

**SOUTH VALLEY FREEWAY  
HWY 101**  
(WIDTH VARIES)  
ABUTTERS RIGHTS OF INGRESS & EGRESS RELINQUISHED  
PER DOC. NO. 4000095, DOC. NO. 4424476 & DOC NO. 5205981

### LEGEND

- PROPERTY BOUNDARY
- LOT LINE
- - - EASEMENT
- - - PROPOSED DEDICATION
- - - EXISTING FENCE
- - - EXISTING FENCE
- - - FLOW LINE
- - - FLOOD ZONE LIMIT
- - - TOP BANK LLAGAS CREEK
- - - EDGE OF GRAVEL ROAD

### ABBREVIATIONS

- DI DRAIN INLET
- CB CATCH BASIN
- SSCO SANITARY SEWER CLEANOUT
- WM WATER METER
- WV WATER VALVE
- FH FIRE HYDRANT
- C&G CURB & GUTTER
- AC AIR CONDITIONER
- D DRAIN
- ASP ASPHALT
- ICV IRRIGATION CONTROL VALVE
- EB ELECTRIC BOX
- PE POOL EQUIPMENT
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MAN HOLE
- P1 PERCOLATION PIPE
- SP1 SOL PROFILE
- E ELECTRIC SERVICE
- G GAS SERVICE
- CMP CORRUGATED METAL PIPE
- EXISTING PERC PIPE

- ### NOTES
- (1) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
  - (2) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
  - (3) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
  - (4) BUILDING DIMENSIONS SHOWN ON THIS MAP ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.
  - (5) THE FEMA FLOOD ZONE LIMIT IS APPROXIMATE
  - (6) THE FENCE SHOWN ALONG THE WATER DISTRICT PROPERTY IS APPROXIMATE BUT DOES FOLLOW THE PROPERTY LINE.



### VICINITY MAP

-NTS-

### PROJECT NOTES

SUBDIVISION NAME: TENTATIVE MAP FOR JUAN CONTRERAS  
11520 MURPHY AVENUE PARCEL MAP  
PROPOSED THREE-LOT SUBDIVISION

OWNER/SUBDIVIDER: JUAN CONTRERAS  
11520 MURPHY AVENUE  
GILROY, CA 95020  
(650) 556-3767

SIGNATURE:

LAND SURVEYOR: CARNES & EKAPRIAN INC.  
9505 SUGAR BABE DRIVE  
GILROY, CA 95020  
(408) 847-2013

LEGAL DESIGNATION: GRANT DEED: DOC. No. 23198768  
APN: 830-05-062

EXISTING ZONING: RR-5A

EXISTING STRUCTURES: HOUSE AND 2 WELLS.

PROPOSED USE: DIVIDE INTO THREE (3) FIVE-ACRE  
RESIDENTIAL PARCELS. NO RESTRICTIONS  
ARE PROPOSED.

PROPOSED PUBLIC AREAS: THERE ARE NO PUBLIC AREAS  
PROPOSED.

DEDICATIONS:

GEOLOGICAL HAZARDS: NO GEOLOGICAL HAZARDS.

DOC. No. 17886953  
APN: 830-05-048

### STATEMENT OF DEDICATION

I (WE) HEREBY DEDICATE TO PUBLIC USE AND OFFER TO DEDICATE TO THE COUNTY OF SANTA CLARA ALL STREET AND PORTIONS OF STREET NOT HERETOFORE EXISTING AND DESIGNATED AS MURPHY AVENUE AS SHOWN ON THIS MAP; SAID DEDICATIONS AND OFFERS OF DEDICATION ARE FOR ANY AND ALL PUBLIC USES UNDER, UPON AND OVER SIDE STREET AND PORTIONS THEREOF.

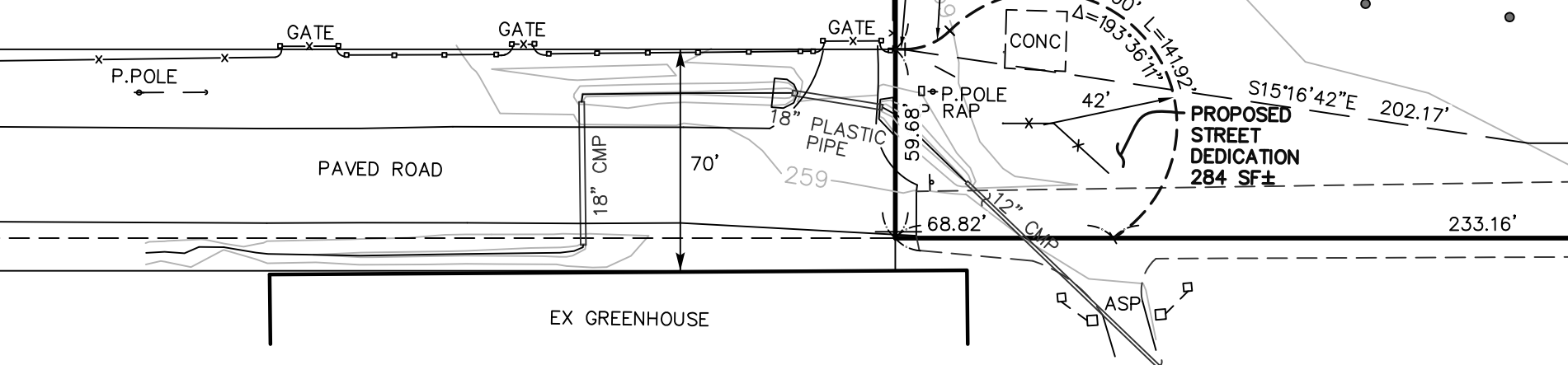
### BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CHURCH AVENUE AS FOUND MONUMENTED AND RECORDED AS N66°11'00"E IN BOOK 908 OF MAPS, AT PAGES 38-39, SANTA CLARA COUNTY RECORDS.

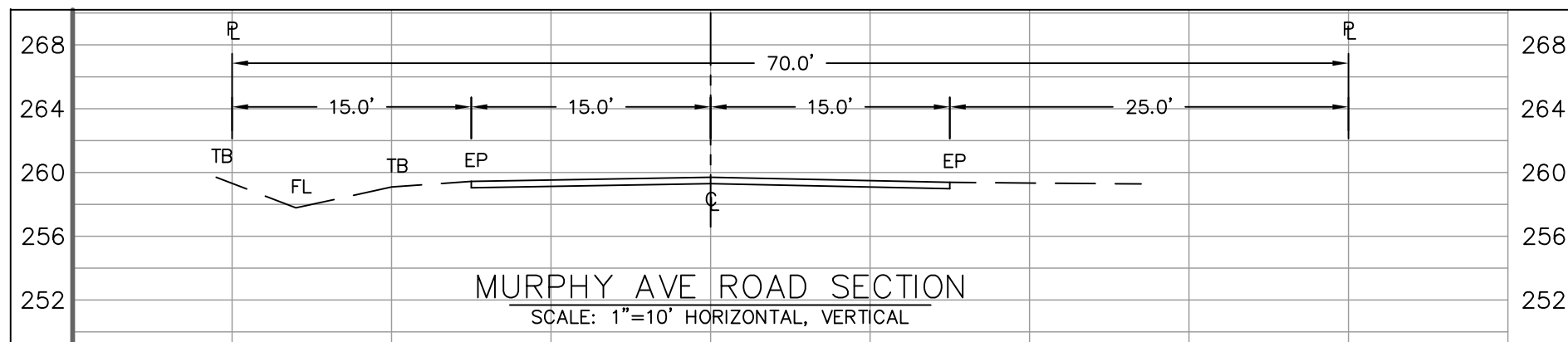
### BASIS OF ELEVATIONS

THE ELEVATIONS SHOWN ON THIS MAP ARE BASED ON THE VALLEY WATER BENCHMARK No. 315.  
ELEVATION = 267.89' (NAVD88)

### MURPHY AVE (70 FEET WIDE)



### FLOOD ZONE A0 (DEPTH 1')



MURPHY AVE ROAD SECTION  
SCALE: 1"=10' HORIZONTAL, VERTICAL

### FLOOD ZONE AH (EL. 256)

PARCEL 1  
5.000 ACRES (GROSS)

PARCEL 2  
5.204 ACRES (GROSS)

### FLOOD ZONE AH (EL. 256)

PARCEL 3  
5.003 ACRES (GROSS)

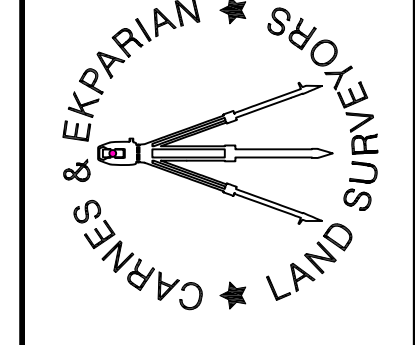
### FLOOD ZONE D

### FLOOD ZONE AE

### FLOOD ZONE AE

DOC. No. 14265977  
APN: 830-04-037

**Carnes & Ekparian, Inc.**  
LAND SURVEYORS  
9505 SUGAR BABE DRIVE GILROY, CA 95020  
T: (408) 847-2013 F: (408) 846-7248  
EMAIL: OFFICE@CE-PLS.COM



No.	DATE	REVISION
1	05/21/21	REVISE LOT LINES
2	12/13/21	UPDATED TOP BANK OF CREEK, DI AND GRAVEL ROAD
3	1/26/22	REVISED PROPOSED DEDICATION
4	10/19/22	REVISED P. DEDICATION, REVISED PERCOLATION PIPE, REVISED FLOOD ZONE LIMIT

**TENTATIVE PARCEL MAP  
FOR JUAN CONTRERAS  
11520 MURPHY AVENUE  
CITY OF GILROY, CALIF.**

SHEET	1	OF	1
DATE :	12-17-2020	SCALE :	1" = 50'
DRAWN BY :	C.L./J.H.	PROJ. MANAGER :	D.E.
Job No. 1608			
DWG. NUMBER			

12/15/22 ADDED MISSING WELLS & STATEMENT OF DEDICATION TO

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY... AND DATED... THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS...

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IT SHALL BE STRIPPED OF ALL VEGETATION TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL...

Table with columns: LOCATION, CUT (C.Y.), FILL (C.Y.), VERT. DEPTH. Rows include RESIDENCE, ACCESSORY STRUCTURE, CUL-DE-SAC, LANDSCAPE, DRIVEWAY, OFF SITE IMPROVEMENTS, and TOTAL.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE.

- 7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD. 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE.

TREE PROTECTION

- 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES...

ACCESS ROADS AND DRIVEWAYS

- 1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1/4 INCHES PER FOOT).

STREET LIGHTING

- 1. PACIFIC GAS & ELECTRIC ELECTROLUER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- 1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.

PORTLAND CEMENT CONCRETE

- 1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) IN ACCORDANCE WITH THE STATE STANDARD SPECIFICATION FOR CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD.

CONSTRUCTION STAKING

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 1/2 FEET FROM BACK OF CURB.

CONSTRUCTION INSPECTION

- 1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. 2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION.

SITE PREPARATION (CLEARING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS: A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO PUBLIC USE).

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND UTILITIES. 2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY.

RETAINING WALLS

- 1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL.

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. 2. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.

- 12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDB. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL DITCH OUTFALLS.

- 16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR. 17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE.

STORM DRAINAGE AND STORMWATER MANAGEMENT

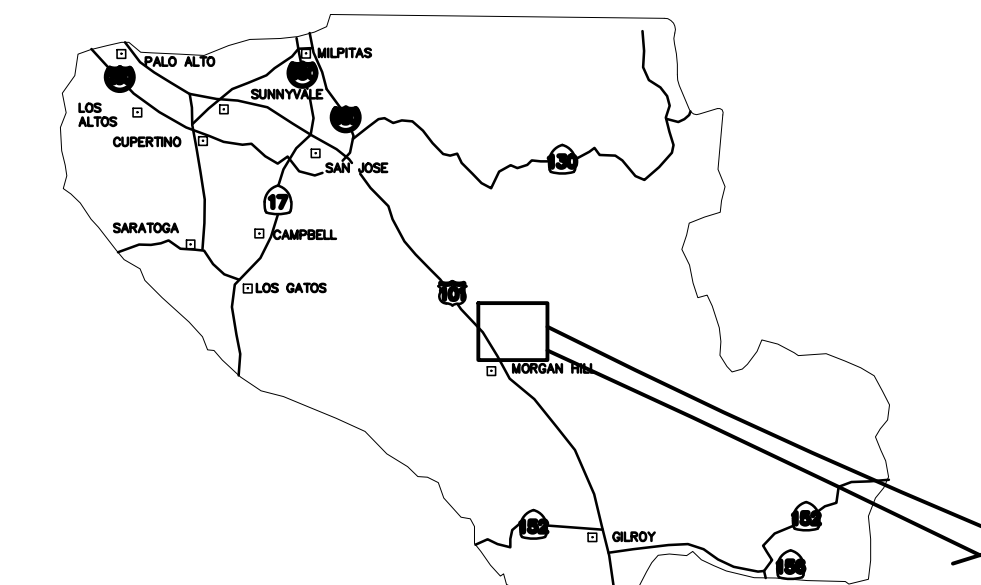
- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS, THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (\*). THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

DATE SIGNATURE

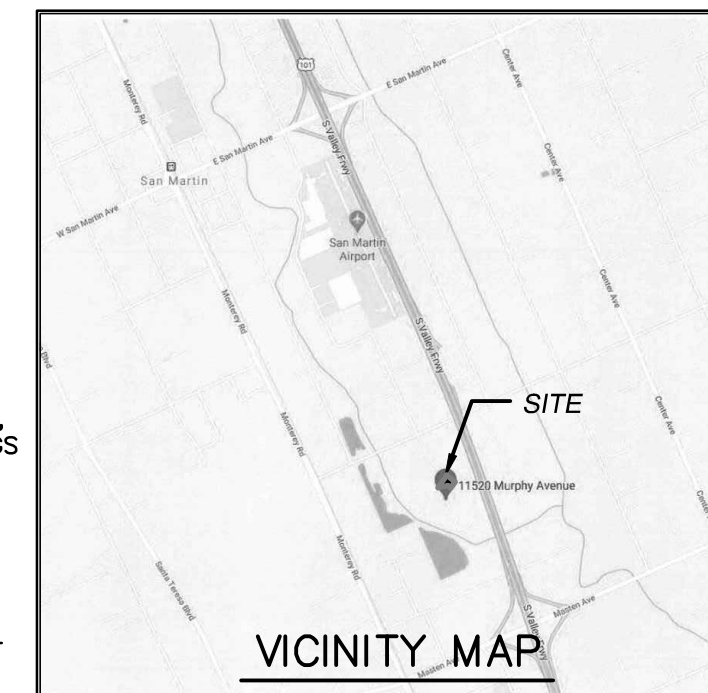
NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPY OF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTER CONSTRUCTION.



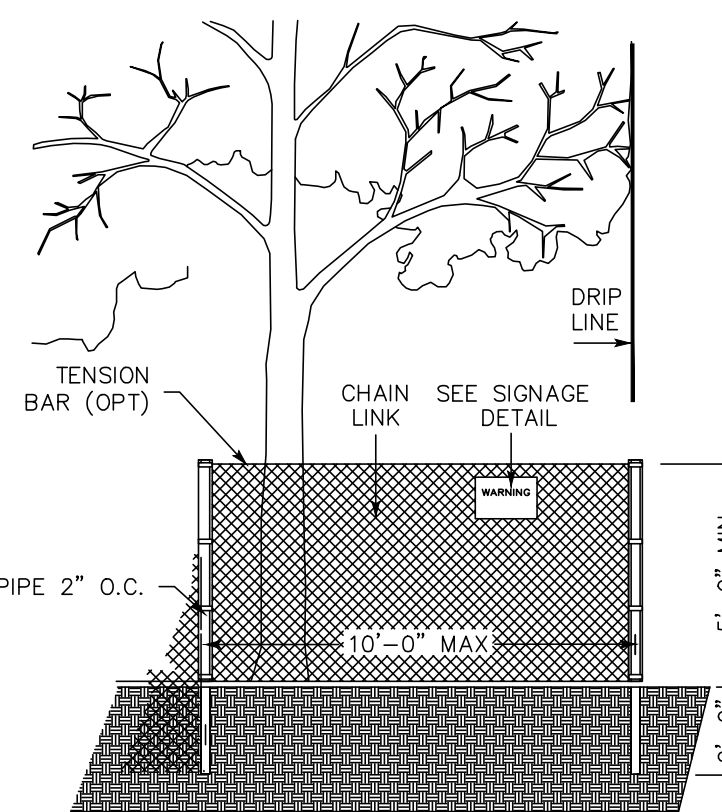
COUNTY LOCATION

SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES. 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY.



MAP



EXISTING TREE PROTECTION DETAILS

- 1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION.

LEGEND

Table with columns: DESCRIPTION, TO BE CONST., EXISTING. Lists various construction elements like property line, limits of work, curb and gutter, sidewalk, etc.

SHEET INDEX

Table listing sheet numbers and titles: 1 TITLE SHEET, 2 OVERALL SITE DEVELOPMENT PLAN, 3 SITE GRADING PLAN-PARCEL 1, etc.

ENGINEER'S NAME: MARK E. SORENSON
ADDRESS: 5138 Keystone Drive, Fremont, Ca. 94536
PHONE NO. 925-683-2910

TITLE SHEET

PROJECT NO. CONTRERAS PLOT DATE: 01-20-2023

Table with columns: Revision, Date, APN, Co. File, PLN18-11442, Sheet of 8.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS
ISSUED BY: DATE: ENCROACHMENT PERMIT NO.

COUNTY OF SANTA CLARA
LAND DEVELOPMENT ENGINEERING & SURVEYING
GRADING / DRAINAGE PERMIT NO. ISSUED BY: DATE:

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO.

Signature of Mark E. Sorenson

DATE 01-20-2023 C67498
R.C.E. NO. 06-30-2023
EXPIRATION DATE


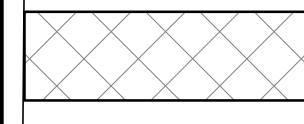

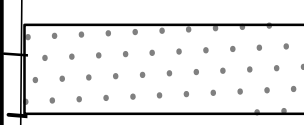
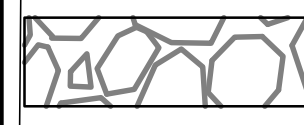
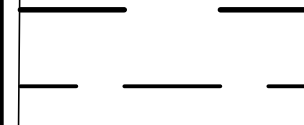
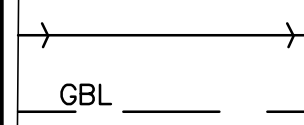
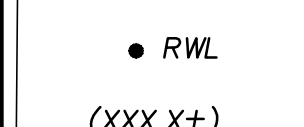
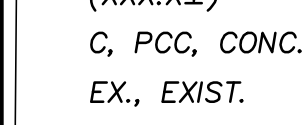
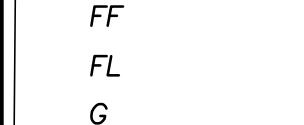
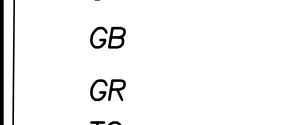
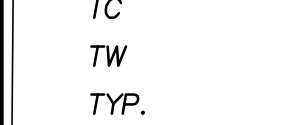




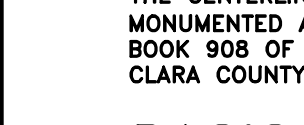



COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE SIGNATURE
CHRISTOPHER L. FREITAS 42107 3/31/2022
R.C.E. NO. EXPIRATION DATE

PLAN # OF SHEET 3-7-2021

# GRADING & PAVING LEGEND

-  NEW ASPHALT PAVEMENT  
2" AC ON 6" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (95%)
-  REMOVE EXISTING GRAVEL DRIVEWAY
-  FLOOD ZONE AH ELEVATION 256
-  GRAVEL DRIVEWAY  
2" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (90%)
-  GRAVEL ROAD  
2" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (90%)  
LIMIT OF GRADING
-  SAW CUT LINE
-  DRAINAGE FLOW LINE
-  GRADE BREAK LINE
-  RAIN WATER LEADER
-  MATCH EXISTING GRADE
-  PORTLAND CEMENT CONCRETE
-  EXISTING
-  FINISH FLOOR
-  FLOW LINE
-  GROUND
-  GRADE BREAK
-  GRAVEL ROAD
-  TOP OF CURB
-  TOP OF WALL
-  TYPICAL

DOC. No. 17886953  
APN: 830-05-048

### BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CHURCH AVENUE AS FOUND MONUMENTED AND RECORDED AS N66°11'00"E IN BOOK 908 OF MAPS, AT PAGES 38-39, SANTA CLARA COUNTY RECORDS.

### BASIS OF ELEVATIONS

THE ELEVATIONS SHOWN ON THIS MAP ARE BASED ON THE VALLEY WATER BENCHMARK No. 315.  
ELEVATION = 267.89' (NAV088)

Parcel 1= 5.000acres - Parcel 2= 5.204acres - Parcel 3= 5.003acres  
Addition of new Cul-de-Sac at the end of Murphy Ave

Project Watershed/Receiving Water (creek, river): Llagas Creek

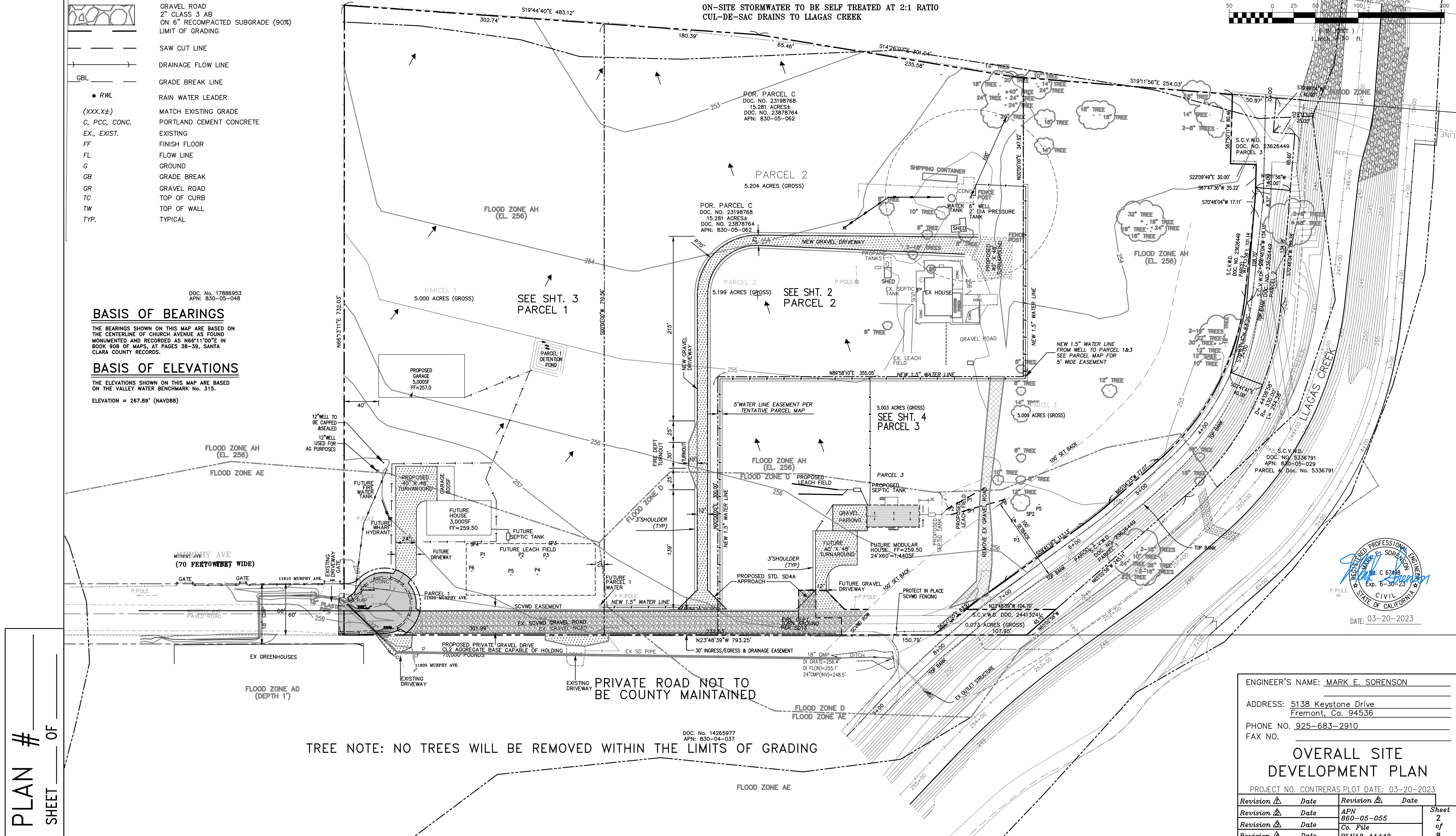
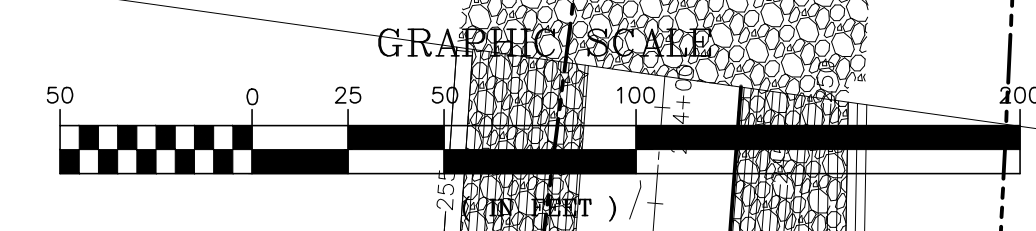
1. Total Project Area	682,417	ft <sup>2</sup>
2. Pre-Project		
(a) Impervious Area	4,750	ft <sup>2</sup>
(b) Pervious Area	657,710	ft <sup>2</sup>
3. Post-Project		
(a) Replaced Impervious Area		ft <sup>2</sup>
(b) New Impervious Area	4,728	ft <sup>2</sup>
(c) Total Post-Project Impervious Area (sum of Line 3a and Line 3b)	4,728	ft <sup>2</sup>
(d) Post-Project Pervious Area	652,682	ft <sup>2</sup>
Net Impervious Area		
4. Reduced Impervious Area Credit (Line 3a minus Line 3c)	22	ft <sup>2</sup>
5. Net Impervious Area (Line 3c minus Line 4)	4,706	ft <sup>2</sup>

### EARTHWORK SUMMARY

USE	CUT C.Y.	FILL C.Y.	IMPORT C.Y. 2"AB	IMPORT C.Y. 4"AB	AC PAVE C.Y. 4"AC	MAX. VERTICAL DEPTH
CUL-DE-SAC:	4,728 SF	90	0	57	47	1.0 FT
3,822 SF AC SEE SHT 5						
GRAVEL ACCESS PARCEL 2&3	16,970 SF	15	0	105		0.5 FT
19,970 SF						
STOCKPILE	90±	0±			N/A	

EXPORT DIRT TO BE EVENLY DISTRIBUTED AT SITE

ON-SITE STORMWATER TO BE SELF TREATED AT 2:1 RATIO  
CUL-DE-SAC DRAINS TO LLAGAS CREEK



TREE NOTE: NO TREES WILL BE REMOVED WITHIN THE LIMITS OF GRADING

PLAN # \_\_\_\_\_ OF \_\_\_\_\_ SHEET

ENGINEER'S NAME: MARK E. SORENSON  
ADDRESS: 5138 Keystone Drive  
Fremont, Ca. 94536  
PHONE NO. 925-683-2910  
FAX NO. \_\_\_\_\_

### OVERALL SITE DEVELOPMENT PLAN

PROJECT NO. CONTRERAS PLOT DATE: 03-20-2023

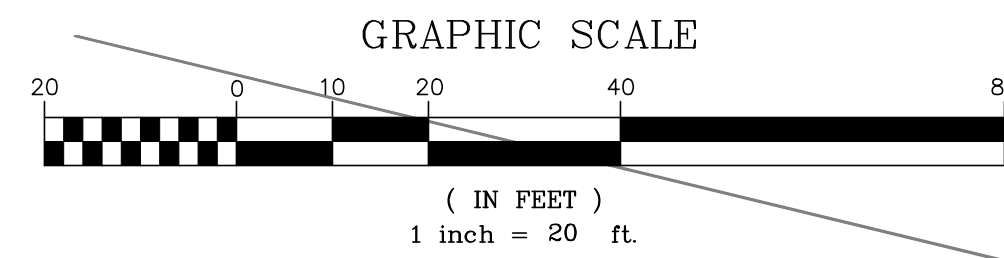
Revision	Date	Revision	Date
Revision A	Date	Revision B	Date
Revision C	Date	Revision D	Date
Revision E	Date	Revision F	Date

**BASIS OF BEARINGS**

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CHURCH AVENUE AS FOUND MONUMENTED AND RECORDED AS N66°11'00"E IN BOOK 908 OF MAPS, AT PAGES 38-39, SANTA CLARA COUNTY RECORDS.

**BASIS OF ELEVATIONS**

THE ELEVATIONS SHOWN ON THIS MAP ARE BASED ON THE VALLEY WATER BENCHMARK No. 315.  
ELEVATION = 267.89' (NAV88)



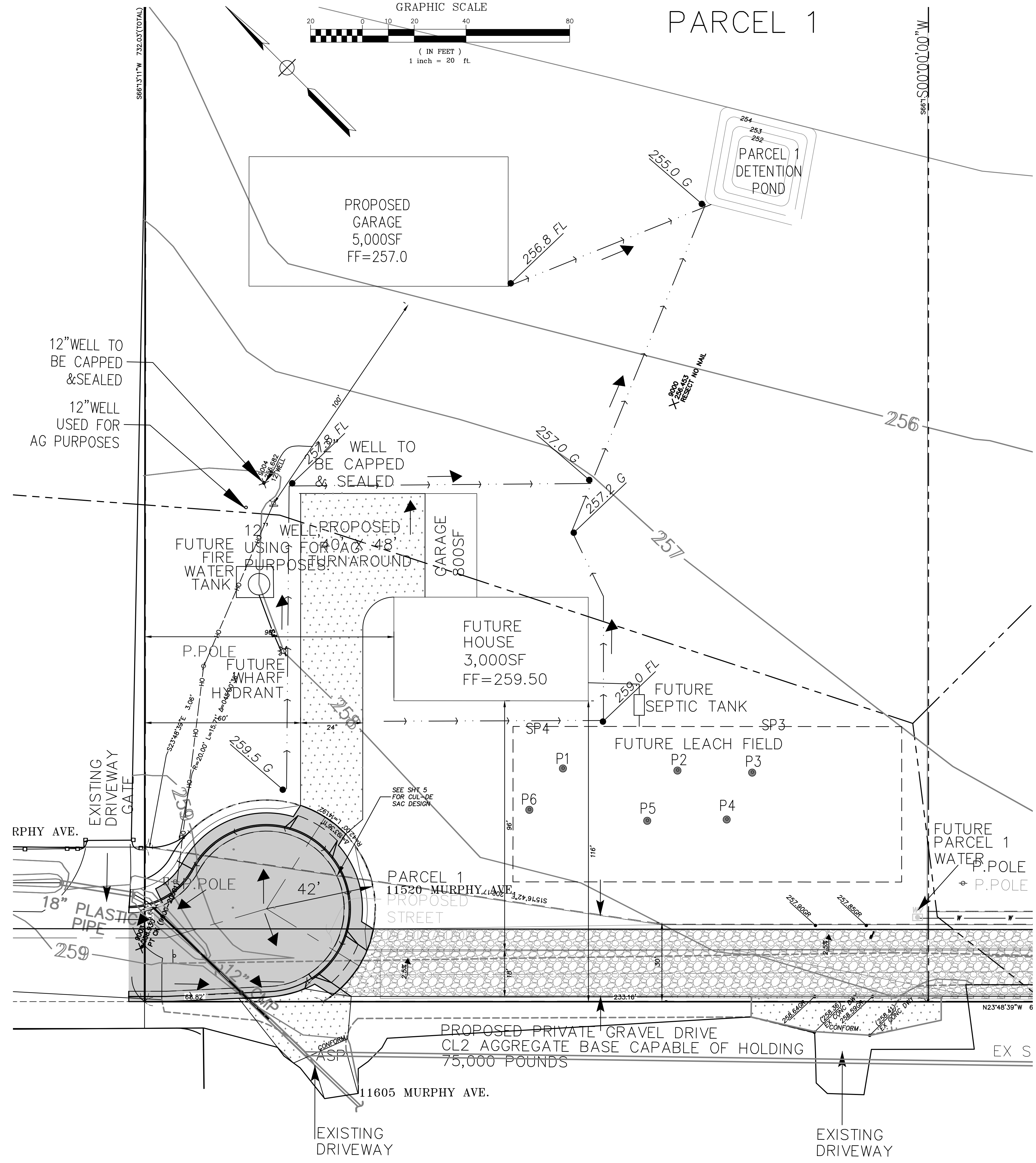
**PARCEL 1**

**GENERAL NOTES**

1. THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADESTAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS AND OTHER REFERENCE MARKERS AND INFORMATION NECESSARY TO COMPLETE THE WORK AND SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.
2. ANY INCONSISTENCIES IN EXISTING OR PROPOSED ELEVATIONS SHALL BE BROUGHT TO THE NOTICE OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONSTRUCTION OR AS SOON AS DISCOVERED.
3. IN THE EVENT THAT ANY UNKNOWN UNDERGROUND TANKS OR STRUCTURES OR UTILITY LINES ARE DISCOVERED ON THE SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE TO DETERMINE THE DISPOSITION OF THE STRUCTURE.
4. CONTRACTOR SHALL IMPORT REQUIRED MATERIALS OR EXPORT EXCESS AS REQUIRED TO ESTABLISH PLAN GRADES. EXCESS MATERIAL IF ANY SHALL BE DISPOSED OFF-SITE AT COUNTY APPROVED DUMPSITE.
5. EXISTING WATER, STORM AND SANITARY INVERTS SHALL BE EXPOSED AND VERIFIED PRIOR TO ANY NEW CONSTRUCTION.

**GRADING & PAVING LEGEND**

- NEW ASPHALT PAVEMENT  
2 1/2" AC ON 6" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (95%)
- REMOVE EXISTING GRAVEL DRIVEWAY
- FLOOD ZONE AH ELEVATION 256
- GRAVEL DRIVEWAY  
2" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (90%)
- GRAVEL ROAD  
2" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (90%)  
LIMIT OF GRADING
- SAW CUT LINE
- DRAINAGE FLOW LINE
- GRADE BREAK LINE
- RAIN WATER LEADER
- MATCH EXISTING GRADE
- PORTLAND CEMENT CONCRETE
- EXIST.
- FINISH FLOOR
- FLOW LINE
- GROUND
- GRADE BREAK
- GRAVEL ROAD
- TC
- TW
- TYP.



DATE: 03-20-2023

ENGINEER'S NAME: MARK E. SORENSON  
 ADDRESS: 5138 Keystone Drive  
 Fremont, Ca. 94536  
 PHONE NO. 925-683-2910  
 FAX NO.

**SITE GRADING PLAN  
PARCEL 1**

PROJECT NO. CONTRERAS PLOT DATE: 03-20-2023

Revision	Date	Revision	Date
Revision A	Date	Revision B	Date
Revision C	Date	Revision D	Date
Revision E	Date	Revision F	Date

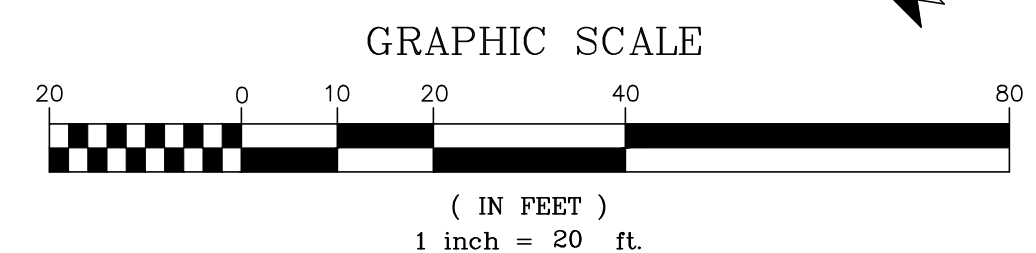
PLAN # \_\_\_\_\_ OF \_\_\_\_\_ SHEET \_\_\_\_\_

**GENERAL NOTES**

1. THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADESTAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS AND OTHER REFERENCE MARKERS AND INFORMATION NECESSARY TO COMPLETE THE WORK AND SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.
2. ANY INCONSISTENCIES IN EXISTING OR PROPOSED ELEVATIONS SHALL BE BROUGHT TO THE NOTICE OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONSTRUCTION OR AS SOON AS DISCOVERED.
3. IN THE EVENT THAT ANY UNKNOWN UNDERGROUND TANKS OR STRUCTURES OR UTILITY LINES ARE DISCOVERED ON THE SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE TO DETERMINE THE DISPOSITION OF THE STRUCTURE.
4. CONTRACTOR SHALL IMPORT REQUIRED MATERIALS OR EXPORT EXCESS AS REQUIRED TO ESTABLISH PLAN GRADES. EXCESS MATERIAL IF ANY SHALL BE DISPOSED OFF-SITE AT COUNTY APPROVED DUMPSITE.
5. EXISTING WATER, STORM AND SANITARY INVERTS SHALL BE EXPOSED AND VERIFIED PRIOR TO ANY NEW CONSTRUCTION.

**GRADING & PAVING LEGEND**

- NEW ASPHALT PAVEMENT  
2 1/2" AC ON 6" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (95%)
- REMOVE EXISTING GRAVEL DRIVEWAY
- FLOOD ZONE AH ELEVATION 256
- GRAVEL DRIVEWAY  
2" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (90%)
- GRAVEL ROAD  
2" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (90%)
- LIMIT OF GRADING
- SAW CUT LINE
- DRAINAGE FLOW LINE
- GRADE BREAK LINE
- RAIN WATER LEADER
- MATCH EXISTING GRADE
- PORTLAND CEMENT CONCRETE
- EXISTING
- FINISH FLOOR
- FLOW LINE
- GROUND
- GRADE BREAK
- GRAVEL ROAD
- TOP OF CURB
- TOP OF WALL
- TYP.



**BASIS OF BEARINGS**

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CHURCH AVENUE AS FOUND MONUMENTED AND RECORDED AS N66°11'00"E IN BOOK 908 OF MAPS, AT PAGES 38-39, SANTA CLARA COUNTY RECORDS.

**BASIS OF ELEVATIONS**

THE ELEVATIONS SHOWN ON THIS MAP ARE BASED ON THE VALLEY WATER BENCHMARK NO. 315.  
ELEVATION = 267.89' (NAVD88)



ENGINEER'S NAME: MARK E. SORENSON

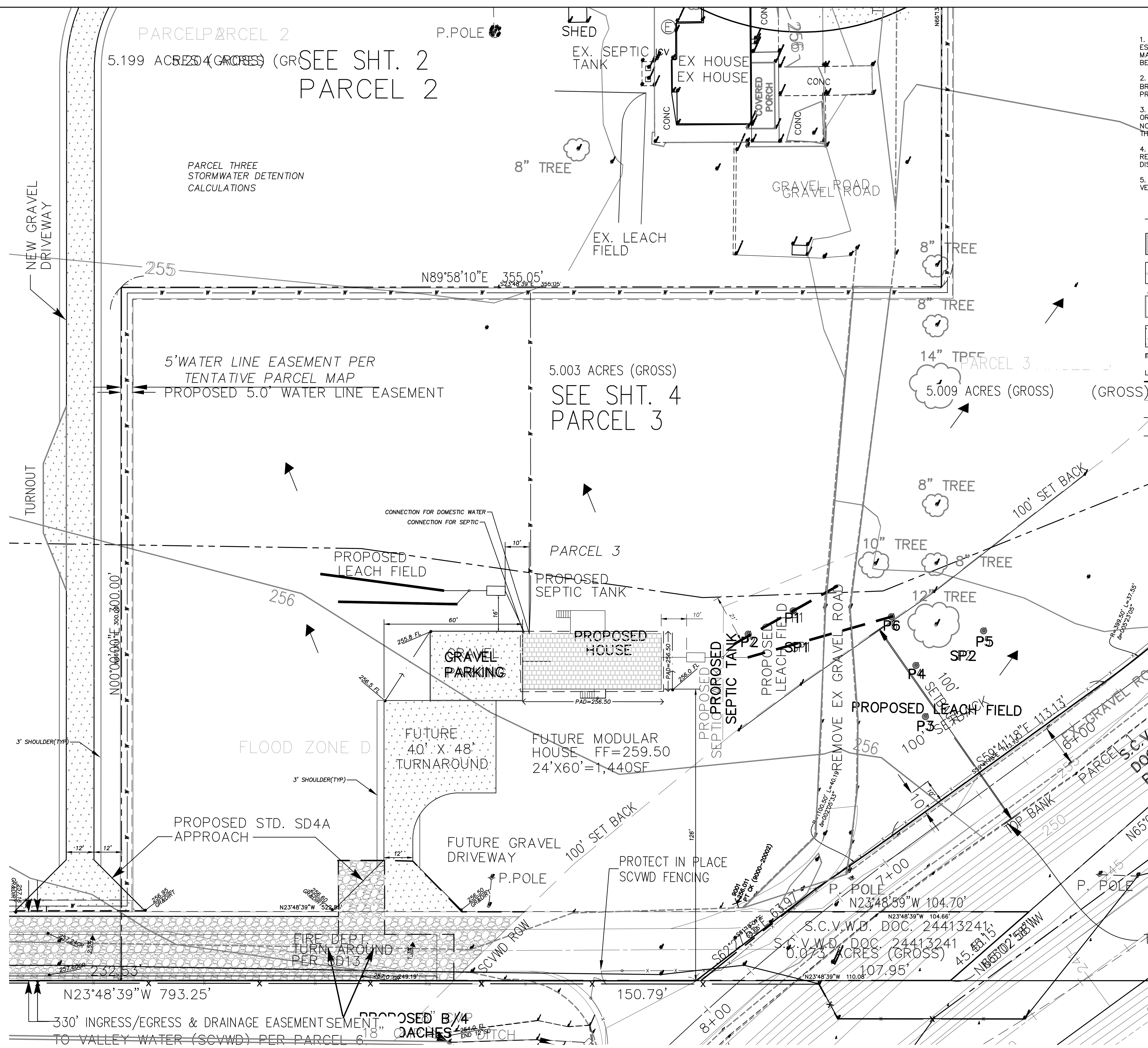
ADDRESS: 5138 Keystone Drive  
Fremont, Ca. 94536  
PHONE NO. 925-683-2910  
FAX NO.

**SITE GRADING PLAN  
PARCEL 3**

PROJECT NO. CONTRERAS PLOT DATE: 03-20-2023

Revision	Date	Revision	Date
Revision A	Date	Revision B	Date
Revision C	Date	Revision D	Date
Revision E	Date	Revision F	Date

Sheet 4 of 8



PLAN # \_\_\_\_\_ OF \_\_\_\_\_ SHEET \_\_\_\_\_

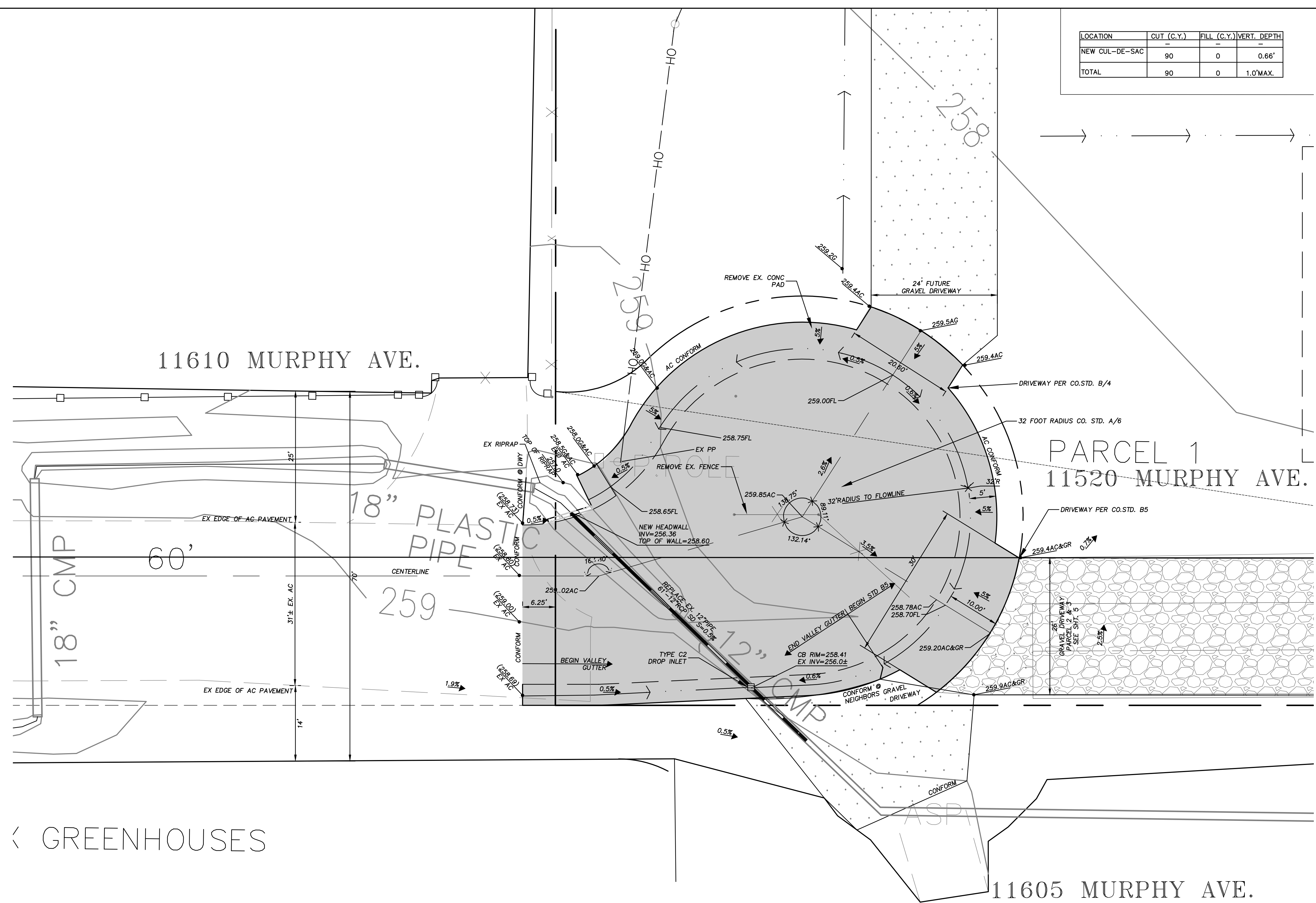
LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
NEW CUL-DE-SAC	90	0	0.66'
TOTAL	90	0	1.0'MAX.

### GENERAL NOTES

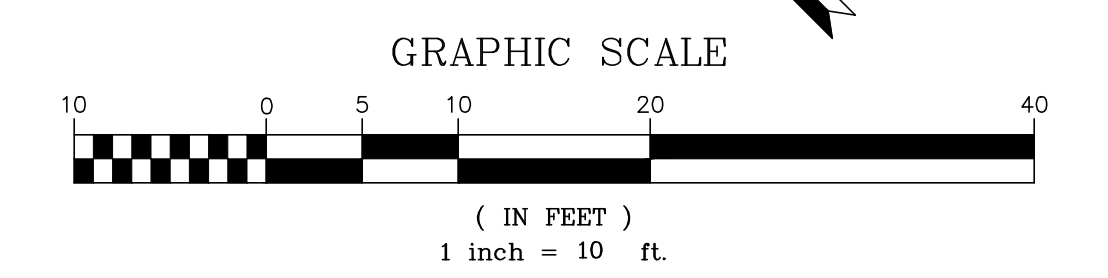
1. THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADESTAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS AND OTHER REFERENCE MARKERS AND INFORMATION NECESSARY TO COMPLETE THE WORK AND SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.
2. ANY INCONSISTENCIES IN EXISTING OR PROPOSED ELEVATIONS SHALL BE BROUGHT TO THE NOTICE OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONSTRUCTION OR AS SOON AS DISCOVERED.
3. IN THE EVENT THAT ANY UNKNOWN UNDERGROUND TANKS OR STRUCTURES OR UTILITY LINES ARE DISCOVERED ON THE SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE TO DETERMINE THE DISPOSITION OF THE STRUCTURE.
4. CONTRACTOR SHALL IMPORT REQUIRED MATERIALS OR EXPORT EXCESS AS REQUIRED TO ESTABLISH PLAN GRADES. EXCESS MATERIAL IF ANY SHALL BE DISPOSED OFF-SITE AT COUNTY APPROVED DUMPSITE.
5. EXISTING WATER, STORM AND SANITARY INVERTS SHALL BE EXPOSED AND VERIFIED PRIOR TO ANY NEW CONSTRUCTION.

### GRADING & PAVING LEGEND

- NEW ASPHALT PAVEMENT  
2 1/2" AC ON 6" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (95%)
- REMOVE EXISTING GRAVEL DRIVEWAY
- FLOOD ZONE AH ELEVATION 256
- GRAVEL DRIVEWAY  
2" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (90%)
- GRAVEL ROAD  
2" CLASS 3 AB  
ON 6" RECOMPACTED SUBGRADE (90%)  
LIMIT OF GRADING
- SAW CUT LINE
- DRAINAGE FLOW LINE
- GRADE BREAK LINE
- R/WL
- RAIN WATER LEADER
- MATCH EXISTING GRADE
- PORTLAND CEMENT CONCRETE
- EXISTING
- FINISH FLOOR
- FLOW LINE
- GROUND
- GRADE BREAK
- GRAVEL ROAD
- TOP OF CURB
- TOP OF WALL
- TYPICAL

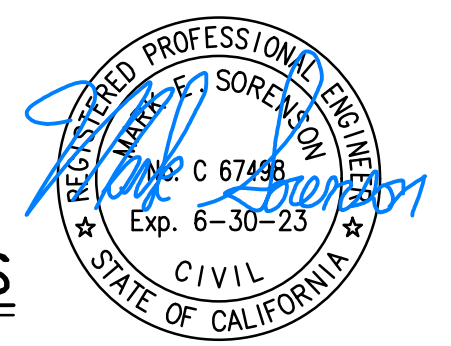


GREENHOUSES



### BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF CHURCH AVENUE AS FOUND MONUMENTED AND RECORDED AS N66°11'00"E IN BOOK 908 OF MAPS, AT PAGES 38-39, SANTA CLARA COUNTY RECORDS.



### BASIS OF ELEVATIONS

THE ELEVATIONS SHOWN ON THIS MAP ARE BASED ON THE VALLEY WATER BENCHMARK No. 315.  
ELEVATION = 267.89' (NAVD88)

DATE: 03-20-2023

ENGINEER'S NAME: MARK E. SORENSON

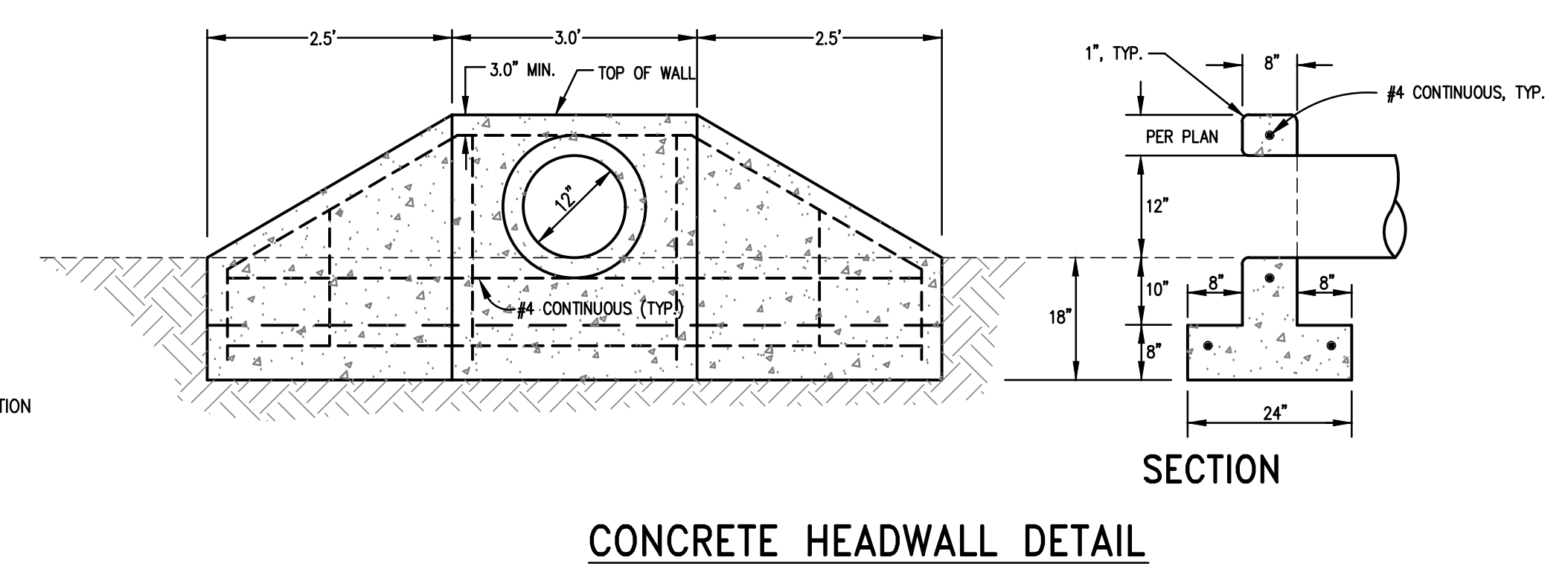
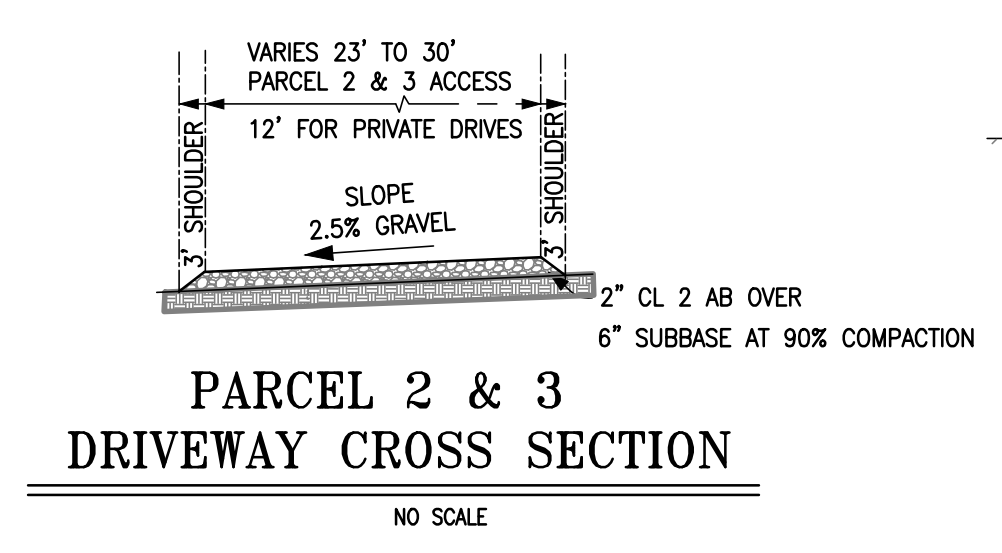
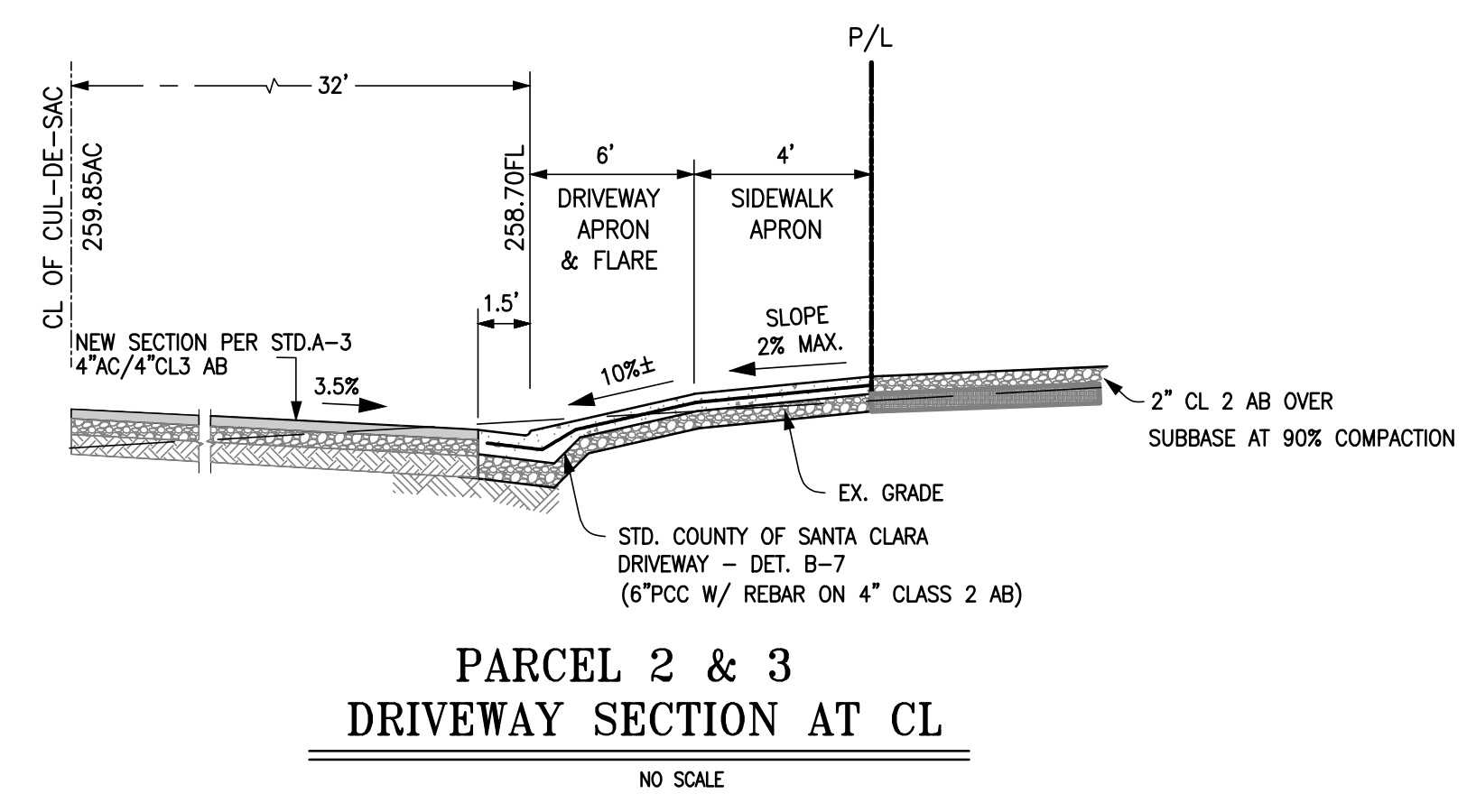
ADDRESS: 5138 Keystone Drive  
Fremont, Ca. 94536  
PHONE NO. 925-683-2910  
FAX NO.

### SITE GRADING PLAN PARCEL 1

PROJECT NO. CONTRERAS 03-20-2023

Revision	Date	Revision	Date
Revision A	Date	Revision B	Date
Revision C	Date	Revision D	Date
Revision E	Date	Revision F	Date

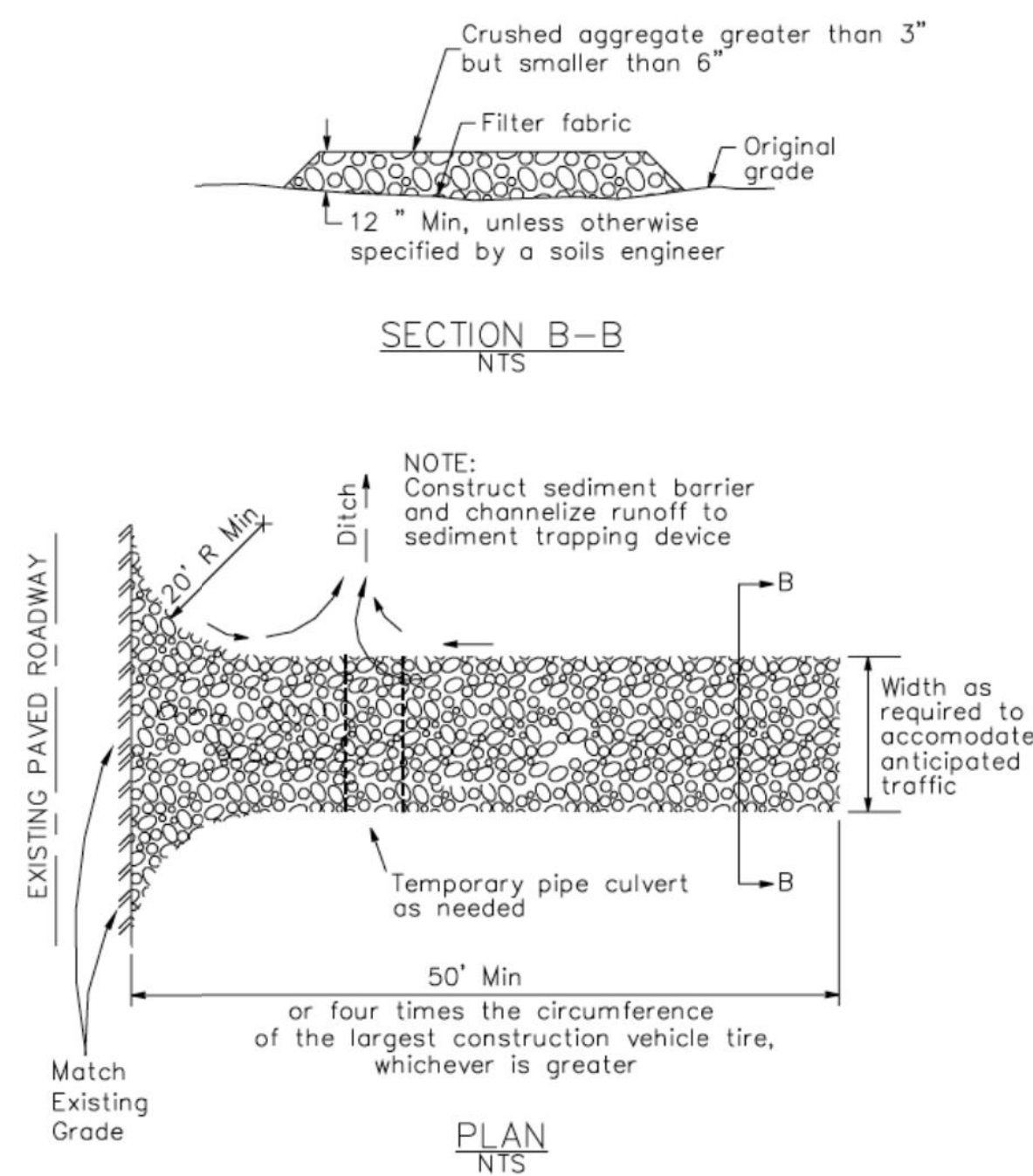
Sheet 5 of 8



PLAN # \_\_\_\_\_ OF \_\_\_\_\_ SHEET \_\_\_\_\_

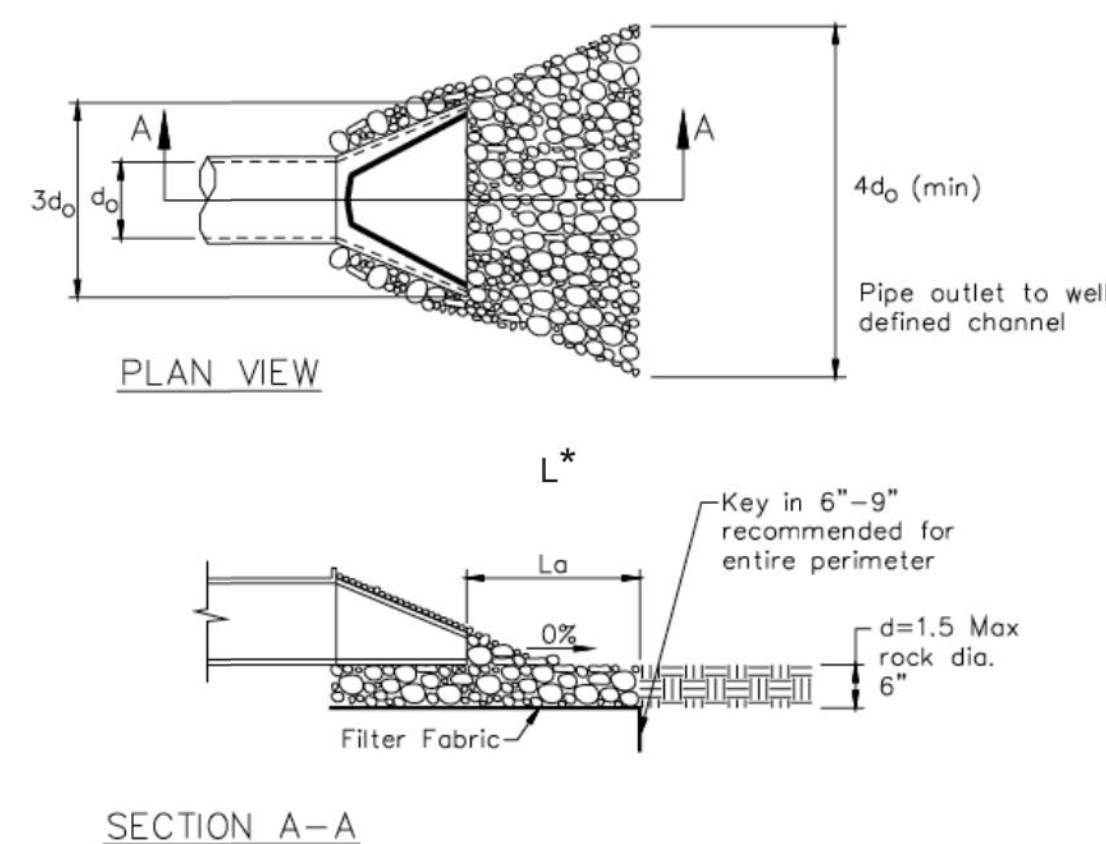
### 3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



### 4 Velocity Dissipation Devices

CASQA Detail EC-10

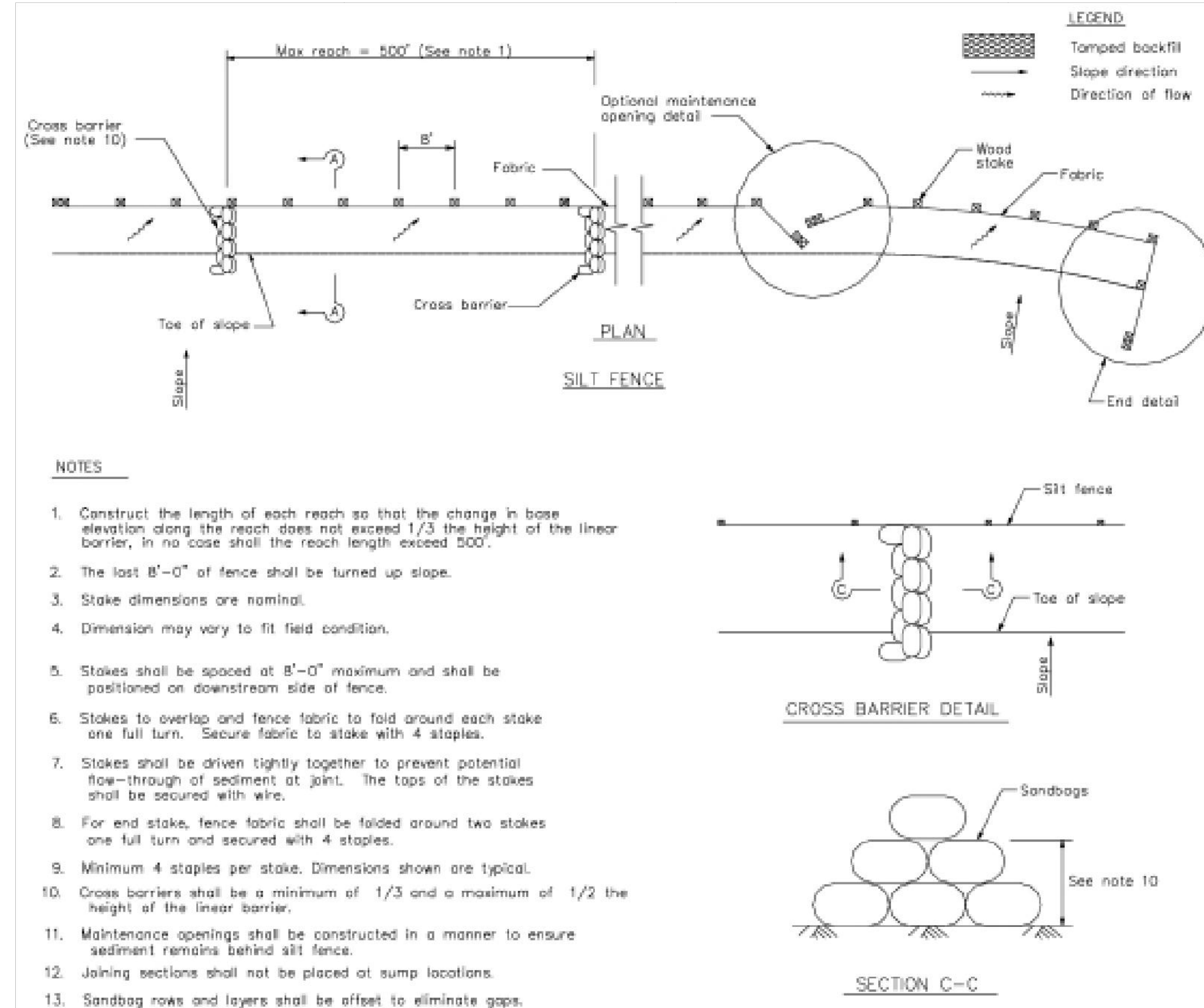


\* Length per ABAG Design Standards

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

### 1 Silt Fence

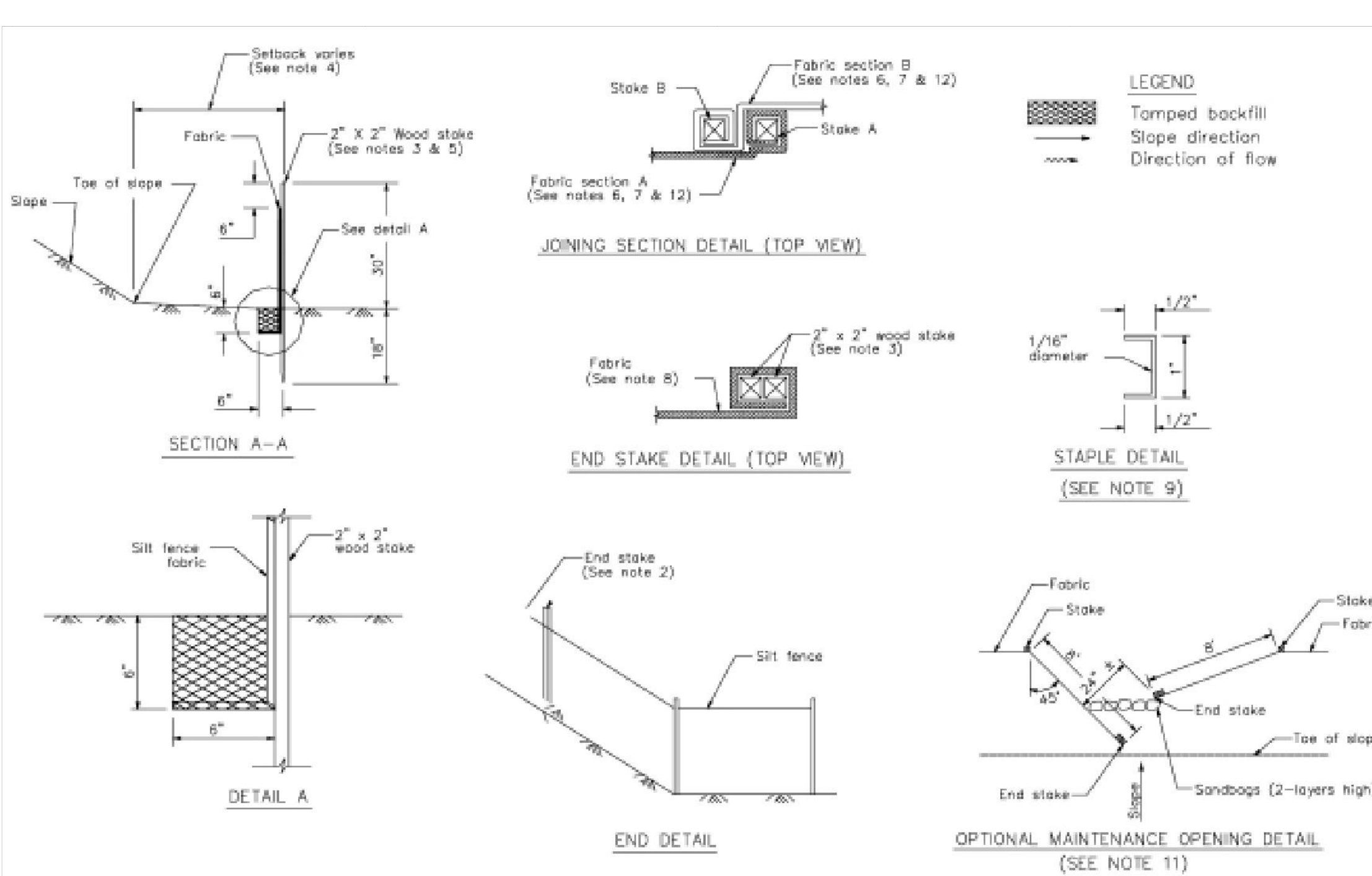
CASQA Detail SE-1



- NOTES**
1. Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/3 the height of the linear barrier, in no case shall the reach length exceed 500'.
  2. The last 8'-0" of fence shall be turned up slope.
  3. Stake dimensions are nominal.
  4. Dimension may vary to fit field condition.
  5. Stakes shall be spaced at 8'-0" maximum and shall be positioned on downstream side of fence.
  6. Stakes to overlap and fence fabric to fold around each stake one full turn. Secure fabric to stake with 4 staples.
  7. Stakes shall be driven tightly together to prevent potential flow-through of sediment at joint. The tops of the stakes shall be secured with wire.
  8. For end stake, fence fabric shall be folded around two stakes one full turn and secured with 4 staples.
  9. Minimum 4 staples per stake. Dimensions shown are typical.
  10. Cross barriers shall be a minimum of 1/3 and a maximum of 1/2 the height of the linear barrier.
  11. Maintenance openings shall be constructed in a manner to ensure sediment remains behind silt fence.
  12. Joining sections shall not be placed at sump locations.
  13. Sandbag rows and layers shall be offset to eliminate gaps.

### 2 Silt Fence

CASQA Detail SE-1



### STANDARD BEST MANAGEMENT PRACTICE NOTES

1. **Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
2. **Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
3. **Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
4. **Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
5. **Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
6. **Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
7. **Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
8. **Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
9. **Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
10. **Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

### STANDARD EROSION CONTROL NOTES

1. **Sediment Control Management:**
  - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or, more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
  - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber rolls or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
  - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
  - Dust Control:** The contractor shall provide dust control in graded areas as required by providing dust suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
  - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (tarps, straw bales, silt fences, etc.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
2. **Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
3. **Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
4. **Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
5. It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
6. Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

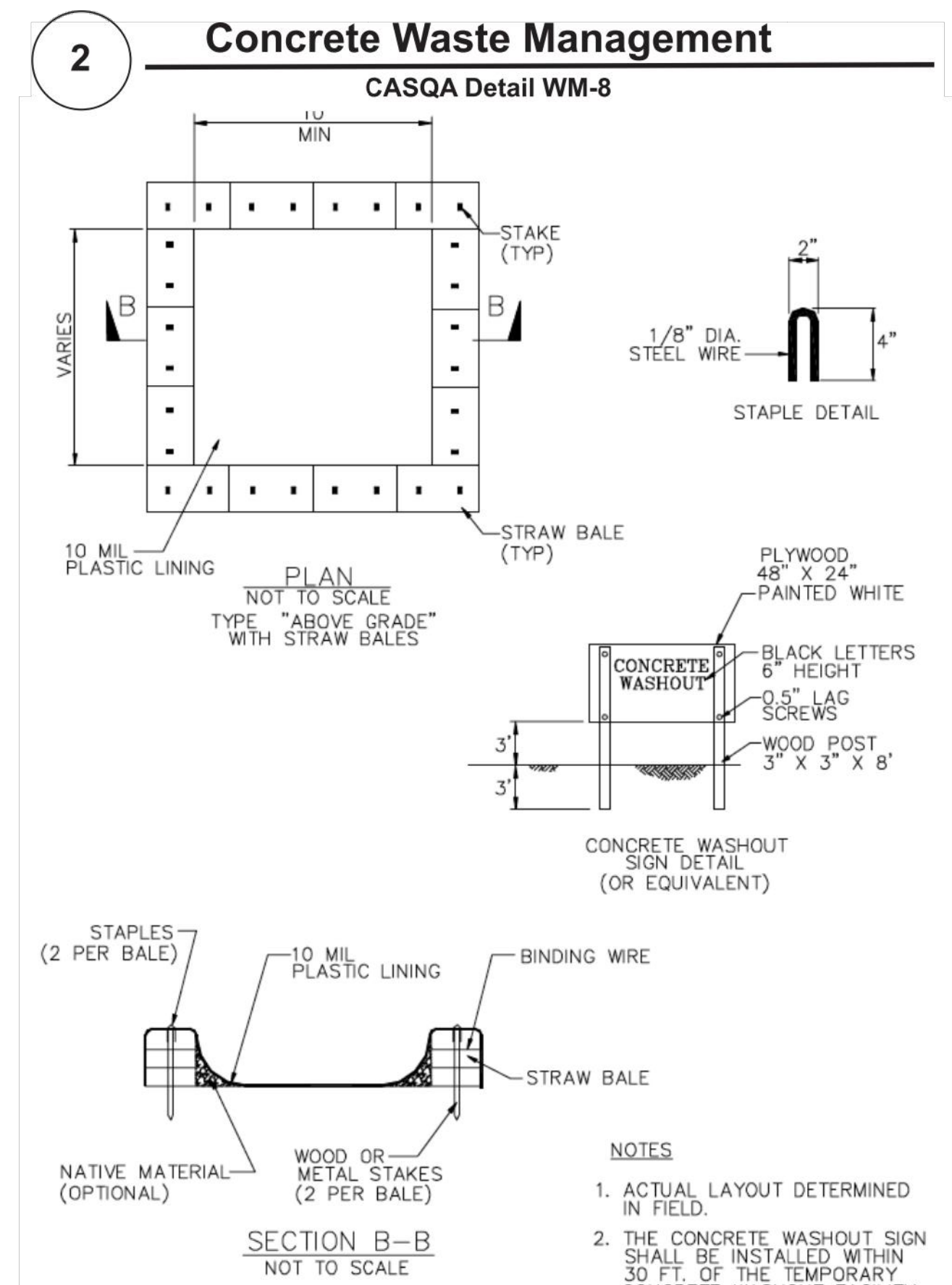
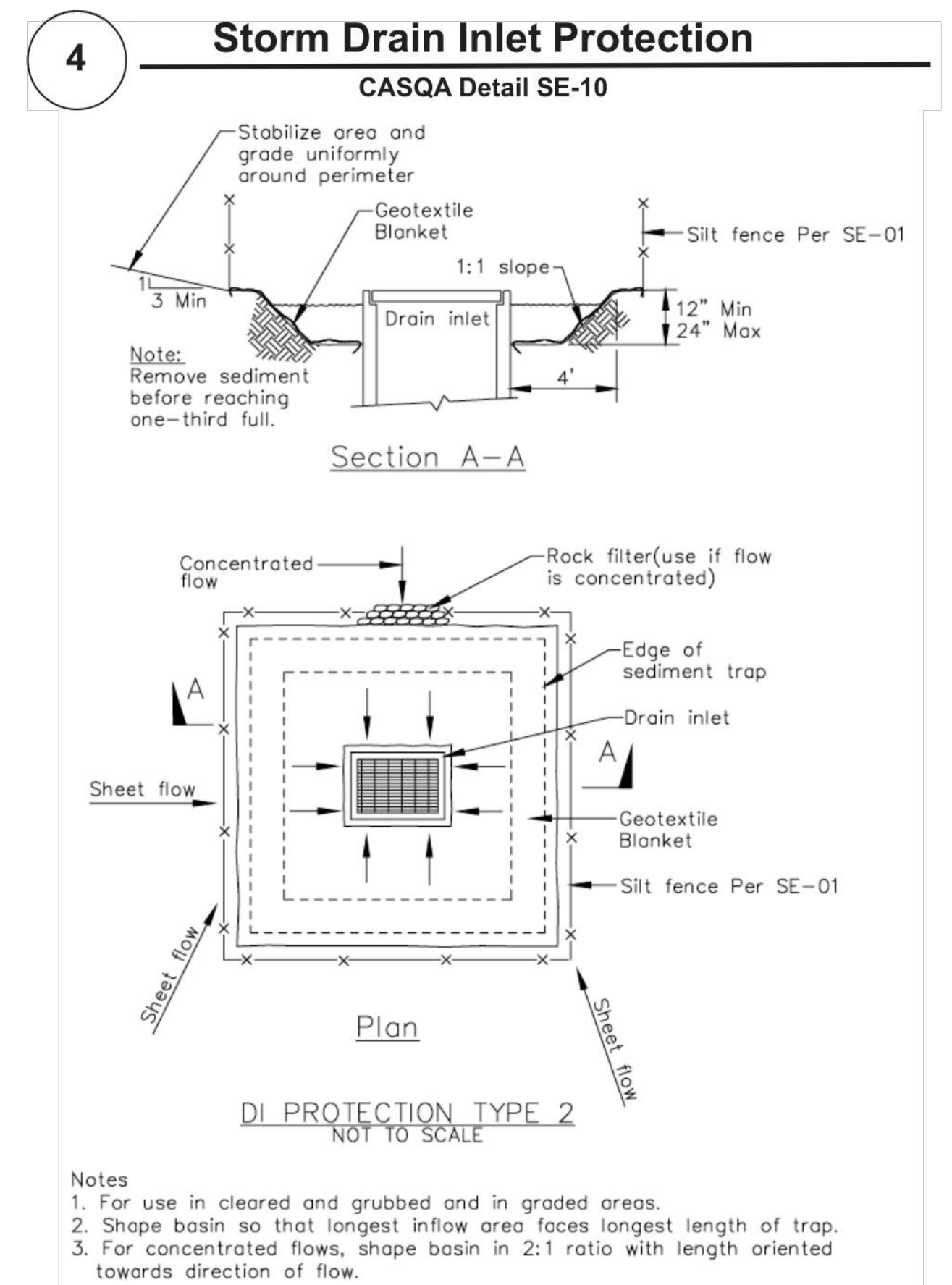
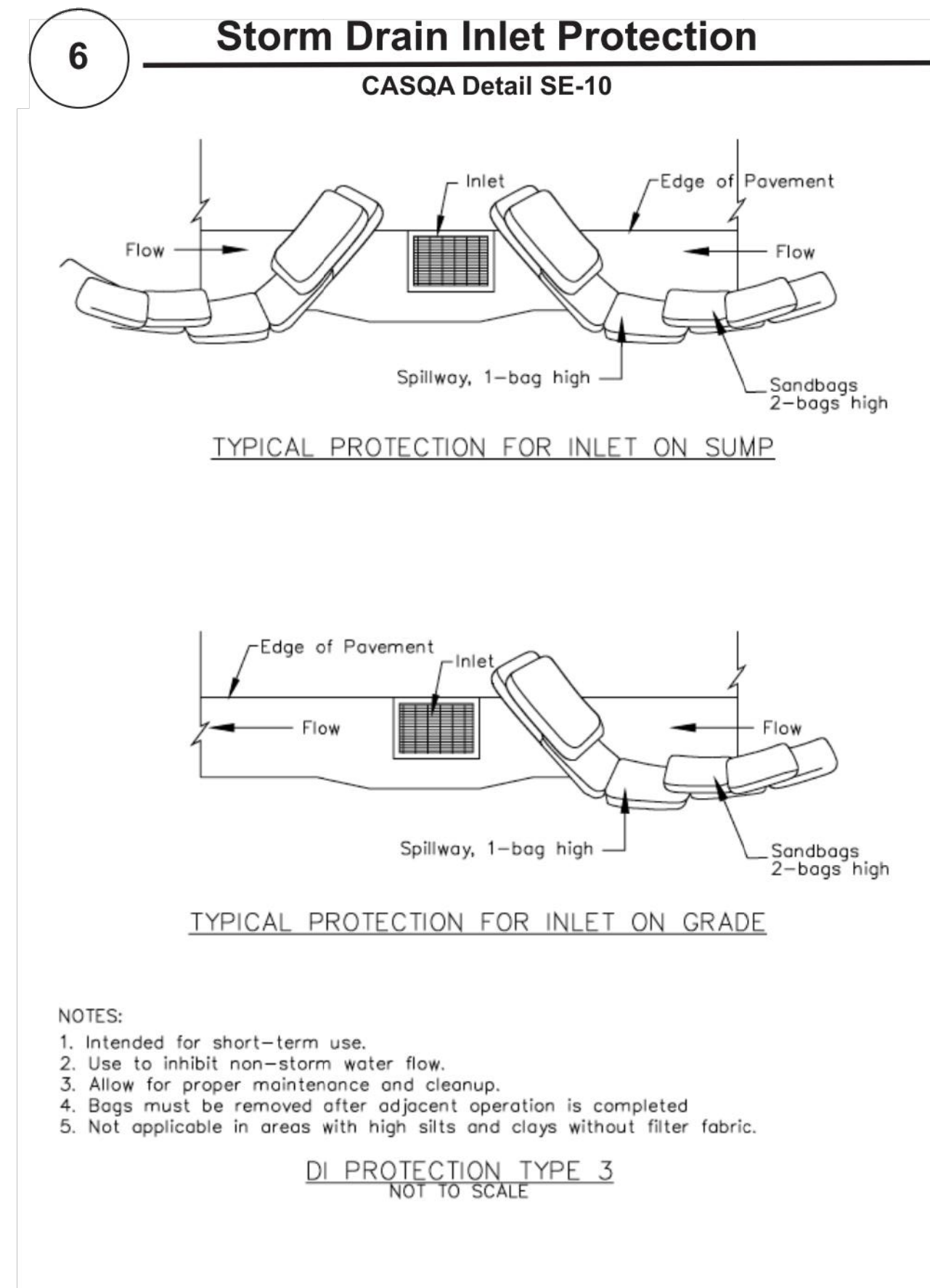
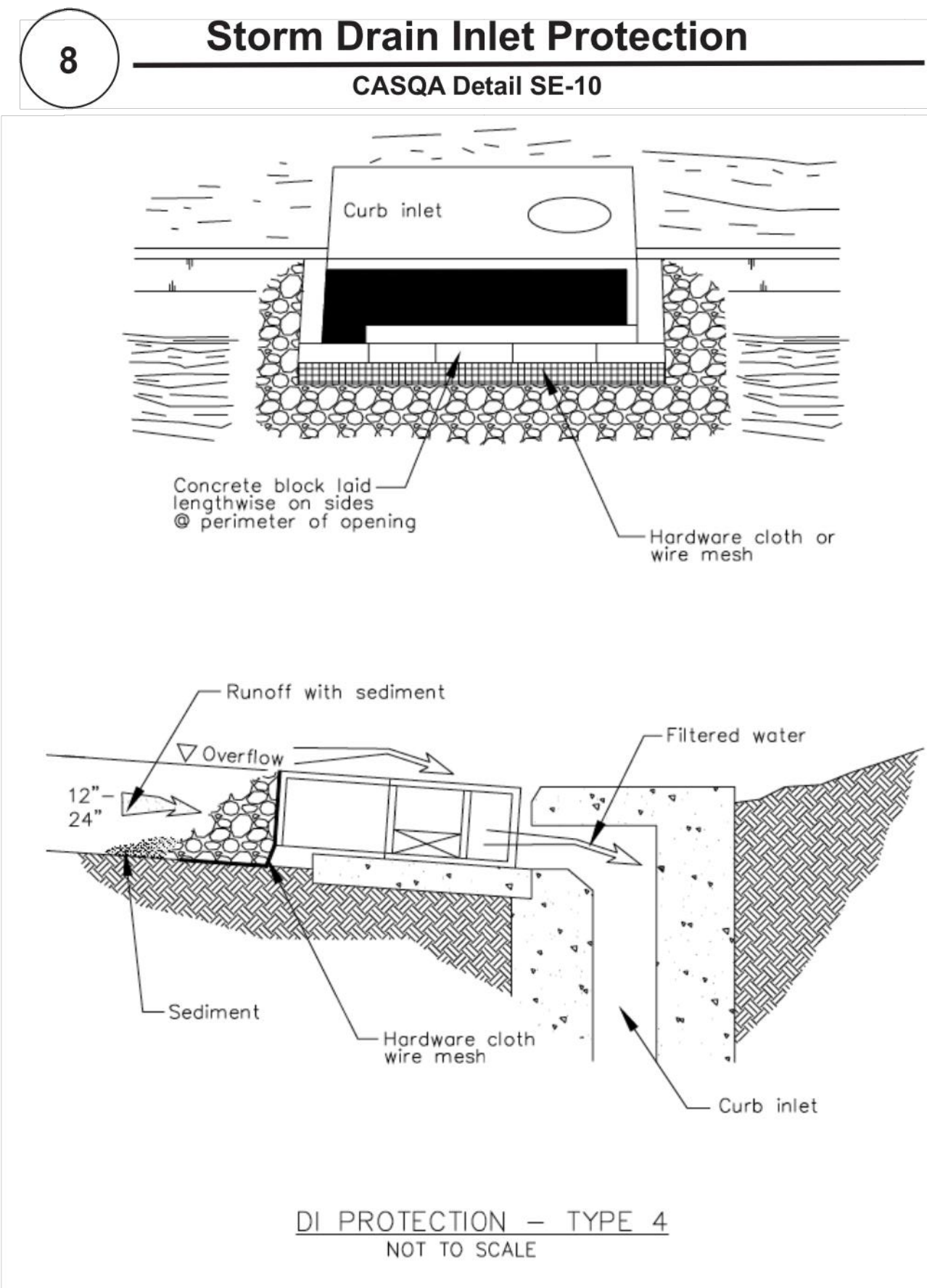
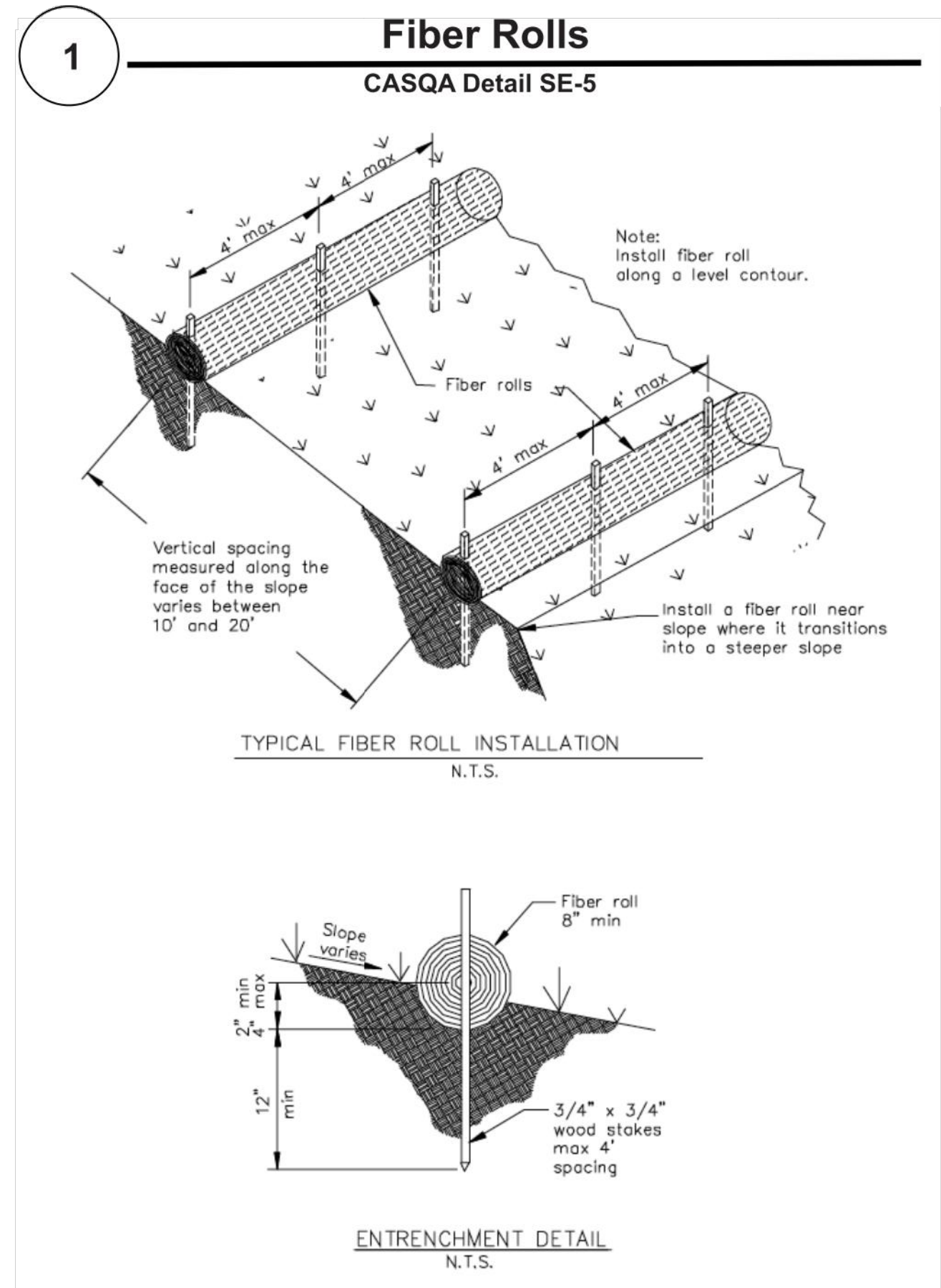
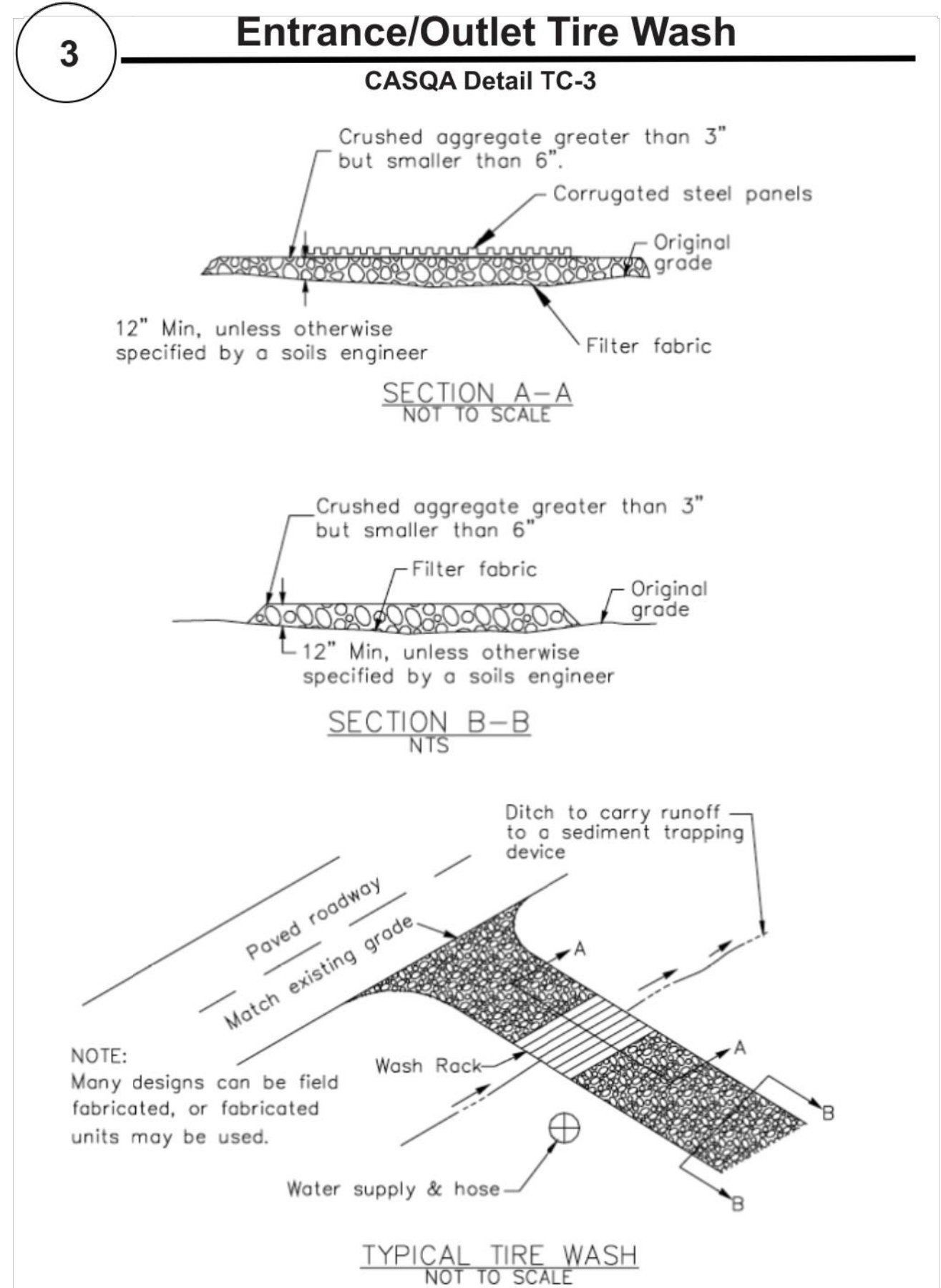
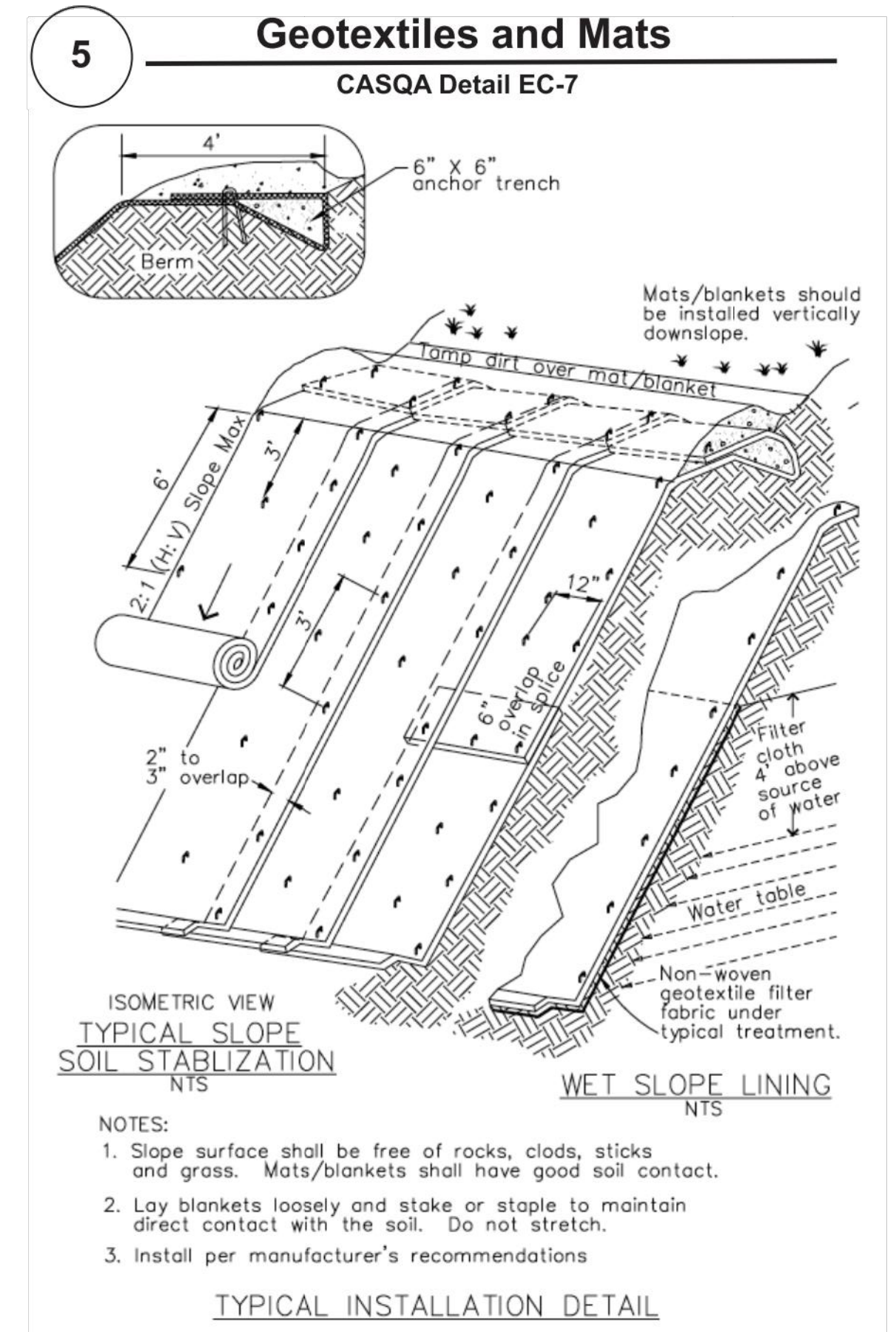
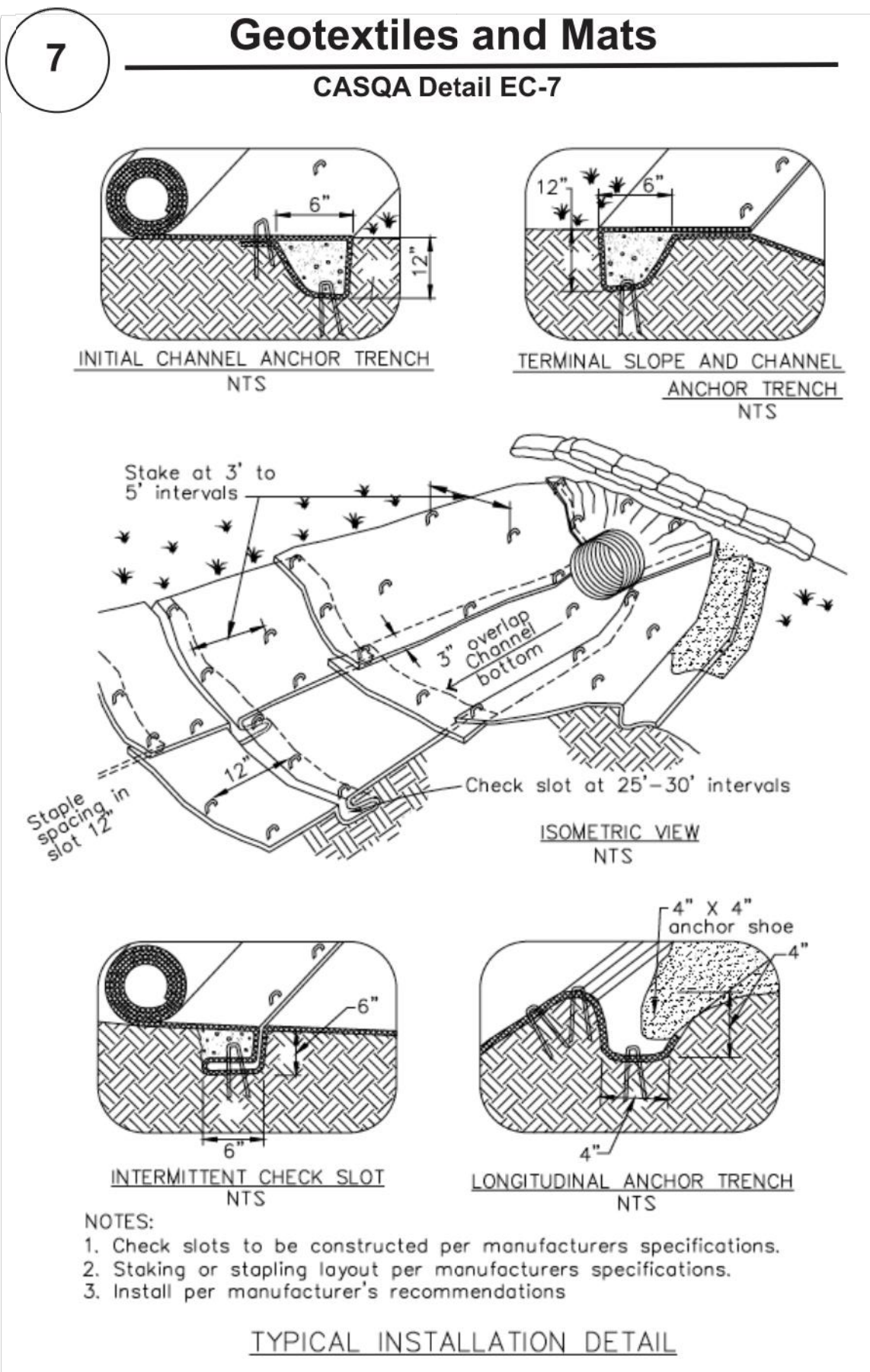
## Project Information

ENGINEER'S NAME: MARK E. SORENSON  
 ADDRESS: 5138 Keystone Drive  
 Fremont, Ca. 94536  
 PHONE NO. 925-683-2910  
 FAX NO.

Sheet  
6  
of  
8

ROAD: 11520 MURPHY AVENUE  
 COUNTY FILE NO.: PLN18-11442  
 APPLICANT: MR. JUAN CONTRERAS  
 APN: 830-05-055





Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from [www.cabmphandbooks.com](http://www.cabmphandbooks.com).

PROJECT INFORMATION

APPLICANT: MR. JUAN CONTRERAS

ROAD: 11520 MURPHY AVENUE

APN: 830-05-055

COUNTY FILE NO.: PLN18-11442

ENGINEER'S NAME: MARK E. SORENSON

ADDRESS: 5138 Keystone Drive  
Fremont, Ca. 94536

PHONE NO. 925-683-2910

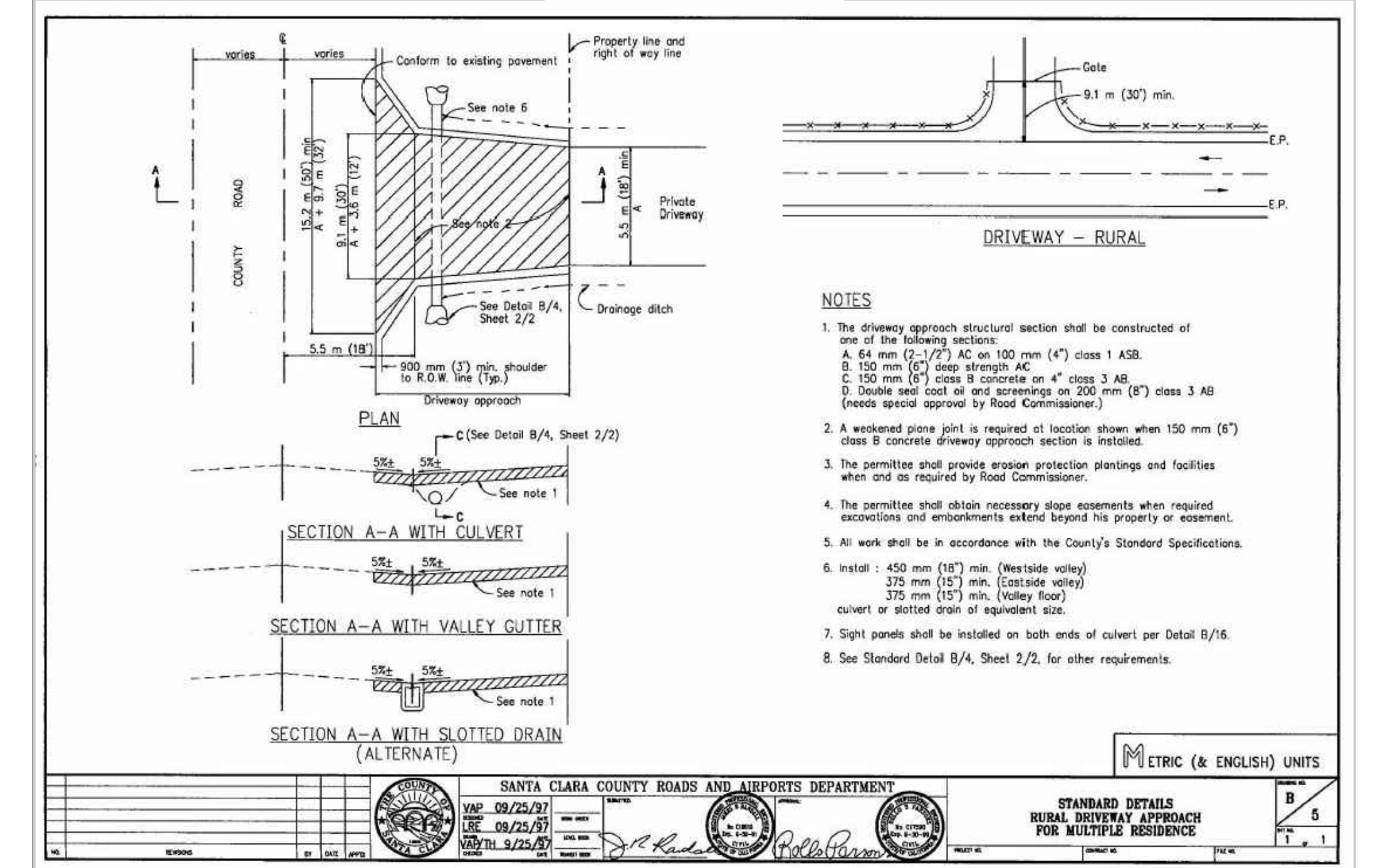
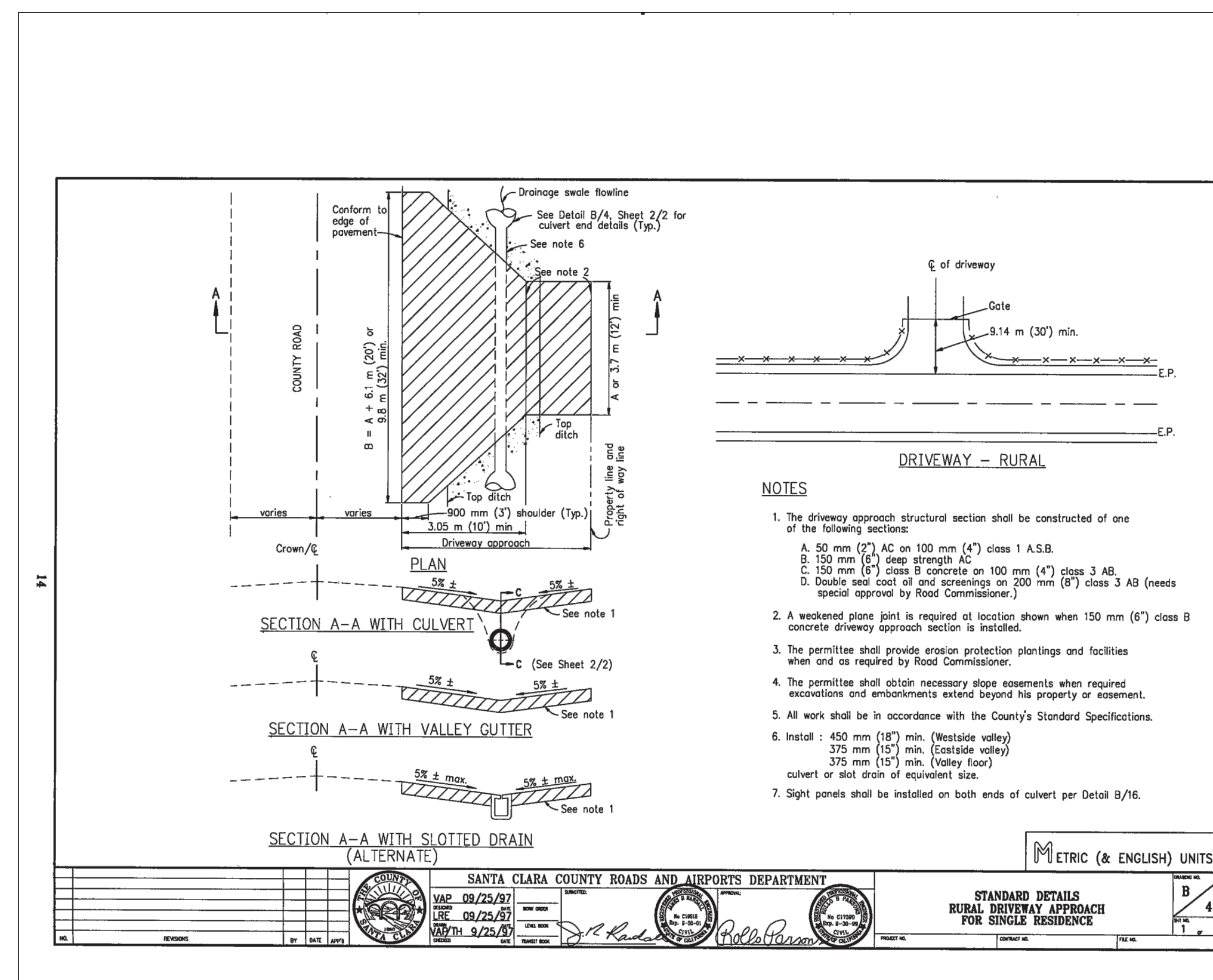
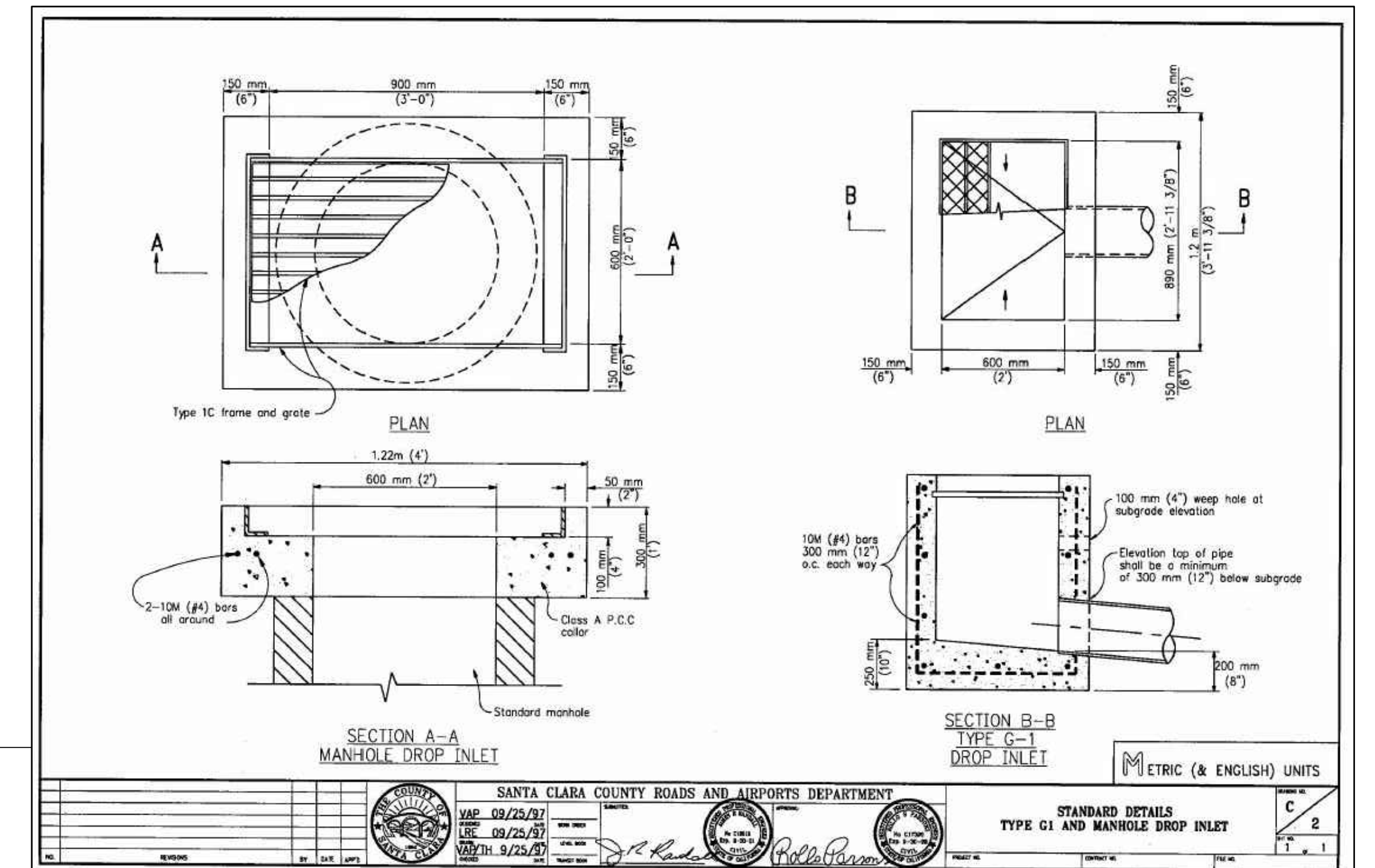
FAX NO.

Sheet 7 of 8





PLAN # \_\_\_\_\_ OF \_\_\_\_\_ SHEET \_\_\_\_\_



ENGINEER'S NAME: MARK E. SORENSON

ADDRESS: 5138 Keystone Drive  
Fremont, Ca. 94536

PHONE NO. 925-683-2910

FAX NO. \_\_\_\_\_

**SITE CIVIL  
TYPICAL DETAILS**

PROJECT NO. CONTRERAS PLOT DATE: 12-21-2022

Revision $\Delta$	Date	Revision $\Delta$	Date
Revision $\Delta$	Date	Revision $\Delta$	Date
Revision $\Delta$	Date	Co. File	
Revision $\Delta$	Date	PLN18-11442	

DATE: 12-21-2022