

ONE-STORY HOUSE & ACCESSORY DWELLING UNIT
Scheller Ave. Morgan Hill, CA 95037

MEMARIE ASSOCIATES
7280 Blue Hill Dr., Suite 5
San Jose, CA 95129
Tel: (408) 559-8037
www.memarie.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:
Mr. & Mrs. Helweh
320 Manzanita Ct.
Milpitas, CA 95035

Project:
One Story House & A.D.U.
Scheller Ave.
Morgan Hill, CA 95037



☒ PLANNING DEPARTMENT ☐ PRELIMINARY ☒ DESIGN REVIEW SUBMITTAL ☐ BUILDING DEPARTMENT ☐ PLAN CHECK SUBMITTAL (NOT FOR CONSTRUCTION) ☐ APPROVED FOR CONSTRUCTION

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CONSULTANTS

- 1- OWNER: Mr. & Mrs. Helweh
320 MANZANITA CT.
MILPITAS, CA 95035
TEL: (408) 802-9774
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2- CIVIL: LC ENGINEERING
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SAN JOSE, CA 95112
TEL: (408) 806-7187
E-MAIL: nls@lceengineering.net

3- DESIGN: MEMARIE ASSOCIATES
7280 BLUE HILL DR.
SUITE #5
SAN JOSE, CA 95129
TEL: (408) 559-8037
E-MAIL: reza@memarie.com

4- SOIL: SILICON VALLEY SOIL ENGINEERING
SEAN DEIVERT
1916 OTOOLE WAY
SAN JOSE, CA 95131
TEL: (408) 324-1400
E-MAIL: sdeivert@siliconvalleysoil.com

PROJECT DATA

APN: 712-28-059
ZONING: A-40Ac-cv
LOT SIZE: 423,497 SQ. FT. / 10 AC.
TYPE OF OCCUPANCY: A/R
TYPE OF CONSTRUCTION: V-B
MAXIMUM HEIGHT: 35'
MAXIMUM LOT COVERAGE: 7,500 SQ. FT.
PROJECT ADDRESS: SCHELLER AVE.
MORGAN HILL, CA 95037

SCOPE OF WORKS:
- BUILD 4,519 SQ. FT. ONE STORY HOUSE WITH 849 SQ. FT. ATTACHED GARAGE, 182 SQ. FT. FRONT COVERED PORCH, & 603 SQ. FT. REAR COVERED PORCH.
- BUILD 1,196 SQ. FT. SECONDARY DWELLING UNIT WITH 438 SQ. FT. CARPORT, 151 SQ. FT. FRONT COVERED PORCH, & 466 SQ. FT. REAR COVERED PORCH.

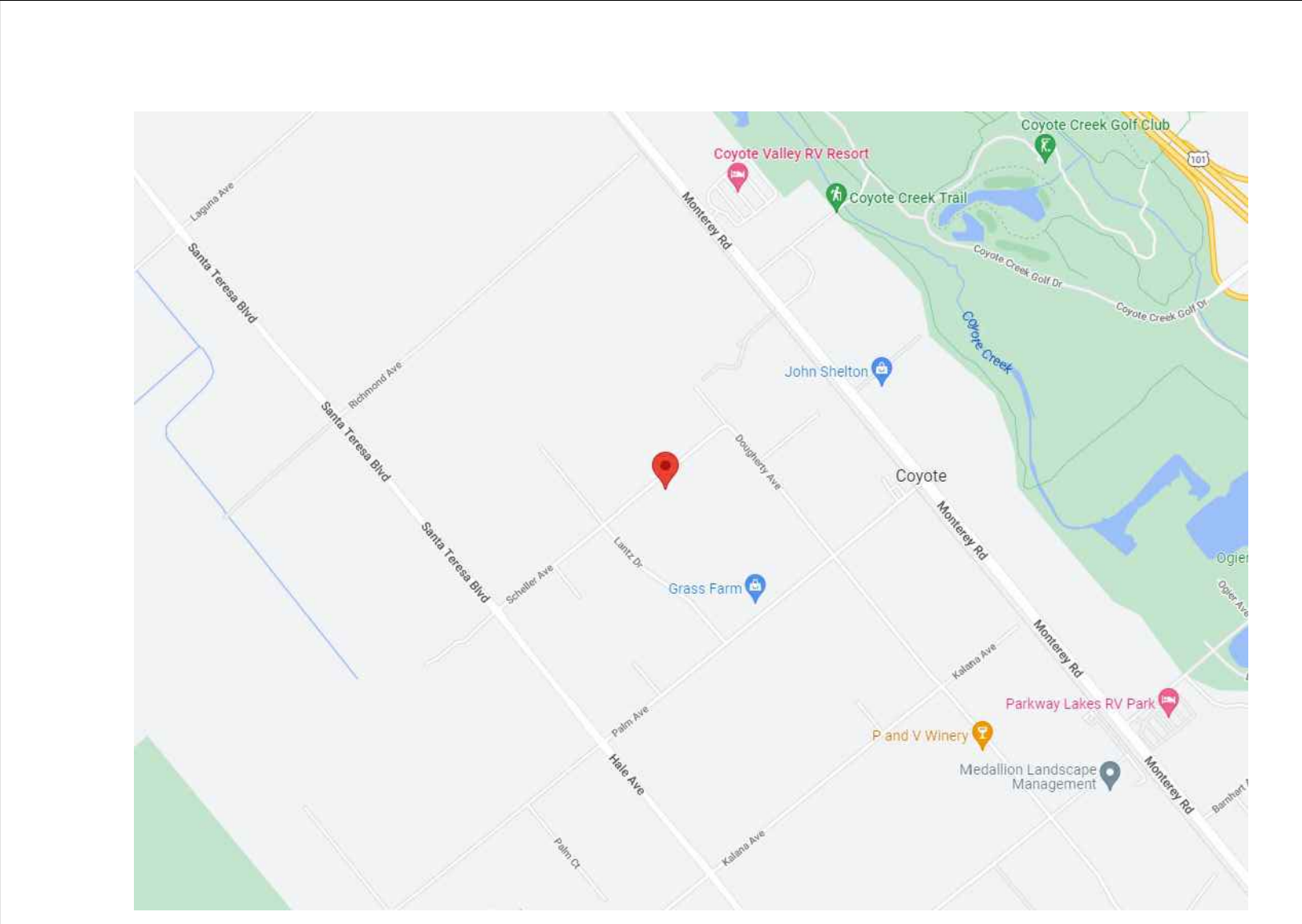
PROPOSED MAIN HOUSE:
LIVING AREA: 4,519 SQ. FT.
GARAGE: 849 SQ. FT.
FRONT COVERED PORCH: 182 SQ. FT.
REAR COVERED PATIO: 603 SQ. FT.
REAR LEFT DECK: 115 SQ. FT.
REAR RIGHT DECK: 78 SQ. FT.
STAIRS: 75 SQ. FT.

PROPOSED A.D.U.:
LIVING AREA: 1,196 SQ. FT.
CARPORT: 438 SQ. FT.
FRONT COVERED PORCH: 151 SQ. FT.
REAR COVERED PATIO: 466 SQ. FT.

LOT COVERAGE (A.D.U. IS EXEMPT) 7,482 SQ. FT.

SETBACK	REQUIRED	MAIN HOUSE	A.D.U.
FRONT:	30'-0"	100'	100'
REAR:	30'-0"	660'	679'-4"
RIGHT:	30'-0"	75'	373'
LEFT:	30'-0"	297'-6"	75'

VICINITY MAP



Client Revisions

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	Design	08/17/21
5	Design	09/14/21
6	Design	10/19/21
7	Design	06/27/22
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City Revisions

No.	Description	Date
1	Planning Comments	06/27/22
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Signature:

Date: 05/03/21

Scale: N.T.S.

Drawn By: IL

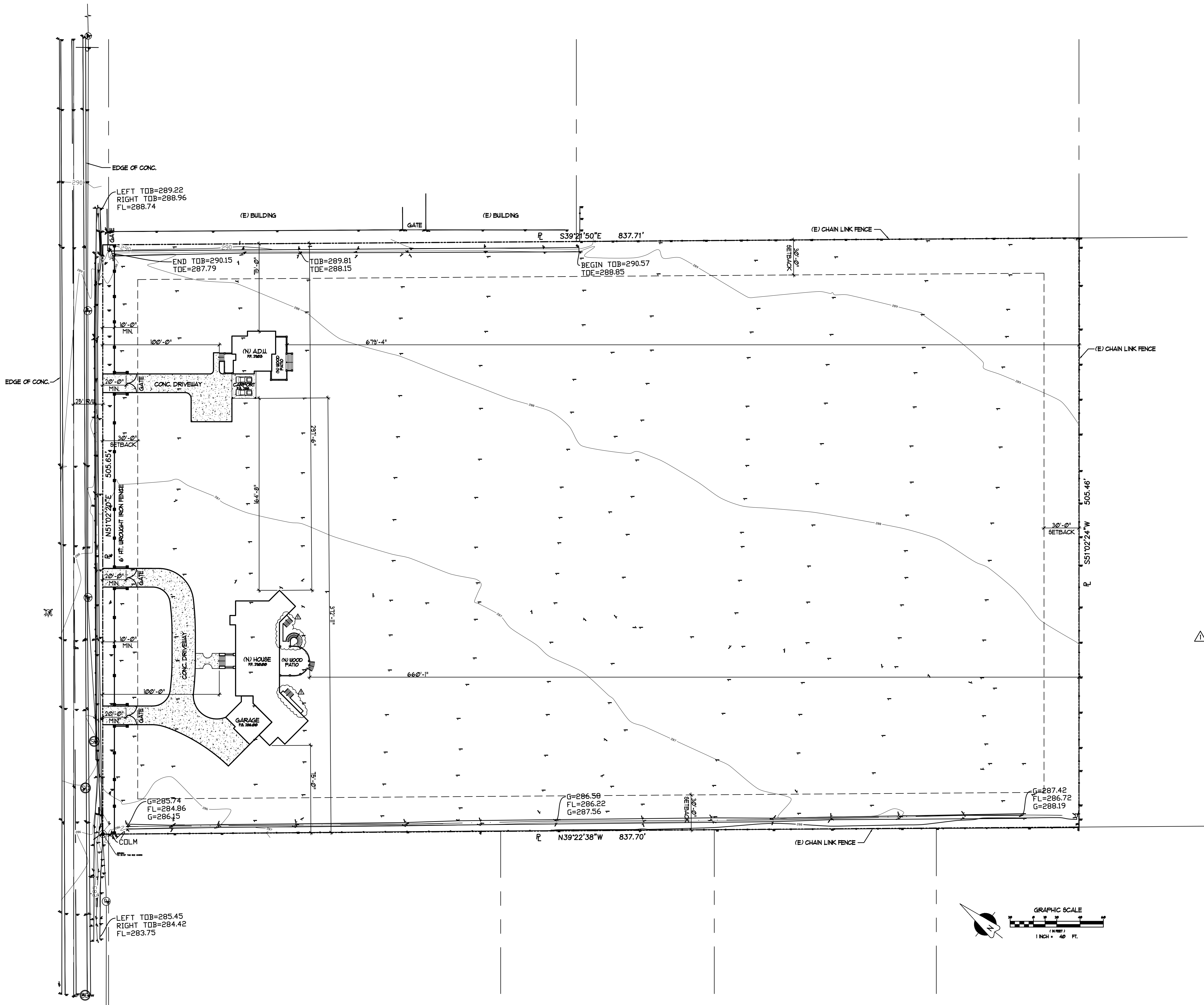
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Sheet Title:
**Main House
Cover Sheet**

Sheet No.: A-0

File: M:\Scheller Ave. Job: Scheller Ave.

THIRD STREET (FORMERLY SCHELLER AVENUE)



PRELIMINARY SITE NOTES

1. INFORMATION SHOWN ON SITE PLAN IS BASED ON INFORMATION SUPPLIED BY OWNER.
2. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS & NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
3. CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNER'S PROPERTY FROM CONSTRUCTION OPERATIONS. THE BOUNDARY OF THE CONTRACTOR'S WORK & STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.
4. CIVIL ENGINEER SHALL COORDINATE FINISH FLOOR ELEVATION OF BUILDING WITH THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
5. CIVIL ENGINEERING GRADING AND DRAINAGE PLANS SUPERSEDE MEMARIE'S DRAWINGS.
6. CIVIL ENGINEER NEEDS TO VERIFY THE FIRE DEPARTMENT REQUIREMENTS FOR DRIVEWAY & FIRE TRUCK TURNAROUND.

GROSS LOT AREA	10 AC.
NET LOT AREA	9.1 AC.
FLOOR AREA CALCULATIONS	
ONE-STORY HOUSE	
FLOOR AREA	4,519 SQ. FT.
GARAGE	849 SQ. FT.
ACCESSORY DWELLING UNIT	
FLOOR AREA	1,196 SQ. FT.
FRONT COVERED PORCH	12 SQ. FT.
TOTAL	6,516 SQ. FT.

PORCHES & CARPORT (covered & not greater than 50% enclosed by walls)

ONE-STORY	
FRONT COVERED PORCH	182 SQ. FT.
REAR COVERED PATIO	603 SQ. FT.
ACCESSORY DWELLING PORCH	
FRONT COVERED PORCH	145 SQ. FT.
REAR COVERED PATIO	466 SQ. FT.
ADJ. CARPORT	438 SQ. FT.
TOTAL	1,821 SQ. FT.

LOT COVERAGE (ADU IS EXEMPT) MAX. 1,500 SQ. FT.

ONE-STORY HOUSE	
FLOOR AREA	4,519 SQ. FT.
GARAGE	849 SQ. FT.
COVERED PORCH & PATIO	185 SQ. FT.
DECK MORE THAN 30" HT.	193 SQ. FT.
STAIRS	15 SQ. FT.
ADJ.	
COVERED PORCH & PATIO	623 SQ. FT.
CARPORT	438 SQ. FT.
TOTAL	1,482 SQ. FT.

NOTE: SEE SHEET A-2 AREA CALCULATIONS FOR FLOOR PLAN DIAGRAM & CALCULATIONS.

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Signature:

Date: 05/03/21

Scale: 1" = 40'-0"

Drawn By: IL

Checked By: RN

Sheet Title:

Site Plan

Sheet No.:

A-1

File: M\Scheller Ave.

Job: Scheller Ave.



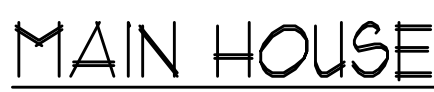
ADJ. CARPORT AREA:		
POLYGON	DIMENSIONS	AREA
(25)	2'-5" x 1'-6"	4 SQ. FT.
(26)	21'-0" x 20'-8"	434 SQ. FT.
TOTAL		438 SQ. FT.

<u>ADJ. REAR COVERED PATIO AREA:</u>		
POLYGON	DIMENSIONS	AREA
(29)	38'-1" x 10'-0"	381 SQ. FT.
(30)	14'-7" x 3'-4"	49 SQ. FT.
(31)	8'-0" x 4'-6"	36 SQ. FT.
TOTAL		466 SQ. FT.

MAIN HOUSE GARAGE AREA:		
POLYGON	DIMENSIONS	AREA
①	13'-6" x 21'-0"	521 SQ. FT.
②	11'-6" x 18'-11"	218 SQ. FT.
③	(5'-5" + 11'-6") x 6'-2" / 2	52 SQ. FT.
④	(6'-5" x 6'-5") / 2	21 SQ. FT.
⑤	(3'-9" + 8'-8") x 4'-11" / 2	31 SQ. FT.
TOTAL		849 SQ. FT.

MAIN HOUSE REAR COVERED PATIO AREA:		
POLYGON	DIMENSIONS	AREA
(17)	26'-0" x 13'-0"	338 SQ. FT.
(18)	3,14 x 13'-0" x 13'-0"/ 2	265 SQ. FT.
TOTAL		603 SQ. FT.

STAIRS AREA:		
POLYGON	DIMENSIONS	AREA
23		75 SQ. FT.
TOTAL		75 SQ. FT.



PORCHES & CARPORT (covered & not greater than 50% enclosed by walls)	
ONE-STORY	
FRONT COVERED PORCH	182 SQ. FT.
REAR COVERED PATIO	603 SQ. FT.
ACCESSORY DWELLING PORCH	
FRONT COVERED PORCH	145 SQ. FT.
REAR COVERED PATIO	466 SQ. FT.
A.D.U. CARPORT	438 SQ. FT.
TOTAL	1,821 SQ. FT.

LOT COVERAGE (ADU IS EXEMPT)	MAX. 7,500 SQ. FT.
ONE-STORY HOUSE	
FLOOR AREA	4,519 SQ. FT.
GARAGE	849 SQ. FT.
COVERED PORCH & PATIO	785 SQ. FT.
DECK MORE THAN 30" HT.	193 SQ. FT.
STAIRS	75 SQ. FT.
ADU.	
COVERED PORCH & PATIO	623 SQ. FT.
CARPORT	438 SQ. FT.
TOTAL	7,482 SQ. FT.

Job: Scheller Ave.

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Signature:

Date: 05/03/21

Scale: 3/16" = 1'-0"

Drawn By: IL

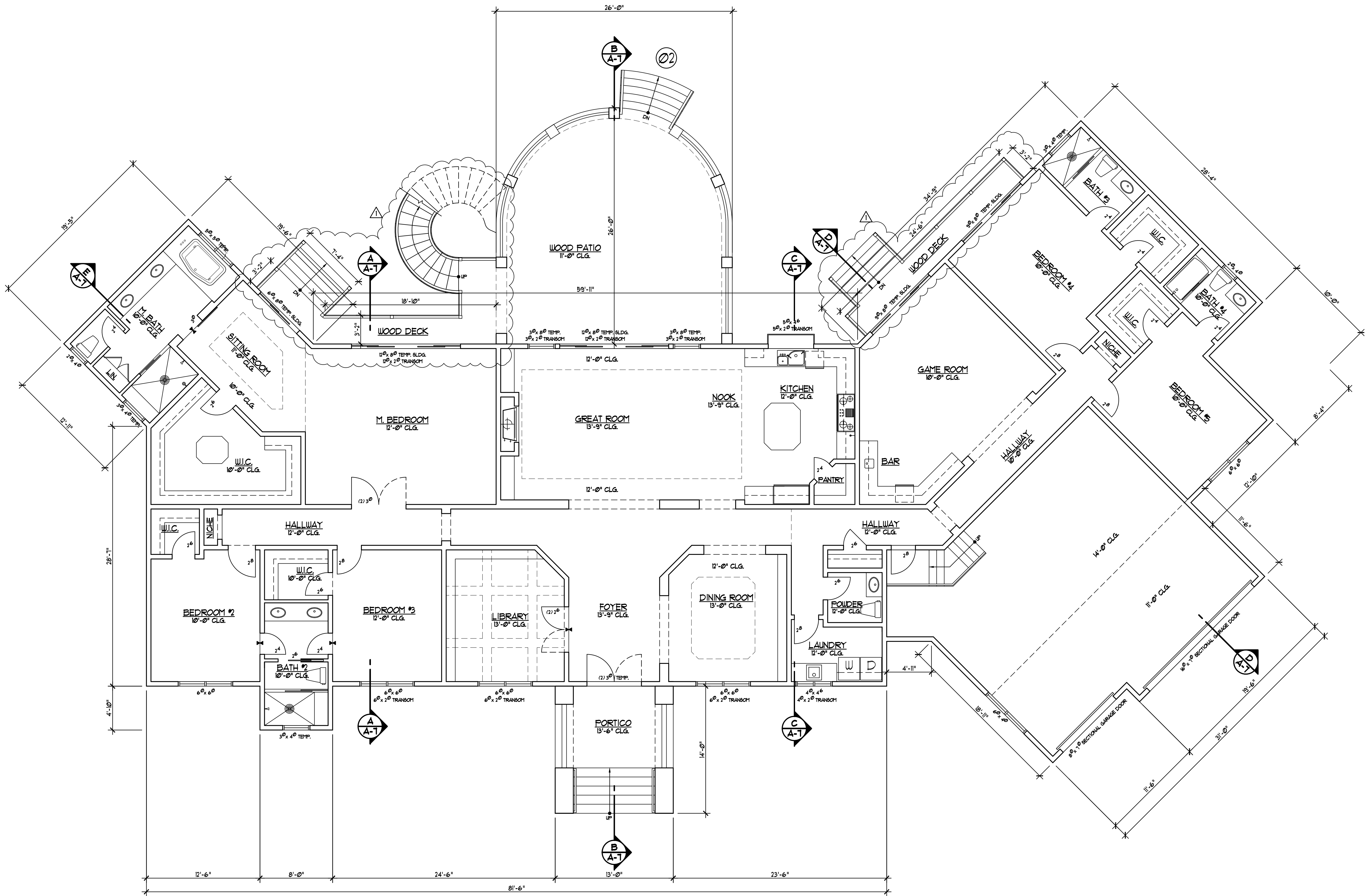
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Sheet Title:
**Main House
Floor Plan**

Sheet No.:

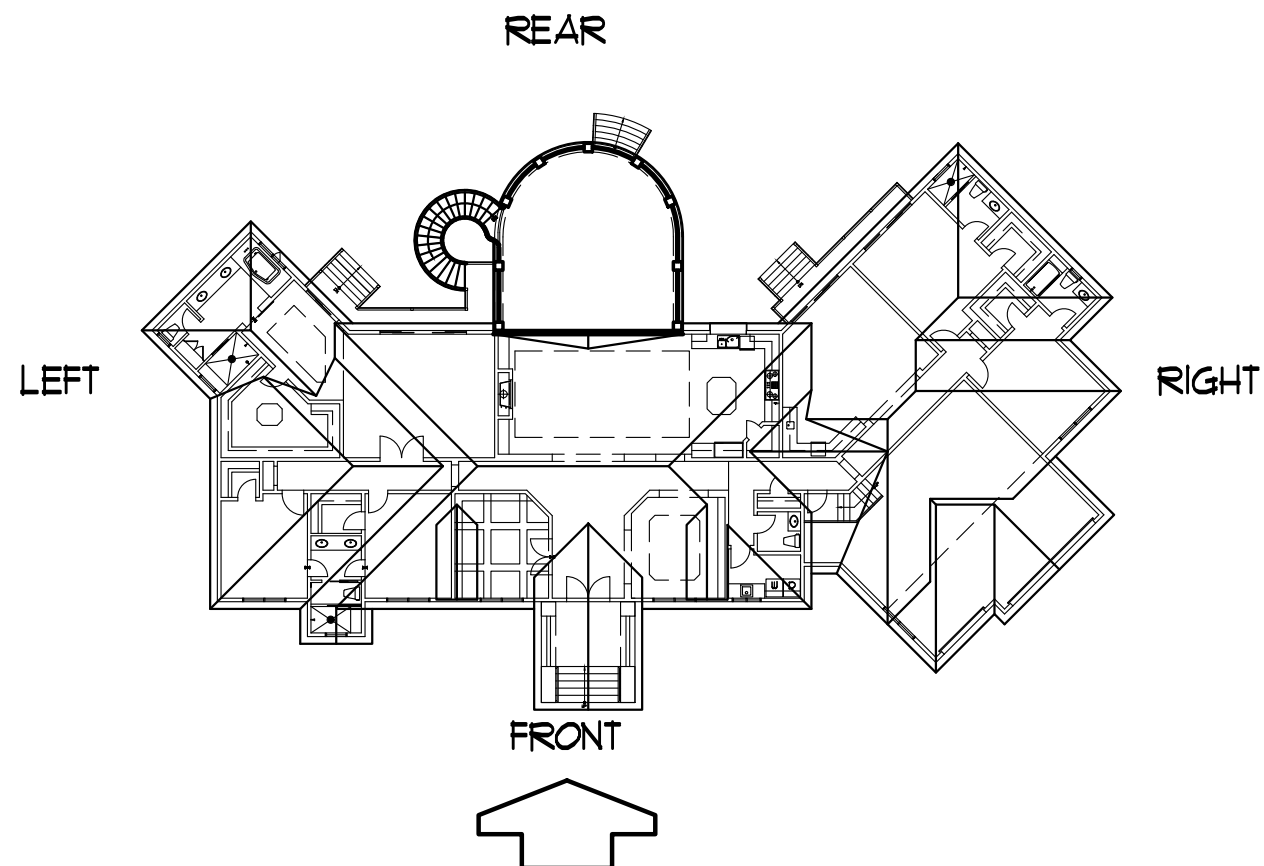
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File: M:\Scheller Ave. Job: Scheller Ave.



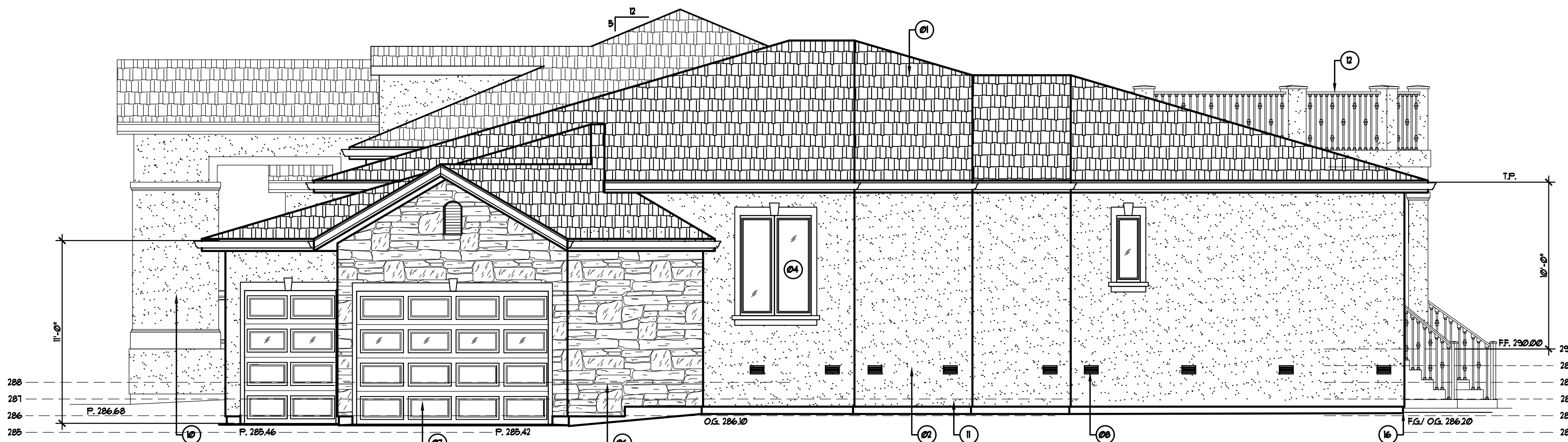
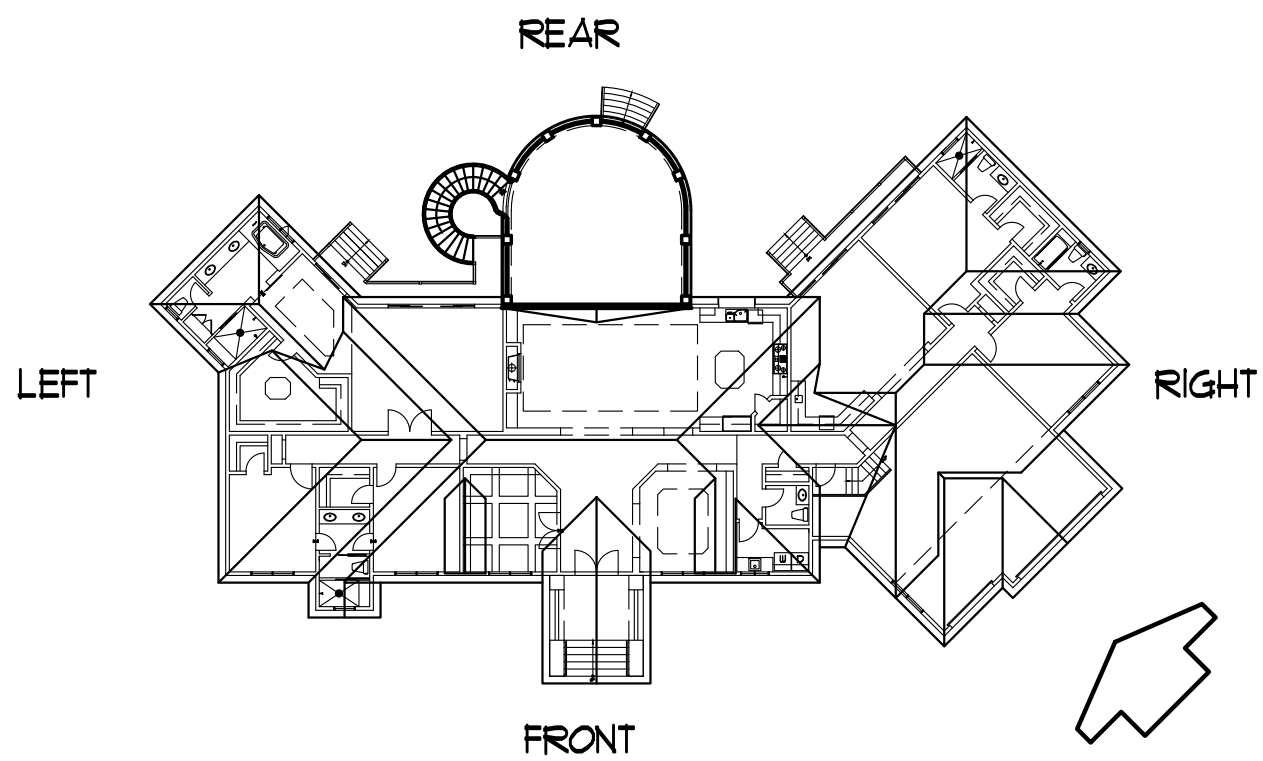


FRONT ELEVATION

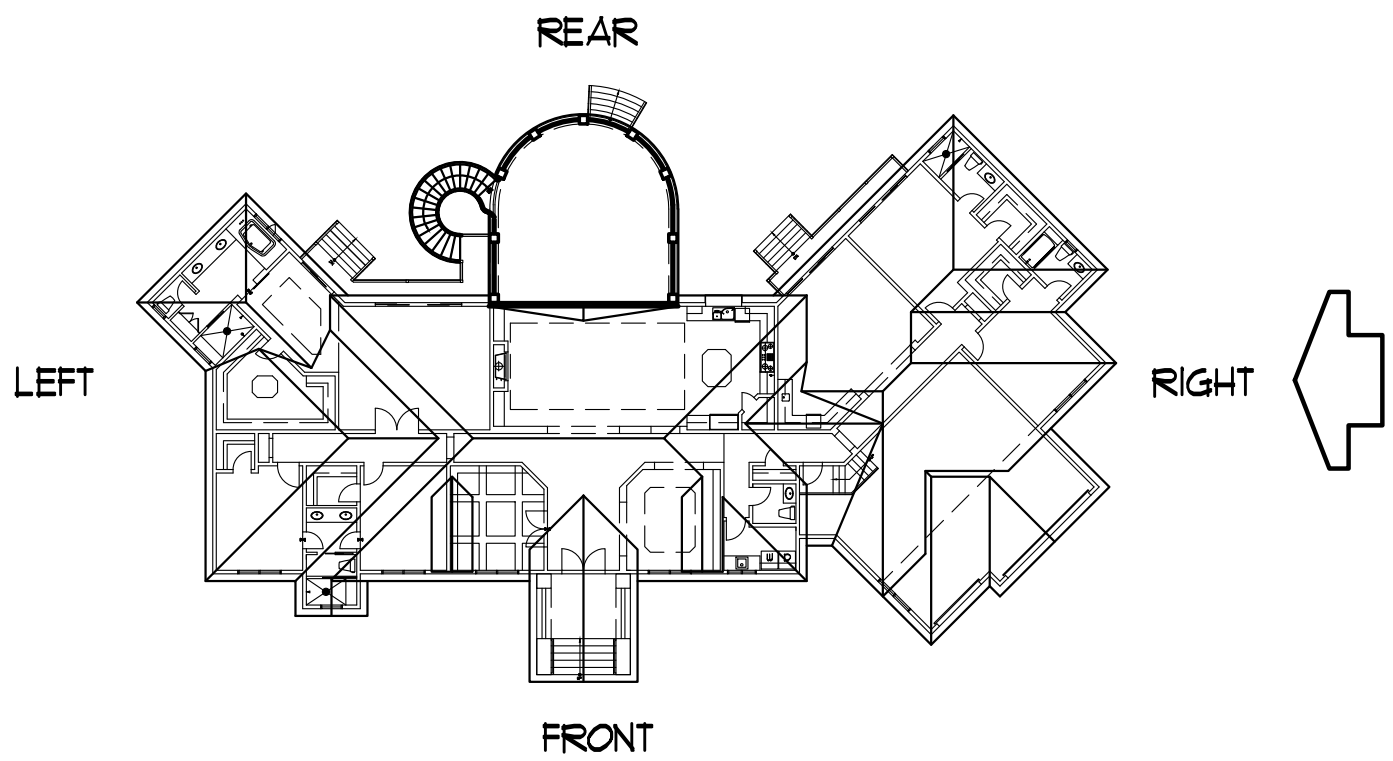


FRONT-RIGHT ELEVATION

- KEY NOTES:
- RESIDENTIAL COMPOSITION SHINGLE ROOF, CLASS "A", SEE ROOF PLAN
 - STUCCO, 1/2" MIN THICK, OR 1/2" LAYER OF GRADE D PAPER, OR KINGS, 2" OF FIBROGLASS INSULATION, OR 1/2" LAYER OF GRADE D PAPER, OR KINGS, 2"
 - ENTRY DOORS
 - MILGARD VINYL WINDOW, SEE FLOOR PLANS FOR TYPE AND SIZE
 - 2x4 ROYAL TRIM TYPE
 - STONE VENEER
 - OVERHEAD GARAGE DOOR
 - 6"x4" VENT UNIBEST SCREEN SHALL BE LOCATED WITHIN 3'-0" OF CORNERS TO PROVIDE CROSS VENTILATION
 - ADDRESS MARKER 12"x4" 4" HIGH WITH 1/2" STROKE
 - STUCCO COLUMN
 - 2x 6x GALVANIZED STEEL SCREED, 4" ABOVE GRADE OR 2" ABOVE CONC. PAVING
 - 42" MIN. HT. METAL GUARDRAIL
 - 42" MIN. HT. BALLUSTER
 - EXTERIOR TEMP. SLIDING DOORS
 - MAX. HT. OF ROOF NOT TO EXCEED 7'4"
 - SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING & FINISH GRADES, VERIFY IN FIELD



RIGHT ELEVATION



Client Revisions

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1	Design	06/04/21
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City Revisions

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Signature:

Date: 05/03/21

Scale: 3/16" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:

Main House
Exterior
Elevations

Sheet No.:

A-4

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Signature:

Date: 05/03/21

Scale: 3/16" = 1'-0"

Drawn By: IL

Checked By: RN

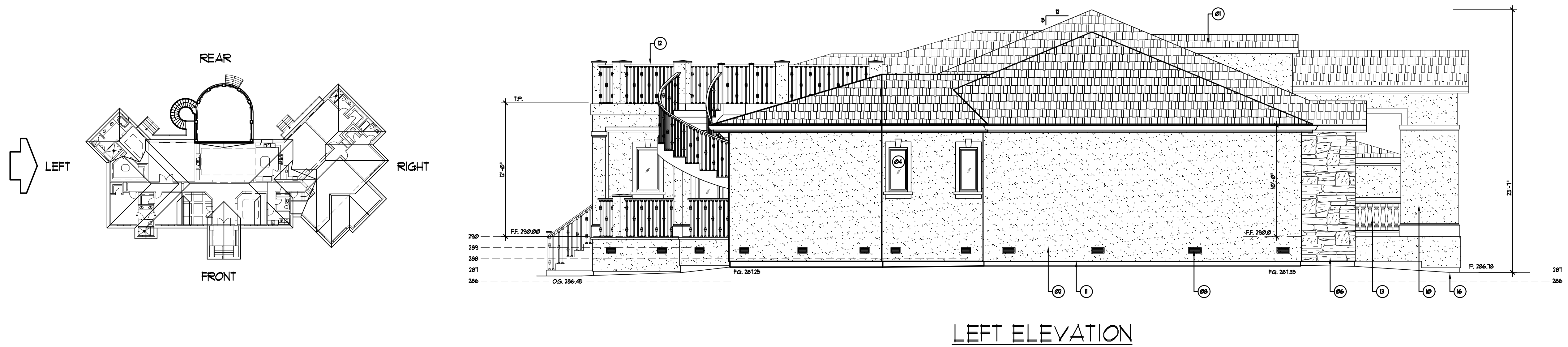
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*Main House
Exterior
Elevations*

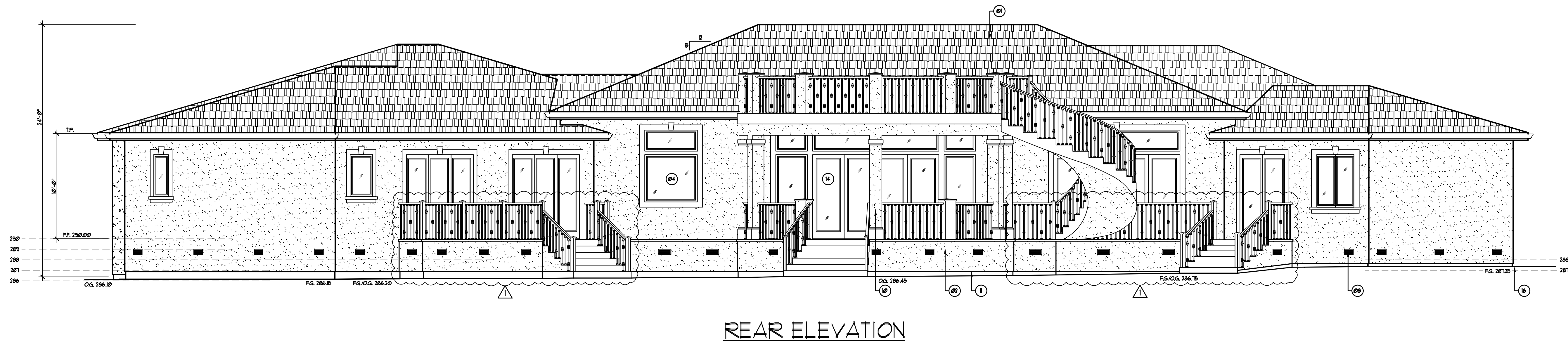
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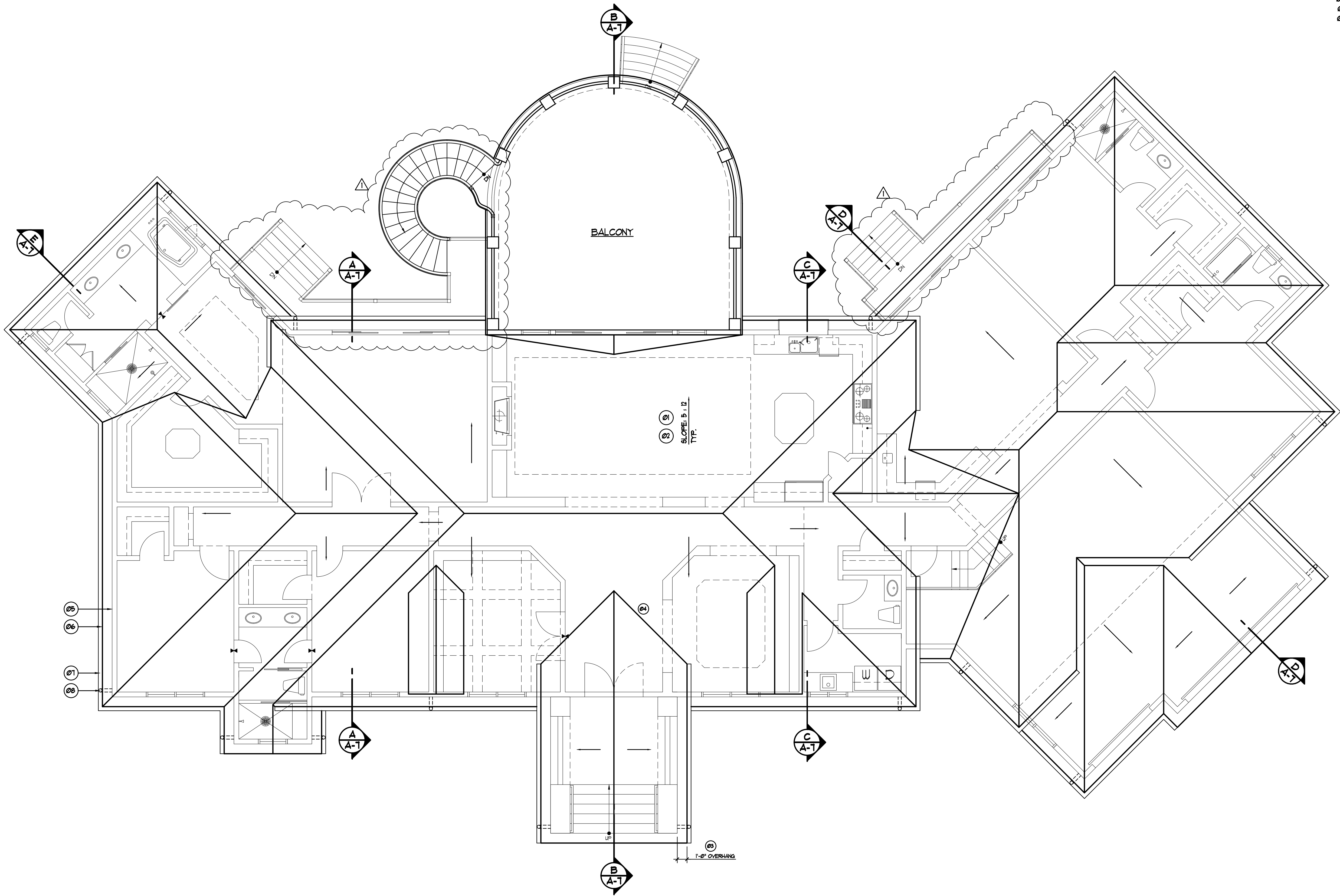
A-5

File: M:\Scheller Ave. Job: Scheller Ave.



- KEY NOTES:**
- RESIDENTIAL COMPOSITION SHINGLE ROOF, CLASS "A", SEE ROOF PLAN
 - STUCCO, 1/2" MIN THICK, 2" TYP LAYER OF GRADE D PAPER, CRC K105.6.2, 1/2" FIBERGLASS INSULATION, CRC K105.6.3
 - ENTRY DOORS
 - MILGARD VINYL WINDOW, SEE FLOOR PLANS FOR TYPE AND SIZE
 - 2x4 FOAM TRIM TYP.
 - STONE VENEER
 - OVERHEAD GARAGE DOOR
 - 6"x14" VENT UNIBECT SCREEN SHALL BE LOCATED WITHIN 3'-0" OF CORNERS TO PROVIDE CROSS VENTILATION
 - ADDRESS MARKER 18"x14"x4" HIGH WITH 1/2" STROKE
 - STUCCO COLUMN
 - 2x 6x6 GALVANIZED STEEL SCREED, 4" ABOVE GRADE OR 2" ABOVE CONC. PAVING
 - 4x4 MIN. HT. METAL GUARDRAIL
 - 4x4 MIN. HT. BALLUSTER
 - EXTERIOR TEMP. SLIDING DOORS
 - MAX. HT. OF ROOF NOT TO EXCEED 7'4"
 - SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING & FINISH GRADES, VERIFY IN FIELD





KEY NOTES:

01. ROOF SLOPES :
02. ROOF MATERIAL :
SLOPED ROOF : COMPOSITION SHINGLE ROOF
03. ALL EAVES SHALL BE 12 OH. UNO.
04. PROVIDE 26 GA. G.I. VALLEY FLASHING AT ALL ROOF VALLEYS. (PAINT TO MATCH THE ROOF COLOR)
05. OUTLINE OF STRUCTURE
06. BUILDING OVERHANG
07. 5" PAINTED METAL GUTTER
08. 3" x PAINTED METAL DOWN SPOUT

5' 12" UNO.



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City Revisions

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Signature:

Date: 05/03/21

Scale: 3/16" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:

Main House
Roof Plan

Sheet No.:

A-6

File: M:\Scheller Ave.

Job: Scheller Ave.

Client Revisions

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Date: 05/03/21

Scale: 3/16" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:

**Main House
Building
Sections**

Sheet No.:

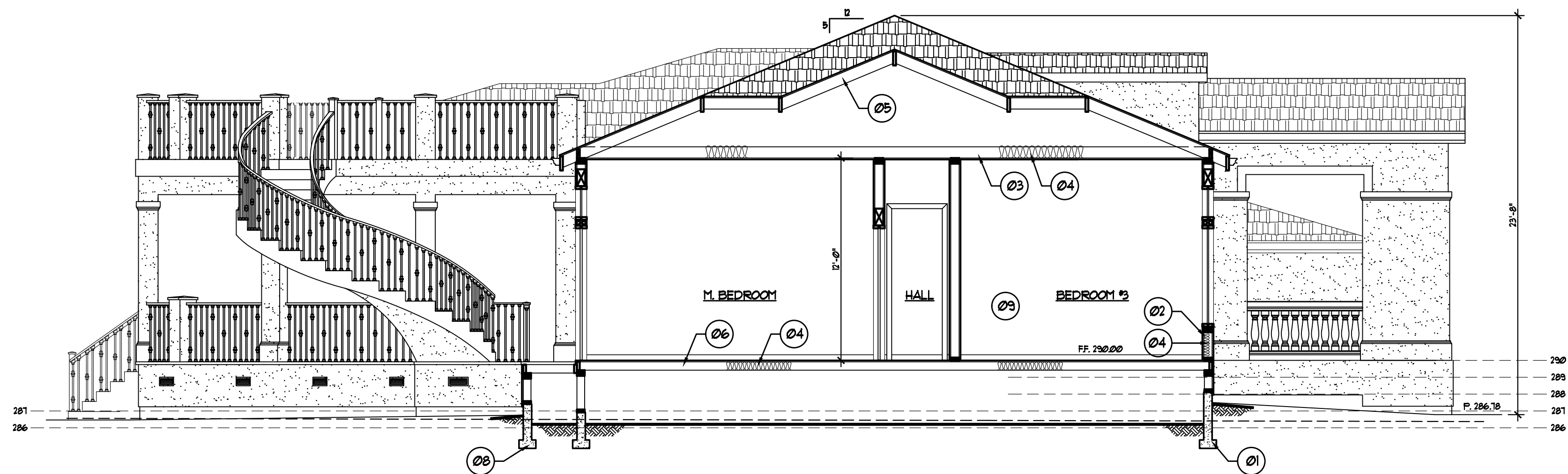
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File: M\Scheller Ave. Job: Scheller Ave.

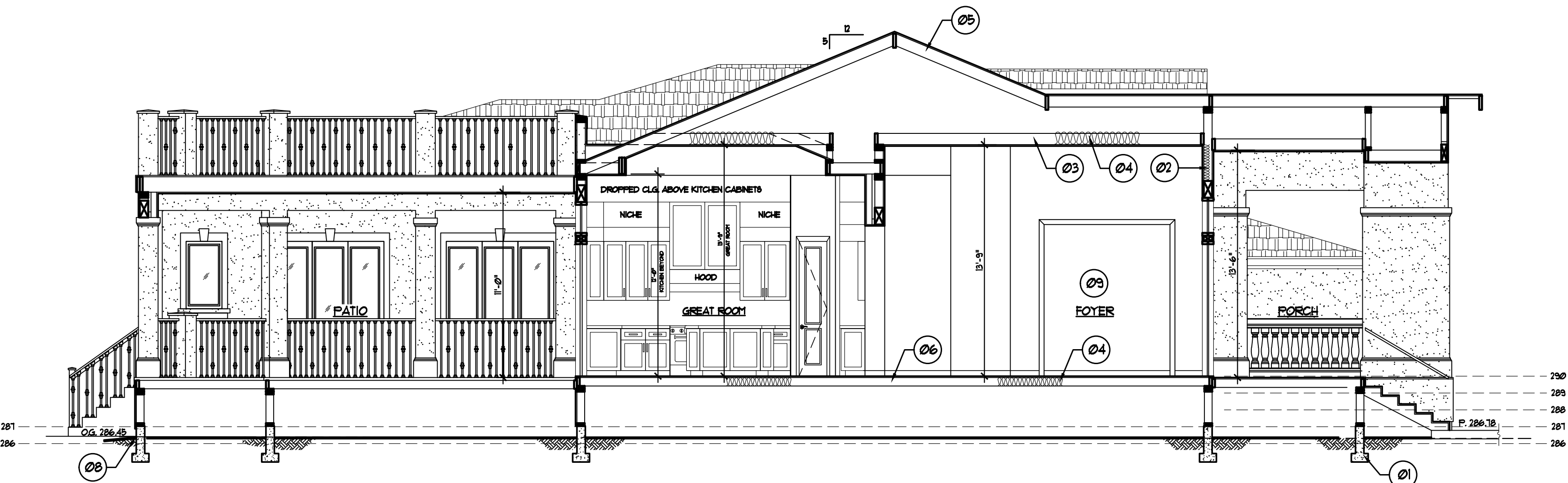
KEY NOTES:

NOTE: REFER TO STRUCTURAL PLANS FOR ALL MEMBER SIZES, LOCATION & ETC.
VERIFY ALL EXISTING GRADES (IMPORT & EXPORT OF DIRT) AROUND THE HOUSE AT THE JOB SITE.

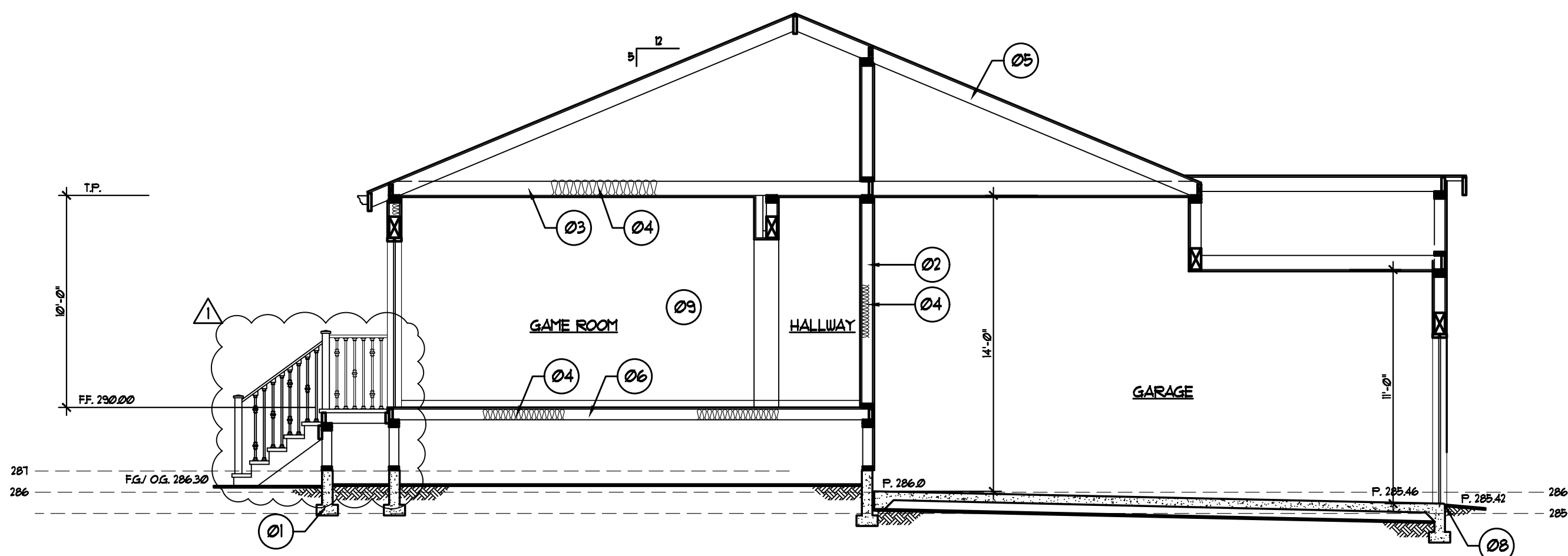
- 01. CONCRETE FOOTING
- 02. WALL FRAMING
- 03. CEILING JOISTS
- 04. INSULATION, SEE TITLE 24 REPORT
- 05. ROOF FRAMING
- 06. FLOOR JOISTS
- 07. STUCCO FINISH
- 08. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING & FINISH GRADES
- 09. ALL FINAL INTERIOR FINISHES TO BE VERIFIED & SELECTED BY INTERIOR DESIGNER



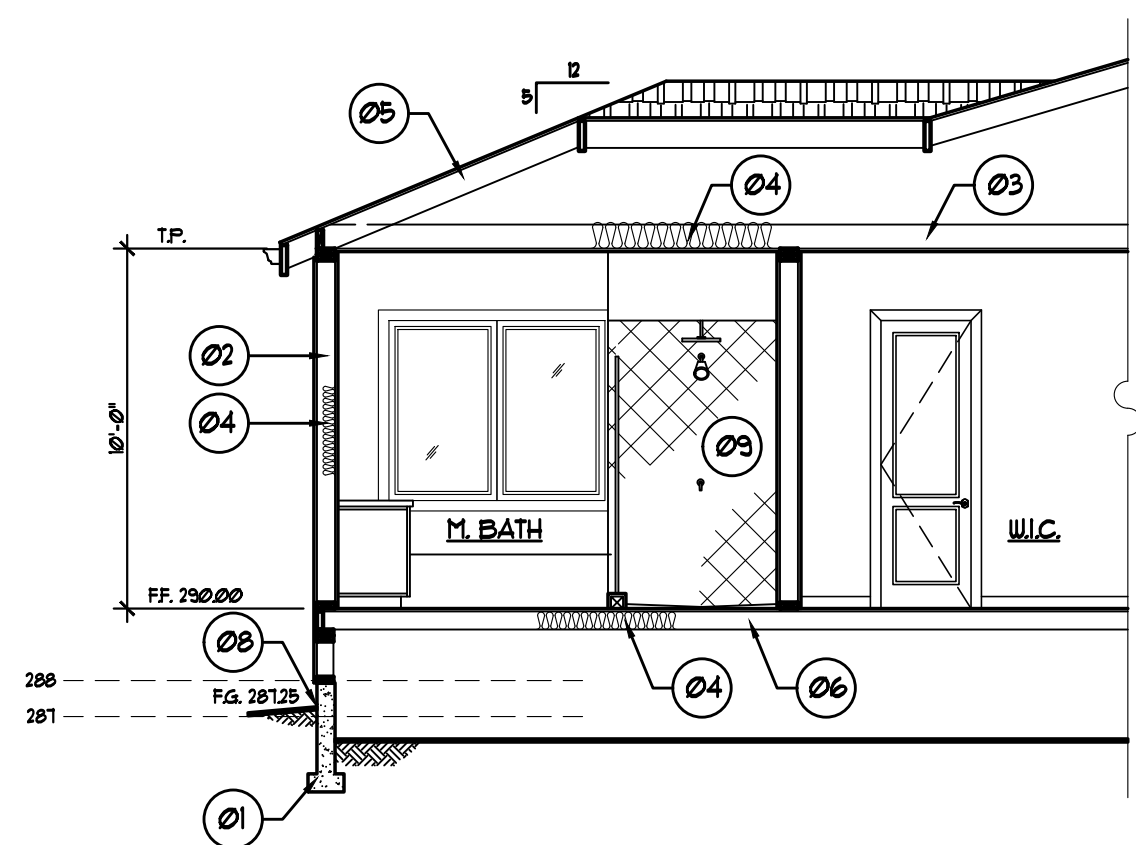
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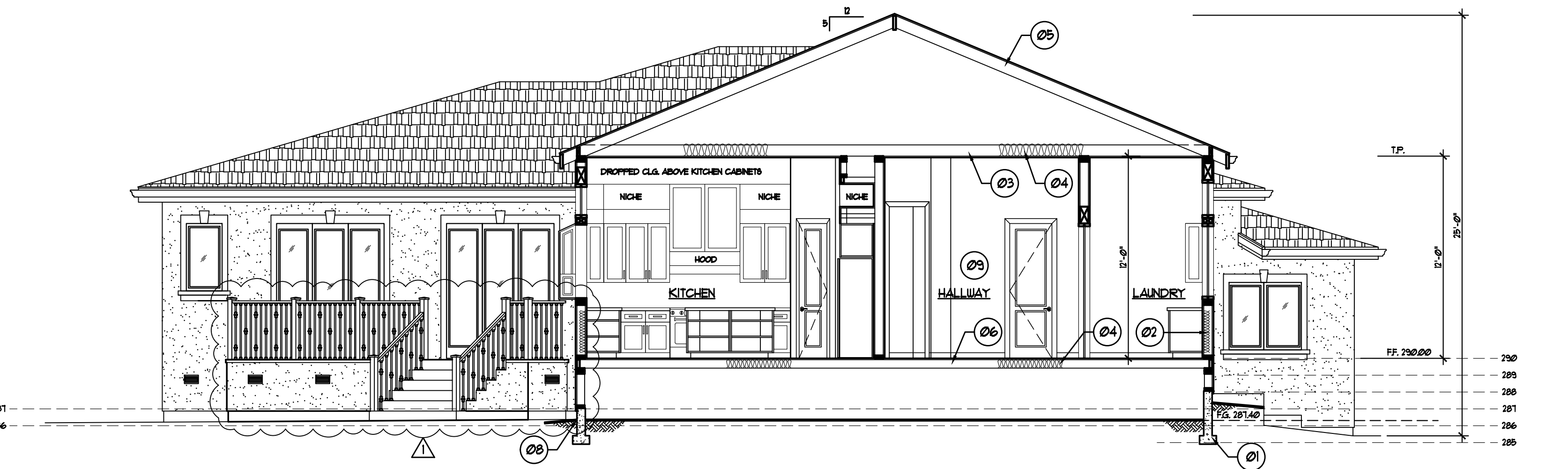
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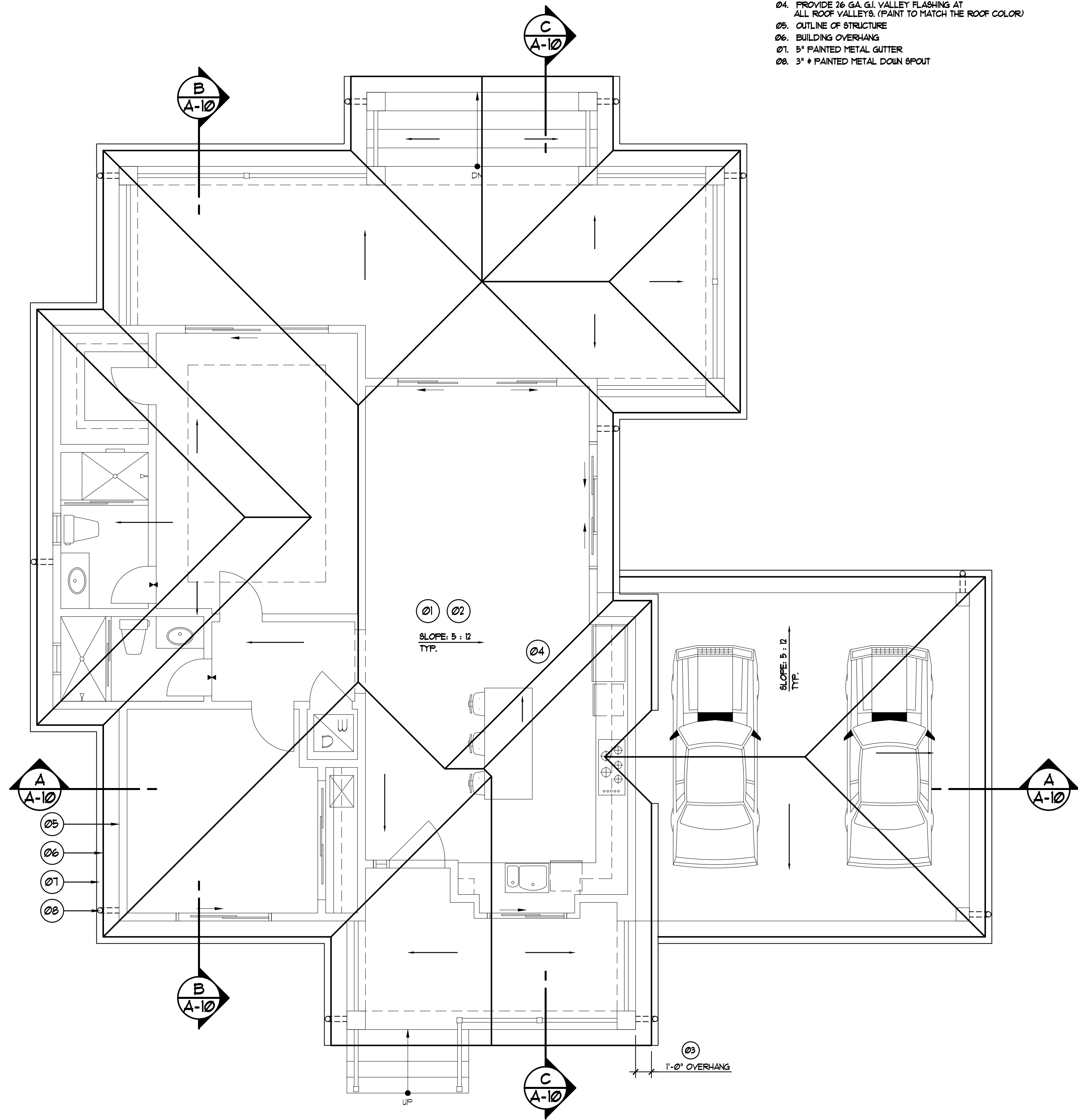
SECTION D-D



SECTION E-E

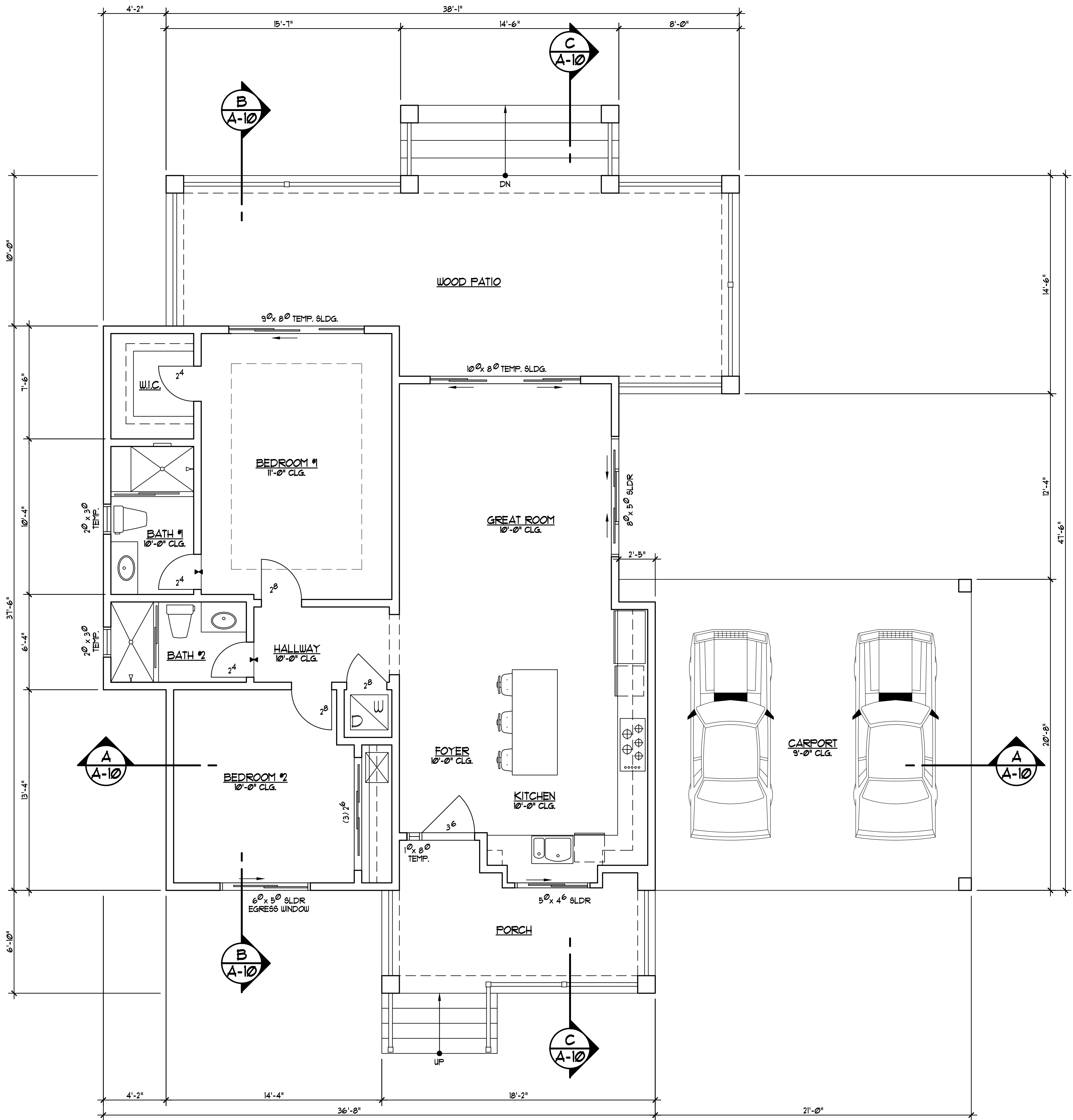


SECTION C-C



ROOF PLAN

- KEY NOTES:
- 01. ROOF SLOPES :
 - 02. ROOF MATERIAL: SLOPED ROOF: COMPOSITION SHINGLE ROOF
 - 03. ALL EAVES SHALL BE 1" OH UNO.
 - 04. PROVIDE 16 GA. GL VALLEY FLASHING AT ALL ROOF VALLEYS. (PAINT TO MATCH THE ROOF COLOR)
 - 05. OUTLINE OF STRUCTURE
 - 06. BUILDING OVERHANG
 - 07. 5" PAINTED METAL GUTTER
 - 08. 3" x PAINTED METAL DOWN SPOUT



FLOOR PLAN

Client Revisions		
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Signature:

Date: 05/03/21

Scale: 1/4" = 1'-0"

Drawn By: IL

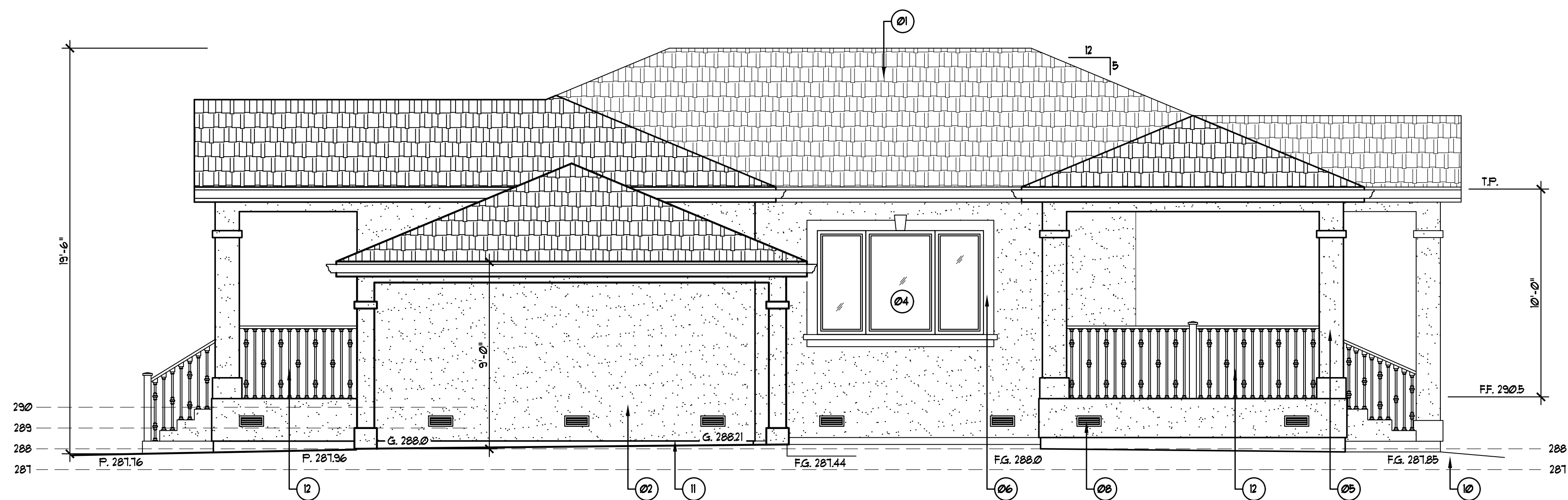
Checked By: RN

Sheet Title:

**A.D.U.
Floor Plan &
Roof Plan**

Sheet No.:

A-8



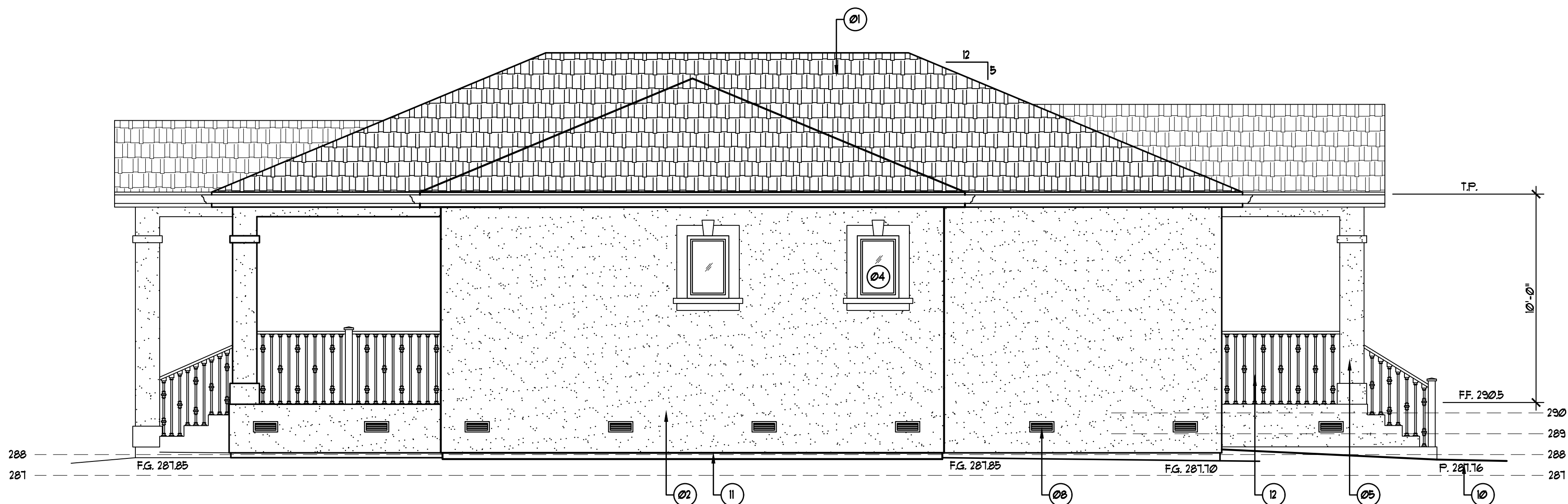
RIGHT ELEVATION



FRONT ELEVATION

KEY NOTES:

- 01. PRESIDENTIAL COMPOSITION SHINGLE ROOF, CLASS "A", SEE ROOF PLAN
- 02. STUCCO, 1/8"-INCH MIN. THICK, O/ TWO LAYER OF GRADE D PAPER, CRC R103.6.2, O/ PLYWOOD SHEATHING, CRC R103.6.3.
- 03. ENTRY DOORS
- 04. MILGARD VINYL WINDOW, SEE FLOOR PLANS FOR TYPE AND SIZE
- 05. STUCCO COLUMN
- 06. 2x4 FOAM TRIM TYP.
- 07. ADDRESS NUMBER MINIMUM 4" HIGH WITH 1/2" STRIKE
- 08. 6"x4" VENT W/INSECT SCREEN SHALL BE LOCATED WITHIN 3'-0" OF CORNERS TO PROVIDE CROSS VENTILATION
- 09. MAX. HT. OF RISER NOT TO EXCEED 7 1/4"
- 10. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING 1 FINISH GRADES, VERIFY IN FIELD
- 11. 26 GA. GALVANIZED UEEP SCREED, 4" ABOVE GRADE OR 2" ABOVE CONC. PAVING.
- 12. 42" MIN. HT. METAL GUARDRAIL
- 13. EXTERIOR TEMP. SLIDING DOORS



LEFT ELEVATION



REAR ELEVATION

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:

Mr. & Mrs. Helweh

320 Manzanita Ct.
Milpitas, CA 95035

Project:

One Story House & A.D.U.

Scheller Ave.
Morgan Hill, CA 95037

Client Revisions

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	A.D.U. Design	08/23/21
5	A.D.U. Design	09/02/21
6		
7		
8		
9		
10		
11		
12		

City Revisions

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Signature:

Date: 05/03/21

Scale: 1/4" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:

*A.D.U.
Exterior
Elevations*

Sheet No.:

A-9

File: M:\Scheller Ave.

Job: Scheller Ave.

Client Revisions		
No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	A.D.U. Design	08/23/21
5	A.D.U. Design	09/02/21
6		
7		
8		
9		
10		
11		
12		

City Revisions		
No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Signature:

Date: 05/03/21

Scale: 1/4" = 1'-0"

Drawn By: IL

Checked By: RN

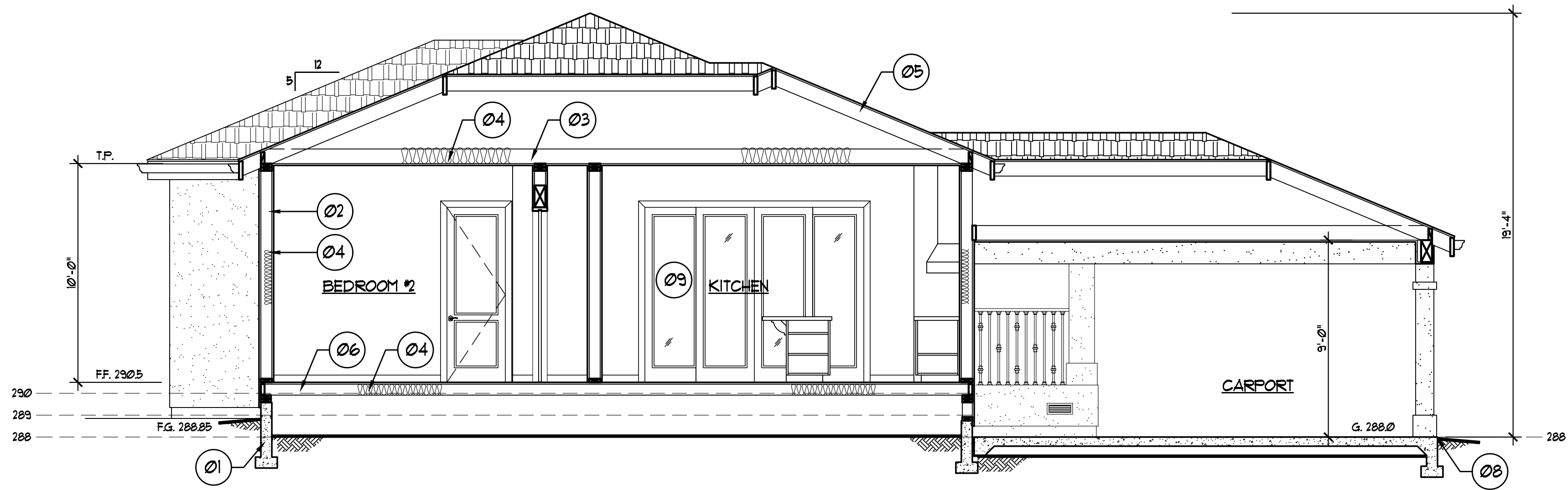
Sheet Title:

**A.D.U.
Building
Sections**

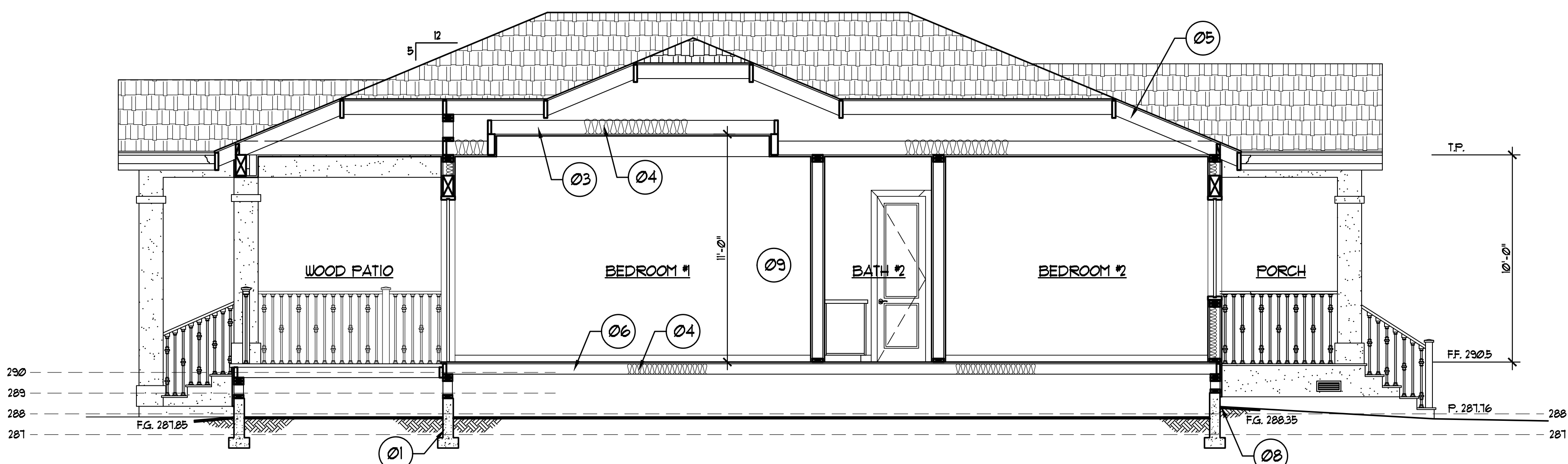
Sheet No.:

A-10

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SECTION A-A

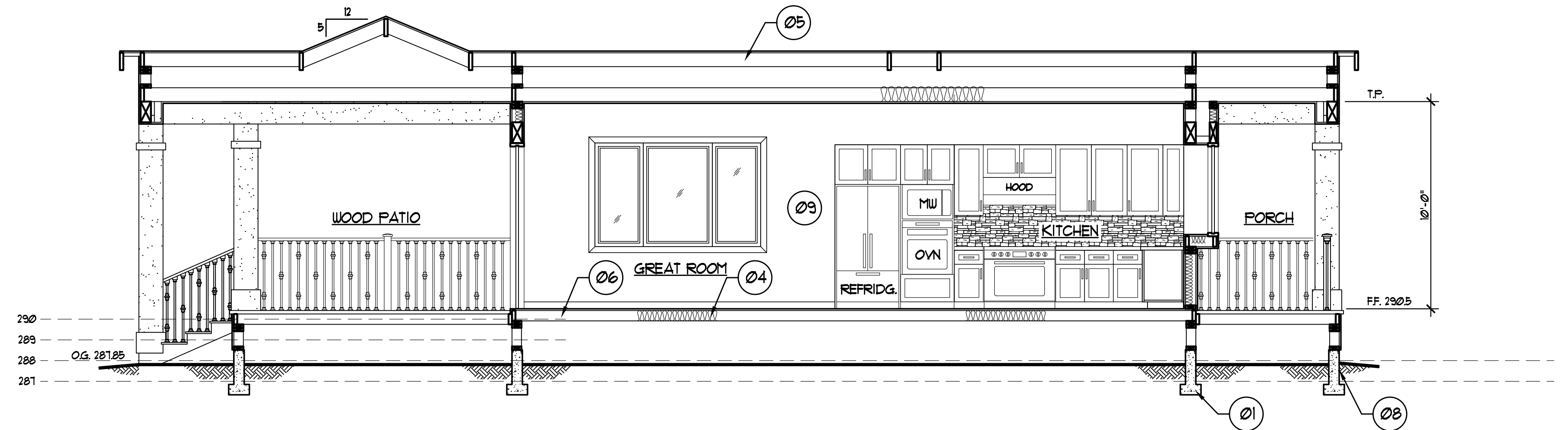


SECTION B-B

KEY NOTES:

NOTE: REFER TO STRUCTURAL PLANS FOR ALL MEMBER SIZES, LOCATION & ETC.
VERIFY ALL EXISTING GRADES (IMPORT & EXPORT OF DIRT) AROUND THE HOUSE AT THE JOB SITE.

- 01. CONCRETE FOOTING
- 02. WALL FRAMING
- 03. CEILING JOISTS
- 04. INSULATION, SEE TITLE 24 REPORT
- 05. ROOF FRAMING
- 06. FLOOR JOISTS
- 07. STUCCO FINISH
- 08. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING & FINISH GRADES
- 09. ALL FINAL INTERIOR FINISHES TO BE VERIFIED & SELECTED BY INTERIOR DESIGNER



SECTION C-C

THIRD STREET (FORMERLY SCHELLER AVENUE)

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF THIRD STREET (FORMERLY SCHELLER AVENUE) AS N51°02'48"E SHOWN ON RECORD OF SURVEY, RECORDED IN BOOK 870 OF MAPS, AT PAGE 5, SANTA CLARA COUNTY RECORDS.

PARCEL MAP
299 M 41

PARCEL A
APN 712-28-005

PARCEL B
APN 712-28-006

LOT 8
APN 712-28-058

LOT 9
APN 712-28-056

RECORD OF SURVEY
LOT 10
870 M 5
APN 712-28-059
LOT AREA = 423,497± SF

LOT 20
APN 712-28-044

LOT 18
APN 712-28-042

LOT 17
APN 712-28-041

LOT 16
APN 712-28-040

ABBREVIATIONS

AC	ASPHALT CONCRETE	FL	FLOWLINE
BLDG	BUILDING	G	GROUND
CB	CATCH BASIN	IP	IRON PIPE
CG	CURB & GUTTER	MB	MAILBOX / MONUMENT BOX
C	CENTERLINE	MH	MANHOLE
CLF	CHAIN LINK FENCE	MON	MONUMENT
CONC	CONCRETE	PL	PROPERTY LINE
DWY	DRIVEWAY	R/W	RIGHT OF WAY
E(OH)	ELECTRIC (OVERHEAD)	SDMH	STORM DRAIN MANHOLE
EC	EDGE OF CONCRETE	SSMH	SANITARY SEWER MANHOLE
EP	EDGE OF PAVEMENT	SW	SIDEWALK
ELEV	ELEVATION	TOB	TOP OF BANK
EM	ELECTRIC METER	TOE	TOE OF BANK
EX	EXISTING	WF	WOOD FENCE
FF	FINISH ELEVATION OF SUBFLOOR	WLK	WALKWAY
FH	FIRE HYDRANT	WV	WATER VALVE

LEGEND

	BENCHMARK
	BORDER LINE
	BOUNDARY
	BUILDING OUTLINE
	CATCH BASIN
	CENTERLINE
	CONCRETE
	EXISTING CONTOUR
	EASEMENT LINE
	ELECTRICAL METER
	EXISTING ELEVATION
	EXISTING FENCE
	EXISTING TREE AND DIAMETER
	FLOW LINE
	GAS METER
	HYDRANT: EXISTING
	JOINT POLE
	LIGHT POST
	MANHOLE
	MAILBOX
	MONUMENT LINE
	PARCEL LINE / RIGHT OF WAY
	SANITARY SEWER CLEAN OUT
	SANITARY SEWER MANHOLE
	SANITARY SEWER STORMDRAIN
	STREET SIGN
	TREE STUMP AND DIAMETER
	TRENCH DRAIN
	UTILITY: EXISTING
	WATER METER
	WATER VALVE

NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.

GRAPHIC SCALE
0 40 80
(IN FEET)
1 inch = 40 ft.

SURVEYOR'S STATEMENT

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

Woon Chui
H. W. CHUI
RCE NO. 32912 EXP.06-30-2022

06/17/2021
DATE



BOUNDARY MAP & TOPOGRAPHIC SURVEY

SCHELLER AVE
APN 712-28-059

California

Morgan Hill

PROJECT NO.

CONTRACT NO.

DRAWING NO.

SHT NO.
1 OF 1

FILE NO.

DATE	06/17/21
DESIGNED	TN
DRAWN	TN
CHECKED	IL
SCALE	1" = 40'
DATE	06/17/21

ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

DATE	06/17/21
DESIGNED	TN
DRAWN	TN
CHECKED	IL
SCALE	1" = 40'
DATE	06/17/21

DATE	06/17/21
DESIGNED	TN
DRAWN	TN
CHECKED	IL
SCALE	1" = 40'
DATE	06/17/21

DATE	06/17/21
DESIGNED	TN
DRAWN	TN
CHECKED	IL
SCALE	1" = 40'
DATE	06/17/21

AB	AGGREGATE BASE	EM	ELECTRIC METER
AC	ASPHALT CONCRETE	E(OH)	ELECTRIC OVERHEAD
AD	AREA DRAIN	E(UG)	ELECTRIC UNDERGROUND
AE	ANCHOR EASEMENT	EP	EDGE OF PAVEMENT
BB	BUBBLER BOX	EX	EXISTING
BLDG	BUILDING	FC	FACE OF CURB
BSL	BUILDING SETBACK LINE	FD	FOUND
BW	BOTTOM OF WALL/BACK OF WALK	FF	FINISH ELEVATION OF SUBFLOOR
CG	CURB & GUTTER	FG	GROUND FINISH GRADE
C	CENTERLINE	FH	FIRE HYDRANT
CLF	CHAIN LINK FENCE	FL	FLOW LINE
CO	SANITARY SEWER CLEANOUT	G	GARAGE SLAB ELEVATION/GAS LINE
COP	CURB OPENING	GPE	GENERAL PUBLIC EASEMENT
CONC	CONCRETE	GSB	GRADING SETBACK
CSD	COUNTY STANDARD DETAIL	GM	GAS METER
DE	DRAINAGE EMITTER	HP	HI POINT
DI	DRAINAGE INLET	INV	INVERT
DS	DOWNSPOUT	LIP	LIP OF GUTTER
DWY	DRIVEWAY	LS	LANDSCAPED AREA
EA	EASEMENT	MAX	MAXIMUM
ELEV	ELEVATION	MH	MANHOLE

LEGEND

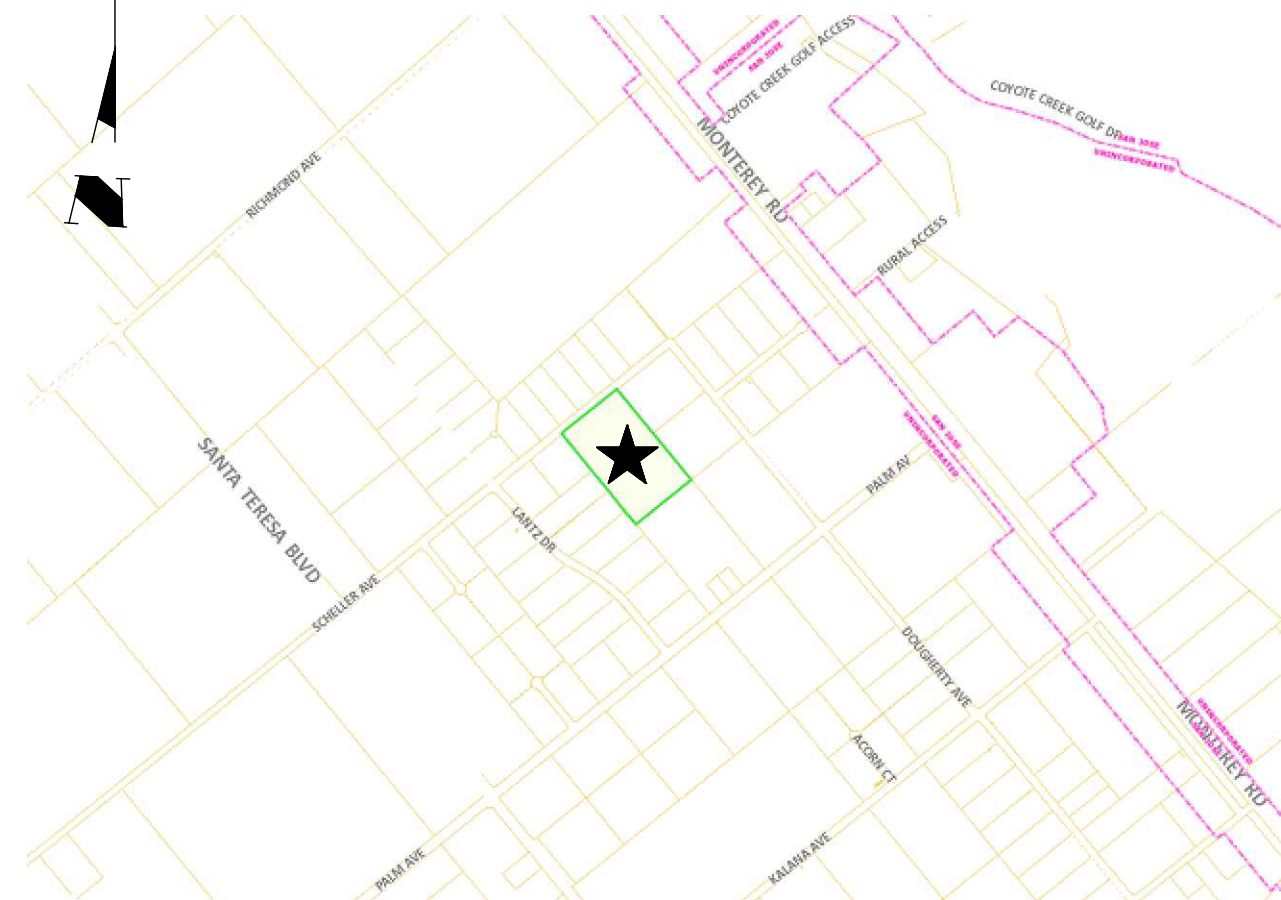
MIN	MINIMUM	SE	SLOPE EASEMENT
N&S	NAIL AND SILVER	SS	SANITARY SEWER/LATERAL
NTS	NOT TO SCALE	SSE	SANITARY SEWER EASEMENT
OH	OVERHEAD	STA	STATION
OG	ORIGINAL GROUND	STD	STANDARD CITY DETAIL
P	PAVEMENT FINISH GRADE	SW	SIDEWALK
PAD	PAD ELEVATION	TB	TOP OF BANK
PL	PROPERTY LINE	TC	TOP OF CURB
PEE	PEDESTRIAN EQUESTRIAN EASEMENT	TEMP	TEMPORARY
PERF	PERFORATED	TOC	TOP OF COVER
PP	POWER POLE PROP PROPOSED	TOE	TOE OF BANK
PSE	PUBLIC SERVICE EASEMENT	TG	TOP OF GRATE
PUE	PUBLIC UTILITY EASEMENT	TPF	TREE PROTECTION FENCE
PVMT	PAVEMENT	TW	TOP OF WALL
PVC	POLYVINYL CHLORIDE	TYP	TYPICAL
R	RADIUS	VG	VALLEY GUTTER
RW	RETAINING WALL	W	WATER
REM	REMOVE	WCE	WIRE CLEARANCE EASEMENT
R/W	RIGHT OF WAY	WLK	WALKWAY
SD	STORM DRAIN	WM	WATER METER
SDE	STORM DRAIN EASEMENT	WOE	WIRE OVERHANG EASEMENT
		WV	WATER VALVE

PROPERTY LOCATION INFORMATION

1. APN: 712-28-059
2. SITE ADDRESS: SCHELLER AVE, MORGAN HILL, CA 95037
3. LOT SITE AREA: 423,497± SQ. FT. / 9.7± ACRES
4. ZONING: A-40AC (100%)
5. HCP RURAL DEVELOPMENT AREAS: IN
6. FIRE RESPONSIBILITY AREA: LRA (100%)
7. FIRE PROTECTION DISTRICT: SOUTH SANTA CLARA COUNTY FIRE PROTECTION DISTRICT
8. GEOHAZARD: COUNTY FAULT RUPTURE HAZARD ZONE
9. GEOHAZARD: COUNTY LIQUEFACTION HAZARD ZONE
10. GEOHAZARD: STATE SEISMIC HAZARD ZONE (LIQUEFACTION)
11. HISTORIC PARCEL: NO
12. FEMA FLOOD ZONE: D (100%)
13. IMPERVIOUS AREA:
MAIN HOUSE: 4,519 SF
ADU : 1,196 SF
PORCH : 348 SF
PATIO : 1,427 SF
WALKWAY : 217 SF
DRIVEWAY : 8,571 SF
GARAGE : 849 SF
CARPORT : 438 SF
TOTAL: 17,565 SF

SHEET INDEX

SHEET C1:	OVERALL SITE PLAN
SHEET C2:	ADU GRADING & DRAINAGE PLAN
SHEET C3:	MAIN HOUSE GRADING & DRAINAGE PLAN
SHEET C4:	BUILDING CROSS SECTIONS
SHEET C5:	STREET IMPROVEMENT PLAN
SHEET C6:	EROSION CONTROL PLAN
SHEET C7:	EROSION CONTROL DETAILS



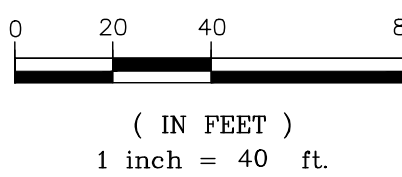
VICINITY MAP

LOT 8
APN 712-28-058

ABBREVIATIONS

	AREA DRAIN
	BENCHMARK
	BOUNDARY
	CATCH BASIN
	COBBLE ROCK ENERGY DISSIPATOR
	CONCRETE
	EXISTING CONTOUR AFTER GRADING
	ORIGINAL GROUND PRIOR TO GRADING
	DESIGN GRADE
	DOWNSPOUT WITH SPLASHBLOCK
	DRAINAGE EMITTER
	DIVERSION VALVE
	BACKWATER VALVE
	DRAINAGE SWALE
	EASEMENT LINE
	EXISTING ELEVATION
	EXISTING FENCE
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	FOUND IRON PIPE AT PROPERTY CORNER
	FIBER ROLLS
	GAS METER
	GAS VALVE
	GRADE TO DRAIN
	GUY POLE
	GUY WIRE ANCHOR
	HIGH POINT
	HYDRANT: EXISTING
	HYDRANT: PROPOSED
	INLET
	JOINT POLE
	LIGHTING
	LIGHTING POLE
	LOW POINT
	OVERLAND FLOW DIRECTION
	PGE BOX
	POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE
	PROJECT SITE
	RETAINING WALL
	RIGHT OF WAY
	SANITARY SEWER CLEAN OUT MANHOLE
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	SUMP PUMP
	TELEPHONE BOX
	TELEVISION BOX
	TEST PIT
	TOP OF FILL
	TOE OF FILL
	TOP OF CUT
	TOE OF CUT
	TREE NUMBER
	T-VAULT
	UTILITY: EXISTING
	UTILITY: PROPOSED OR NEW
	WATER METER
	WATER VALVE
	WELL
	EX FENCE TO BE REMOVED
	AREA OR ITEM TO BE REMOVED
	AREA OR ITEM TO BE REMAIN

GRAPHIC SCALE



REGISTERED PROFESSIONAL ENGINEER
No. 47518
CIVIL
STATE OF CALIFORNIA

MR. & MRS. HELWEH
320 Marzanita Ct, Milpitas, Ca 95035
E-mail: Helweh10@gmail.com
Tel: (408) 802-9774

ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187

SITE PLAN
SCHELLER AVE
APN 712-28-059

SHEET
C1

FILE #
.....

Project No.:
MORGAN HILL
Designed: PT
Checked: NL
Date: 07/12/22

REVISIONS
BY
DATE

THIRD STREET (FORMERLY SCHELLER AVENUE)
(A COUNTY MAINTAINED ROAD)

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF THIRD STREET (FORMERLY SCHELLER AVENUE) AS N51°02'48"E SHOWN ON RECORD OF SURVEY, RECORDED IN BOOK 870 OF MAPS, AT PAGE 5, SANTA CLARA COUNTY RECORDS.

PROJECT BENCHMARK

3/4" IRON PIPE RCE 24893
ELEV = 285.80' (NAVD88)
BASED ON GPS OBSERVATION

PARCEL MAP
299 M 41

PARCEL B
APN 712-28-006

RECORD OF SURVEY
870 M 5
LOT 10
APN 712-28-059
LOT AREA = 423,497± SF
(9.72 ACRES)

PARCEL A
APN 712-28-005

LOT 20
APN 712-28-044

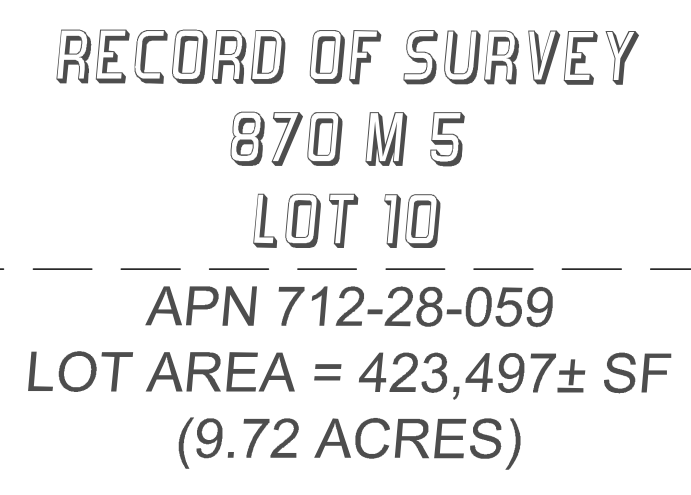
LOT 18
APN 712-28-042

LOT 17
APN 712-28-041

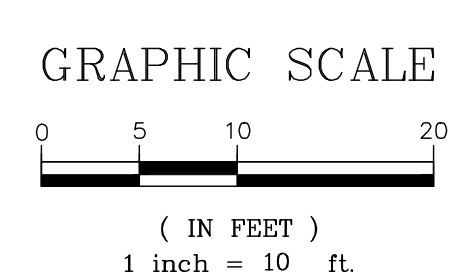
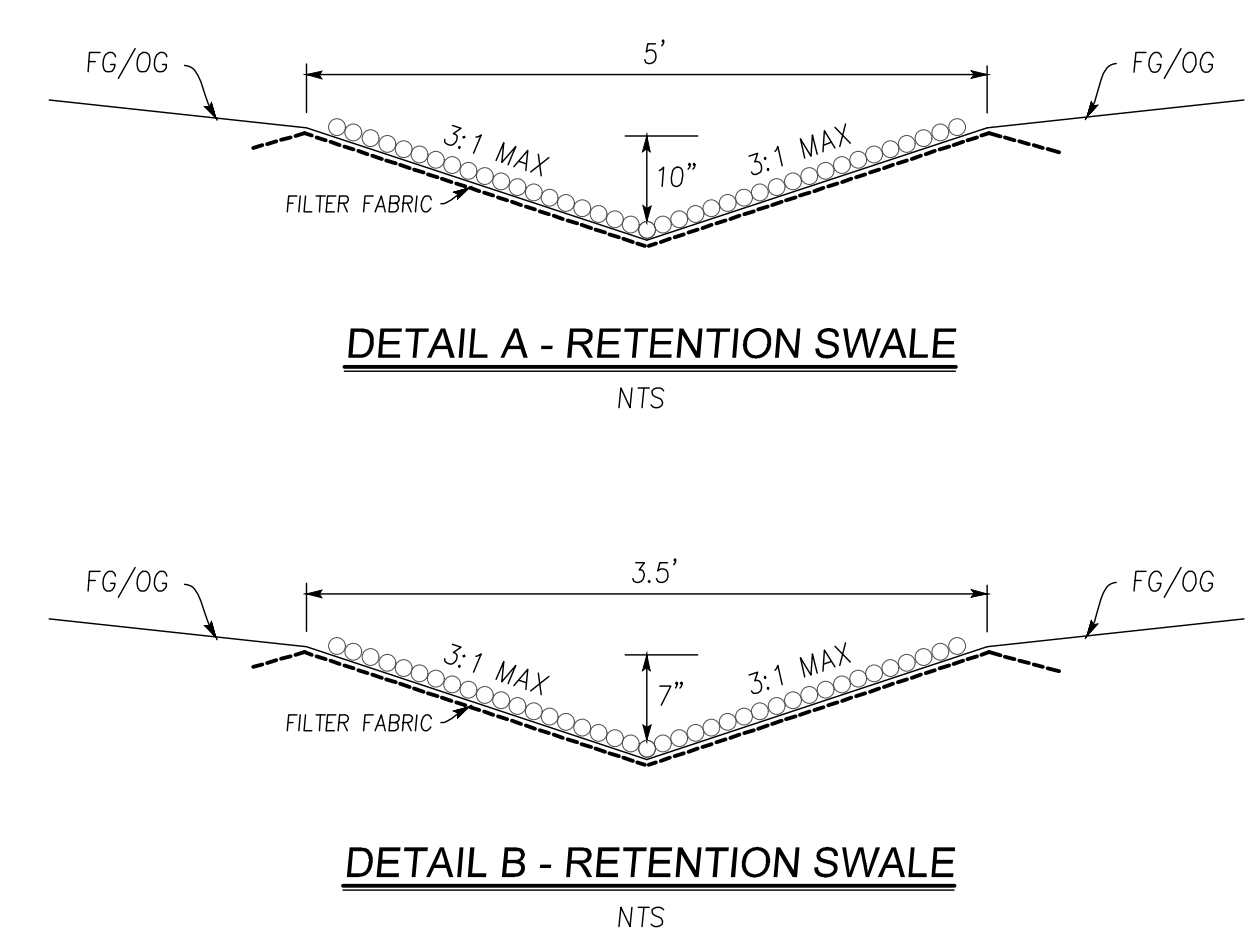
LOT 16
APN 712-28-040

LOT 9
APN 712-28-056

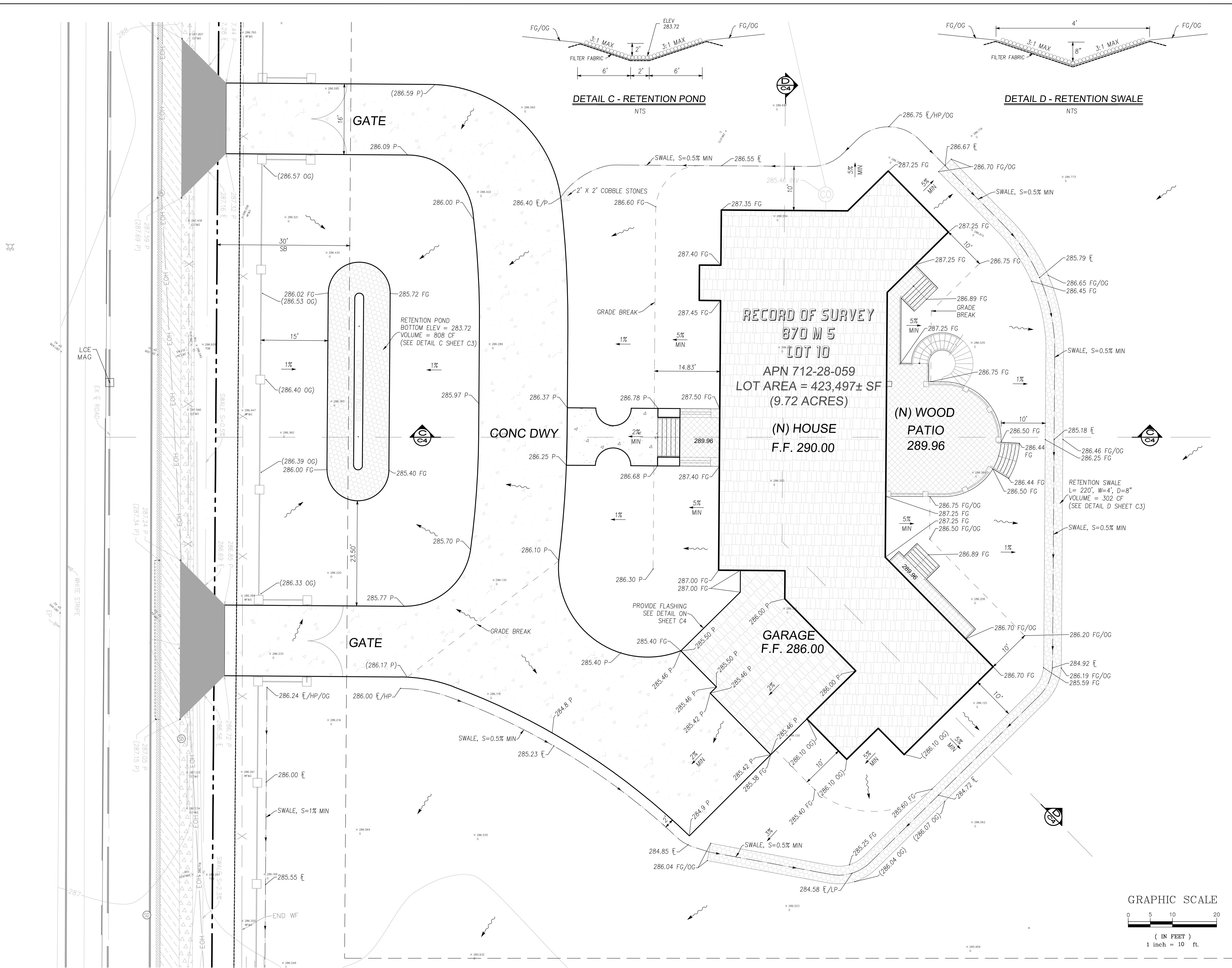
The diagram shows a line with a point labeled 'a' and a shaded region. The shaded region is a triangle with its base on the line and its vertex at point 'a'.



	SHEET	C2	FILE #	ADU GRADING PLAN SCHELLER AVE APN 712-28-059	MORGAN HILL CALIFORNIA Project No.: _____ Date: 07/12/22 Designed: PT Checked: NL	LE ENGINEERING  598 E Santa Clara St. #270 San Jose, CA 95112 Phone: (408) 806-7187	MR. & MRS. HELWEH 320 Manzanita Ct. Milpitas, Ca 95035 Email: Helweha1@gmail.com Tel: (408) 802-9774	REGISTERED PROFESSIONAL ENGINEER No. 47518 STATE OF CALIFORNIA CIVIL N. M.	△ △ △ △ △	BY DATE REVISIONS
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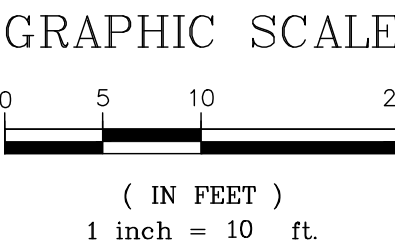


THIRD STREET (FORMERLY SCHELLER AVENUE)
(A COUNTY MAINTAINED ROAD)

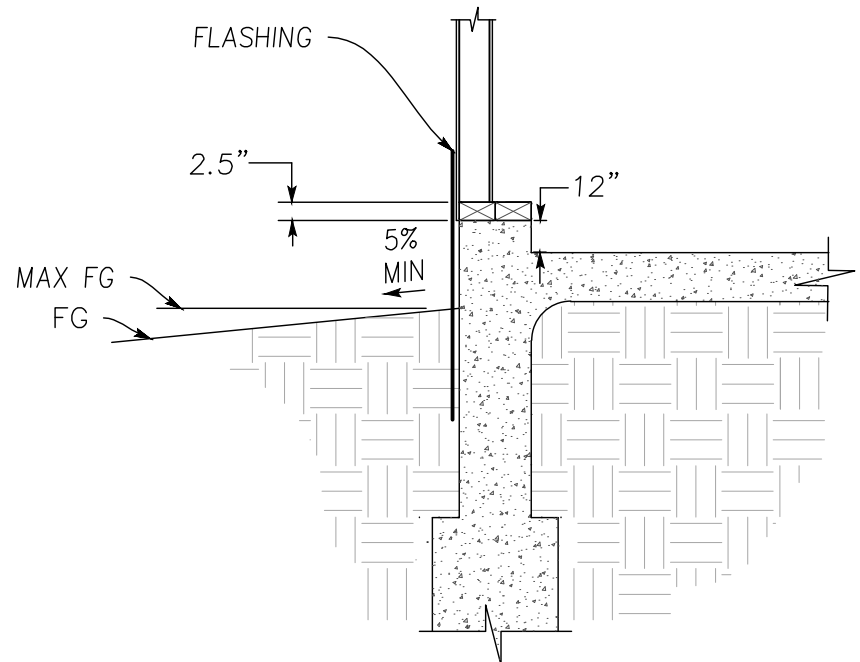
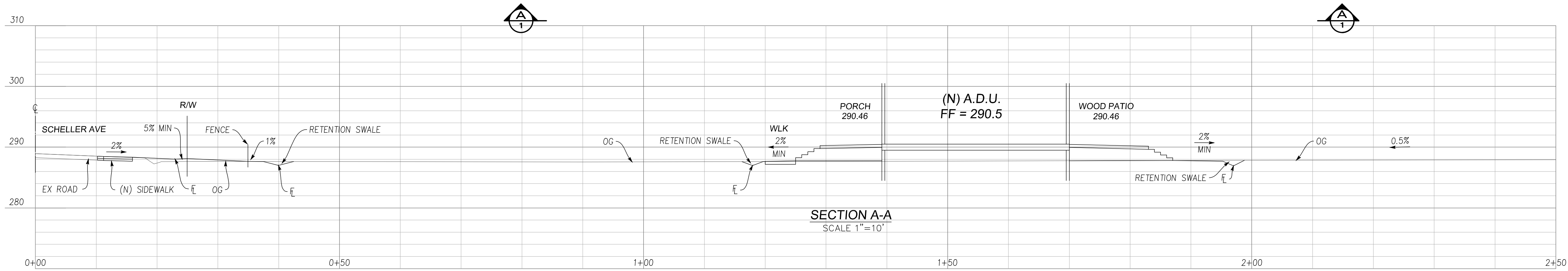


DETAIL C - RETENTION POND
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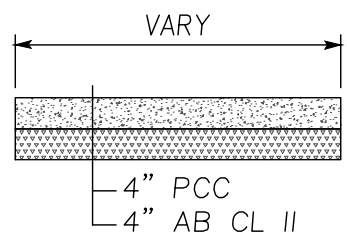
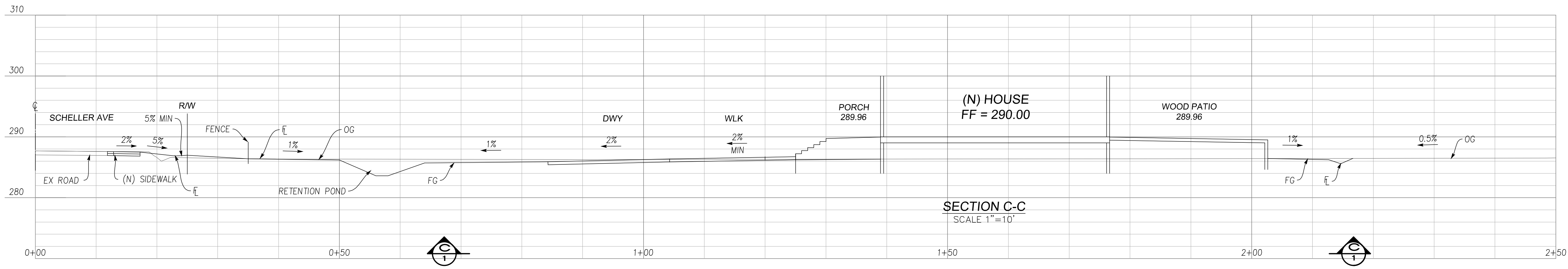
DETAIL D - RETENTION SWALE
NTS



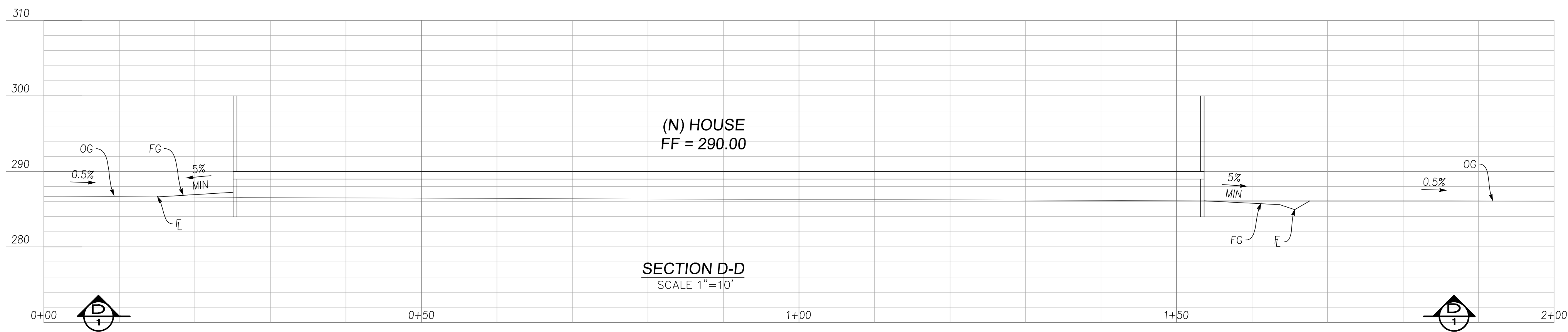
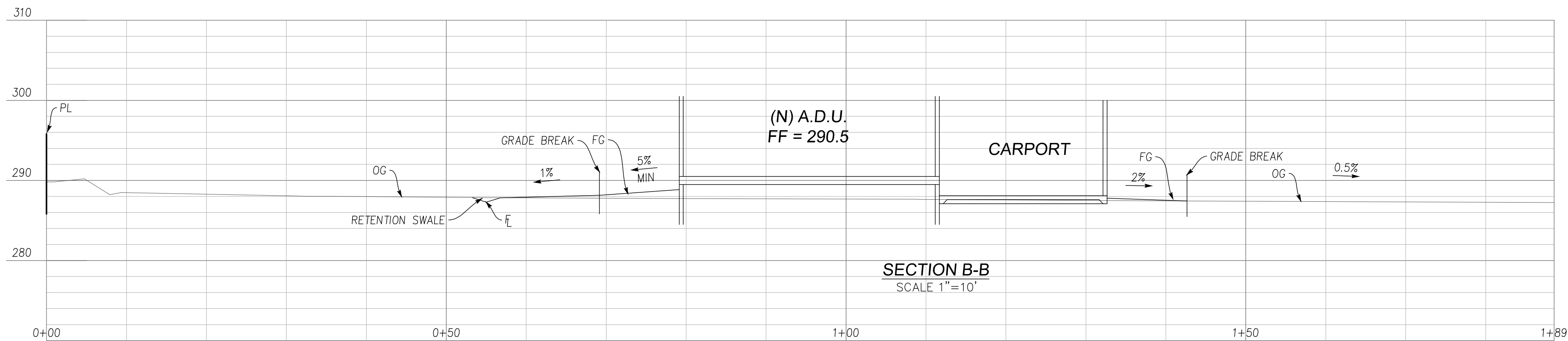
REGISTERED PROFESSIONAL ENGINEER No. 47518 CIVIL STATE OF CALIFORNIA		REVISIONS
BY	DATE	
MR. & MRS. HELWEH 320 Marzanita Ct, Milpitas, Ca 95035 Email: Helweh1@gmail.com Tel: (408) 802-9774		
ENGINEERING 598 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187		
MAIN HOUSE GRADING PLAN SCHELLER AVE APN 712-28-059		
SHEET C3		
FILE #		
MORGAN HILL Project No:		CALIFORNIA Designed: PT Checked: NL Date: 07/12/22



FOUNDATION DETAIL
AT GARAGE
NTS



DRIVEWAY SECTION
NTS



ESTIMATE EARTHWORK QUANTITY							
No.	STATION		AREA (SQUARE FEET)		DISTANCE	VOLUME (CUBIC YARD)	
			CUT	FILL	(FEET)	CUT	FILL
1	A-A	FRONT	0.00	0.00	26.00	0.00	0.00
		REAR	0.38	0.00	38.08	0.54	0.00
2	B-B	LEFT	0.00	4.94	76.28	0.00	13.95
		RIGHT	0.00	1.47	46.33	0.00	2.52
3	C-C	FRONT	7.08	3.22	102.09	26.77	12.18
		REAR	1.01	0.00	112.00	4.19	0.00
4	D-D	LEFT	0.00	3.40	75.80	0.00	9.55
		RIGHT	2.59	0.00	70.00	6.71	0.00
5	SWALE	ADU	1.53	0.00	215.00	12.18	0.00
		MAIN	1.37	0.00	220.00	11.18	0.00
6	POND	MAIN	20.18	0.00	40.00	29.90	0.00
			TOTAL			91.00	38.00
			IMPORT			0	CUBIC YARD
			EXPORT			53	CUBIC YARD

REGISTERED PROFESSIONAL ENGINEER
M.
No. 47518
CIVIL
STATE OF CALIFORNIA

MR. & MRS. HELWEH
320 Marzanita Ct, Milpitas, Ca 95035
E-mail: Helweha@gmail.com
Tel: (408) 802-9774

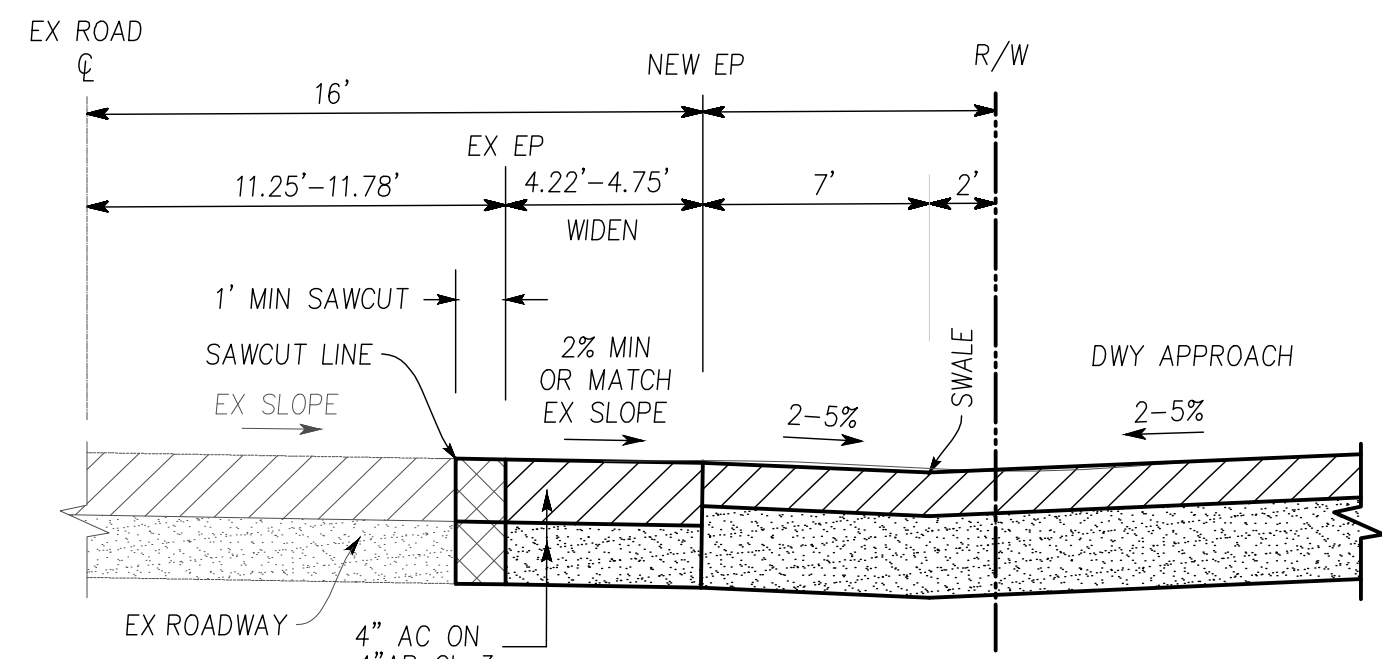
ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187

BUILDING CROSS SECTIONS
SCHELLER AVE
APN 712-28-059

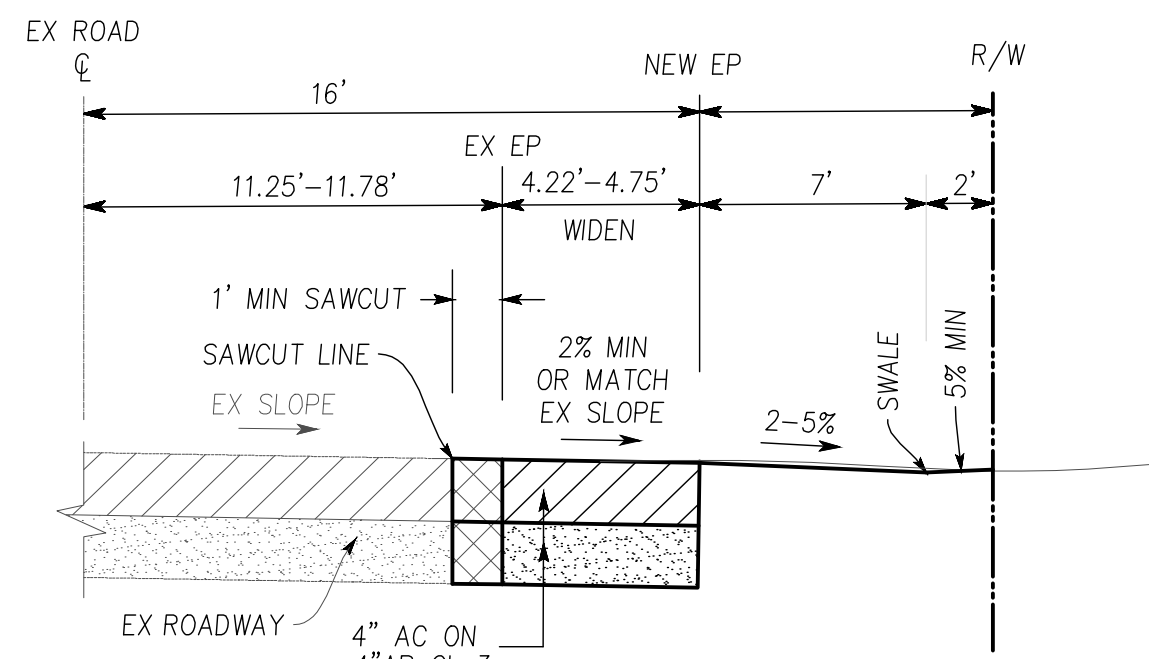
SHEET
C4

FILE #
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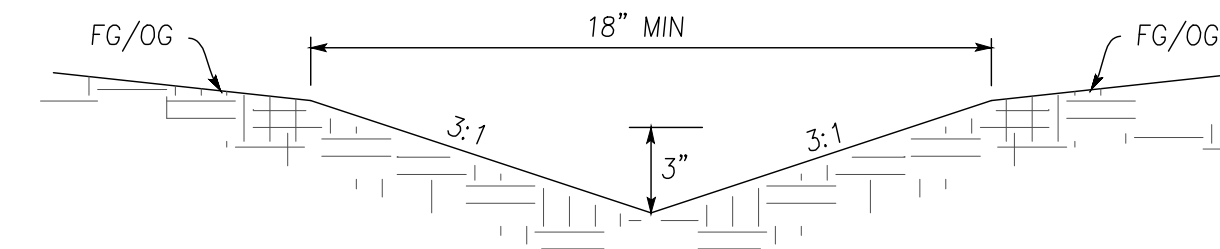
Project No.:
MORGAN HILL
Designed: PT
Checked: NL
Date: 07/12/22
CALIFORNIA
BY
DATE
REVISIONS



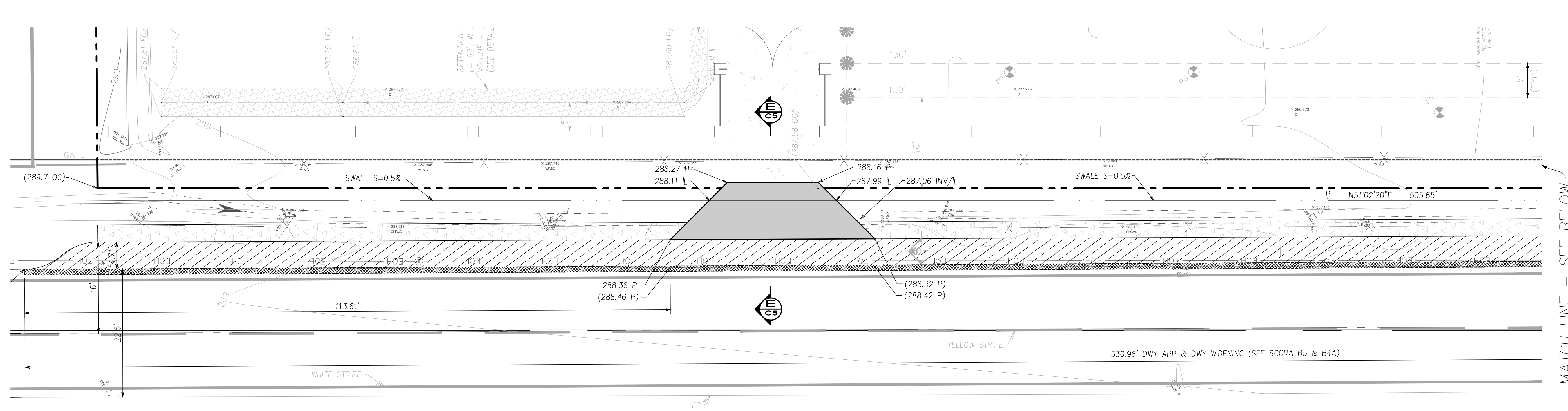
SECTION E-E
NTS



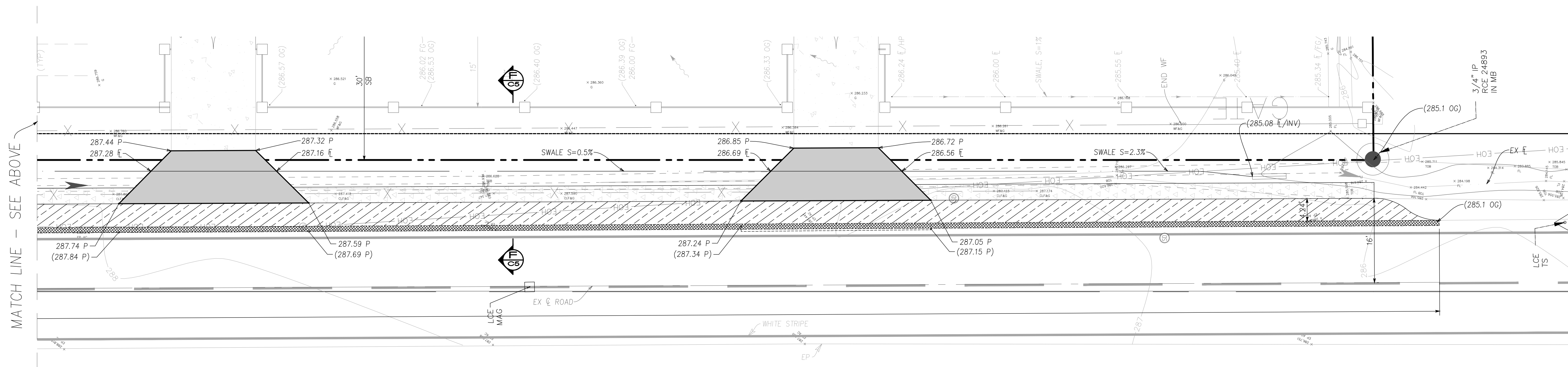
SECTION F-F
NTS



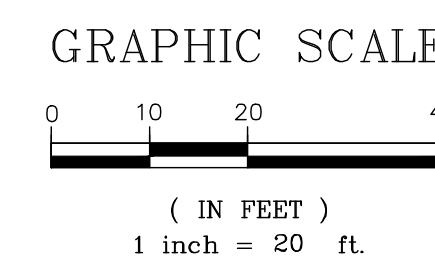
SWALE TYPICAL SECTION
NTS



THIRD STREET (FORMERLY SCHELLER AVENUE)
(A COUNTY MAINTAINED ROAD)



THIRD STREET (FORMERLY SCHELLER AVENUE)
(A COUNTY MAINTAINED ROAD)



REGISTERED PROFESSIONAL ENGINEER No. 47518 CIVIL STATE OF CALIFORNIA		REVISIONS
DATE	BY	
MR. & MRS. HELWEH 320 Marzanita Ct, Milpitas, Ca 95035 E-mail: HelwehL@gmail.com Tel: (408) 802-9774		
ENGINEERING 598 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187		
STREET IMPROVEMENT PLAN SCHELLER AVE APN 712-28-059		
SHEET C5		
FILE #		
Project No.: MORGAN HILL Designed: PT Checked: NL Date: 07/12/22		

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN ARE NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR. UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
3. CONSTRUCTION ENTRANCES SHALL BE INSTALL PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING onto the PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS OR THREE-STEP APPLICATIONS OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3)

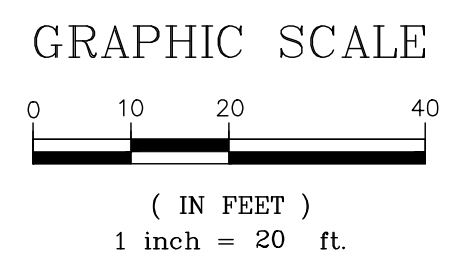
6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL MEASURES ARE BE BACKFILL TO PREVENT ENTRY OF SEDIMENT.
7. LOTS WITH HOUSE UNDER CONSTRUCTION WILL NOT BE HYDROSEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON SHEET COVER.
8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY BE USED FOR ALL THE SITUATIONS THAT FOLLOW. ANY ADJUSTMENTS TO THE CONSTRUCTION OF UNIMPAVED FIELD CONDITION, VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

LEGEND

	DISTURBED AREA
	CONCRETE WASHOUT
	PORTABLE TOILET
	CONSTRUCTION STORAGE AREA
	FIBER ROLLS
	TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

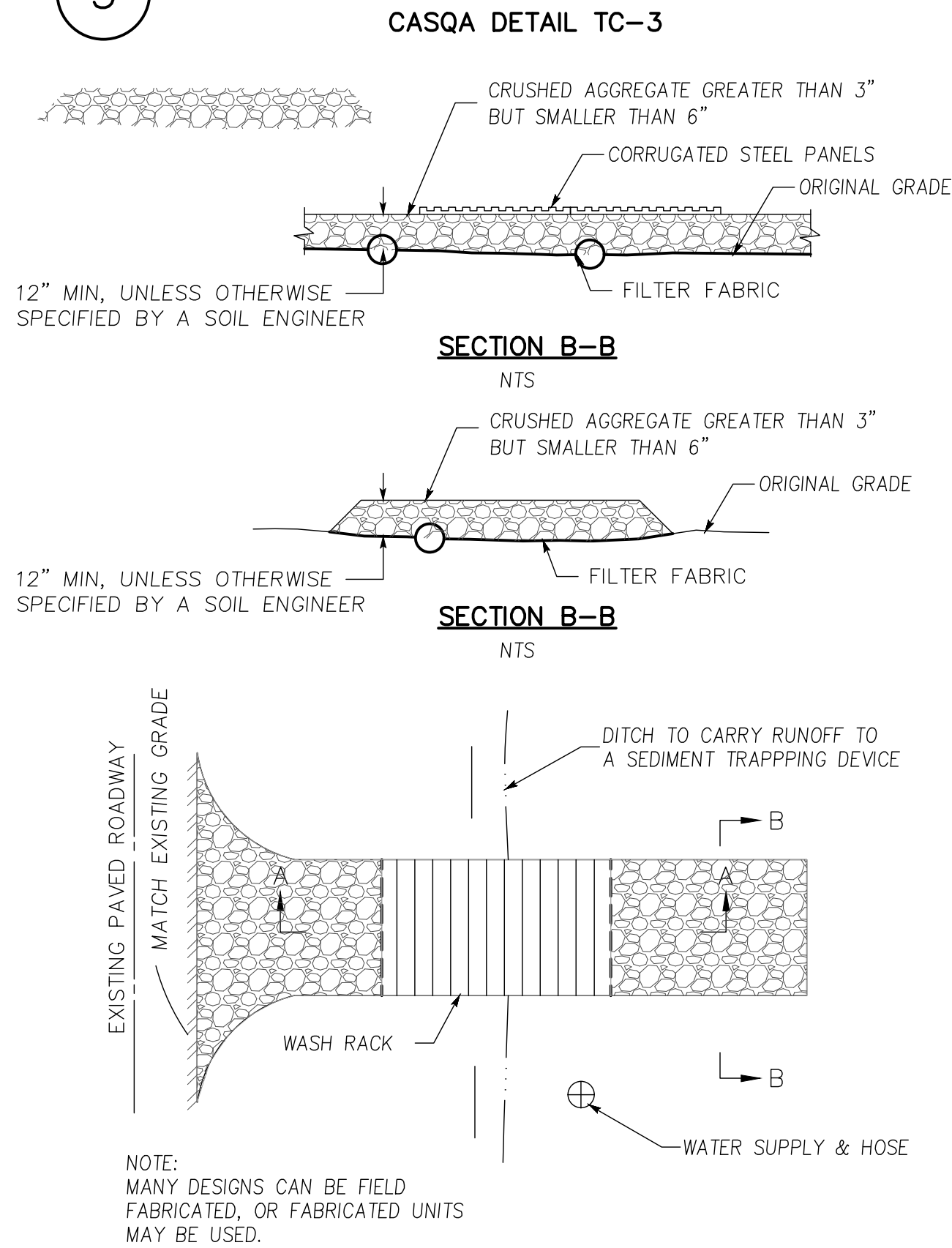
1. OWNER: MR. & MRS HELWEH
ADDRESS: 320 MANZANITA CT, MILPITAS, CA 95035
PHONE NUMBER:
IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
2. CIVIL ENGINEER: LC ENGINEERING
598 E SANTA CLARA STREET, SAN JOSE
(408) 806-7187
3. CONTRACTOR:
ADDRESS:
24-HOUR PHONE NUMBER:
CONSTRUCTION SUPERINTENDENT:
ADDRESS:
24-HOUR PHONE NUMBER:
4. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
5. DEVELOPER WILL SUBMIT TO THE CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE TOWN WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
6. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.
2. SAND BAD INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.

[illegible]

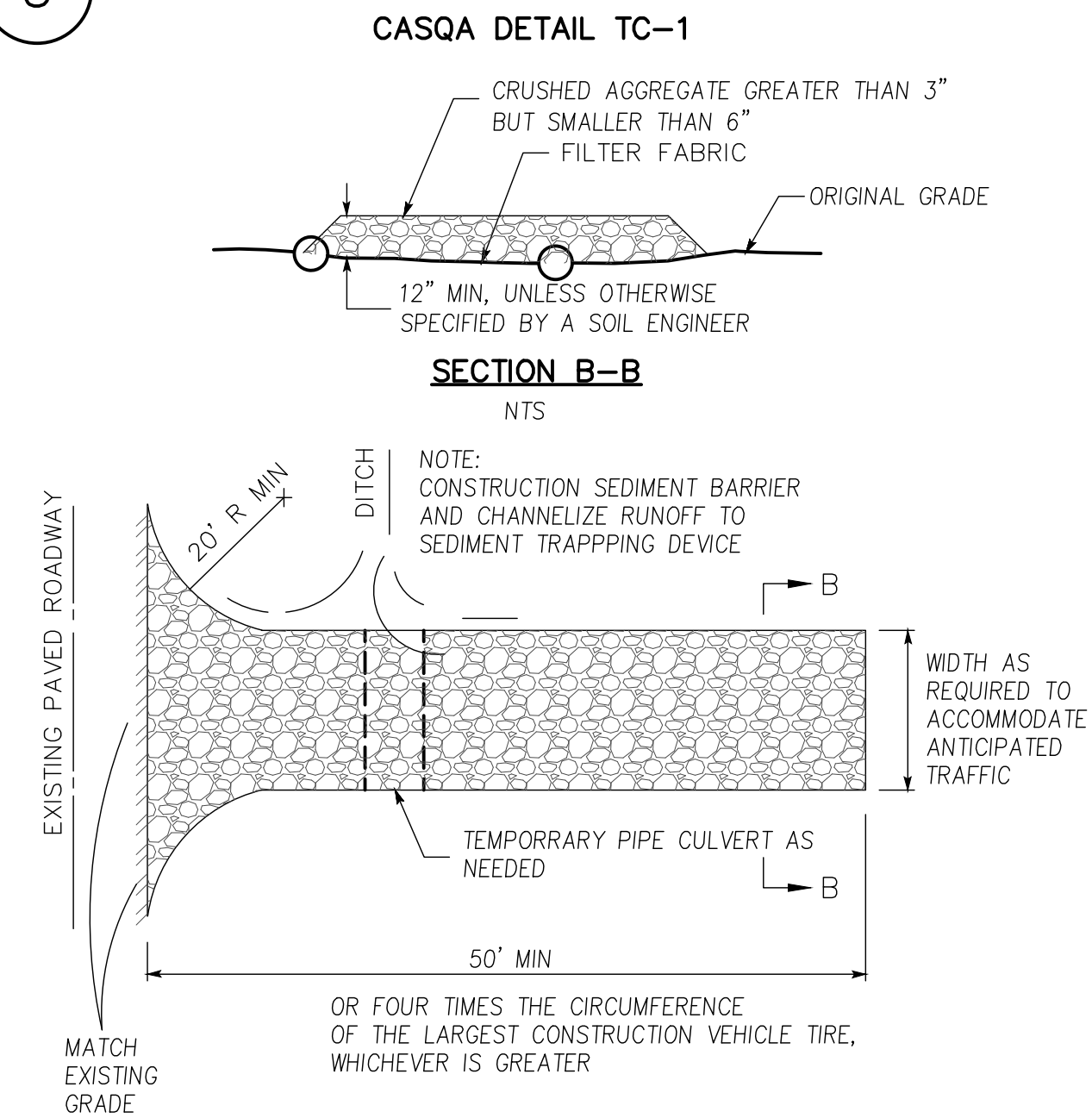
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ENTRANCE/OUTLET TIRE WASH



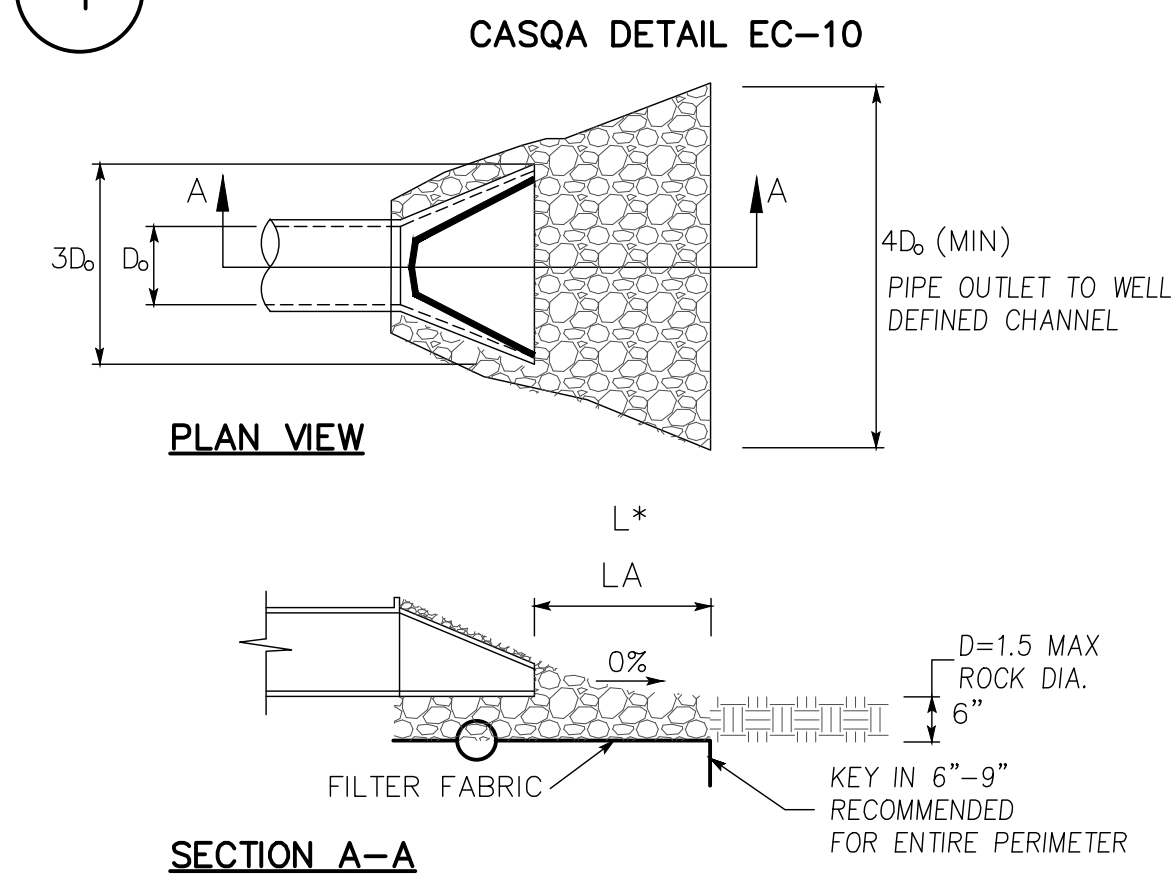
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STABILIZED CONSTRUCTION ENTRANCE/EXIT



4

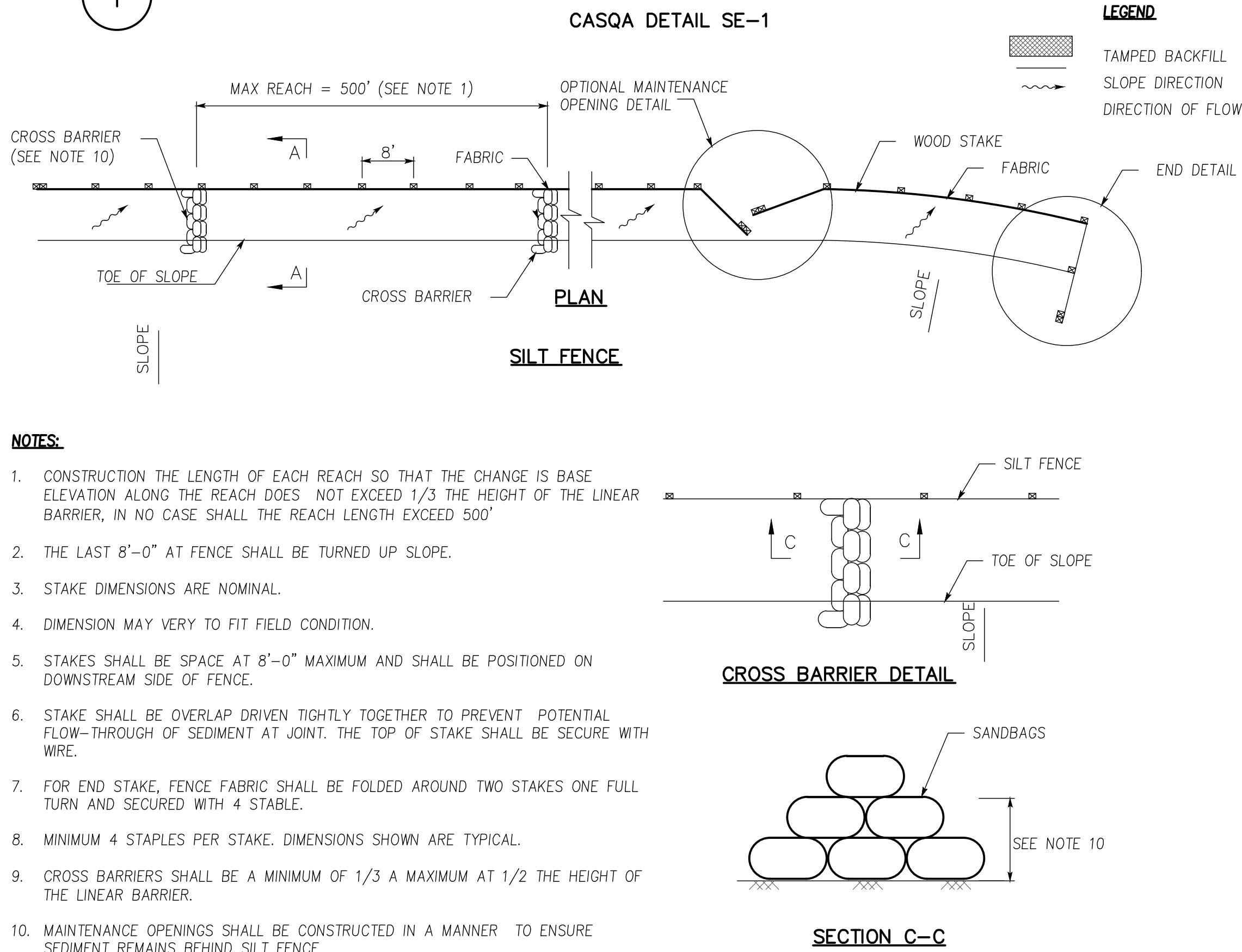
VELOCITY DISSIPATION DEVICES



* LENGTH PER ABAG DESIGN STANDARDS

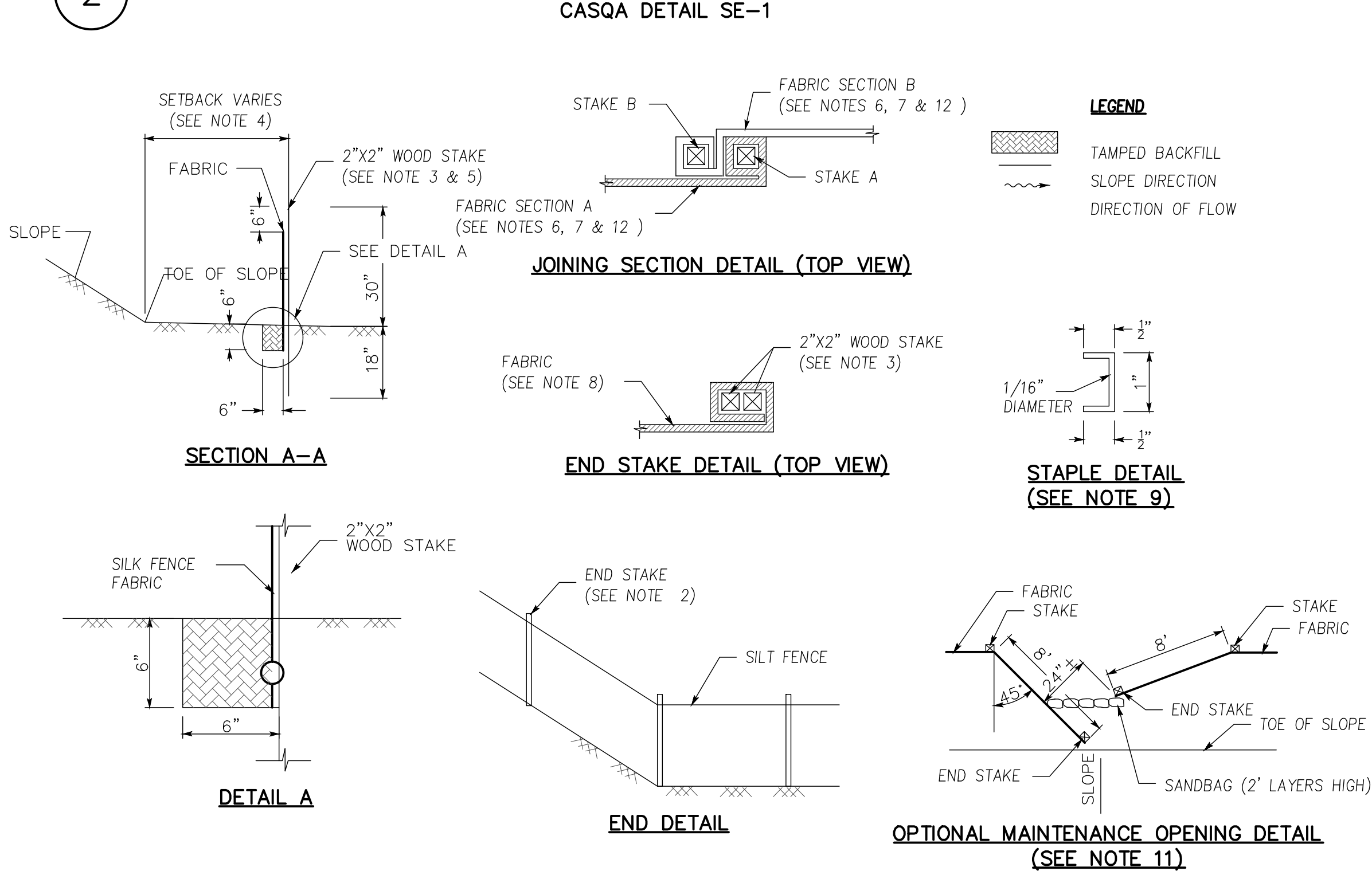
1

SILT FENCE



2

SILT FENCE



STANDARD BEST MANAGEMENT PRACTICE NOTES

- SOLID AND DEMOLITION WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS ON SITE AWAY FROM STREETS, CUTTERS, STORM DRAINS, AND WATERWAYS, AND ARRANGE FOR REGULAR DISPOSAL. WASTE CONTAINERS MUST BE WATERTIGHT AND COVERED AT ALL TIMES EXCEPT WHEN WASTE IS DEPOSITED. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C3) OR LATEST. HAZARDOUS WASTE MANAGEMENT: PROVIDE PROPER HANDLING AND
- DISPOSAL OF HAZARDOUS WASTES BY A LICENSED HAZARDOUS WASTE MATERIAL HAULER. HAZARDOUS WASTES SHALL BE STORED AND PROPERLY LABELED IN SEALED CONTAINERS CONSTRUCTED OF SUITABLE MATERIALS. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-5 TO C-6) OR LATEST.
- SPILL PREVENTION AND CONTROL: PROVIDE PROPER STORAGE AREAS FOR LIQUID AND SOLID MATERIALS, INCLUDING CHEMICALS AND HAZARDOUS SUBSTANCES, AWAY FROM STREETS, CUTTERS, STORM DRAINS, AND WATERWAYS. SPILL CONTROL MATERIALS MUST BE KEPT ON SITE WHERE READILY ACCESSIBLE. SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINATED SOIL DISPOSED PROPERLY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-7 TO C-8, C-13 TO C-14) OR LATEST. VEHICLE AND CONSTRUCTION EQUIPMENT SERVICE AND STORAGE:
- AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ON-SITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTE OILS, LUBRICANTS, OR OTHER POTENTIAL POLLUTANTS AND THESE WASTES SHALL BE PROPERLY DISPOSED OF OFF SITE. FUELING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C9) OR LATEST.
- MATERIAL DELIVERY, HANDLING AND STORAGE: IN GENERAL, MATERIALS SHOULD NOT BE STOCKPILED ON SITE. WHERE TEMPORARY STOCKPILES ARE NECESSARY AND APPROVED BY THE COUNTY, THEY SHALL BE COVERED WITH SECURED PLASTIC SHEETING OR TARP AND LOCATED IN DESIGNATED AREAS NEAR CONSTRUCTION ENTRANCES AND AWAY FROM DRAINAGE PATHS AND WATERWAYS. BARRIERS SHALL BE PROVIDED AROUND STORAGE AREAS WHERE MATERIALS ARE POTENTIALLY IN CONTACT WITH RUNOFF. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-11 TO C-12) OR LATEST.
- HANDLING AND DISPOSAL OF CONCRETE AND CEMENT: WHEN CONCRETE TRUCKS AND EQUIPMENT ARE WASHED ON-SITE, CONCRETE WASTEWATER SHALL BE CONTAINED IN DESIGNATED CONTAINERS OR IN A TEMPORARY LINED AND WATERTIGHT PIT WHERE WASTED CONCRETE CAN HARDEN FOR LATER REMOVAL. IF POSSIBLE HAVE CONCRETE CONTRACTOR REMOVE CONCRETE WASH WATER FROM SITE. IN NO CASE SHALL FRESH CONCRETE BE WASHED INTO THE ROAD RIGHT-OF-WAY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-15 TO C-16) OR LATEST.
- PAVEMENT CONSTRUCTION MANAGEMENT: PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS, USING MEASURES TO PREVENT RUN-ON AND RUNOFF POLLUTION AND PROPERLY DISPOSING OF WASTES. AVOID PAVING IN THE WET SEASON AND RESCHEDULE PAVING WHEN RAIN IS IN THE FORECAST. RESIDUE FROM SAW-CUTTING SHALL BE VACUUMED FOR PROPER DISPOSAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-17 TO C-18) OR LATEST.
- CONTAMINATED SOIL AND WATER MANAGEMENT: INSPECTIONS TO IDENTIFY CONTAMINATED SOILS SHOULD OCCUR PRIOR TO CONSTRUCTION AND AT REGULAR INTERVALS DURING CONSTRUCTION. REMEDIATING CONTAMINATED SOIL SHOULD OCCUR PROMPTLY AFTER IDENTIFICATION AND BE SPECIFIC TO THE CONTAMINANT IDENTIFIED, WHICH MAY INCLUDE HAZARDOUS WASTE REMOVAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-19 TO C-20) OR LATEST.
- SANITARY/SEPTIC WATER MANAGEMENT: TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE PATHS, WATERWAYS, AND TRAFFIC AREAS. ONLY LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED. SECONDARY CONTAINMENT SHOULD BE PROVIDED FOR ALL SANITARY FACILITIES. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C-21) OR LATEST.
- INSPECTION & MAINTENANCE: AREAS OF MATERIAL AND EQUIPMENT STORAGE SITES AND TEMPORARY SANITARY FACILITIES MUST BE INSPECTED WEEKLY. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.

STANDARD EROSION CONTROL NOTES

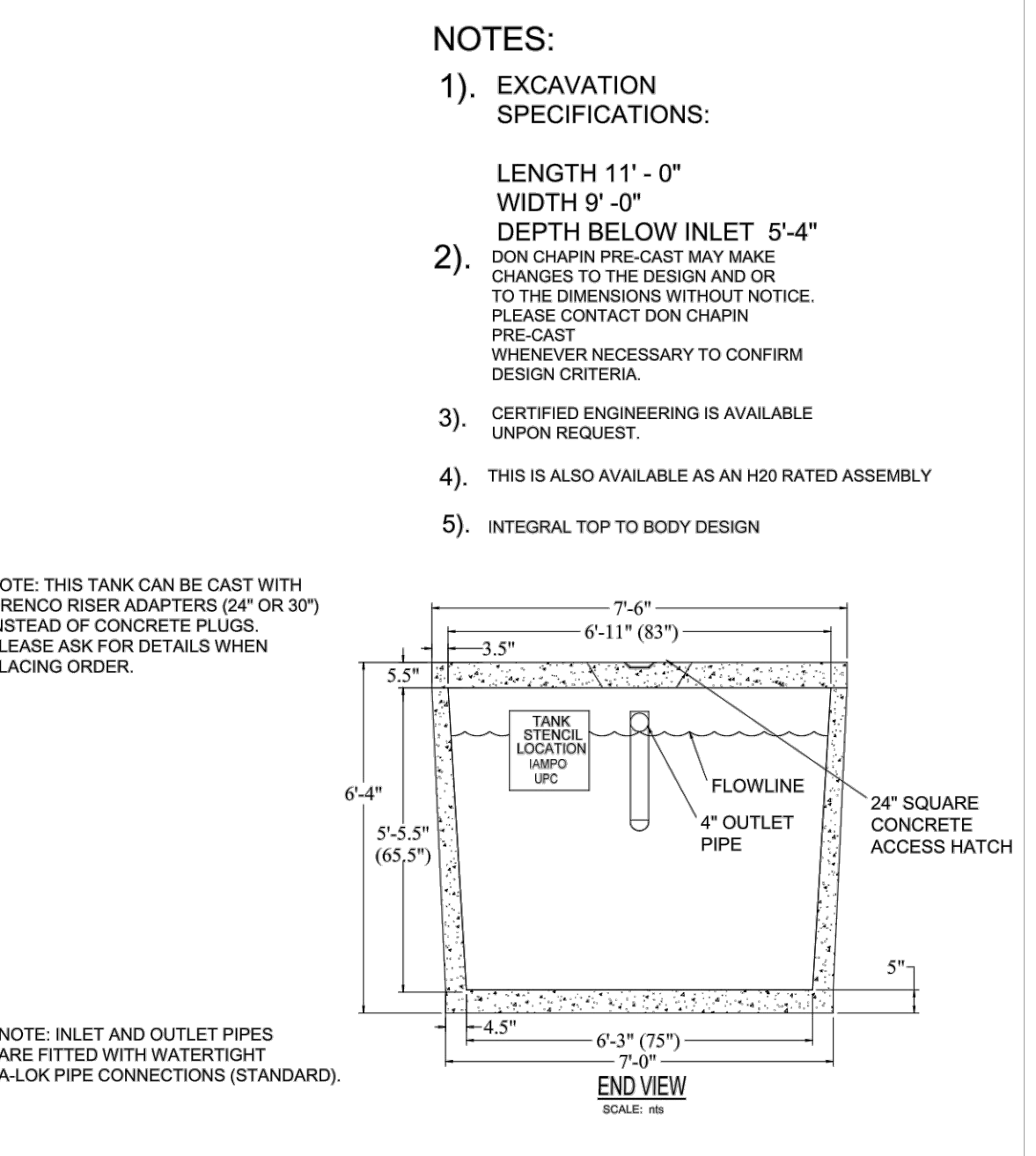
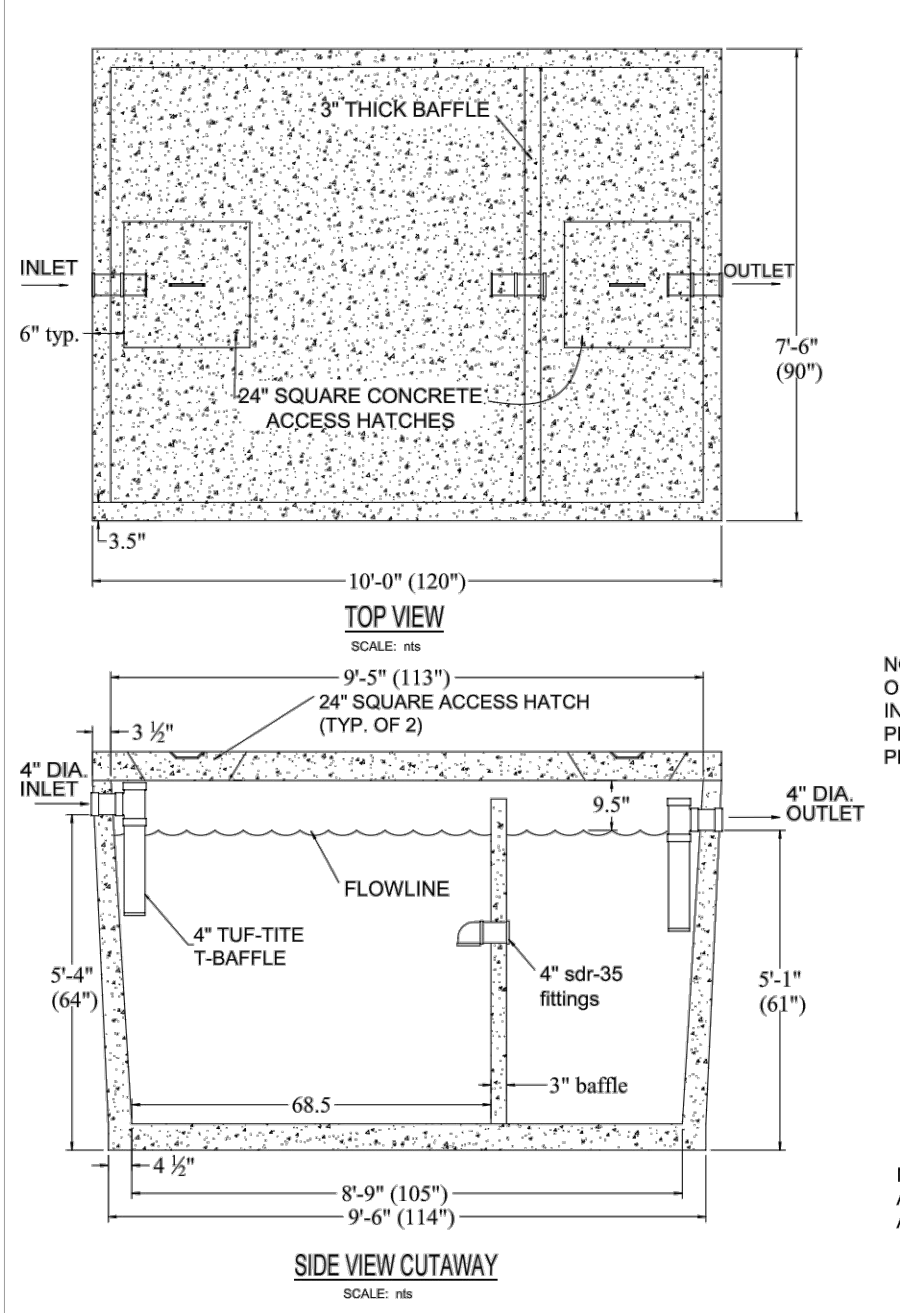
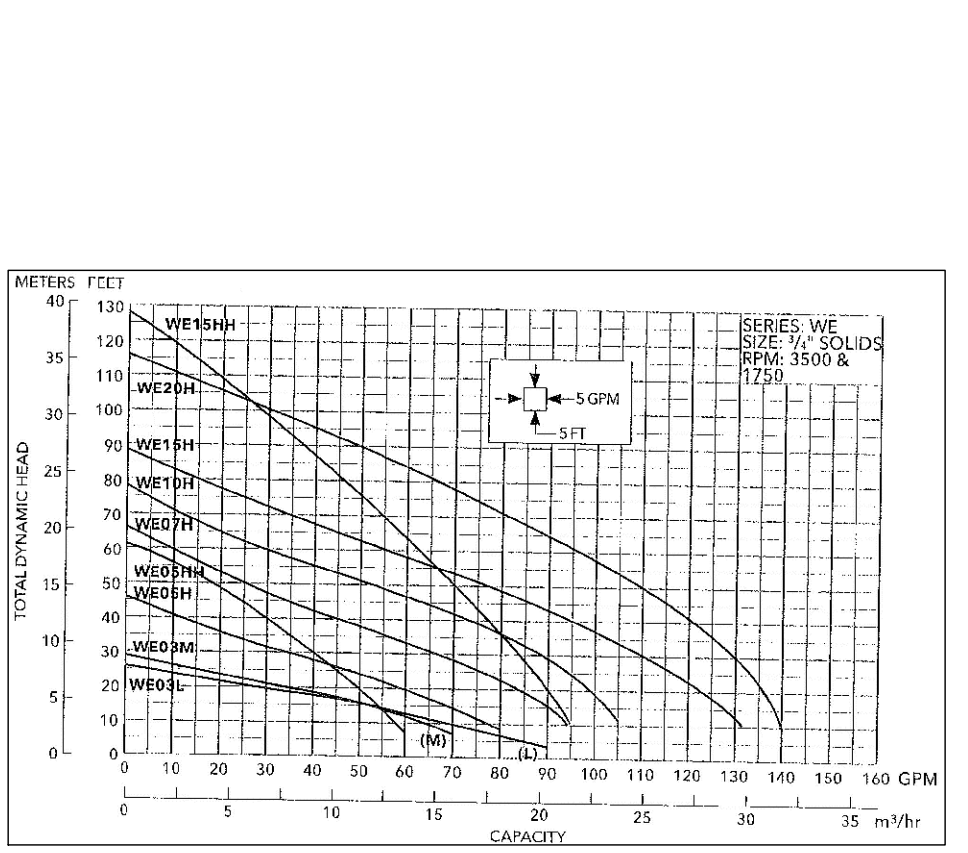
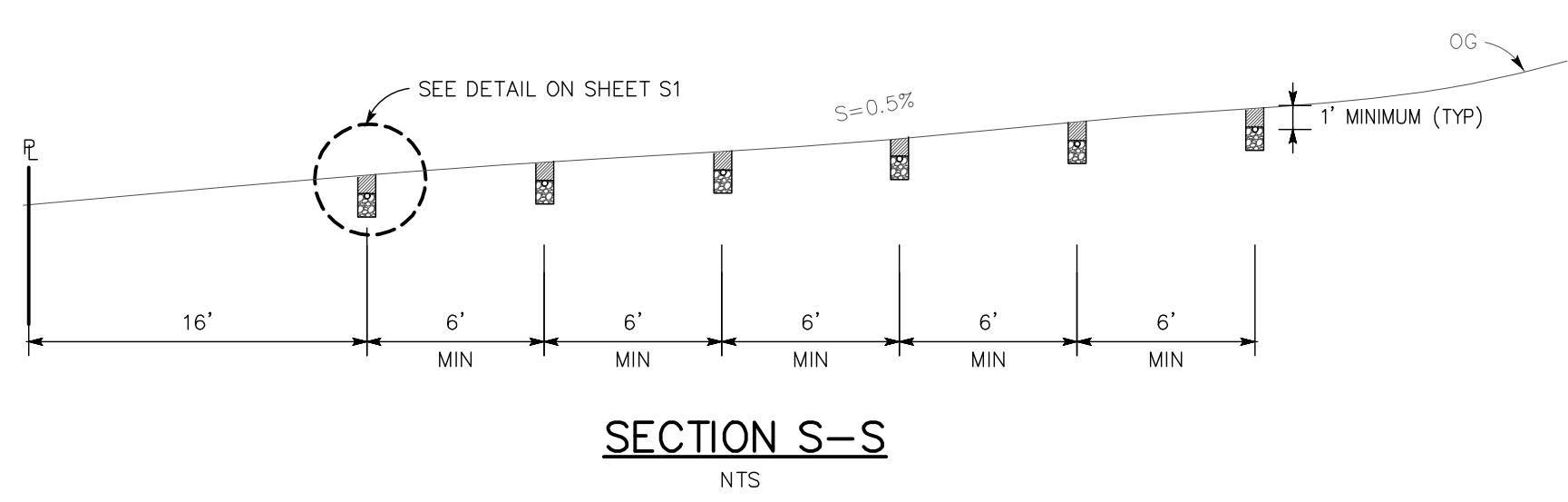
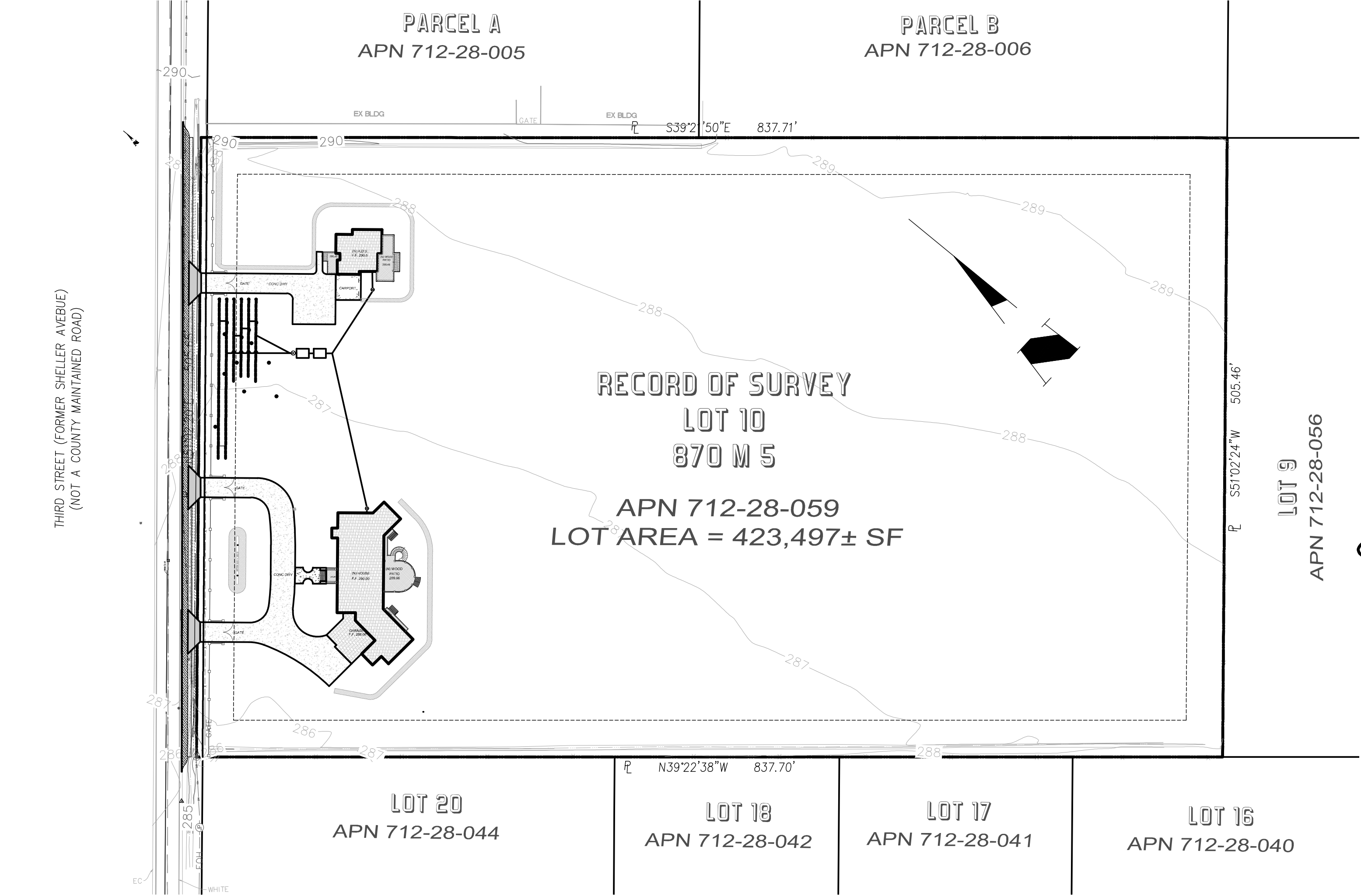
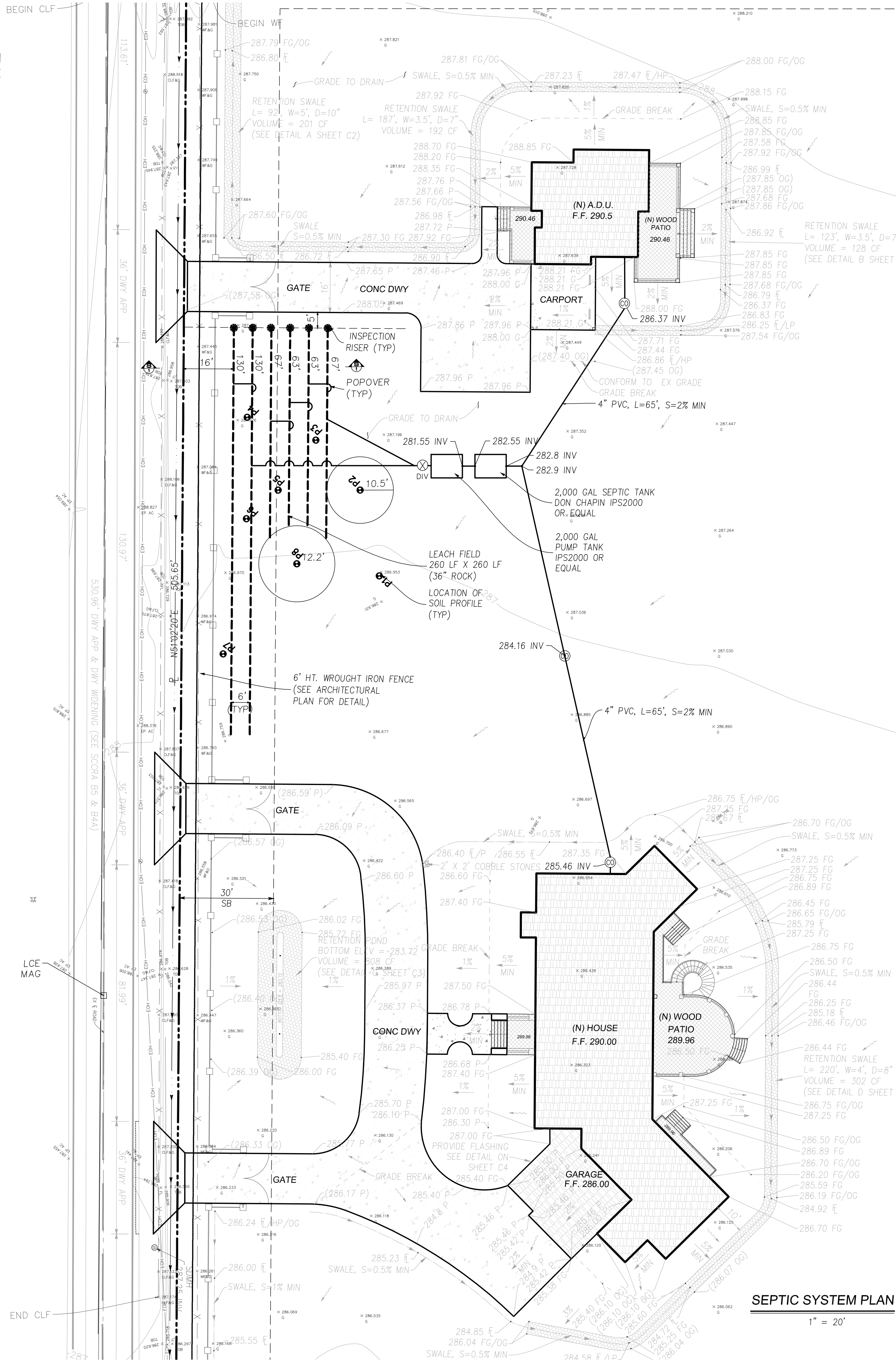
- SEDIMENT CONTROL MANAGEMENT: TRACKING PREVENTION & CLEAN UP: ACTIVITIES SHALL BE ORGANIZED AND MEASURES TAKEN AS NEEDED TO PREVENT OR MINIMIZE TRACKING OF SOIL ONTO THE PUBLIC STREET SYSTEM. A GRAVEL OR PROPRIETARY DEVICE CONSTRUCTION ENTRANCE/EXIT IS REQUIRED FOR ALL SITES. CLEAN UP OF TRACKED MATERIAL SHALL BE PROVIDED BY MEANS OF A STREET SWEEPER PRIOR TO AN APPROACHING RAIN EVENT, OR AT LEAST ONCE AT THE END OF EACH WORKDAY THAT MATERIAL IS TRACKED, OR, MORE FREQUENTLY AS DETERMINED BY THE COUNTY INSPECTOR. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-31 TO B-33) OR LATEST.
- STORM DRAIN INLET AND CATCH BASIN INLET PROTECTION: ALL INLETS WITHIN THE VICINITY OF THE PROJECT AND WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH GRAVEL BAGS PLACED AROUND INLETS OR OTHER INLET PROTECTION. AT LOCATIONS WHERE EXPOSED SOILS ARE PRESENT, STAKED FIBER ROLLS OR STAKED SILT FENCES CAN BE USED. INLET FILTERS ARE NOT ALLOWED DUE TO CLOSING AND SUBSEQUENT FLOODING. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-49 TO B-51) OR LATEST. STORM WATER RUNOFF: NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN IN TO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURES ARE FULLY INSTALLED. DUST CONTROL: THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED BY PROVIDING WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN UP OF SEDIMENTS DEPOSITED ON PAVED ROADS, FURNISHING CONSTRUCTION ROAD ENTRANCES AND VEHICLE WASH DOWN AREAS, AND LIMITING THE AMOUNT OF AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES. STOCKPILING: EXCAVATED SOILS SHALL NOT BE PLACED IN STREETS OR ON PAVED AREAS. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (TARPS, STRAW BALES, SILT FENCES, ECT.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM OR NEIGHBORING WATERCOURSE.
- EROSION CONTROL: DURING THE RAINY SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAINY SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.
- INSPECTION & MAINTENANCE: DISTURBED AREAS OF THE PROJECT'S SITE, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THE EROSION CONTROL PLANS MUST BE INSPECTED BY THE CONTRACTOR BEFORE, DURING, AND AFTER STORM EVENTS, AND AT LEAST WEEKLY DURING SEASONAL WET PERIODS. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/ OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.
- PROJECT COMPLETION: PRIOR TO PROJECT COMPLETION AND SIGNOFF BY THE COUNTY INSPECTOR, ALL DISTURBED AREAS SHALL BE RESEED, PLANTED, OR LANDSCAPED TO MINIMIZE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.
- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE EROSION CONTROL PLAN.
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR ROUND OR UNTIL VEGETATION IS FULLY ESTABLISHED ON LANDSCAPED SURFACES.
- GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF SANTA CLARA COUNTY BUILDING OFFICIAL.
- EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOILS FOR EACH 100 GALLONS OF WATER.

Best Management Practices and Erosion Control Details Sheet 1
County of Santa Clara

SOURCE FOR GRAPHICS: CALIFORNIA STORMWATER BMP HANDBOOK, CALIFORNIA STORMWATER QUALITY ASSOCIATION, JANUARY 2003.
AVAILABLE FROM: WWW.CABMPHANDBOOKS.COM

EROSION CONTROL DETAILS		SHEET		FILE #	
SCHELLER AVE		C7			
APN 712-28-059					
MORGAN HILL		Project No:		Designed: PT Checked: NL	
CALIFORNIA		Date: 07/12/22			
MR. & MRS. HELWEH		No. 47518		BY DATE	
320 Marzanita Ct, Milpitas, Ca 95035		No. 47518		BY DATE	
E-mail: Helweha@gmail.com		No. 47518		BY DATE	
Tel: (408) 802-9774		No. 47518		BY DATE	
ENGINEERING		No. 47518		BY DATE	
598 E Santa Clara St. #270		No. 47518		BY DATE	
San Jose, CA 95112		No. 47518		BY DATE	
Phone: (408) 806-7187		No. 47518		BY DATE	

THIRD STREET (FORMERLY SCHELLER AVENUE)
(A COUNTY MAINTAINED ROAD)



DON CHAPIN PRE-CAST
2735 BOLSA RD
HOLLISTER, CA 95023
(831) 630-1042
(831) 630-5763

PRE-CAST SEPTIC TANK
CAPACITY 2000 GALLONS
MODEL IPS2000

3/13/09

REVISIONS		DATE	BY

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San Jose, CA 95128
Phone: (408) 806-7887
Fax: (408) 583-4006

SEPTIC SYSTEM PLAN
SCHELLER AVE
APN 712-28-059

SHEET
S2
2 OF 2 SHEETS
PW PROJECT #

MORGAN HILL
Designed: HV
Checked: NC
Project No: 07/12/22
Date: 07/12/22