

Project Team

Architectural Design:
PMCKM - Paz de Moura Castro King Mueckenheim

Project Team Members:
Maria Paz De Moura Castro King Arquiteta CAU (Brazil)
Mark Mueckenheim Architekt AKNW (Germany)
Hannah Moon Licensed Architect NCARB (US)
Rachel Yi-hsien Wang

Project Contact:
contact@pmckm.com
+1 (415) 316 9029
+1 (415) 215 8410

Client/Owner

Stacey and Joao Tang

Construction Type

Type VA

Drawing List

A0.0 TITLE SHEET / DRAWING LIST
A0.1 PERMIT DATA
A0.2 ABBREVIATIONS
A0.3 NOTES & LEGEND
A0.4 EXISTING CONDITIONS (PHOTOS)

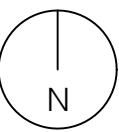
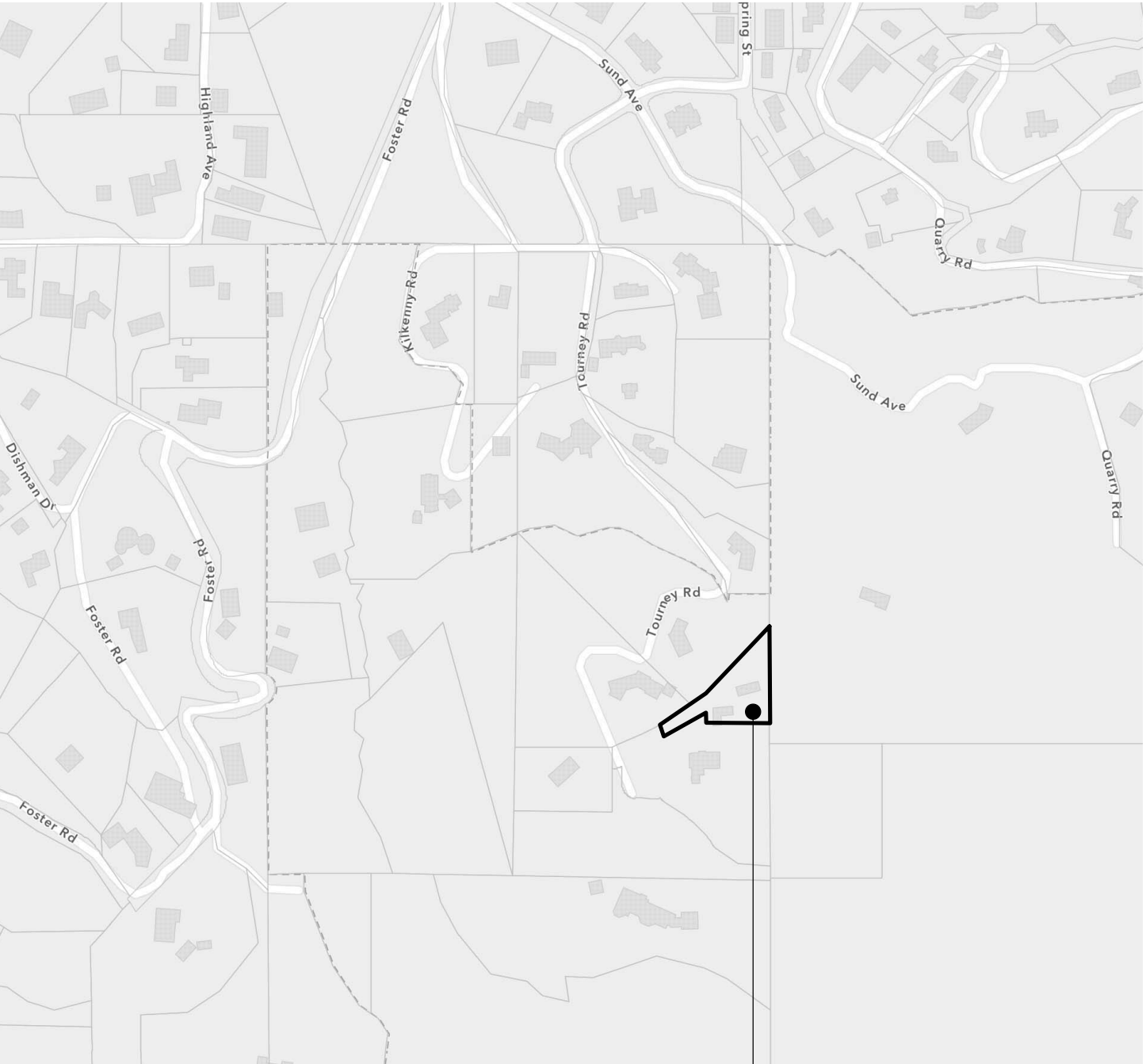
A1.1 ACCESS MAP
A1.2 FIRE WATER ACCESS MAP
A1.3 PARCEL MAP
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Site Location Map



PROJECT LOCATION
17800 TOURNEY RD

Project:
17800 Tourney Road - Los Gatos
Clients:
Stacey and Joao Tang

PMCKM
Paz de Moura Castro King Mueckenheim
Maria Paz de Moura Castro
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California Architect of Record:
Hannah Moon Licensed Architect - C38791

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SCALE: AS NOTED

DRAWN BY: RW

DATE: 11130121

ISSUE
DATE
DESC

LICENSED ARCHITECT
HANNAH M
MOON
C-38791
06/30/23
RENEWAL
DATE
STATE OF CALIFORNIA

INSTRUCTIONS WHEN
PLAN IS FOLDED:

1.)
flip the flaps on
the back of the
plan forward

2.)
so that the plan
looks like this

3.)
pull the plan to
the right to
unfold it

(accordion style)

-> repeat in reverse to fold back

Title Sheet
Drawing List

A0.0

Project Scope:
THE SCOPE OF WORK UNDER THIS PERMIT INCLUDES:
(1) REFINISH OF (E) POOL AREA; (2) DEMOLITION OF
(E) SINGLE FAMILY DWELLING AND ACCESSORY
STRUCTURE; & (3) CONSTRUCTION OF (N) SINGLE
FAMILY DWELLING AND GARAGE.

Project Data (Legal):
Location: 17800 Tourney Road, Los Gatos, CA 95030
APN: 537-04-062 or 537-04-037
County: Santa Clara County
Zoning: R1E-5s-d1

Building Type: Single Family Residence
Effective Year: 2022-2024

Building:	Existing:	Proposed:
Lot Area:	26133 SF	No change
Building Size:	3781 SF	7485 SF
Garage:	413 SF	1679 SF
Total:	4194 SF	9164 SF
Pool:	355 SF	No change
Spa:	218 SF	No change

Building Setbacks:	Allowed	Existing:	Proposed:
Front:	25'-0"	7'-7"	25'-0"
Rear:	25'-0"	24'-0"	25'-1"
Right Side:	5'-0"	63'-5"	6'-0"
Left Side:	5'-0"	28'-6"	11'-3"

Building Height:	
Allowed:	35'-0" above final grade
Proposed:	34'-1" above final grade

Lot Coverage:	
Allowed:	No limit
Proposed:	27.9%
Proposed Footprint:	7302 SF

Floor Area Ratio:	
Allowed:	No limit
Proposed:	0.351

	Existing:	Proposed:
Number of Bedrooms:	-	5
Number of Full Bathrooms:	-	6
Number of Half Bathrooms:	-	2
Number of Kitchens:	-	2
Number of Half Kitchens/Bars:	-	1
Number of Fireplaces:	-	2

Land Use: Hillside Residential Plan Area
Lot: 62

Los Gatos Hillside Specific Plan Area: IN
State Response Area: SRA (100%)
Wildland Urban Interface: IN - Very High (100%)
Fire Protection District:
Santa Clara County Central Fire Protection District

Historic Parcel: No
FEMA Flood Zone: D (100%)
Watershed: San Francisco Bay
Rain isohyet: 29 inches, 32 inches
Nearest named creek: Limeklin Canyon (2886 feet)
Nearest named lake: Lexington Reservoir (2886 feet)
Geohazard: County landslide hazard zone
Geohazard: State seismic hazard zone
(earthquake induced landslides)

APPLICABLE BUILDING CODES:
ALL WORK NOTED SHALL BE IN FULL
ACCORD AND COMPLY WITH THE LATEST
RULES, REGULATIONS, ORDINANCES, CODES
AND STANDARDS LISTED BELOW AND ANY
AND ALL LOCAL CODES AND ORDINANCES
CURRENTLY IN EFFECT IN THE COUNTY OF
SANTA CLARA

2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA GREEN BUILDING CODE (CGBC)
2019 CALIFORNIA PLUMBING CODES (CPC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS
2019 CALIFORNIA FIRE CODE W/ COUNTY OF
SANTA CLARA AMENDMENTS

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12x18

(accordion style)

-> repeat in reverse to fold back

Permit Data

A0.1

General Notes and Conditions:

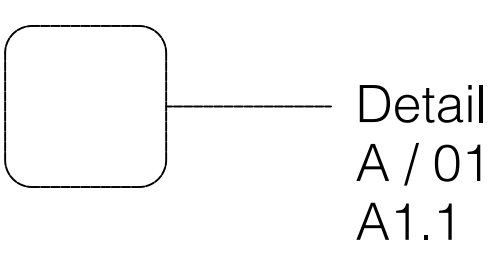
1. Notify architectural designer promptly if any conditions conflict with construction documents.
2. Field verify all existing conditions and dimensions prior to fabrication/ construction.
3. Notify architectural designer of any discrepancies between documents, including discrepancies between engineering documents and construction documents.
4. Provisions shall be made for the undergrounding of all utilities serving the property, including but not limited to electrical, telephone, and cable television, by the installation of appropriately sized underground conduits extending from the street property, as per BBC 705A.1.
5. All persons working at this site must implement applicable portions of the State Storm Water Best Management Practices Manual for Construction to the maximum extent practicable to prevent erosion and sediment from entering into the storm drain system. Failure to utilize adequate controls is a violation of BMC 17.20. A copy of the manual is available upon request at the Permit Service Center and available online at www.cabmphandbooks.com.
6. Approval of this permit for work in the public right-of-way or easement does not relieve the applicant of the responsibility of obtaining permission to enter neighboring property or properties in the course of this work if necessary. It shall not be construed as a license to alter or adversely impact any facilities located in these easements which are privately owned. Full restitution and restoration shall be the responsibility of the permittee. Permittee shall notify property owner of intentions 72 hrs prior to entering the property.
7. This is a permit set of design drawing not intended for the actual construction.

Dimensioning Conventions:

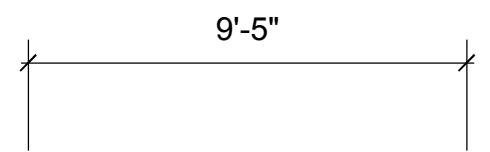
1. Dimensions as noted in the plans shall take precedence over scaled dimensions.
2. Dimensions are from grid line to face of concrete or stud on plans and face of finish on all other rawings, unless otherwise noted. any errors, ommissions, or ambiguities in the plans are to be reported to the architectural designer before proceeding with the work. see enlarged plans, for additional dimensions & information.
3. Details shall govern over plans and elevations. large scale plans govern over small scale plans. large scale details shall govern over small scale details. if unable to locate the dimensions for any item of work, consult the architect prior to construction.
4. All dimensions on elevations are indicated from finish floor elevation to fixture and/or finish wall unless otherwise noted.
5. All heights are dimensioned from the top of plywood or slab, unless noted "a.f.f."
6. Dimensions are not adjustable , unless noted (+/-), without architect's written approval.
7. Except where specifically noted to the contrary, all dimensions shown on the architectural drawings conform to the following conventions: - structural or dimensional grid lines - centerline of steel - centerline of door, window, or cased opening.
8. Where walls and / or partitions of unequal thickness abut, align exposed faces, unless otherwise noted.

Project Symbols:

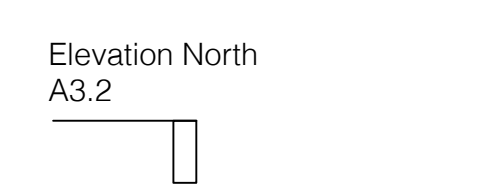
DETAIL MARKER
(with Drawing Number
and Sheet Reference)



DIMENSION LINES



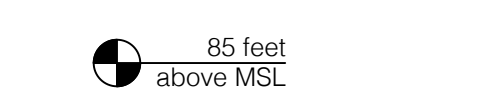
ELEVATION MARKER
(with Drawing Number
and Sheet Reference)



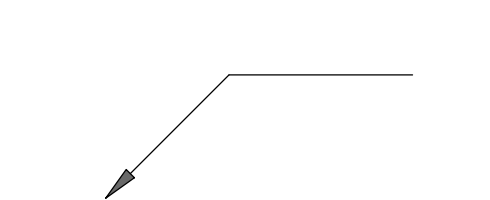
SECTION MARKER
(with Drawing Number
and Sheet Reference)



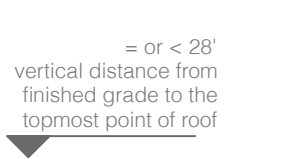
VERTICAL ELEVATION
MARKER



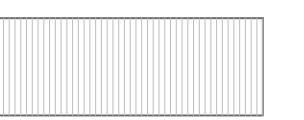
NOTES / ANNOTATION
ARROW



CODE LIMITATION
ANNOTATION



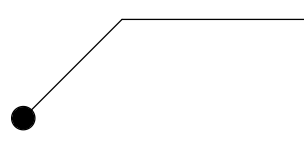
WOODEN DECKS



POOL (WATER)



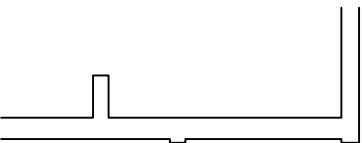
ANNOTATION
DOT



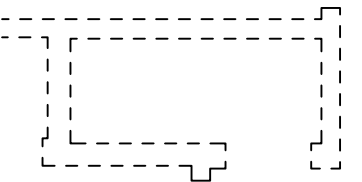
STAIR DIRECTION
(ALWAYS UP)



WALLS
PROPOSED



WALLS
DEMOLISHED



RETAINING WALL EXISTING
(Retaining wall plan only)



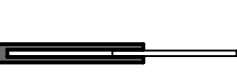
RETAINING WALL PROPOSED
(Retaining wall plan only)



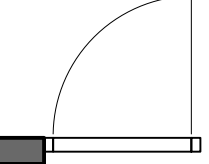
MAIN ACESS DOOR
MARKER



SLIDING POCKET
DOOR



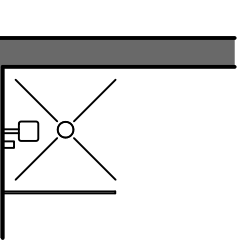
DOOR
(SWINGING)



SLIDING GLASS
DOOR



SHOWER WITH
FLOOR DRAIN



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ISSUE DATE DESC	

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-> repeat in reverse to fold back

Notes &
Legend

A0.2

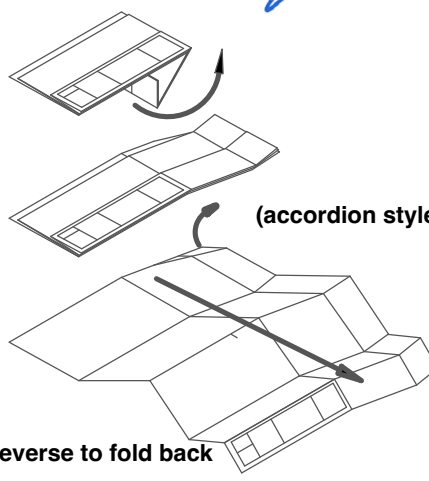
Abbreviations:

ACT	Acoustical Ceiling Tile
BLDG	Building
BLKG	Blocking
BOS	Bottom of Steel
BOT	Bottom
BRG	Bearing
CAB	Cabinet
CEIL	Ceiling
CG	Corner Guard
CJ	Control/Construction Joint
CL	Centerline
CLR	Clear/Clearance
CLT	Cross Laminated Timber
CMU	Concrete Masonry Unit
COL	Column
CONC	Concrete
CONST	Construction
CONT	Continuous
COORD	Coordinate/Coordination
CPT	Carpet
CSWK	Casework
CP	Centerpoint
CT	Ceramic Tile
DEMO	Demolition
DF	Drinking Fountain
DIA	Diameter
DIAG	Diagonal
DIM	Dimension
DISP	Dispenser
DN	Down
DR	Door
DTL	Detail
DWG(S)	Drawing/Drawings
EXIST	Existing
EIFS	Exterior Insulation & Finish
EL	Elevation
ELEC	Electric/Electrical
ELEV	Elevator
EPDM	Elastomeric Membrane
EQ	Equal
EQUIP	Equipment
EXP	Exposed/Expansion
EJ	Expansion Joint
EXT	Exterior
FAST	Fasten/Fastener
FD	Floor Drain
FE	Fire Extinguisher
FEC	Fire Extinguisher Cabinet
FF	Finish Floor
FIN	Finish
FIXT	Fixture
FL/FLR	Floor
FOS	Face of Stud
FR	Frame(s), (ing)
FRP	Fiber Reinforced Polyester
FTG	Footing
FTC	Floor to Ceiling
FUR	Furr(ed), (ing)
FXGL	Fixed Glazing
GA	Gauge
GALV	Galvanized
GBB	Gypsum Backing Board
GC	General Contractor
GEN	General

GFRC	Glass Fiber Reinforced Concrete
GGB	Gypsum Greenboard
GL	Glass/Glazing
GLDR	Glass Door (swinging)
GWB	Gypsum Wallboard
GYP	Gypsum
HB	Hose Bibb
HC	Hollow Core, Hose Cabinet
HM	Hollow Metal
HOR	Horizontal
HT	Height
HTG	Heating
HVAC	Heating/Ventilation/AC
HDW	Hardwood
ID	Inside Diameter
INCL	Include(ed), (ing)
INSUL	Insulation
INT	Interior
INV	Invert
JAN	Janitor
JT	Joint
KIT	Kitchen/Kitchenette
KO	Knockout
LAV	Lavatory
LH	Left Hand
MANF	Manufacture(r)
MATL	Material(s)
MAX	Maximum
MECH	Mechanical
MED	Medium
MEMBR	Membrane
MEZZ	Mezzanine
MTL	Metal
MIN	Minimum
MIR	Mirror(ed)
MISC	Miscellaneous
MO	Masonry Opening
MTD	Mounted
MULL	Mullion
N	New
NE	Northeast
NIC	Not in Contract
NO,#	Number
NOM	Nominal
NTS	Not to Scale
NW	Northwest
OC	On Center(s)
OD	Outside Diameter
OF/CI	Owner Furnished/ Contractor
OF/OI	Owner Furnished/ Owner Installed
OFRD	Overflow Roof Drain
OFS	Overflow Scupper
OH	Overhead
OPDRFC	Operating Door Floor to Ceiling
OPNG	Opening
OPP	Opposite
OPWFT	Operable Window Floor to Ceiling
PERM	Permanent
PERP	Perpendicular
PL	Property Line
PLYWD	Plywood
PNL	Panel
PR	Pair
PREFAB	Prefabricate(d)

PREFIN	Prefinish(ed)
PRKG	Parking
PROP	Property
PT	Paint(ed)
QT	Quarry Tile
QTY	Quantity
R	Riser
RAD/(R)	Radius(ed)
RB	Rubber
RCP	Reflected Ceiling Plan
RD	Roof Drain
REC	Recessed
RECP	Receptical
REF	Reference/Refrigerator
REINF	Reinforce(d), (ing)
REQD	Required
REV	Reverse
RH	Right Hand
RM	Room
RO	Rough Opening
RT	Resilient Tile
RVS	Roof Vent
SC	Solid Core, Sealed Concrete
SCH	Schedule
SLDRFT	Sliding Door Floor to Ceiling
SE	Southeast
SECT	Section
SHT	Sheet
SHTG	Sheathing
SIM	Similar
SPEC(S)	Specification(s)
SPKLR	Sprinkler
SQ	Square
SS	Stainless Steel
STD	Standard
STL	Steel
STOR	Storage
STRUCT	Structural
SURF	Surface
SUSP	Suspend(ed)
SW	Southwest
SYS	System(s)
T&G	Tongue and Groove
T	Tread, Thermostat
TI	Tenant Improvement(s)
TAN	Tangent
TBD	To Be Determined
TEL	Telephone
TEMP	Temperature/Temporary
THRU	Through
TOB	Top of Beam
TOC	Top of Curb/Coping/Concrete
TOF	Top of Floor
TOFW	Top of Foundation Wall
TOP	Top of Parapet
TOS	Top of Steel
TOW	Top of Wall
TP	Toilet Partition
TYP	Typical
UNFIN	Unfinished
UNO	Unless Noted Otherwise
V	Vinyl
VB	Vinyl Base
VCT	Vinyl Composition Tile

VERT	Vertical
VEST	Vestibule
VIF	Verify in Field
VNR	Veneer
VT	Vinyl Tile
VWC	Vinyl Wall Covering
W/	With
W/O	Without
WC	Water Closet
WD	Wood
WDW	Window
WH	Wall Hung
W.H.	Water Heater
WFF	Welded Wire Fabric

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<p>ISSUE DATE DESC</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>LICENSED ARCHITECT</p> <p>HANNAH M MOON</p> <p>E-38791 06/30/23</p> <p>RENEWAL DATE</p> <p>STATE OF CALIFORNIA</p> <p><i>[Signature]</i></p>
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<p>Abbreviations</p> <p>A0.3</p>	



View towards the East



View towards the West



Pool Area



View towards the South



Partially demolished area of House's South part



Partially demolished area of House's South part



View towards the North

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06/30/23

RENEWAL DATE

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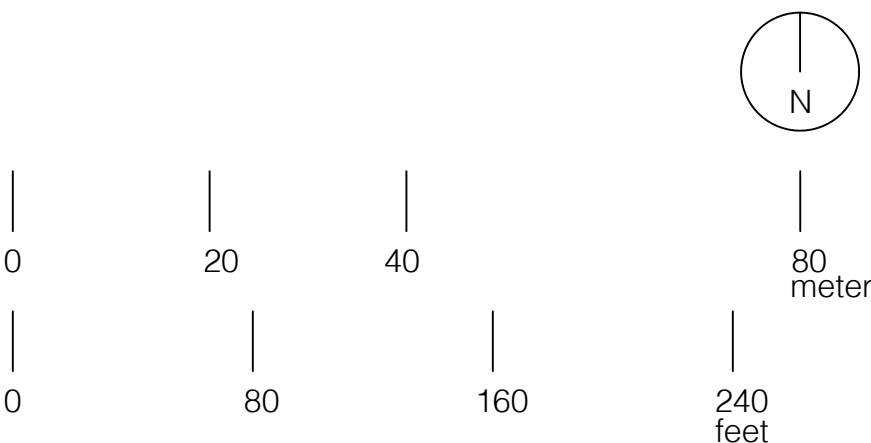
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Existing Situation

A0.4



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SCALE: 1/64"=1'-0"

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reverse to fold back

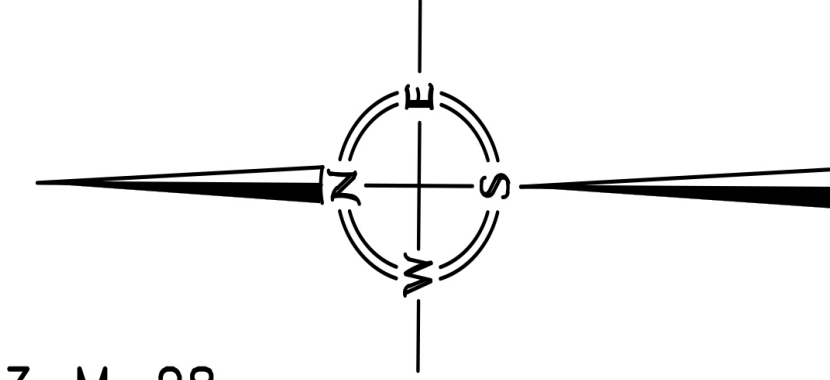
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A1.1

BOOK
537

PAGE
4

532
27



1" = 200'

PTN. NE 1/4 SEC. 28-T. 8 S.-R. 1 W.

DOC. 22432740 L.L.A. 12926083

L.L.A. 24093218 L.L.A. 13750857

NO TRANSFER DEEDS R.O.S. 759/8

RECORDED. P.M. 363-M-34

P.M. 633-M-28

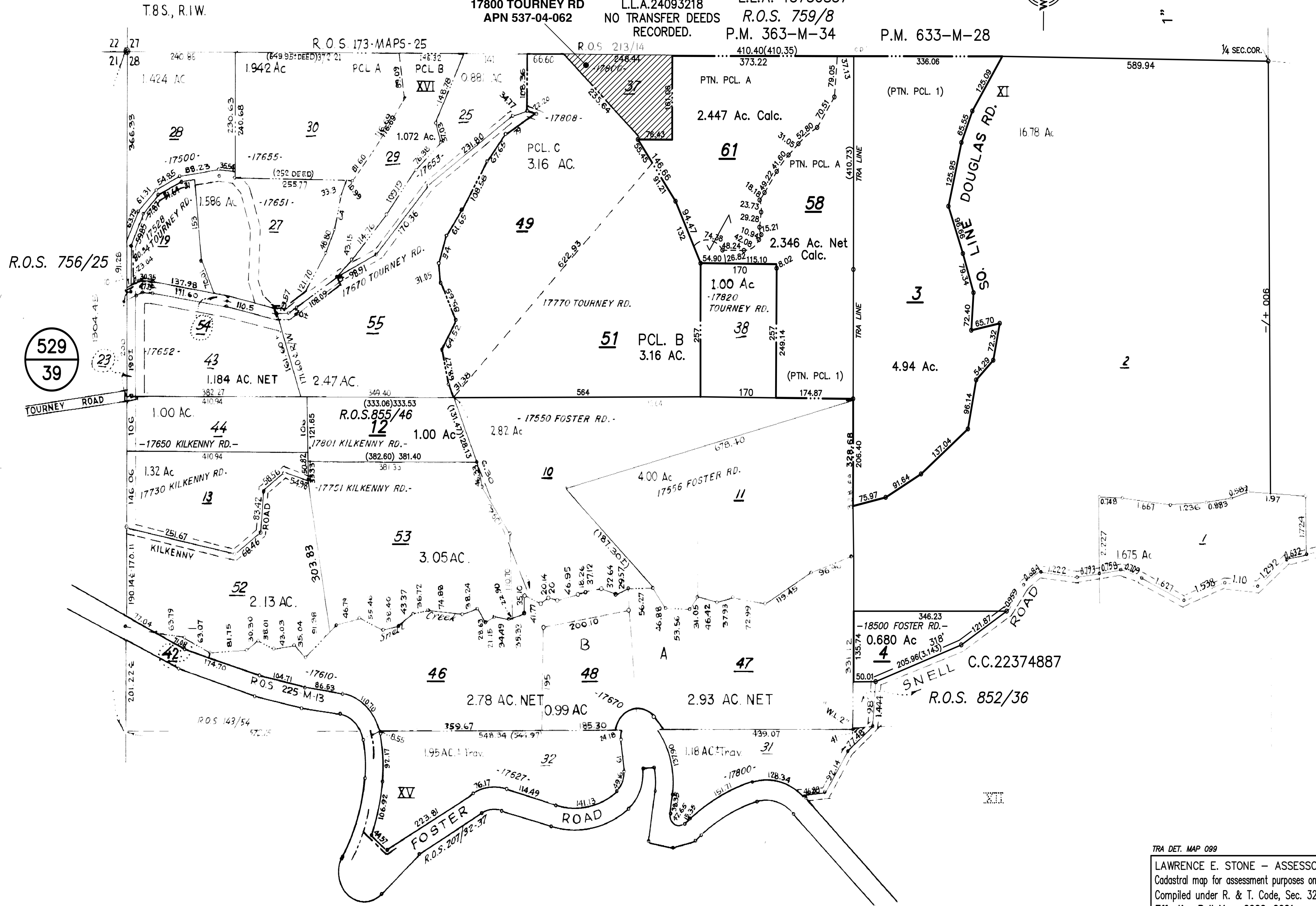
17800 TOURNEY RD
APN 537-04-062

R.O.S. 173-MAPS-25

R.O.S. 213/14

410.40(410.35)

1/4 SEC. COR.



TRA DET. MAP 099

LAWRENCE E. STONE — ASSESSOR
Cadastral map for assessment purposes only.
Compiled under R. & T. Code, Sec. 327.
Effective Roll Year 2020-2021

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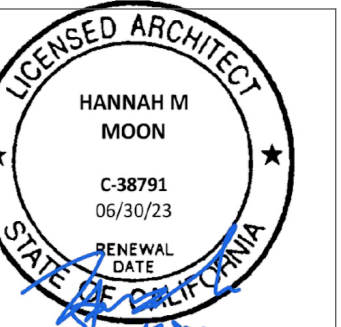
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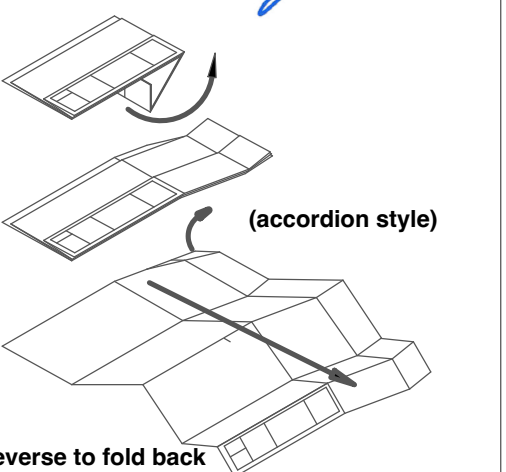
ISSUE
DATE
DESC



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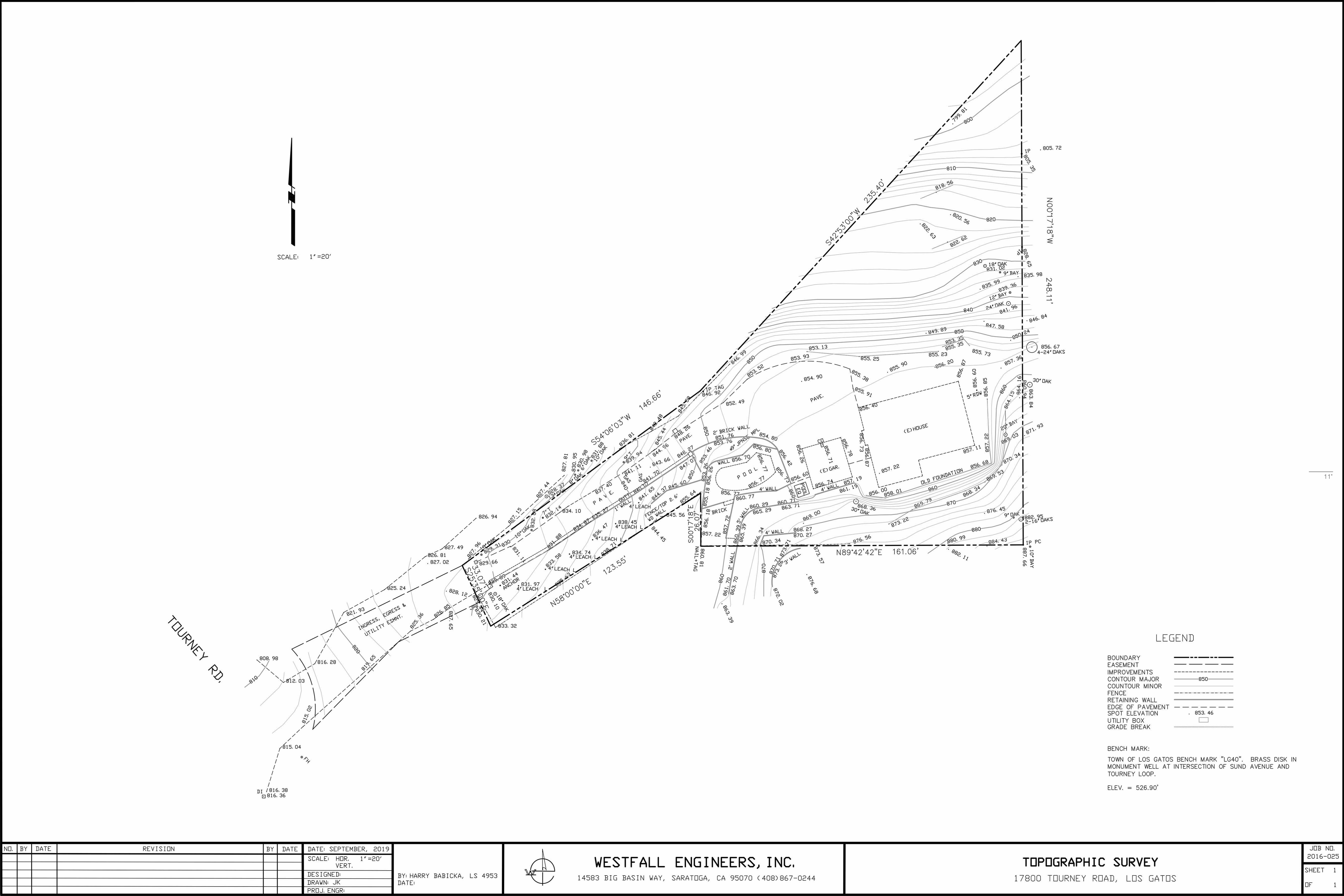
- 1.)
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pull the plan to
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unfold it

-> repeat in reverse to fold back



Parcel Map

A1.3



Project:
17800 Tourney Road - Los Gatos
Clients:
Stacey and Joao Tang

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SCALE: AS NOTED
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LICENSED ARCHITECT
HANNAH M MOON
C-38791
06/30/23
RENEWAL DATE
STATE OF CALIFORNIA

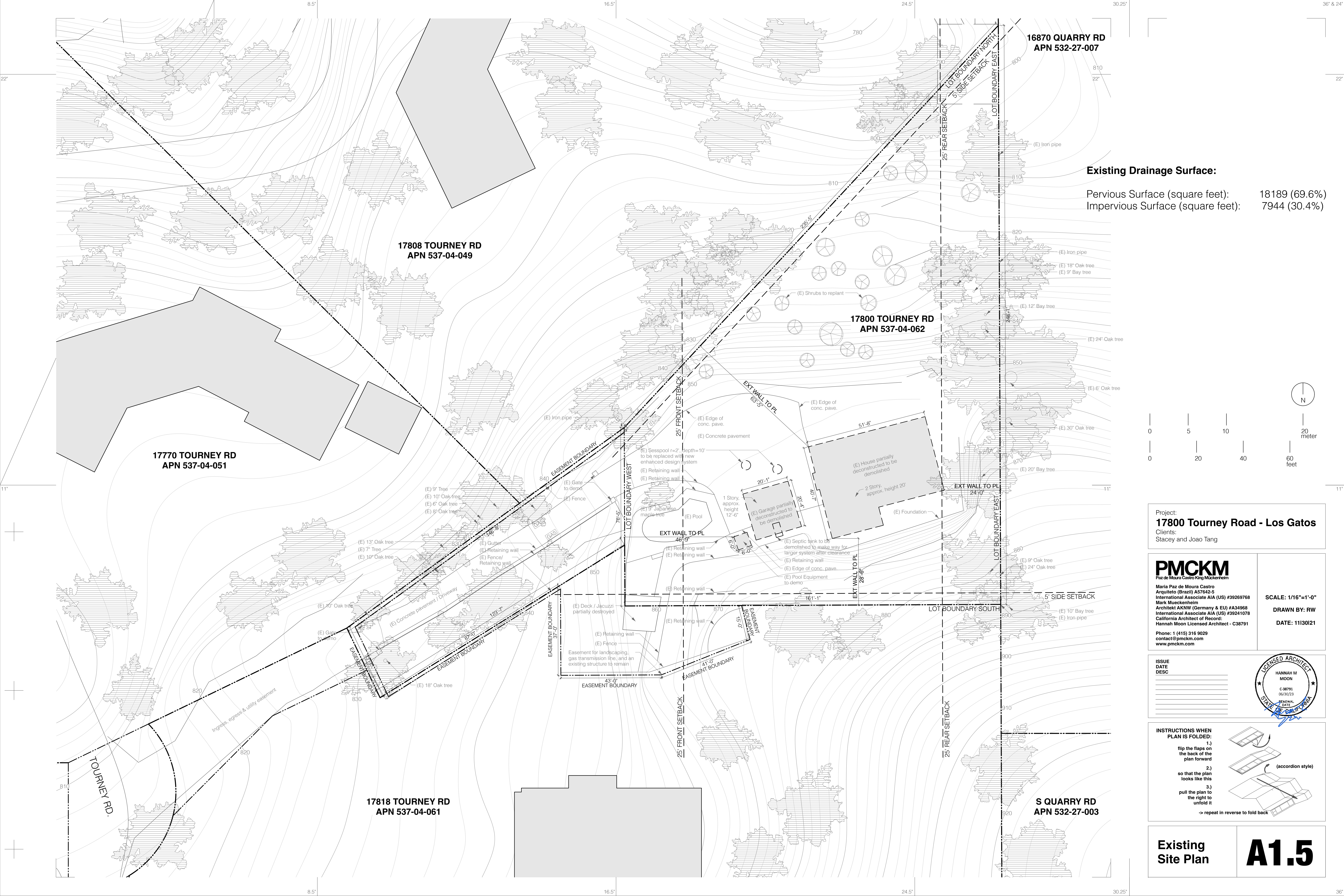
INSTRUCTIONS WHEN PLAN IS FOLDED:

- 1.) flip the flaps on the back of the plan forward
- 2.) so that the plan looks like this (accordion style)
- 3.) pull the plan to the right to unfold it

-> repeat in reverse to fold back

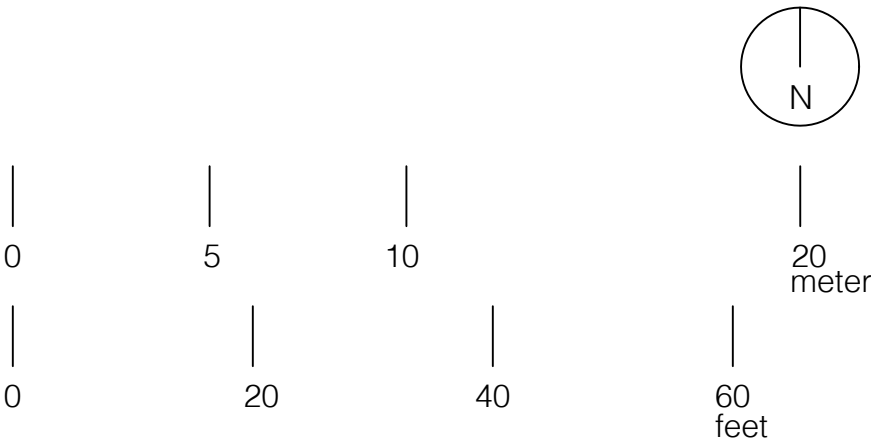
Surveyor Map

A1.4



Existing Drainage Surface:

Pervious Surface (square feet): 18189 (69.6%)
Impervious Surface (square feet): 7944 (30.4%)



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ISSUED ARCHITECT

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C-38791

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(accordion style)

Existing Site Plan

A1.5



Trees to be removed: 0
Trees to be relocated: 0

(N) Scattered local drought resistant shrubs such as:
Muhlenbergia rigens,
Bougainvillea, or
Caesalpinia pulcherrima

(N) Underground Rainwater Cistern for garden irrigation

(N) Outdoor Kitchen

(N) Driveway permeable pavers

(N) California Fan Palm tree or similar local drought resistant tree

(N) Wood deck

(E) Japanese Maple Tree

(E) Pool change tiles

(E) Gate to demo—

(E) Gutter

(E) Step to demo

(N) Retaining wall

(N) Scattered local drought resistant shrubs such as:
Muhlenbergia rigens,
Bougainvillea, or
Caesalpinia pulcherrima

(E) Jecuzzi to demo



Muhlenbergia rigens (Deergrass) is one of the most beautiful and probably the easiest to grow of all the native California bunchgrasses, typically reaching mature size in one or two years. It prefers sandy or gravelly soils, but does OK in almost any soil as long as it's well drained. It can handle fairly frequent summer water (up to 1x per week), but once mature, it really doesn't need any supplementary water. It prefers full sun or partial shade, but handles full shade reasonably well - it just grows more slowly.



Primarily used as a ground cover, *Thymus serpyllum* 'Elfin' (Creeping Thyme) is a dwarf, aromatic sub-shrub forming a tight cushion of tiny, rounded, grey-green leaves. This plant is poor soil, salt and drought tolerant.



24-inch round concrete or similar paverstones with permeable paving in between. The dry-cast concrete stone offers durability and requires minimal base construction.



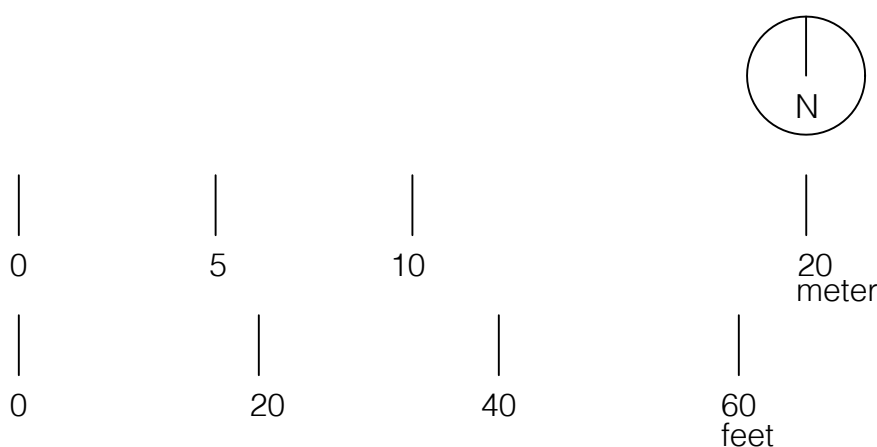
Caesalpinia pulcherrima, also known as the Red Bird of Paradise, does well from the desert to the coast. Cold winter temperatures are the limiting factor. Poinciana is very drought tolerant and will do well with infrequent deep soakings. Caesalpinia pulcherrima will grow to 5-20 feet depending on growing conditions. The flowers attract butterflies such as the California Dogface Butterfly and Cloudless Sulfur.



One of the Bougainvillea varieties, 'California Gold' thrives in full sun or light shade, in acidic, well-drained soils. Bougainvillea tolerate hot, dry locations fairly well, but dislike constantly wet soils.



Also known as the Desert Fan Palm, the California Fan Palm (*Washingtonia filifera*) is perfect for dry climates. It needs a spot with full sun, but it will tolerate a variety of soils and salt along the ocean coast. As a desert palm, this grand tree will thrive in any dry to semi-dry climate, and even at elevations up to 4,000 feet.



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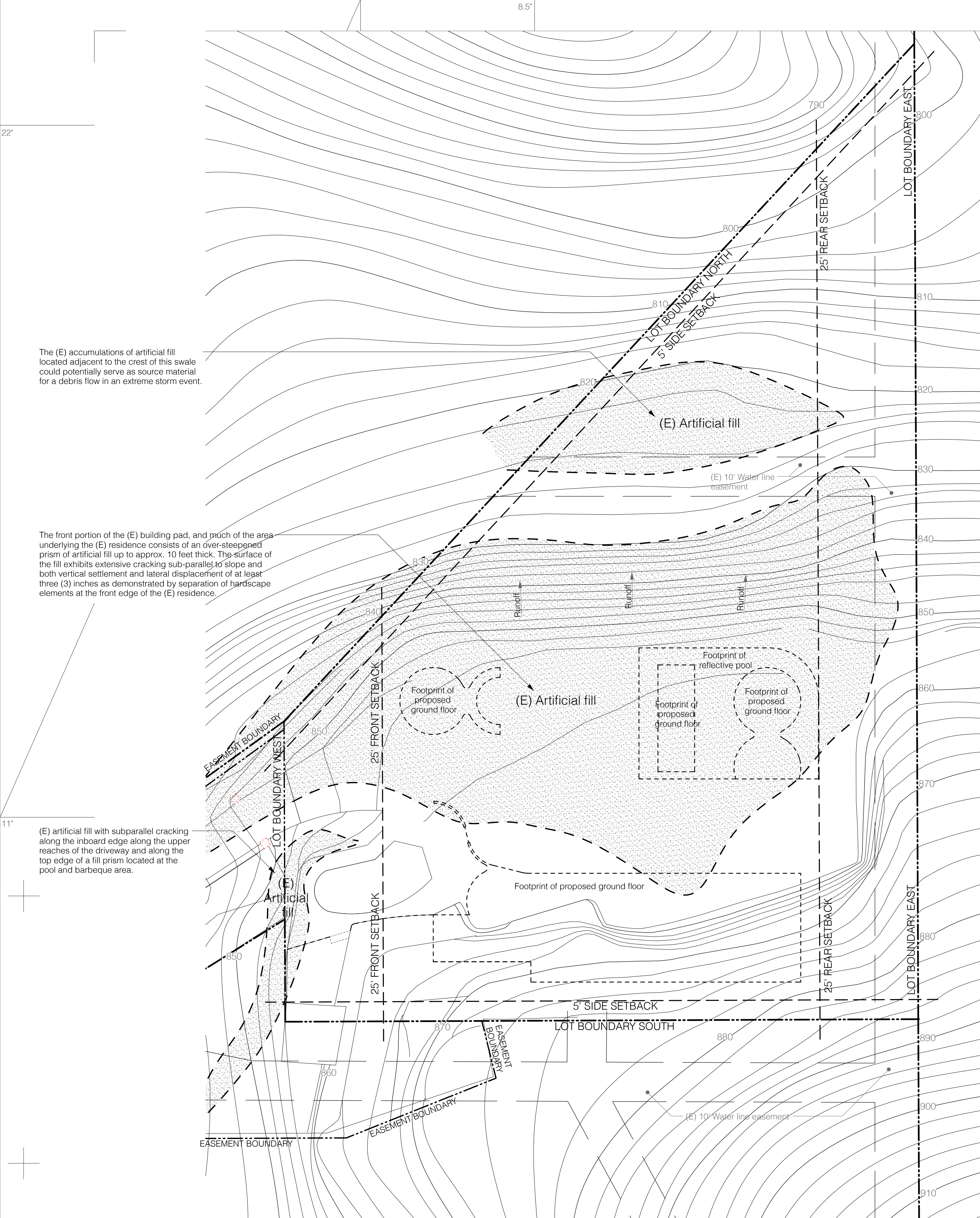
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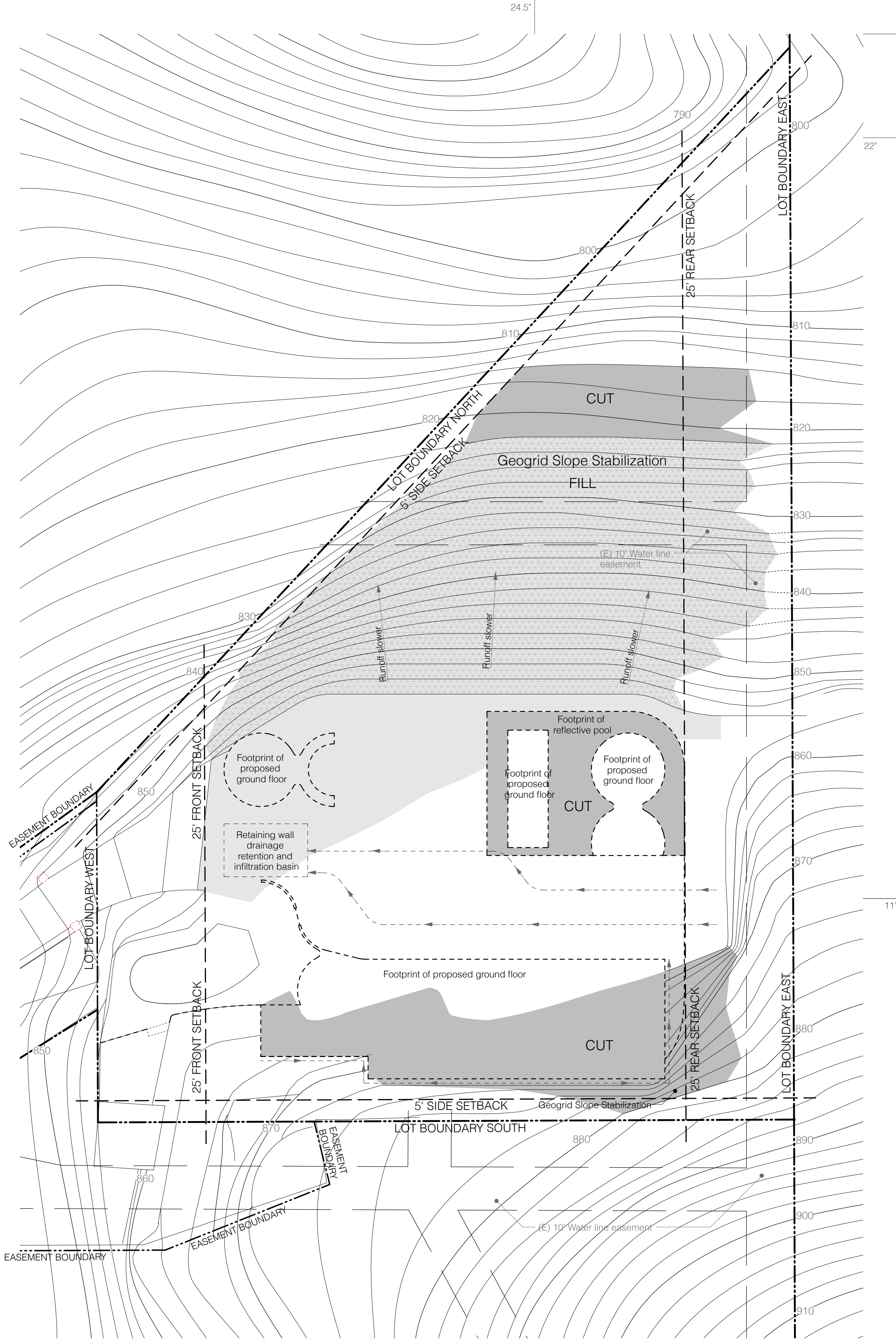
-> repeat in reverse to fold back



Landscape Plan



EXISTING GRADING PLAN 1
SCALE: 1/16" = 1'-0"



PROPOSED GRADING PLAN 2
SCALE: 1/16" = 1'-0"

Grading Quantities:	Cut:	Fill:	Height:
North Side (cubic yards):	37.3	689.1	2 feet
South Side (cubic yards):	314.2	0	14 feet

Grading Plan

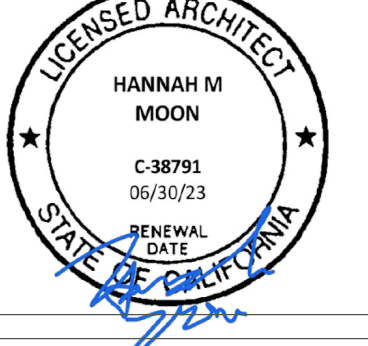
A1.8

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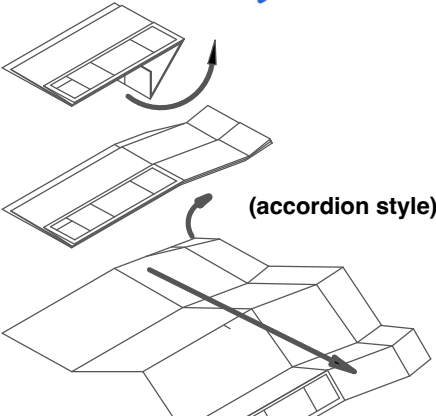
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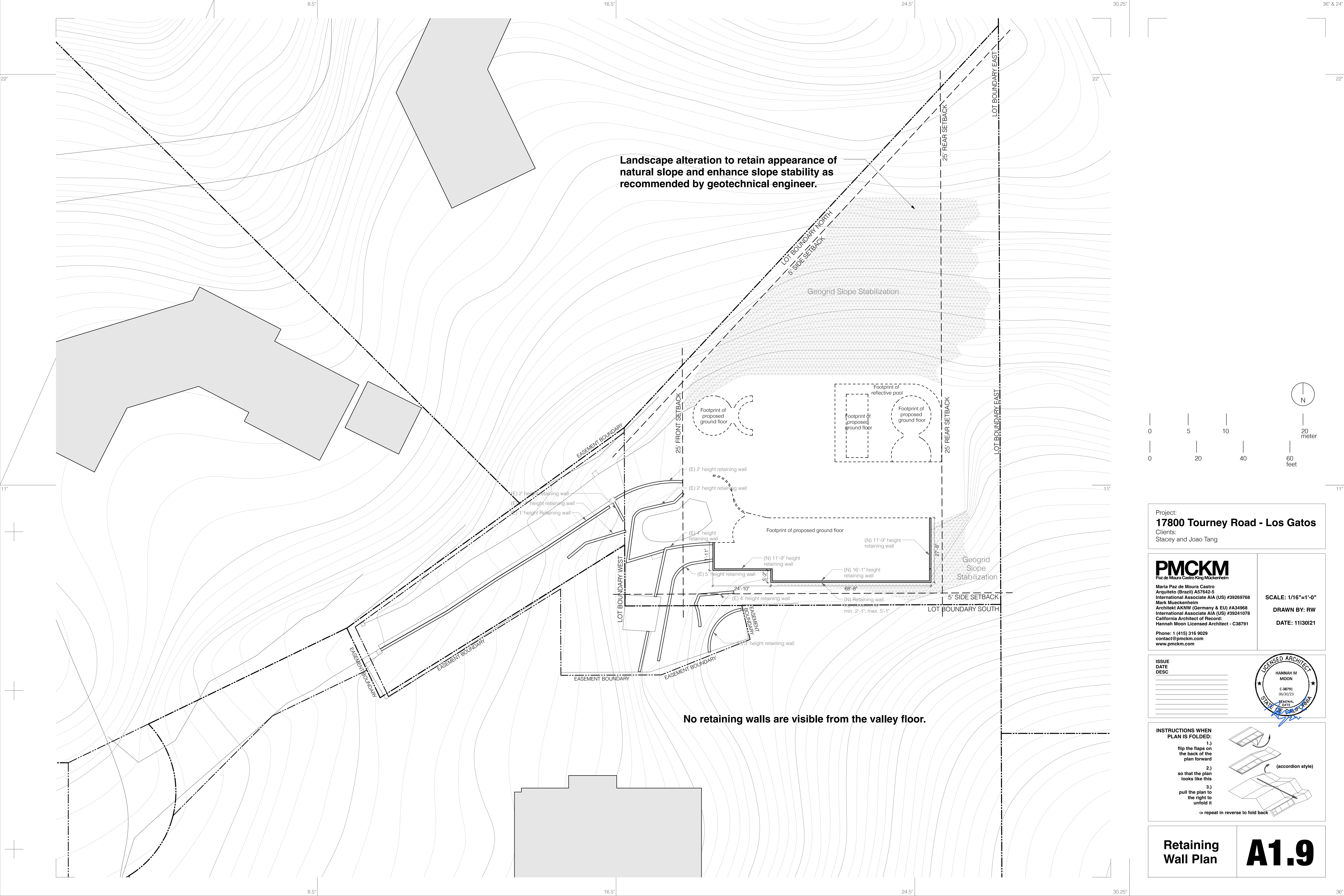
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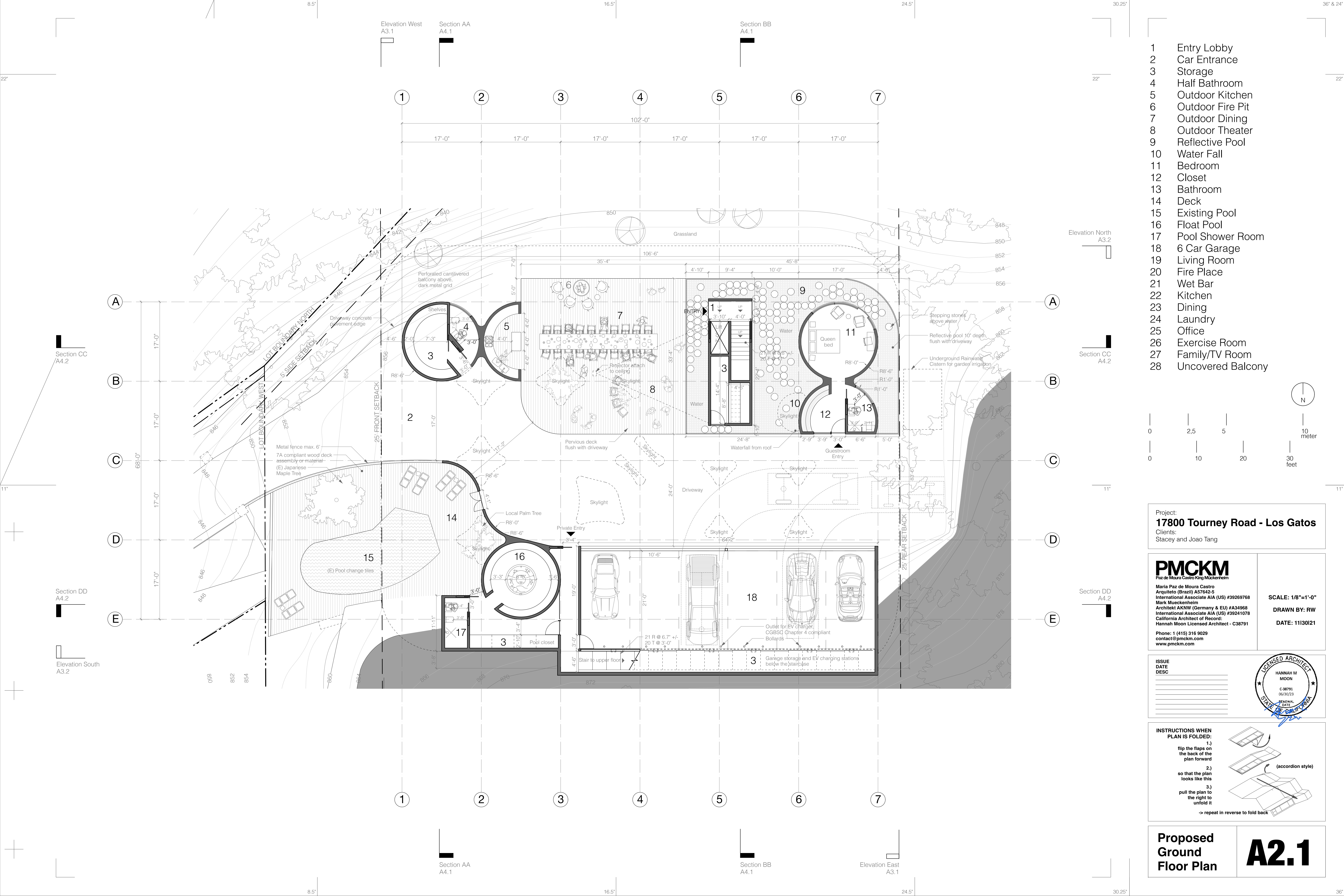
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-> repeat in reverse to fold back

(accordion style)

Retaining
Wall Plan

A1.9



- 1 Entry Lobby
- 2 Car Entrance
- 3 Storage
- 4 Half Bathroom
- 5 Outdoor Kitchen
- 6 Outdoor Fire Pit
- 7 Outdoor Dining
- 8 Outdoor Theater
- 9 Reflective Pool
- 10 Water Fall
- 11 Bedroom
- 12 Closet
- 13 Bathroom
- 14 Deck
- 15 Existing Pool
- 16 Float Pool
- 17 Pool Shower Room
- 18 6 Car Garage
- 19 Living Room
- 20 Fire Place
- 21 Wet Bar
- 22 Kitchen
- 23 Dining
- 24 Laundry
- 25 Office
- 26 Exercise Room
- 27 Family/TV Room
- 28 Uncovered Balcony

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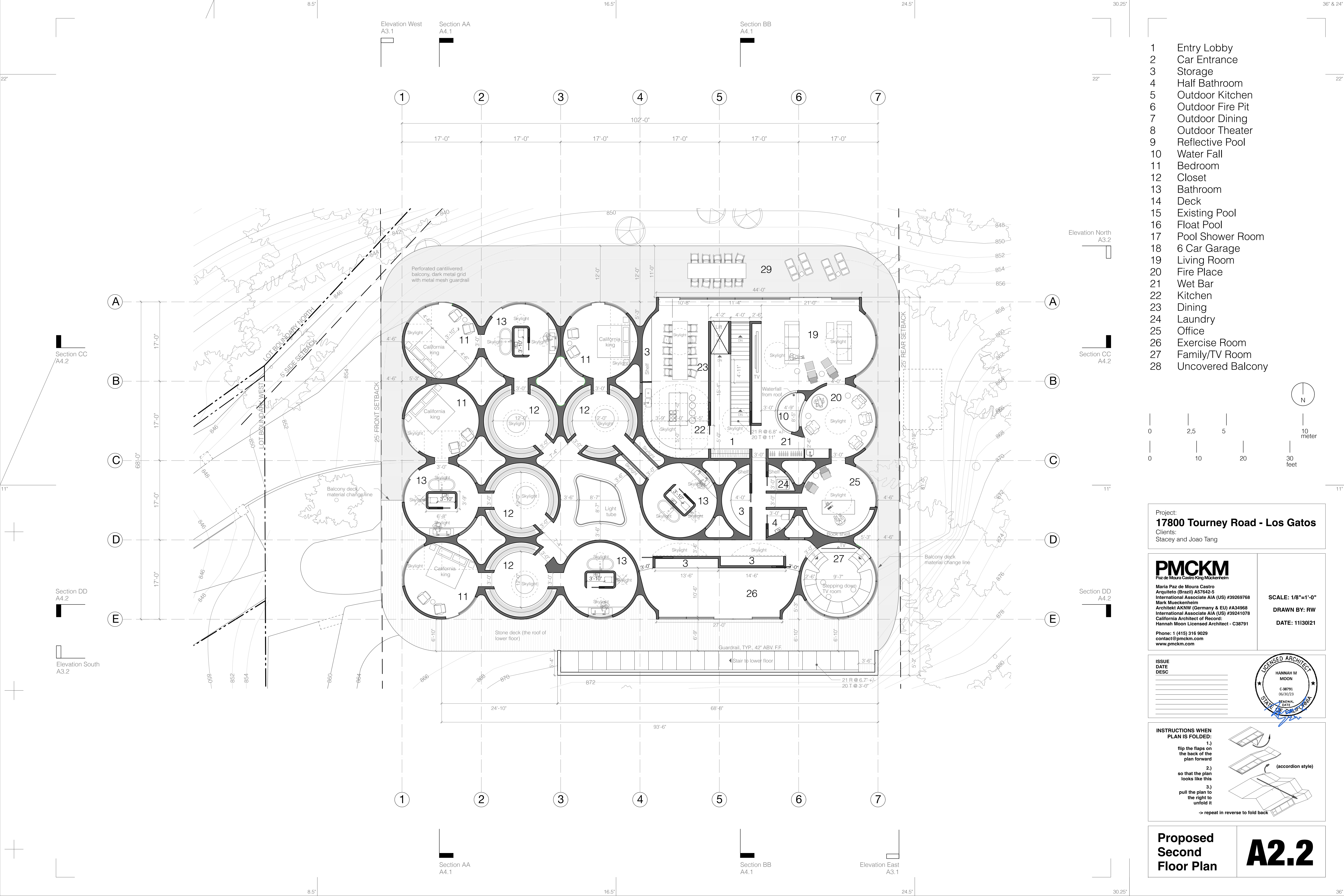
2.)
pull the plan to
the right to
unfold it

3.)
repeat in reverse to fold back

(accordion style)

Proposed
Ground
Floor Plan

A2.1



- 1 Entry Lobby
- 2 Car Entrance
- 3 Storage
- 4 Half Bathroom
- 5 Outdoor Kitchen
- 6 Outdoor Fire Pit
- 7 Outdoor Dining
- 8 Outdoor Theater
- 9 Reflective Pool
- 10 Water Fall
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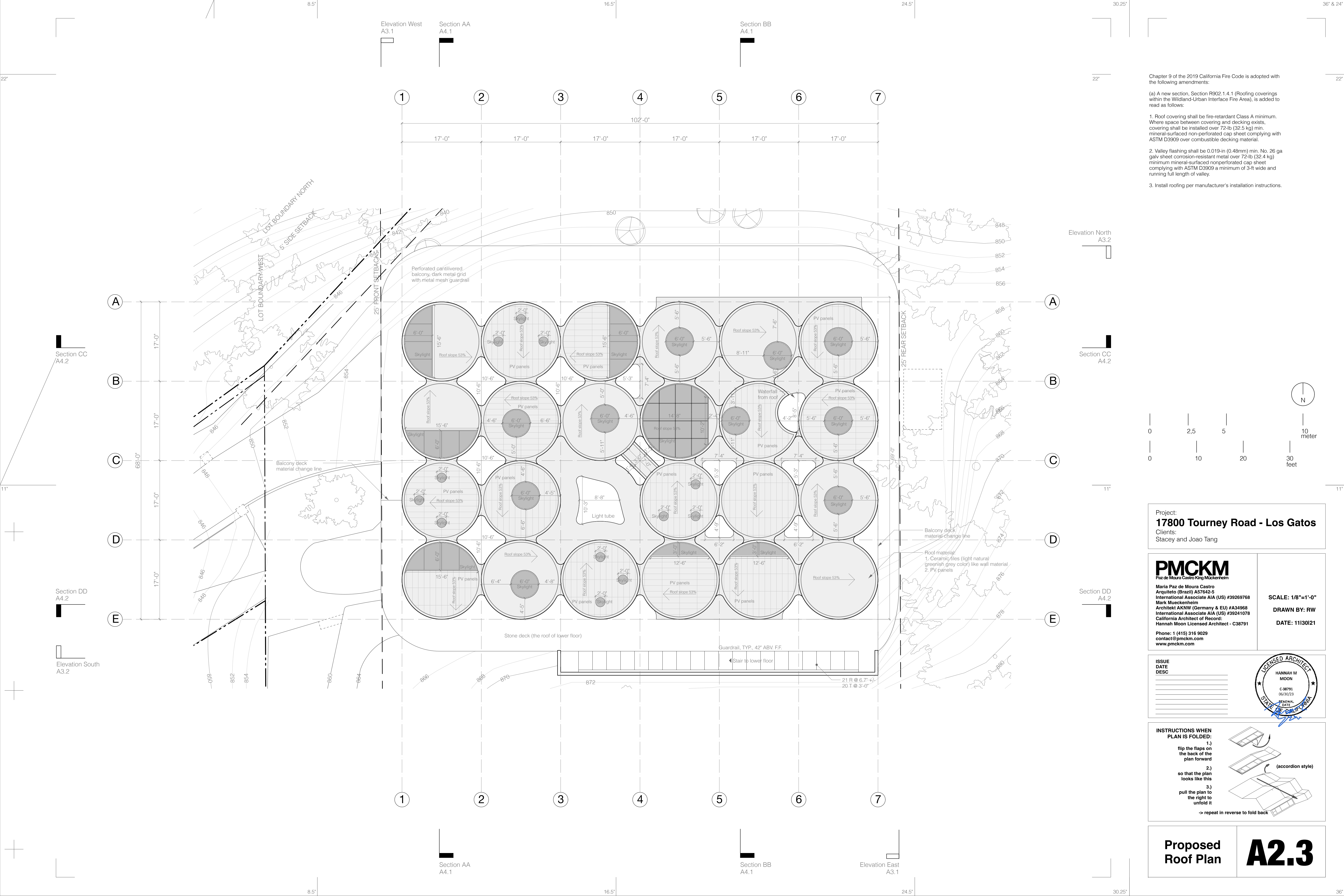
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1.
2.
3.

(accordion style)

Proposed
Second
Floor Plan

A2.2



Chapter 9 of the 2019 California Fire Code is adopted with the following amendments:

(a) A new section, Section R902.1.4.1 (Roofing coverings within the Wildland-Urban Interface Fire Area), is added to read as follows:

1. Roof covering shall be fire-retardant Class A minimum. Where space between covering and decking exists, covering shall be installed over 72-lb (32.5 kg) min. mineral-surfaced non-perforated cap sheet complying with ASTM D3909 over combustible decking material.

2. Valley flashing shall be 0.019-in (0.48mm) min. No. 26 galv sheet corrosion-resistant metal over 72-lb (32.4 kg) minimum mineral-surfaced nonperforated cap sheet complying with ASTM D3909 a minimum of 3-ft wide and running full length of valley.

3. Install roofing per manufacturer's installation instructions.

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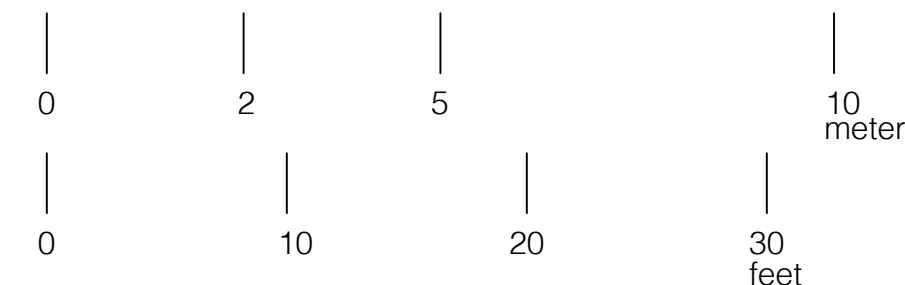
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(accordion style)

Proposed
Roof Plan

A2.3



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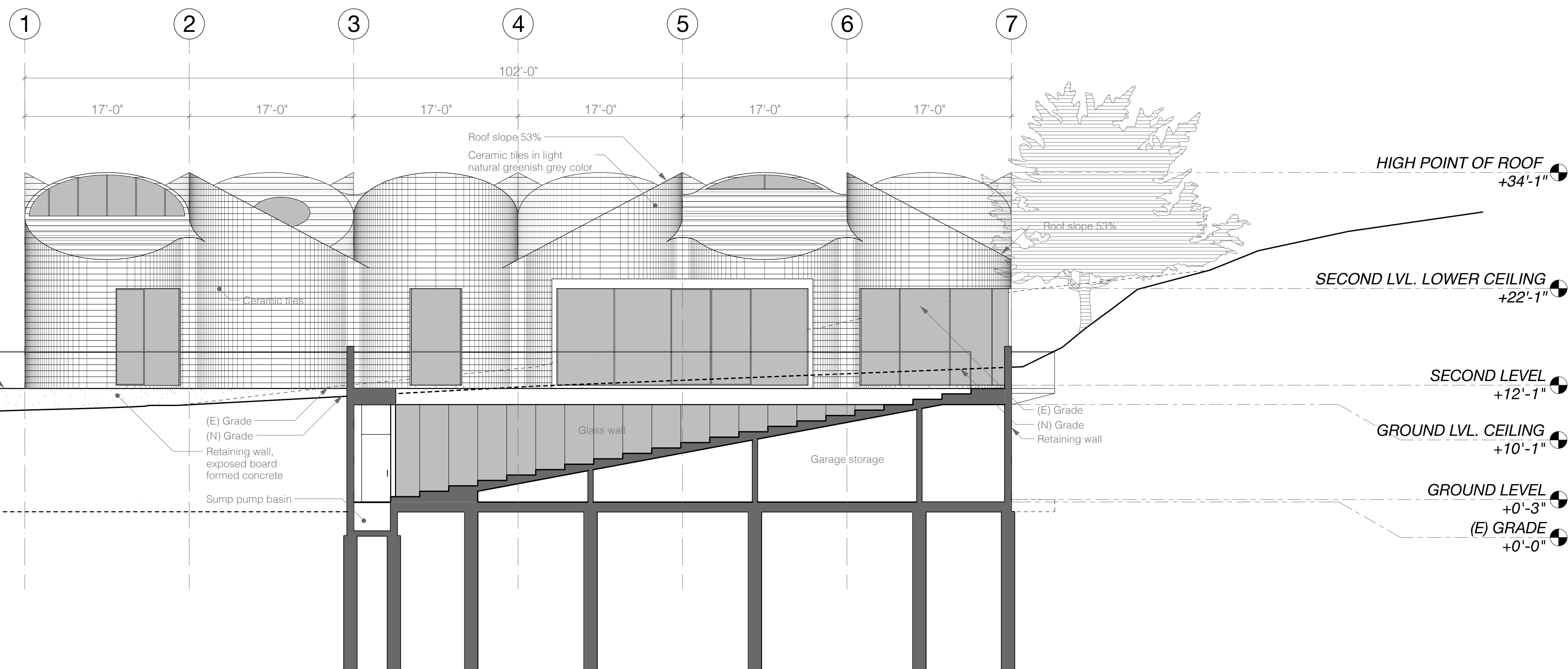
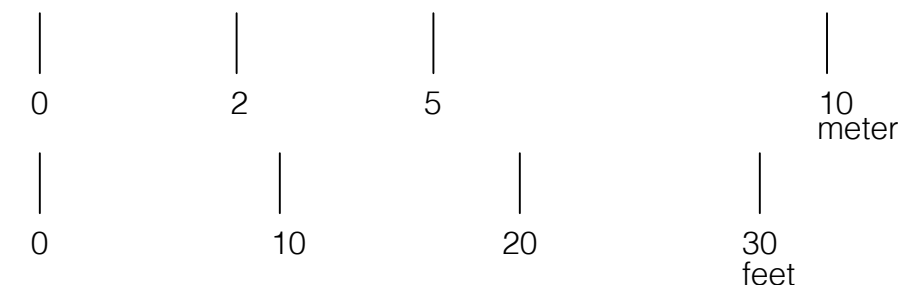
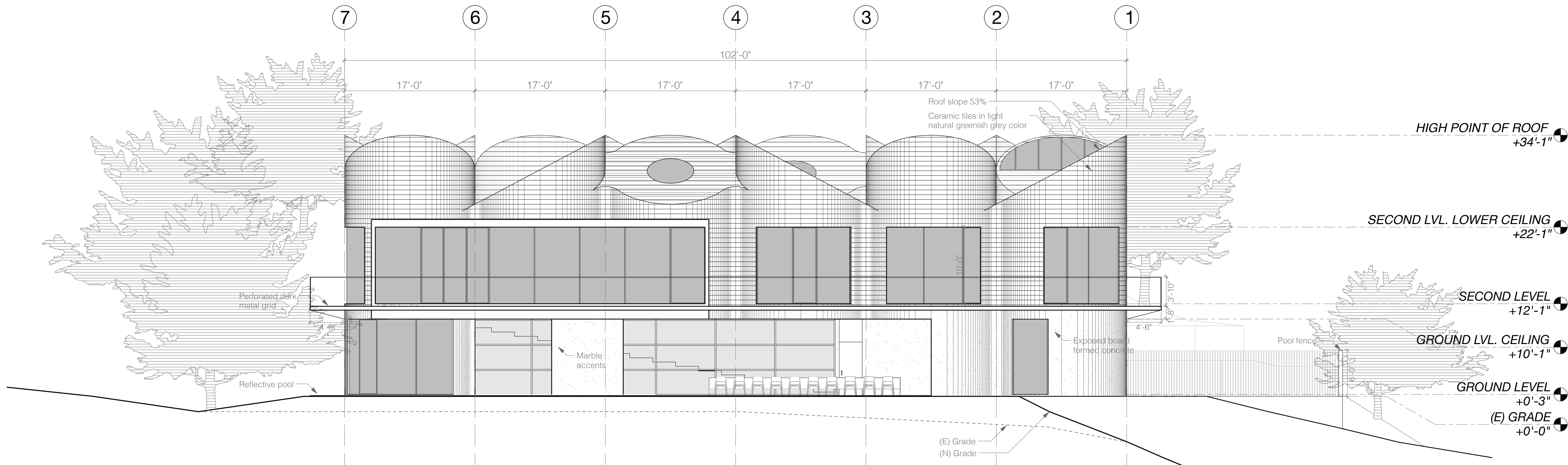
DATE: 11/30/21

A circular professional seal for Hannah M. Moon, a Licensed Architect in the State of California. The seal contains the following text: "LICENSED ARCHITECT" at the top, "HANNAH M. MOON" in the center, "C-38791" below the name, "06/30/23" for the expiration date, and "RENEWAL DATE" below that. The outer ring of the seal reads "STATE OF CALIFORNIA". There are two stars on the left and right sides of the seal. A blue ink signature is written across the bottom of the seal.

(accordian style)

reverse to fold back

A3.1



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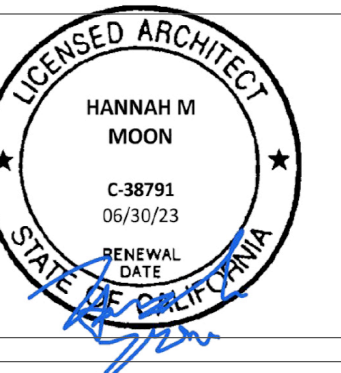
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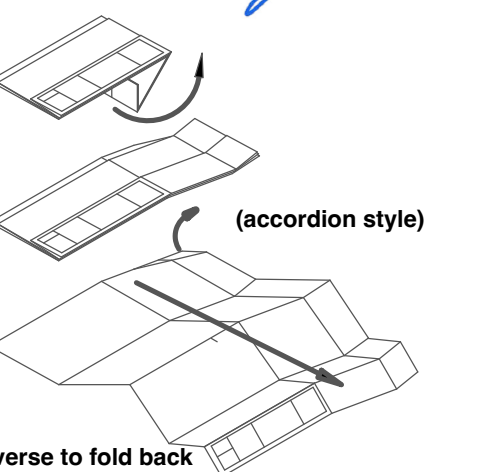
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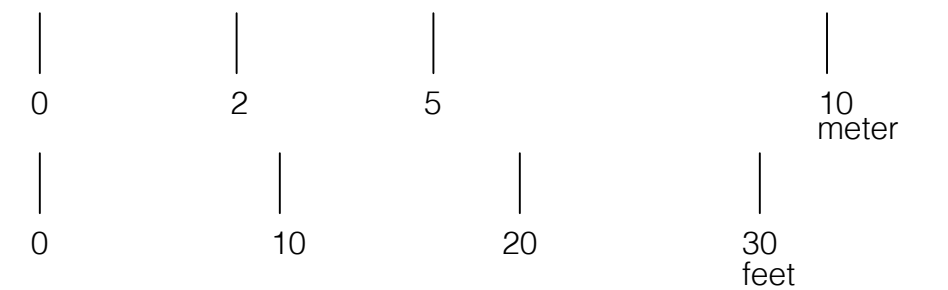
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North & South
Elevations

A3.2

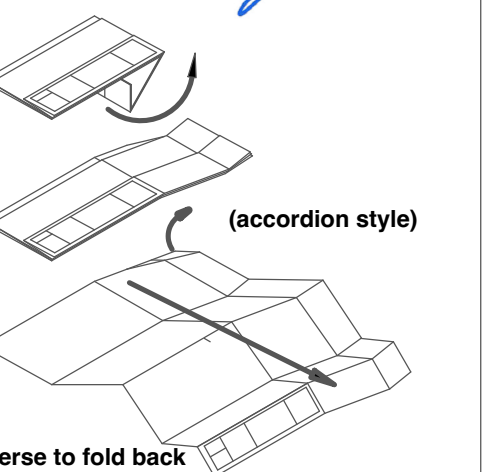


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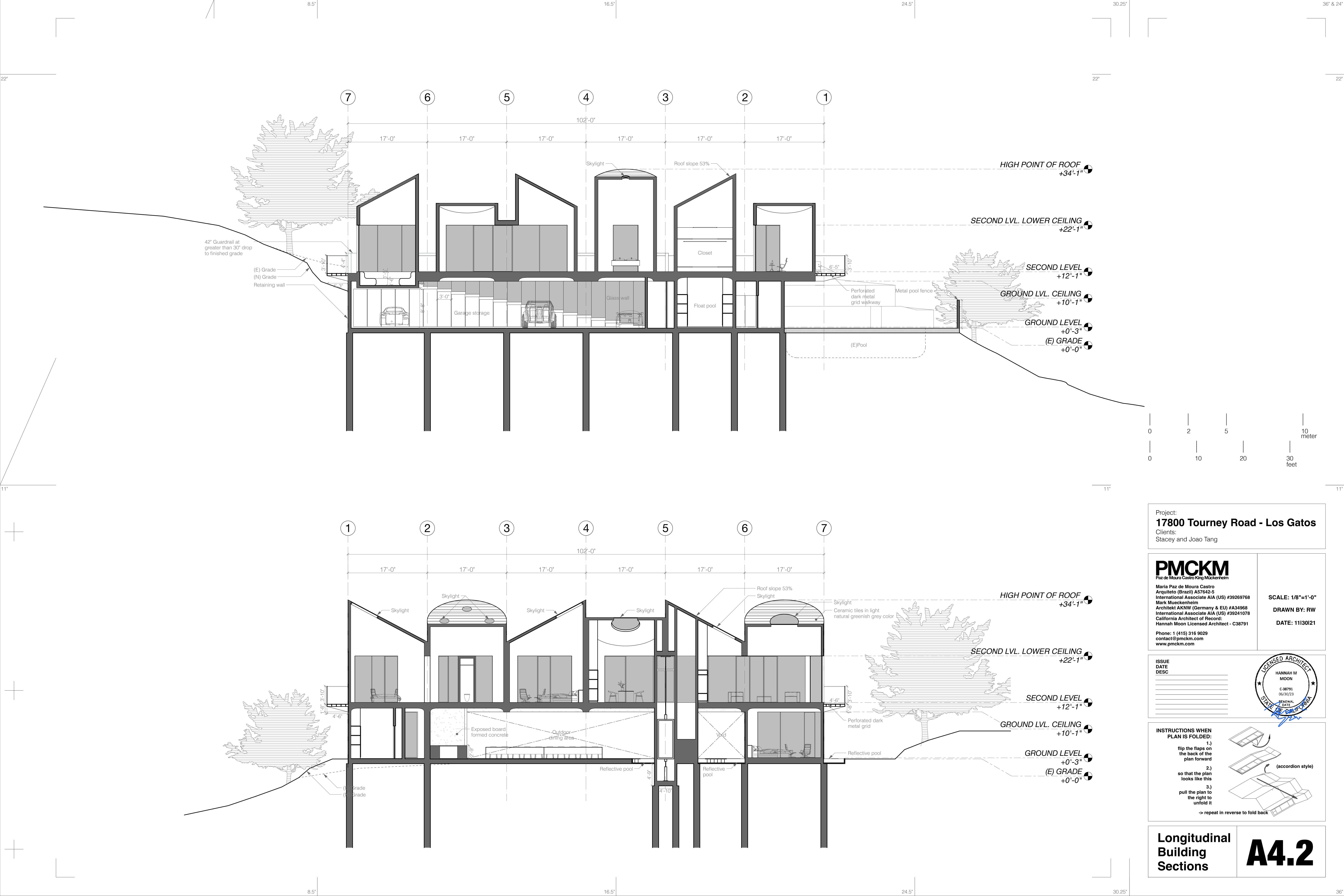
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A4.1



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Longitudinal
Building
Sections

A4.2