

248 KIRK AVENUE ADDITION

PROJECT INFORMATION

OWNER



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www.lasan.org
Email: dongnulasan@yahoo.com

PROJECT LOCATION

248 KIRK AVENUE,
SAN JOSE, CA 95127

PROJECT DATA

APN: 599-39-117
LOT AREA: 0.953 ACRES.
OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
FIRE SPRINKLER SYSTEM: NFPA
EXISTING USED: CONVENT AND DAYCARE
EXISTING BUILDING STORY: 2 STORY
EXISTING LOT COVERAGE: 6,536.5 SQ.FT. (15.3 %)
EXISTING BUILDING HEIGHT: 26'-6"
PROPOSED NEW BUILDING HEIGHT: 19'-1"

SCOPE OF WORK

- ADD 3,360 SQFT COVER ROOF FOR SOLAR SYSTEM

This application proposes a Use Permit, Architecture & Site Approval (ASA), to construct an accessory structure to support a solar system. The current use permit for this site includes a communal residential facility (convent) and a community care facility (day care & after school program). The current use permit is not changed. The proposed site improvements include a use for a current 3360 sq-ft patio area with a covered roof structure to support photo-voltaic (PV) modules. In addition, the covered patio will be a play area for daycare and after school program. The PV system will be a deferred submittal. The downspout run-off of the proposed covered roof will tie to the existing drainage system. The existing patio has paver and has a flat elevation therefore, there will be no grading required for this site improvement. The current facility has an NFPA sprinkler system in both buildings. The proposed site improvement will adhere to the code to include sprinkler system as required and it will be a defer submittal.

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APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ADMINISTRATIVE CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA FIRE CODE
2019 INTERNATIONAL PROPERTY MAINTENANCE CODE
TITLE 24, PART 6, CALIFORNIA ENERGY CODE
TITLE 24 HANDICAPPED ACCESSIBILITY REGULATIONS

GENERAL NOTES:

- DISCREPANCIES: DO NOT SCALE FROM DRAWINGS, WRITTEN DIMENSIONS HAVE PRECEDENCE OVER ALL ELSE. ANY DISCREPANCIES SHALL BE REPORTED TO THE PROJECT ENGINEER IMMEDIATELY PRIOR TO COMMENCING ANY WORK.
- ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM: CALIFORNIA BUILDING CODE 2019 EDITION
CALIFORNIA MECHANICAL CODE 2019 EDITION
CALIFORNIA PLUMBING CODE 2019 EDITION
CALIFORNIA ELECTRIC CODE 2019 EDITION
ALONG WITH ANY OTHER APPLICABLE LOCAL & STATE LAWS AND REGULATIONS.
- ALL ELECTRICAL, FIRE PROTECTION, MECHANICAL, PLUMBING AND STRUCTURAL WORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EACH FIELDS APPLICABLE CODES AND STANDARDS.
- CONSTRUCTION DRAWING NOTES AND DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.
- CONTRACTORS SHALL VERIFY LOCATION AND ACCEPTABILITY OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- WORK SHALL BE EXECUTED WITH THE LEAST POSSIBLE DISTURBANCE TO THE PUBLIC AND OCCUPANTS OF ADJACENT AREAS. THE CONTRACTOR SHALL KEEP DIRT, DUST AND NOISE TO A MINIMUM AND PROVIDE DUST SHEETS AS REQUIRED AND DIRECTED. WORK SHALL BE SCHEDULED BY THE CONTRACTOR AND AGREED TO BY THE OWNER IN WRITING.
- INSULATE ALL EXTERIOR WALLS WITH R-19 MIN. BATT INSULATION, AND CEILING WITH R-30 MIN. INSULATION, UNLESS NOTED OTHERWISE ON THESE PLANS AND DRAWINGS PER TITLE 24.
- PRIOR TO INSPECTION OF ROOF SHEATHING, THE APPLICANT'S REPRESENTATIVE SHALL REQUEST AN INSPECTION OF THE RESIDENCE BY THE PROJECT ENGINEER IN ORDER TO ENSURE COMPLIANCE WITH ALL OF THE ARCHITECTURAL DETAILING OF THE BUILDING AS SPECIFIED IN THE APPROVED DRAWINGS.
- ROOF COVERAGE FIRE-RESISTANCE CLASS SHALL BE CLASS B.

SITE PLAN NOTES:

- THE GENERAL CONTRACTOR (GC) SHALL READ, EXAMINE AND BE THOROUGHLY FAMILIAR WITH THESE DRAWINGS AND WITH THE EXISTING SITE CONDITIONS PRIOR TO START WORK. IN THE EVENT THERE ARE DISCREPANCIES OR OMISSIONS WITHIN THE DRAWINGS AND/OR SPECIFICATIONS, THE GC SHALL NOTIFY THE DESIGNER IMMEDIATELY.
- THE GC. AND ALL SUBCONTRACTORS SHALL COMPLY WITH ALL APPLICABLE LAWS AND CODE REGULATIONS.
- THE GC. SHALL VERIFY ALL GRADE ELEVATIONS PRIOR TO CONSTRUCTION.
- THE GC. AND ALL SUBS SHALL BE RESPONSIBLE FOR THE PROTECTION OF NEW AND EXISTING CONSTRUCTION FROM DAMAGE. ALL DAMAGED MATERIAL SHALL BE RESTORED/ REPAIRED TO ITS ORIGINAL CONDITION
- THE GC. SHALL BE RESPONSIBLE FOR ALL ITEMS OF EQUIPMENT, FIXTURES AND MATERIALS NOT SPECIFIED HEREIN BUT NECESSARY FOR THE COMPLETION OF THE WORK AS INDICATED ON THESE DRAWINGS. THE GC SHALL SUBMIT CUT SHEET/SHOP DRAWINGS WHICH MEET THE QUALITY AND FUNCTION DESIRED.
- THE ARCHITECT RESERVES THE RIGHT TO REJECT ALL MATERIALS AND WORK QUALITY WHICH ARE NOT IN CONFORMANCE WITH THE SPECIFIED STANDARDS OF THE VARIOUS TRADES INVOLVED. SUCH INFERIOR MATERIALS OR WORK OR QUALITY SHALL BE REPAIRED OR REPLACED AS DIRECTED BY THE OWNER OR DESIGNER.
- THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE AND AVAILABLE DURING INSPECTION ACTIVITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY LOCATING ALL PROPERTY LINES AND GRADES REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT.
- THE BUILDING SITE SHALL BE CLEARED AND GRUBBED OF ALL STUMPS ROOTS OR OTHER FOREIGN MATTER TO A DEPTH OF 12 INCHES.
- ALL FOOTINGS TRENCHES SHALL BE CLEANED AN GRUBBED OF ALL ROOTS.
- ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90 PERCENT RELATIVE COMPACTION OR MAXIMUM FIELD DENSITY. FIELD DENSITY SHALL BE DETERMINED IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE AND BY THE LOCAL BUILDING DEPARTMENT. ALL FILL MATERIAL USED TO SUPPORT THE FOUNDATION SHALL BE PLACED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE AND SHALL HAVE NO MORE THAN MINOR AMOUNT OF ORGANIC SUBSTANCES AND HAVE NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MIN. DIMENSION GREATER THAN 8"

- ALL FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 6" WATER SHALL BE ADDED TO THE OPTIMUM LEVEL FOR THE REQUIRED COMPACTION AND DENSITY PER LAYER FILL AND COMPACTION SHALL MEET THE APPROVAL OF THE LOCAL BUILDING DEPARTMENT.
- ALL FINISH GRADES AROUND THE BUILDING SHALL BE SLOPPED TO DRAIN WATER AWAY FROM THE BUILDING.
- PROVIDE A MINIMUM SLOPE OF 5% AWAY FROM THE BUILDING FOR THE ENTIRE SITE.
- NO DRAINAGE ONTO ADJACENT PROPERTIES SHALL BE PERMITTED PROVIDE A MINIMUM OF 0.5% SLOPE FOR THE ENTIRE SITE.
- PROPERTY SHALL NOT RETAIN DRAINAGE WATER UNLESS PROVISIONS FOR SUCH ARE INDICATED ON THE DRAWINGS.
- PROVIDE A CHEMICAL TOILET ON SITE PRIOR TO CALLING FOR THE FIRST INSPECTION.
- INSTALL STREET ADDRESS NUMERALS, AT LEAST 4" HIGH WITH MINIMUM 1/2" STROKE, MOUNTED ON A CONTRASTING BLACK GROUND CLEARLY VISIBLE FROM THE STREET.
- FINISH FLOOR TO BE ABOVE CROWN OF EXISTING STREET. PROVIDE A 2 PER CENT SLOPE AWAY FROM PROPOSED BUILDING FOR A MINIMUM OF 5 FEET.

DIMENSION NOTES:

DO NOT SCALE THESE DRAWINGS, ALL WORK SHALL BE GOVERNED BY THE DIMENSIONS SHOWN ON THE DRAWINGS.

ALL DIMENSION ARE TO THE FACE OF THE STUD, UNLESS OTHERWISE NOTED.

THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS AND MANUFACTURERS INSTALLATION PROCEDURES PRIOR TO START OF ANY WORK.

DIMENSIONS REGARDING FRAMING ARE FROM FACE OF STUD TO FACE OF STUD.

DIMENSIONS NOTED 'CLEAR' ARE FROM FACE OF FINISH TO FACE OF FINISH AND MUST BE PRECISELY MAINTAINED. DIMENSIONS REGARDING FURNITURE, FIXTURES AND/OR EQUIPMENT ARE 'CLEAR' DIMENSIONS.

DIMENSIONS NOTED 'V.I.F.' SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO THE START OF WORK BEING PERFORMED.

DIMENSIONS NOTED 'A.F.F.' ARE ABOVE FINISHED FLOOR. IN CARPETED AREAS, THE TOP OF THE CARPET IS CONSIDERED THE FINISH FLOOR.

DIMENSIONS IN THE PLAN PERTAINING TO DOORS AND WINDOWS ARE TO THE CENTER OF THE UNIT. ACCOMMODATIONS SHALL BE MADE FOR SHIMMING NECESSARY TO ENSURE THE UNIT IS SQUARE, LEVEL AND OPERATES PROPERLY.

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO COPYRIGHT PROTECTION AS AN 'ARCHITECTURAL WORK' UNDER SECTION 102 OF THE COPYRIGHT ACT.17 U.S.C. AS AMENDED DECEMBER 1, 1990 AND KNOWN AS THE ARCHITECTURAL WORKS PROTECTION ACT OF 1990.

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF ASSOCIATE DESIGN PROFESSIONALS. ALL DESIGN AND OTHER INFORMATION ON THESE DRAWINGS ARE FOR THE USE ON THIS SPECIFIC PROJECT AND SHALL NOT BE USED OTHERWISE WITHOUT WRITTEN PERMISSION OF ASSOCIATE DESIGN PROFESSIONALS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND ASSOCIATE DESIGN PROFESSIONALS SHALL BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS.

NOTICE TO BUILDER:

IT IS THE INTENT OF THIS DESIGNER THAT THESE PLANS ARE ACCURATE AND ARE CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL BUILDER TO CONSTRUCT THIS PROJECT. IN THE EVENT THAT SOMETHING IS UNCLEAR OR NEEDS CLARIFICATION, STOP AND CALL THE DESIGNER LISTED ON THE TITLE SHEET. IT IS THE RESPONSIBILITY OF THE LICENSED PROFESSIONAL TO FULLY REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION BEGINS SO THAT THIS PROJECT IS CONSTRUCTED PROPERLY AND IF NEEDED TO MAKE CORRECTIONS BEFORE ANY WORK BEGINS.



DEFERRED SUBMITTAL :

- FIRE SPRINKLER SYSTEM NFPA 13 FOR NEW STRUCTURE

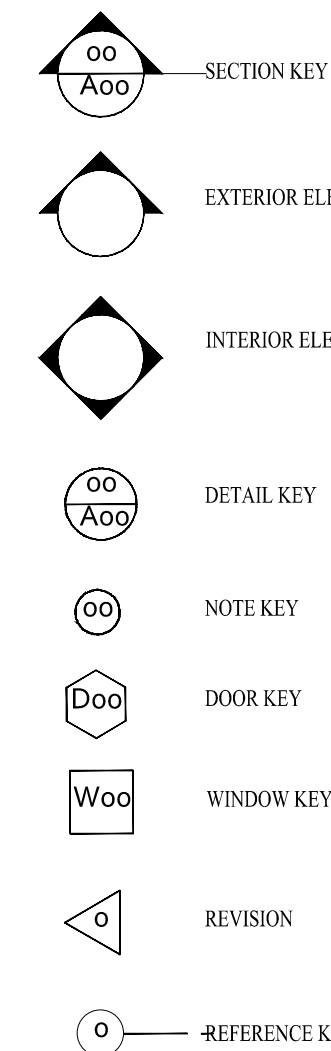
ABBREVIATIONS / DEFINITIONS:

| | | | | | | | |
|--------|---------------------------------|----------|--------------------------------|----------|------------------------------------|-------------|---------------------------|
| & | AND | (E.) | EXISTING/ EAST/ ENTRY/ EACH | I.D. | INSIDE DIAMETER/ INTERIOR DESIGNER | R.A. | RETURN AIR RADIUS |
| < | ANGLE | E.J. | EXPANSION JOINT | IN. | INCH | R.D. | ROOF DRAIN |
| @ | AT | EL | ELEVATION | INSUL. | INSULATION | R.D.L. | ROOF DRAIN LEADER |
| C | CENTERLINE | ELEC. | ELECTRIC | INT. | INTERIOR | RECT. | RECTANGLE |
| Ø | DIAMETER OR ROUND | ELEV. | ELEVATOR | INV. | INVERT/ INVERTED | REF. | REFERENCE |
| PL | PROPERTY LINE, PLATE | EMER. | EMERGENCY ENCLOSURE | JAN. | JANITOR | REFR/ R/F | REFRIGERATOR REGISTER |
| A.B. | ANCHOR BOLT | E.P. | ELECTRIC PANEL | JAN. | JANITOR | REINFC. | REINFORCEMENT |
| ABV. | ABOVE | E.Q. | EQUAL/ EQUIVALENT | JT. | JOINT | REQD. | REQUIRED |
| A/C | AIR CONDITIONING | EQPT/ | EQUIPMENT | JST. | JOIST | RESIL. | RESILIENT |
| A.C. | ASPHALT CONCRETE | EXST. | EXISTING | KIT. | KITCHEN | RETAIN(NG). | RETAINING |
| ACOUS. | ACOUSTICAL | E.W. | EACH WAY | L. | LOW/LINEN | R.M. | ROOM |
| A.D. | AREA DRAIN | EXH. | EXHAUST | L.A. | LANDSCAPED AREA | R.O. | ROUGH OPENING |
| ADH. | ADHESIVE | EXPO. | EXPOSED | LAB. | LABORATORY | R.R. | ROOF RAFTER |
| ADJ. | ADJUSTABLE | EXT. | EXTERIOR | LAM. | LAMINATE | RWD. | REDWOOD |
| AL | ALUMINUM | E.G. | EXISTING GRADE | LAV. | LAVATORY | S. | SOUTH |
| ALT. | ALTERNATE | F.A. | FIXED | LBS. | POUNDS | S.A. | SUPPLY AIR |
| ANOD. | ANODIZED | F.A.C. | FIRE ALARM | LFA. | LOAD FROM ABOVE | S.C. | SOLID CORE |
| A.P. | ACCESS PANEL | F.A.S. | FACTORY | L.H. | LEFT HAND | S.C.D. | SEAT COVER DISPENSER |
| APPX. | APPROXIMATELY | F.C.O. | FLOOR CLEAN OUT | LKR. | LOCKER | SCHED. | SCHEDULE |
| APPVD | APPROVED | F.D. | FLOOR DRAIN | LT. | LIGHT | S.D. | SUB DRAIN/ SOAP DISPENSER |
| ARCH. | ARCHITECTURAL | FDN. | FOUNDATION | LUM. | LUMINOUS | SEC. | SECTION |
| ASB. | ASBESTOS | F.E. | FIRE EXTINGUISHER | MAINT. | MAINTENANCE | SEL. | SELECTED |
| ASSY. | ASSEMBLY | F.E.C. | FIRE EXTINGUISHER CABINET | MAS. | MASONRY | SH. | SHELF |
| AUTO. | AUTOMATIC | F.G. | FINISH GRADE | MAT. | MATERIAL | SHT. | SHEET |
| B. | BATH | F.H. | FLAT HEAD | MAX. | MAXIMUM | SHTG. | SHATHING |
| BD. | BOARDS | F.I. | FINISH | M.B. | METAL BOLT | SIM. | SIMILAR |
| BEL. | BELOW | F.IX | FIXTURE | M.C. | MEDICINE CABINET | SIMP. | SIMPSON |
| BET. | BETWEEN | F.J. | FLOOR JOIST | MECH. | MECHANICAL | S.S. | STAINLESS STEEL |
| BETL. | BETWEEN | F.L. | FLOOR LINE | MEMB. | MEMBRANE | S.S.K. | SERVICE SINK |
| BLDG. | BUILDING | FLASH. | FLASHING | MET/MTL. | METAL | STA. | STATION |
| BLK. | BLOCK | FLR. | FLOOR | FLR. | FLOOR | STD. | STANDARD |
| BLKG. | BLOCKING | FLR.C. | FLOOR CENT | FLR.C. | FLOOR CENT | STL. | STEEL |
| BM. | BEAM | F.O.C. | FACE OF CONCRETE/ FACE OF CURB | M.H. | MAN HOLE | STOR. | STORAGE |
| B.O. | BY OWNER/BY OTHERS | F.O.F. | FACE OF FINISH | MIR. | MIRROR | STRUC. | STRUCTURAL |
| BOT. | BOTTOM | F.O.S. | FACE OF STRUCTURE | MISC. | MISCELLANEOUS | SUSP. | SUSPENDED |
| BR. | BEDROOM | F.O.M. | FACE OF MASONRY | MOS. | MOSAIC | T. | TREAD |
| B.W. | BACK OF WALK/ BOT. OF WALL | FP. | FIREPLACE | MTD. | MOUNTED | T.C.L. | TOP OF CURB |
| CAB. | CABINET | FT. | FOOT OR FEET | MUL. | MULLION | TEL. | TELEPHONE |
| C.B. | CATCH BASIN | FTG. | FOOTING | (N) | NEW | TEMP. | TEMPERED |
| CEM. | CEMENT | FURR. | FURRING | N. | NORTH | TER. | TERRAZZO |
| C.E. | CORNER GUARD | FUT. | FUTURE | NAT. | NATURAL | T.D. | TOP OF FENCE |
| CHAN. | CHANNEL | F.V. | FIELD VERIFY | N.I.C. | NOT IN CONTRACT | T.&G. | TONGUE AND GROOVE |
| CHG. | CHANGE | GA. | GAUGE | N.G. | NATURAL GRADE | THK. | THICK |
| C.I. | CAST IRON | GALV. | GALVANIZED | NO. | NUMBER | T.P. | TOP OF PAVING |
| C.J. | CAST JOINT/ CONST. JOINT | G.B. | GRAB BAR/GRADE BEAM | NOM. | NOMINAL | T.PL. | TOP OF PLATE |
| CLG. | CEILING/ CEILING JOIST | G.C. | GENERAL CONTRACTOR | N.T.S. | NOT TO SCALE | T.O.S. | TOP OF STRUCTURE/SLAB |
| CLKG. | CEILING | GEN. | GENERAL | O.I. | OVER | T.R. | TRANSFORMER |
| CLR. | CLEAR | G.F.I. | GROUND FAULT INTERRUPT | O.A. | OVERALL | T.S. | TOP OF STEP |
| CNTR. | COUNTER | G.I. | GALVANIZED IRON | O.B. | OVERALL | T.W. | TOP OF WALL |
| CONC. | CONCRETE | G.L.B. | GLU-LAM BEAM | O.C. | ON CENTER | TYF. | TYPICAL |
| COND. | CONDITION | GND. | GROUND | O.D. | OUTSIDE DIAMETER/ DIMENSION | U. | UNDER |
| CONST. | CONSTRUCTION | GR. | GRADE | O.F.D. | OVERFLOW DRAIN | U.B.C. | UNIFORM BUILDING CODE |
| CONT. | CONTRACTOR/ CONTINUOUS | GYP. | GYP. GYPSUM | OFF. | OFFICE | U.G. | UNDERGROUND |
| CORR. | CORRIDOR, CORROSIIVE | G.P. | GRADE PLANE | OPNC. | OPENING | U.L. | UNDERWRITERS LABORATORY |
| CTSK. | CENTRAL | H. | HIGH | OPP. | OPPOSITE | UNF. | UNFINISHED |
| CTR. | CENTER | H.B. | HOSE BIB | PERIM. | PERIMETER | UN.O. | UNLESS NOTED OTHERWISE |
| DBL. | DOUBLE | H.C. | HOLLOW CORE | PL. | PLATE/PROPERTY LINE | UR. | URINAL |
| DECO. | DECORATIVE | H.D. | HARD | PL. | PLASTER | V. | VERTICAL |
| DEPT. | DEPARTMENT | HDR. | HEADER | P.LAM. | PLASTIC LAMINTE | VENT. | VENTILATING |
| DET. | DETAIL | HDWD. | HARDWOOD | PLAS. | PLASTER | VERT. | VERTICAL |
| D.F. | DRINKING FOUNTAIN/ DOUGLASS FIR | HDWR. | HARDWARE | PLUMB. | PLUMBING | V.T.R. | VENT THROUGH ROOF |
| DIA. | DIAMETER | H.M. | HOLLOW METAL | PNT. | PAINT | W. | WEST, WIDE, WIDTH |
| DIAG. | DIAGONAL | HORIZ. | HORIZONTAL | PLYVD | PLYWOOD | W. | WITH |
| DIM. | DIMENSION | HR. | HOUR | PR. | PAIR | WD. | WOOD |
| DN. | DOWN | HT. | HEIGHT | P.O.C. | POINT OF CONNECTION | W.H. | WATER HEATER |
| DR. | DOOR | HT./HGT. | HEIGHT | PR. | PAIR | W.C. | WATER CLOSET |
| D.S. | DOWN SPOUT | HVAC | HVAC | PROJ. | PROJECTION | W.I. | WROUGHT IRON |
| D.S.P. | DRY STAP PIPE DRAWING | | | PSL. | PARALLEL STRAND LAMINATE | WP. | WATERPROOF |
| DWG. | DRAWING | | | PT. | POINT | W.W.M. | WELDED WIRE MESH |

LEGEND

— STEEL STRONG WALL

////// WALL



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COMMUNITY CENTER
ADDITION
248 KIRK AVENUE.
SAN JOSE, CA 95127

REVISIONS

07/11/2022 PLAN CHECK

PROGRESS SET

24-08-2022

TITLE SHEET

1ST BUILDING SUBMITTAL
JOB NO. 2022.06
DRAWN MK
CHECK HN

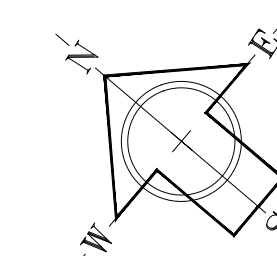
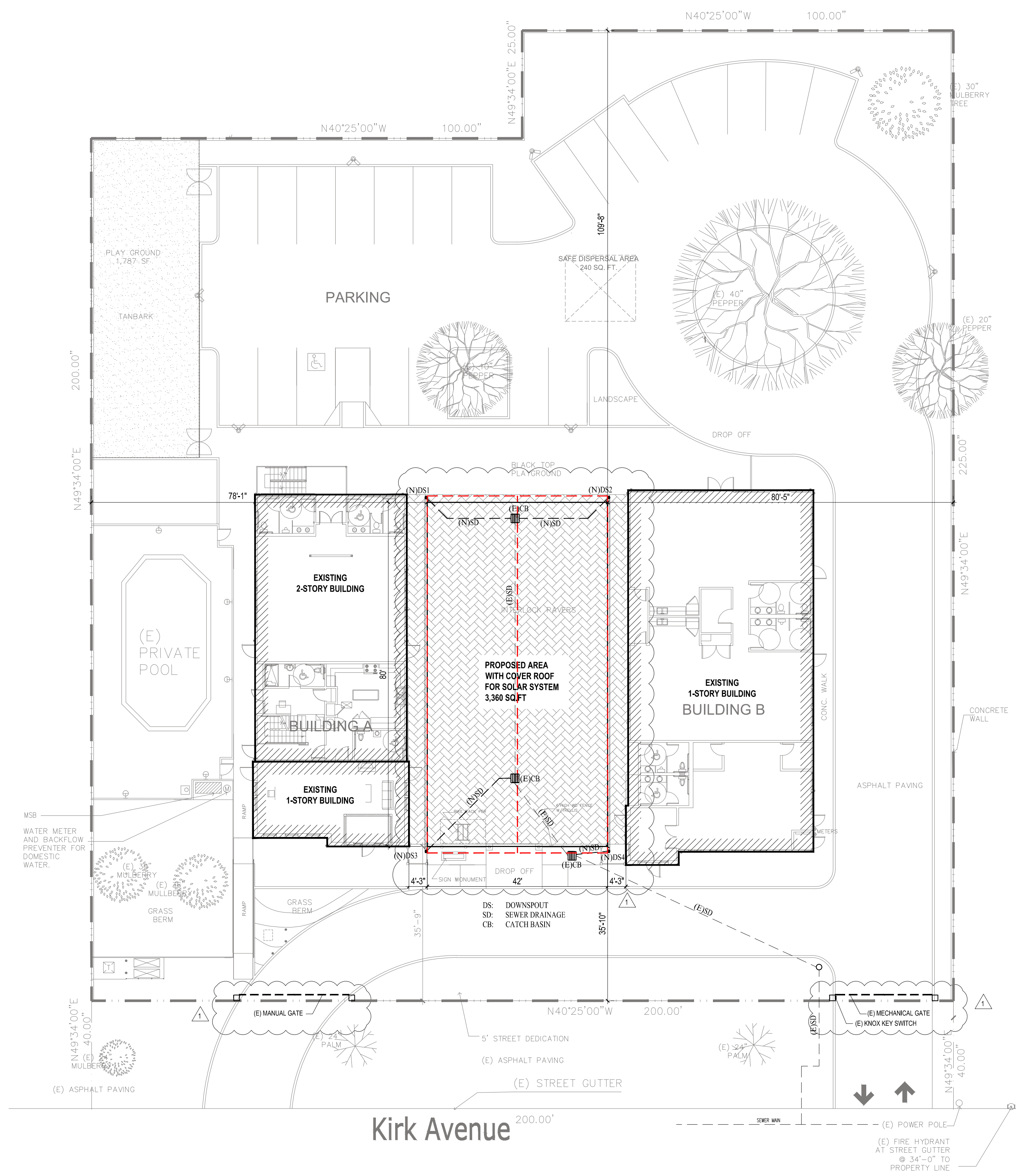
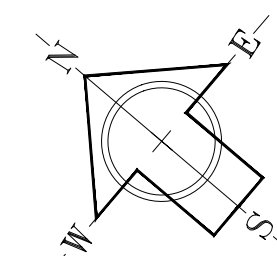
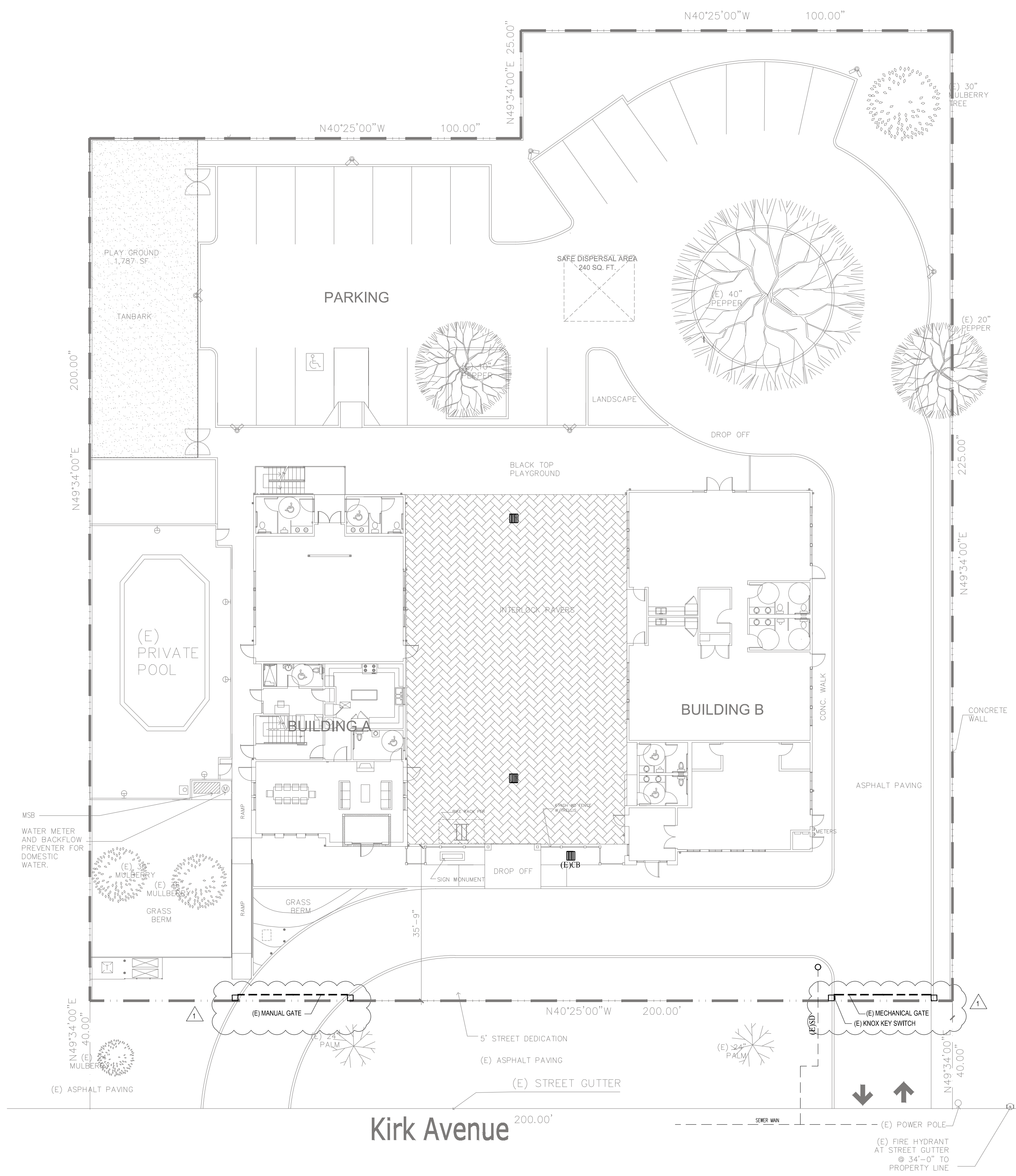
SHEET

A.1



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REVISIONS

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| 07/11/2022 | PLAN CHECK |
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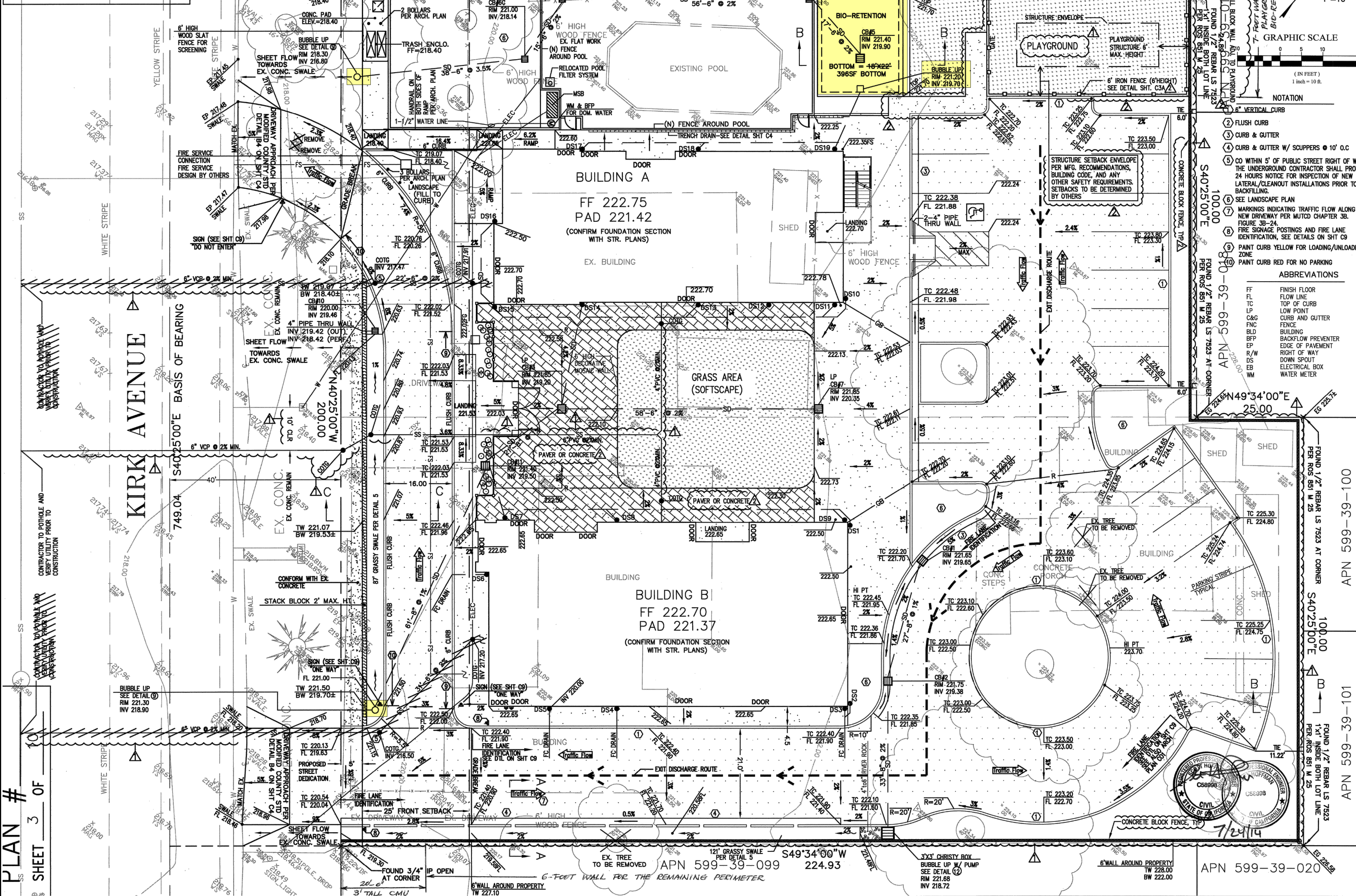
PROGRESS SET

24-08-2022

PLOT PLAN

| | | |
|------------------------|---------|-------|
| 1ST BUILDING SUBMITTAL | | SHEET |
| JOB NO. | 2022.06 | A.2-0 |
| DRAWN | MK | |
| CHECK | HN | |

APPROVED FOR INSURANCE REFER TO ENCROACHMENT AND/OR CONSTRUCTION PERMIT AND PLAN COVER SHEET FOR SPECIAL CONDITIONS AND PERMIT NUMBERS.



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LA SALLE COMMUNITY CENTER ADDITION
248 KIRK AVENUE.
SAN JOSE, CA 95127

ABBREVIATIONS

| | |
|-----|--------------------|
| FF | FINISH FLOOR |
| FL | FLOW LINE |
| TC | TOP OF CURB |
| LP | LOW POINT |
| C&G | CURB AND GUTTER |
| FNC | FENCE |
| B/D | BUILDING |
| B/P | BACKFLOW PREVENTER |
| E/P | EDGE OF PAVEMENT |
| R/W | RIGHT OF WAY |
| DS | DOWN SPOUT |
| EB | ELECTRICAL BOX |
| WM | WATER METER |

REVISIONS

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| 07/11/2022 | PLAN CHECK |
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PROGRESS SET 24-08-2022

EXISTING DRAINAGE SYSTEM

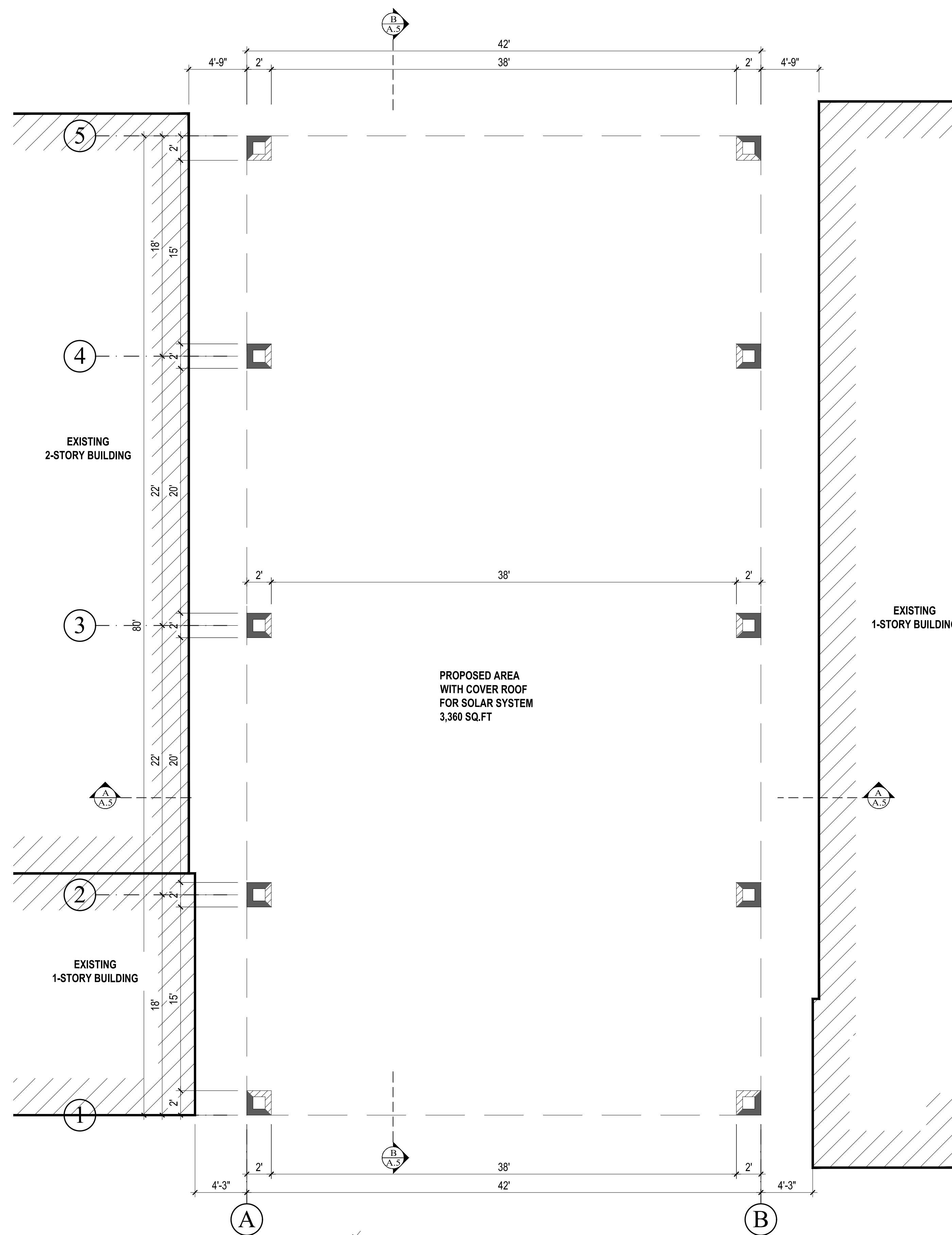
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| JOB NO. 2022.06 | |
| DRAWN MK | A.2-1 |
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REFERENCE ONLY




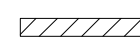
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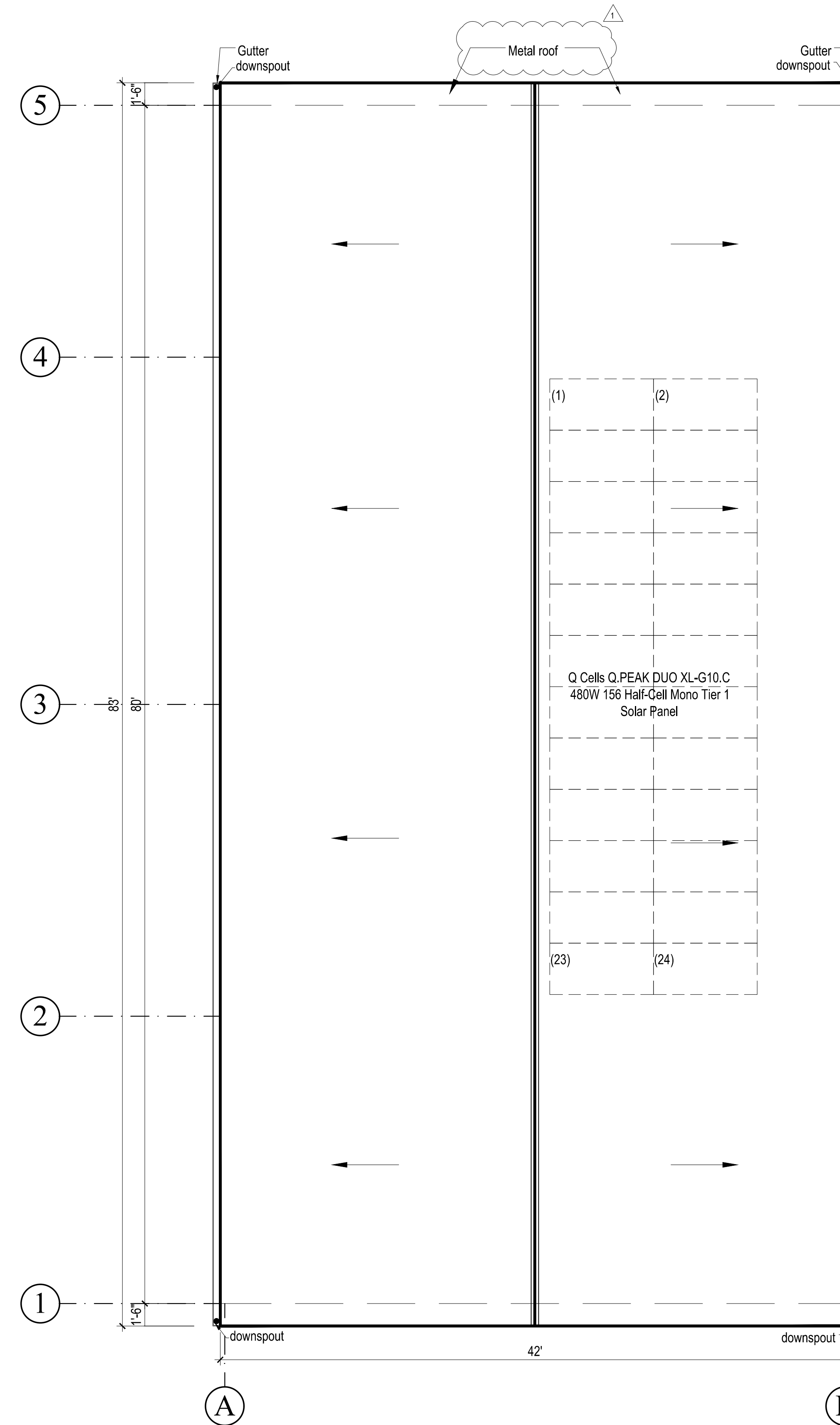
**LA SALLE
 COMMUNITY CENTER
 ADDITION**
**248 KIRK AVENUE.
 SAN JOSE, CA 95127**



PROPOSED FLOOR PLAN

SCALE: 3/16" = 1'


LEGEND:
 SIMPSON STEEL STRONG WALL
 WOOD WALL



PROPOSED ROOF PLAN

SCALE: 3/16" = 1'

REVISIONS

 07/11/2022 PLAN CHECK

PROGRESS SET

24-08-2022

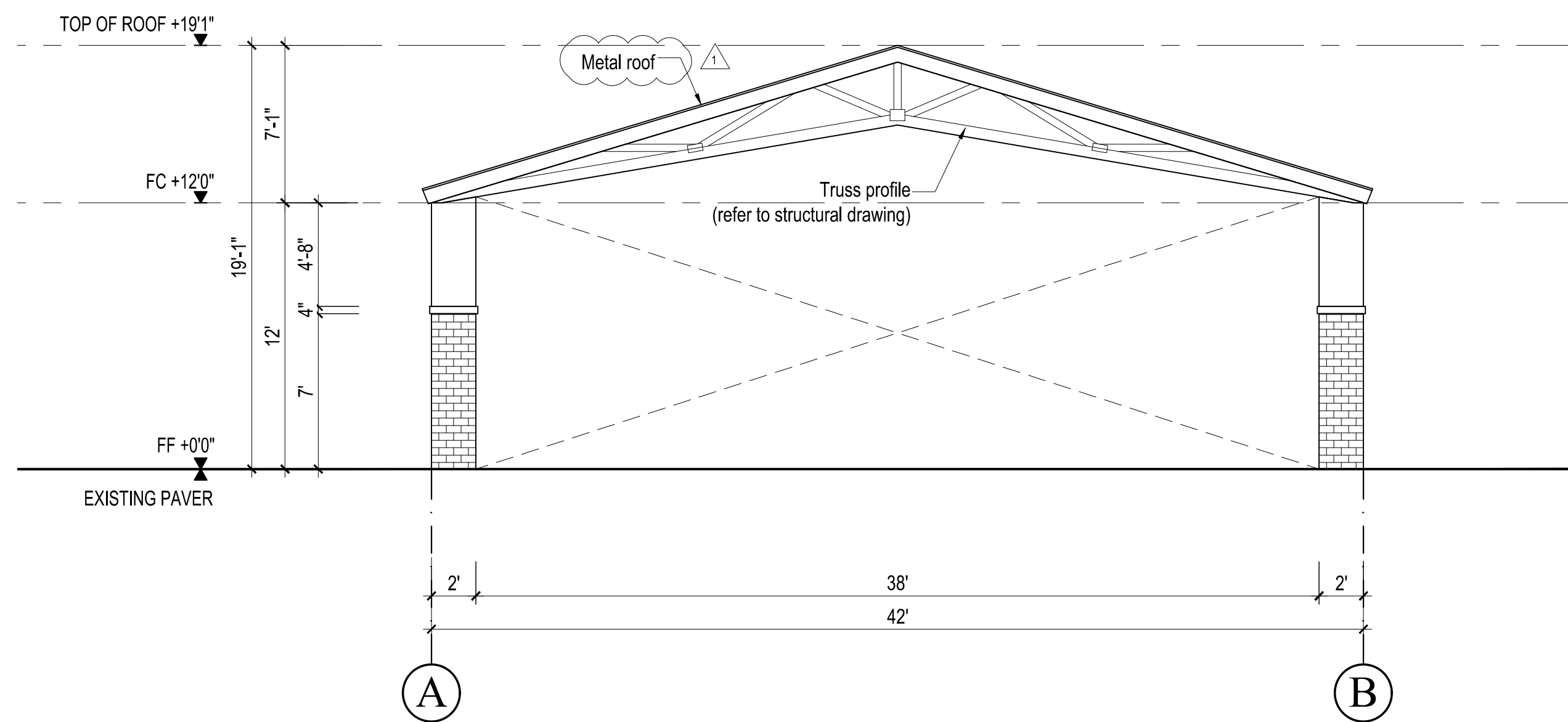
**PROPOSED
 FLOOR & ROOF PLAN**

| | | | |
|--------------|---------|-------|-----|
| 1ST BUILDING | | SHEET | |
| SUBMITTAL | | | |
| JOB NO. | 2022.06 | | |
| DRAWN | MK | | A.3 |
| CHECK | HN | | |

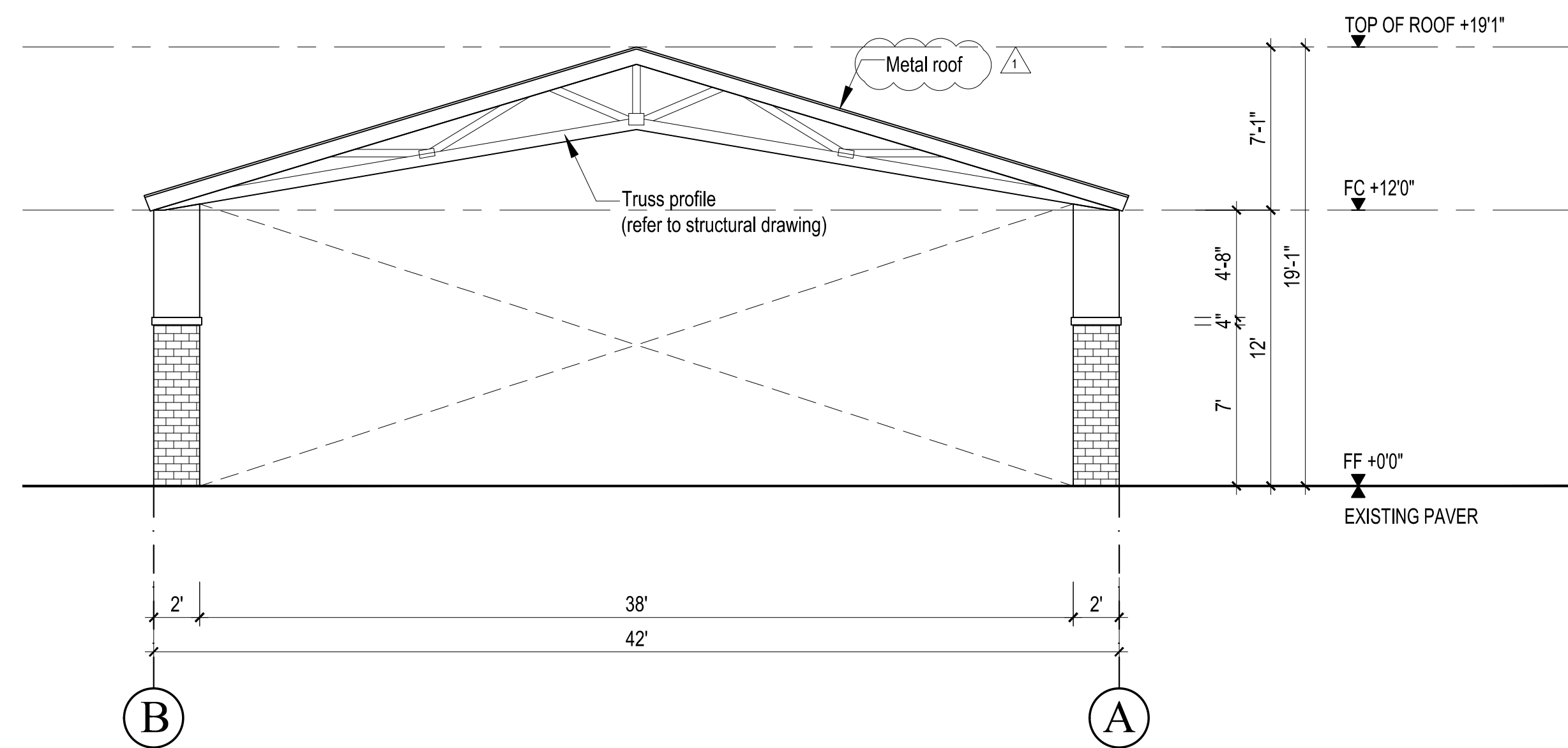


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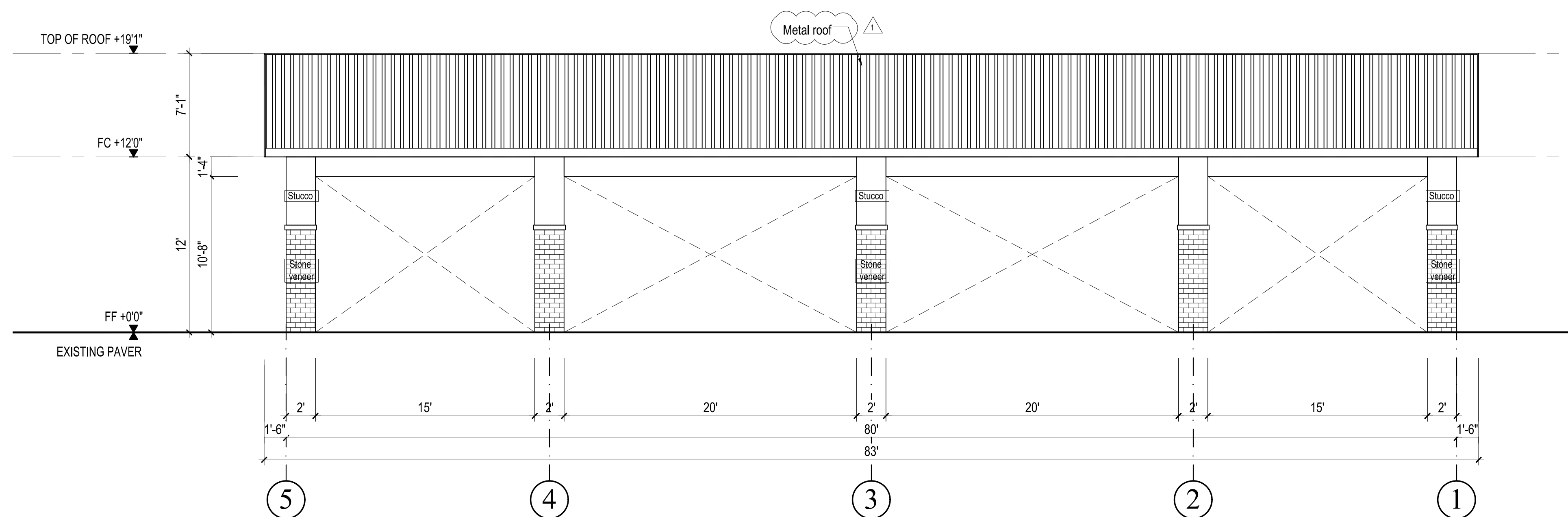
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 ADDITION**
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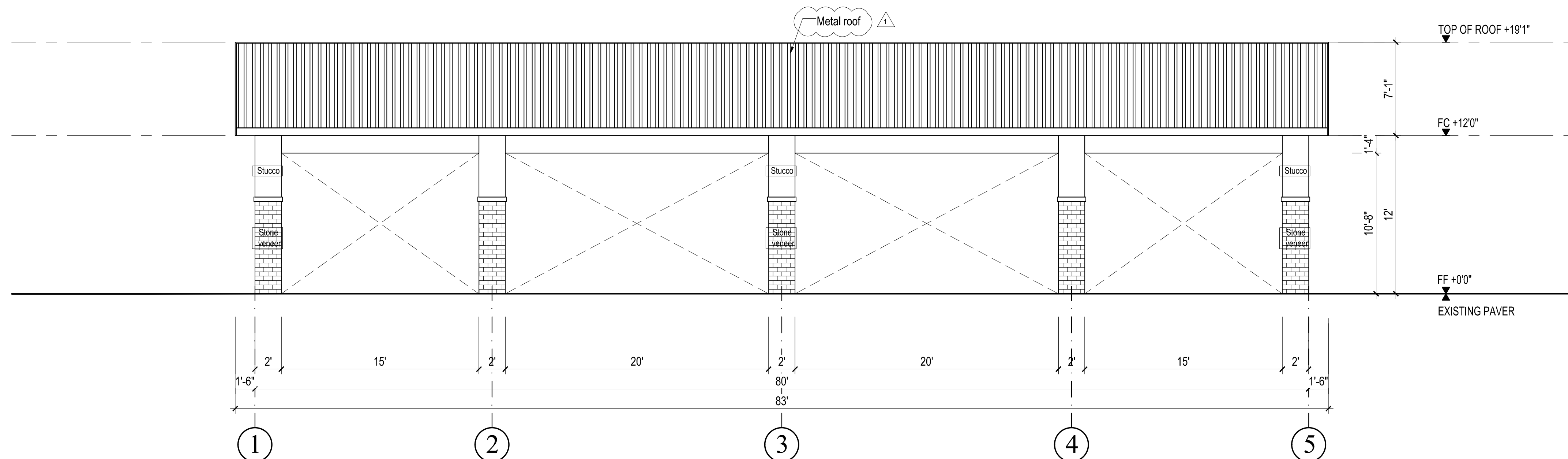
PROPOSED ELEVATION - GRID A-B
 SCALE: 3/16" = 1"



PROPOSED ELEVATION - GRID B-A
 SCALE: 3/16" = 1"




PROPOSED ELEVATION - GRID 5-1
 SCALE: 3/16" = 1"



PROPOSED ELEVATION - GRID 1-5
 SCALE: 3/16" = 1"

REVISIONS

 07/11/2022 PLAN CHECK

PROGRESS SET

24-08-2022

PROPOSED ELEVATIONS

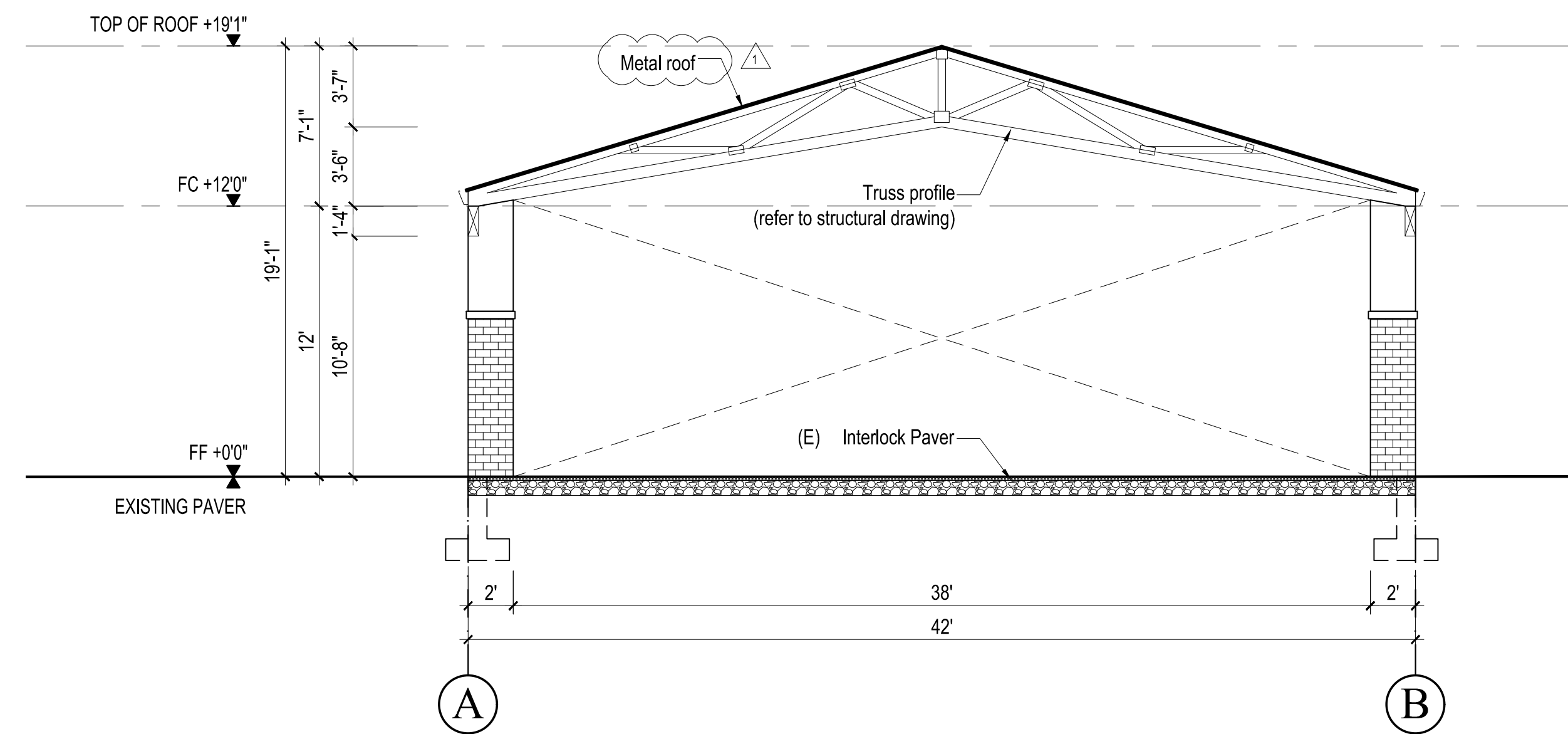
1ST BUILDING SUBMITTAL SHEET
 JOB NO. 2022.06
 DRAWN MK
 CHECK HN

A.4

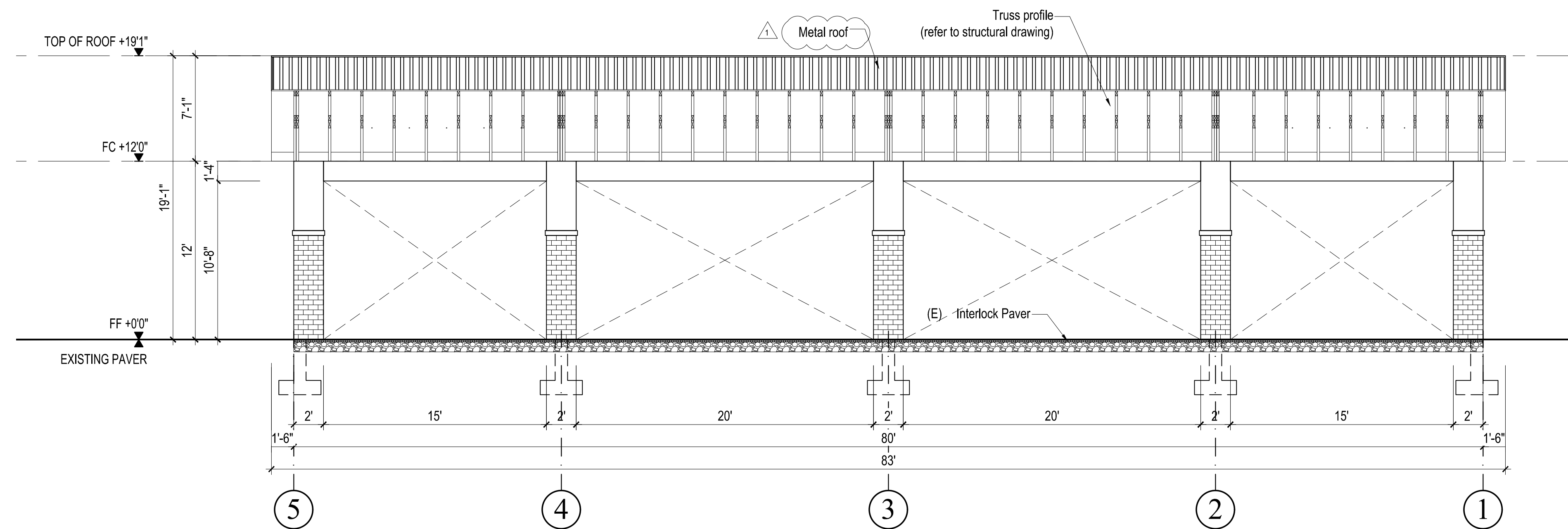


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PROPOSED SECTION A
 SCALE: 3/16" = 1'



PROPOSED SECTION B
 SCALE: 3/16" = 1'

REVISIONS

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PROGRESS SET

24-08-2022

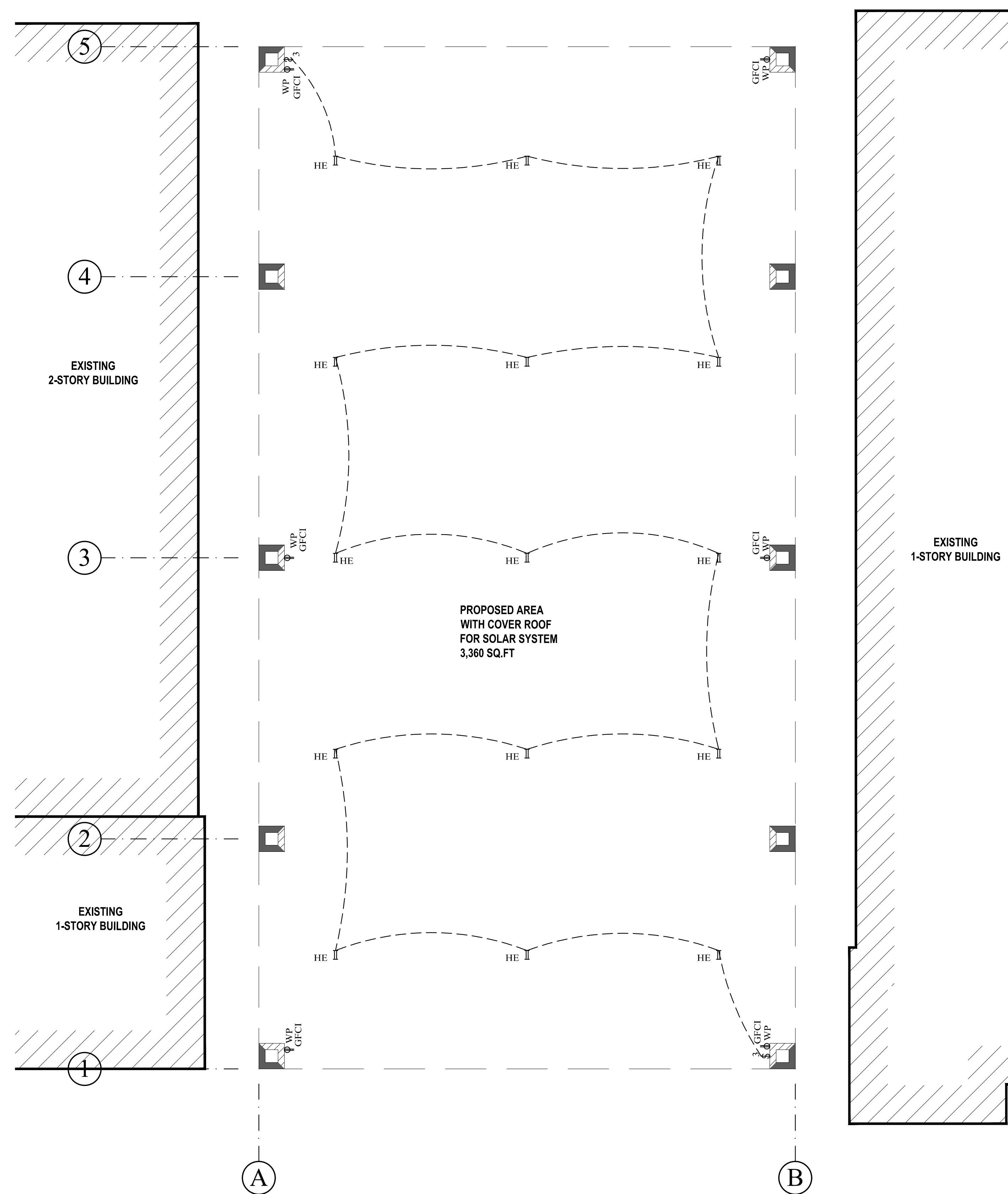
**PROPOSED
 SECTIONS**

| | |
|------------------------|-------|
| 1ST BUILDING SUBMITTAL | SHEET |
| JOB NO. 2022.06 | A.5 |
| DRAWN MK | |
| CHECK HN | |



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PROPOSED ELECTRICAL PLAN
 SCALE: 3/16" = 1'


ELECTRICAL NOTES:

- ALL RECEPTACLES TO BE INSTALLED MINIMUM PER CEC EVEN IF NOT SHOWN (C.E.C 210-52)
- PROVIDE STEEL ELECTRICAL BOX IN FIRE-RESISTIVE CEILING AND WALL SEPARATE ELECTRICAL BOXES BACK TO BACK IN FIRE RESISTIVE WALLS BY A MIN 24" HORIZONTALLY BOX AREA SHALL NOT EXCEED 16 SQ IN. AS PER U.B.S 709.7
- ALL 125 VOLT, SINGLE-PHASE RECEPTACLE OUTLETS SHALL HAVE GROUND-FAULT CIRCUIT PROTECTION .
- EXTERIOR LIGHTING TO BE PROVIDED WITH MOTION AND PHOTO SENSORS.
- FOR ALL RECEPTACLES, SWITCHES, DISCONNECTS AND SIMILAR DEVICES, MEASURE FROM THE FINISHED FLOOR:
 MINIMUM HEIGHT: 15 INCHES FROM FLOOR TO THE BOTTOM OF THE OUTLET BOX
 MAXIMUM HEIGHT: 48 INCHES FROM FLOOR TO THE TOP OF THE OUTLET BOX.
- GFCI PROTECTION MUST BE INSTALLED IN A READILY ACCESSIBLE LOCATION.
- EXTERIOR RECEPTACLES, ELECTRICAL DEVICES AND THEIR COVER PLATES MUST BE SUITABLE FOR THE ENVIRONMENT IN WHICH THEY ARE INSTALLED. WHEN EXPOSED TO RAIN OR WATER CONDITIONS, ELECTRICAL DEVICES MUST BE LISTED FOR "WET-LOCATION."
- SWITCHES SERVING LIGHT FIXTURES REQUIRE A NEUTRAL CONDUCTOR TO BE BROUGHT THE OUTLET BOX.
- AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY VACANCY SENSOR
- OUTDOOR LIGHTING SHALL BE CONTROLLED BY:
 - MANUAL ON/OFF SWITCH; AND
 - CONTROLLED BY PHOTOCELL AND MOTION SENSOR OR PHOTO CONTROL TIME SWITCH CONTROL/ASTRONOMICAL TIME CLOCK/ENERGY MANAGEMENT CONTROLS SYSTEM
- ALL NEW 125 VOLT, 15 AND 20 AMPERE RECEPTACLE OUTLETS SHALL BE TAMPER RESISTANT RECEPTACLES (2016 CEC 406.12).

ELECTRICAL SYMBOL LIST

| | |
|------|--|
| HE | HIGH EFFICIACY |
| H.E | H.E FLUORESCENT LIGHTING FIXTURE |
| S | DOUBLE POLE TOGGLE SWITCH, +48", 8" ABOVE COUNTER |
| D | 110V DUPLEX RECEPTACLE U.O.N., 15" ABOVE FLOOR, U.O.N. |
| GFCI | INDICATED DEVICE/ RECEPTACLE HAS GFCI PROTECTION |
| W.P | ABBREVIATION FOR " WEATHER PROOFED" |

REVISIONS

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PROGRESS SET

24-08-2022

PROPOSED
ELECTRICAL PLAN


1ST BUILDING SUBMITTAL SHEET
 JOB NO. 2022.06
 DRAWN MK
 CHECK HN

A.6

| | EXISTING PERVIOUS | EXISTING IMPERVIOUS | PROPOSED PERVIOUS | PROPOSED IMPERVIOUS |
|--------------------------|--|---------------------|-------------------|---------------------|
| AREA sf | 7,040 | 35,675 | 5,330 | 37,385 |
| % AREA | 16.48 % | 83.52 % | 12.47 % | 87.53 % |
| INCREASE PERVIOUS | 7,040 - 5,330 = 1,710SF < 2,000SF, No need to apply for a drainage permit | | | |

CONSTRUCTION KEY NOTE

- ① EXISTING BUILDING TO REMAIN
- ② PROPOSED AREA WITH COVER ROOF FOR SOLAR SYSTEM
- ③ INSTALL DOWNSPOUT CONNECT TO EXISTING CATCH BASIN
- ④ INSTALL 4" DIA. PVC SCHEDULE 40 OR SDR 35 PIPE DRAIN SYSTEM.
- ⑤ EXISTING CATCH BASIN TO REMAIN
- ⑥ EXISTING BUBBLE-UP TO REMAIN
- ⑦ EXISTING BIO-RETENTION TO REMAIN

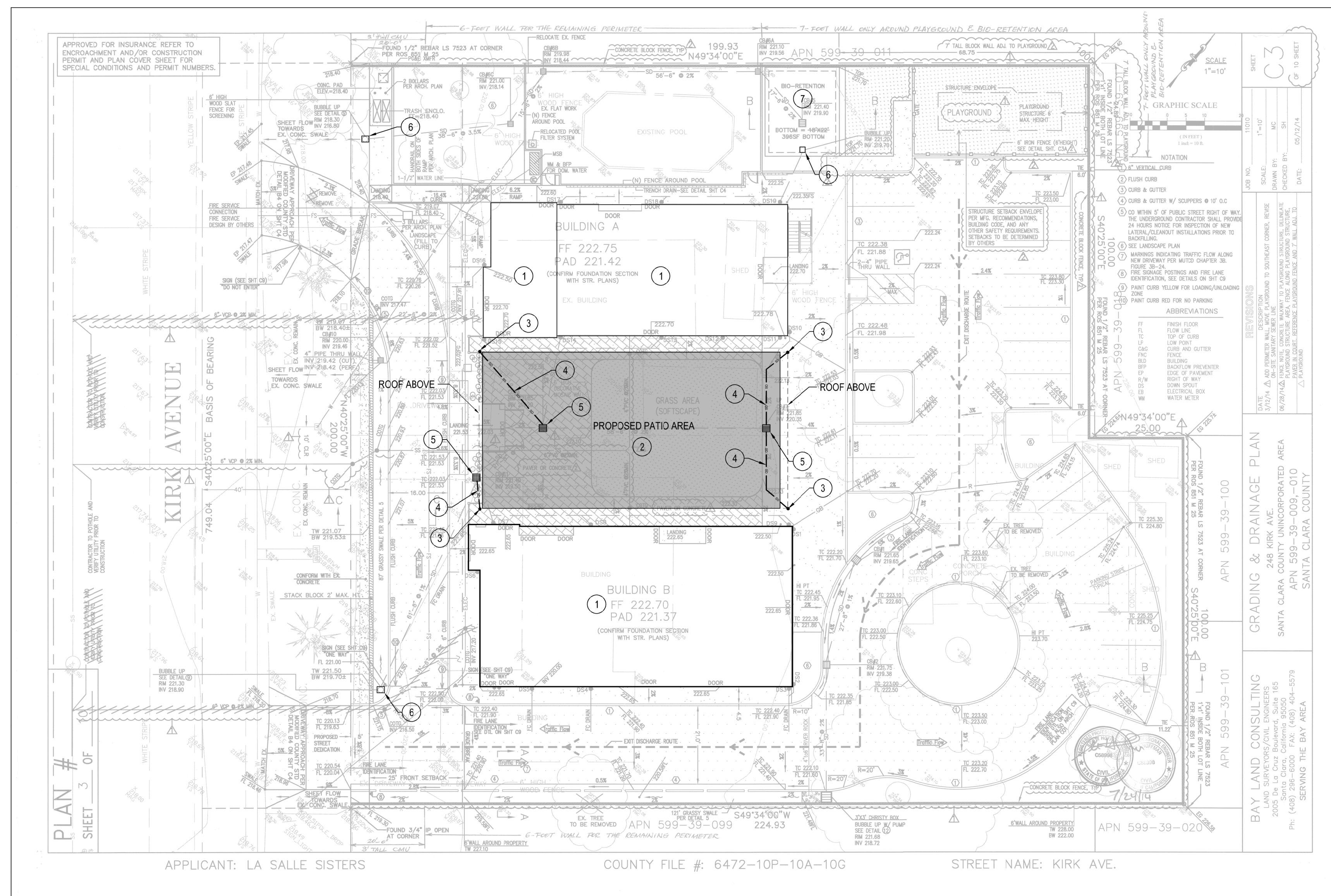


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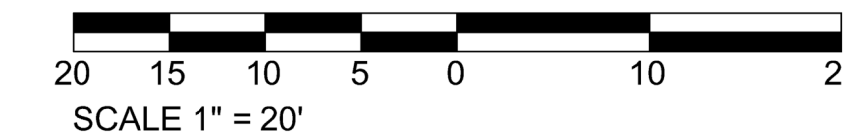
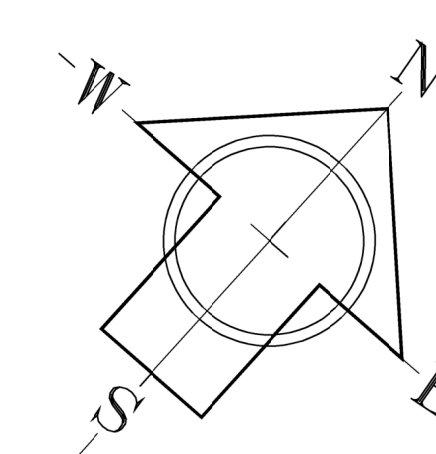
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APPLICANT: LA SALLE SISTERS COUNTY FILE #: 6472-10P-10A-10G STREET NAME: KIRK AVE.

PRECISE DRAINAGE PLAN
SCALE 1" = 20'



REVISIONS

07/11/2022 PLAN CHECK

PROGRESS SET 2023/02/09

PRECISE DRAINAGE PLAN

| | | | |
|------------------------|---------|-------|------|
| 1ST BUILDING SUBMITTAL | | SHEET | |
| JOB NO. | 2022.06 | | C-01 |
| DRAWN | MK | | |
| CHECK | HN | | |