

# ONE-STORY HOUSE & ACCESSORY DWELLING UNIT

Scheller Ave. Morgan Hill, CA 95031

**MEMARIE ASSOCIATES**  
 7280 Blue Hill Dr., Suite 5  
 San Jose, CA 95129  
 Tel: (408) 559-8037  
 www.memarie.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**Mr. & Mrs. Helweh**  
 320 Manzanita Ct.  
 Milpitas, CA 95035

Project:  
**One Story House & A.D.U.**  
 Scheller Ave.  
 Morgan Hill, CA 95037



A.D.U.

MAIN HOUSE

PLANNING DEPARTMENT       PRELIMINARY       DESIGN REVIEW SUBMITTAL       BUILDING DEPARTMENT       PLAN CHECK SUBMITTAL (NOT FOR CONSTRUCTION)       APPROVED FOR CONSTRUCTION

Client Revisions		
No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	Design	08/17/21
5	Design	09/14/21
6	Design	10/19/21
7	Design	06/27/22
8	Design	08/30/22
9	Design	11/21/22
10	Design	03/08/23
11		
12		

City Revisions		
No.	Description	Date
1	Planning Comments	06/27/22
2	County Comments	08/30/22
3		
4		
5		
6		
7		
8		

## SHEET INDEX

- A-0 COVER SHEET
- A-1 SITE PLAN
- A-2 AREA CALCULATION
- A-3 MAIN HOUSE FLOOR PLAN
- A-4 MAIN HOUSE EXTERIOR ELEVATIONS
- A-5 MAIN HOUSE EXTERIOR ELEVATIONS
- A-6 MAIN HOUSE ROOF PLAN
- A-7 MAIN HOUSE BUILDING SECTIONS
- A-8 A.D.U. FLOOR PLAN & ROOF PLAN
- A-9 A.D.U. EXTERIOR ELEVATIONS
- A-10 A.D.U. BUILDING SECTIONS

- 1 OF 1 BOUNDARY MAP & TOPOGRAPHIC SURVEY
- C1 SITE PLAN
- C2 A.D.U. GRADING PLAN
- C3 MAIN HOUSE GRADING PLAN
- C4 BUILDING CROSS SECTIONS
- C5 A.D.U. UTILITY PLAN
- C6 MAIN HOUSE UTILITY PLAN
- C7 STREET IMPROVEMENT PLAN
- C8 EROSION CONTROL PLAN
- C9 EROSION CONTROL DETAILS
- S1 SEPTIC SYSTEM PLAN
- S2 SEPTIC SYSTEM PLAN

## CONSULTANTS

- 1- OWNER: **Mr. & Mrs. Helweh**  
320 MANZANITA CT.  
MILPITAS, CA 95035  
TEL: (408) 802-9714  
E-MAIL: danhelweh@gmail.com
- 2- CIVIL: **LC ENGINEERING**  
598 E. SANTA CLARA ST. STE. 210  
SAN JOSE, CA 95128  
TEL: (408) 806-7181  
E-MAIL: nie@lcarengineering.net
- 3- DESIGN: **MEMARIE ASSOCIATES**  
7280 BLUE HILL DR.  
SUITE #5  
SAN JOSE, CA 95129  
TEL: (408) 559-8037  
E-MAIL: reza@memarie.com
- 4- SOIL: **SILICON VALLEY SOIL ENGINEERING**  
SEAN DEVERT  
1916 OTTOLE WAY  
SAN JOSE, CA 95131  
TEL: (408) 324-1400  
E-MAIL: sdevert@siliconvalleysoil.com
- 5- GEOLOGIST: **STEVEN F. CONNELLY, C.E.G.**  
STEVEN F. CONNELLY  
1169 AVENIDA BENITO  
SAN JOSE, CA 95131  
TEL: (408) 398-9399  
E-MAIL: steve@stevenfconnelly.com

## PROJECT DATA

APN: 712-28-059  
 ZONING: A-40Ac-cv  
 LOT SIZE: 423,491 SQ. FT. / 10 AC.  
 TYPE OF OCCUPANCY: A/R  
 TYPE OF CONSTRUCTION: V-B  
 MAXIMUM HEIGHT: 35'  
 MAXIMUM LOT COVERAGE: 7,500 SQ. FT.  
 PROJECT ADDRESS: SCHELLER AVE.  
MORGAN HILL, CA 95031

FIRE SPRINKLERS: YES, DEFERRED SUBMITTAL

**SCOPE OF WORKS:**  
 - BUILD 4,519 SQ. FT. ONE STORY HOUSE WITH 849 SQ. FT. ATTACHED GARAGE, 182 SQ. FT. FRONT COVERED PORCH, 4,603 SQ. FT. REAR COVERED PATIO.  
 - BUILD 1,186 SQ. FT. SECONDARY DWELLING UNIT WITH 438 SQ. FT. CARPORT, 151 SQ. FT. FRONT COVERED PORCH, 4,466 SQ. FT. REAR COVERED PATIO.

**PROPOSED MAIN HOUSE:**

LIVING AREA:	DESIGNED 4,519 SQ. FT.
GARAGE:	849 SQ. FT.
FRONT COVERED PORCH:	182 SQ. FT.
REAR COVERED PATIO:	6,003 SQ. FT.
REAR LEFT DECK:	115 SQ. FT.
REAR RIGHT DECK:	78 SQ. FT.
STAIRS:	75 SQ. FT.

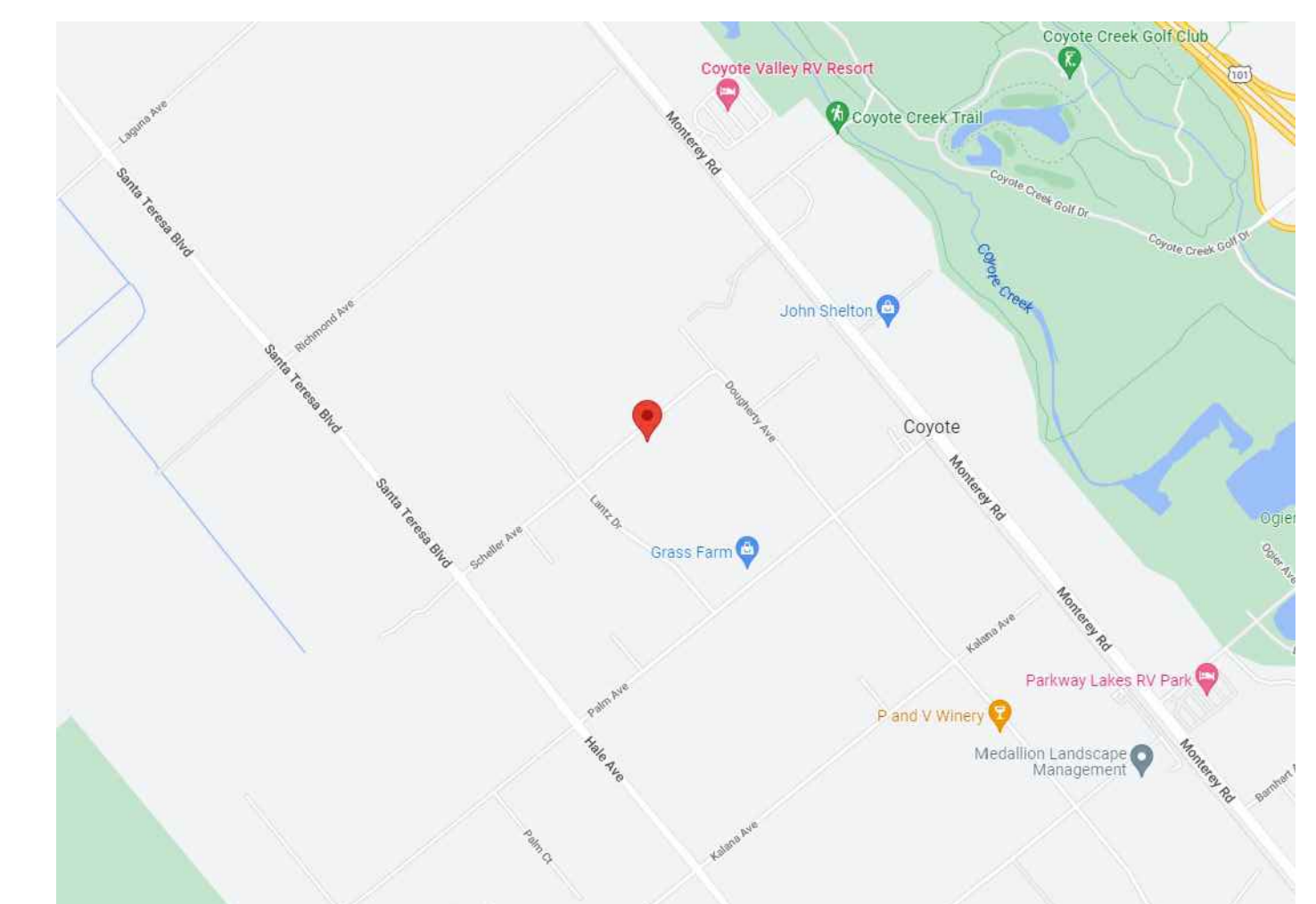
**PROPOSED A.D.U.:**

LIVING AREA:	DESIGNED 1,186 SQ. FT.
CARPORT:	393 SQ. FT.
FRONT COVERED PORCH:	128 SQ. FT.
REAR COVERED PATIO:	271 SQ. FT.

LOT COVERAGE (A.D.U. IS EXEMPT) 1,213 SQ. FT.

SETBACK	REQUIRED	MAIN HOUSE	A.D.U.
FRONT:	30'-0"	100'	10'-6"
REAR:	30'-0"	660'	684'
RIGHT:	30'-0"	75'	373'-5"
LEFT:	30'-0"	291'-6"	75'

## VICINITY MAP



Signature:

Date: 05/03/21

Scale: N.T.S.

Drawn By: IL

Checked By: RN

Sheet Title:  
**Main House  
 Cover Sheet**

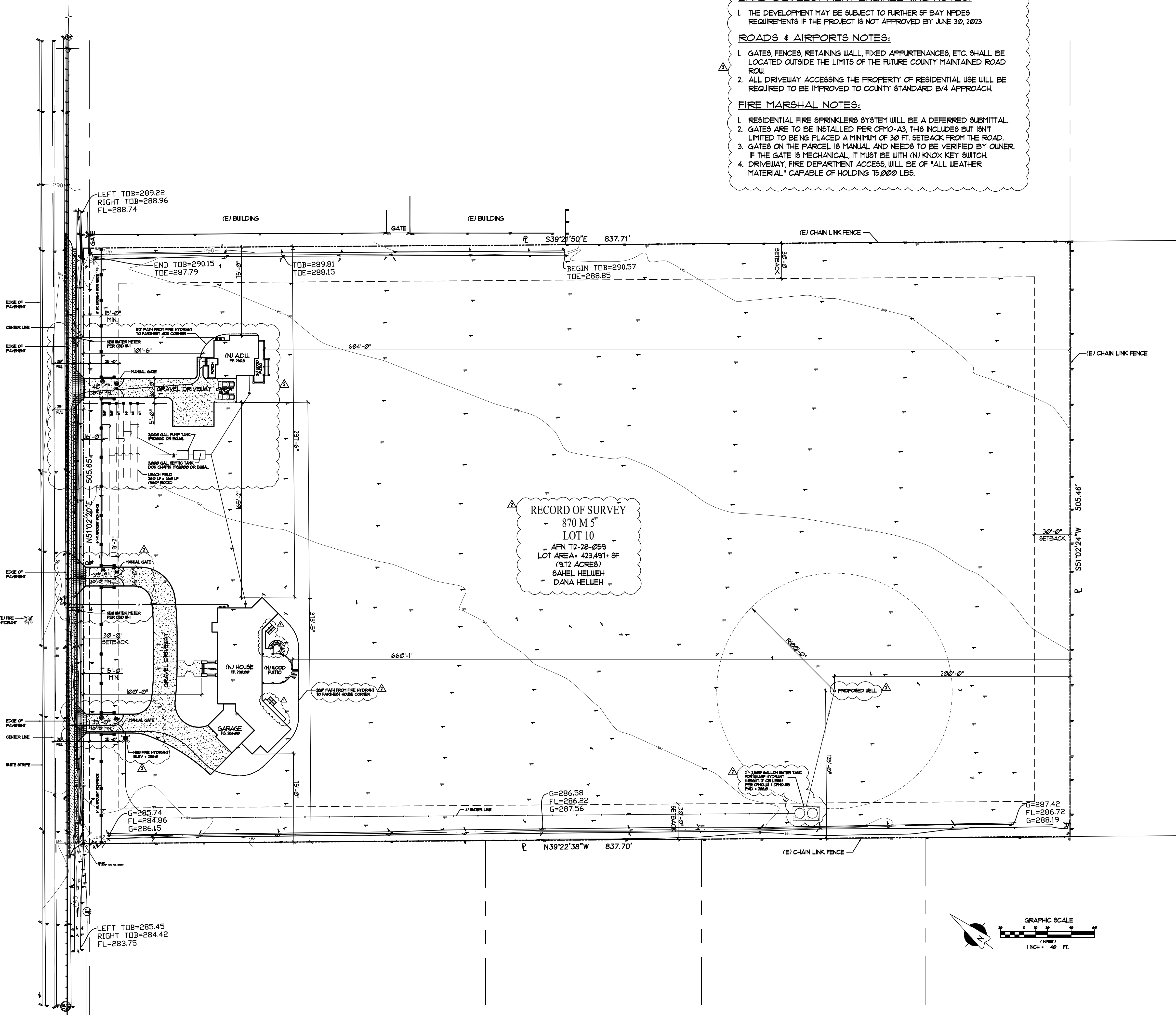
Sheet No.:

**A-0**

File: M:\Scheller Ave. Job: Scheller Ave.

THIRD STREET (FORMERLY SCHELLER AVENUE)

**NOTES**  
 1. FOR MORE INFORMATION, SEE CIVIL DRAWINGS.



**LAND DEVELOPMENT ENGINEERING NOTES:**  
 1. THE DEVELOPMENT MAY BE SUBJECT TO FURTHER OF BAY NPDES REQUIREMENTS IF THE PROJECT IS NOT APPROVED BY JUNE 30, 2023.

**ROADS & AIRPORTS NOTES:**  
 1. GATES, FENCES, RETAINING WALL, FIXED APPURTENANCES, ETC. SHALL BE LOCATED OUTSIDE THE LIMITS OF THE FUTURE COUNTY MAINTAINED ROAD ROW.  
 2. ALL DRIVEWAY ACCESSING THE PROPERTY OF RESIDENTIAL USE WILL BE REQUIRED TO BE IMPROVED TO COUNTY STANDARD B/4 APPROACH.

**FIRE MARSHAL NOTES:**  
 1. RESIDENTIAL FIRE SPRINKLERS SYSTEM WILL BE A DEFERRED SUBMITTAL.  
 2. GATES ARE TO BE INSTALLED PER CPTO-A3, THIS INCLUDES BUT IS NOT LIMITED TO BEING PLACED A MINIMUM OF 30 FT. SETBACK FROM THE ROAD.  
 3. GATES ON THE PARCEL IS MANUAL AND NEEDS TO BE VERIFIED BY OWNER. IF THE GATE IS MECHANICAL, IT MUST BE WITH (N) KNOX KEY SWITCH.  
 4. DRIVEWAY, FIRE DEPARTMENT ACCESS, WILL BE OF "ALL WEATHER MATERIAL" CAPABLE OF HOLDING 15,000 LBS.

**PRELIMINARY SITE NOTES**

1. INFORMATION SHOWN ON SITE PLAN IS BASED ON INFORMATION SUPPLIED BY OWNER.
2. PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS & NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
3. CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNER'S PROPERTY FROM CONSTRUCTION OPERATIONS. THE BOUNDARY OF THE CONTRACTOR'S WORK & STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.
4. CIVIL ENGINEER SHALL COORDINATE FINISH FLOOR ELEVATION OF BUILDING WITH THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
5. CIVIL ENGINEERING GRADING AND DRAINAGE PLANS SUPERSEDE MEMARIE'S DRAWINGS.
6. CIVIL ENGINEER NEEDS TO VERIFY THE FIRE DEPARTMENT REQUIREMENTS FOR DRIVEWAY & FIRE TRUCK TURNAROUND.

GROSS LOT AREA	10 AC.
NET LOT AREA	9.72 AC.
<b>FLOOR AREA CALCULATIONS</b>	
<b>ONE-STORY HOUSE</b>	
FLOOR AREA	4,519 SQ. FT.
GARAGE	849 SQ. FT.
<b>ACCESSORY DWELLING UNIT</b>	
FLOOR AREA	1,136 SQ. FT.
FRONT COVERED PORCH	12 SQ. FT.
TOTAL	6,516 SQ. FT.
<b>PORCHES &amp; CARPORT (covered &amp; not greater than 50% enclosed by walls)</b>	
<b>ONE-STORY</b>	
FRONT COVERED PORCH	182 SQ. FT.
REAR COVERED PATIO	603 SQ. FT.
<b>ACCESSORY DWELLING PORCH</b>	
FRONT COVERED PORCH	128 SQ. FT.
REAR COVERED PATIO	211 SQ. FT.
ADJ. CARPORT	393 SQ. FT.
TOTAL	1,511 SQ. FT.
<b>LOT COVERAGE (ADU IS EXEMPT)</b>	
MAX. 1,500 SQ. FT.	
<b>ONE-STORY HOUSE</b>	
FLOOR AREA	4,519 SQ. FT.
GARAGE	849 SQ. FT.
<b>COVERED PORCH &amp; PATIO</b>	
COVERED PORCH & PATIO	785 SQ. FT.
DECK MORE THAN 30" HT.	193 SQ. FT.
STAIRS	75 SQ. FT.
<b>ADJ.</b>	
COVERED PORCH & PATIO	399 SQ. FT.
CARPORT	393 SQ. FT.
TOTAL	1,213 SQ. FT.

NOTE: SEE SHEET A-2 AREA CALCULATIONS FOR FLOOR PLAN DIAGRAM 4 CALCULATIONS.

**MEMARIE ASSOCIATES**  
 7280 Blue Hill Dr., Suite 5  
 San Jose, CA 95129  
 Tel: (408) 559-8037  
 www.memarie.com

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**Mr. & Mrs. Helweh**  
 320 Manzanita Ct.  
 Milpitas, CA 95035

Project:  
**One Story House & A.D.U.**  
 Scheller Ave.  
 Morgan Hill, CA 95037

**Client Revisions**

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	Design	08/17/21
5	Design	09/14/21
6	Design	10/19/21
7	Design	06/27/22
8	Design	08/30/22
9	Design	11/21/22
10	Design	03/08/23
11		
12		

**City Revisions**

No.	Description	Date
1	Planning Comments	06/27/22
2	County Comments	08/30/22
3		
4		
5		
6		
7		
8		

Signature:

Date: 05/03/21

Scale: 1" = 40'-0"

Drawn By: IL

Checked By: RN

Sheet Title:  
**Site Plan**

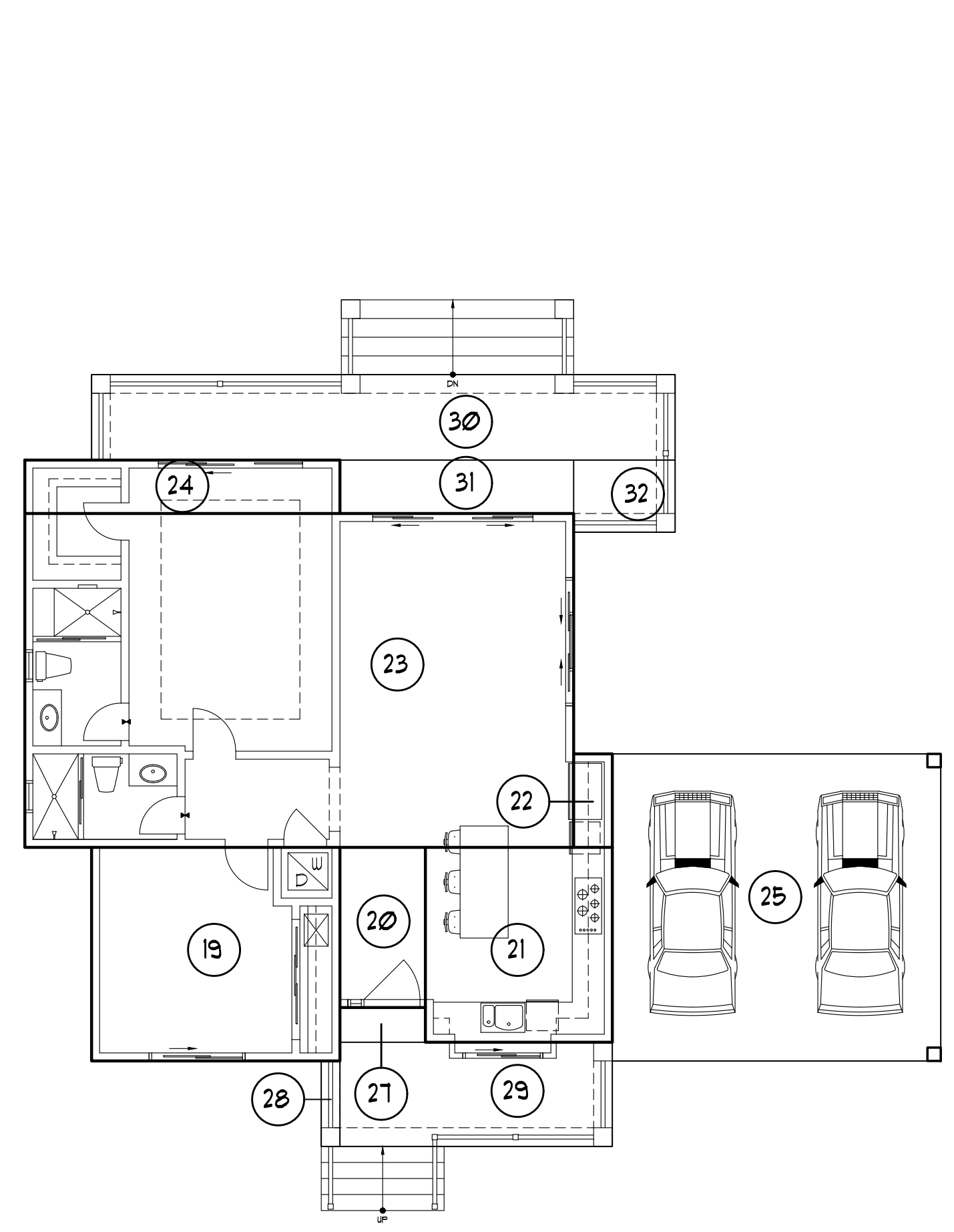
Sheet No.:  
**A-1**

File: M:\Scheller Ave. Job: Scheller Ave.

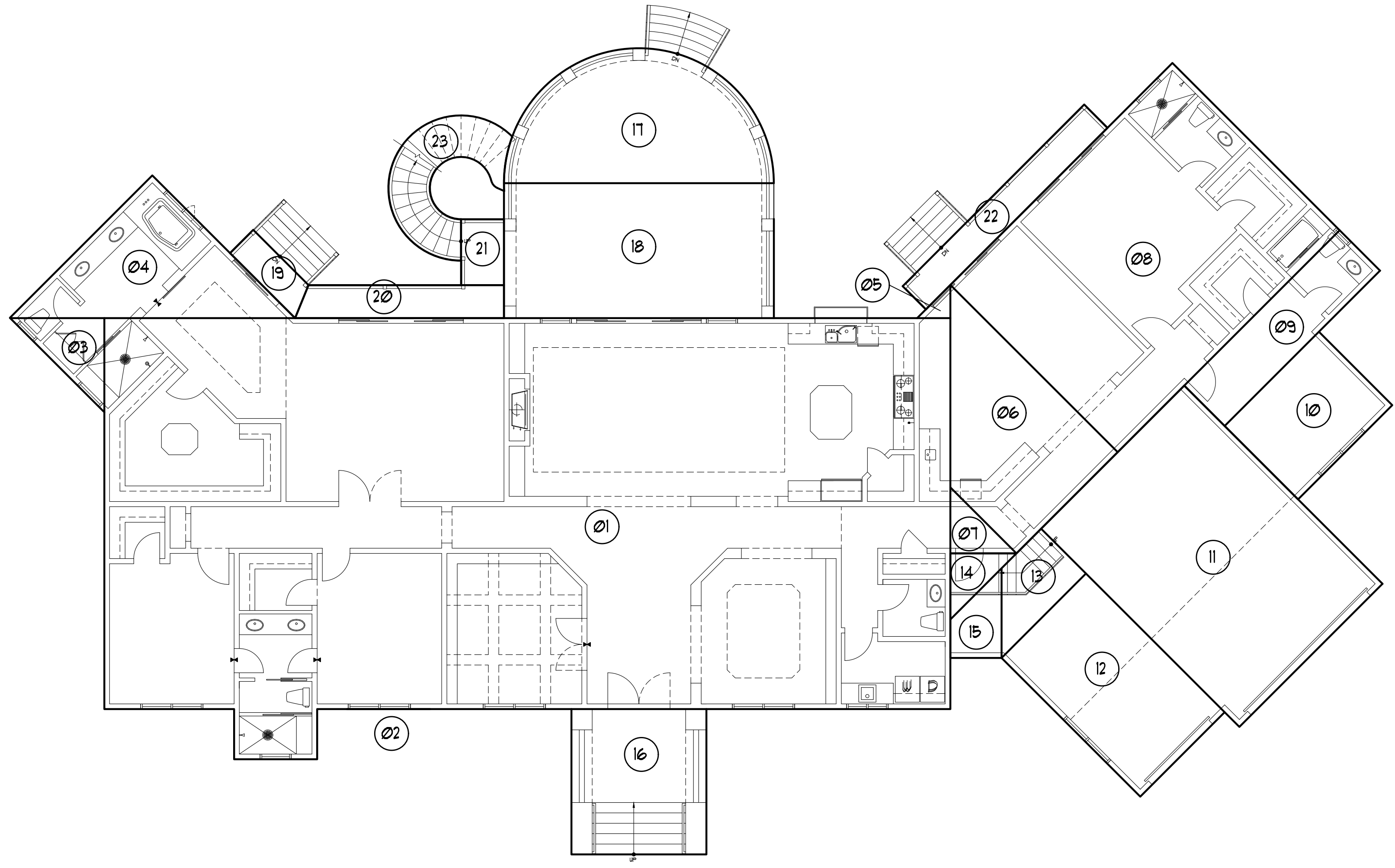
The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**Mr. & Mrs. Helweh**  
320 Manzanita Ct.  
Milpitas, CA 95035

Project:  
**One Story House & A.D.U.**  
Scheller Ave.  
Morgan Hill, CA 95037



A.D.U.



MAIN HOUSE

**A.D.U. FLOOR AREA:**

POLYGON	DIMENSIONS	AREA
19	15'-6" x 13'-4"	207 SQ. FT.
20	5'-4" x 10'-0"	53 SQ. FT.
21	11'-8" x 12'-2"	142 SQ. FT.
22	2'-5" x 5'-10"	14 SQ. FT.
23	34'-3" x 20'-10"	714 SQ. FT.
24	19'-8" x 3'-4"	66 SQ. FT.
TOTAL		1,136 SQ. FT.

**A.D.U. FRONT COVERED PORCH AREA:**

POLYGON	DIMENSIONS	AREA
27	5'-4" x 2'-2"	12 SQ. FT.
28	1'-2" x 5'-4"	6 SQ. FT.
29	17'-0" x 6'-6"	110 SQ. FT.
TOTAL		128 SQ. FT.

**A.D.U. REAR COVERED PATIO AREA:**

POLYGON	DIMENSIONS	AREA
30	36'-5" x 5'-4"	194 SQ. FT.
31	14'-6" x 3'-4"	48 SQ. FT.
32	6'-4" x 4'-6"	29 SQ. FT.
TOTAL		271 SQ. FT.

**A.D.U. CARPORT AREA:**

POLYGON	DIMENSIONS	AREA
25	20'-6" x 19'-2"	393 SQ. FT.
TOTAL		393 SQ. FT.

**MAIN HOUSE FLOOR AREA:**

POLYGON	DIMENSIONS	AREA
01	81'-6" x 37'-8"	3,069 SQ. FT.
02	8'-0" x 4'-10"	39 SQ. FT.
03	(9'-1" x 9'-1") / 2	41 SQ. FT.
04	(19'-5" x 19'-6") / 2	189 SQ. FT.
05	(3'-3" x 3'-3") / 2	5 SQ. FT.
06	(6'-5" x 6'-5") / 2	21 SQ. FT.
07	(22'-10" + 9'-0") x 13'-10" / 2	220 SQ. FT.
08	30'-3" x 22'-10"	691 SQ. FT.
09	21'-2" x 5'-6"	116 SQ. FT.
10	12'-10" x 10'-0"	128 SQ. FT.
TOTAL		4,519 SQ. FT.

**MAIN HOUSE GARAGE AREA:**

POLYGON	DIMENSIONS	AREA
11	19'-6" x 27'-0"	527 SQ. FT.
12	11'-6" x 18'-11"	218 SQ. FT.
13	(5'-5" + 11'-6") x 6'-2" / 2	52 SQ. FT.
14	(6'-5" x 6'-5") / 2	21 SQ. FT.
15	(3'-9" + 8'-8") x 4'-11" / 2	31 SQ. FT.
TOTAL		849 SQ. FT.

**MAIN HOUSE FRONT COVERED PORCH AREA:**

POLYGON	DIMENSIONS	AREA
16	13'-0" x 14'-0"	182 SQ. FT.
TOTAL		182 SQ. FT.

**MAIN HOUSE REAR COVERED PATIO AREA:**

POLYGON	DIMENSIONS	AREA
17	26'-0" x 13'-0"	338 SQ. FT.
18	3.14 x 13'-0" x 13'-0" / 2	265 SQ. FT.
TOTAL		603 SQ. FT.

**MAIN HOUSE WOOD DECK AREA:**

POLYGON	DIMENSIONS	AREA
19	(7'-4" + 8'-8") x 3'-2" / 2	25 SQ. FT.
20	(18'-10" + 20'-2") x 3'-2" / 2	63 SQ. FT.
21	4'-2" x 6'-5"	27 SQ. FT.
22	24'-6" x 3'-2"	78 SQ. FT.
TOTAL		193 SQ. FT.

**STAIRS AREA:**

POLYGON	DIMENSIONS	AREA
23		75 SQ. FT.
TOTAL		75 SQ. FT.

GROSS LOT AREA	10 AC.
NET LOT AREA	9.72 AC.
<b>FLOOR AREA CALCULATIONS</b>	
ONE-STORY HOUSE	
FLOOR AREA	4,519 SQ. FT.
GARAGE	849 SQ. FT.
ACCESSORY DWELLING UNIT	
FLOOR AREA	1,136 SQ. FT.
FRONT COVERED PORCH	12 SQ. FT.
TOTAL	6,516 SQ. FT.

**PORCHES & CARPORT (covered & not greater than 50% enclosed by walls)**

ONE-STORY	
FRONT COVERED PORCH	182 SQ. FT.
REAR COVERED PATIO	603 SQ. FT.
ACCESSORY DWELLING PORCH	
FRONT COVERED PORCH	128 SQ. FT.
REAR COVERED PATIO	271 SQ. FT.
A.D.U. CARPORT	393 SQ. FT.
TOTAL	1,571 SQ. FT.

**LOT COVERAGE (ADU IS EXEMPT) MAX. 7,500 SQ. FT.**

ONE-STORY HOUSE	
FLOOR AREA	4,519 SQ. FT.
GARAGE	849 SQ. FT.
COVERED PORCH & PATIO	785 SQ. FT.
DECK MORE THAN 30" HT.	193 SQ. FT.
STAIRS	75 SQ. FT.
A.D.U.	
COVERED PORCH & PATIO	399 SQ. FT.
CARPORT	393 SQ. FT.
TOTAL	7,213 SQ. FT.

**Client Revisions**

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	Design	08/17/21
5	Design	09/14/21
6	Design	10/19/21
7	Design	06/27/22
8	Design	08/30/22
9	Design	11/21/22
10	Design	03/08/23
11		
12		

**City Revisions**

No.	Description	Date
1	Planning Comments	06/27/22
2	County Comments	08/30/22
3		
4		
5		
6		
7		
8		

Signature:

Date: 05/03/21

Scale: 1/8" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:  
**Area Calculations**

Sheet No.:

**A-2**

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**Mr. & Mrs. Helweh**  
 320 Manzanita Ct.  
 Milpitas, CA 95035

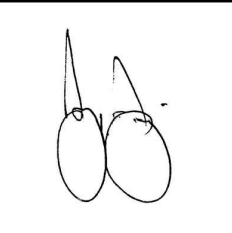
Project:  
**One Story House & A.D.U.**  
 Scheller Ave.  
 Morgan Hill, CA 95037

Client Revisions

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	Design	08/17/21
5	Design	09/14/21
6	Design	10/19/21
7	Design	06/27/22
8	Design	08/30/22
9	Design	11/21/22
10	Design	03/08/23
11		
12		

City Revisions

No.	Description	Date
▲	Planning Comments	06/27/22
2		
3		
4		
5		
6		
7		
8		

Signature: 

Date: 05/03/21

Scale: 3/16" = 1'-0"

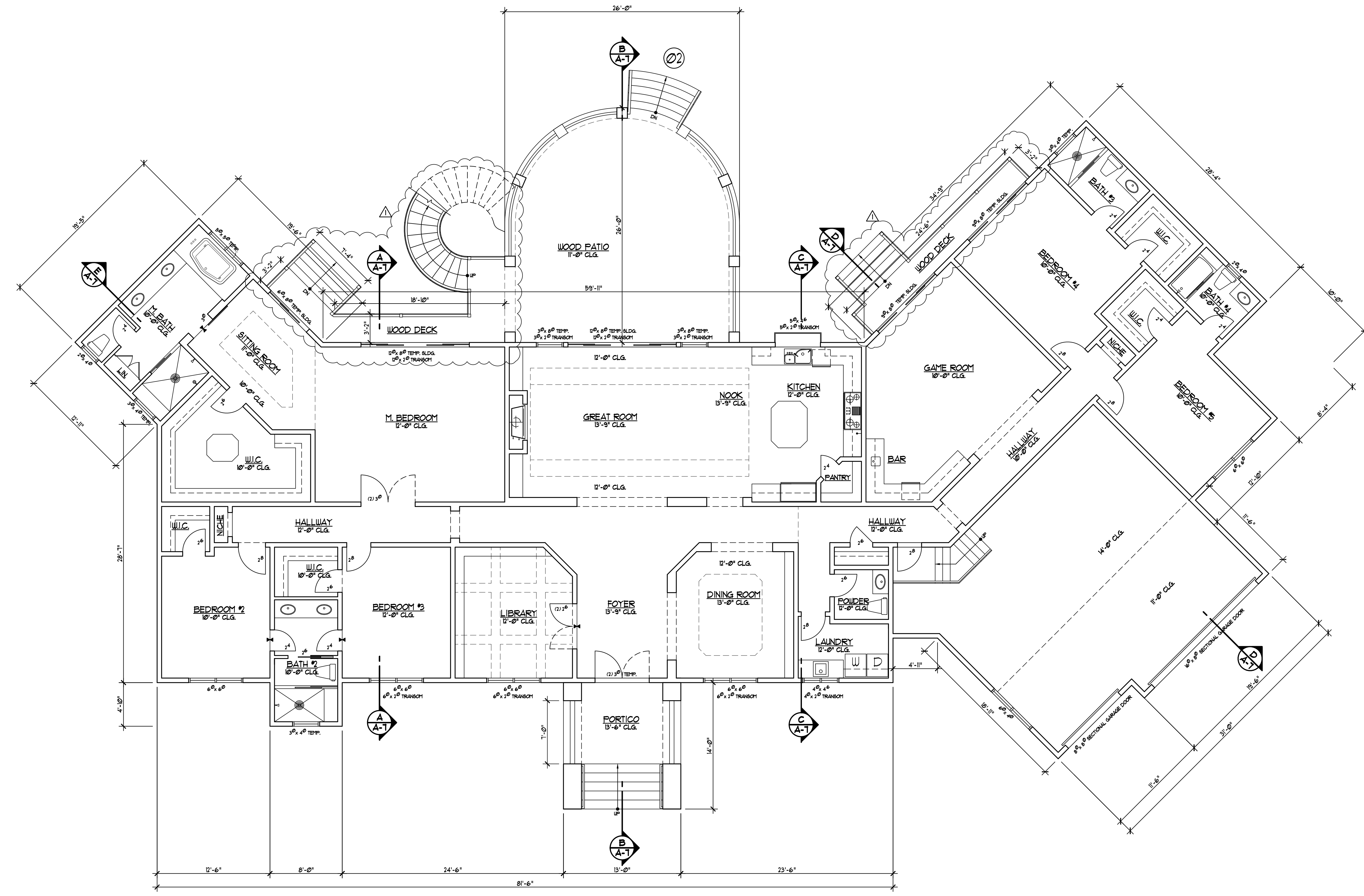
Drawn By: IL

Checked By: RN

Sheet Title:  
**Main House  
 Floor Plan**

Sheet No.:

**A-3**



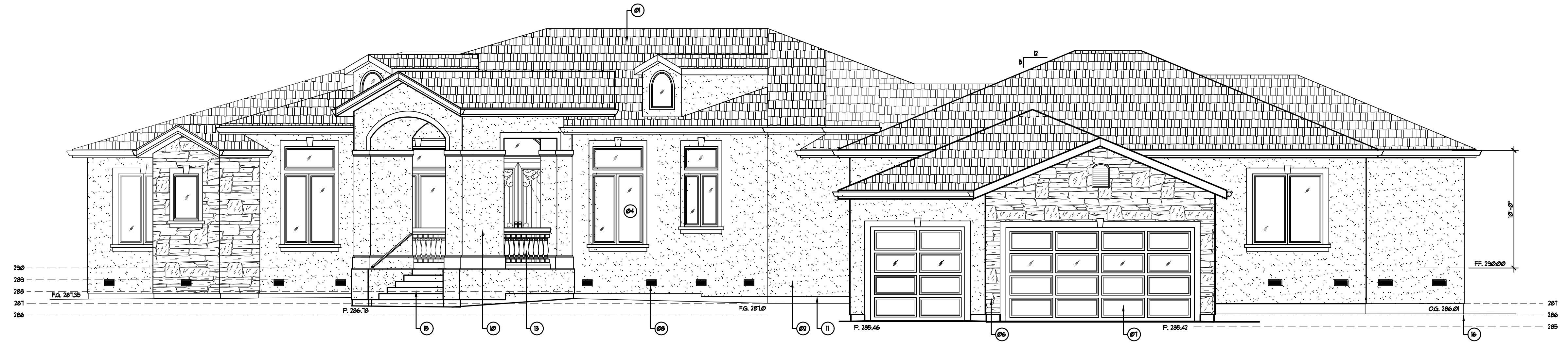
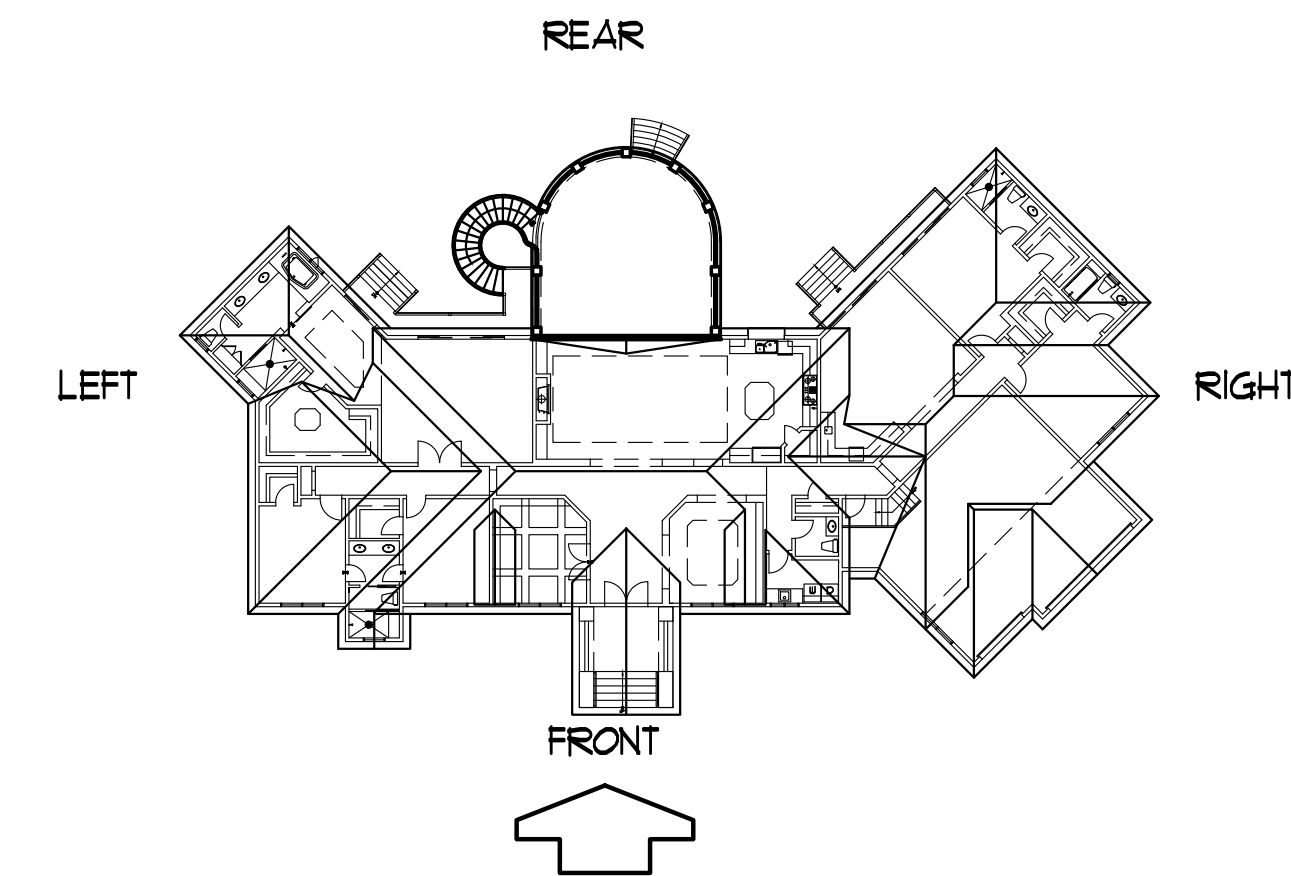
The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**Mr. & Mrs. Helweh**  
320 Manzanita Ct.  
Milpitas, CA 95035

Project:  
**One Story House & A.D.U.**  
Scheller Ave.  
Morgan Hill, CA 95037

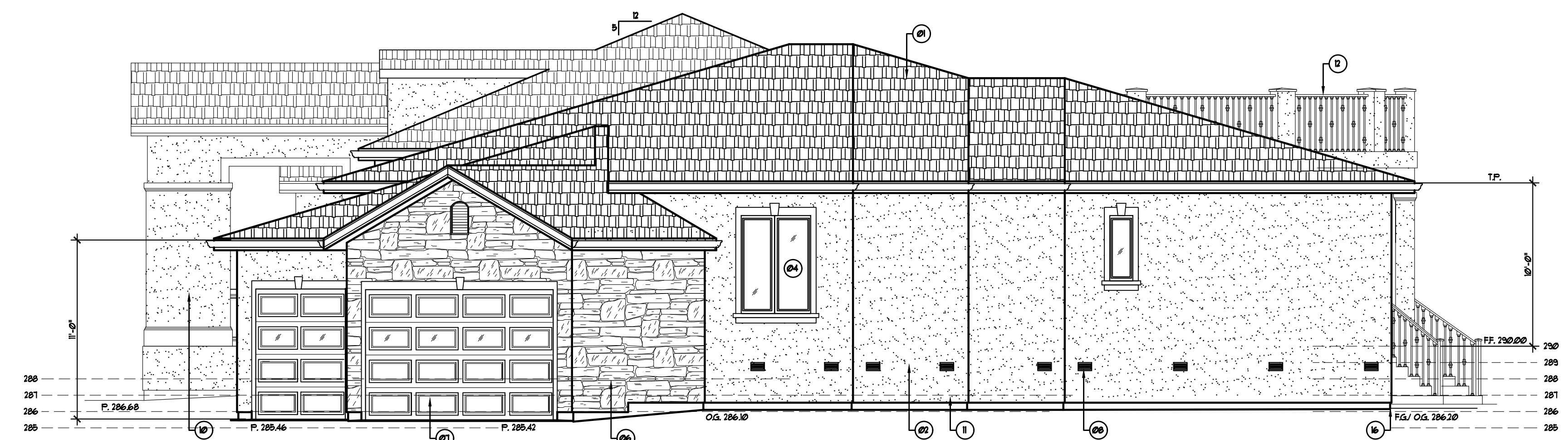
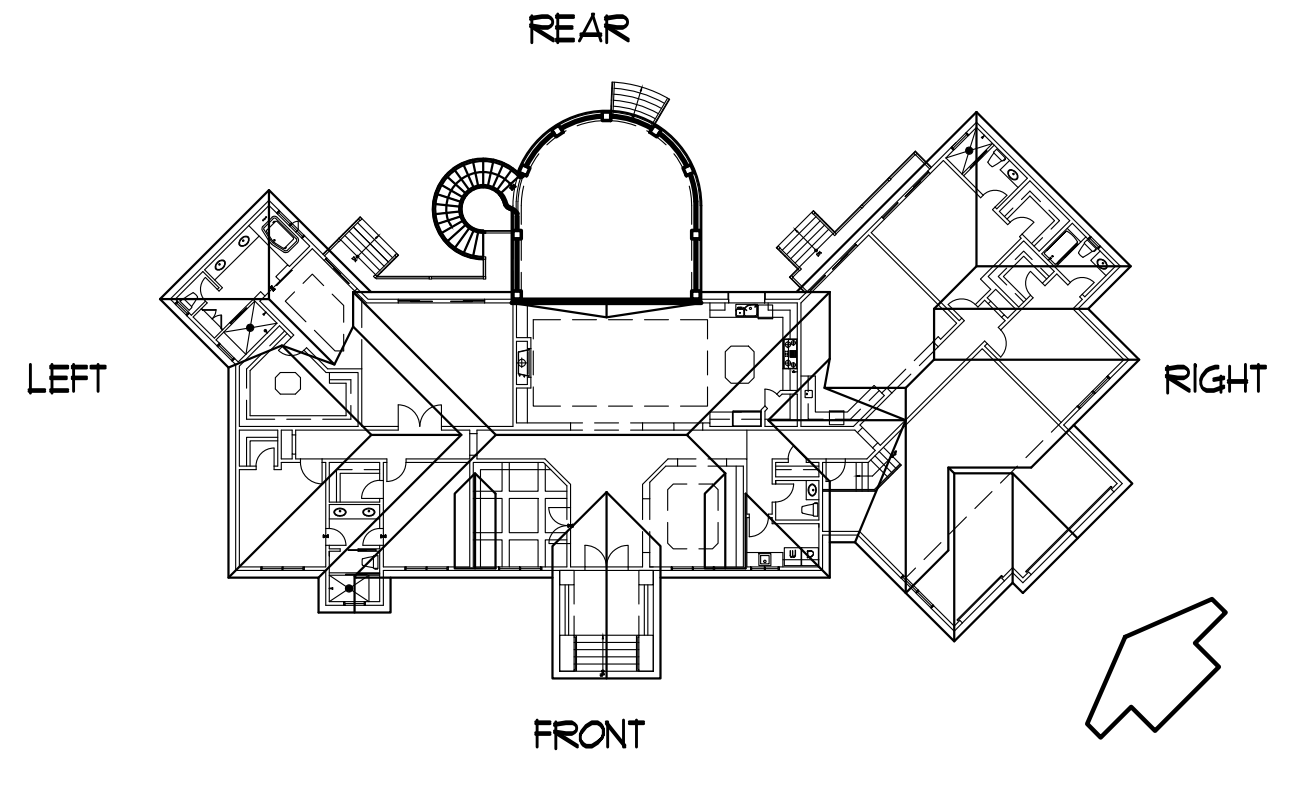


FRONT ELEVATION

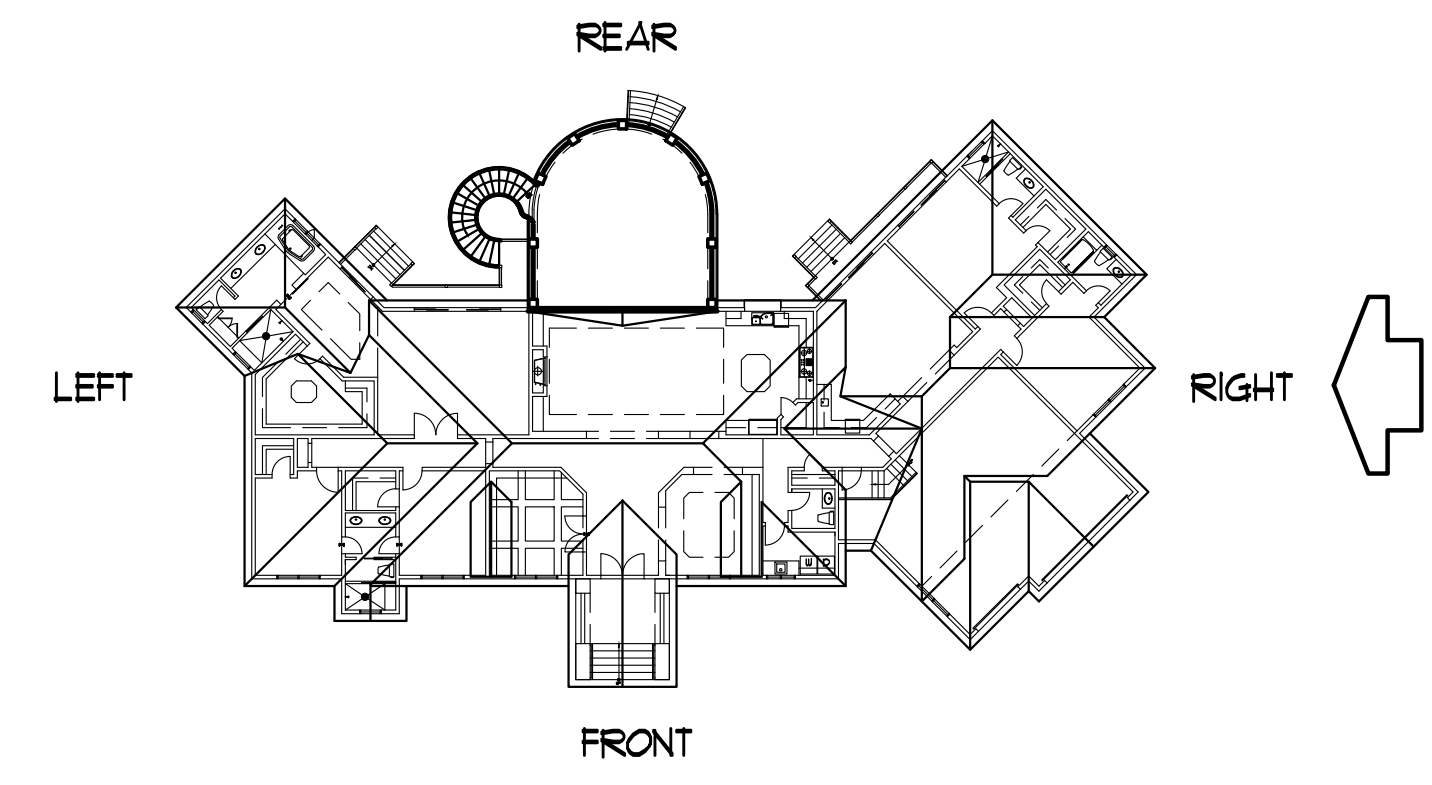


FRONT-RIGHT ELEVATION

- KEY NOTES:**
01. RESIDENTIAL COMPOSITION SHINGLE ROOF CLASS "A", SEE ROOF PLAN
  02. STUCCO: 1/2" MIN. THICK OR 7/8" LAYER OF GRADE D PAPER OR GIBBS, 1/2" OF POLYSTYRENE INSULATION OR EQUITIV.
  03. ENTRY DOORS
  04. MILGARD VINYL WINDOWS SEE FLOOR PLANS FOR TYPE AND SIZE
  05. 2x4 JOIST TRIM TYP.
  06. STONE VENEER
  07. OVERHEAD GARAGE DOOR
  08. 6"x6" VENT UNIBLOCK SCREEN SHALL BE LOCATED WITHIN 3'-0" OF CORNERS TO PROVIDE CROSS VENTILATION
  09. ACCESS W/SCREENS MUST BE 4" HIGH WITH 1/2" STROKE
  10. STUCCO COLUMN
  11. 2x 6x 6 GALVANIZED SHEET SCREED, 4" ABOVE GRADE OR 2" ABOVE CONC. PAVING.
  12. 42" MIN. HT. METAL GUARDRAIL
  13. 42" MIN. HT. RAILLISTER
  14. EXTERIOR TEMP. BLDG DOORS
  15. MAX. HT. OF ROOF NOT TO EXCEED 7'-6"
  16. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING & FINISH GRADES, VERIFY IN FIELD



RIGHT ELEVATION



Client Revisions		
No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	Design	08/17/21
5	Design	09/14/21
6	Design	10/19/21
7	Design	06/27/22
8	Design	08/30/22
9	Design	11/21/22
10	Design	03/08/23
11		
12		

City Revisions		
No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Signature:

Date: 05/03/21

Scale: 3/16" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:  
**Main House Exterior Elevations**

Sheet No.:

**A-4**

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:

Mr. & Mrs. Helweh

320 Manzanita Ct.  
Milpitas, CA 95035

Project:

One Story House & A.D.U.

Scheller Ave.  
Morgan Hill, CA 95037

Client Revisions

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	Design	08/17/21
5	Design	09/14/21
6	Design	10/19/21
7	Design	06/27/22
8	Design	08/30/22
9	Design	11/21/22
10	Design	03/08/23
11		
12		

City Revisions

No.	Description	Date
1	Planning Comments	06/27/22
2		
3		
4		
5		
6		
7		
8		

Signature:

Date:

05/03/21

Scale:

3/16" = 1'-0"

Drawn By:

IL

Checked By:

RN

Sheet Title:

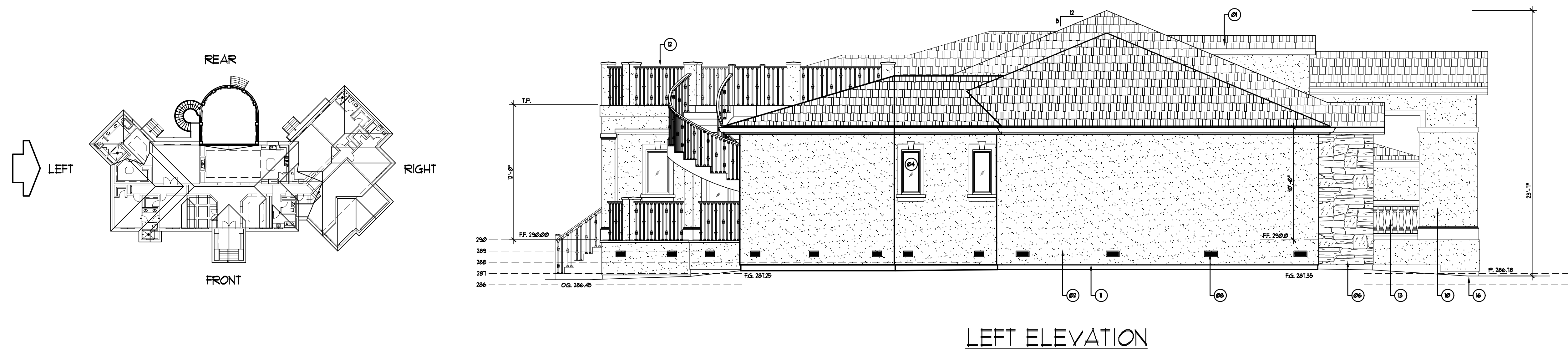
Main House  
Exterior  
Elevations

Sheet No.:

A-5

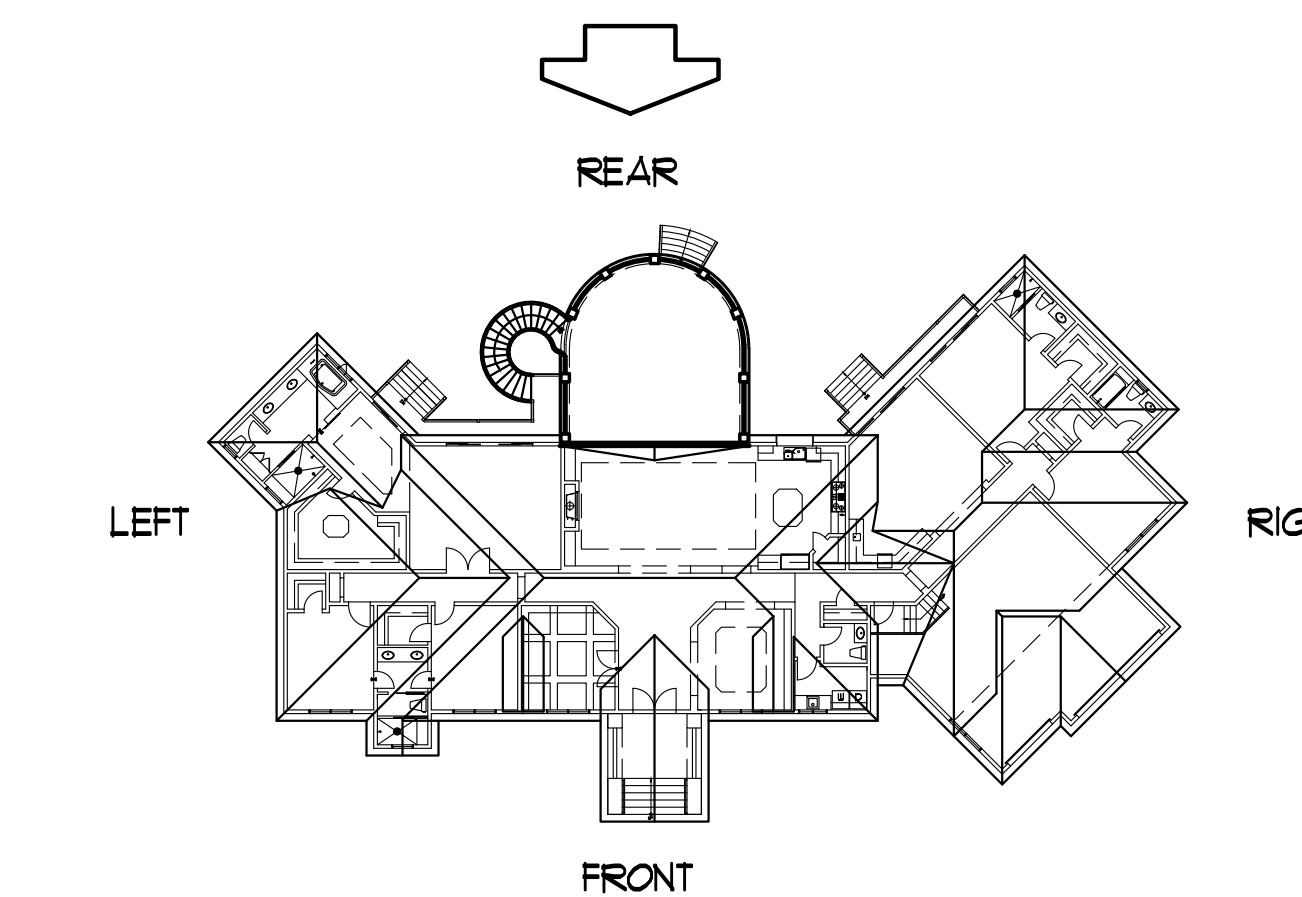
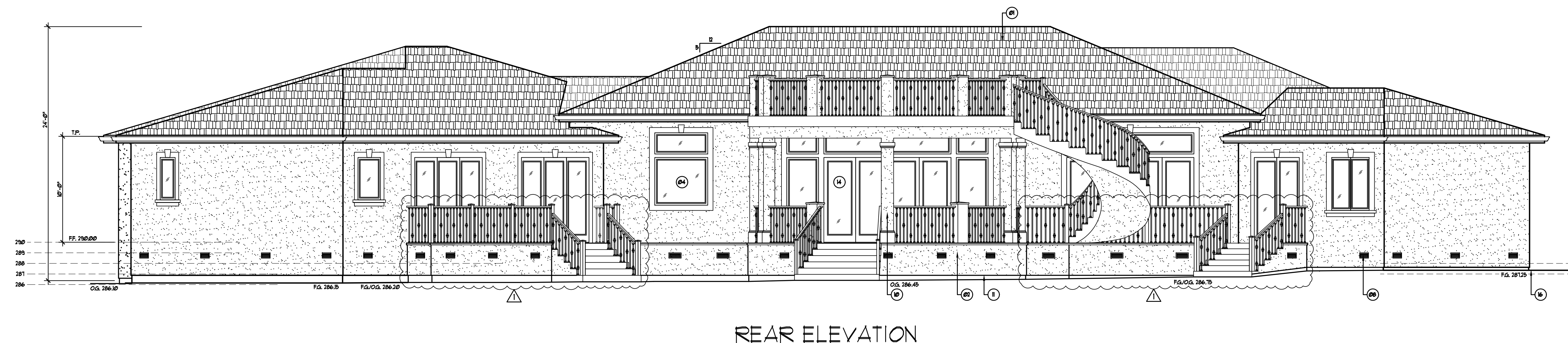
File: M:\Scheller Ave.

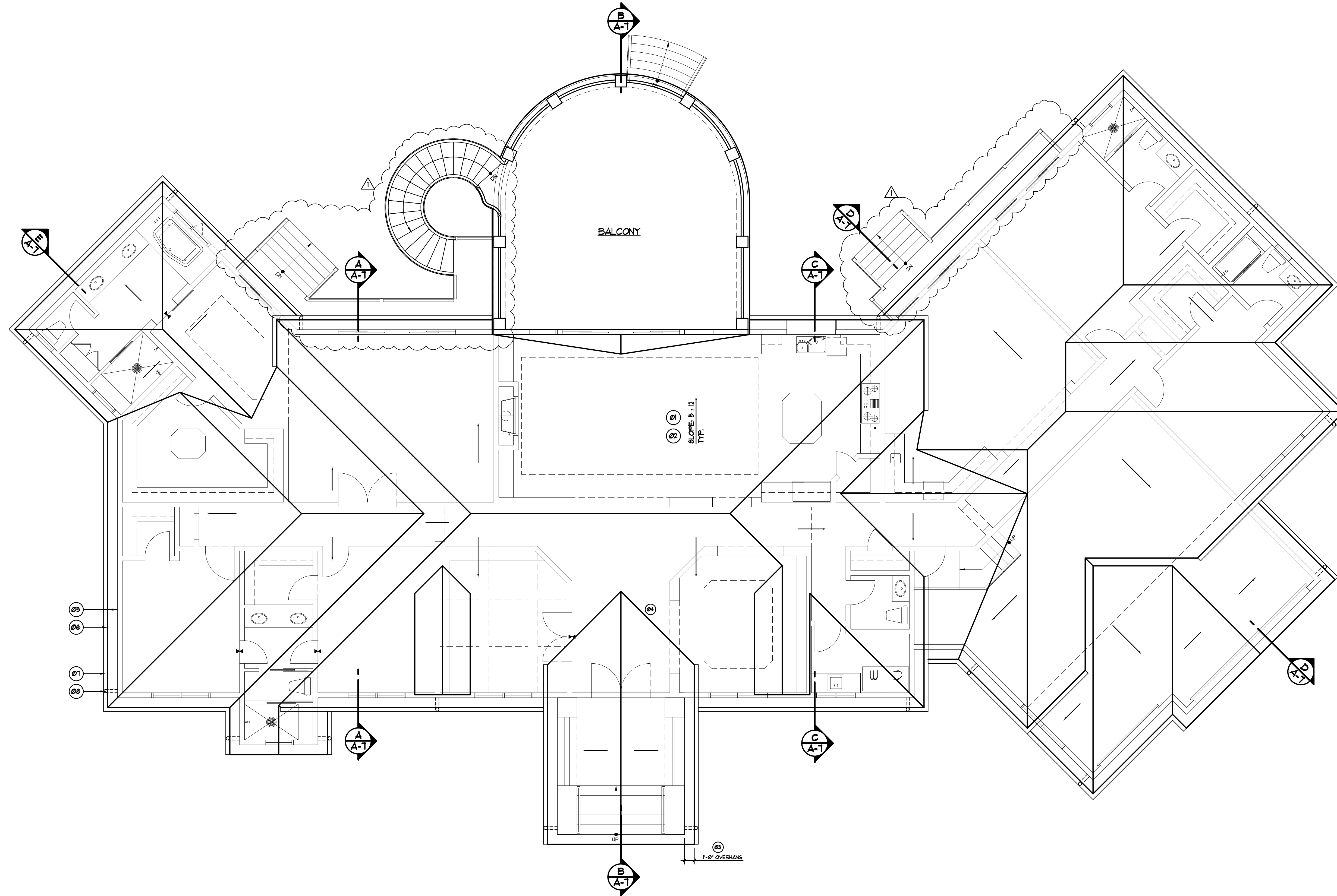
Job: Scheller Ave.



KEY NOTES:

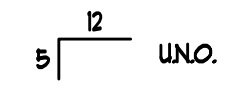
01. RESIDENTIAL COPPER SHINGLE ROOF CLASS 'A', SEE ROOF PLAN
02. STUCCO, 1/2"-INCH THICK OR 7/8" LAYER OF GRADE D PAPER OR R190.2, OR FIBREGLASS INSULATION OR R190.2.
03. ENTRY DOORS
04. HUNGLED VINYL WINDOWS SEE FLOOR PLANS FOR TYPE AND SIZE
05. 2x4 FOAM TRIM TYP.
06. STONE VENEER
07. OVERHEAD GARAGE DOOR
08. 6"x6" VENT WINNETT SCREEN SHALL BE LOCATED WITHIN 3'-0" OF CORNERS TO PROVIDE CROSS VENTILATION
09. ACCESS WALKWAY 1"x1/4" 4" HIGH WITH 1/2" STRIKE
10. STUCCO COLUMN
11. 24 GA GALVANIZED SHEET SCREED
12. 4" ABOVE GRADE OR 2" ABOVE CONC. PAVING
13. 42" HX HT. METAL GUARDRAIL
14. 42" HX HT. BALLUSTER
15. EXTERIOR TEMP. SLIDING DOORS
16. MAX. HT. OF ROOF NOT TO EXCEED 7'4"
17. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING & FINISH GRADES, VERIFY IN FIELD





**KEY NOTES:**

- 01. ROOF SLOPE: 5/12 UNO.
- 02. ROOF MATERIAL: SLOPED ROOF: COMPOSITION SHINGLE ROOF
- 03. ALL EAVES SHALL BE 12 OH. UNO.
- 04. PROVIDE 26 GA. G.I. VALLEY FLASHING AT ALL ROOF VALLEYS. (PAINT TO MATCH THE ROOF COLOR)
- 05. OUTLINE OF STRUCTURE
- 06. BUILDING OVERHANG
- 07. 1" PAINTED METAL GUTTER
- 08. 3" x 1" PAINTED METAL DOWN SPOUT



The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**Mr. & Mrs. Helweh**  
 320 Manzanita Ct.  
 Milpitas, CA 95035

Project:  
**One Story House & A.D.U.**  
 Scheller Ave.  
 Morgan Hill, CA 95037

**Client Revisions**

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	Design	08/17/21
5	Design	09/14/21
6	Design	10/19/21
7	Design	06/27/22
8	Design	08/30/22
9	Design	11/21/22
10	Design	03/08/23
11		
12		

**City Revisions**

No.	Description	Date
1	Planning Comments	06/27/22
2		
3		
4		
5		
6		
7		
8		

Signature:

Date: 05/03/21

Scale: 3/16" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:  
**Main House  
 Roof Plan**

Sheet No.:  
**A-6**

Client:

Mr. & Mrs. Helweh  
320 Manzanita Ct.  
Milpitas, CA 95035

Project:

One Story House & A.D.U.  
Scheller Ave.  
Morgan Hill, CA 95037

Client Revisions

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	Design	08/17/21
5	Design	09/14/21
6	Design	10/19/21
7	Design	06/27/22
8	Design	08/30/22
9	Design	11/21/22
10	Design	03/08/23
11		
12		

City Revisions

No.	Description	Date
1	Planning Comments	06/27/22
2		
3		
4		
5		
6		
7		
8		

Signature:

Date: 05/03/21

Scale: 3/16" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:

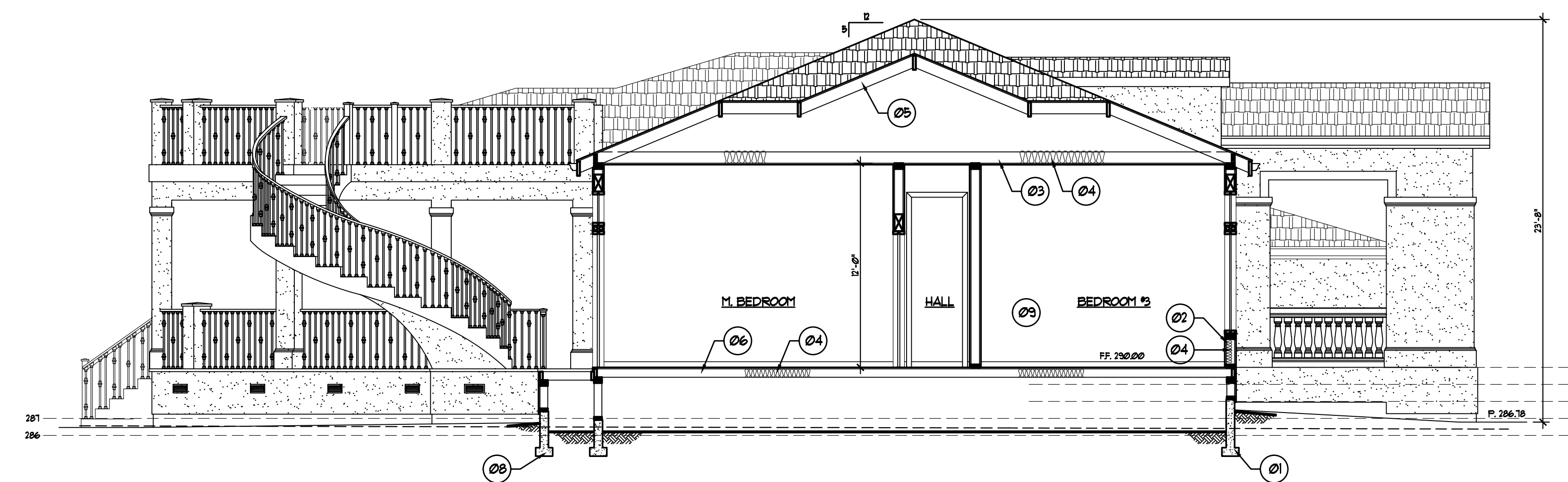
Main House  
Building  
Sections

Sheet No.:

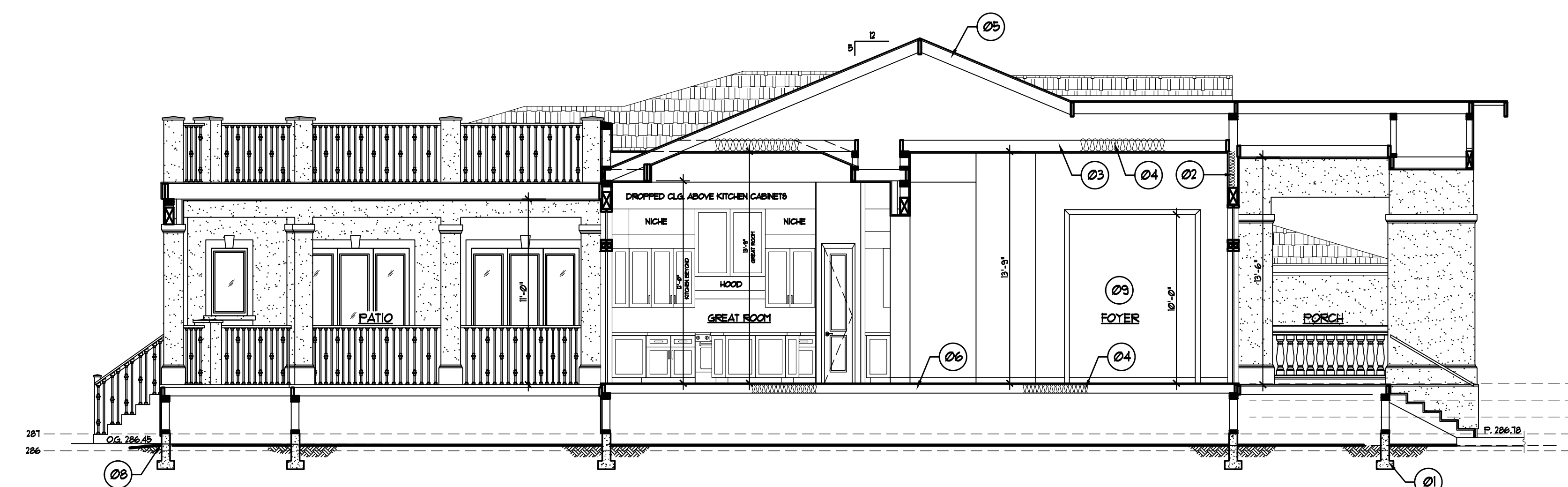
A-7

File: M:Scheller Ave.

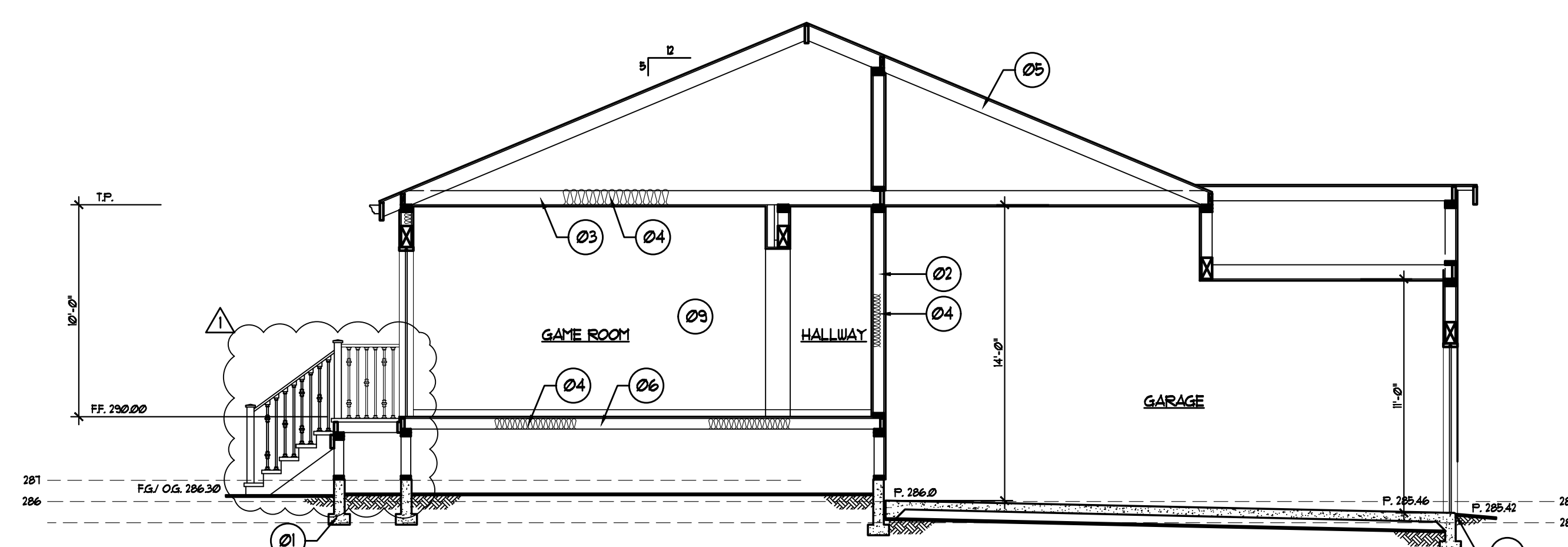
Job: Scheller Ave.



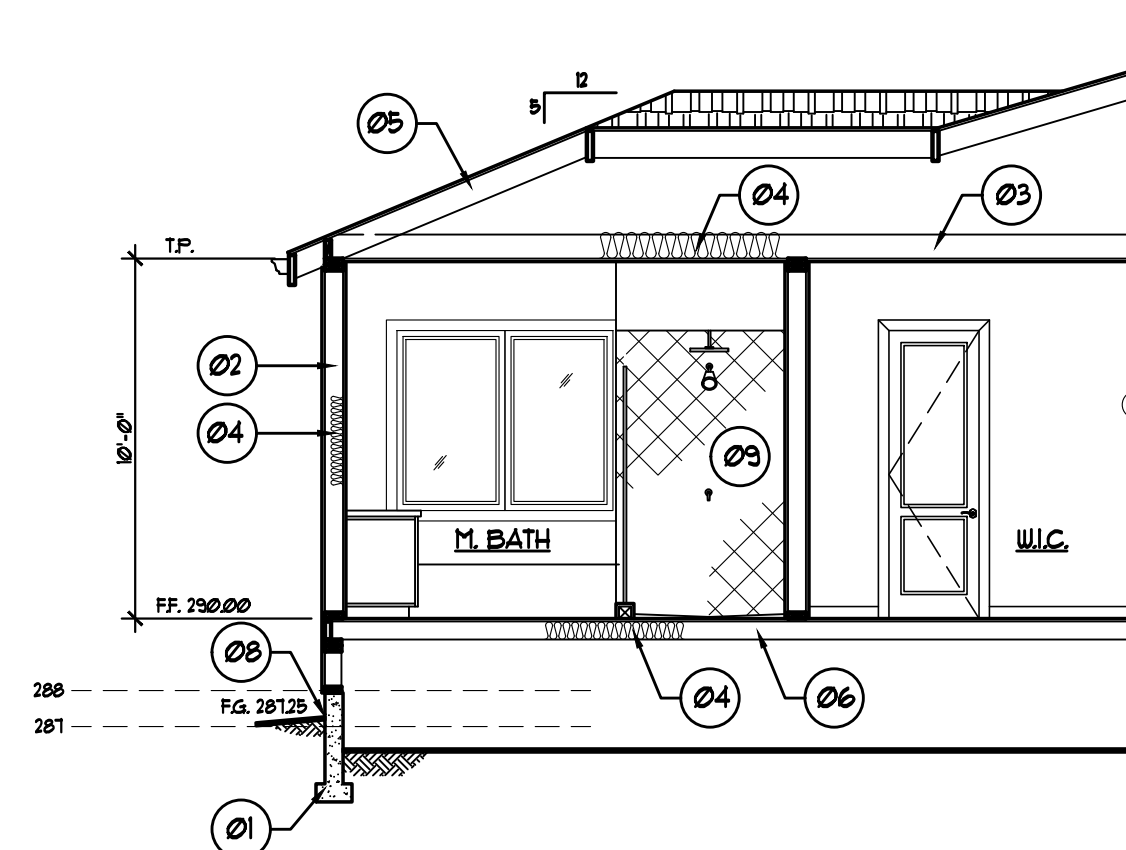
SECTION A-A



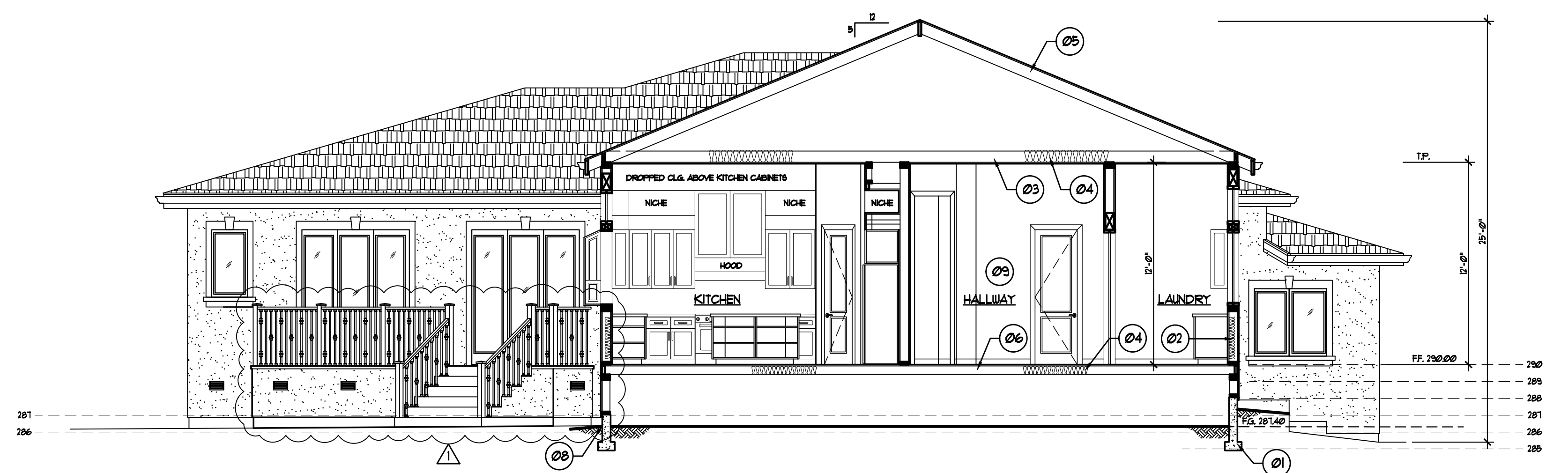
SECTION B-B



SECTION D-D



SECTION E-E



SECTION C-C

KEY NOTES: ○

NOTE: REFER TO STRUCTURAL PLANS FOR ALL MEMBER SIZES, LOCATION & ETC.  
VERIFY ALL EXISTING GRADES (IMPORT & EXPORT OF DIRT) AROUND THE HOUSE AT THE JOB SITE.

- 01. CONCRETE FOOTING
- 02. WALL FRAMING
- 03. CEILING JOISTS
- 04. INSULATION, SEE TITLE 24 REPORT
- 05. ROOF FRAMING
- 06. FLOOR JOISTS
- 07. STUCCO FINISH
- 08. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING & FINISH GRADES
- 09. ALL FINAL INTERIOR FINISHES TO BE VERIFIED & SELECTED BY INTERIOR DESIGNER



The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**Mr. & Mrs. Helweh**  
320 Manzanita Ct.  
Milpitas, CA 95035

Project:  
**One Story House & A.D.U.**  
Scheller Ave.  
Morgan Hill, CA 95037

**Client Revisions**

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	A.D.U. Design	08/23/21
5	A.D.U. Design	09/02/21
6		
7		
8		
9		
10		
11		
12		

**City Revisions**

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Signature:

Date: 05/03/21

Scale: 1/4" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:

**A.D.U.  
Floor Plan &  
Roof Plan**

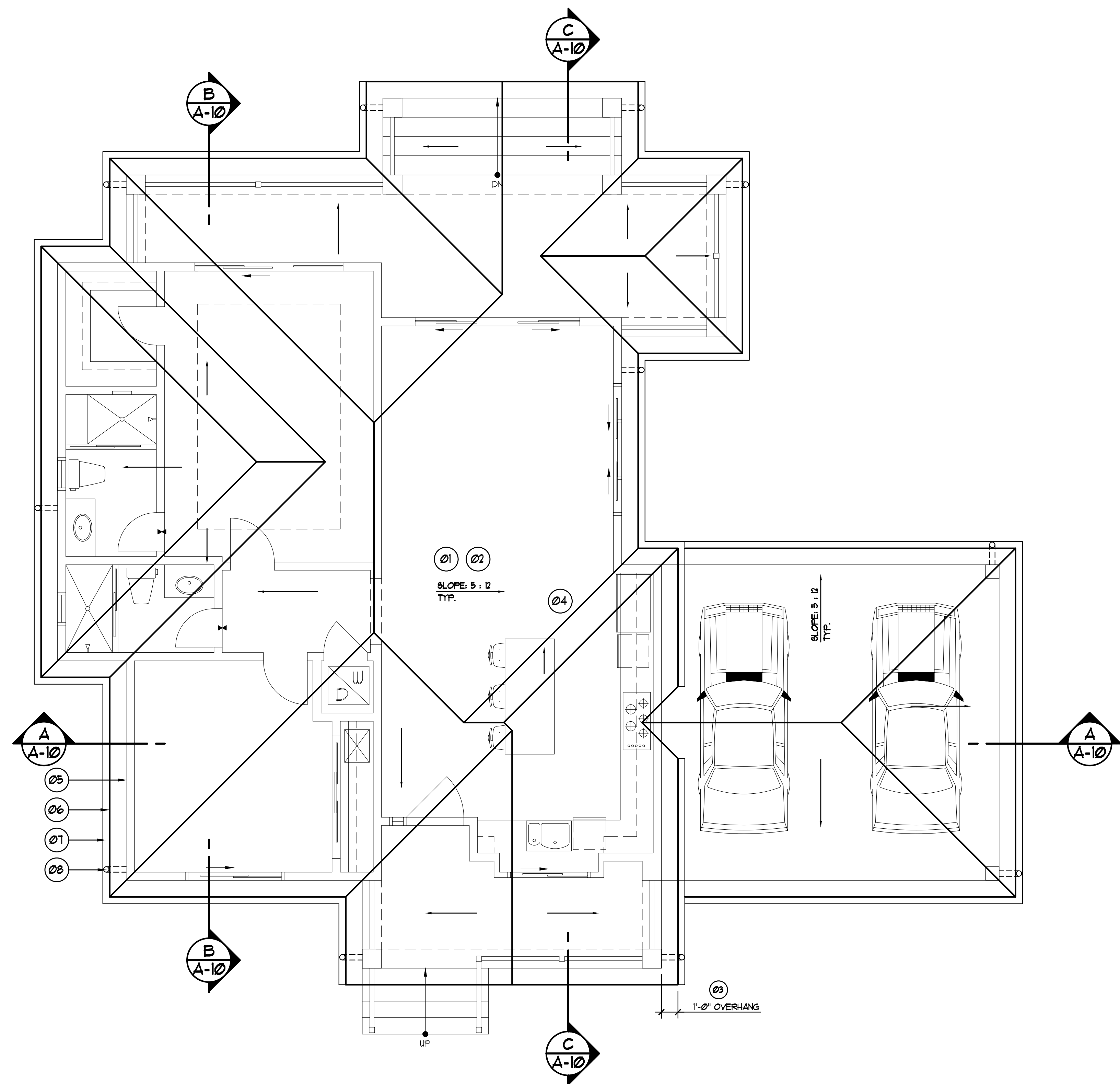
Sheet No.:

**A-8**

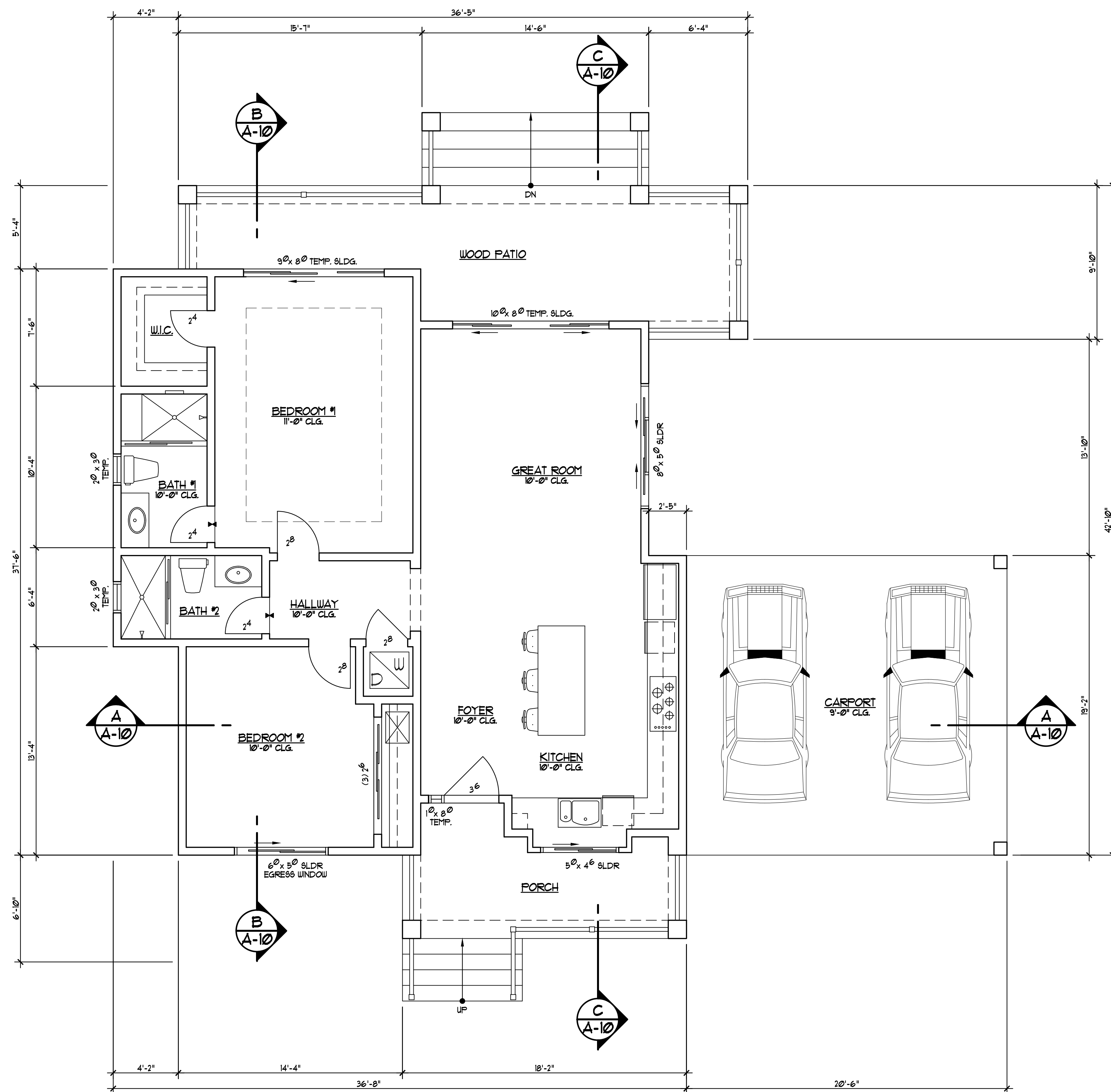
File: M:\Scheller Ave. Job: Scheller Ave.

**KEY NOTES:**

01. ROOF SLOPES: 5/12 UNO.
02. ROOF MATERIAL: COMPOSITION SHINGLE ROOF
03. SLOPED ROOF
03. ALL EAVES SHALL BE 1" OH UNO.
04. PROVIDE 3/8 GA. GI VALLEY FLASHING AT ALL ROOF VALLEYS. (PAINT TO MATCH THE ROOF COLOR)
05. OUTLINE OF STRUCTURE
06. BUILDING OVERHANG
07. 5" PAINTED METAL GUTTER
08. 3" x PAINTED METAL DOWN SPOUT



**ROOF PLAN**



**FLOOR PLAN**

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:

Mr. & Mrs. Helweh  
320 Manzanita Ct.  
Milpitas, CA 95035

Project:

One Story House & A.D.U.  
Scheller Ave.  
Morgan Hill, CA 95037

Client Revisions

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	A.D.U. Design	08/23/21
5	A.D.U. Design	09/02/21
6		
7		
8		
9		
10		
11		
12		

City Revisions

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Signature:

Date:

05/03/21

Scale:

1/4" = 1'-0"

Drawn By:

IL

Checked By:

RN

Sheet Title:

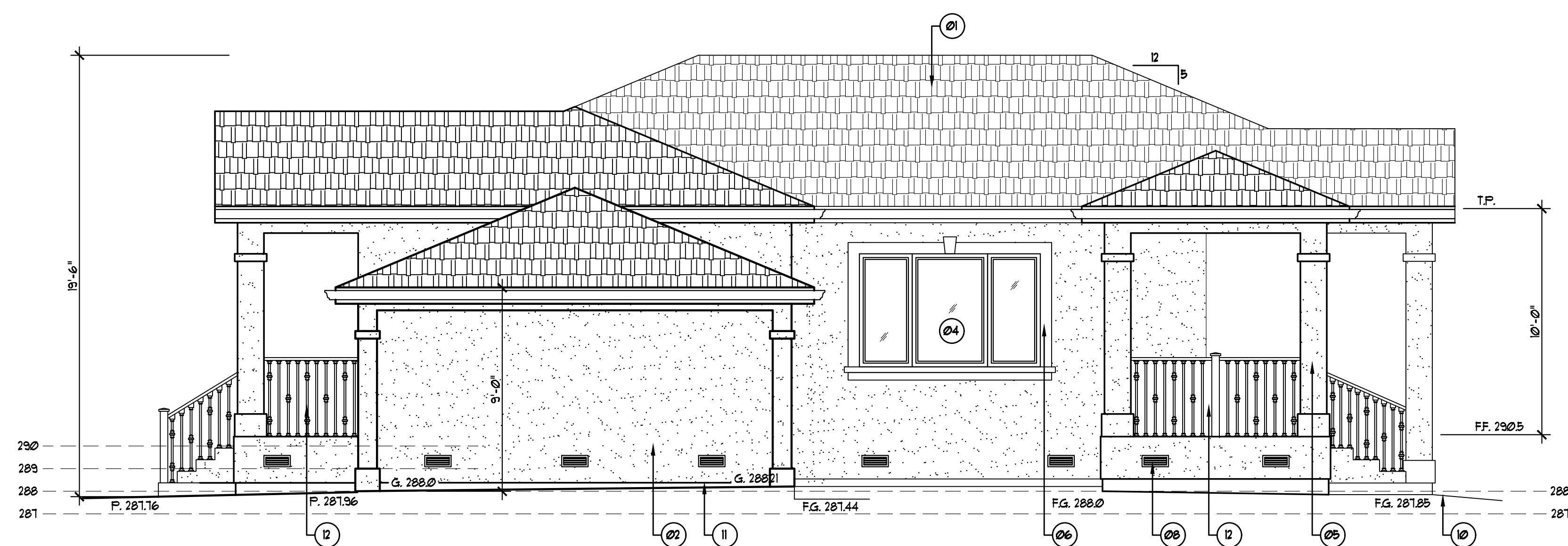
**A.D.U.  
Exterior  
Elevations**

Sheet No.:

**A-9**

File: M:\Scheller Ave.

Job: Scheller Ave.



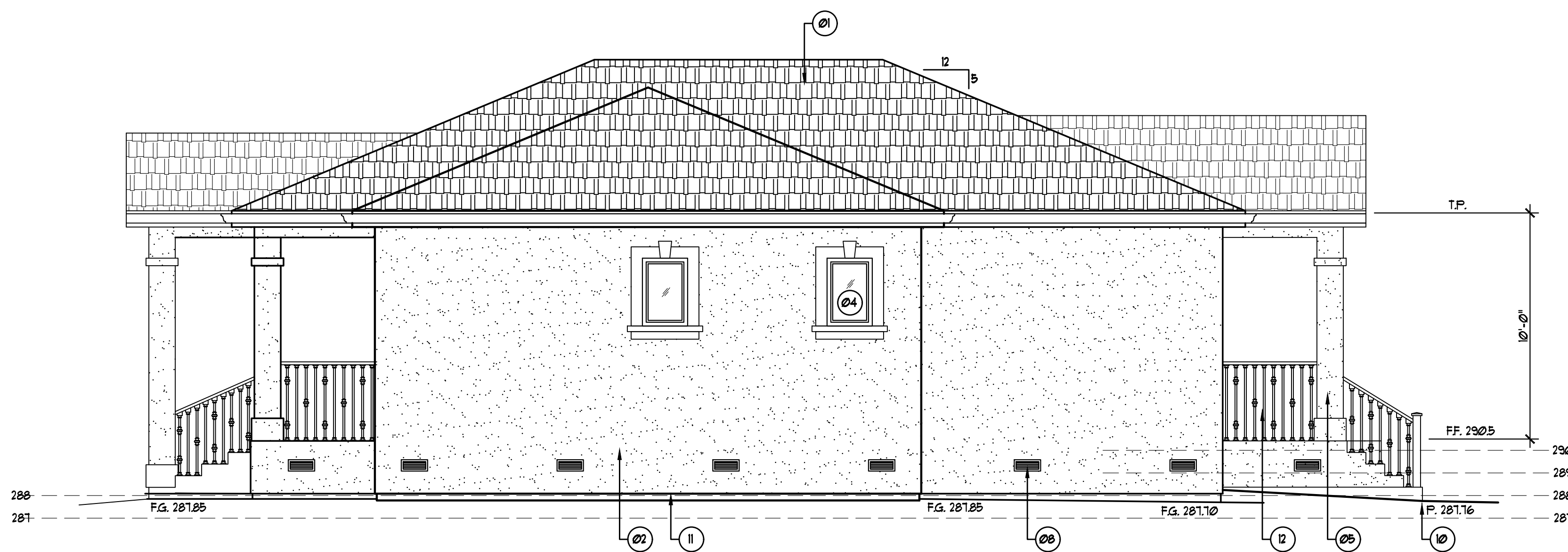
RIGHT ELEVATION



FRONT ELEVATION

KEY NOTES:

- 01. PRESIDENTIAL COMPOSITION SHINGLE ROOF, CLASS "A". SEE ROOF PLAN
- 02. STUCCO, 1/8"-INCH MIN. THICK, O/ TWO LAYER OF GRADE D PAPER CRC R103.6.2. O/ PLYWOOD SHEATHING CRC R103.6.3.
- 03. ENTRY DOORS
- 04. MILGARD VINYL WINDOW, SEE FLOOR PLANS FOR TYPE AND SIZE
- 05. STUCCO COLUMN
- 06. 2x4 FOAM TRIM TYP.
- 07. ADDRESS NUMBER MINIMUM 4" HIGH WITH 1/2" STRIKE
- 08. 6"x6" VENT W/INSECT SCREEN SHALL BE LOCATED WITHIN 3'-0" OF CORNERS TO PROVIDE CROSS VENTILATION
- 09. MAX. HT. OF RISER NOT TO EXCEED 7 1/4"
- 10. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING + FINISH GRADES, VERIFY IN FIELD
- 11. 26 GA GALVANIZED UEEP SCREED, 4" ABOVE GRADE OR 2" ABOVE CONC. PAVING.
- 12. 42" MIN. HT. METAL GUARDRAIL
- 13. EXTERIOR TEMP. SLIDING DOORS



LEFT ELEVATION



REAR ELEVATION

The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:  
**Mr. & Mrs. Helweh**  
320 Manzanita Ct.  
Milpitas, CA 95035

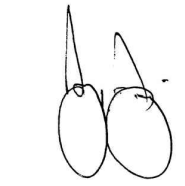
Project:  
**One Story House & A.D.U.**  
Scheller Ave.  
Morgan Hill, CA 95037

**Client Revisions**

No.	Description	Date
1	Design	06/04/21
2	Design	06/14/21
3	Design	07/28/21
4	A.D.U. Design	08/23/21
5	A.D.U. Design	09/02/21
6		
7		
8		
9		
10		
11		
12		

**City Revisions**

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Signature: 

Date: 05/03/21

Scale: 1/4" = 1'-0"

Drawn By: IL

Checked By: RN

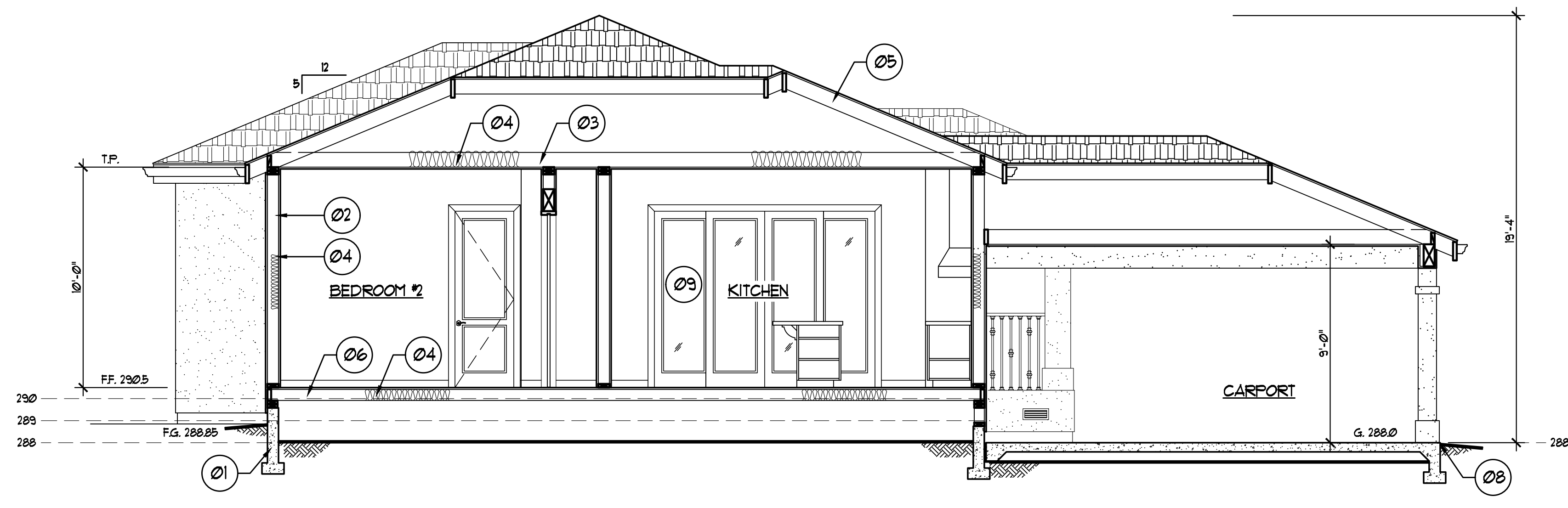
Sheet Title:

**A.D.U.  
Building  
Sections**

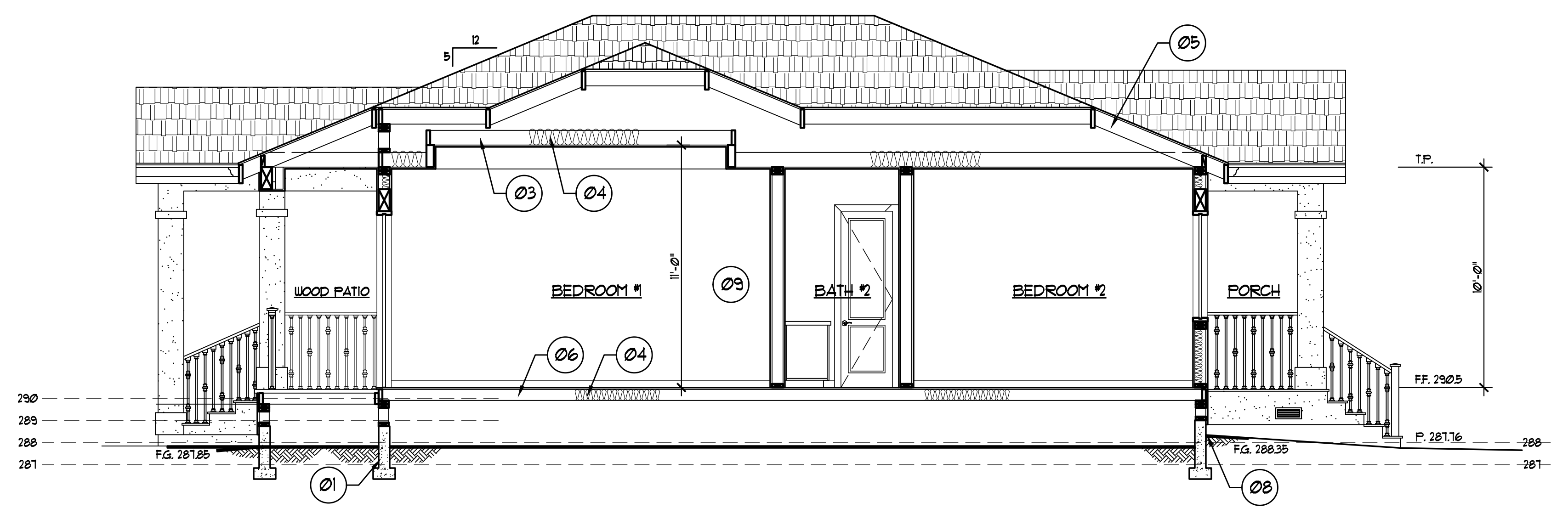
Sheet No.:

**A-10**

File: M:\Scheller Ave. Job: Scheller Ave.



SECTION A-A

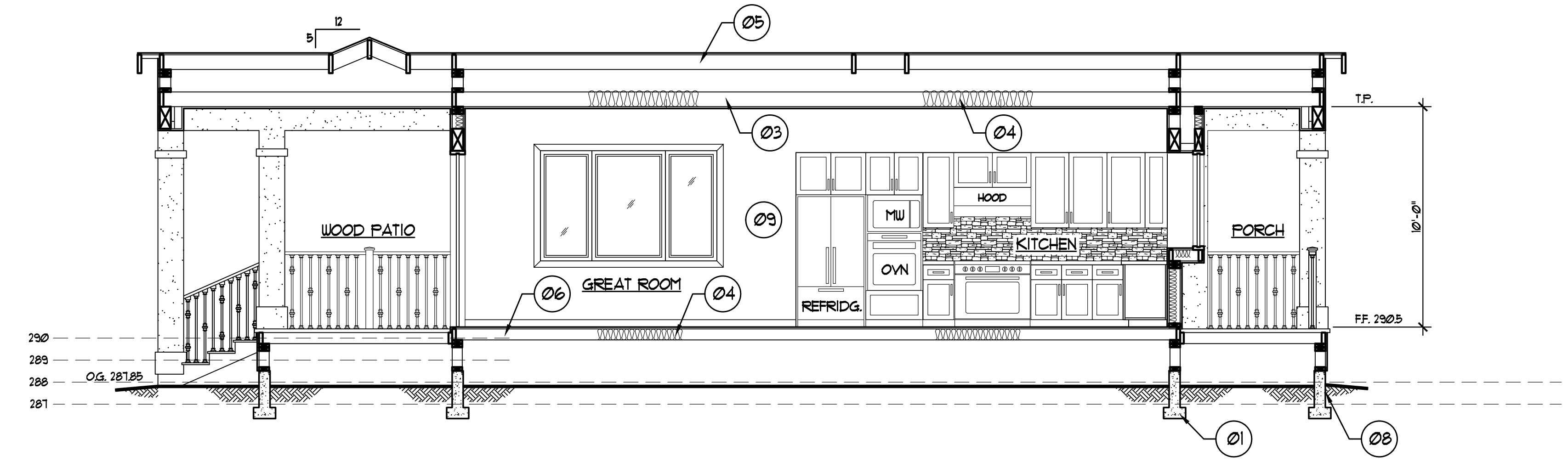


SECTION B-B

**KEY NOTES:**

NOTE: REFER TO STRUCTURAL PLANS FOR ALL MEMBER SIZES, LOCATION & ETC.  
VERIFY ALL EXISTING GRADES (IMPORT & EXPORT OF DIRT) AROUND THE HOUSE AT THE JOB SITE.

- 01. CONCRETE FOOTING
- 02. WALL FRAMING
- 03. CEILING JOISTS
- 04. INSULATION, SEE TITLE 24 REPORT
- 05. ROOF FRAMING
- 06. FLOOR JOISTS
- 07. STUCCO FINISH
- 08. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING & FINISH GRADES
- 09. ALL FINAL INTERIOR FINISHES TO BE VERIFIED & SELECTED BY INTERIOR DESIGNER



SECTION C-C

THIRD STREET (FORMERLY SCHELLER AVENUE)

**BASIS OF BEARINGS**

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF THIRD STREET (FORMERLY SCHELLER AVENUE) AS N51°02'48"E SHOWN ON RECORD OF SURVEY, RECORDED IN BOOK 870 OF MAPS, AT PAGE 5, SANTA CLARA COUNTY RECORDS.

**ABBREVIATIONS**

AC	ASPHALT CONCRETE	FL	FLOWLINE
BLDG	BUILDING	G	GROUND
CB	CATCH BASIN	IP	IRON PIPE
CG	CURB & GUTTER	MB	MAILBOX / MONUMENT BOX
C	CENTERLINE	MH	MANHOLE
CLF	CHAIN LINK FENCE	MON	MONUMENT
CONC	CONCRETE	PL	PROPERTY LINE
DWY	DRIVEWAY	R/W	RIGHT OF WAY
E(OH)	ELECTRIC (OVERHEAD)	SDMH	STORM DRAIN MANHOLE
EC	EDGE OF CONCRETE	SSMH	SANITARY SEWER MANHOLE
EVP	EDGE OF PAVEMENT	SW	SIDEWALK
ELEV	ELEVATION	TOB	TOP OF BANK
EM	ELECTRIC METER	TOE	TOE OF BANK
EX	EXISTING	WF	WOOD FENCE
FF	FINISH ELEVATION OF SUBFLOOR	WLK	WALKWAY
FH	FIRE HYDRANT	WV	WATER VALVE

PARCEL MAP  
299 M 41

PARCEL A  
APN 712-28-005

PARCEL B  
APN 712-28-006

LOT 8  
APN 712-28-058

LOT 9  
APN 712-28-056

RECORD OF SURVEY  
LOT 10  
870 M 5

APN 712-28-059  
LOT AREA = 423,497± SF

TRACT  
459 M 12-13  
639 D

LOT 20  
APN 712-28-044

LOT 18  
APN 712-28-042

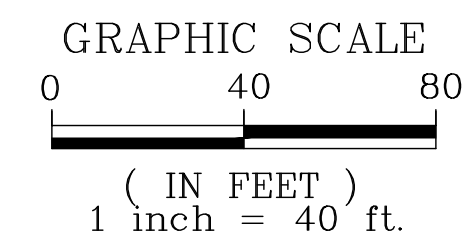
LOT 17  
APN 712-28-041

LOT 16  
APN 712-28-040

**PROJECT BENCHMARK**  
3/4" IRON PIPE RCE 24893  
IN MONUMENT BOX  
ELEV = 285.80' (NAVD88)  
BASED ON GPS OBSERVATION

**NOTES**

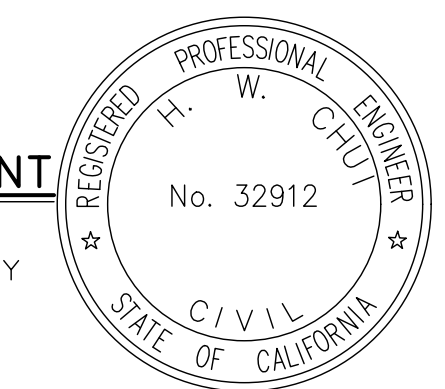
- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.



**SURVEYOR'S STATEMENT**

THIS TOPOGRAPHIC SURVEY WAS PERFORMED BY ME OR UNDER MY DIRECTION.

*Woon Chew*  
H. W. CHUI  
RCE NO. 32912 EXP.06-30-2022



**LEGEND**

- BENCHMARK
- BORDER LINE
- BOUNDARY
- BUILDING OUTLINE
- CATCH BASIN
- CENTERLINE
- CONCRETE
- EXISTING CONTOUR
- EASEMENT LINE
- ELECTRICAL METER
- EXISTING ELEVATION
- EXISTING FENCE
- EXISTING TREE AND DIAMETER
- FLOW LINE
- GAS METER
- HYDRANT: EXISTING
- JOINT POLE
- LIGHT POST
- MAILBOX
- MANHOLE
- MONUMENT LINE
- PARCEL LINE / RIGHT OF WAY
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- SANITARY SEWER STORMDRAIN
- STREET SIGN
- TREE STUMP AND DIAMETER
- TRENCH DRAIN
- UTILITY: EXISTING
- WATER METER
- WATER VALVE

BOUNDARY MAP & TOPOGRAPHIC SURVEY  
SCHELLER AVE

APN 712-28-059

California

Morgan Hill

1 OF 1

DESIGNED	DATE	DRAWN	DATE	CHECKED	DATE
	06/17/21		06/17/21		06/17/21

**ENGINEERING**  
598 E Santa Clara St #270  
San Jose, CA 95112  
Phone: (408) 806-7187  
Fax: (408) 563-4006



DRAWING NO.	PROJECT NO.	CONTRACT NO.	FILE NO.
1			

BY	DATE	APP'D	REVISIONS	NO.

ROAD NAME : SCHELLER AVE

AB AGGREGATE BASE  
AC ASPHALT CONCRETE  
AD AREA DRAIN  
AE ANCHOR EASEMENT  
BB BUBBLER BOX  
BLDG BUILDING  
BSL BUILDING SETBACK LINE  
BW BOTTOM OF WALL/BACK OF WALK  
CG CURB & GUTTER  
C CENTERLINE  
CLF CHAIN LINK FENCE  
CO SANITARY SEWER CLEANOUT  
COP CURB OPENING  
CONC CONCRETE  
CSD COUNTY STANDARD DETAIL  
DE DRAINAGE EMITTER  
DI DRAINAGE INLET  
DS DOWNSPOUT  
DWY DRIVEWAY  
EA EASEMENT  
ELEV ELEVATION

EM ELECTRIC METER  
E(OH) ELECTRIC OVERHEAD  
E(UG) ELECTRIC UNDERGROUND  
EP ANCHOR EASEMENT  
EX EXISTING  
FC FACE OF CURB  
FD FOUND  
FF FINISH ELEVATION OF SUBFLOOR  
FG GROUND FINISH GRADE  
FH FIRE HYDRANT  
FL FLOW LINE  
G GARAGE SLAB ELEVATION/GAS LINE  
GPE GENERAL PUBLIC EASEMENT  
GSB GRADING SETBACK  
GM GAS METER  
HP HI POINT  
INV INVERT  
LIP LIP OF GUTTER  
LS LANDSCAPED AREA  
MAX MAXIMUM  
MH MANHOLE

MIN MINIMUM  
N&S NAIL AND SILVER  
NTS NOT TO SCALE  
OH OVERHEAD  
OG ORIGINAL GROUND  
P PAD  
PAD PAVEMENT FINISH GRADE  
PEL PROPERTY LINE  
PEE PEDESTRIAN EQUESTRIAN EASEMENT  
PERF PERFORATED  
PP POWER POLE PROP PROPOSED  
PSE PUBLIC SERVICE EASEMENT  
PUE PUBLIC UTILITY EASEMENT  
PVMT PAVEMENT  
PVC POLYVINYL CHLORIDE  
R RADIUS  
RW RETAINING WALL  
REM REMOVE  
R/W RIGHT OF WAY  
SD STORM DRAIN  
SDE STORM DRAIN EASEMENT

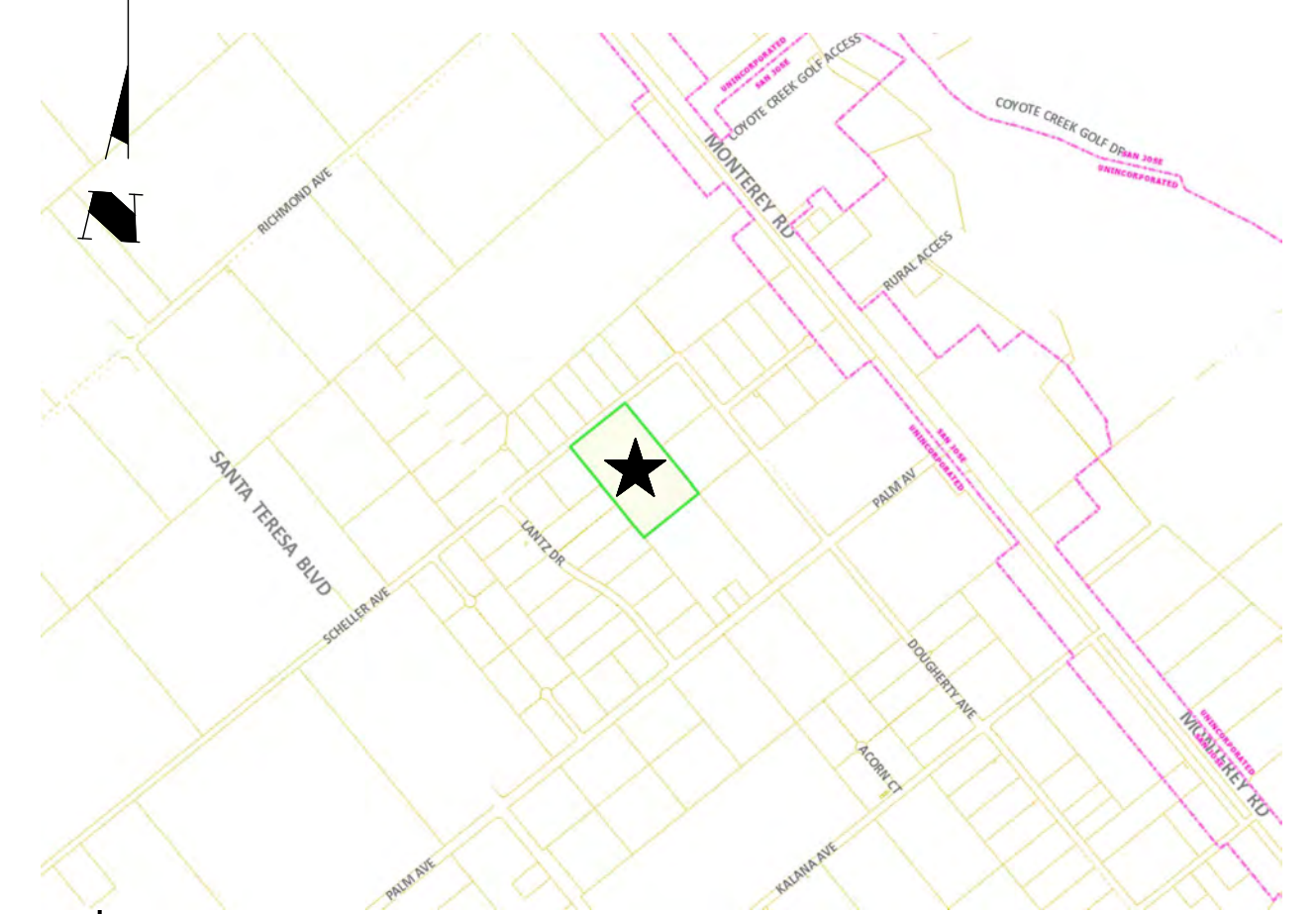
SE SLOPE EASEMENT  
SS SANITARY SEWER/LATERAL  
SSE SANITARY SEWER EASEMENT  
STA STATION  
STD STANDARD CITY DETAIL  
SW SIDEWALK  
TB TOP OF BANK  
TC TOP OF CURB  
TEMP TEMPORARY  
TOC TOP OF COVER  
TOE TOP OF BANK  
TG TOP OF GRATE  
TPF TREE PROTECTION FENCE  
TW TOP OF WALL  
TYP TYPICAL  
VG VALLEY GUTTER  
W WATER  
WCE WIRE CLEARANCE EASEMENT  
WLK WALKWAY  
WM WATER METER  
WOE WIRE OVERHANG EASEMENT  
WV WATER VALVE

**PROPERTY LOCATION INFORMATION**

1. APN: 712-28-059
2. SITE ADDRESS: SCHELLER AVE, MORGAN HILL, CA 95037
3. LOT SITE AREA: 423,497± SQ. FT. / 9.7± ACRES
4. ZONING: A-40AC (100%)
5. HCP RURAL DEVELOPMENT AREAS: IN
6. FIRE RESPONSIBILITY AREA: LRA (100%)
7. FIRE PROTECTION DISTRICT: SOUTH SANTA CLARA COUNTY FIRE PROTECTION DISTRICT
8. GEOHAZARD: COUNTY FAULT RUPTURE HAZARD ZONE
9. GEOHAZARD: COUNTY LIQUEFACTION HAZARD ZONE
10. GEOHAZARD: STATE SEISMIC HAZARD ZONE (LIQUEFACTION)
11. HISTORIC PARCEL: NO
12. FEMA FLOOD ZONE: D (100%)

**SHEET INDEX**

- SHEET C1: OVERALL SITE PLAN  
SHEET C2: ADU GRADING & DRAINAGE PLAN  
SHEET C3: MAIN HOUSE GRADING & DRAINAGE PLAN  
SHEET C4: BUILDING CROSS SECTIONS  
SHEET C5: ADU UTILITY PLAN  
SHEET C6: MAIN HOUSE UTILITY PLAN  
SHEET C7: STREET IMPROVEMENT PLAN  
SHEET C8: EROSION CONTROL PLAN  
SHEET C9: EROSION CONTROL DETAILS



**VICINITY MAP**

LOT 8  
APN 712-28-058

505.46'

505.46'

505.46'

505.46'

505.46'

505.46'

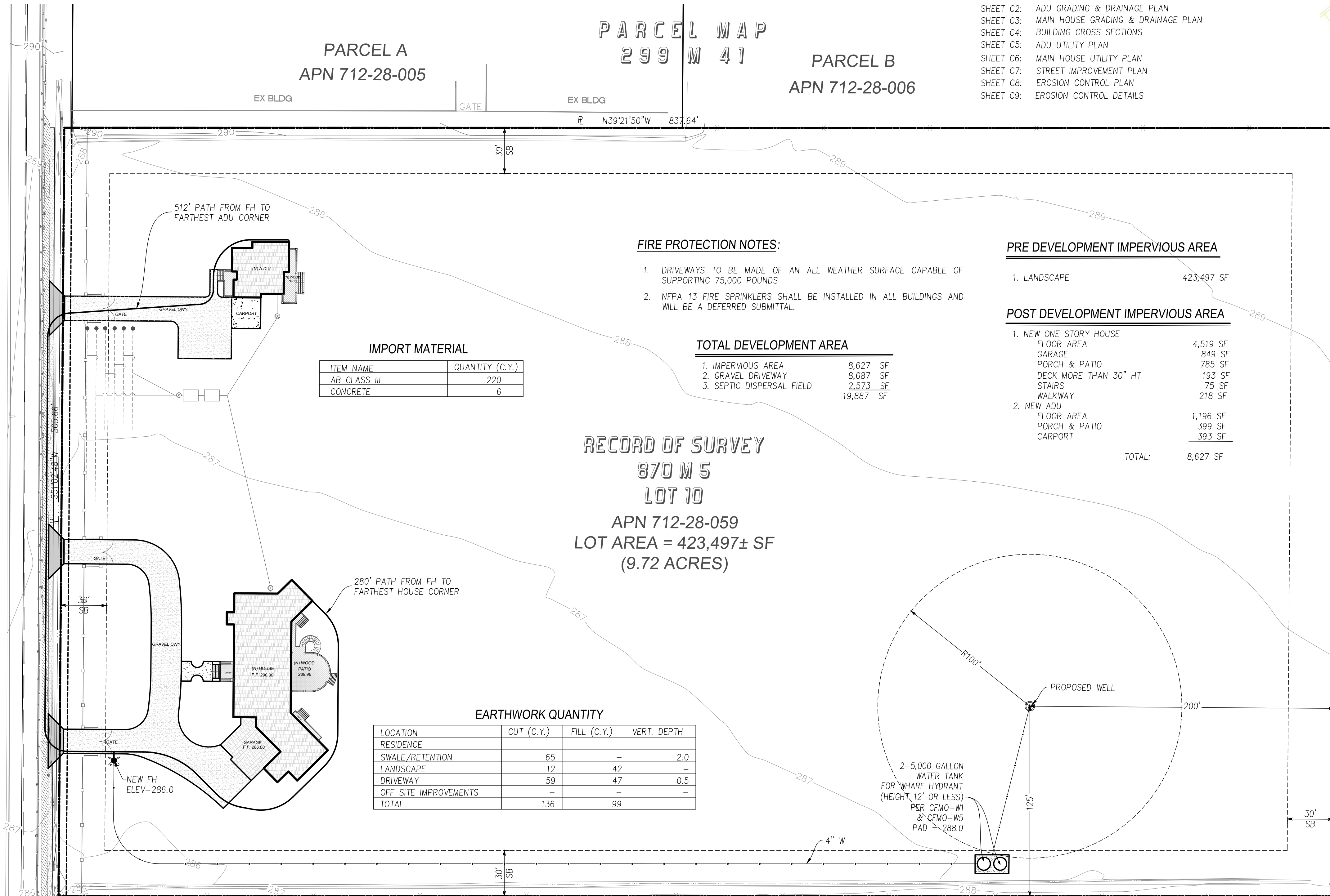
505.46'

SCHELLER AVENUE (FORMERLY THIRD STREET)  
(A COUNTY MAINTAINED ROAD)

PARCEL A  
APN 712-28-005

PARCEL MAP  
299 M 41

PARCEL B  
APN 712-28-006



- FIRE PROTECTION NOTES:**
1. DRIVEWAYS TO BE MADE OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS
  2. NFPA 13 FIRE SPRINKLERS SHALL BE INSTALLED IN ALL BUILDINGS AND WILL BE A DEFERRED SUBMITTAL.

**PRE DEVELOPMENT IMPERVIOUS AREA**

1. LANDSCAPE 423,497 SF

**POST DEVELOPMENT IMPERVIOUS AREA**

1. NEW ONE STORY HOUSE
    - FLOOR AREA 4,519 SF
    - GARAGE 849 SF
    - PORCH & PATIO 785 SF
    - DECK MORE THAN 30" HT 193 SF
    - STAIRS 75 SF
    - WALKWAY 218 SF
  2. NEW ADU
    - FLOOR AREA 1,196 SF
    - PORCH & PATIO 399 SF
    - CARPORT 393 SF
- TOTAL: 8,627 SF

**TOTAL DEVELOPMENT AREA**

1. IMPERVIOUS AREA 8,627 SF
  2. GRAVEL DRIVEWAY 8,687 SF
  3. SEPTIC DISPERSAL FIELD 2,573 SF
- 19,887 SF

**IMPORT MATERIAL**

ITEM NAME	QUANTITY (C.Y.)
AB CLASS III	220
CONCRETE	6

**RECORD OF SURVEY  
870 M 5  
LOT 10**

APN 712-28-059  
LOT AREA = 423,497± SF  
(9.72 ACRES)

**EARTHWORK QUANTITY**

LOCATION	CUT (C.Y.)	FILL (C.Y.)	VERT. DEPTH
RESIDENCE	-	-	-
SWALE/RETENTION	65	-	2.0
LANDSCAPE	12	42	-
DRIVEWAY	59	47	0.5
OFF SITE IMPROVEMENTS	-	-	-
TOTAL	136	99	-

**BASIS OF BEARINGS**

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF THIRD STREET (FORMERLY SCHELLER AVENUE) AS N51°02'48"E SHOWN ON RECORD OF SURVEY, RECORDED IN BOOK 870 OF MAPS, AT PAGE 5, SANTA CLARA COUNTY RECORDS.

**PROJECT BENCHMARK**

3/4" IRON PIPE RCE 24893  
ELEV = 285.80' (NAVD88)  
BASED ON GPS OBSERVATION

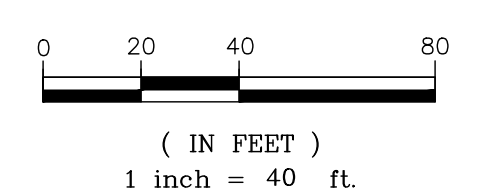
LOT 20  
APN 712-28-044

LOT 18  
APN 712-28-042

LOT 17  
APN 712-28-041

LOT 16  
APN 712-28-040

**GRAPHIC SCALE**



REVISIONS	BY	DATE

**MR. & MRS. HELWEH**  
320 Marzanita Ct, Milpitas, Ca 95035  
E-mail: Helweh1@gmail.com  
Tel: (408) 802-9774

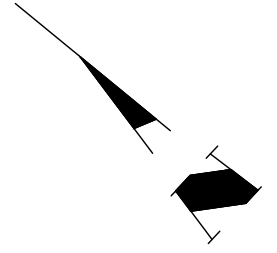
**ENGINEERING**  
598 E Santa Clara St, #270  
San Jose, CA 95112  
Phone: (408) 806-7187

**SITE PLAN  
SCHELLER AVE  
APN 712-28-059**

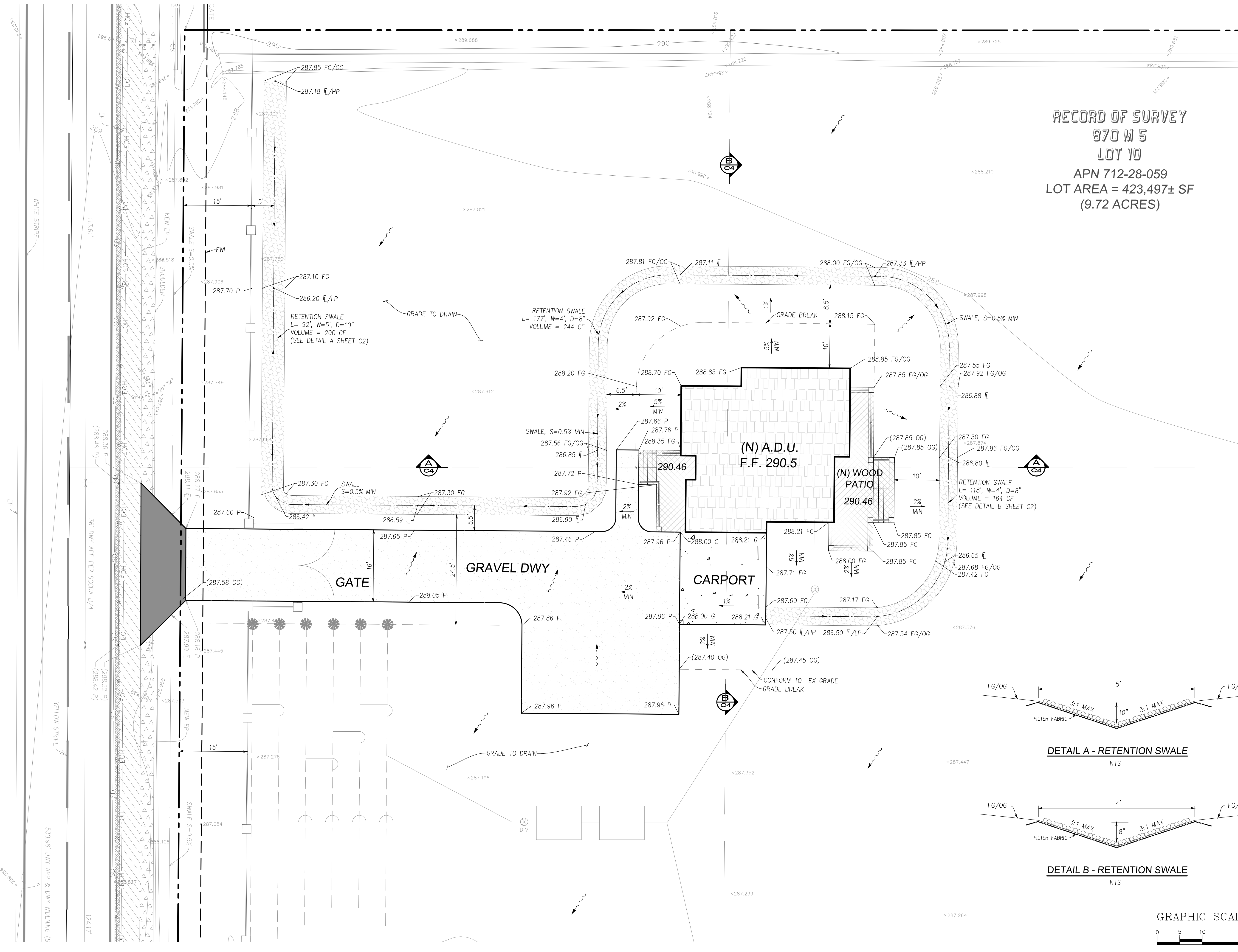
Project No.: MORGAN HILL  
Design: PT  
Checked: NL  
Date: 11/11/22

**SHEET  
C1**

**FILE #**  
.....



SCHELLER AVENUE (FORMERLY THIRD STREET)  
(A COUNTY MAINTAINED ROAD)



RECORD OF SURVEY  
870 M 5  
LOT 10  
APN 712-28-059  
LOT AREA = 423,497± SF  
(9.72 ACRES)

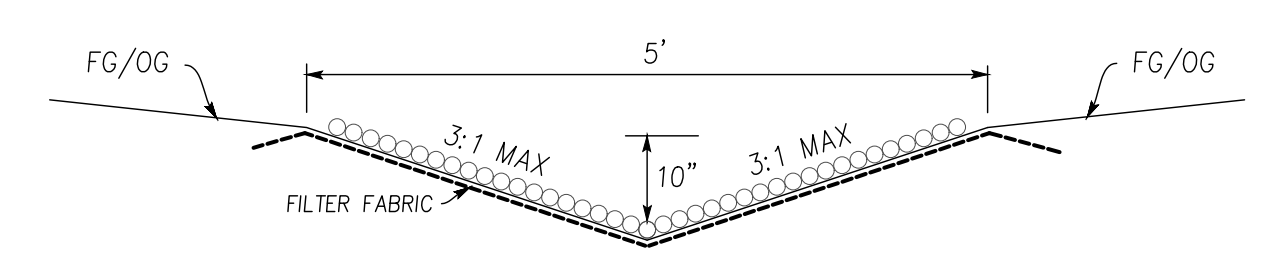


**MR. & MRS. HELWEH**  
320 Manzanita Ct, Milpitas, Ca 95035  
E-mail: Helweha@gmail.com  
Tel: (408) 802-9774

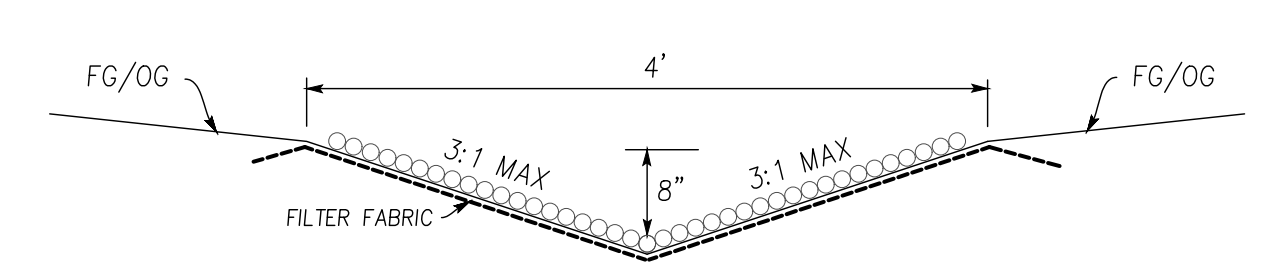
**ENGINEERING**  
598 E Santa Clara St, #270  
San Jose, CA 95112  
Phone: (408) 806-7187

ADU GRADING PLAN  
SCHELLER AVE  
APN 712-28-059

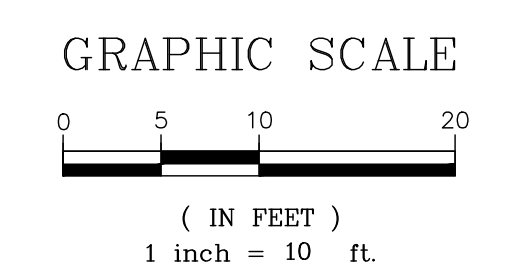
SHEET  
**C2**  
FILE #



DETAIL A - RETENTION SWALE  
NTS



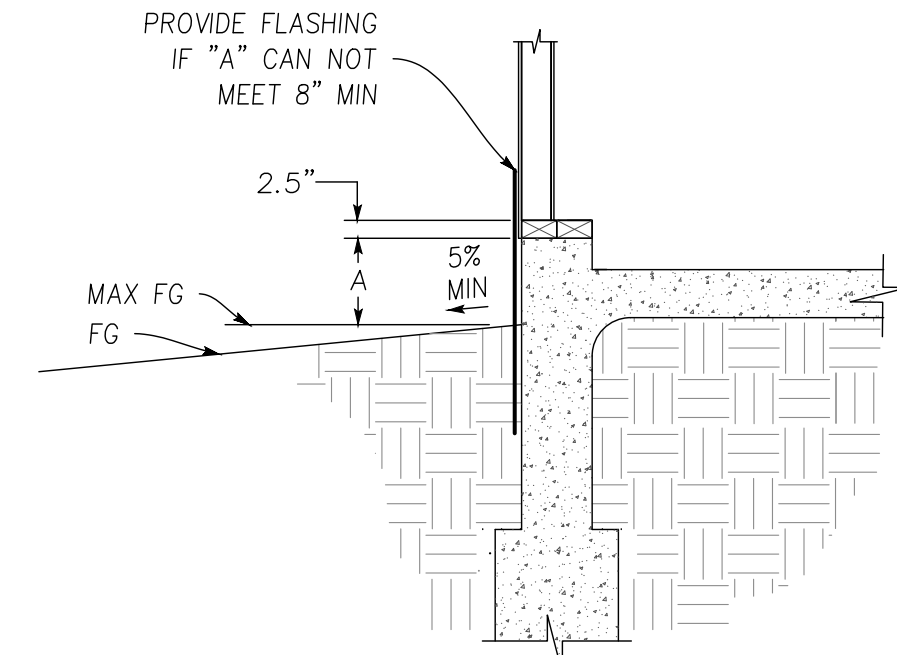
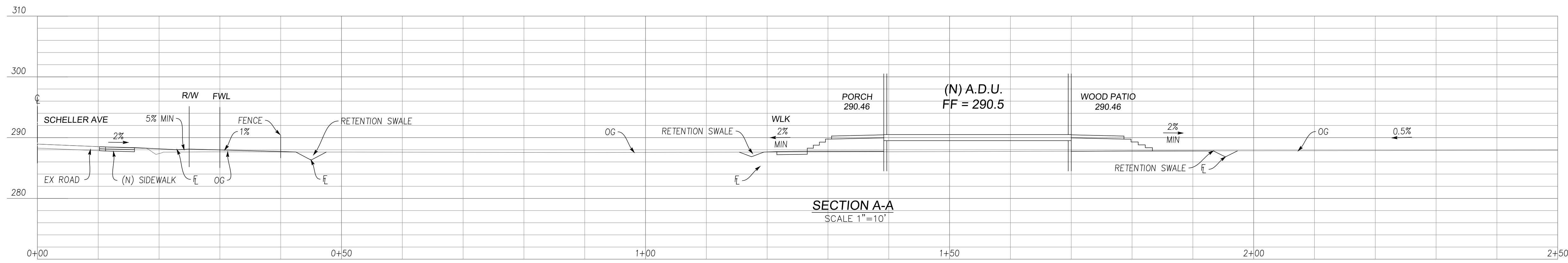
DETAIL B - RETENTION SWALE  
NTS



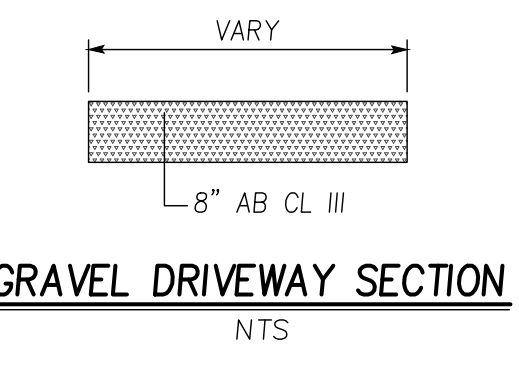
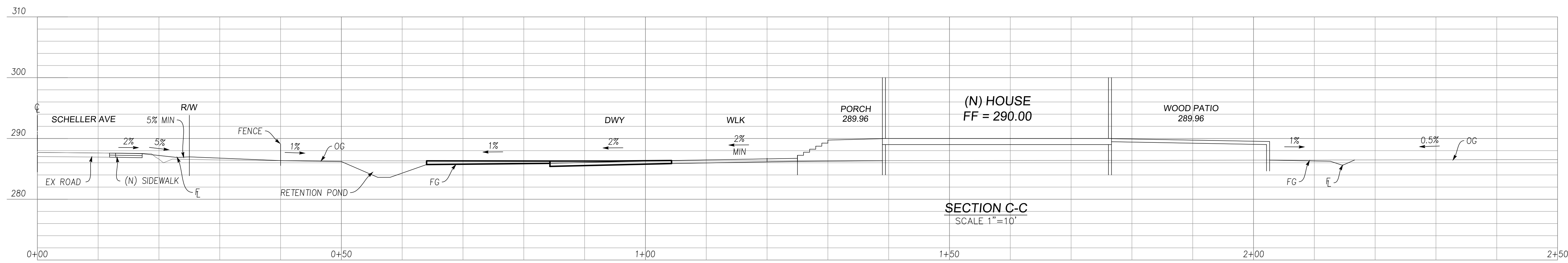
NO.	DATE	BY	REVISIONS

Project No.:  
MORGAN HILL  
Design: PT  
Checked: NL  
Date: 11/11/22

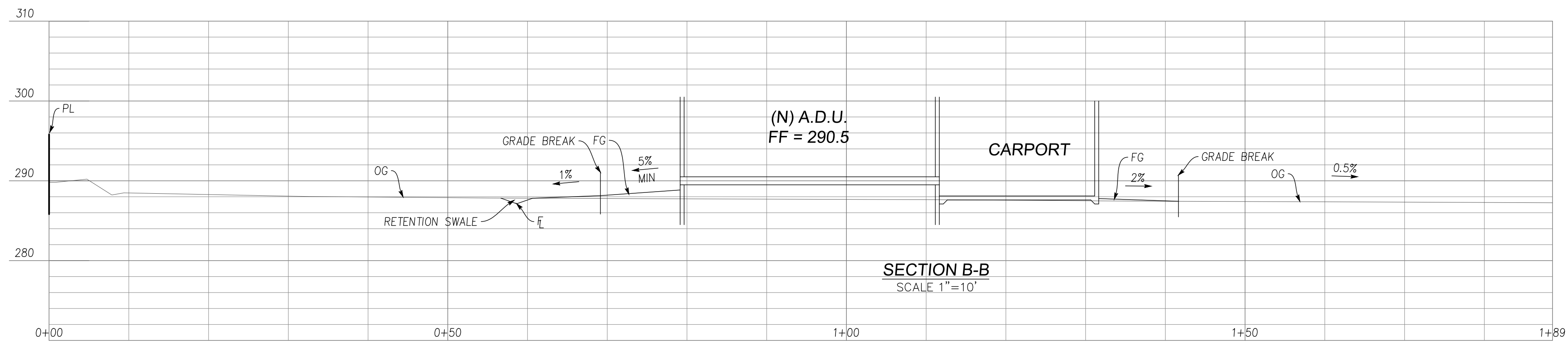




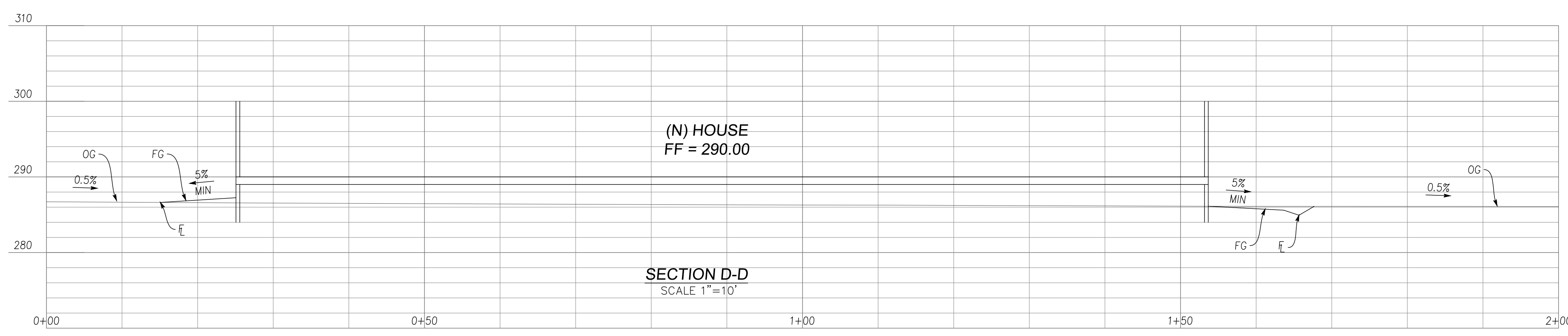
**FOUNDATION DETAIL**  
AT GARAGE  
NTS



**GRAVEL DRIVEWAY SECTION**  
NTS



**SECTION B-B**  
SCALE 1"=10'



**SECTION D-D**  
SCALE 1"=10'

ESTIMATE EARTHWORK QUANTITY							
No.	STATION		AREA (SQUARE FEET)		DISTANCE (FEET)	VOLUME (CUBIC YARD)	
			CUT	FILL		CUT	FILL
1	A-A	FRONT	0.00	4.17	32.50	0.00	5.02
		REAR	0.20	0.00	40.50	0.30	0.00
2	B-B	LEFT	0.00	4.94	73.50	0.00	13.44
		RIGHT	0.00	1.47	38.50	0.00	2.10
3	C-C	FRONT	15.78	12.74	101.00	59.03	47.66
		REAR	1.05	6.27	98.85	3.84	22.96
4	D-D	LEFT	0.00	3.40	60.00	0.00	7.56
		RIGHT	2.59	0.00	82.00	7.87	0.00
5	SWALE	ADU	1.34	0.00	295.00	14.64	0.00
		MAIN	2.08	0.00	92.00	7.07	0.00
		MAIN	1.34	0.00	234.00	11.61	0.00
6	POND	MAIN	16.00	0.00	54.00	32.00	0.00
<b>TOTAL</b>						<b>136.00</b>	<b>99.00</b>
<b>IMPORT</b>						<b>0</b>	<b>CUBIC YARD</b>
<b>EXPORT</b>						<b>37</b>	<b>CUBIC YARD</b>

NO.	REVISIONS	BY	DATE

**MR. & MRS. HELWEH**  
320 Marzanita Ct., Milpitas, Ca 95035  
E-mail: Helweh1@gmail.com  
Tel: (408) 802-9774

**ENGINEERING**  
588 E Santa Clara St, #270  
San Jose, CA 95112  
Phone: (408) 806-7187

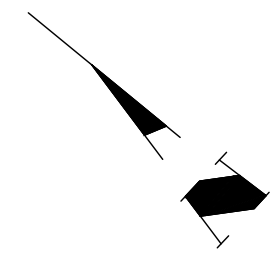
**BUILDING CROSS SECTIONS**  
SCHELLER AVE  
APN 712-28-059

MORGAN HILL  
Project No.: \_\_\_\_\_  
Designed: PT  
Checked: NL  
Date: 11/17/22

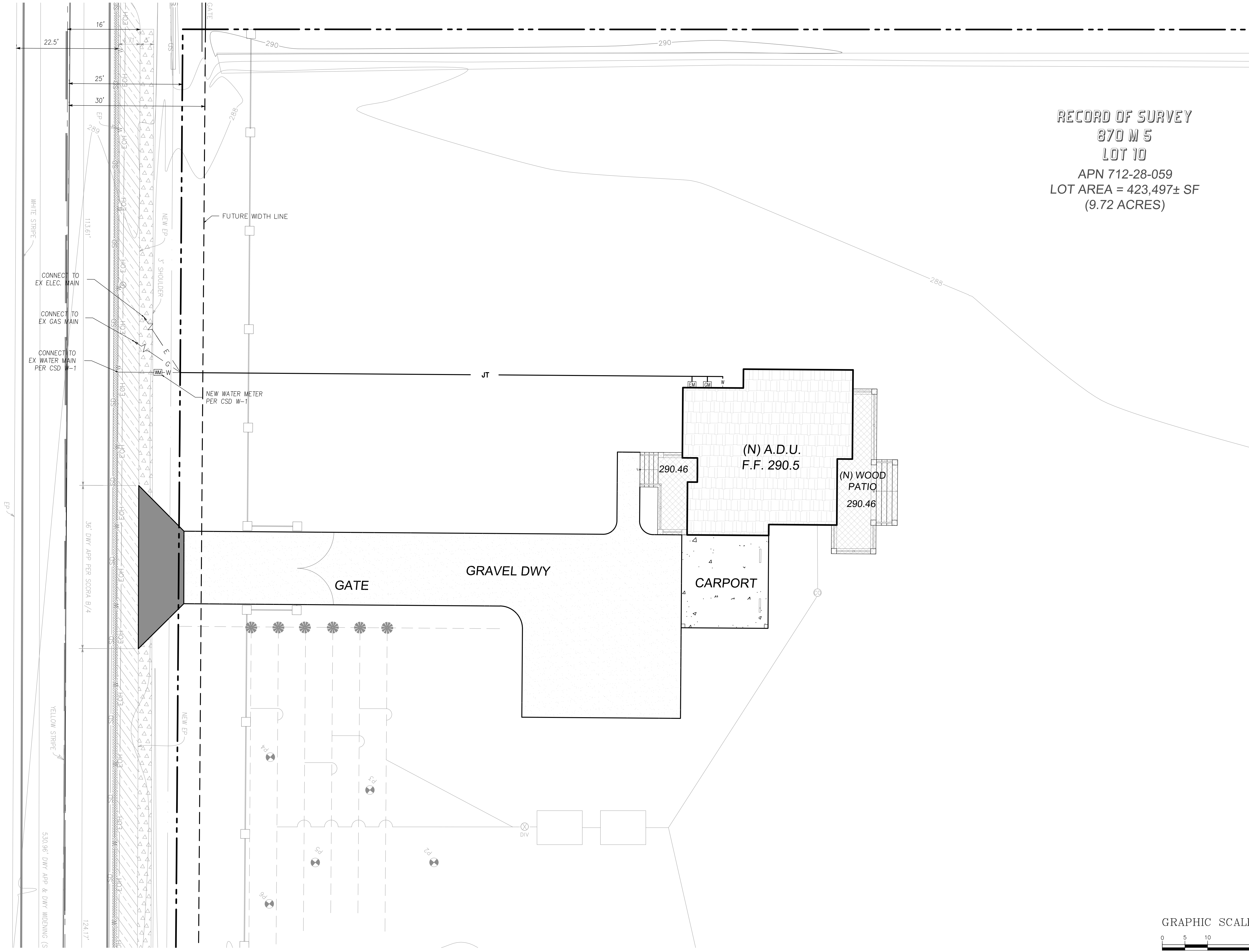
SHEET  
**C4**

FILE #  
.....

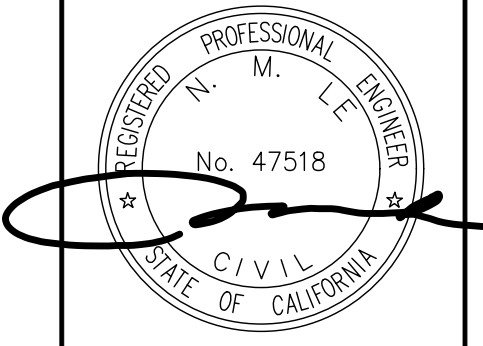




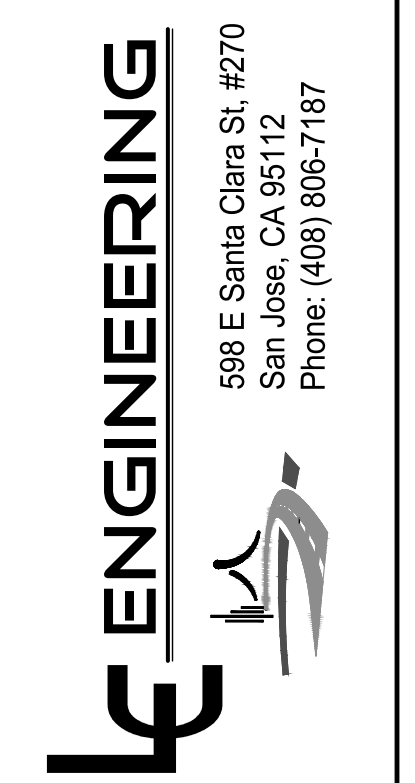
SCHELLER AVENUE (FORMERLY THIRD STREET)  
(A COUNTY MAINTAINED ROAD)



RECORD OF SURVEY  
870 M 5  
LOT 10  
APN 712-28-059  
LOT AREA = 423,497± SF  
(9.72 ACRES)



MR. & MRS. HELWEH  
320 Marzanita Ct, Milpitas, Ca 95035  
E-mail: Helweh1@gmail.com  
Tel: (408) 802-9774

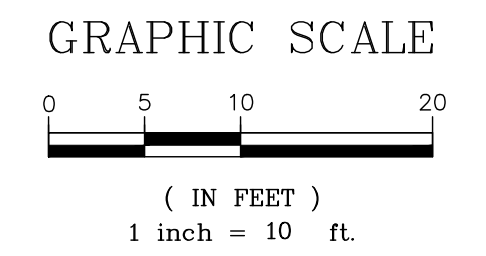


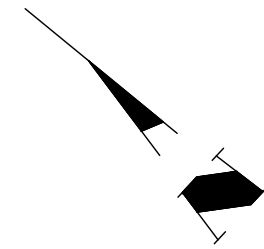
ADU UTILITY PLAN  
SCHELLER AVE  
APN 712-28-059  
MORGAN HILL  
Project No.:  
Designed: PT  
Checked: NL  
Date: 11/17/22

SHEET  
C5

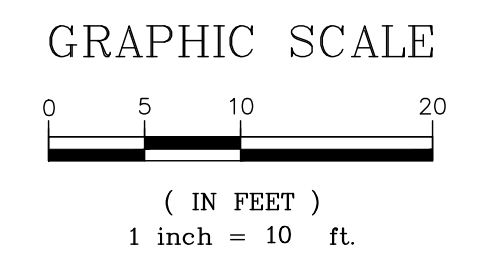
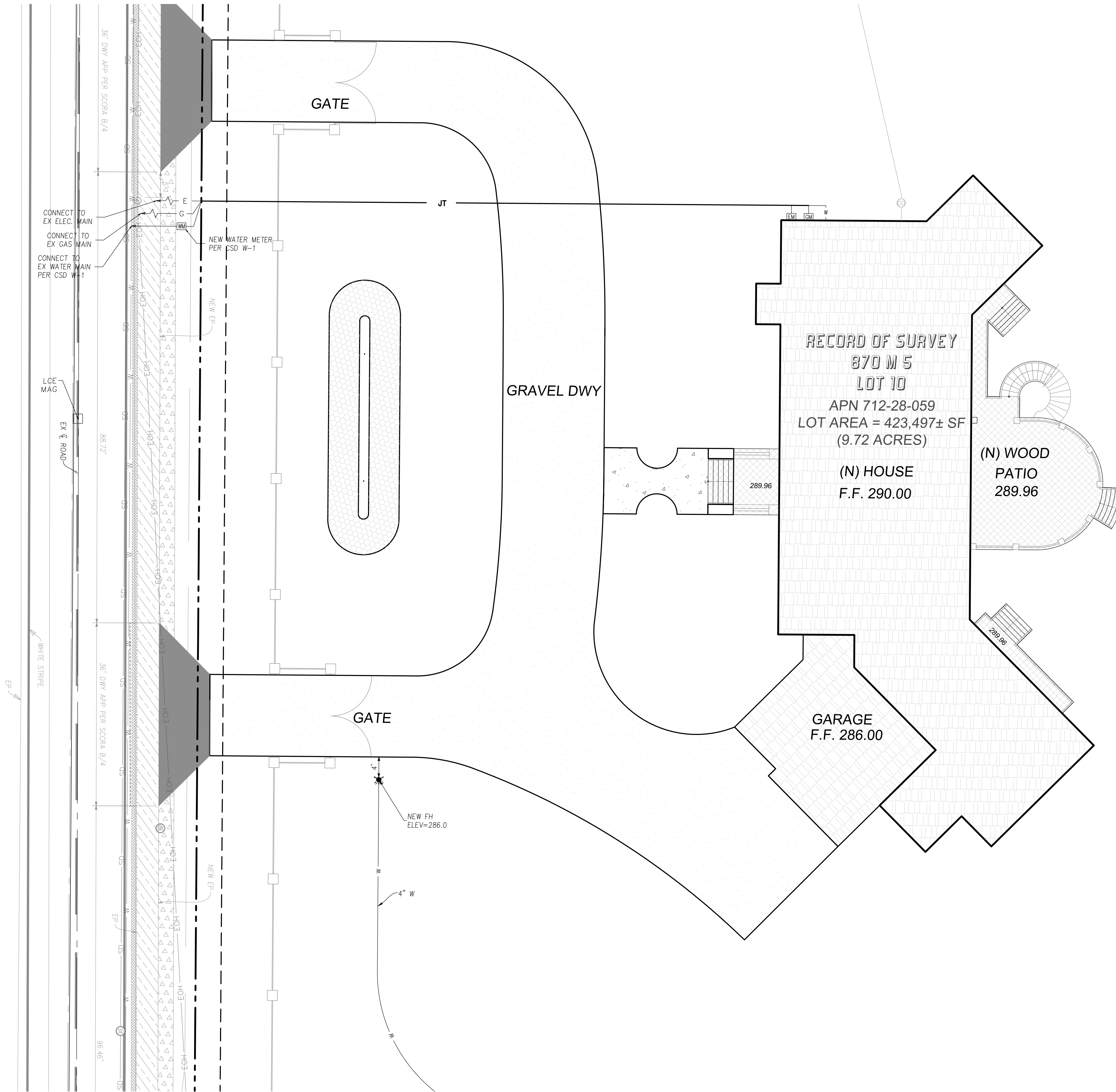
FILE #  
.....

NO.	REVISIONS	BY	DATE

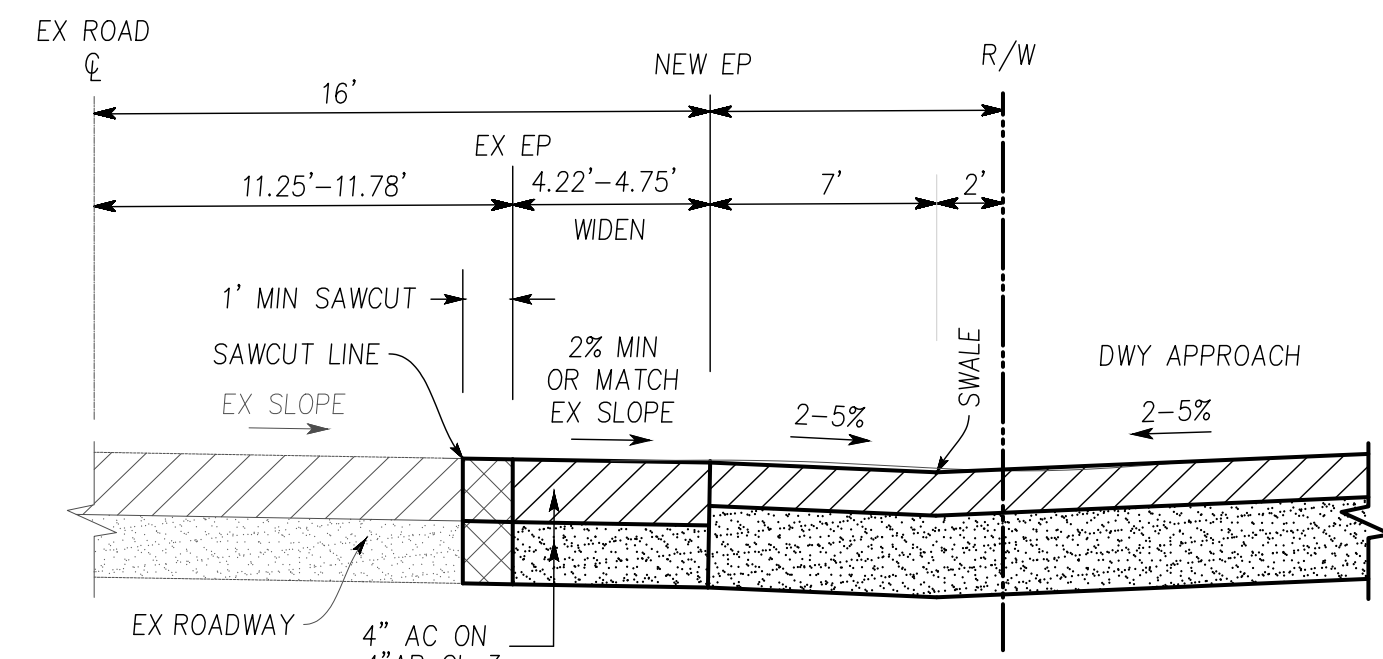




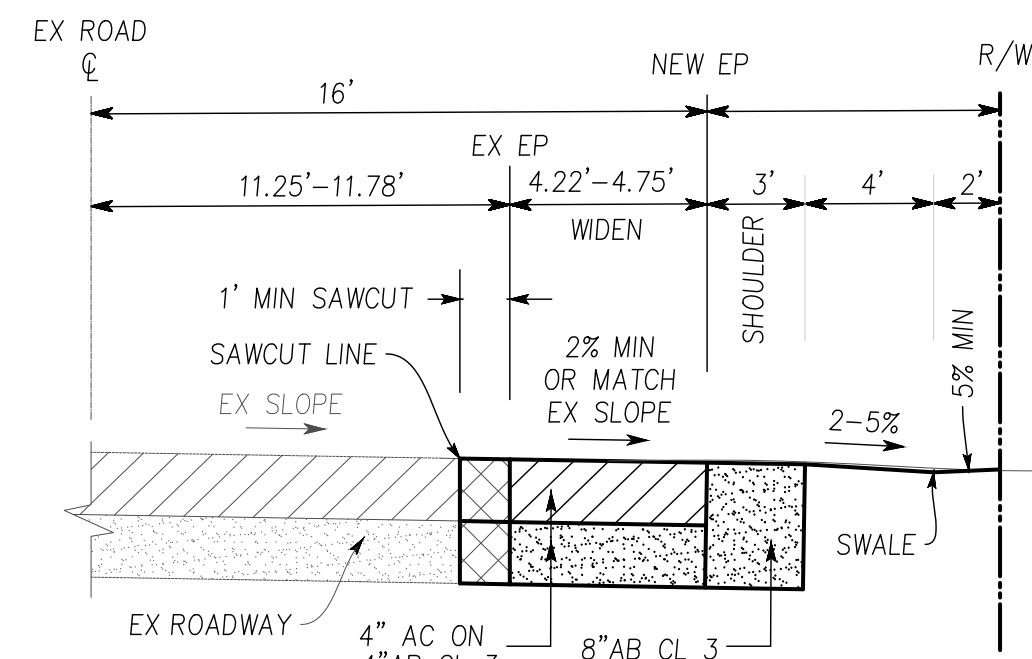
SCHELLER AVENUE (FORMERLY THIRD STREET)  
(A COUNTY MAINTAINED ROAD)



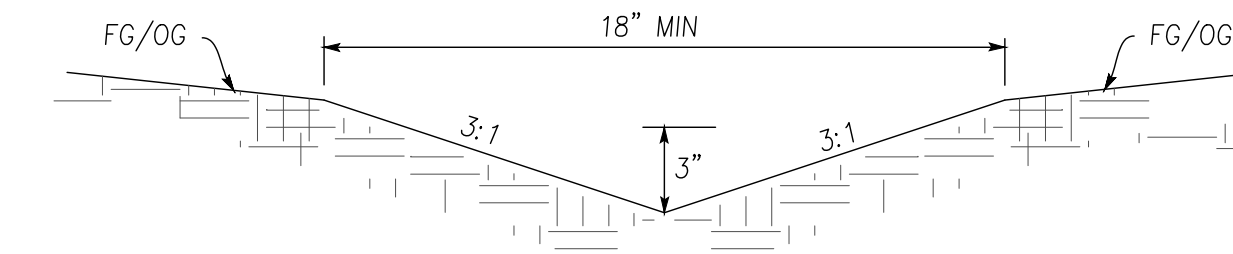
<b>MAIN HOUSE UTILITY PLAN</b> SCHELLER AVE APN 712-28-059		CALIFORNIA Project No.: MORGAN HILL Designed: PT Checked: NL Date: 11/11/22															
<b>SHEET</b> C6		<b>FILE #</b> .....															
<b>MR. &amp; MRS. HELWEH</b> 320 Manzanita Ct, Milpitas, Ca 95035 Email: Helweha1@gmail.com Tel: (408) 802-9774		REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	BY												
NO.	DATE	BY															
588 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187																	



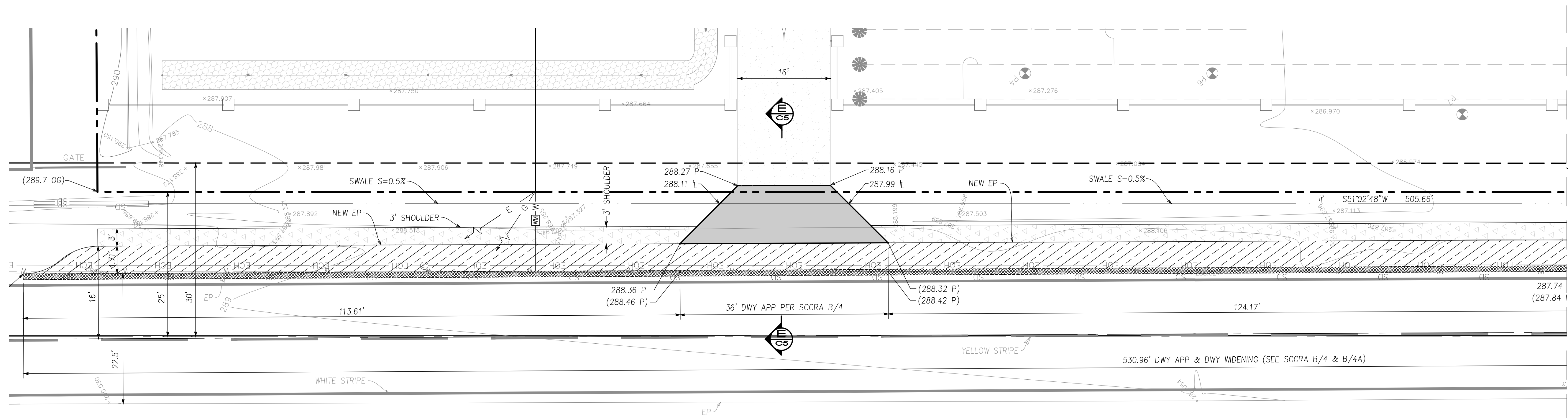
SECTION E-E  
NTS



SECTION F-F  
NTS

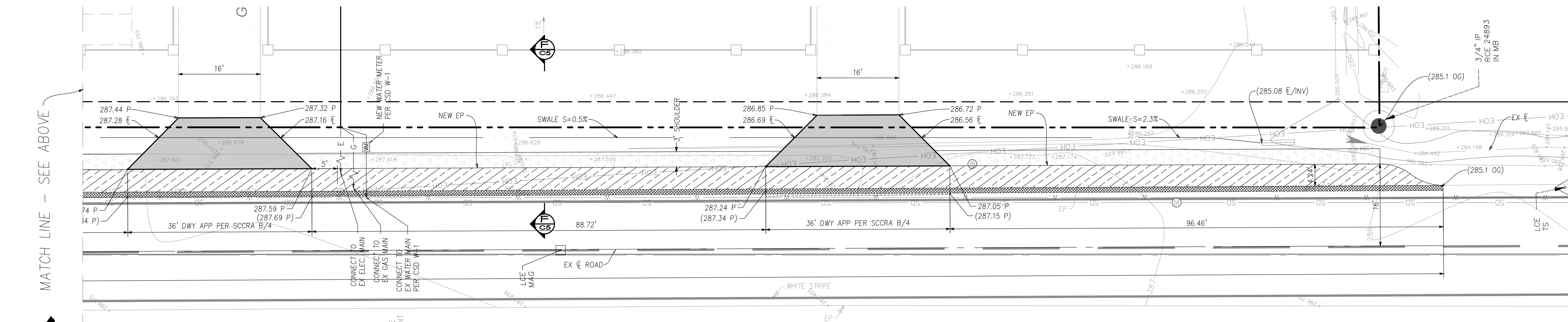


SWALE TYPICAL SECTION  
NTS

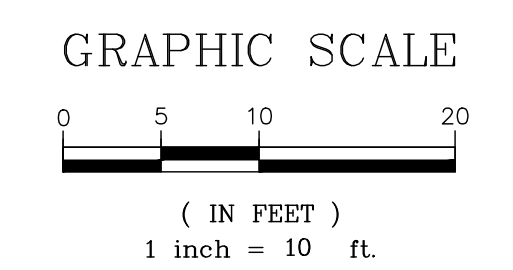


SHELLER AVENUE (FORMERLY THIRD STREET)  
(A COUNTY MAINTAINED ROAD)

MATCH LINE - SEE BELOW



SHELLER AVENUE (FORMERLY THIRD STREET)  
(A COUNTY MAINTAINED ROAD)



REVISIONS	BY	DATE

**MR. & MRS. HELWEH**  
320 Marzanita Ct, Milpitas, Ca 95035  
E-mail: Helweh@Gmail.com  
Tel: (408) 802-9774

---

**ENGINEERING**  
598 E Santa Clara St, #270  
San Jose, CA 95112  
Phone: (408) 806-7187

---

**STREET IMPROVEMENT PLAN**  
SHELLER AVE  
APN 712-28-059

MORGAN HILL  
Project No.:  
Design: PT  
Checked: NL  
Date: 11/11/22

---

SHEET  
**C7**

---

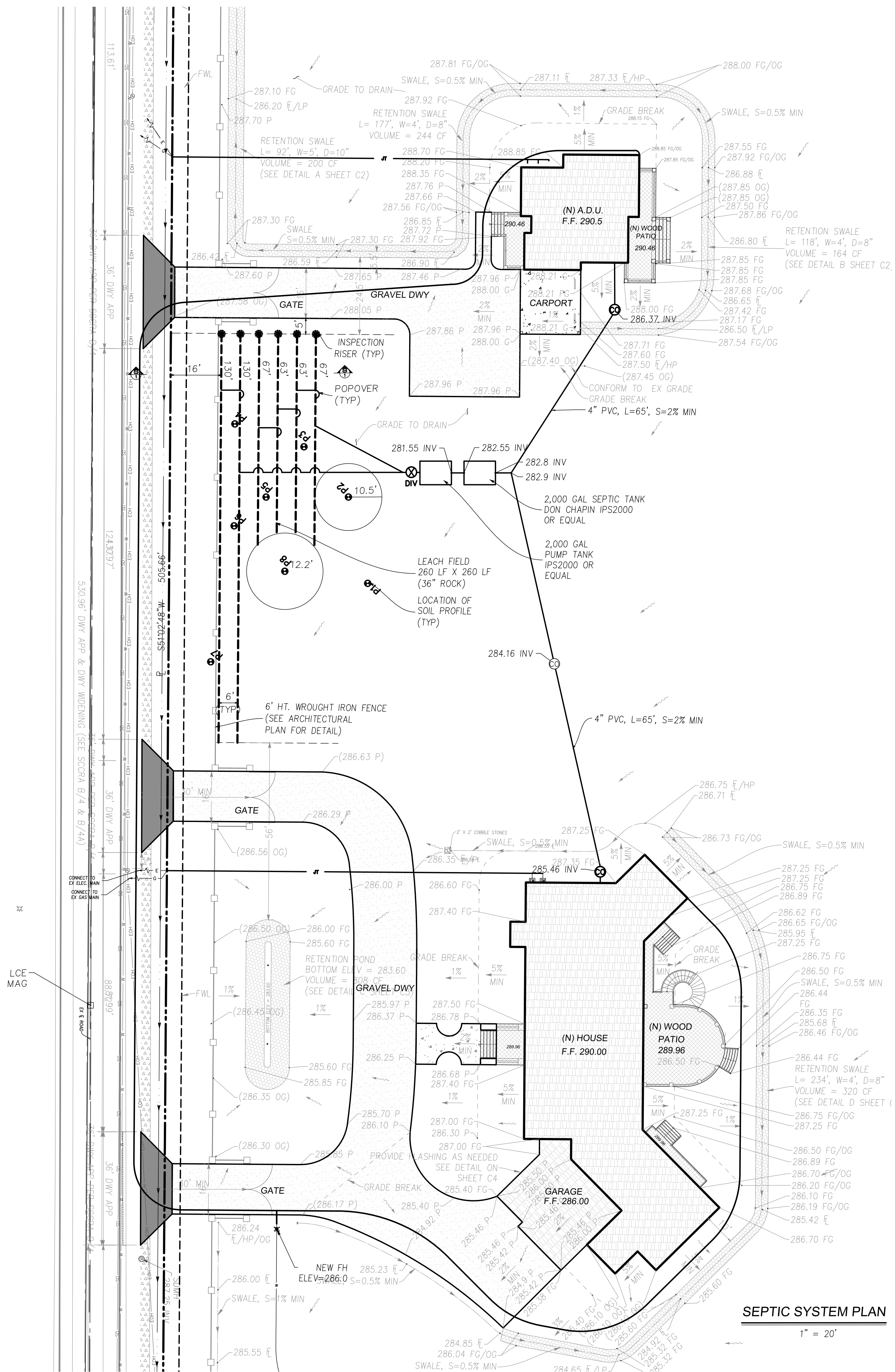
FILE #  
.....



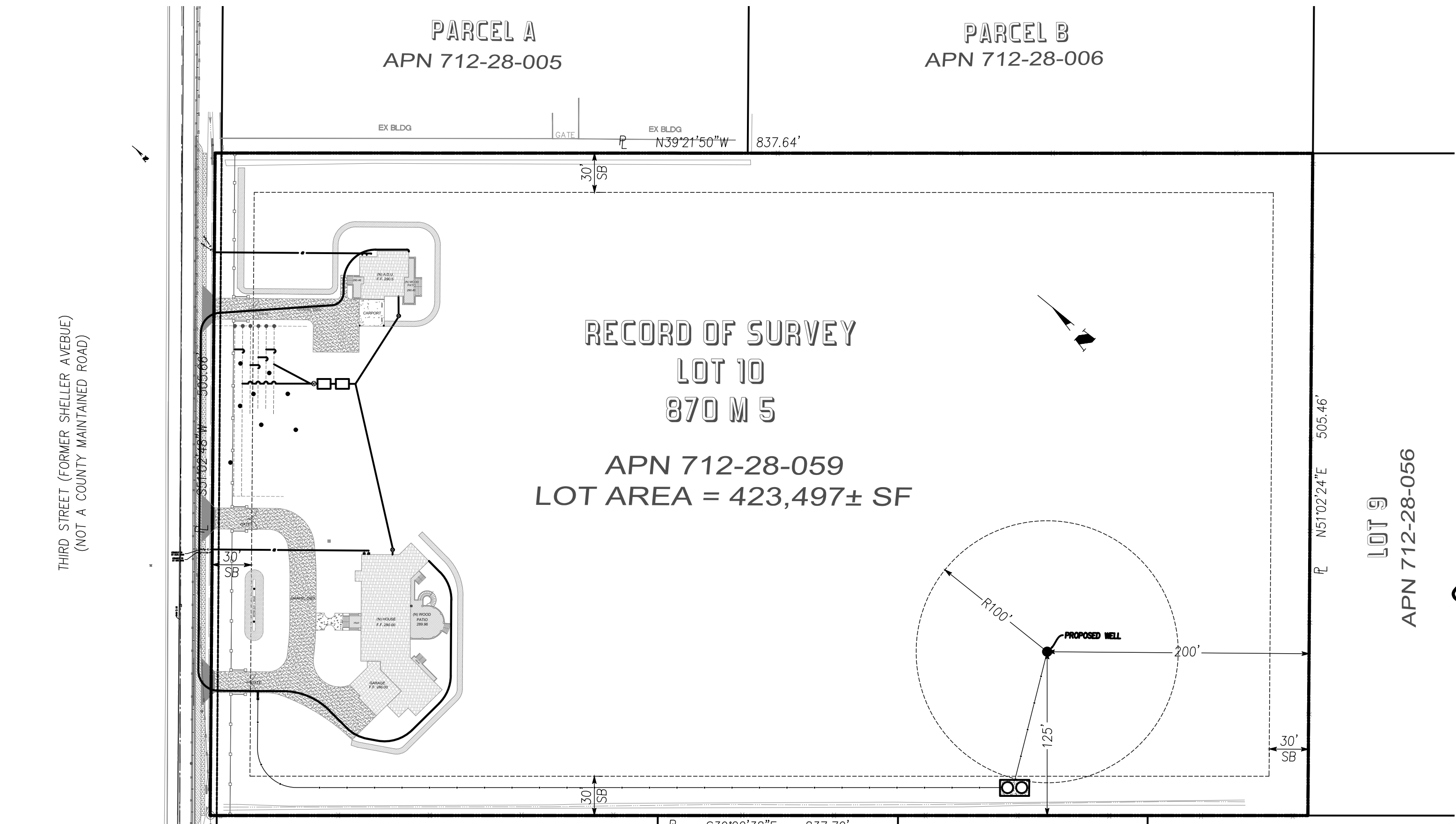
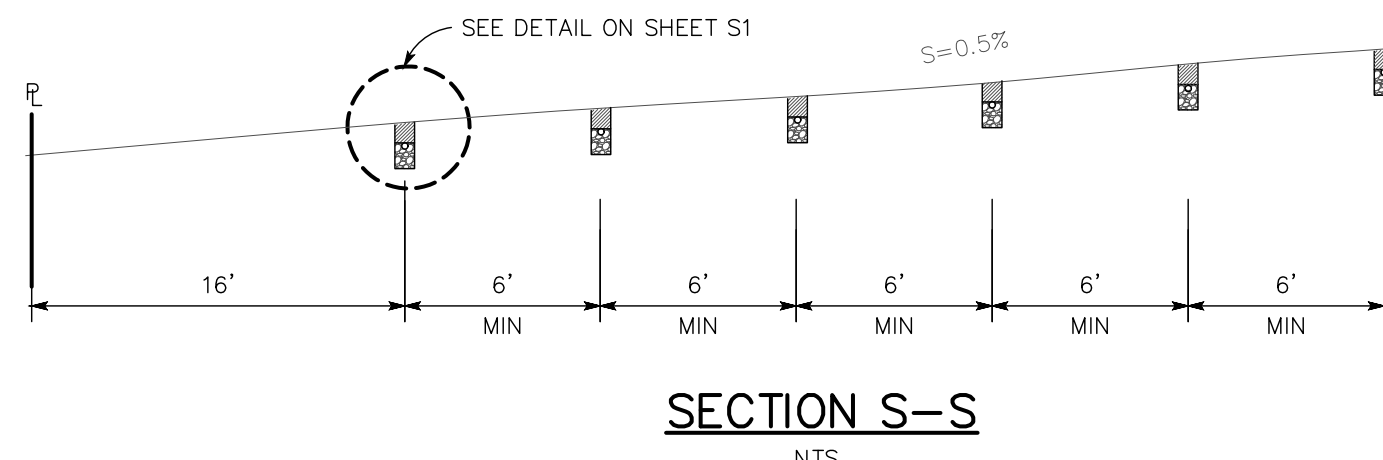
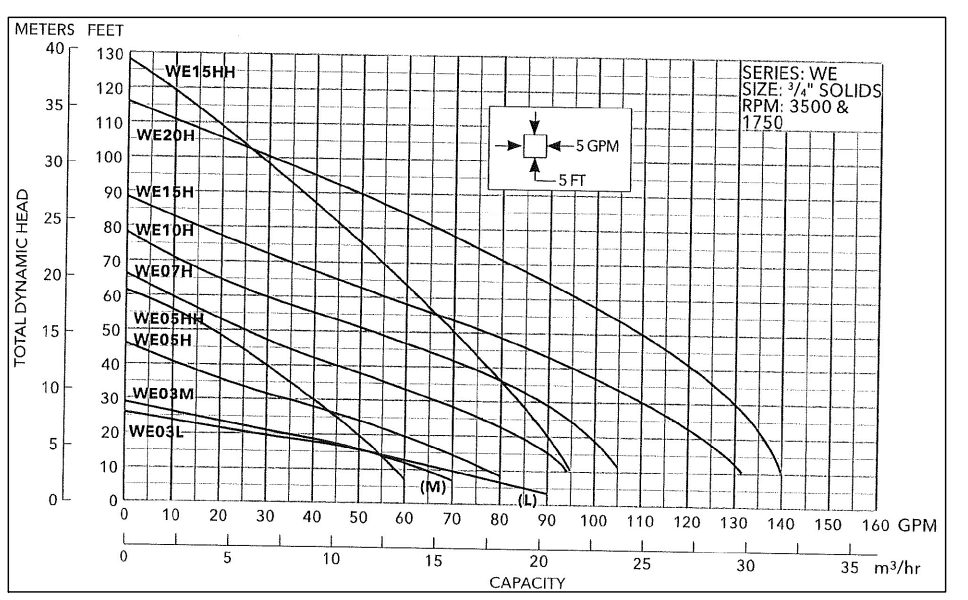
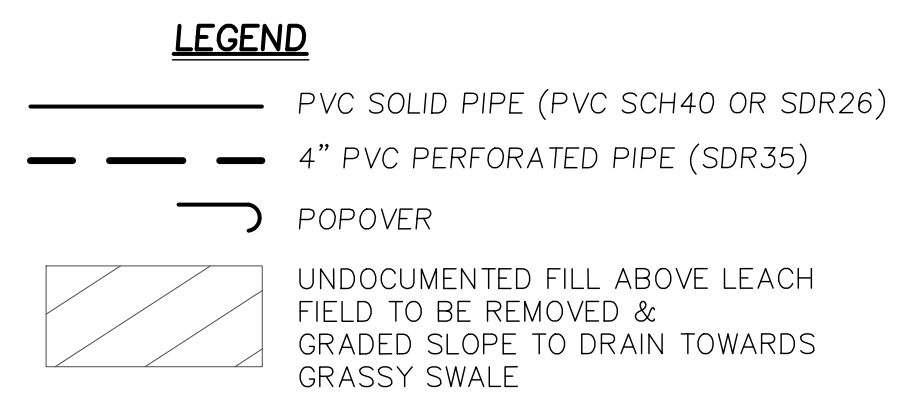




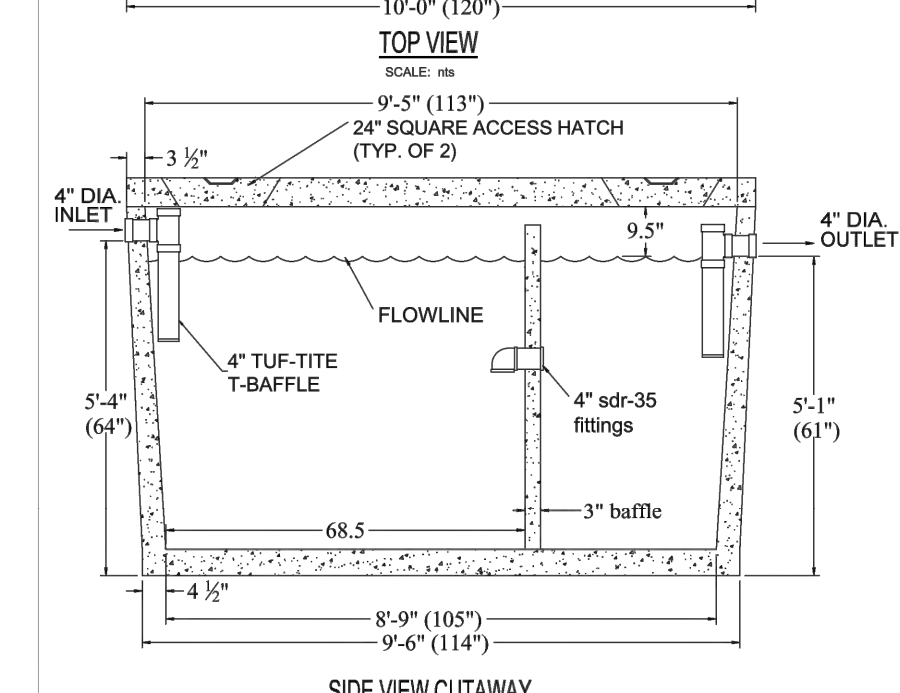
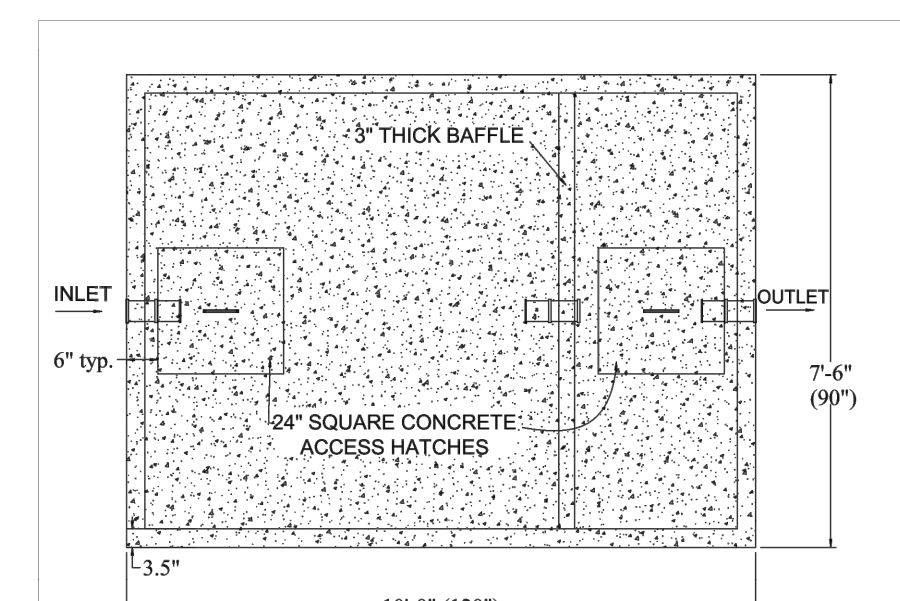
SCHELLER AVENUE (FORMERLY THIRD STREET)  
(A COUNTY MAINTAINED ROAD)



**SEPTIC SYSTEM PLAN**  
1" = 20'



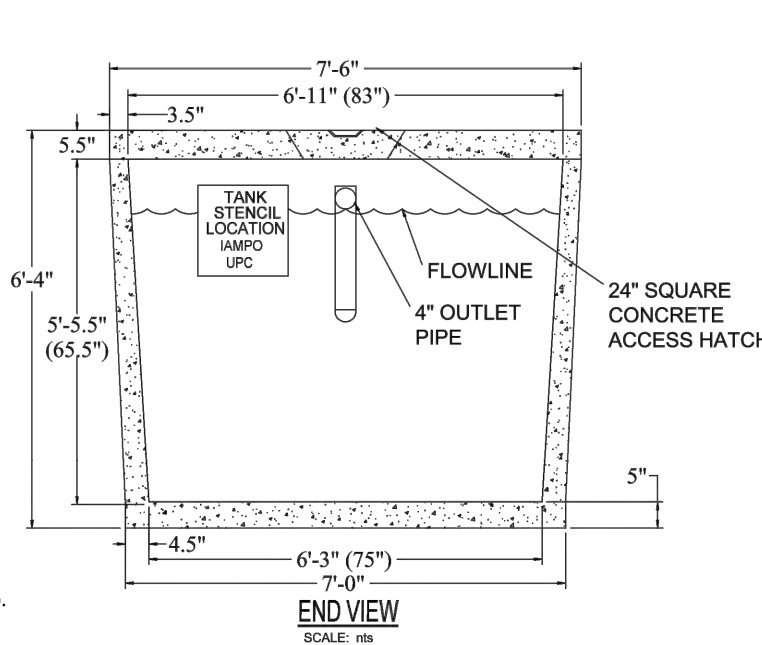
**OVERALL SITE PLAN**  
1" = 70'



NOTE: THIS TANK CAN BE CAST WITH ORENCO RISER ADAPTERS (24" OR 36") INSTEAD OF CONCRETE PLUGS. PLEASE ASK FOR DETAILS WHEN PLACING ORDER.

NOTE: INLET AND OUTLET PIPES ARE FITTED WITH WATER TIGHT A-LOCK PIPE CONNECTIONS (STANDARD).

- NOTES:**
- EXCAVATION SPECIFICATIONS:  
LENGTH 11' - 0"  
WIDTH 9' - 0"  
DEPTH BELOW INLET 5'-4"
  - DON CHAPIN PRE-CAST MAY MAKE CHANGES TO THE DESIGN AND OR TO THE DIMENSIONS WITHOUT NOTICE. PLEASE CONTACT DON CHAPIN PRE-CAST WHENEVER NECESSARY TO CONFIRM DESIGN CRITERIA.
  - CERTIFIED ENGINEERING IS AVAILABLE UPON REQUEST.
  - THIS IS ALSO AVAILABLE AS AN H20 RATED ASSEMBLY
  - INTEGRAL TOP TO BODY DESIGN



**DON CHAPIN PRE-CAST**  
2735 BOLSA RD.  
HOLLISTER, CA 95023  
(831) 630-1042  
(831) 630-5763

**PRE-CAST SEPTIC TANK**  
CAPACITY 2000 GALLONS  
MODEL IPS2000



3/13/09

<p><b>SAHEL HELWEH</b> 320 Manzanita Ct, Milpitas, CA 95035 E-mail: helweha1@gmail.com Tel: (408) 802-9774</p>	<p><b>REGISTERED PROFESSIONAL ENGINEER</b> No. 47518 CIVIL STATE OF CALIFORNIA</p>						
<p><b>ENGINEERING</b> 588 E Santa Clara St, #270 San Jose, CA 95122 Phone: (408) 806-7887 Fax: (408) 583-4006</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	BY			
NO.	DATE	BY					
<p><b>SEPTIC SYSTEM PLAN</b> SCHELLER AVENUE APN 712-28-059</p>	<p>CALIFORNIA Project No: _____ Designer: HV Checked: NG Date: 11/11/22</p>						
<p>SHEET S2 2 OF 2 SHEETS PW PROJECT # _____</p>	<p>MORGAN HILL</p>						