

Drawings/Autocad Land Desktop 3\SANDERS & BURROUGHS\dwg\CONTRERES\1808 CONTRERES TENT PARCEL MAP.dwg, CONTRERES1 TM - 50 SCALE be PDF, ARCH D. 1:1

# General Construction Specifications

#### **GENERAL CONDITIONS**

ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY

AND DATED THIS REPORT IS SUPPLEMENTED BY: 1) THESE PLANS AND SPECIFICATIONS, 2) THE COUNTY OF SANTA CLARA STANDARD DETAILS. 3) THE COUNTY OF SANTA CLARA STANDARD SPECS, 4) STATE OF CALIFORNIA STANDARD DETAILS, 5) STATE OF CALIFORNIA STANDARD SPECIFICATIONS. IN THE EVENT OF CONFLICT THE FORMER SHALL TAKE PRECEDENCE OVER THE LATTER. THE PERFORMANCE AND COMPLETION OF ALL WORK MUST BE TO THE SATISFACTION OF THE COUNTY.

DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THEIR CONTINUED MAINTENANCE. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR

OMISSIONS IN THESE PLANS. THE COUNTY SHALL BE AUTHORIZED TO REQUIRE DISCONTINUANCE OF ANY WORK AND SUCH CORRECTION AND MODIFICATION OF PLANS AS MAY BE NECESSARY TO COMPLY WITH COUNTY STANDARDS OR CONDITIONS OF DEVELOPMENT APPROVAL.

DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION WHERE NEEDED. COPIES OF THESE PERMITS SHALL BE KEPT AT THE JOB SITE FOR REVIEW BY THE COUNTY'S INSPECTOR.

DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY

6. THIS PLAN AUTHORIZES THE REMOVAL OF ONLY THOSE TREES WITH TRUNK DIAMETERS GREATER THAN 12 INCHES MEASURED 4.5 FEET ABOVE THE GROUND THAT ARE SHOWN TO BE REMOVED UNLESS AN AMENDED PLAN IS APPROVED OR A SEPARATE TREE REMOVAL PERMIT IS OBTAINED FROM THE PLANNING OFFICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT REMOVAL OF ADDITIONAL TREES HAS BEEN PERMITTED.

DEVELOPER SHALL PROVIDE ADEQUATE DUST CONTROL AS REQUIRED BY THE 8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE RELATING TO

THE USE OF SPARK ARRESTERS. 9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS, THE PERSON MAKING SUCH DISCOVERY SHALL IMMEDIATELY NOTIFY THE COUNTY CORONER AT (408) 454-2520 AND LAND DEVELOPMENT ENGINEERING OFFICE AT (408) 299-5730. NO FURTHER DISTURBANCE OF THE SITE MAY BE MADE EXCEPT AS AUTHORIZED BY THE LAND DEVELOPMENT OFFICE IN ACCORD WITH

PROVISIONS OF THIS ORDINANCE (COUNTY ORDINANCE CODE SECTION B6-18). 10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR THE SEPTIC LINE CONSTRUCTION.

11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

#### CONSTRUCTION STAKING

THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES. THE STAKES ARE TO BE ADEQUATELY IDENTIFIED, LOCATED, STABILIZED, ETC. FOR THE CONVENIENCE OF CONTRACTORS. LATERAL OFFSET OF STAKES SET FOR CURBS AND GUTTERS SHALL NOT EXCEED 2 1/2 FEET FROM BACK OF CURB.

ANY PROPERTY LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR.

PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY AND SHALL BE INSPECTED BY THE COUNTY INSPECTOR PRIOR TO THE BEGINNING OF THE WORK. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE

PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

#### CONSTRUCTION INSPECTION

CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION OF WORK AND SITE. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR

GENERAL INSPECTION, 48 HOURS FOR ASPHALT CONCRETE INSPECTION. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION TO OBSERVE THEIR COMPLIANCE WITH PLANS & SPECIFICATIONS BUT DOES NOT INCLUDE RESPONSIBILITY FOR THE SUPERINTENDENT OF CONSTRUCTION, SITE CONDITIONS, EQUIPMENT OR PERSONNEL. CONTRACTOR SHALL NOTIFY THE COUNTY LAND DEVELOPMENT INSPECTOR AT PHONE (408) 299-6868 AT LEAST 24 HOURS PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION

DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE. SAID REQUEST SHALL BE DIRECTED TO THE INSPECTION OFFICE NOTED ON THE PERMIT FORM.

THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES. PREPARED BY THE PROJECT ENGINEER OR LAND SURVEYOR, PRIOR COMMENCEMENT OF THE BUILDING FOUNDATION.

## SITE PREPARATION (CLEARING AND GRUBBING)

EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE OF PROPOSED ROADWAYS (EITHER PRIVATE OR TO BE DEDICATED TO

PUBLIC USE) B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS.

2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

## UTILITY LOCATION, TRENCHING & BACKFILL

CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION OF UNDERGROUND

ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTORS RESPONSIBILITY. PLAN LOCATIONS ARE APPROXIMATE AND FOR

GENERAL INFORMATION ONLY. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL OR SURFACE STRUCTURES. SURFACING MAY BE DONE IF THE UTILITY COMPANY CONCERNED INDICATES BY LETTER THAT IT WILL BORE. UNLESS SPECIFICALLY AUTHORIZED BY THE COUNTY, GAS AND WATER MAINS SHALL BE

INSTALLED OUTSIDE THE PAVED AREAS. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STATE SPECIFICATIONS. THE STRUCTURAL SECTION FOR TRENCH REPLACEMENT SHALL CONSIST OF NOT LESS THAN 12 INCHES OF APPROVED AGGREGATE BASE MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 95% AND 4 INCHES OF HOT ASPHALT CONCRETE PLACED IN TWO LIFTS. TRENCH RESTORATION FOR HIGHER TYPE PAVEMENTS SHALL BE MADE IN KIND OR AS

DIRECTED BY THE COUNTY. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%. THE REQUIREMENT FOR SELECT MATERIAL MAY BE WAIVED BY COUNTY IF THE NATIVE SOIL IS SUITABLE FOR USE AS TRENCH BACKFILL BUT THE

COMPACTION REQUIREMENTS WILL NOT BE THEREBY WAIVED. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

## RETAINING WALLS

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REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND

SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

#### <u>GRADING</u>

EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE. WHERE FILL MATERIAL IS TO BE PLACED ON NATURAL GROUND, IS SHALL BE STRIPPED OF ALL VEGETATION. TO ACHIEVE A PROPER BOND WITH THE FILL MATERIAL, THE SURFACE OF THE GROUND SHALL BE SCARIFIED TO DEPTH OF 6" BEFORE FILL IS PLACED. WHERE NATURAL GROUND IS STEEPER THAN 5:1, IT SHALL BE BENCHED AND THE FILL KEYED IN TO ACHIEVE STABILITY. WHERE NEW FILL IS TO BE PLACED ON EXISTING FILL THE EXISTING FILL SHALL BE REMOVED UNTIL MATERIAL COMPACTED TO 90% RELATIVE COMPACTION IS EXPOSED. THEN THE NEW FILL MATERIAL SHALL BE PLACED AS PER THESE CONSTRUCTION NOTES. FILL MATERIAL SHALL BE PLACED IN UNIFORM LIFTS NOT EXCEEDING 6" IN UNCOMPACTED THICKNESS. BEFORE COMPACTION BEGINS, THE FILL SHALL BE BROUGHT TO A WATER CONTENT THAT WILL PERMIT PROPER COMPACTION BY EITHER 1) AERATING THE FILL IF IT IS TOO WET OR 2) MOISTENING THE FILL WITH WATER IF IT IS TOO DRY. EACH LIFT SHALL BE THOROUGHLY MIXED BEFORE COMPACTION TO ENSURE A UNIFORM DISTRIBUTION OF MOISTURE

EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE. 3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN.

4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL. NO TREES SHALL BE REMOVED OUTSIDE OF CUT, FILL OR ROADWAY AREAS. 5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING

AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY. 6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL. MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE	N/A	N/A	-
ACCESSORY STRUCTURE	_	_	-
CUL-DE-SAC	90	0	0.71'
LANDSCAPE	_	_	-
DRIVEWAY	_	_	_
OFF SITE IMPROVEMENTS	N/A	N/A	_
TOTAL	90	0	1.0'MAX.

NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP

7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK TO COORDINATE THE WORK IN THE FIELD. 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER

BEFORE IT IS BROUGHT TO THE SITE. 9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%

10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION. 11. THE GEOTECHNICAL PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED

BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL BY THE COUNTY ENGINEER FOR BUILDING OCCUPANCY. 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING

AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR

TO THE CONSTRUCTION OF ANY PAVED AREA. 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL.

POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

14. TOTAL DISTURBED AREA FOR THE PROJECT 2,097\_SF. 15. WDID NO. N/A. 16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER

### TREE PROTECTION

1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING, CONSISTENT WITH THE COUNTY INTEGRATED LANDSCAPE GUIDELINES, AND INCLUDE THE FOLLOWING:

OF THE TREE OR GROVE OF TREES. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION PERIOD AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.

FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIPLINE

FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES. SIGNAGE STATING. "WARNING- THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770. COUNTY OF SANTA CLARA TREE

PROTECTION MEASURES MAY BE FOUND AT http://www.sccplanning.gov." SHALL BE PLACED ON THE TREE PROTECTIVE FENCING UNTIL FINAL OCCUPANCY. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE

FENCING SHALL BE SECURELY IN PLACED AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR. . SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

#### ACCESS ROADS AND DRIVEWAYS

. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING. THE MINIMUM CONCRETE THICKNESS SHALL BE 6 INCHES THROUGHOUT (WITH A MAXIMUM APPROACH SLOPE OF 1 1/4 INCHES PER FOOT).

2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING. 3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING

PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS. 4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED (AT NO COST TO THE COUNTY) TO THE PUBLIC MAINTENANCE ROAD STANDARDS APPROVED BY THE BOARD OF SUPERVISORS AND IN EFFECT AT SUCH TIME THAT THE ROADWAYS ARE CONSIDERED FOR

ACCEPTANCE INTO THE COUNTY'S ROAD SYSTEM. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT. EACH INDIVIDUAL ACTIVITY REQUIRES A SEPARATE PERMIT - I.E. CABLE, ELECTRICAL, GAS. SEWER, WATER, RETAINING WALLS, DRIVEWAY APPROACHES, FENCES, LANDSCAPING, TREE REMOVAL, STORM DRAINAGE IMPROVEMENTS. ETC..

1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE. SANITARY SEWER

THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY.

2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED. INSPECTION OF SANITARY SEWER WORK SHALL BE DONE BY SAID JURISDICTION.

## PORTLAND CEMENT CONCRETE

. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD. THE CONCRETE MIX DESIGN SHALL BE UNDER THE CONTINUAL CONTROL OF THE COUNTY INSPECTOR.

#### AIR QUALITY, LANDSCAPING AND EROSION CONTROL

WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING

AREAS AT CONSTRUCTION SITES. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT CONSTRUCTION SITES. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.

SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS. THE USE OF DRY POWDER SWEEPING IS PROHIBITED.

6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES (AS REQUIRED BY THE CALIFORNIA AIRBORNE TOXIC CONTROL MEASURE TITLE 13, SECTION 2485 OF CALIFORNIA CODE OF REGULATIONS (CCR)). ENGINES SHALL BE SHUT OFF IF CONSTRUCTION REQUIRES LONGER IDLING TIME UNLESS NECESSARY FOR PROPER OPERATION OF THE VEHICLE.

ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR. 8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. ALL EQUIPMENT SHALL BE CHECKED BY A CERTIFIED MECHANIC AND DETERMINED TO BE

RUNNING IN PROPER CONDITION PRIOR TO OPERATION 9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM 2 INCHES LETTER HEIGHT VISIBLE NEAR THE ENTRANCE OF CONSTRUCTION SITE THAT IDENTIFIES THE FOLLOWING REQUIREMENTS. OBTAIN ENCROACHMENT PERMIT FOR SIGN FROM ROADS DEPARTMENT OR OTHER APPLICABLE AGENCY IF REQUIRED.

A. 15 MILES PER HOUR (MPH) SPEED LIMIT B. 5 MINUTES MAXIMUM IDLING TIME OF VEHICLES C. TELEPHONE NUMBER TO CONTACT THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT REGARDING DUST COMPLAINTS. NOTE PHONE NUMBER OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT AIR POLITION COMPLAIN HOTLINE OF 1-800-334-6367.

10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION CAPABLE OF WITHSTANDING WEATHERING 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET (OR APPROVED EQUAL).

SEEDING AND WATERING SHALL BE MAINTAINED AS REQUIRED TO ENSURE

12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SD8. 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS E.G. SACKED CONCRETE RIP-RAP. ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL DITCH OUTFALLS. WHERE OUTFALLS ARE NOT INTO AN EXISTING CREEK OR WATER COURSE, RUNOFF SHALL BE RELEASED TO SHEET FLOW.

14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE TO MINIMIZE THE VISUAL IMPACTS OF THE GRADE SLOPES AND REDUCE THE POTENTIAL FOR EROSION OF THE SUBJECT SITE. 15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE PRIOR

TO FINAL APPROVAL BY THE COUNTY ENGINEER, AND FINAL OCCUPANCY

RELEASE BY THE BUILDING INSPECTION OFFICE. 16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR. 17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPS) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY THROUGHOUT THE DURATION OF THE CONSTRUCTION AND UNTIL THE ESTABLISHMENT OF PERMANENT STABILIZATION AND SEDIMENT CONTROL TO PREVENT THE DISCHARGE OF POLLUTANTS INCLUDING SEDIMENT, CONSTRUCTION MATERIALS, EXCAVATED MATERIALS, AND WASTE INTO THE SANTA CLARA COUNTY RIGHT-OF-WAY, STORM SEWER WATERWAYS, ROADWAY INFRASTRUCTURE. BMPS SHALL INCLUDE, BUT NOT BE

LIMITED TO THE FOLLOWING: A. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS.

PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY.

18. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY.

19. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS, DEPENDING ON THE SEASON, WEATHER, AND FIELD CONDITIONS. EROSION CONTROL MEASURES IN ADDITION TO THOSE NOTED IN THE PERMITTED PLANS MAY BE NECESSARY. FAILURE TO INSTALL SITE SITE AND SITUATIONALY APPROPRIATE EROSION CONTROL MEASURES MAY RESULT IN VIOLATIONS, FINES, AND A STOPPAGE OF WORK.

#### STORM DRAINAGE AND <u>STORMWATER MANAGEMENT</u>

1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR NOT AND HE OR HIS SUCCESSOR PROPERTY OWNERS ARE RESPONSIBLE FOR THE ADEQUACY AND CONTINUED MAINTENANCE OF THESE FACILITIES IN A MANNER WHICH WILL PRECLUDE ANY HAZARD TO LIFE, HEALTH, OR DAMAGE TO ADJOINING PROPERTY, CONSISTENT WITH NPDES PERMIT CAS612008 / ORDER NO. R2-2009-0047 AND NPDES PERMIT CAS000004/ ORDER NO. 2013-0001-DWQ.

2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS. THE DEVELOPER'S ENGINEER SHALL BE RESPONSIBLE FOR THE PROPER LOCATION OF DROP INLETS. WHERE STREET PROFILE GRADE EXCEEDS 6% DROP INLETS SHALL BE SET AT 500 ANGLE CURB LINE TO ACCEPT WATER OR AS SHOWN ON THE PLANS. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE

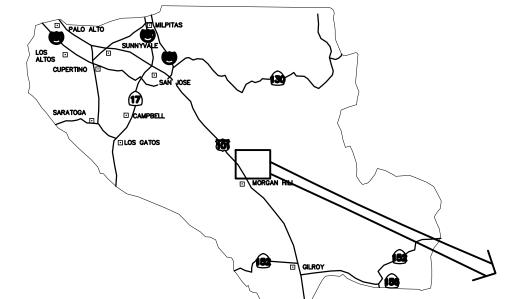
FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL

PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

## **STATEMENT**

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE (\_\_\_ WERE) (\_\_\_ WERE NOT) MINOR FIELD CHANGES — MARKED WITH THE SYMBOL (^). THERE (\_\_\_WERE) WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL .

NOTE: THIS STATEMENT IS TO BE SIGNED BY THE PERSON AUTHORIZED BY THE COUNTY ENGINEER TO PERFORM THE INSPECTION WORK. A REPRODUCIBLE COPYOF THE AS-BUILT PLANS MUST BE FURNISHED TO THE COUNTY ENGINEER AFTERCONSTRUCTION.



## COUNTY LOCATION

#### SURVEY MONUMENT PRESERVATION

1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION

2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS OF RECORD AND ANY UNRECORDED MONUMENTS THAT ARE DISCOVERED THAT ARE WITHIN 50 FEET OF THE CONSTRUCTION ACTIVITY. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING

CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE PRIOR TO DISTURBING SAID MONUMENTS AND RESET PERMANENT MONUMENT(S) IN THE SURFACE OF THE NEW CONSTRUCTION OR SET A WITNESS MONUMENT(S) TO PERPETUATE THE LOCATION IF ANY PERMANENT MONUMENT COÙLD BE DESTROYED, DAMAGED, COVERED, DISTURBED, OR OTHERWISE OBLITERATED. THE LICENSED LAND SURVEYOR OR CIVIL ENGINEER SHALL FILE A CORNER RECORD OR RECORD OF SURVEY WITH COUNTY SURVEYOR PRIOR TO FINAL ACCEPTANCE OF THE PROJECT BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR.



## MAP

TENSION

BAR (OPT)

PIPE 2" O.C. -

SHALL BE INCORPORATED INTO THE GRADING PLANS.

(CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).

IN A VISUALLY PROMINENT LOCATION.

ISSUED BY: \_\_

THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.

GRADING / DRAINAGE PERMIT NO.

Exp. 6-30-23 /

2. FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL

3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO

CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER

FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM

4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE

5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE

REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA

COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE

COUNTY OF SANTA CLARA

C67498

R.C.E. NO.

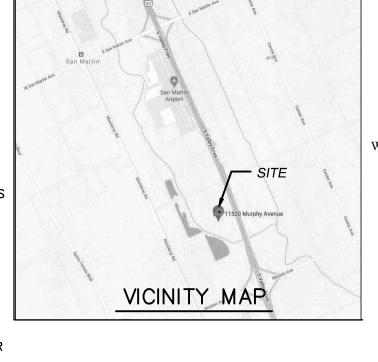
06-30-2023

EXPIRATION DATE

EXPIRATION DATE

LAND DEVELOPMENT ENGINEERING & SURVEYING

CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL



. SUBDIVISION OF APN 830-05-055 INTO 3 PARCELS. THIS SET ADDRESSES THE GRADING AND SITE IMPROVEMENTS FOR ALL 3 PARCELS. \*PARCEL ONE (5.206 ACRES)- THIS WILL BE A FICTITIOUS LAYOUT SHOWING A HOUSE, DRIVEWAY, GARAGE AND SEPTIC LAYOUT. GRADING, SEPTIC AND DRAINAGE WILL BE ADDRESSED ON THIS SET. \*PARCEL TWO (5.001 ACRES)- THIS PARCEL INCLUDES THE EXISTING RESIDENTIAL HOME, WATER WELLS, FIRE WATER TANKS AND SEPTIC FIELD. THE ONLY CHANGE TO THIS PARCEL WILL BE THE DRIVEWAY APPROACH AND ABOVE GROUND WATER TANK FOR FIRE WATER SUPPLIED BY A WHARF HYDRANT. \*PARCEL THREE (5.001 ACRES)- THIS PARCEL SHOWS THE INSTALLATION OF A MODULAR HOME. THIS HOME WILL BE INSTALLED WITH THIS PERMIT. GRADING,

<u>SCOPE OF WORK</u>

2. ALL EXPOSED AND DISTURBED AREAS MUST BE SEEDED AS PER COUNTY SPECIFICATIONS OR BETTER.

SEPTIC AND DRAINAGE WILL BE ADDRESSES ON THIS SET.

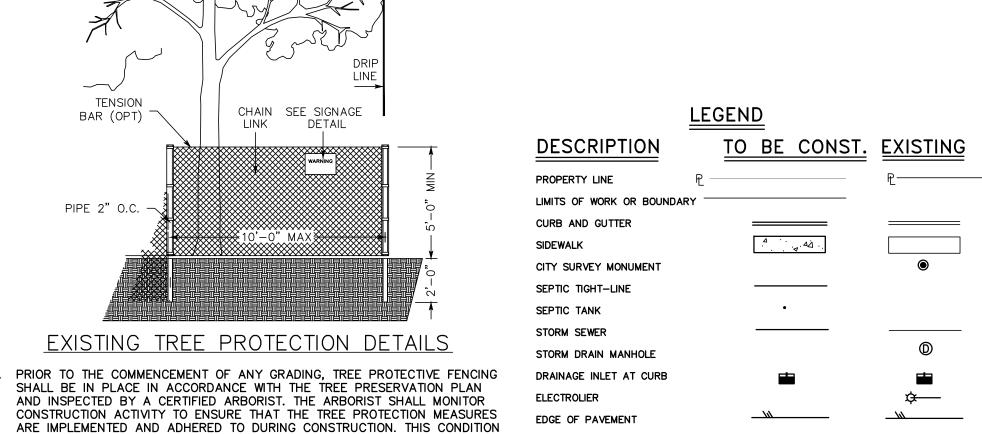
SANTA CLARA COUNTY

TENTATIVE PARCEL MAP

JUAN CONTRERES

CALIFORNIA

3. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE DESIGN OF THE EROSION CONTROL PLANS AND ANY MODIFICATIONS OF THE EROSION COTROL PLANS TO PREVENT ILLICIT DISCHARGES FROM THE SITE DURING CONSTRUCTION.



PACING CONFORM OR OVERLAY TO FORM

TITLE CLIEET

## SHEET INDEX

	] 1	ITTLE SHEET
	2	OVERALL SITE DEVELOPMENT PLAN
	3	SITE GRADING PLAN-PARCEL 1
	4	SITE GRADING PLAN-PARCEL 3
	5	SITE GRADING PLAN-CUL DE SAC
	6	EROSION CONTROL DETAILS - BMP SHEET 1
_	7	EROSION CONTROL DETAILS - BMP SHEET 2
	8	COUNTY DETAILS
		TOPOGRAPHIC SURVEY FOR REFERENCE ONLY
		1

## ENGINEER'S NAME: MARK E. SORENSON

ADDRESS: 5138 Keystone Drive Fremont, Ca. 94536 PHONE NO. 925-683-2910

## TITLE SHEET

PROJECT NO. CONTRERAS PLOT DATE: 01-20-2023 SheetRevision 1 860-05-055 Revision 2 Co. File Revision 3

PLN18-11442

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION OF (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO

SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

COUNTY OF SANTA CLARA DEPT. OF ROADS AND AIRPORTS

ENGINEER'S STATEMENT

COUNTY ENGINEER'S NOTE

ISSUED BY: \_\_\_\_

ENCROACHMENT PERMIT NO.

SIGNATURE

APN: 830-05-055

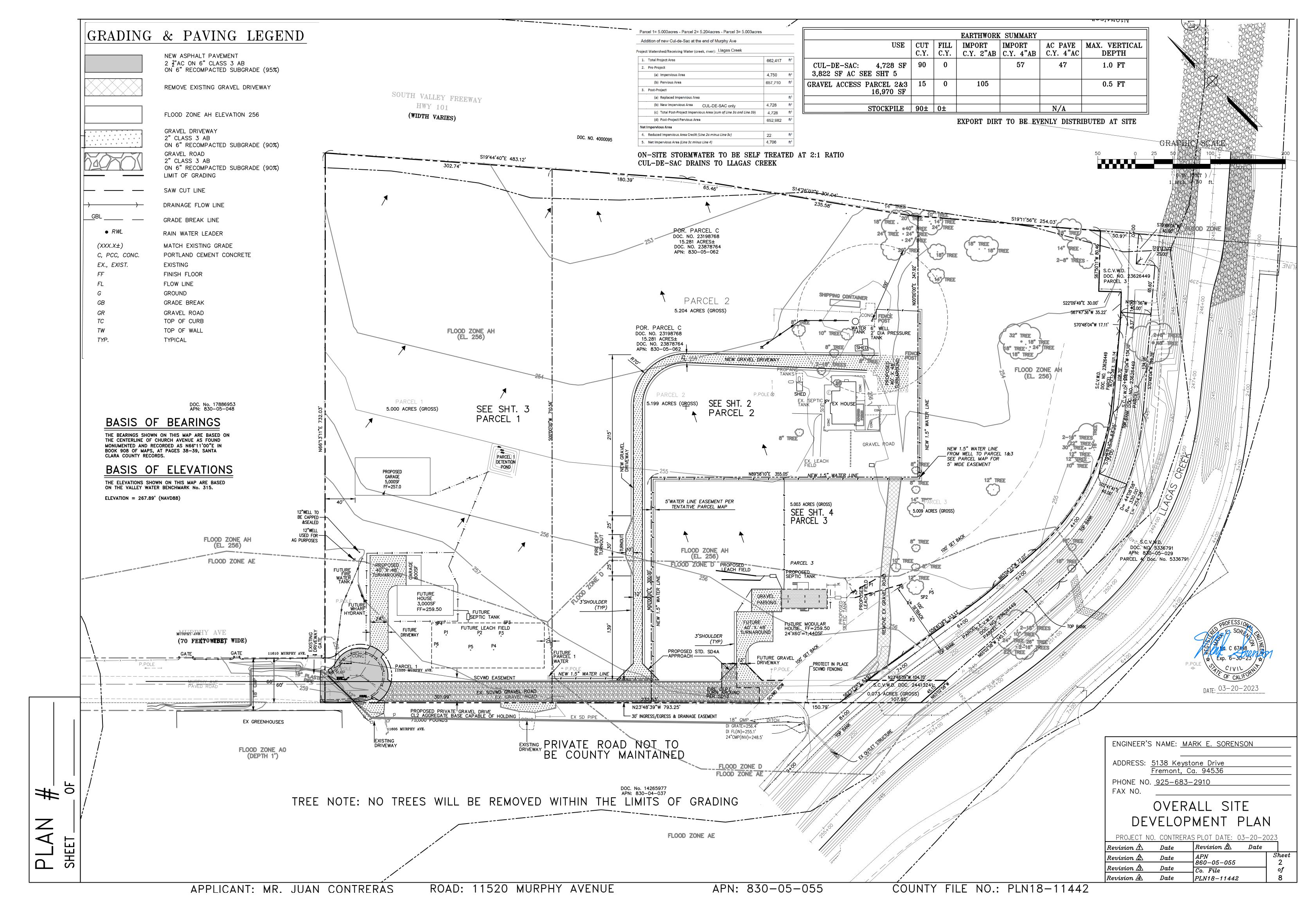
42107 CHRISTOPHER L. FREITAS 3/31/2022

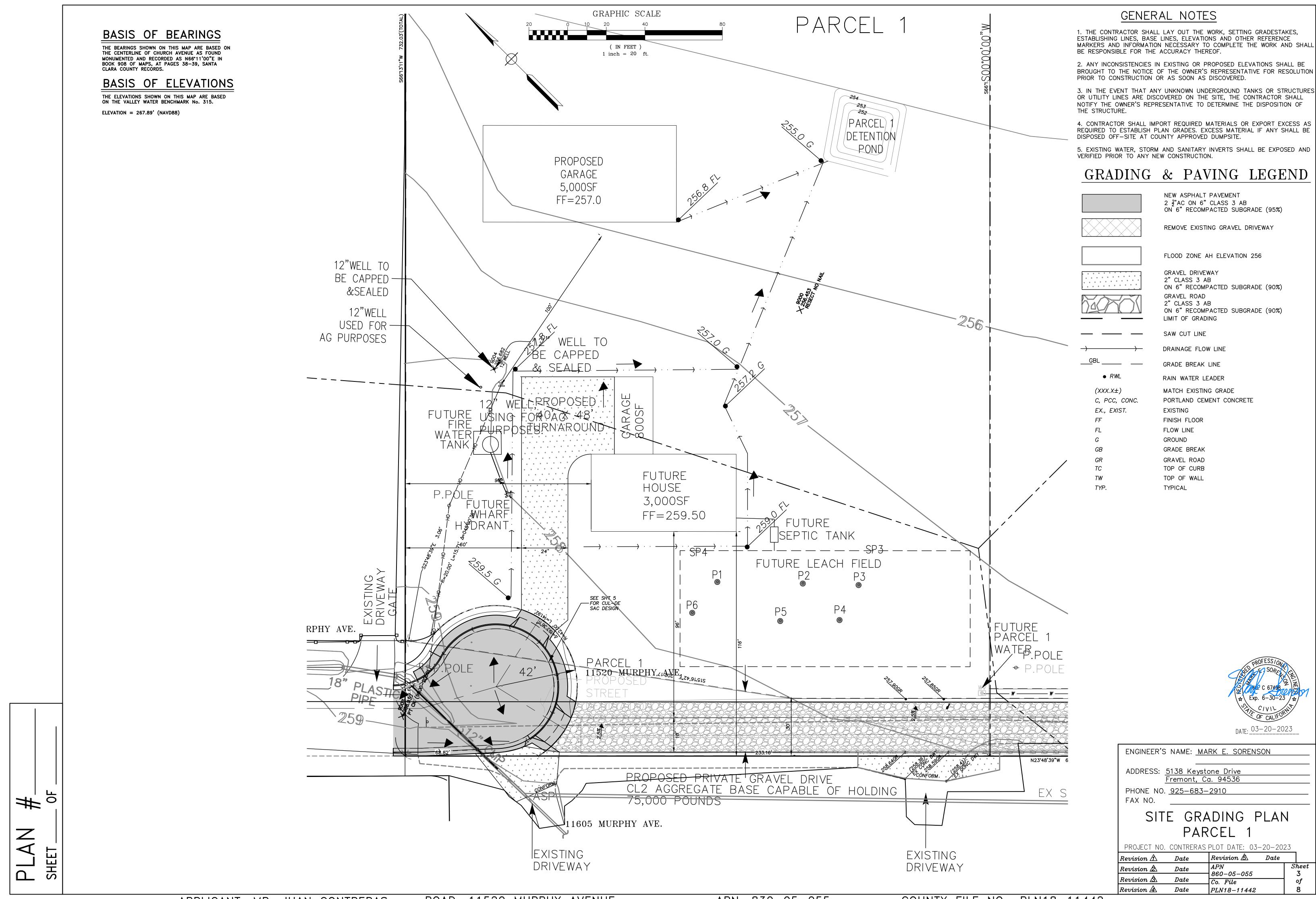
R.C.E. NO.

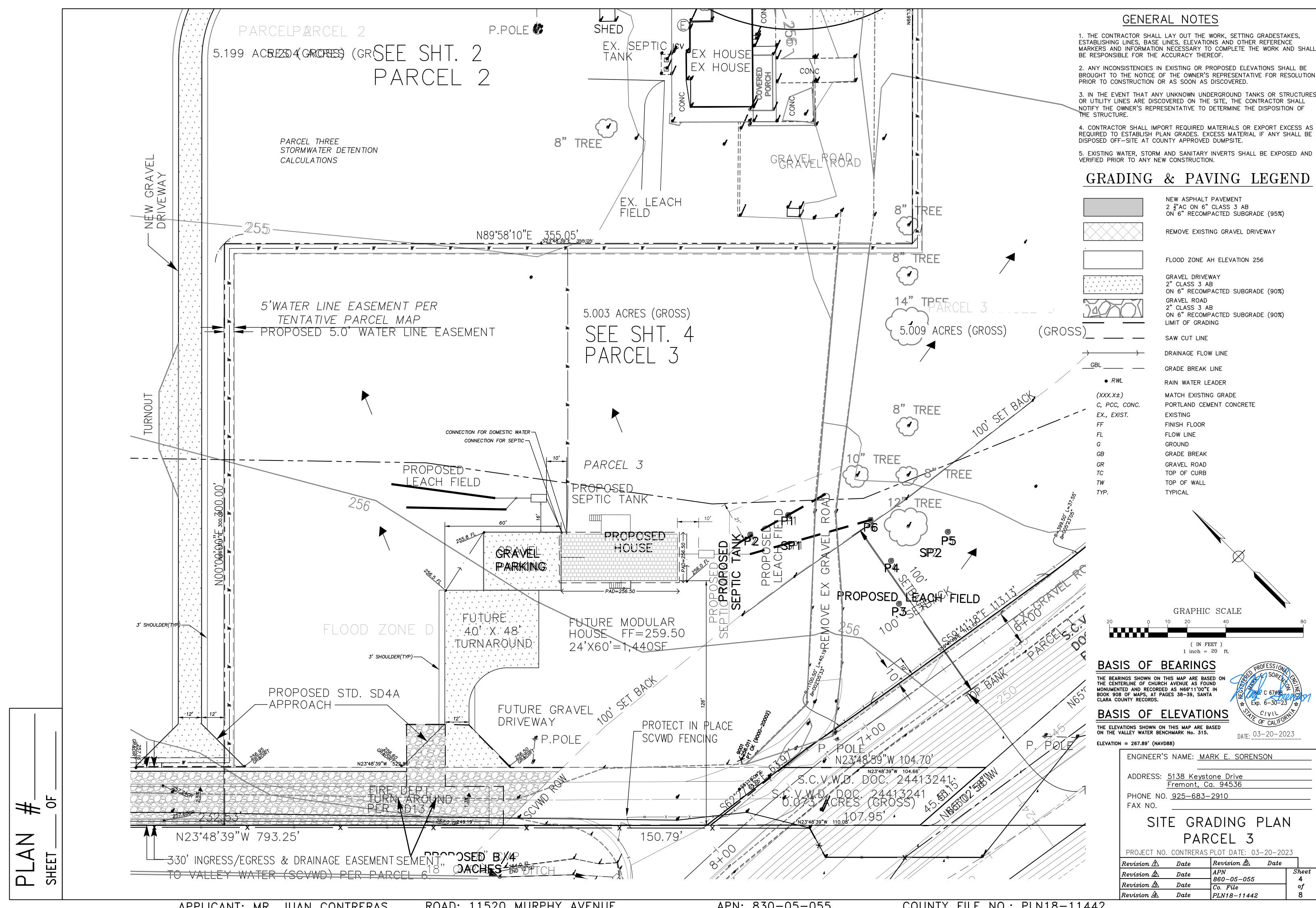
I HEARBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE

APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED

DATE \_01-20-2023





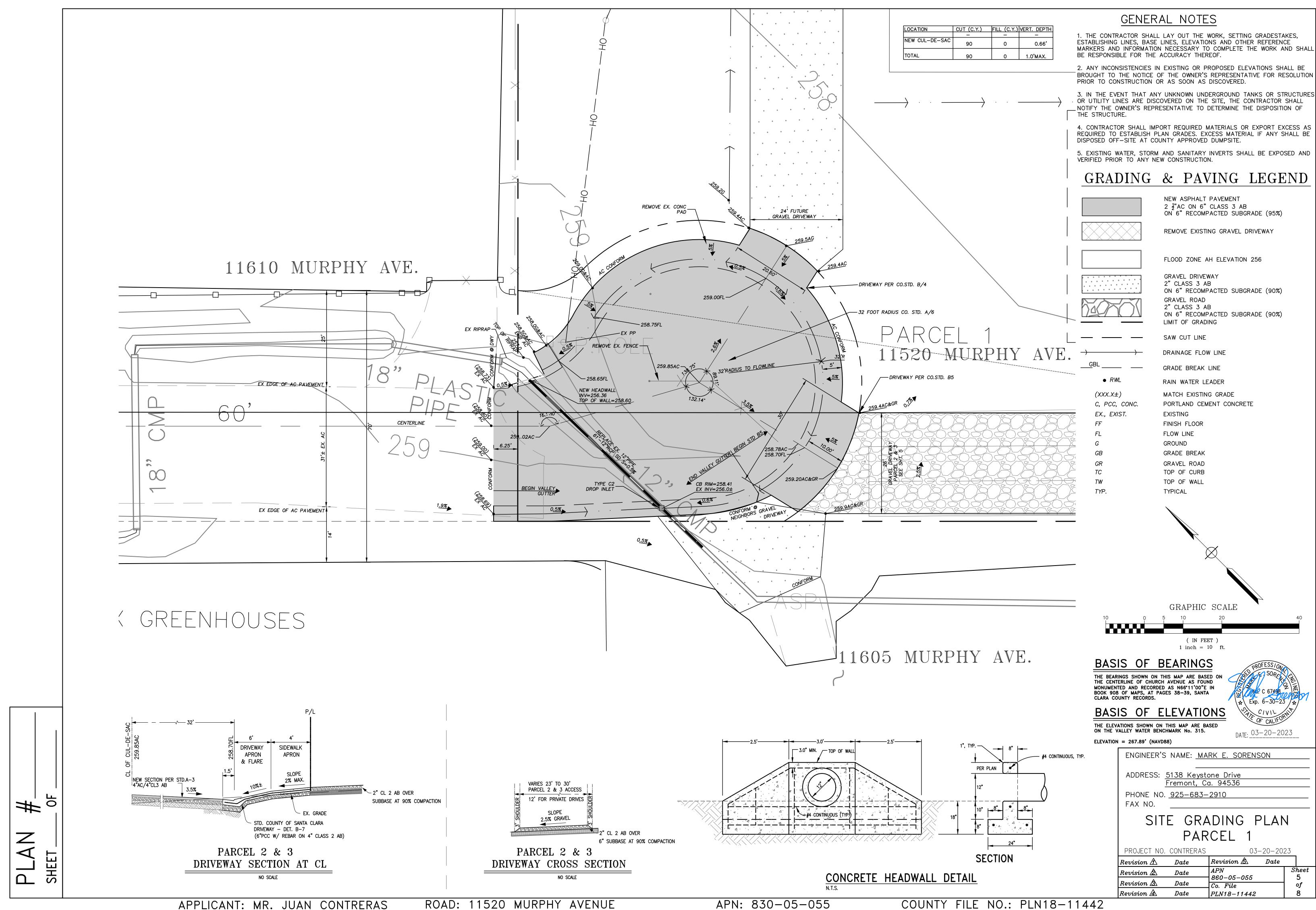


APPLICANT: MR. JUAN CONTRERAS

ROAD: 11520 MURPHY AVENUE

APN: 830-05-055

COUNTY FILE NO.: PLN18-11442



APPLICANT: MR. JUAN CONTRERAS

ROAD: 11520 MURPHY AVENUE

APN: 830-05-055

Sheet



5 Z Z 30 APPLIC,

ati

1. Sediment Control Management: <u>Tracking Prevention & Clean Up</u>: Activities

of each workday that material is tracked, or, more

frequently as determined by the County Inspector.

4th Edition (pages B-31 to B-33) or latest.

Refer to Erosion & Sediment Control Field Manual,

Storm Drain Inlet and Catch Basin Inlet Protection:

All inlets within the vicinity of the project and

within the project limits shall be protected with

protection. At locations where exposed soils are

gravel bags placed around inlets or other inlet

present, staked fiber roles or staked silt fences

can be used. Inlet filters are not allowed due to

& Sediment Control Field Manual, 4th Edition

(pages B-49 to B-51) or latest.

clogging and subsequent flooding. Refer to Erosion

Storm Water Runoff: No storm water runoff shall be

allowed to drain in to the existing and/or proposed

underground storm drain system or other above

<u>Dust Control</u>: The contractor shall provide dust

suppression or chemical stabilization of exposed

deposited on paved roads, furnishing construction

limiting the amount of areas disturbed by clearing

and earth moving operations by scheduling these

Stockpiling: Excavated soils shall not be placed in

streets or on paved areas. Borrow and temporary

fences, ect.) to ensure silt does not leave the site

or enter the storm drain system or neighboring

combination of erosion and sediment control. It is

are applied to all disturbed soil areas prior to a rain

event. During the non-rainy season, erosion control

measures must be applied sufficient to control wind

<u>Inspection & Maintenance</u>: Disturbed areas of the

exit the site, and all erosion and sediment controls

that are identified as part of the Erosion Control

Plans must be inspected by the Contractor before,

during seasonal wet periods. Problem areas shall

be identified and appropriate additional and/

or alternative control measures implemented

during, and after storm events, and at least weekly

immediately, within 24 hours of the problem being

4. <u>Project Completion</u>: Prior to project completion and signoff by the County Inspector, all disturbed areas

the potential for erosion on the subject site.

shall be reseeded, planted, or landscaped to minimize

It shall be the Owner's/Contractor's responsibility to

maintain control of the entire construction operation

and to keep the entire site in compliance with the

6. Erosion and sediment control best management

practices shall be operable year round or until

vegetation is fully established on landscaped

Project's site, locations where vehicles enter or

required that temporary erosion control measures

2. <u>Erosion Control</u>: During the rainy season,

all disturbed areas must include an effective

stockpiles shall be protected with appropriate erosion control measures(tarps, straw bales, silt

road entrances and vehicle wash down areas, and

soils, providing for rapid clean up of sediments

control in graded areas as required by providing wet

ground watercourses until appropriate erosion

control measures are fully installed.

activities in phases.

watercourse.

erosion at the site.

identified.

erosion control plan.

surfaces.

STANDARD EROSION CONTROL NOTES

1. Solid and Demolition Waste Management: Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular shall be organized and measures taken as needed disposal. Waste containers must be watertight and covered to prevent or minimize tracking of soil onto the at all times except when waste is deposited. Refer to Erosion public street system. A gravel or proprietary & Sediment Control Field Manual, 4th Edition (page C3) or device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end

2. <u>Hazardous Waste Management</u>: Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.

STANDARD BEST MANAGEMENT PRACTICE NOTES

3. Spill Prevention and Control: Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.

4. <u>Vehicle and Construction Equipment Service and Storage</u>: An area shall be designated for the maintenance, where onsite maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.

5. Material Delivery, Handling and Storage: In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.

6. <u>Handling and Disposal of Concrete and Cement</u>: When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.

7. Pavement Construction Management: Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.

8. Contaminated Soil and Water Management: Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or

Sanitary/Septic Water Management: Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or

10. Inspection & Maintenance: Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

Silt Fence **CASQA Detail SE-1** LECEND Tomped backfill Max reach = 500' (See note 1) Slope direction Direction of flow Optional maintenance opening detail -Cross borrier (See note 10) Cross barrier PLAN SILT FENCE NOTES 1. Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/3 the height of the linear barrier, in no case shall the reach length exceed 500°. The last 8'-0" of fence shall be turned up slape.

CROSS BARRIER DETAIL

SECTION C-C

required to 3. Stake dimensions are naminal. accomodate 4. Dimension may very to fit field condition. anticipated 5. Stakes shall be spaced at 8'-0" maximum and shall be positioned on downstream side of fence. 6. Stakes to overlap and fence fabric to fold around each stake one full turn. Secure fabric to stake with 4 staples. 7. Stakes shall be driven tightly together to prevent potential

flow-through of sediment at joint. The tops of the stakes shall be secured with wire. 8. For end stake, fence fabric shall be failed around two stakes one full turn and secured with 4 staples. 9. Minimum 4 staples per stake. Dimensions shown are typical.

height of the linear barrier. 11. Maintenance openings shall be constructed in a manner to ensure sediment remains behind silt fence. 12. Joining sections shall not be placed at sump locations.

10. Cross barriers shall be a minimum of 1/3 and a maximum of 1/2 the

13. Sandbag rows and layers shall be offset to eliminate gaps.

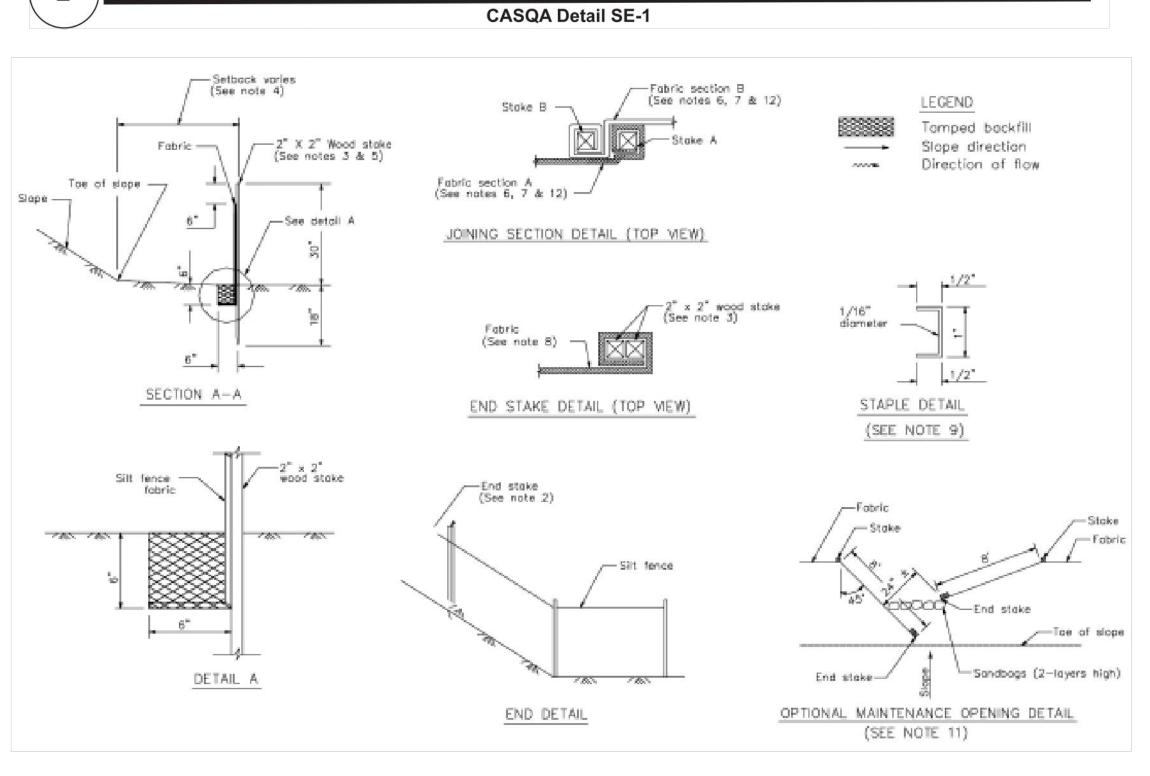
Pipe outlet to well defined channel

-Key in 6"-9"

recommended for

entire perimeter

# Silt Fence



SECTION A-A \* Length per ABAG Design Standards

**Stabilized Construction Entrance/Exit** 

**CASQA Detail TC-1** 

Crushed aggregate greater than 3"

but smaller than 6"

Filter fabric

-12 " Min. unless otherwise

SECTION B-B

specified by a soils engineer

Construct sediment barrier

and channelize runoff to

emporary pipe culvert

or four times the circumference

of the largest construction vehicle tire,

whichever is greater

**Velocity Dissipation Devices** 

CASQA Detail EC-10

Match

Existing

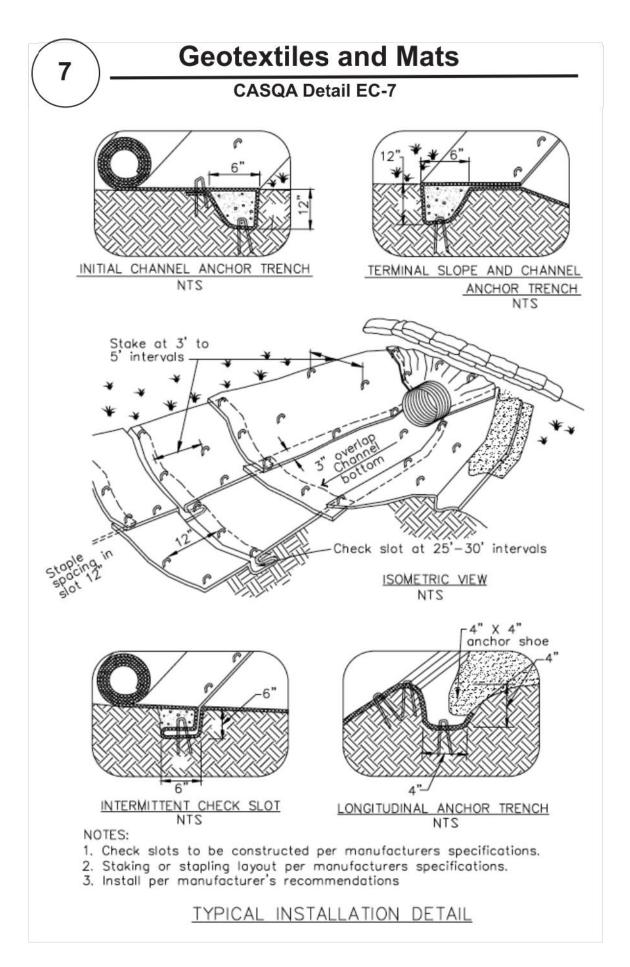
PLAN VIEW

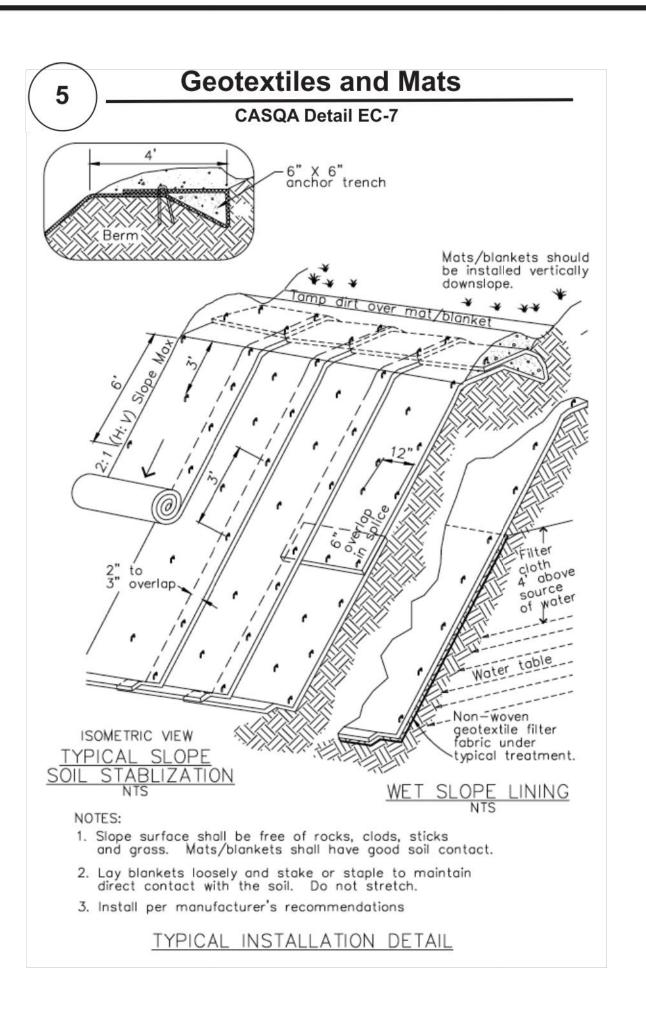
Grade

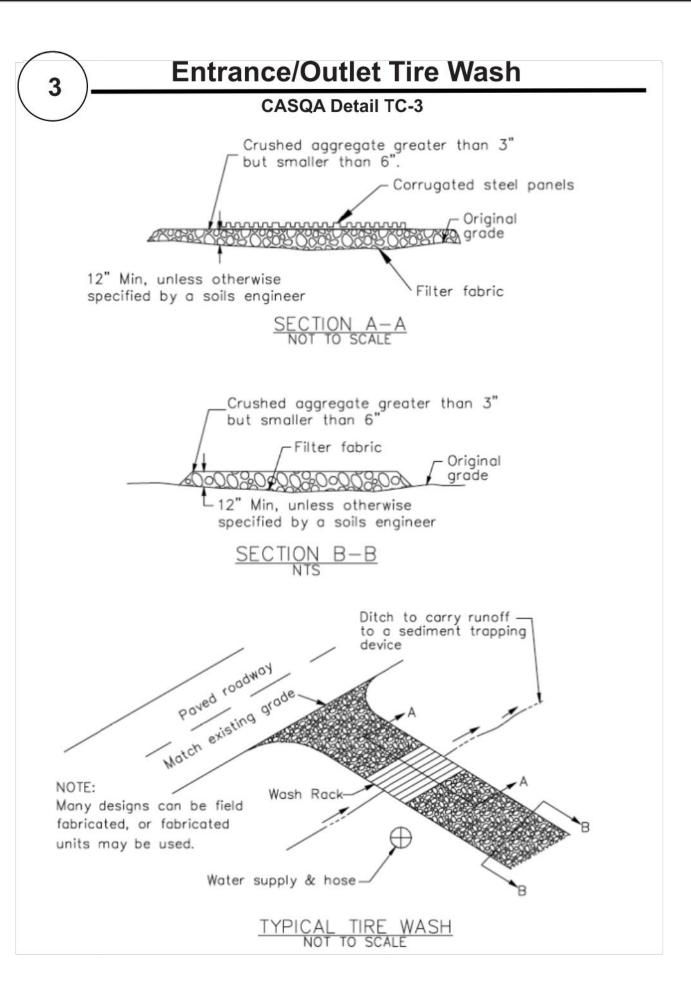
sediment trapping device

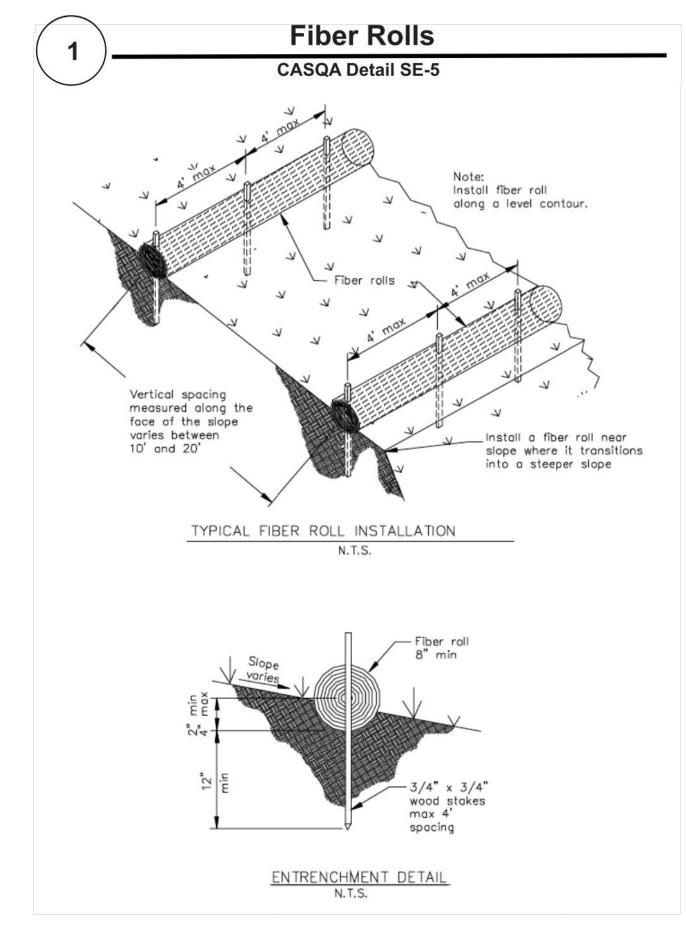
Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.

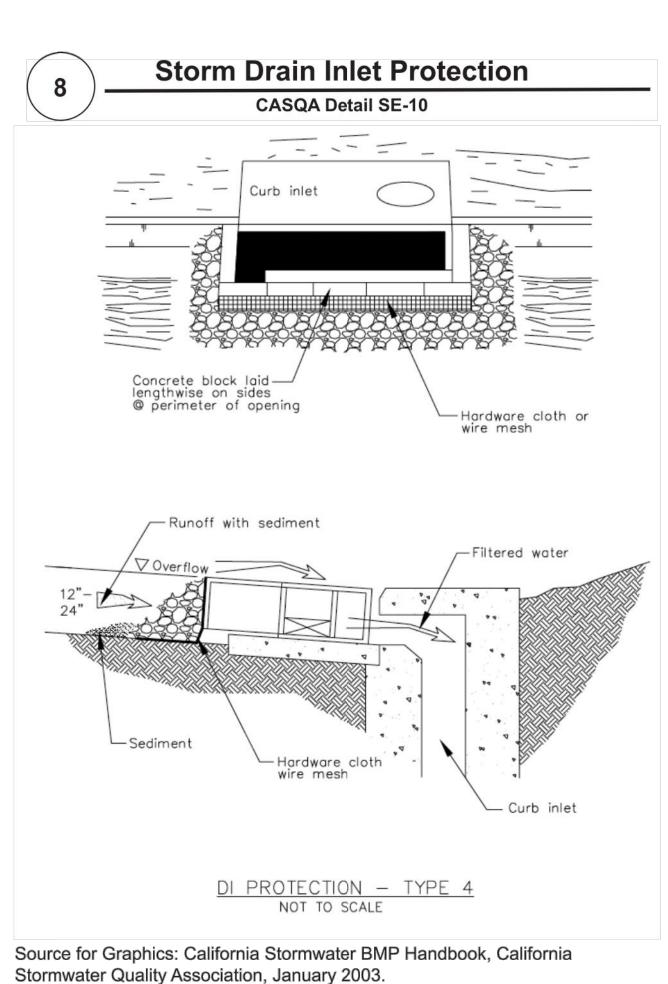
> Best Management Practices and Erosion Control Details Sheet 1 County of Santa Clara



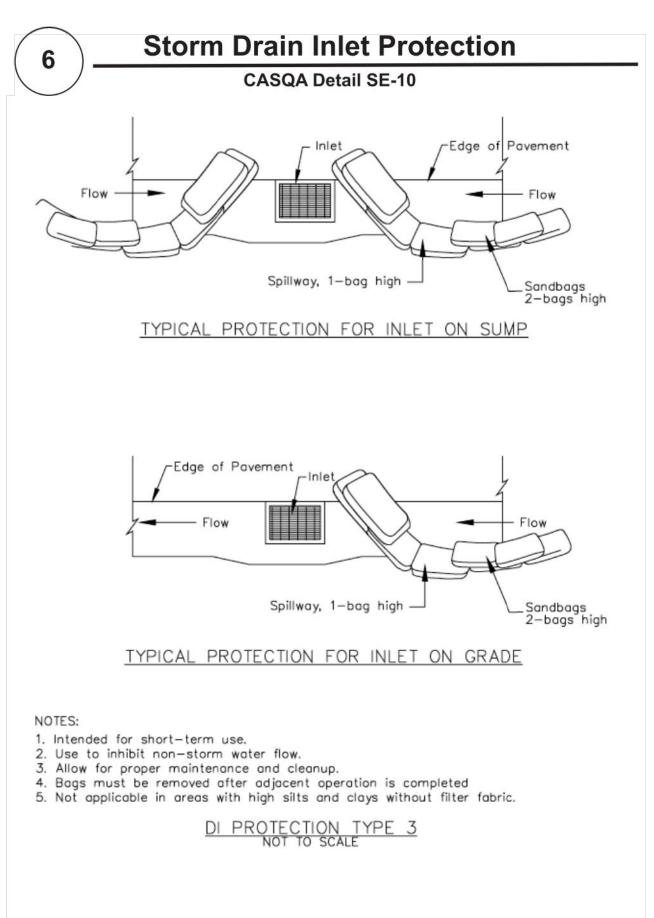


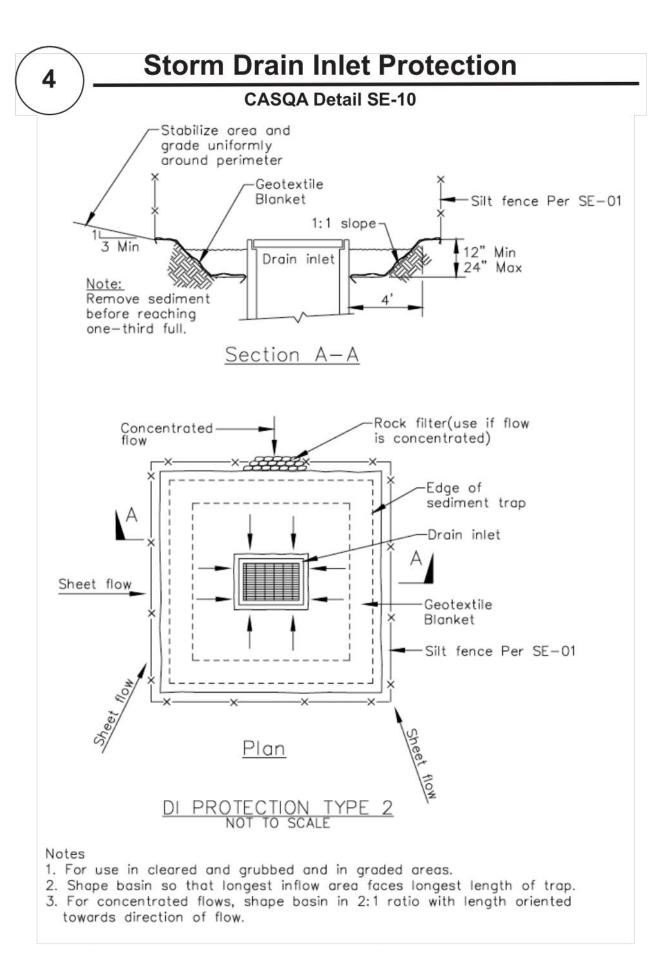


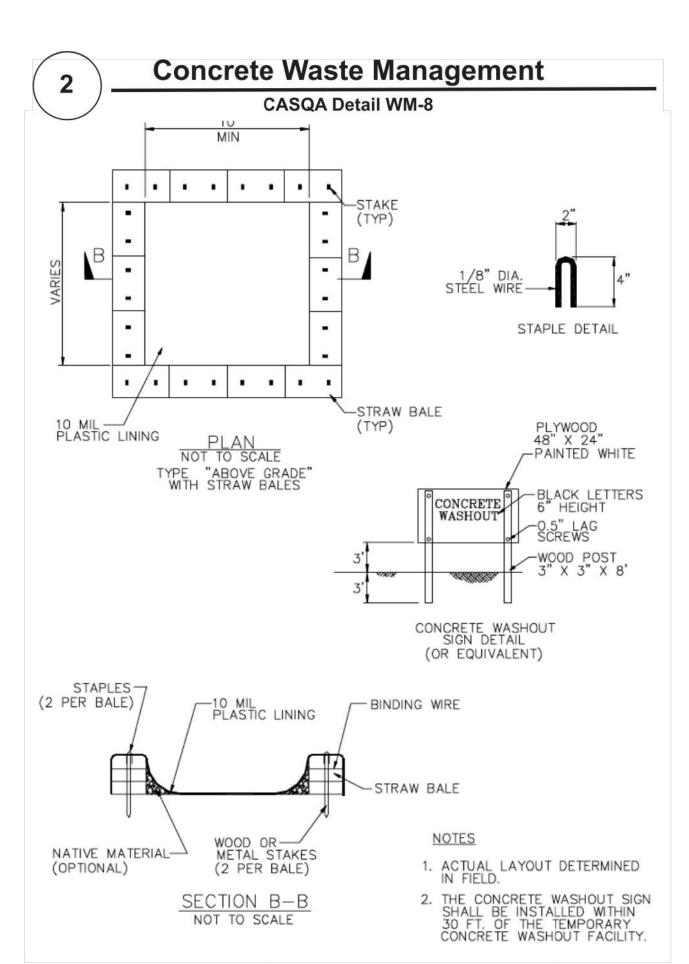


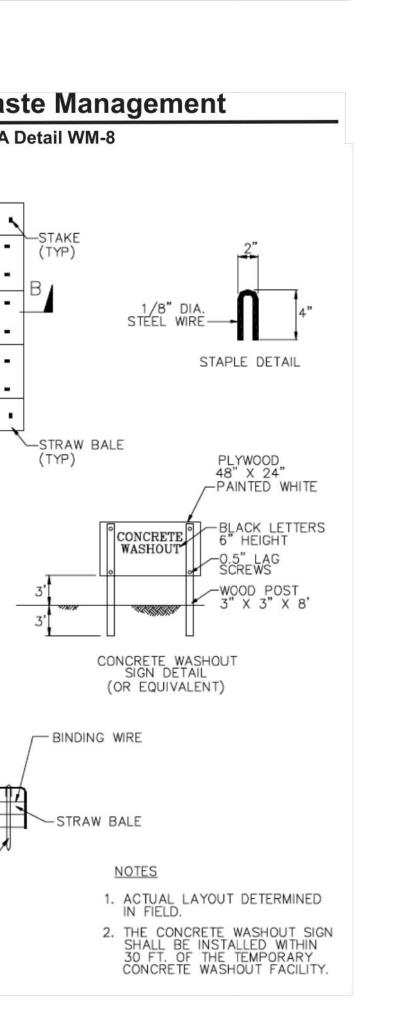


Available from www.cabmphandbooks.com.









Sheet

ENUE

ROAD

TRER,

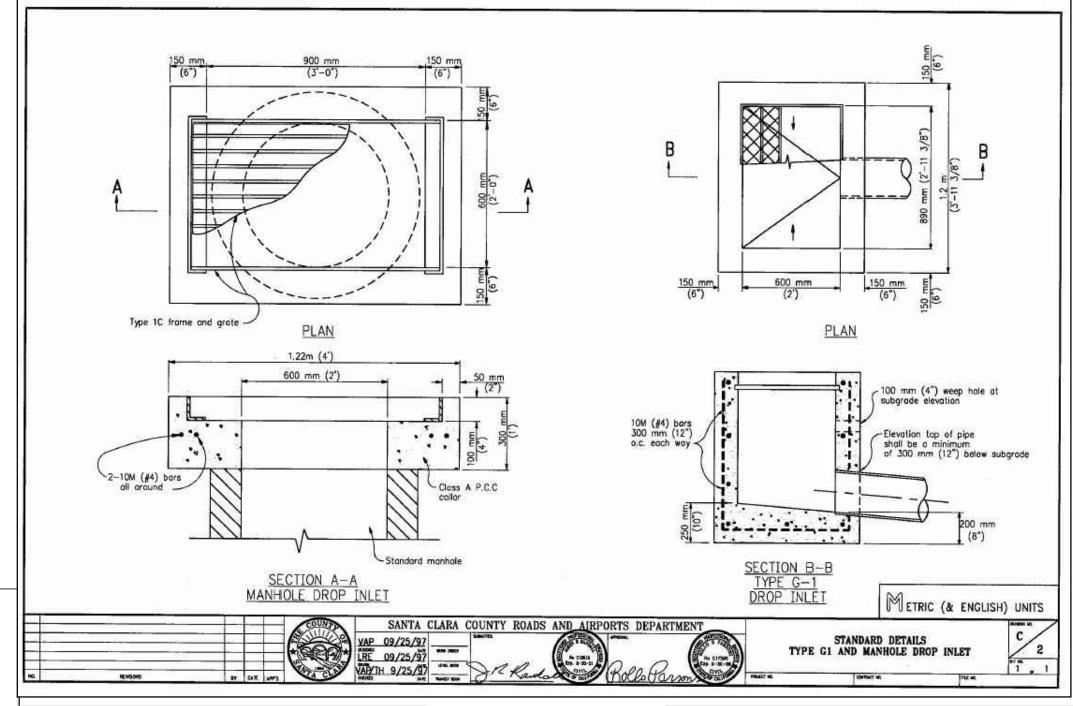
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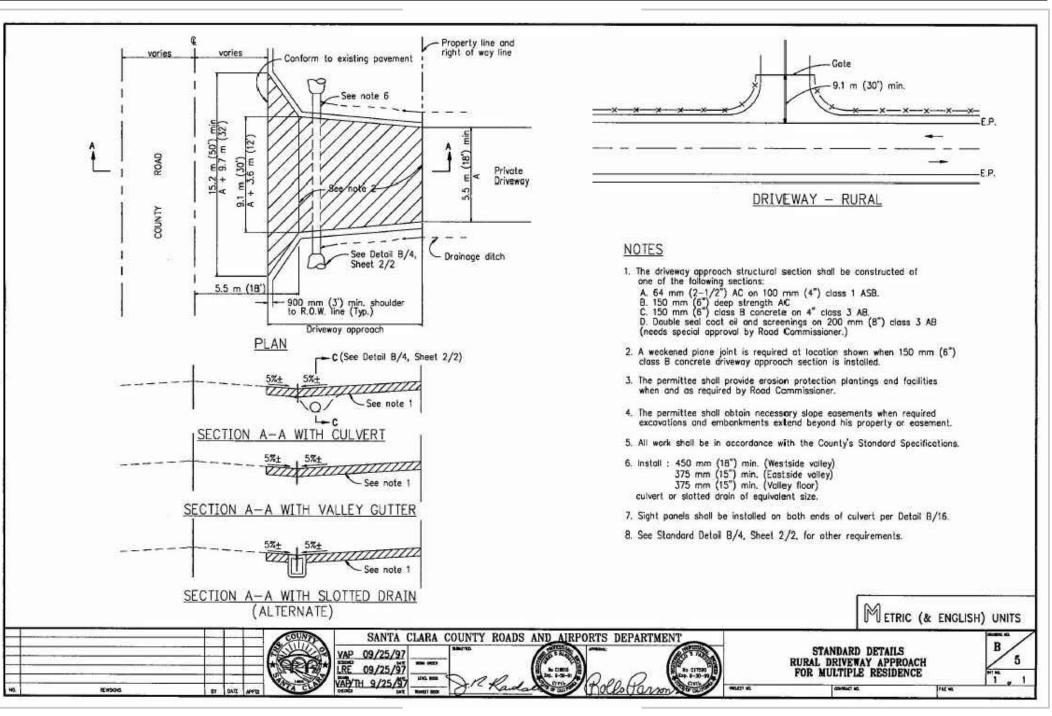
NNO

Best Management Practices and Erosion Control Details Sheet 2 County of Santa Clara



Conform to edge of povement Co € of driveway \_\_\_9.14 m (30') min. \_\_<del>x\_x\_x\_x\_x\_</del> <u>DRIVEWAY - RURAL</u> 900 mm (3') shoulder (Typ.) The driveway approach structural section shall be constructed of one of the following sections: 3.05 m (10') min Driveway approach A. 50 mm (2") AC on 100 mm (4") class 1 A.S.B.
B. 150 mm (6") deep strength AC
C. 150 mm (6") class B concrete on 100 mm (4") class 3 AB.
D. Double seal coat oil and screenings on 200 mm (8") class 3 AB (needs special approval by Road Commissioner.) <u>PLAN</u> ----A weakened plane joint is required at location shown when 150 mm (6") class B concrete driveway approach section is installed. SECTION A-A WITH CULVERT The permittee shall provide erosion protection plantings and facilities when and as required by Road Commissioner. The permittee shall obtain necessary slope easements when required excavations and embankments extend beyond his property or easement. 5. All work shall be in accordance with the County's Standard Specifications. SECTION A-A WITH VALLEY GUTTER 6. Install : 450 mm (18") min. (Westside valley)
375 mm (15") min. (Eastside valley)
375 mm (15") min. (Valley floor)
culvert or slot drain of equivalent size. 7. Sight panels shall be installed on both ends of culvert per Detail B/16. METRIC (& ENGLISH) UNITS SANTA CLARA COUNTY ROADS AND AIRPORTS DEPARTMENT







ENGINEER'S NAME: MARK E. SORENSON				
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Fremont, Ca. 94536				
PHONE NO. <u>925-683-2910</u>				
FAX NO.				
CITE CIVII				

# SITE CIVIL TYPICAL DETAILS

PROJECT NO.	CONTRERAS	PLOT DATE: 12-21-2022_		
Revision 🛕	Date	Revision 🖄 Dat	e	
Revision 🖄	Date	<i>APN</i> 860-05-055	S	heet
Revision 🖄	Date	Co. File		9 of
Revision 🛕	Date	PLN18-11442		9

OF

SHEET

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APN: 830-05-055