OWNER: MIKE MOINEE [ADDRESS] PHONE #: (949) 233-1014 MA MOINEE@GMAIL.COM DESIGNER: KRISTEN LE 598 EAST SANTA CLARA ST SAN JOSE, CA, 95112 KLE@LCENGINEERING NET STRUCTURAL ENGINEER: ADDRESS PHONE #: EMAIL SURVEYOR / CIVIL 598 EAST SANTA CLARA ST ENGINEER: ADDRESS PHONE #: EMAIL SURVEYOR / CIVIL 598 EAST SANTA CLARA ST ENGINEER: ADDRESS NA JOSE, CA, 95112 NLE@LCENGINEERING.NET MIMPLE SURVEYOR / CIVIL 598 EAST SANTA CLARA ST ENGINEER: ADDRESS NLE@LCENGINEERING.NET	PROJECT ADDRESS & ZONING: ADDRESS & ZONING: ADDRESS & 20NING: ADDRESS & 15980 LORI ANN'E IN. SAN JOSE, CA, 95127 APW: 612-13-018 ZONING IDININCORPORATED, SOI: SAN JOSE ZONING IDISTRICT: RR-d1 (100%) PROJECT DESCRIPTION: 1. A NEW 2,778 SF 4 BED / 4 BATH MAIN HOUSE AND 3-CAR TANDEM GARAGE 2. A NEW 1,198 SF 3 BED / 2 BATH BASEMENT ADU -SEE SITE PLAN FOR ADDITIONAL INFORMATION. OTHER INFO: HOP AREA: YES (LRA, 100%) HISTORIC PARCEL: NO HISTORIC PARCEL: NO HISTORIC PARCEL: NO GUIHAZINED YES (COUNTY FAULT RUPTURE HAZARD ZONE) SANITARY DISTRICT: COUNTY SANITATION DISTRICT 2-3 (PROPERTY LINE CLEAN OUT REQUIRED) BUILDING CODE INFORMATION. OCCUPANCY TYPE: CONST. TYPE:		A0.0 PROJECT INFORMATION A0-1 GENERAL NOTES C1 SITE GRADING PLAN C2 DRIVEWAY PROFILE & SECTIONS A1-0 SITE PLAN A2-0 FLOOR PLAN A2-1 SECOND FLOOR PLAN A3-0 MAIN HOUSE ROOF PLAN A3-0 MAIN HOUSE ROOF PLAN A4-0 PROPOSED ELEVATIONS A4-1 PROPOSED ELEVATIONS A5-0 PROPOSED SECTIONS GA-0 ADU FLOOR PLAN	No. 47518
LEGEND	ABBREVIATIONS	STAMPS - APPROVALS	GENERAL NOTES 1. FLECTRICAL MECHANICAL PLUMBING STRUCTURAL STEEL FRAMING AND SUB-	San Jose, CA,
(P) 8 12' STUD WALL (P) 12' STUD WALL (P) 12' STUD WALL (E) WALL TO REMAN (E) WALL TO REMANDED DOOR SYMBOL, SEE SCHEDULE WINDOW & SKYLICHT SYMBOL, SEE SCHEDULE WIND	AB. ACUELS ACQUIS ACT FLB. ACQUIS ACQUIS ACCUSTON. ACQUIS AC		1. ELECTRICAL MECHANICAL, PLUMBING, STRUCTURAL STELL FRAMING AND SUB- CONTRACTORS SHALL DE PERFORMENTS. 2. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL LOCAL. COUNTY, STATE AND FEDERAL CODES, LOCAL ORDINANCES AND REGULATIONS APPLICABLE AS POLLOWS. 2. CALFORNIA BUILDING CODE 2018 EDITION (CBC) 3. CALFORNIA BUILDING CODE 2018 EDITION 4. CALFORNIA BUILDING CODE, 2019 EDITION 5. CALFORNIA BUILDING CODE, 2019 EDITION 6. CALFORNIA BUILDING CODE, 2019 EDITION 6. CALFORNIA BUILDING CODE, 2019 EDITION 6. CALFORNIA BUILDING STANDARD SEDITION 6. CALFORNIA BUILDING STANDARDS. 7. CALFORNIA RESEARCH CODE, 2019 EDITION 6. CALFORNIA RESEARCH CODE, 2019 EDITION 7. CALFORNIA RESEARCH CODE, 2019 EDITION 8. CALFORNIA RESEARCH CODE, 2019 EDITION 9. CALFORNIA RESEARCH CODE, 2019 EDITION 9. CALFORNIA GREEN BUILDING STANDARDS. (CALGREEN) 2019 EDITION 9. CALFORNIA GREEN BUILDING STANDARDS. (CALGREEN) 2019 EDITION 19. GREEN BUILDING STANDARDS. (CALGREEN) 2019 EDITION 19. GREEN BUILDING STANDARDS. (CALGREEN) 2019 EDITION 19. SANTA CLARA COUNTY MUNICIPAL CODE 3. STRUCTURAL ENGINEERS SHALL FIELD RISPER FOUNDATION FOOTINGS AND WALLS PRIOR TO CONCRETE POUR AND ALL SHEAR WALLS, HOLDOWNS AND FRAMMING 4. ALL TELPHONE, ELECTRIC WIRES, AND OTHER SUCH SERVICE FACILITIES TO NEW CONSTRUCTION SHALL MEET CITY BECUIPER WAS THE STRUCTURE. TO SERVICE STRUCTURE OF THE PROCESSORY OF THE APPROVED LISTING AGENCY AND 10. INSTRUCTURE WITH THE WORK 5. ANY OMISSION, CONFLICT, OR AMBIGUITY FOUND IN THESE CONSTRUCTION 10. DISTRIBUTION AND VAN SYSTEM PROVIDE EXPIDENCE OF 3RD PARTY 10. VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT 11. PRIVATE WAS AND AND AND SYSTEM PROVIDE EXPIDENCE OF 3RD PARTY 12. VERIFICATION OF REPLACEMENT OF THE ATTENTION OF THAL INSPECTION. 13. ALL ADDIENTS SHALL BE ROUGHT TO THE ATTENTION OF THAL INSPECTION. 14. PRIVATE WAS AND AND AND SYSTEM PROVIDE EXPIDENCE OF 3RD PARTY 15. VERIFICATION OF REPLACEMENT OF THE ATTENTION OF THAL INSPECTION. 16. PRIVATE STANDARD OF THE SOCIETY OF TH	CORI ANNE LN HOUSE

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

- IN EACH SLEEPING ROOM
- OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE
- ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS

- OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE
- VICINITY OF THE BEDROOM(S). ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

POWER AND INTERCONNECTION:

INTERCONNECTION EXISTED.

- POWER MUST BE SUPPLIED BY THE BUILDINGS PRIMARY POWER SOURCE FOR BOTH SMOKE AND CARBON MONOXIDE DETECTORS AND THEY MUST HAVE A BATTERY BACK-
- FOR EXISTING BUILDINGS WHERE WALLS ARE NOT BEING OPENED A BATTERY ONLY
- **DEVICE MAY BE USED** WHERE MORE THAN ONE SMOKE DETECTOR IS INSTALLED THEY MUST BE
- INTERCONNECTED WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS INSTALLED THEY MUST BE
- INTERCONNECTED INTERCONNECTION IS NOT REQUIRED IN EXISTING DWELLING UNITS WHERE REPAIRS DO NOT RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWLSPACE, AND NO PREVIOUS METHOD FOR

FIRE DEPARTMENT REQUIREMENTS:

- THE APPLICANT SHALL MEET ALL REQUIREMENTS IN THE 2019 FIRE CODE AND CITY/COUNTY FIRE DEPARTMENT DISTRICT.
- THE APPLICANT SHALL INSTALL AN APPROVED AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH NFPA 13D COMPLYING WITH LOCAL AMENDMENTS. RESIDENCE SPRIKLER HEADS SHALL BE USED IN THE DWELLING / GUEST PORTIONS OF THE BUILDING. THE SPRINKLER SYSTEM SHALL PROVIDE PROTECTION TO AT LEAST ALL OF THE FOLLOWING AREAS: GARAGES, CARPORTS, BATHROOMS, CONCEALED SPACES, WATER HEATER / FURNACE ROOMS, CLOSETS, LAUNDRY ROOMS, ATTIC SPACES, UNDER WALKS, OR OVERHANGS, BALCONIES OR DECKS GREATER THAN FOUR FEET IN DEPTH, FLOOR LANDINGS IF WHOLLY OR PARTIALLY ENCLOSED, COVERED GUEST CARPORTS OR OTHER AREAS AS REQUIRED. FIRE SPRINKLER TEST WATER MUST DRAIN TO AN APPROPRIATELY-SIZED LANDSCAPED AREA. PLANS SHOWING PIPING OF AFES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
- A SEPARATE PERMIT IS REQUIRED FOR THE FIRE SPRINKLER SYSTEM. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THE SAN JOSE FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. A COPY OF THE PLAN CHECK COMMENTS SHALL BE REQUIRED AT THE TIME OF THE PERMIT APPLICATION. THIS WILL BE A DEFERRED SUBMITTAL (AFTER BUILDING PERMIT IS ISSUED).
- THE INSPECTION, HYDROSTATIC TEST, AND FLUSHING OF THE AFES SHALL BE WITNESS BY THE BUILDING INSPECTOR FIRE SPECIALIST, AND NO PIPING SHALL BE COVERED OR HIDDEN FROM VIEW UNTIL AN INSPECTION HAS BEEN COMPLETED. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY SMC.
- POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUB-CONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2010 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7.
- THE MINIMUM SIZE WATER METER WHICH CAN BE USED WITH A SPRINKLER SYSTEM IS 3/4 INCH. LARGER WATER METERS MAY BE REQUIRED.
- WATER SUPPLIES AND FIRE HYDRANTS THE REQUIRED FIRE FLOW SHALL BE NOT LESS THAN 1,000 GALLONS PER MINUTE AT 20 PSI. THE FIRE FLOW SHALL BE AVAILABLE FROM ONE (1) FIRE HYDRANT. THE MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT IS 250 FEET.
 - PLEASE OBTAIN FIRE FLOW INFORMATION FROM THE WATER COMPANY. FIRE FLOW INFORMATION FOR THE SITE IS REQUIRED AT TIME OF SUBMITTING YOUR
- FIRE HYDRANT LOCATION WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED INTO OR WITHIN THE JURISDICTION IS MORE THAN 400 FEET FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON-SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE
 - THE NEW STRUCTURE MUST COMPLY WITH DISTANCE TO FH REQUIREMENT PER
- ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP.33.
- ADDRESS IDENTIFICATION APPROVED NUMBERS OR ADDRESSES SHALL BE PLACED ON ALL NEW AND EXISTING BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. SUBUNITS OF ANY BUILDING OR COMPLEX, NOT HAVING INDIVIDUAL ADDRESSES, SHALL BE IDENTIFIED IN A CONSISTENT MANNER, EITHER NUMERICALLY OR ALPHABETICALLY, USING A LOGICAL SEQUENCE. UNIT NUMBERS OR LETTER SHALL BE AFFIXED NEAR THE MAIN ENTRANCE OF EACH OCCUPANCY IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE.
- FIRE ACCESS THE FIRE ACCESS ROAD SHALL EXTEND TO WITHIN 200 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- THE APPLICANT MUST IMMEDIATELY NOTIFY THE FIRE DEPARTMENT, HAZARDOUS MATERIALS UNIT OF ANY UNDERGROUND PIPES, TANKS OR STRUCTURES; ANY SUSPECTED OR ACTUAL CONTAMINATED SOILS; OR OTHER ENVIRONMENTAL ANOMALIES ENCOUNTERED DURING SITE DEVELOPMENT ACTIVITIES. ANY CONFIRMED ENVIRONMENTAL LIABILITIES WILL NEED TO BE REMEDIED PRIOR TO PROCEEDING WITH SITE DEVELOPMENT.

PLUMBING NOTES:

- GENERAL: ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2016 CALIFORNIA PLUMBING CODE. (CGBSC **SECTION 4.303.3.2)**
- SHOWER & SHOWER / TUB COMBINATIONS: SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE, THERMOSTATIC OR THE COMBINATION OF THE TWO TYPES, TO PROVIDE SCALD AND THERMAL SHOCK PROTECTION (CPC 418.0).
 - MINIMUM INTERIOR DIMENTION = 30"
 - MINIMUM INTERIOR AREA = 1,024 SQUARE INCHES
 - WATERPROOF WALL FINISHES MUST EXTEND A MINIMUM 70" ABOVE SHOWER

HINGED SHOWER DOORS MUST SWING OUTWARD WITH 22 INCH NET OPENING

SHOWER HEADS MUST DISCHARGE BELOW THE TOP EDGE OF WATERPROOF WALL FINISH.

HEIGHT OF 72-INCHES ABOVE THE DRAIN INLET. WATER-RESISTANT GYPSUM BACKING

BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB

- HOWERS AND TUBS WITH SHOWERS: REQUIRE A SMOOTH, HARD, NONABSORBENT SURFACE (E.G. CERAMIC TILE OR FIBERGLASS) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G. CEMENT, FIBER CEMENT, OR GLASS MAT GYPSUM BACKER) TO A
- WATER CLOSETS: TO BE A MAX. 1.28 GAL. PER FLUSH (CPC 402.2.2), PROVIDE A CLEAR WIDTH OF 30" MIN. PREFERABLY 36" WITH A FRONTAL CLEAR ACCESS OF 24" MIN. (CPC

COMPARTMENTS. (CRC SECTIONS R307.2 AND R702.3.8)

- PIPING: PROVIDE R-3 INSULATION ON ALL HOT WATER PIPES IN UNCONDITIONED SPACES & ON ALL HOT WATER RE-CIRCULATING PIPES. DOMESTIC WATER LINES WITHIN BUILDING SHALL BE COPPER. NATURAL GAS PIPING, EXPOSED TO WEATHER SHALL BE GALVANIZED. PROVIDE "DIELECTRIC" UNIONS "FPCO" @ ALL DISSIMILAR MATERIAL CONNECTIONS. PROVIDE A SOFT WATER LOOP WITH (2) GATE VALVES AS APPLICABLE. HEATED WATER SHALL HAVE A CONTINUOUS LOOP SYSTEM. ALL HOSE BIBS & LAWN SPRINKLER SYSTEMS SHALL HAVE AN APPROVED BACK-FLOW PREVENTION DEVICE.
- WHIRLPOOL TUBS: A REMOVABLE PANEL SHALL BE INSTALLED FOR SERVICE ACCESS TO THE MOTOR / PUMP. THE CIRCULATION PUMP SHALL BE LOCATED ABOVE THE WIRE OF THE TRAP. THE PUMP FITTINGS ON WHIRLPOOL TUBS SHALL COMPLY WITH THE LISTED STANDARDS. RECEPTACLES THAT PROVIDE POWER FOR THE WHIRLPOOL TUBS SHALL BE GFCI PROTECTED. WHIRLPOOL BATHTUBS SHALL BE "HARD-WIRED" WITH A DISCONNECT SWITCH WITHIN SIGHT OF THE APPLIANCE. WIRING SHALL COMPLY WITH THE LISTING ON THE FIXTURE.
 - ALL ELECTRIC SPA OR HOT TUB HEATERS SHALL BE LISTED (NEC 680-41-h). PROVIDE ACCESS TO HYDRO-MASSAGE TUB MOTOR AND JUNCTION BOX BY AN
 - ACCESS PANEL (UPC 413.0). ALL RECEPTACLES LOCATED WITHIN 10 FEET OF THE INSIDE WALLS OF A SPA / HOT TUB SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT-INTERRUPTER (NEC 680-41-B-1).
 - ALL LIGHTING FÍXTURES AND LIGHTING OUTLETS OVER THE SPA OR WITHIN 5 FEET OF THE INSIDE WALLS SHALL BE A MIN. OF 7'-6" ABOVE THE MAXIMUM WATER LEVEL AND SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT-
 - INTERRUPTER (NEC 680-41-a-2). HYDRO-MASSAGE TUB CONTRULS AND WALL SWITCHES SHALL BE LOCATED A MIN. OF 5 FT. FROM THE TUB (NEC 680-41-c).
 - RECEPTACLES THAT PROFIDE POWER FOR A SPA OR HOT TUB SHALL BE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTED (NEC 680-41-a-3).
- WATER HEATER: ALL WATER HEATER APPLIANCES SHALL BE DETERMINED BY THE PLUMBING CONTRACTOR AND / OR T24 REQUIREMENTS. SEE PLAN FOR LOCATION OF APPLICANCES. PROVIDE A MIN. (2) SEISMIC STRAPS @ THE UPPER 1/2 OF ITS DIMENSION. PROVIDE R-12 INSULATION BLANKET @ WATER HEATER. HOT WATER INLET & OUTLET PIPES SHALL BE INSULATED WITH R-3 INSULATION MIN. STEEL OR HARD DRAWN COPPER TO THE EXTERIOR OF THE BUILDING WITH THE END OF THE PIPE PROTRUDING 6" MIN. @ 24" ABOVE THE GRADE POINTED DOWNWARD TO THE TERMINATION - UNTHREADED. PROVIDE RE-CIRCULATION SYSTEM LOOP FOR THE HOT WATER SIDE. PROVIDE 24" MIN. ACCESS DOOR.
- A. PROVIDE WATER HEATER PRESSURE AND TEMPERATURE RELIEF VALVE AT TERMINATION TO OUTSIDE OF BUILDING (CPC 608, SOP P10.008).
- PROVIDE A WATER HEATER AS SPECIFIED IN THE ELECTRICAL, MECHANICAL, AND PLUMBING PLANS FOR THIS PROJECT IN COMPLIANCE WITH THE TITLE 24
- SHEETS, CEC APPROVED. PROVIDE "EARTHQUAKE" STRAPPING: 1 1/2" X 16 GAUGE STRAPS AT TOP &
- BOTTOM WITH 3/8" Ø. X 3" LONG LAG BOLT AT EACH END. (CPC 308.2). PROVIDE AN 120V ELECTRICAL RECEPTACLE LOCATED WITHIN 3 FEET FROM THE WATER HEATER AND ACCESSIBLE TO THE WATER HEATER WITH NO
- PROVIDE A CATEGORY II OR IV VENT. OR A TYPE B VENT WITH STRAIGHT PIPE BETWEEN THE OUTSIDE TERMINATION AND THE SPACE WHERE THE WATER HEATER IS INSTALLED
- PROVIDE A CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE INSTALLED WATER HEATER AND ALLOWS NATURAL DRAINING WITHOUT PUMPS ASSISTANCE.
- PROVIDE A GAS SUPPLY LINE WITH A MINIMUM CAPACITY OF AT LEAST 200,000 BUT/HR FOR EACH NEW WATER HEATER DESIGN GAS INPUT. CEC SECTION
- PROVIDE DOCUMENTATION TO SHOW THAT THE GAS PIPING IS ADEQUATE IN SIZE FOR THE LOADING PROVIDED. INCLUDE APPLICANCE BTU RATING AND LENGTHS OF PIPING FROM THE METER TO THE MOST REMOTE OUTLET (CPC
- PLUMBING VENT TERMINATION: EACH VENT SHALL TERMINATE NOT LESS THAN 10 FEET HORIZONTALLY FROM, AND 3 FEET ABOVE ANY OPERABLE WINDOW, DOOR, OPENING, AIR INTAKE, OR VENT SHAFT OR NOT LESS THAN 3 FEET IN EVERY DIRECTION FROM ANY LOT LINE, ALLEY OR STREET. (CPC 906.2).
- DISHWASHER: NO DISWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD DISPOSER WITHOUT THE USE OF AN APPROVED AIRGAP FITTING ON THE DISCHARGE SIDE OF THE DISWASHING MACHINE. LISTED AIRGAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL MARKING AT OR ABOVE FLOOD LEVEL OF SINK OR DRAIN BOARD, WHICHEVER IS HIGHER.
- 10. PROVIDE ANTI-SIPHON VALVES ON LL HOSE BIBS (CPC 603.4.7).

OBSTRUCTIONS.

MECHANICAL NOTES:

<u>APPLIANCES</u> DESIGNED TO BE FIXED IN POSITION SHALL BE SECURELY FASTENED IN PLACE. SUPPORTS FOR APPLICANCES SHALL BE DESIGNED AND CONSTRUCTED TO SUSTAIN VERTICAL & HORIZONTAL LOADS WITHIN THE STRESS LIMITATIONS SPECIFIED IN THE BUIDLING CODE. CMC 303.4.

LISTED HEATING & COOLING EQUPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S

DWELLINGS ARE TO MEET CALIFORNIA ENERGY COMMISSION (CEC) STANDARDS. PROVIDE COMPLIANCE DOCUMENTATION AND MANDATORY FEATURES.

BATHROOMS: ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR BATHING FIXTURES SHALL BE MECHANICALLY VENTILATED. ROOMS CONTAINING A WATER CLOSET SHALL HAVE AN EXHAUST FAN WITH A MINIMUM RATING OF 50 CFM. (CMC TABLE 4-4). PROVIDE VENTILATION FOR PRODUCTS OF COMBUSTION TO OUTSIDE AIR (CMC 801.1)

BATHROOM EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH CGBS 4.506 AND SHALL COMPLY WITH THE FOLLOWING:

ENERGY STAR UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDTY OF 50% TO 80%.

ENVIRONMENTAL COMFORT: HEATING SYS. IS REQUIRED TO MAINTAIN 68 DEGREES AT 3 FT ABOVE FLOOR LEVEL IN ALL HABITABLE ROOMS. (R303.8)

DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT SELECTED USING THE FOLLOWING METHODS (SECTION CGBS 4.507):

- ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO AIR CONDITIONING CONTRACTOS OF AMERICA (ACCA) MANUAL J OR
- SIZE DUCT SYSTEMS ACCORDING TO ACCA 29-3 (MANUAL D) OR EQUIVALENT. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-2 (MANUAL S) OR EQUIVALENT.

WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-4.2. (SECTION CGBS 4.507)

HVAC SYSTEM INSTALLERS: ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. (SECTION CGBS 702)

ALL RESIDENTIAL PROJECTS CURRENTLY SUBJECT TO CAL GREEN REGULATIONS TO TEST HEATING AND COOLING DUCTS FOR LEAKAGE. DUCT LEAKAGE TESTING IS NOT REQUIRED IF THE DUCTS ARE INSTALLED WITHIN THE CONDITIONED ENVELOPE OF THE BUILDING.

VERIFICATIONS: VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE. (SECTION CGBS 703)

<u>HEATING EQUIPMENT</u> THAT MAY GENERATE A GLOW, SPARK OR FLAME SHALL HAVE BURNERS OR PILOTS 18" ABOVE THE GARAGE FLOOR (CMC 308.1).

SUFFICIENT ACCESS SHALL BE PROVIDED TO ALL MECHANICAL EQUIPMENT FOR SERVICING

RANGES SHALL HAVE A VERTICAL CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30" TO UNPROTECTED COMBUSTIBLE MATERIAL (CMC 916.2).

ATTICS CONTAINING EQUIPMENT REQUIRING ACCESS SHALL PROVIDE AN ACCESS OPENING LARGE ENOUGH FOR THE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30" X 22": HAS CONTINUOUS SOLID FLOORING 24" WIDE; AND A LEVEL SERVICE SPACE 30" X 30" IN FRONT OF EQUIPMENT.

PROVIDE ADEQUATE AIR FOR COMBUSTION, VENTILATION, AND DILUTION OF FLUE GASES

PROVIDE CLOTHES DRYER VENT TO OUTSIDE OF BUILDING (NOT TO UNDERFLOOR AREA) WITH A MAXIMUM LENGTH OF 14 FEET, EQUIPPED WITH A BACK-DRAFT DAMPER INCLUDING TWO 90-DETREE ELBOWS AND A MINIMUM DIAMETER OF 4-INCHES (CMC 405.3.2.2).

MECHANICAL DUCTS: TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING (I.E., DRYERS, BATH AND UTILITY FANS, ETC. MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS), CMC 504.45.

FLEXIBLE DUCTWORK: IN ATTICS OR UNDER-FLOOR AREAS SHALL BE SUPPORTED AT MANUFACTURER'S RECOMMENDED INTERVALS, BUT NO GREATER THAN 4 FEET ON CENTER.

<u>ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN</u> PLATES AT EXTERIOR WALLS: SHALL PROTECT AGAINST THE PASSAGE OF RODENCE BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD PER SECTION CGBS 4.406.

AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER SECTION CGBS 4.410.

INSTALLED GAS FIREPLACE(S) SHALL BE A DIRECT-VENT SEALED COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS WHERE APPLICABLE PER CGBS 4.503. a. A MASONRY OR FACTORY-BUILT FIREPLACE SHALL HAVE A CLOSABLE METAL

ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH 'VOC" AND OTHER TOXIC

COMPOUND LIMITS PER CGBS SECTION 4.504: A. PAINT, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC

OR GLASS COVERING THE ENTIRE OPENING OF THE FIREBOX (CEC 150 (e)).

- AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.
- DOCUMENTATION SHALL BE PROFIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED.
- CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. 50% OF THE FLOOR AREA RECEIVING RESILIENT FLOORINGS SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THTE RESILIENT FLOOR COVERING INSTITUTE (RFCI)
- FLOORSCORE PROGRAM. PARTICLEBOARD, MEDIUM DENSITY FIRBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.

INTERIOR MOISTURE CONTROL ELEMENTS PER CGBS SECTION 4.505 VAPOR RETARDER AND CAPILLAR BREAK IS REQUIRED TO BE INSTALLED AT

THE SLAB ON GRADE FOUNDATIONS MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALLS AND FLOOR FRAMING IS TO BE CHECKED FOR THE MINIMUM REQUIREMENTS BEFORE

ELECTRICAL NOTES:

<u>GENERAL:</u> CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AND EQUIPMENT AND PROVIDE ALL LABOR REQUIRED FOR A COMPLETE INSTALLATION READY FOR

MAIN PANEL SIZE: MAINTAIN EXISTING ELECTRICAL SERVICE. (PANEL MUST BE MINIMUM SIZE 3-WIRE, 100-AMP. PANEL. CEC 230-70(a) AND 230-79(c).) SEE SITE AND ELECTRIC PLANS FOR LOCATION.

VERIFY WITH LOCAL SERVICE PROVIDER AS REQUIRED. DO NOT INSTALL ELECTRICAL PANELS LARGER THAN 100 SQ. IN. IN FIRE WALLS. NEVER INSTALL ELECTRICAL PANELS IN CLOSETS. MAINTAIN A CLEARANCE OF 36 IN. IN FRONT OF THE PANELS (CEC 110.26).

ARC-FAULT CIRCUIT INTERRUPTERS REQUIRED: ALL NEW BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOMS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER. (CEC 210.12.(B)).

<u>ALL 15 AMP & 20 AMP DWELLING UNIT RECEPTACLE OUTLETS:</u> SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC ARTICLE 406.12 CEC 2016)

<u>KITCHEN:</u> TWO SMALL BRANCH CIRCUITS ARE REQUIRED FOR THE KITCHEN AND ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS FOR THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREAS. THESE CIRCUITS CANNOT SERVE OUTSIDE PLUGS, RANGE HOODS, DISPOSALS, DISHWASHERS OR MICROWAVES - ONLY THE REQUIRED COUNTERTOP / WALL OUTLETS INCLUDING THE REFRIGERATOR. CEC 210-11 (c) 1) AND 210-52 (b).

BATHROOMS: PROVIDE A DEDICATED 20-AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION: WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED.) (CEC 210.11 (C) (3) AND 210.52 (D).)

LAUNDRY: PROVIDE A DEDICATED 20-AMP BRANCH CIRCUIT TO SUPPLY THE LAUNDRY ROOM OUTLET. (CEC 210-11 (c) (2) AND 210-52 (f).)

BATHROOMS: ALL RECEPTACLES SHALL HAVE GFCI PROTECTION WITH AT LEAST ONE RECEPTACLE WITHIN 36" OF EACH SINK. (CEC SECTION 210.8 & 210.52 (D))

OUTLETS, TYPICAL: UNLESS OTHERWISE NOTED, HEIGHT OF OUTLETS AND SWITCHES WILL BE AS FOLLOWS:

- OUTLETS: CENTER 12: A.F.F.
- SWITCHES: CENTER 48: A.F.F. ABOVE COUNTER OUTLETS SHALL BE CENTERED 6" ABOVE COUNTER, BUT NOT MORE THAN 20" ABOVE THE COUNTERTOP (CEC SECTION 210.52(C)(5).

LIGHTING NOTES:

KEY TERMS PERTAINING TO T24 LIGHTING COMPLIANCE INCLUDE:

- ADDITIONS: INCLUDES ANY ADDITION OF NEW SQUARE FOOTAGE, WHERE NEW LUMINAIRES ARE INSTALLED.
- ALTERATIONS: INCLUDES MODIFICATIONS WHERE EXISTING LUMINAIRES
- PERMANENTLY INSTALLED LIGHTING: INCLUDES CEILING LUMINAIRES, CHANDELIERS, VANITY LAMPS, WALL SCONCES, UNDER-CABINET LUMINAIRES, AND ANY OTHER TYPE OF LUMINAIRE THAT IS ATTACHED TO THE DWELLING.

<u>LIGHTING PER TITLE 24:</u> ALL NEW OR ALTERED LUMINAIRES SHALL BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A.

RECESSED DOWNLIGHT LUMINAIRE REQUIREMENTS;

- MUST BE LISTED, AS DEFINED IN SECTION 100.1 FOR ZERO CLEARANCE INSULATION CONTACT (IC) BY UL O ROTHER NATIONALLY RECOGNIZED LAB. HAVE A LABEL THAT CERTIFIES THE LUMINAIR IS AIRTIGHT WITH AIR LEAKAGE LESS
- THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283 BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND SHALL HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET OR CAULK
- SHALL NOT CONTAIN SCREW BASE SOCKETS. SHALL CONTAIN LIGHT SOURCES THAT COMPLY WITH REFERENCES JOINT

SCREW BASED LUMINAIRE REQUIREMENTS:

SHALL NOT BE RECESSED DOWNLIGHT IN CEILINGS. SHALL CONTAIN LAMPS THAT COMPLY W/ REFERENCE JOINT APPENDIX SHALL BE MARKED WITH JA8-2016 OR JA8-2016-E AS SPECIFIED IN REFERENCE

JOINT APPENDIX JA8. SWITCHING CONTROL REQUIREMENTS:

- EXHAUST FANS SHALL BE SWITCHED SEPARATELY, EXCEPT WHEN LIGHTING INTEGRAL TO THE FAN MAY BE ON THE SAME SWITCH AS THE FAN PROVIDED. THE LIGHTING CAN BE SWITCHED OFF IN ACCORDANCE WITH THE APPLICABLE PROVISIONS IN SECTION 150.0 (K)2 WHILE ALLOWING THE FAN TO CONTINUE TO OPERATE FOR AN EXTENDED PERIOD OF TIME.
- LUMINAIRES SHALL BE SWITCHED WITH READILY ACCESSIBLE CONTROLS THAT
- PERMIT THE LUMINAIRES TO BE MANUALLY SWITCHED ON AND OFF. LIGHTING CONTROLS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH
- THE MANUFACTURER'S INSTRUCTIONS. IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY
- DIMMERS OR VACANCY SENSORS SHALL CONTROLL ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8.
 - CEILING RECESSED DOWNLIGHT LUMINAIRES LED LUMINAIRES WITH INTEGRAL SOURCES
 - PIN-BASED LED LAMPS
- GU-24 BASED LED LIGHT SOURCES LUMINAIRES IN CLOSETS LESS THAN 70 SF AND HALLWAY LUMINAIRES NEED NOT
- HAVE DIMMERS OR VACANCY SENSORS. UNDERCABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHITNG SYSTEMS.

BATHROOM LIGHTING: LIGHTS OVER TUB ANS SHOWER SHALL BE LISTED FOR WET OR DAMP LOCATION. (CEC SECTION 410.4) CLOSET LIGHTING: ALL FIXTURES SHALL HAVE A COMPLETELY ENCLOSED LAMP OR BE

<u>ELECTRICAL BOXES:</u> LIMIT THE NUMBER OF BLANK ELECTRICAL BOXES MORE THAN 5 FEET ABOVE THE FINISHED FLOOR TO NOT GREATER THAN THE NUMBER OF BEDROOMS. ALL SUCH ELECTRICAL BOXES SHALL BE CONTROLLED BY A DIMMER, VACANCY SENSOR, OR

EXTERIOR LIGHTING: MUST MEET THE CRITERIA OF SECTION 150.0 (K)A CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO "ON" THE AUTOMATIC ACTIONS OF ONE OF THE FOLLOWING:

- PHOTOCELL AND MOTION SENSOR PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
- ASTRONOMICAL TIME CLOCK **ENERGY MANAGEMENT CONTROL SYSTEM**

FAN SPEED CONTROL.

GENERAL BUILDING CODE NOTES:

<u>UNDERFLOOR VENTS (AS APPLICABLE):</u> MINIMUM 1 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR AREA. LOCATE 1-VENT WITHIN 3 FEET OF EACH CORNER. COVER OPENINGS WITH CORROSION RESISTANT WIRE MESH WITH AN OPENING SIZE NOT EXCEEDING 1/2 INCH (CERE

AREA UNDER STAIRWAY AND COMMON WALL BETWEEN GARAGE AND HOUSE SHALL HAVE 5/8" TYPE "X" GYPSUM BOARD AND SOLID CORE TIGHT FIGHTING AND SELF-CLOSING DOOR.

DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED WITH A MINIMUM NO. 26 GAGE (0.48mm) SHEET STEEL OR OTHER APPROVED MATERIAL AND HAVE NO OPENINGS INTO THE GARATE

ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA FOR LIGHT NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED; THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED (CRC R303.1).

BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AN AGGREGATE GLAZING AREA IN WINDOWS OF NOT LESS THAN 3 SQUARE FEET, ONE-HALF MUST BE OPENABLE.

EXCEPTION: WHEN ARTIFICIAL LIGHT AND MECHANICAL VENTILATION SYSTEM IS PROVIDED AT 50 CFM INTERMITTENT OR 25 CFM CONTINUOUSLY. VENTILATION AIR SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE. (CRC303.3).

INTERIOR SPACE DIMENSIONS (CRC SECTIONS 304 & 305):

- HABITABLE SPACES, OTHER THAN A KITCHEN, SHALL NOT BE LESS THAN 7 FEET IN ANY PLAN DIMENSION. KITCHENS SHALL HAVE A CLEAR PASSAGEWAY OF NOT LESS THAN 3 FEET BETWEEN COUNTER FRONTS AND APPLIANCES OR COUNTER FRONTS AND WALLS. OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET, 6 INCHES. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE & LAUNDRY ROOMS SHALL BE PERMITTED TO HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET.
- MINIMUM WIDTH OF HALLWAY IS 3 FEET. MINIMUM ROOM SIZES:
- 70 SF FOR HABITABLE ROOMS
- MINIMUM OF ONE 120 SF ROOM IN EACH DWELLING 7 FEET WIDTH FOR HABITABLE ROOMS OTHER THAN KITCHENS.

PROVIDE TEMPERED SAFETY GLAZING AT THE FOLLOWING LOCATIONS (CRC 308.4): WINDOWS LOCATED WITHIN 24" ARC OF THE VERTICAL EDGE OF DOORS.

- ALL GLAZED DOORS WITH SIDELIGHTS WINDOWS GREATER THAN 9 SQ. FT. WITHIN 18" OR LESS OF A FLOOR AND 30" WITHIN A
- WALKING SURFACE. WINDOWS AT MID-LANDING OF STAIRS.
- WINDOWS OVER A TUB OR SHOWER. ALL GLASS SHOWER ENCLOSURES.
- SEE LOCATIONS ON PLAN

PERMITTED MATERIALS FOR UNIT SKYLIGHTS (CRC 308.6.2): LAMINATED GLASS WITH A MIN. 0.015 INCH POLYVINYL BUTYRAL INTERLATER FOR GLASS PANES 16 SQ. FT. OR LESS IN AN AREA LOCATED SUCH THAT THE HIGHEST POINT IS NOT MORE THAN 12 FT. ABOVE WALKING SURFACE.

- FULLY TEMPERED GLASS HEAT STRENGTHED GLASS
- WIRED GLASS APPROVED RIGID PLASTIC

EVERY SLEEPING ROOM AND EVERY BASEMENT MUST HAVE AT LEAST ONE OPENABLE WINDOW OR DOOR APPROVED FOR EMERGENCY RESCUE WITH THESE MINIMUM DIMENSIONS (CRC

- MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT., AND MINIMUM 5 SQ. FT. AT GRADE.
- MINIMUM NET CLEAR HEIGHT OPENING OF 20 INCHES. MINIMUM NET CLEAR WIDTH OPENING OF 24 INCHES. THE BOTTOM OF THE CLEAR WINDOW OPENING SHALL BE NO MORE THAN 44 INCHES

FROM THE FLOOR.

MEANS OF EGRESS (SECTION R311): R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS. THERE SHALL BE A LANDING OR FLOOR ON EACH OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36 INCHES MINIMUM MEASURED IN THE DIRECTION OF TRAVEL. EXTERIOR LANDINGS SHALL BE PERMITTED TO HAVE

A SLOP NOT EXCEEDING 1/4" PER FOOT SLOPE OR 2%. R311.3.1 LANDINGS OR FLOORS AT THE REQUIRED EGRESS DOOR SHALL NOT BE MORE THAN 1-1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD.

EXCEPTION: THE EXTERIOR LANDING OR FLOOR SHALL NOT BE MORE THAN 7-3/4 INCHES BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR. WHEN EXTERIOR LANDINGS OR FLOORS SERVING THE REQUIRED EGRESS DOOR ARE NOT AT GRADE. THEY SHALL BE PROVIDED WITH ACCESS TO GRADE BY MEANS OF A RAMP IN

ACCORDANCE WITH SECTION R311.8 OR A STAIRWAY IN ACCORDANCE WITH SECTION R311.7.

R311.3.2 DOORS OTHER THAN THE REQUIRED EGRESS DORRS SHALL BE PROVIDED WITH

LANDINGS OR FLOORS NOT MORE THAN 7-3/4 INCHES BELOW THE TOP OF THE THRESHOLD.

SHOWER AREAS.

- STAIRWAYS (CRC 311.7) RISER SHALL BE 4" MIN. & 7-3/4" MAX. TREAD SHALL BE 10" MIN.' WINDER TREAD 6" MIN. AND 10" MIN. AT WALK LINE.
- HEADROOM SHALL BE 80" MIN. WIDTH SHALL BE 36" MIN., AND 36" x 36" LANDING REQUIRED. FIREBLOCKING IS REQUIRED IN CONCEALED SPACES BETWEEN STAIR STRINGS AT THE TOP AND BOTTOM OF THE RUN (CRC 302.11)
- ENCLOSED USEABLE SPACE UNDER INTERIOR STAIRS SHALL BE FINISHED WITH 1/2" GYPSUM BOARD (CRC 302.7) THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. WIDTH AND LENGTH OF LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF THE STAIRWAY. INTERIOR STAIRS FROM HOSUE TO GARAGE NEED NOT HAVE A LANDING

PROVIDED DOOR DOES NOT SWING OVER STAIRS.

VARIATION BETWEEN RISER HEIGHTS AT 3/8" MAX.

HANDRAILS & GUARDS (SECTION CRC 313) HANDRAILS SHALL HAVE A 1-1/2" TO 2" GRIPPABLE CROSS-SECTION WITH NO SHARP

GUARDS ARE REQUIED IF EXTERIOR DECK OR FLOOR IS OVER 30" ABOVE GRADE.

GUARDS SHALL BE ADEQUATE IN STRENGTH AND ATTACHMENT: SEE STRUCTURAL

- HEIGHT SHALL BE 34" TO 38" ABOVE NOSING.
- CLEARANCE BETWEEN HANDRAIL AND ADJACENT WALL IS 1-1/2"/ GUARD SHALL BE 42" MIN. HEIGHT WITH OPENINGS LESS THAN 4" CLEAR.

TUB / SHOWER WALLS: (SECTION CRC R702.4.2) FIBER-CEMENT, FIBER-MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER

REINFORCED GYPSUM BACKERS IN COMPLIANCE WITH ASTM C 1288, C 1325, C1178 OR C 1278 RESPECTIVELY AND INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS SHALL BE USED AAS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN

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GENERAL NOTES

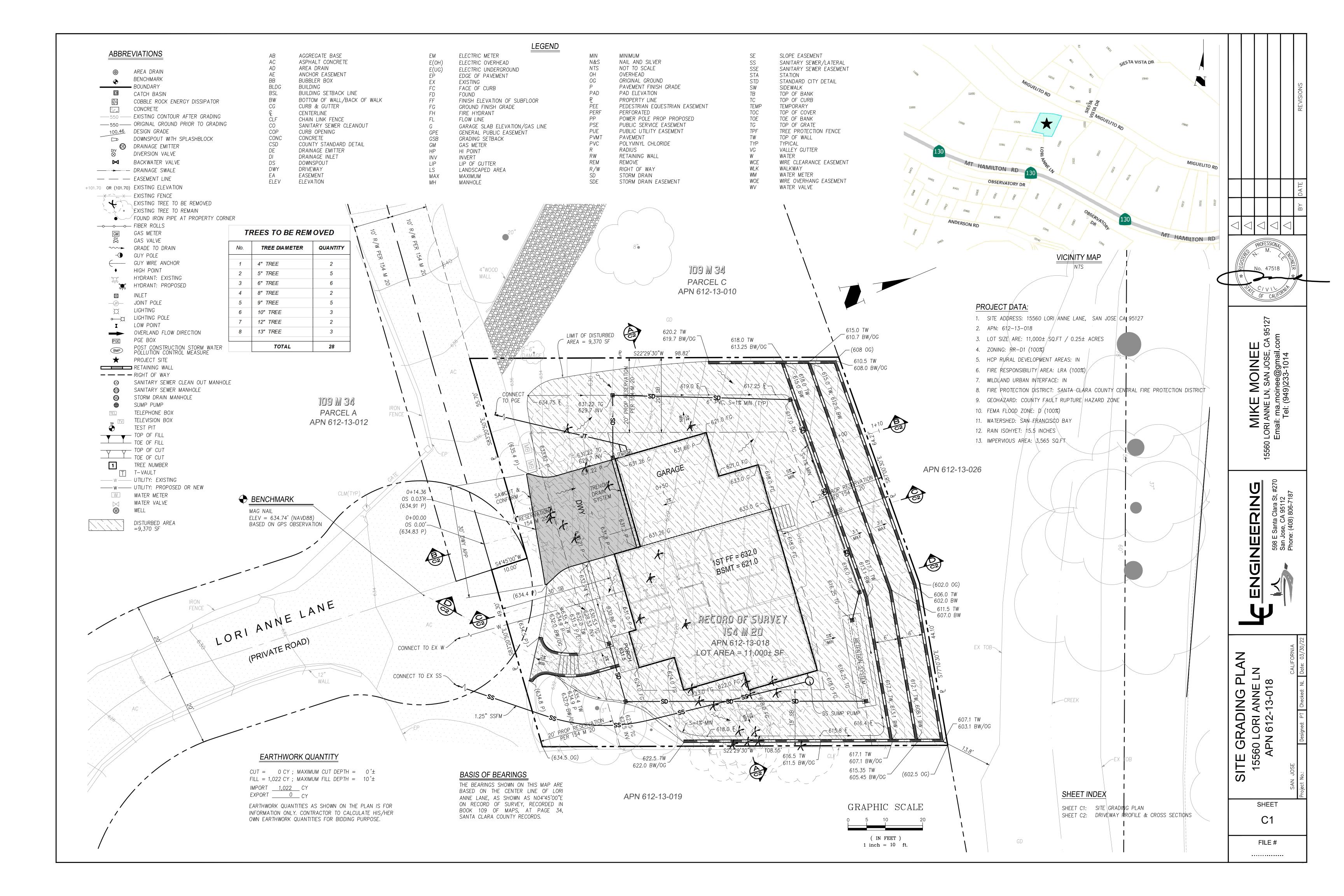
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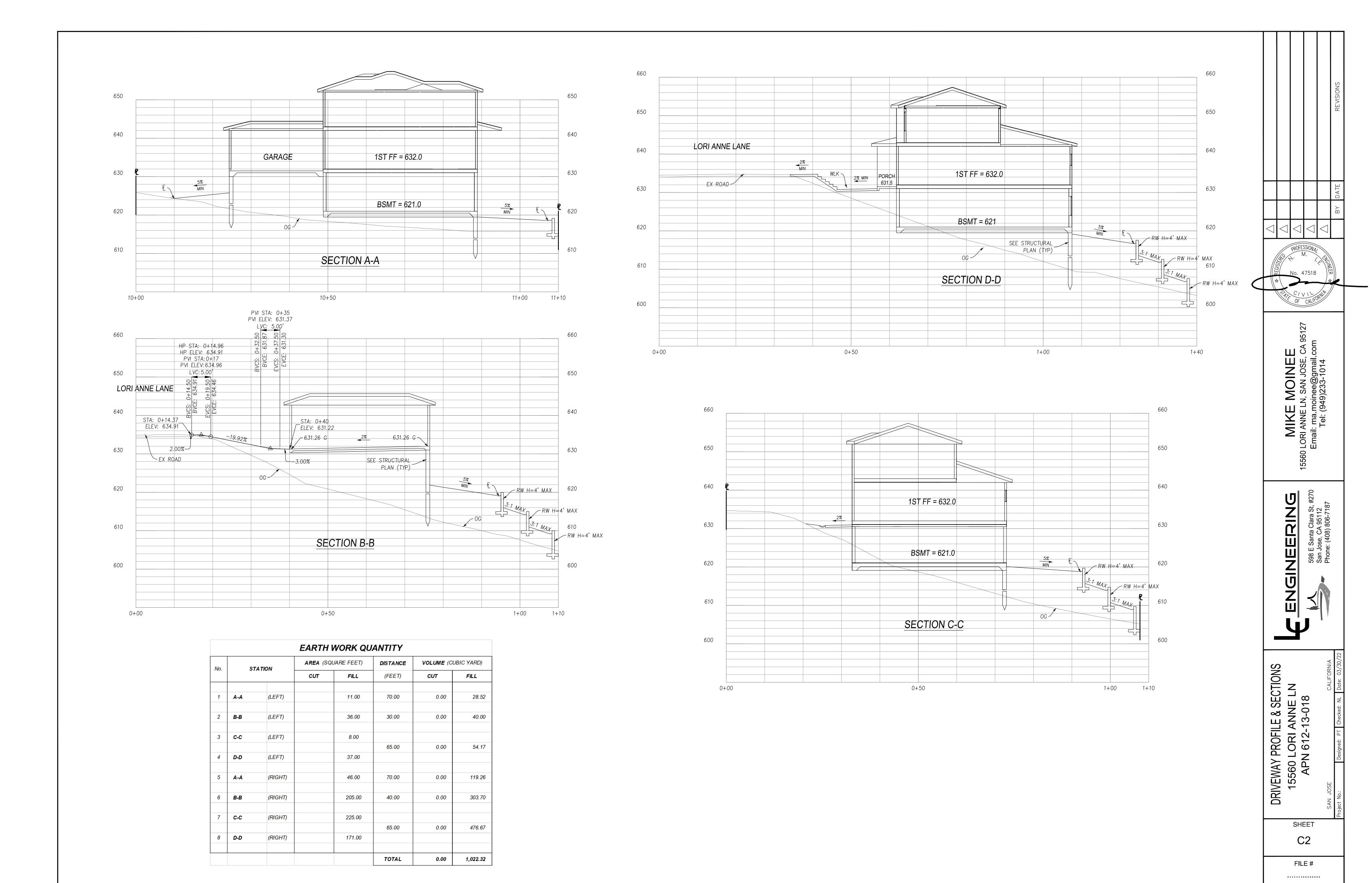
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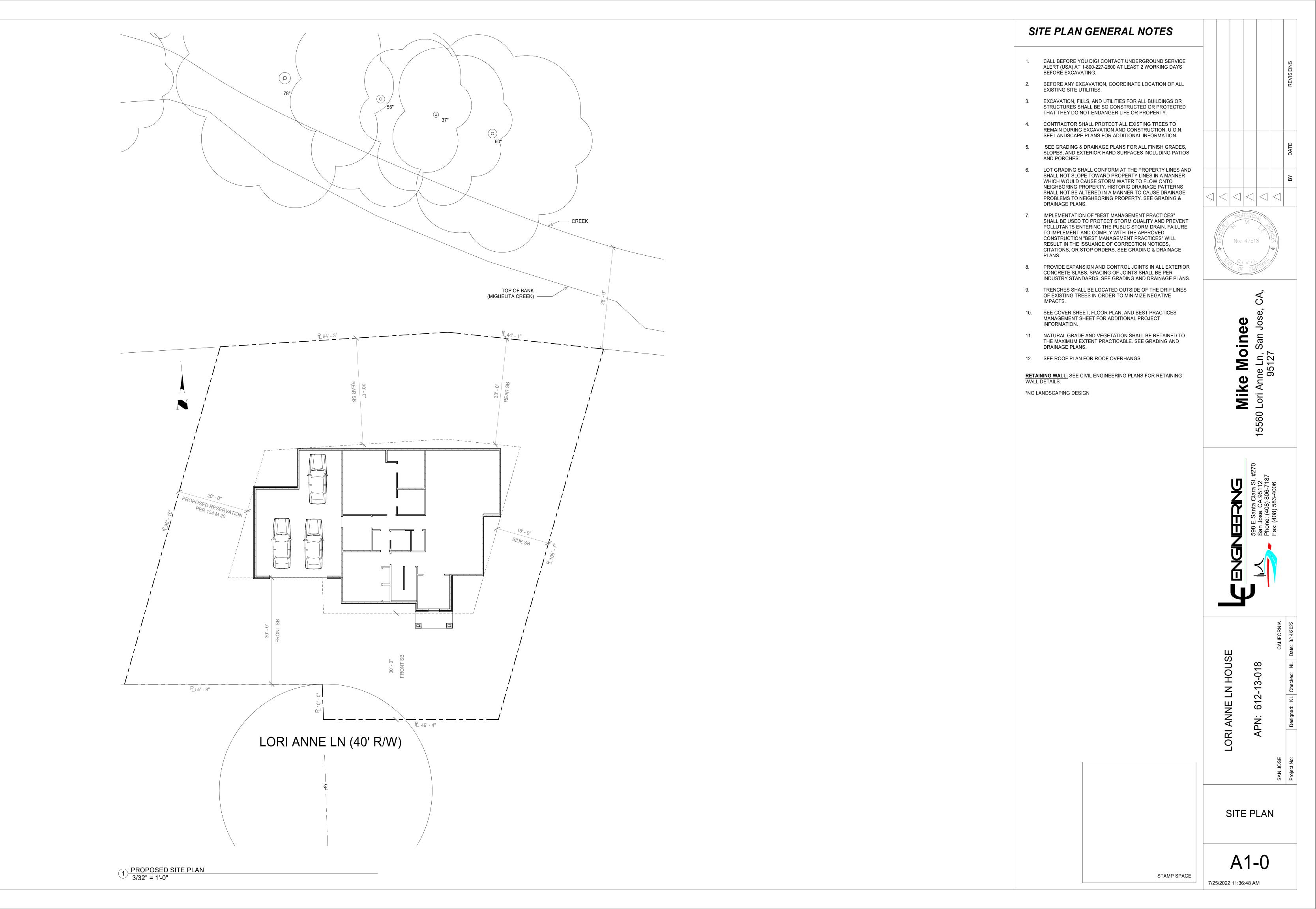
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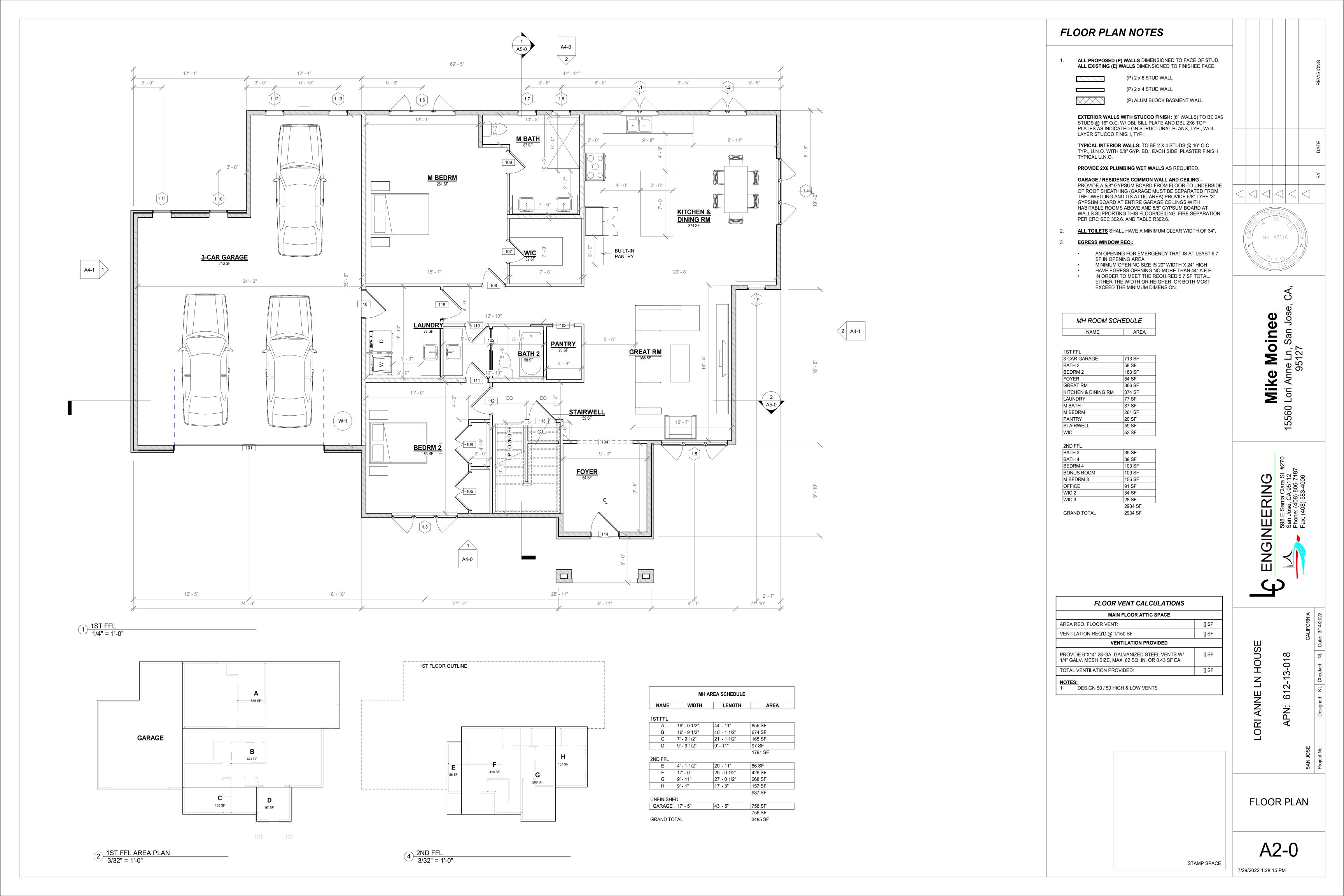
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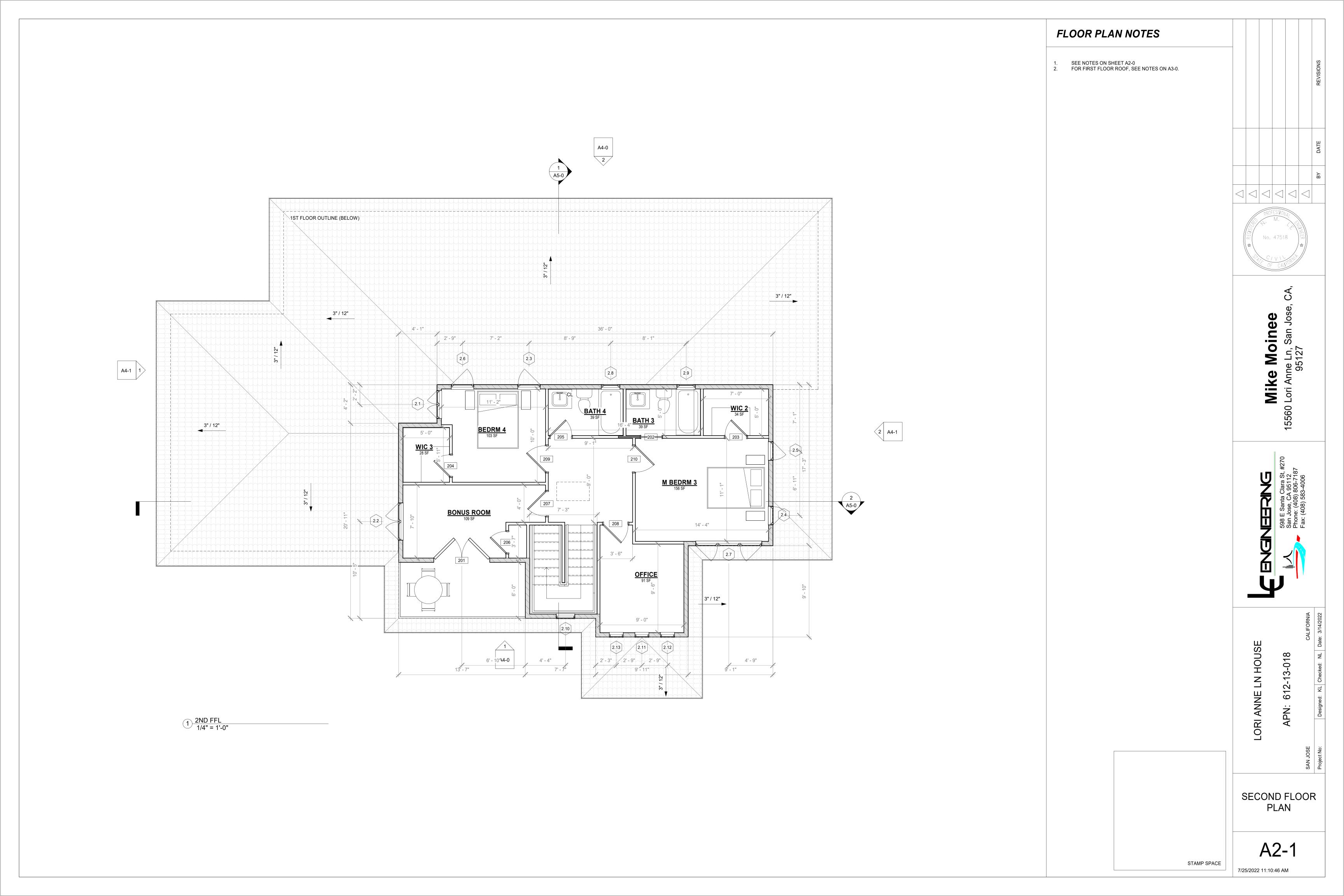
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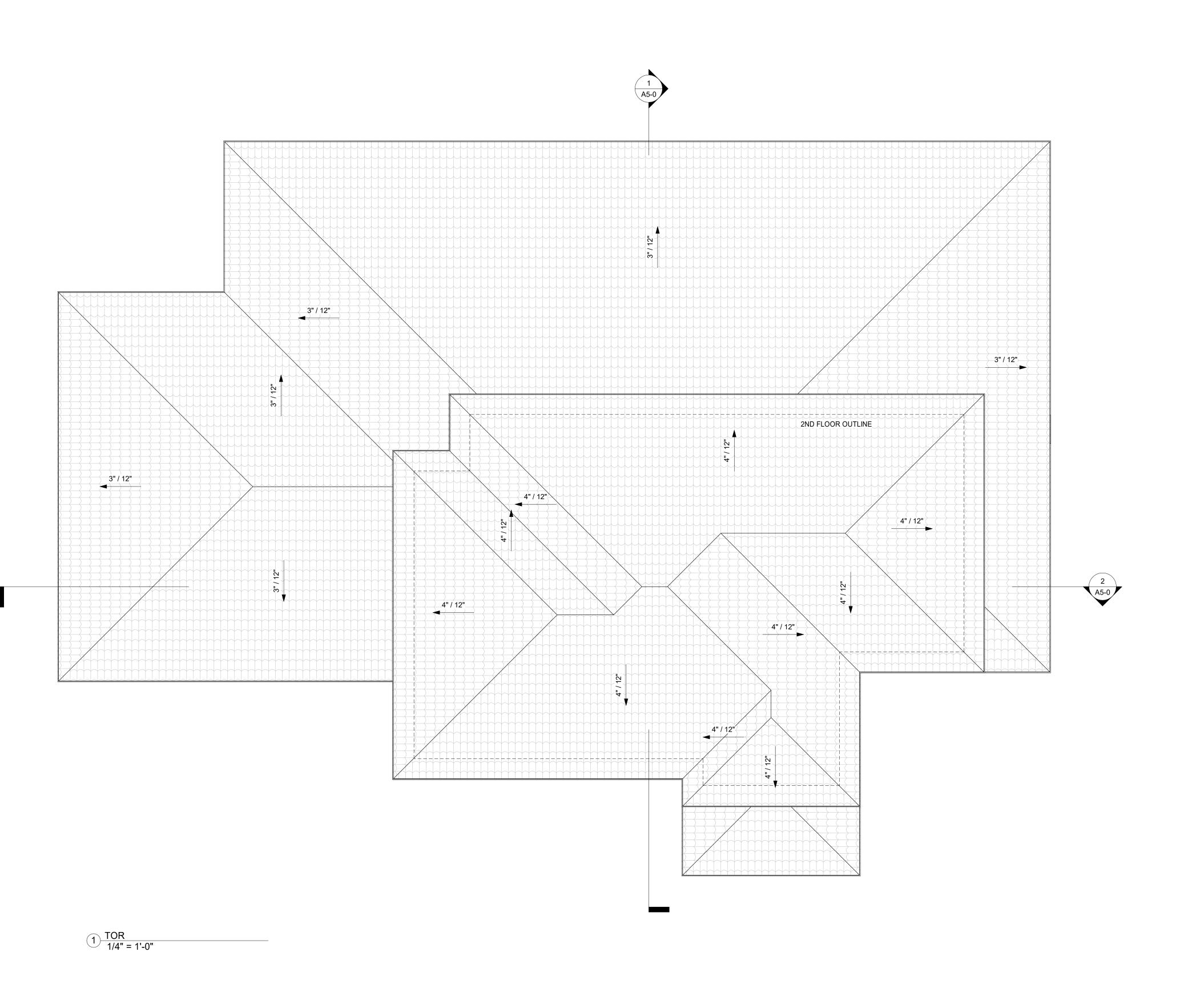






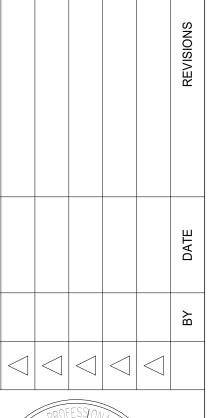






ROOF PLAN NOTES

- 0ROOF OVERHANG IS 1' 6" U.N.O.
- 3. ALL ROOF PROJECTIONS WITH A FIRE SEPARATION DISTANCE GREATER THAN OR EQUAL TO 2' AND LESS THAN 5' SHALL BE FIRE-RESISTANCE RATED PER TABLE R302.1(1) (CRC R302). SEE SHEET 7-1, DETAIL 6 FOR CONSTRUCTION.
- 4. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
- PROVIDE ROOF SLOPE AS INDICATED ON PLANS. THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD.
- 6. FOR ROOF COVERING, PROVIDE [] "CLASS A" ROOF COVERING. STYLE AND COLOR TO BE DETERMINED BY
- CONTRACTOR SHALL PROVIDE A COPY OF THE ICC REPORT FOR THE ROOF COVERING AT THE TIME OF INSPECTION.
- PROVIDE ALUMINUM METAL GUTTERS AND DOWNSPOUTS THAT SHALL BE PAINTED. GUTTERS SHALL BE PAINTED TO MATCH TRIM COLOR AND DOWNSPOUTS (RAIN WATER LEADERS: RWL) SHALL MATCH BODY COLOR.
- PROVIDE ATTIC VENTILATION AT ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF.
- 10. FRAMING MEMBERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. A MIMIMUM OF (1) INCH OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATION SHALL BE A MINIMUM OF NOT LESS THAN (1) SQ. FT. FOR EACH (150) SQ. FT. OF ATTIC AREA WITH (50) PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED LOCATED NEAR THE UPPER PORTION.





Mike Lori Ann



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MAIN HOUSE ROOF PLAN

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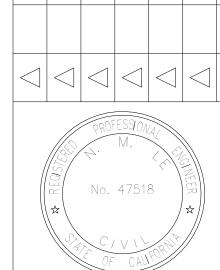
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ELEVATION NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION
- SEE ROOF PLAN SHEET FOR ADDITIONAL INFORMATION ON ROOF COVERING, GUTTERS & DOWNSPOUTS.
- EXTERIOR WALL COVERING: (SEE EXTERIOR ELEVATIONS FOR LOCATION OF MATERIALS, AND DETAILS FOR ADDITIONAL INFORMATION).
- GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER AND ARCHITECT.
- TRIMS, EXTERIOR DOORS, SHUTTERS, CORBALS AND OTHER MISC. ACCENTS:
 PAINTED COLOR FINISH: SHALL BE SELECTED BY OWNER AND ARCHITECT.
- EXTERIOR ENTRY DOOR, OVERHEAD GARAGE DOOR:
 PROVIDE A PAINT-GRADE FRONT ENTRY DOOR BY "SIMPSON"
 OR "JELD-WEN" OR SIMILAR BRAND; COLOR TO BE
 DETERMINED BY OWNER AND ARCHITECT.
- <u>PATIO DOORS & WINDOWS:</u> BY MARVIN WINDOW OR SIMILAR; ALUMINUM CLAD EXTERIOR FINISH; PRIMED WOOD INTERIOR
 - COLOR AND HARDWARE TO BE DETERMINED. SEE WINDOW AND DOOR SCHEDULE, DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION.
- PROVIDE VAPOR BARRIER (TYVEK OR EQUAL) OVER THE WALL SHEATHING. SEE DETAILS FOR ADDITIONAL INFORMATION.



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COLORS & MATERIALS



SHERWIN-WILLIAMS SUPERPAINT, CORK WEDGE SW 7539, LRV 42 OR SIM. W/ LRV <45.



CERTAINTEED ASPHALT ROOF SHINGLE, LANDMARK CLIMATEFLEX STYLE, BURNT SIENNA COLOR OR



MILGARD ULTRA C650, BARK COLOR OR SIM.



DELTA THIN STONE VENEER, MAOUNTAIN VALLEY STONE QUARRY BLEND OR SIM.

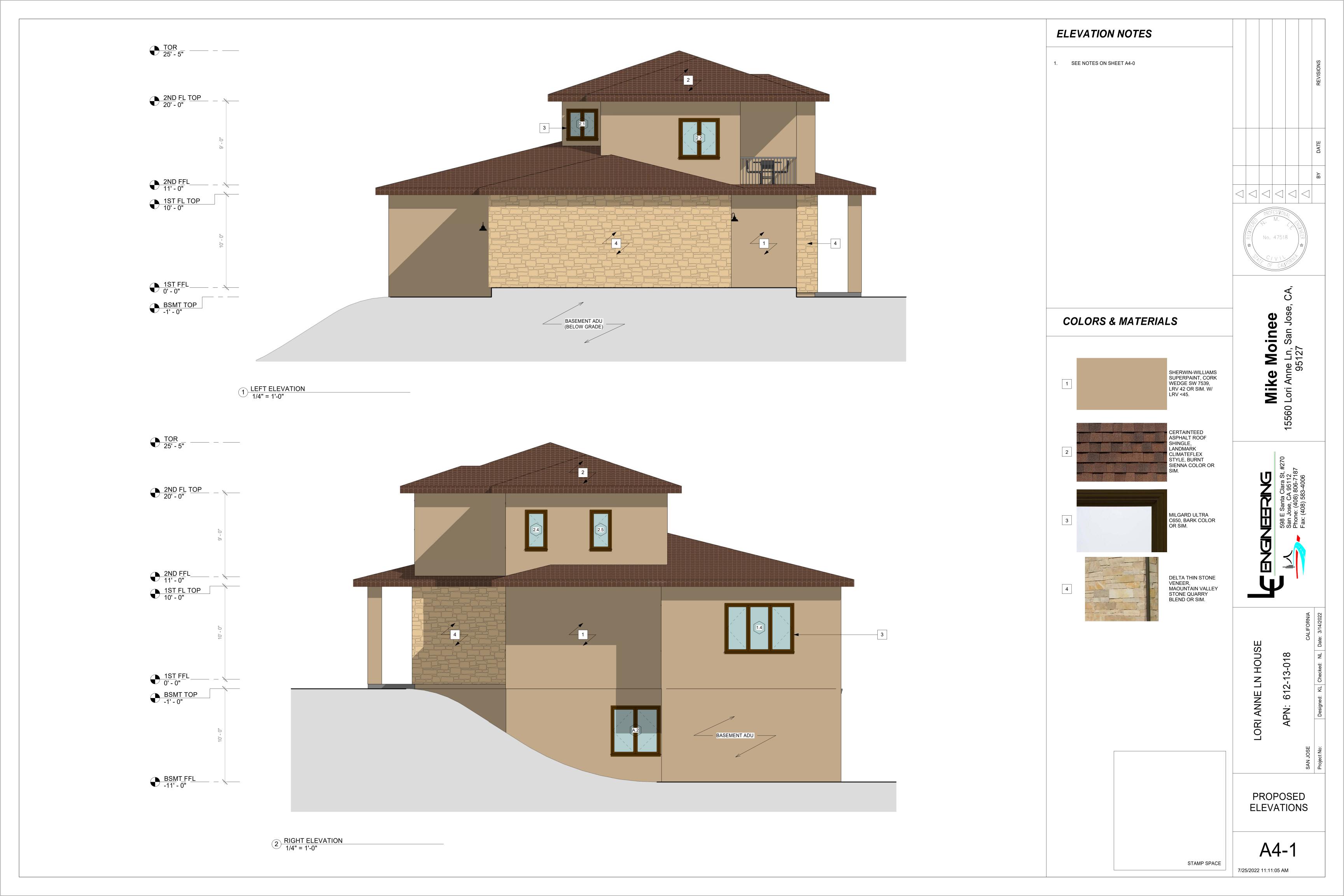


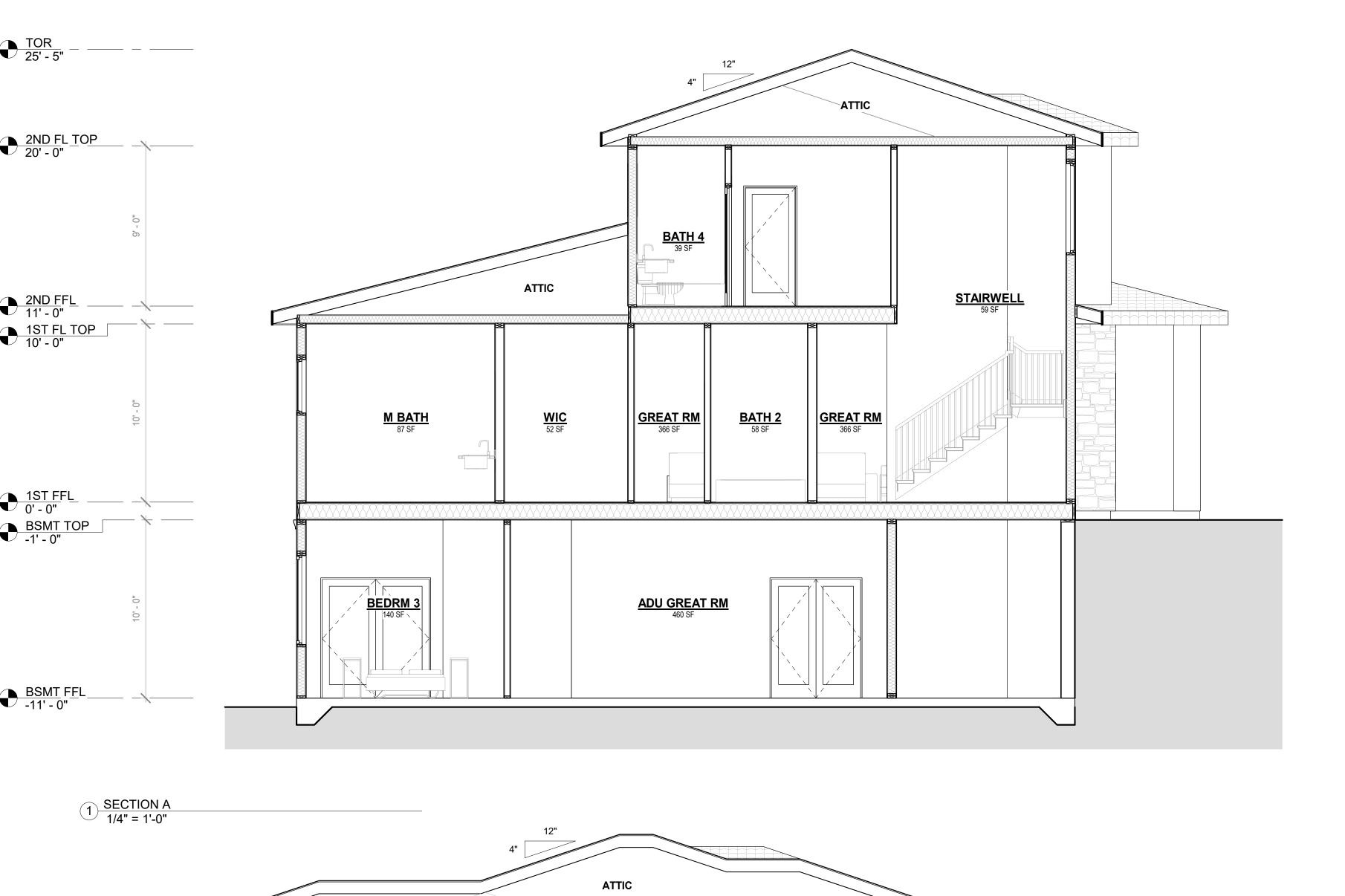
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PROPOSED **ELEVATIONS**

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2 SECTION B 1/4" = 1'-0"



SECTION NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION
- SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION A. SEE STRUCTURAL DRAWINGS FOR (E) WALL TO (P) WALL CONNECTION DETAILS
- 3. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION

<u>FIRE BLOCKING:</u> PROVIDE FIREBLOCKING PER C.R.C. SECTION R301.11 AT THE FOLLOWING COMBUSTIBLE CONSTRUCTION LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS, OR STAGGERED STUDS PER C.R.C. SECTION R302.11 AS FOLLOWS:
- A. VERTICALLY AT THE CEILING AND FLOOR LEVELS. B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES THAT OCCUR, SUCH AS AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS PER C.R.C. SECTION R302.11.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN PER C.R.C. SECTION R302.11.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES SEE C.R.C. SECTION R1003.19.
- FACTORY BUILT FIREPLACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 127 PERCC.B.C. SECTION
- FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
- WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE PERMITTED TO BE COMBUSTIBLE CONSTRUCTION PER C.B.C. SECTION 1406, OR WHERE ERECTED WITH COMBUSTIBLE FRAMES AT MAXIMUM INTERVALS OF 20 FEET, SO THAT THERE WILL BE NO OPEN SPACE EXCEEDING 100 SQUARE FEET PER C.B.C. SECTION 717.26
- WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE ON AN APPROVED WOOD OF NATURAL DECAY RESISTANCE OR PRESERVATIVE-TREATED WOOD. IF CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH 4-INCH MINIMUM SEPARATION BETWEEN SECTIONS PER C.B.C. SECTION 717.2.6.

EXCEPTIONS: (PER C.B.C. 717.2.6)

- FIREBLOCKING SHALL NOT BE REQUIRED WHERE INSTALLED ON NONCOMBUSTIBLE FRAMING AND THE FACE OF THE EXTERIOR WALL FINISH EXPOSED TO THE CONCEALED SPACE IS COVERED BY ONE OF THE FOLLOWING MATERIALS:
 - ALUMINUM HAVING A MINIMUM THICKNESS OF 0.019

 - CORROSION-RESISTANT STEEL HAVING A BASE METAL. THICKNESS NOT LESS THAN 0.016 INCH AT ANY POINT. OTHER APPROVED NONCOMBUSTIBLE MATERIALS.



Moinee Mike Lori Anno 5560

ENGINEERING
598 E Santa Clara St, #27
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

LORI ANNE LN HOUSE

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SECTIONS

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