FITTINGS



DRIP CONTROL ZONE KIT (ICZ-101-LF)

Hunter V.ICZ.01 NO SCALE



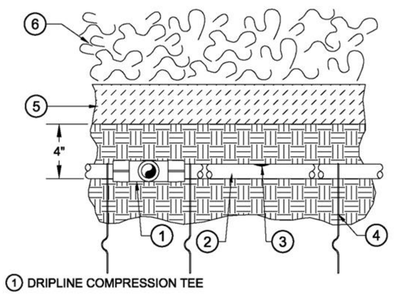
NOTE:
PLACE TIE DOWN STAKES EVERY 3 FT. IN SAND, 4 FT. IN LOAM, AND 5 FT. IN CLAY, AS WELL AS AT ALL CHANGE OF DIRECTION SUCH AS AT TEES OR ELLS.

DRIPLINE TO LATERAL "XPANDO" ADAPTER CONNECTION DETAIL

1. PVC LATERAL SUPPLY PIPE, SIZE AS PER PLAN WITH MINIMUM SIZE 1 1/2" DIAMETER.
2. DRIPLINE CONNECTION TO BELOW GRADE LATERAL PIPE, SEE DRIPLINE TO LATERAL "XPANDO" ADAPTER CONNECTION DETAIL.
3. 1/2" PLOYETHYLENE BLANK TUBING, AS REQUIRED.
4. BARB CROSS INSERT FITTING.
5. BARB TEE INSERT FITTING.
6. AT-GRADE DRIPLINE, INNER RING 12" FROM PLANT, OUTTER RING 30" FROM PLANT. DRIPLINE TO BE 0.9GPH EMITTERS AT 12" O.C.
7. PLANT TRUNK.
8. TYPICAL ANTELCO ASTA TIE-DOWN STAKE, SEE NOTES.
9. DRIPLINE BARBED INSERT ELL.
10. RATCHET CLAMP AT ALL BARBED CONNECTIONS ANTELCO PART NO. 44345.
11. INSERT ADAPTER, ANTELCO "XPANDO" 13MM X 14MM, PART NO. 45595.
12. 13MM ANTELCO "CAPO: RUBBER GROMMET, NO. 45735.
13. DRILL 5/8" HOLE IN PVC LATERAL PIPE WHERE REQUIRED. YOU MUST USE A "FORSTNERF DRILL BIT FOR DRILLING INTO PVC. REMOVE ANY EXCESS BURRS OR ROUGH EDGES.

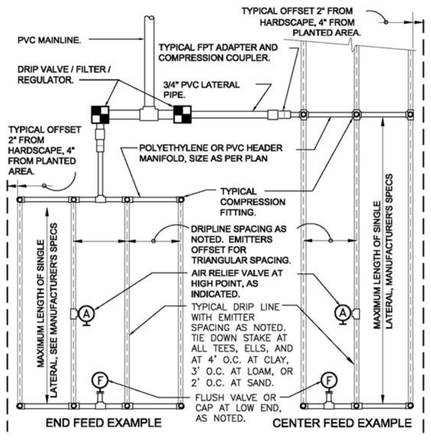
20 GPH DRIPLINE RING-0.9 GPH @ 12" O.C.

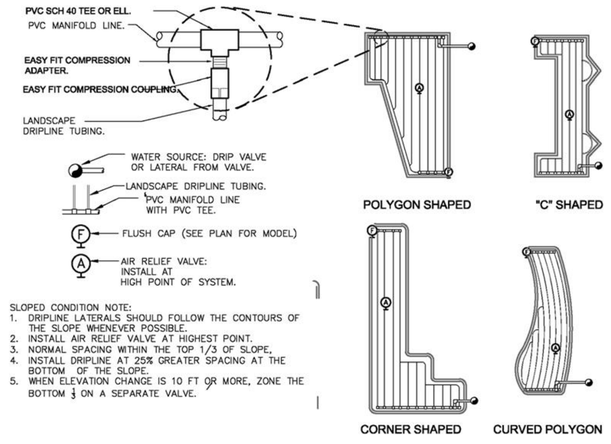
DETA



1. DRIPLINE COMPRESSION TEE
2. SUB-SURFACE DRIPLINE - SEE LEGEND FOR DRIP LINE MANUFACTURER, SPECIFICATIONS, SIZE AND SPACING
3. IN-LINE DRIP EMITTER
4. TIE-DOWN STAKES SPACE 3' O.C. PER DRIP LINE MANUFACTUR
5. MULCH - SEE PLANTING NOTES FOR DEPTH OF MULCH
6. PLANT MATERIAL - SEE PLANS FOR TYPE AND SPACING

SUB-SURFACE DRIPLINE BURIAL





SLOPED CONDITION NOTE:
1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE WHENEVER POSSIBLE.
2. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
3. NORMAL SPACING WITHIN THE TOP 1/3 OF SLOPE,
4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM OF THE SLOPE.
5. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

TYPICAL DRIPLINE LAYOUT

MAWA EPPT and ETWU Calculations

Project Name:	Santiago Res.	
Project Location:	282 Gunnera Ct., Gilroy, CA.	
Total Landscape Area:	10,119.0	sq. ft.
Date:	09-09-22	

MAWA CALCULATION

MAWA = (Eto)(.62)[(0.55xLA) + (1-ETAF x SLA)]

MAWA = Maximum Applied Water Allowance (gallons per year)
Eto = Reference Evapotranspiration (inches per year)
.62 = Conversion Factor (to gallons)
0.55 = Et Adjustment Factor (ETAF)
LA = Landscape Area including SLA (square feet)
0.45 = Additional Water Allowance for SLA
SLA = Special Landscape Area (square feet)

Eto =	43.6
Conversion	0.62
ETAF	0.55
LA =	10,119
SLA =	0

MAWA =	150,445.2	gallons per year
	20,113.0	cubic feet per year

MAWA with EPPT

MAWA = (Eto-Eppt)(.62)[(0.55xLA) + (1-ETAF x SLA)]
Eppt= 25% of Annual precipitation

Eto =	43.6
Eppt=	9.82
ETAF=	0.55
LA =	10,119
SLA =	0

MAWA w/ EPPT =	116,581.5	gallons per year
	15,585.8	cubic feet

ETWU CALCULATION

ETWU = (Eto)(.62)(PF/IE)(LA)

ETWU = Estimated Total Water Use Per Year (gallons)
ETo = Reference Evapotranspiration
PF = Plant Factor from WUCOLS (Region 2, Water Use: H 0.7 - 0.9, M 0.4 - 0.6, L 0.1 - 0.3, VL < 0.1, All Turf 0.8)
LA = Landscape Area (High, Medium, and low water use areas)(square feet)
SLA = Special Landscape Area
.62 = Conversion Factor
IE = Irrigation Efficiency (drip spray and bubblers .81, sub surface .81, spray sprinklers .75
ET Adjustment Factor (ETAF) .55 for Residential and .45 for Non Residential

Reference Evapotranspiration (Eto)	43.6	Gilroy, CA.

REGULAR LANDSCAPE AREAS

Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAF x Area	ETWU
1.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	728.0	179.8	4,859.1
2.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	998.0	246.4	6,661.2
3.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	824.0	203.5	5,499.8
4.) Med Water Use - Trees	Drip	0.4	0.81	0.493827160493827	392.0	193.6	5,232.9
5.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	976.0	241.0	6,514.4
6.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	920.0	227.2	6,140.6
7.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	970.0	239.5	6,474.3
8.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	368.0	90.9	2,456.2
9.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	495.0	122.2	3,303.9
10.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	930.0	229.6	6,207.3
11.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	832.0	205.4	5,553.2
12.) Med Water Use - Trees	Drip	0.4	0.81	0.493827160493827	140.0	69.1	1,868.9
13.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	650.0	160.5	4,338.5
14.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	494.0	122.0	3,297.2
15.) Low Water Use - Shrubs	Drip	0.2	0.81	0.246913580246914	402.0	99.3	2,683.2
					Total sf ft.	Totals	Totals
					10,119.0	2,629.9	71,090.8

SPECIAL LANDSCAPE AREAS

Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft)	ETAF x Area	ETWU
				1	0	0	0.0
					Totals	Totals	Totals
					0	0	0.0
						ETWU TOTAL	71,090.8
						MAWA	150,445.2

ETAF CALCULATIONS

Regular Landscape Areas	
Total ETAF x Area	2,629.9
Total Area	10,119.0
Average ETAF	0.26
Special Landscape Areas	
Total ETAF x Area	2,629.9
Total Area	10,119.0
Sitewide ETAF	0.26

Average ETAF for Regular Landscape Areas must be .55 or below for residential areas, and .45 or below for non residential areas.

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IRRIGATION DETAILS

LICENSED LANDSCAPE ARCHITECT
KAREN JONES AITKEN
No. 2239
Exp. 8-31-23
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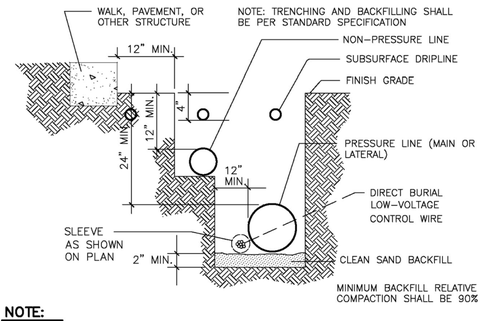
DATE	09-09-22
SCALE	
DRAWN	EM
JOB	RAHN

L-3



NOTE:

1. ALL PLASTIC PIPING TO BE SNAKED IN TRENCHES
2. BUNDLE & TAPE WIRING AT 10' INTERVALS
3. TIE A LOOSE 20" LOOP IN WIRING AT CHANGE OF DIRECTION GREATER THAN 30 . DEGREES. UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE.
4. INSTALL ALL CONTROL WIRE ON THE UNDERSIDE OF THE MAINLINE PIPE.
5. SEE IRRIGATION SPECIFICATIONS FOR BACKFILL AND COMPACTION REQUIREMENTS.
6. PIPE DEPTH FOR 2 1/2" AND LARGER SHALL BE 36" MINIMUM.
7. PIPE DEPTH FOR 2" AND SMALLER SHALL BE 24" MINIMUM.
8. PIPE DEPTH FOR NON-PRESSURE LATERAL LINES SHALL BE 12" MINIMUM.
9. PIPE DEPTH FOR ALL LINES UNDER PAVEMENT SHALL BE 36" MINIMUM.

K TRENCHING DETAILS

1/2" = 1'-0"

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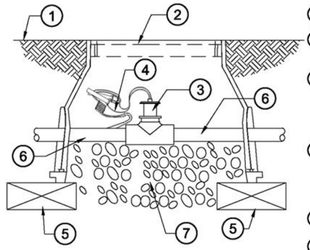


1. FINISH GRADE
2. CARSON VALVE BOX WITH LOCKING LID
3. FLOW SENSOR (SEE IRRIGATION LEGEND FOR MANUFACTURER, MODEL AND SIZE)
4. IRRIGATION CONTROL WIRES WITH MINIMUM 12" COIL OF WIRE
5. (4) BRICKS
6. MAINLINE PIPE FROM MASTER VALVE
7. 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

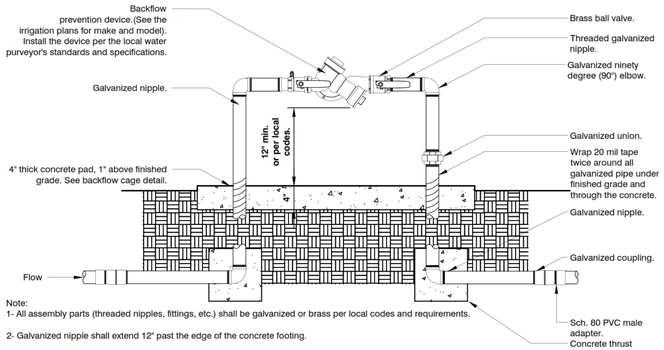
NOTES:

1- FLOW SENSOR WIRE SHALL BE PER THE CONTROLLER MANUFACTURER'S SPECIFICATIONS.

2- INSTALL FLOW SENSOR PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

3- ALL WIRE RUNS SHALL BE CONTINUOUS WITHOUT ANY SPLICES. WIRE CONNECTIONS SHALL BE MADE USING DBR/Y-6 CONNECTORS OR APPROVED EQUAL.

FLOW SENSOR



Note:
1- All assembly parts (threaded nipples, fittings, etc.) shall be galvanized or brass per local codes and requirements.

2- Galvanized nipple shall extend 12" past the edge of the concrete footing.

3- Sch. 80 PVC male adapter shall be used in connection from galvanize to the mainline.

4- Backflow prevention device shall be located as close as possible to the landscape meter.

5- Backflow prevention device shall be located in planting area unless approved by Owner's Representative.

6- See detail for backflow cage installation.

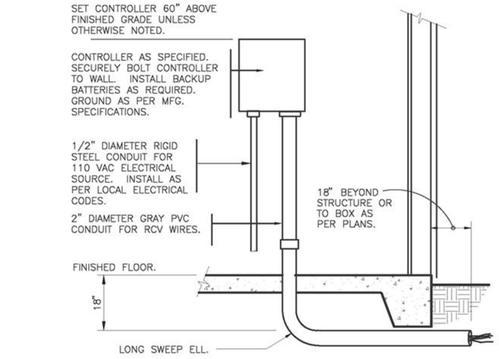
7- All backflow prevention devices shall have freeze blanket included upon installation.

8- All galvanized connections shall to be made using pipe thread sealant. All Sch. 80 PVC to galvanized connections to be made using teflon tape.

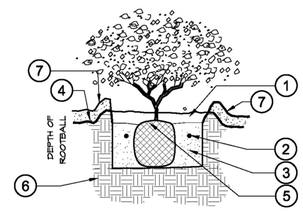
BACKFLOW PREVENTION DEVICE

1" = 1'-0"

FX-IR-FX-BACK-02



INTERIOR WALL MOUNT CONTROLLER

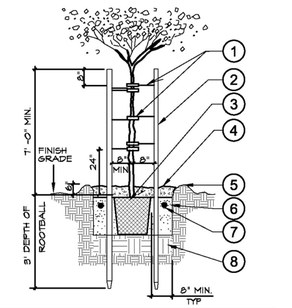


1. WATER BASIN WITH 2" X 2" SHREDDED BARK MULCH.
2. TRI-C MYCO PAKS (SEE DETAIL "E" ON THIS SHEET). APPLICATION RATES PER MANUFACTURER SPECIFICATIONS.
3. BACKFILL MIX- 1/3 SITE SOIL, 1/3 SAND, 1/3 GROW MULCH.
4. FINISH GRADE
5. ROOTBALL 1"-2" ABOVE FINISH GRADE
6. NATIVE SOIL SUBGRADE EXCAVATE TO CORRECT HEIGHT FOR PLANTING. SCARIFY BOTTOM TO ENSURE ADEQUATE DRAINAGE FOR HEALTHY GROWTH OF PLANT.
7. 3" MULCH LAYER

TYPICAL SHRUB PLANTING

NOTE:

ALL TREES 5' OR CLOSER TO HARDSCAPE SURFACE OR BUILDING SHALL HAVE ROOT-BARRIER PANELS, INSTALLED PER MANUFACTURE SPECIFICATIONS AND EXTEND 1.0' IN EACH DIRECTION FROM TREE TRUNK. SEE ROOT BARRIER DETAIL ON THIS SHEET.



LEGEND

1. 'CINCH-TIE' TREE TIE - WRAP WIRE AROUND OUTSIDE OF STAKE. SECURE TO STAKE PER MANUFACTURE'S RECOMMENDATIONS, PLACE BELOW BRANCHING YOKE OF TREE
2. LODGE POLE PINE STAKES: 3 POLES FOR 36" BOX IN TRIANGLE ARRANGEMENT
3. SET TOP OF ROOTBALL 2" ABOVE FINISH GRADE.
4. 2" SHREDDED BARK MULCH, (APPROX. 3' DIA. RING)
5. WATER BASIN (SHRUB AREAS ONLY)
6. BACKFILL MIX- 1/3 SITE SOIL 1/3 SAND, 1/3 GROW MULCH
7. PLANTING FERTILIZER TABLETS (SEE DETAIL/CHART ON THIS SHEET) APPLICATION RATES PER MANUFACTURER SPECIFICATIONS OR SOILS REPORT RECOMMENDATIONS.
8. NATIVE SOIL SUBGRADE EXCAVATE TO CORRECT HEIGHT FOR PLANTING. SCARIFY BOTTOM TO ENSURE ADEQUATE DRAINAGE FOR HEALTHY GROWTH OF PLANT.

TREE PLANTING WITH DOUBLE STAKE (36" BOX)

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L-4