

AREA DRAIN
 BENCHMARK
 BOUNDARY
 CATCH BASIN
 COBBLE ROCK ENERGY DISSIPATOR
 CONCRETE
 EXISTING CONTOUR AFTER GRADING
 ORIGINAL GROUND PRIOR TO GRADING
 DESIGN GRADE
 DOWNSPOUT WITH SPLASHBLOCK
 DRAINAGE EMITTER
 DIVERSION VALVE
 BACKWATER VALVE
 DRAINAGE SWALE
 EASEMENT LINE
 EXISTING ELEVATION
 EXISTING FENCE
 EXISTING TREE TO BE REMOVED
 EXISTING TREE TO REMAIN
 FOUND IRON PIPE AT PROPERTY CORNER
 FIBER ROLLS
 GAS METER
 GAS VALVE
 GRADE TO DRAIN
 GUY POLE
 GUY WIRE ANCHOR
 HIGH POINT
 HYDRANT: EXISTING
 HYDRANT: PROPOSED
 INLET
 JOINT POLE
 LIGHTING
 LIGHTING POLE
 LOW POINT
 OVERLAND FLOW DIRECTION
 PGE BOX
 POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE
 PROJECT SITE
 RETAINING WALL
 RIGHT OF WAY
 SANITARY SEWER CLEAN OUT MANHOLE
 SANITARY SEWER MANHOLE
 STORM DRAIN MANHOLE
 SUMP PUMP
 TELEPHONE BOX
 TELEVISION BOX
 TEST PIT
 TOP OF FILL
 TOE OF FILL
 TOP OF CUT
 TOE OF CUT
 TREE NUMBER
 T-VAULT
 UTILITY: EXISTING
 UTILITY: PROPOSED OR NEW
 WATER METER
 WATER VALVE
 WELL
 DISTURBED AREA
 =9,370 SF

TREES TO BE REMOVED		
No.	TREE DIAMETER	QUANTITY
1	4" TREE	2
2	5" TREE	5
3	6" TREE	6
4	8" TREE	2
5	9" TREE	5
6	10" TREE	3
7	12" TREE	2
8	13" TREE	3
	TOTAL	28

AB	AGGREGATE BASE	EM	ELECTRIC METER	MIN	MINIMUM	SE	SLOPE EASEMENT
AC	ASPHALT CONCRETE	E(OH)	ELECTRIC OVERHEAD	N&S	NAIL AND SILVER	SS	SANITARY SEWER/LATERAL
AD	AREA DRAIN	E(UG)	ELECTRIC UNDERGROUND	NTS	NOT TO SCALE	SSE	SANITARY SEWER EASEMENT
AE	ANCHOR EASEMENT	EP	EDGE OF PAVEMENT	OH	OVERHEAD	STA	STATION
BB	BUBBLER BOX	EX	EXISTING	OG	ORIGINAL GROUND	STD	STANDARD CITY DETAIL
BLDG	BUILDING	FC	FACE OF CURB	P	PAVEMENT FINISH GRADE	SW	SIDEWALK
BSL	BUILDING SETBACK LINE	FD	FOUND	PAD	PAD ELEVATION	TB	TOP OF BANK
BW	BOTTOM OF WALL/BACK OF WALK	FF	FINISH ELEVATION OF SUBFLOOR	R	PROPERTY LINE	TC	TOP OF CURB
CG	CURB & GUTTER	FG	GROUND FINISH GRADE	PEE	PEDESTRIAN EQUESTRIAN EASEMENT	TEMP	TEMPORARY
Q	CENTERLINE	FH	FIRE HYDRANT	PERF	PERFORATED	TOC	TOP OF COVER
CLF	CHAIN LINK FENCE	FL	FLOW LINE	PP	POWER POLE PROP PROPOSED	TOE	TOE OF BANK
CS	SANITARY SEWER CLEANOUT	G	GARAGE SLAB ELEVATION/GAS LINE	PSE	PUBLIC SERVICE EASEMENT	TG	TOP OF GRATE
CO	CURB OPENING	GPE	GENERAL PUBLIC EASEMENT	PUE	PUBLIC UTILITY EASEMENT	TPF	TREE PROTECTION FENCE
CONC	CONCRETE	GSB	GRADING SETBACK	PVM	PAVEMENT	TW	TOP OF WALL
CSD	COUNTY STANDARD DETAIL	GW	GAS METER	PVC	POLYVINYL CHLORIDE	TYP	TYPICAL
DE	DRAINAGE EMITTER	HP	HI POINT	R	RADIUS	VG	VALLEY GUTTER
DI	DRAINAGE INLET	INV	INVERT	RW	RETAINING WALL	W	WATER
DS	DOWNSPOUT	LIP	LIP OF GUTTER	REM	REMOVE	WCE	WIRE CLEARANCE EASEMENT
DWY	DRIVEWAY	LS	LANDSCAPED AREA	R/W	RIGHT OF WAY	WLK	WALKWAY
EA	EASEMENT	MAX	MAXIMUM	SD	STORM DRAIN	WM	WATER METER
ELEV	ELEVATION	MH	MANHOLE	SDE	STORM DRAIN EASEMENT	WOE	WIRE OVERHANG EASEMENT

1. SITE ADDRESS: 15560 LORI ANNE LANE, SAN JOSE CA 95127
2. APN: 612-13-018
3. LOT SIZE ARE: 11,000± SQ.FT / 0.25± ACRES
4. ZONING: RR-D1 (100%)
5. HCP RURAL DEVELOPMENT AREAS: IN
6. FIRE RESPONSIBILITY AREA: LRA (100%)
7. WILDLAND URBAN INTERFACE: IN
8. FIRE PROTECTION DISTRICT: SANTA CLARA COUNTY CENTRAL FIRE PROTECTION DISTRICT
9. GEOHAZARD: COUNTY FAULT RUPTURE HAZARD ZONE
10. FEMA FLOOD ZONE: D (100%)
11. WATERSHED: SAN FRANCISCO BAY
12. RAIN ISOHYET: 15.5 INCHES
13. IMPERVIOUS AREA: 3,565 SQ.FT.

CUT = 0 CY ; MAXIMUM CUT DEPTH = 0'±
 FILL = 1,022 CY ; MAXIMUM FILL DEPTH = 10'±
 IMPORT 1,022 CY
 EXPORT 0 CY

THE BEARINGS SHOWN ON THIS MAP ARE
BASED ON THE CENTER LINE OF LORI
ANNE LANE, AS SHOWN AS N04°45'00"E
ON RECORD OF SURVEY, RECORDED IN
BOOK 109 OF MAPS, AT PAGE 34,
SANTA CLARA COUNTY RECORDS.

(IN FEET)
1 inch = 10 ft.

SHEET C1: SITE GRADING PLAN
SHEET C2: DRIVEWAY PROFILE & CROSS SECTIONS

SITE GRADING PLAN
15560 LORI ANNE LN
APN 612-13-018

SHEET
C1

FILE #

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SAN JOSE	CALIFORNIA	
Project No.:	Designed: PT	Checked: NL Date: 03/30/22

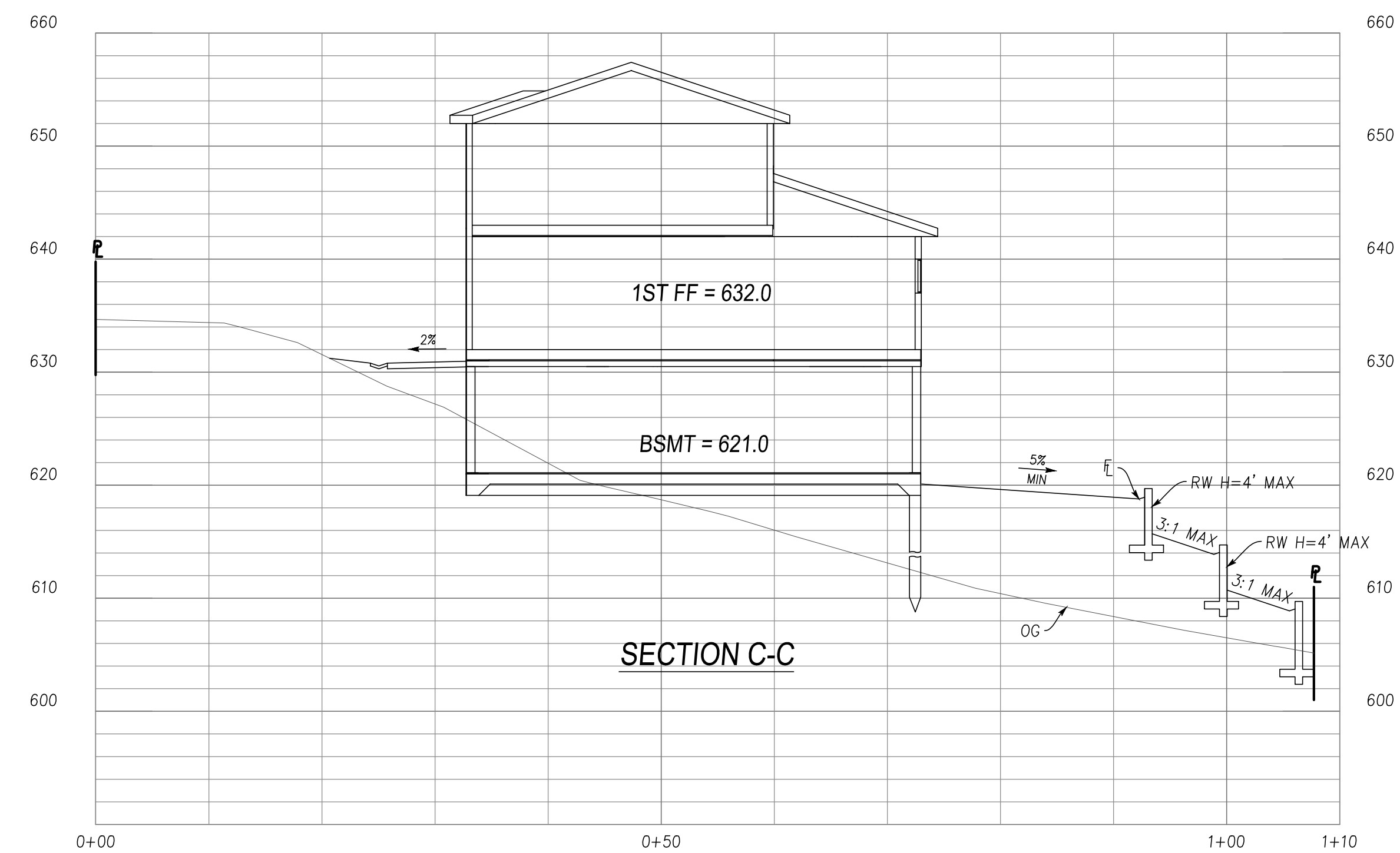
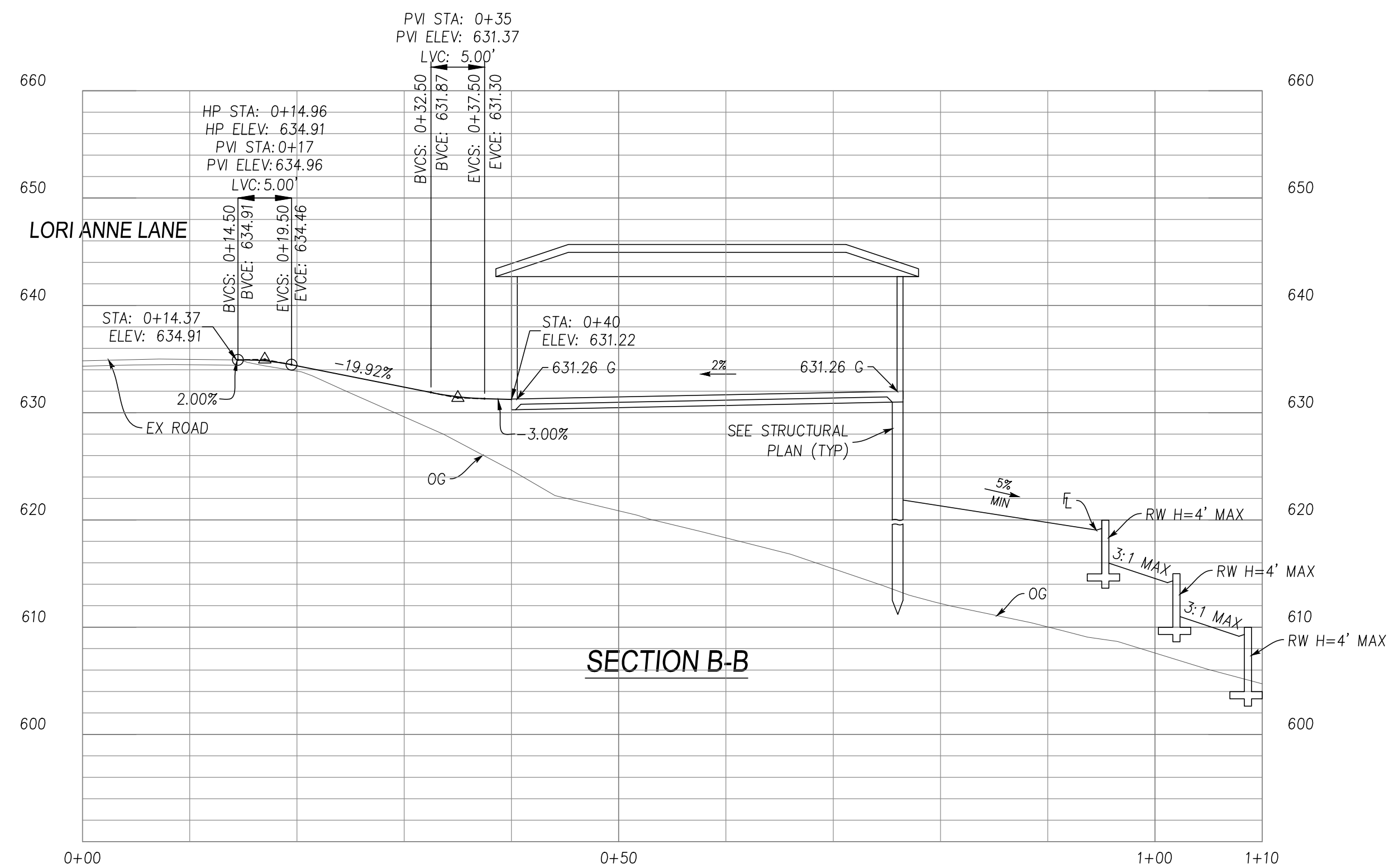
Project No.:	Designed: PT	Checked: NL	Date: 03/30/22
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BY	DATE
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BY	DATE
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EARTH WORK QUANTITY						
No.	STATION		AREA (SQUARE FEET)	DISTANCE	VOLUME (CUBIC YARD)	
			CUT	FILL	(FEET)	CUT
1	A-A	(LEFT)	11.00	70.00	0.00	28.52
2	B-B	(LEFT)	36.00	30.00	0.00	40.00
3	C-C	(LEFT)	8.00			
4	D-D	(LEFT)	37.00	65.00	0.00	54.17
5	A-A	(RIGHT)	46.00	70.00	0.00	119.26
6	B-B	(RIGHT)	205.00	40.00	0.00	303.70
7	C-C	(RIGHT)	225.00			
				65.00	0.00	476.67
8	D-D	(RIGHT)	171.00			
				TOTAL	0.00	1,022.32



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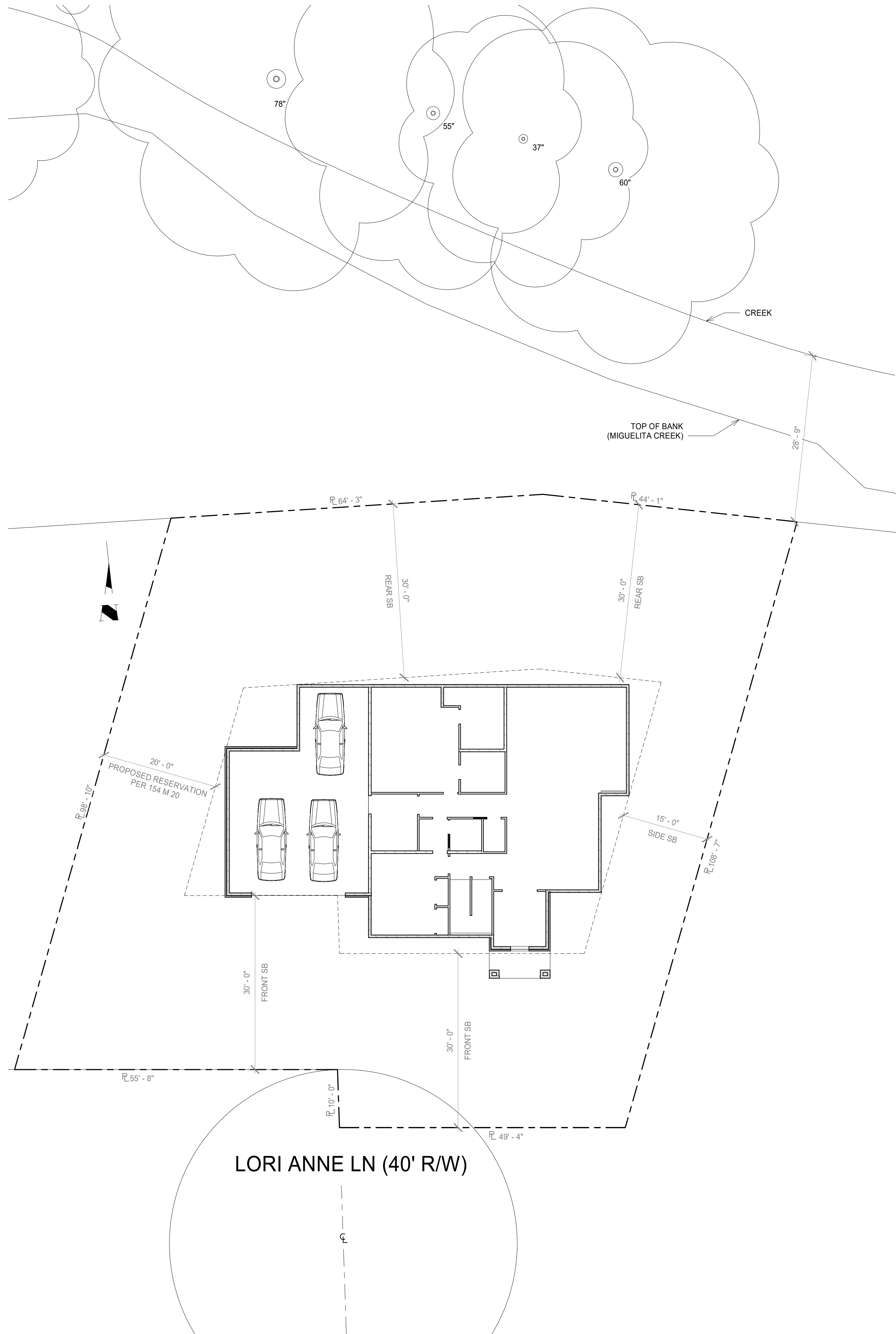
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DRIVEWAY PROFILE & SECTIONS
15560 LORI ANNE LN
APN 612-13-018

SHEET
C2

FILE #
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1 PROPOSED SITE PLAN
3/32" = 1'-0"

SITE PLAN GENERAL NOTES

1. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING SITE UTILITIES.
3. EXCAVATION, FILLS, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DO NOT ENDANGER LIFE OR PROPERTY.
4. CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION, U.O.N. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
5. SEE GRADING & DRAINAGE PLANS FOR ALL FINISH GRADES, SLOPES, AND EXTERIOR HARD SURFACES INCLUDING PATIOS AND PORCHES.
6. LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY. SEE GRADING & DRAINAGE PLANS.
7. IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION "BEST MANAGEMENT PRACTICES" WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS. SEE GRADING & DRAINAGE PLANS.
8. PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS. SEE GRADING AND DRAINAGE PLANS.
9. TRENCHES SHALL BE LOCATED OUTSIDE OF THE DRIP LINES OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS.
10. SEE COVER SHEET, FLOOR PLAN, AND BEST PRACTICES MANAGEMENT SHEET FOR ADDITIONAL PROJECT INFORMATION.
11. NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE. SEE GRADING AND DRAINAGE PLANS.
12. SEE ROOF PLAN FOR ROOF OVERHANGS.

RETAINING WALL: SEE CIVIL ENGINEERING PLANS FOR RETAINING WALL DETAILS.

*NO LANDSCAPING DESIGN



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LORI ANNE LN HOUSE

APN: 612-13-018

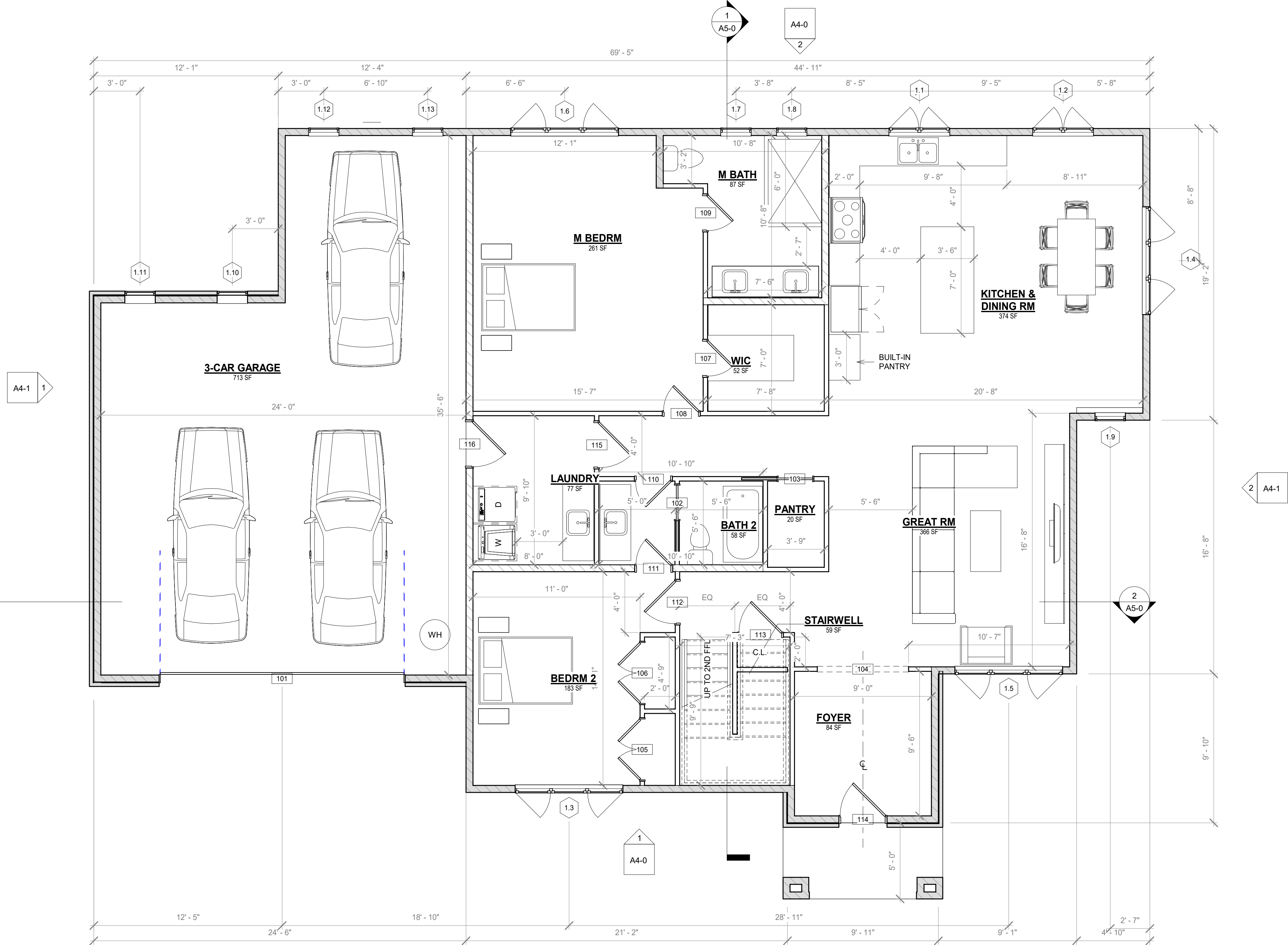
SAN JOSE Project No: Designed: KL Checked: NL Date: 3/14/2022 CALIFORNIA

SITE PLAN

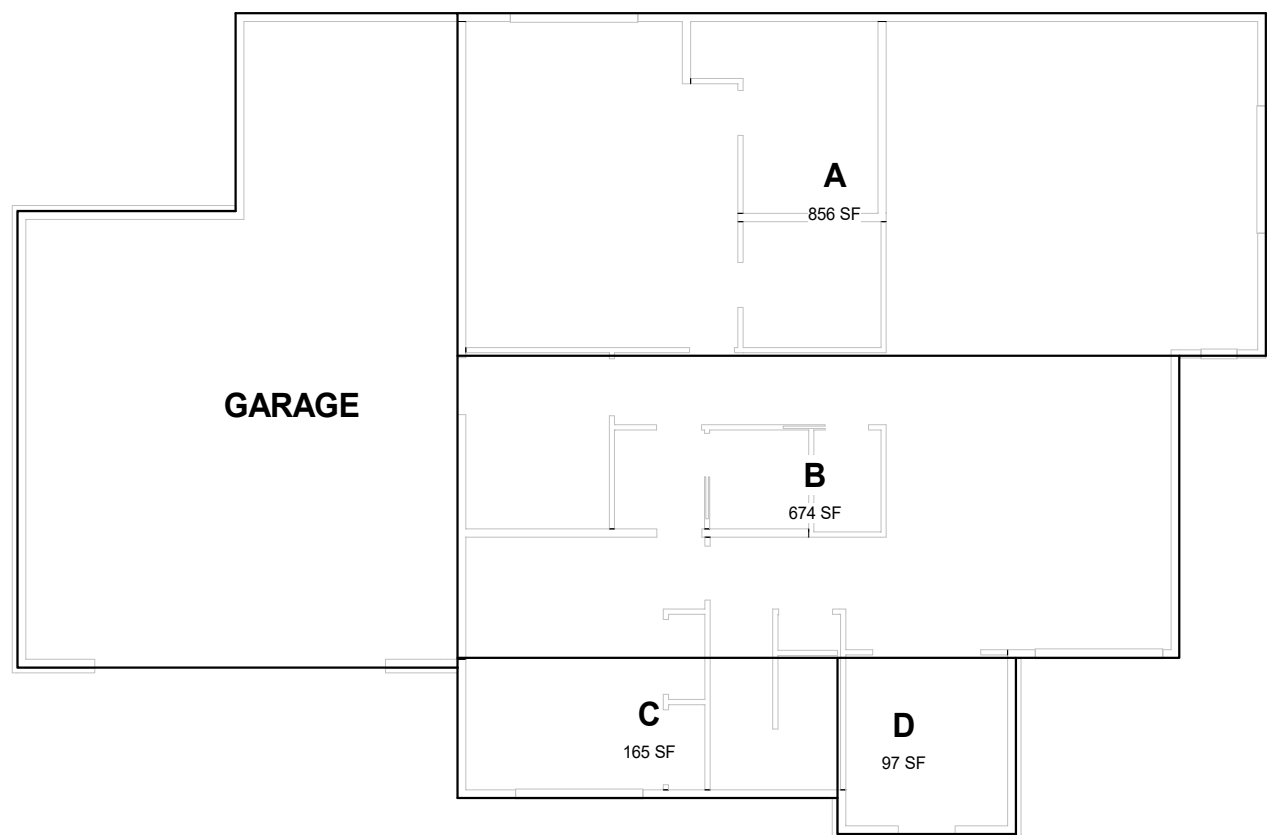
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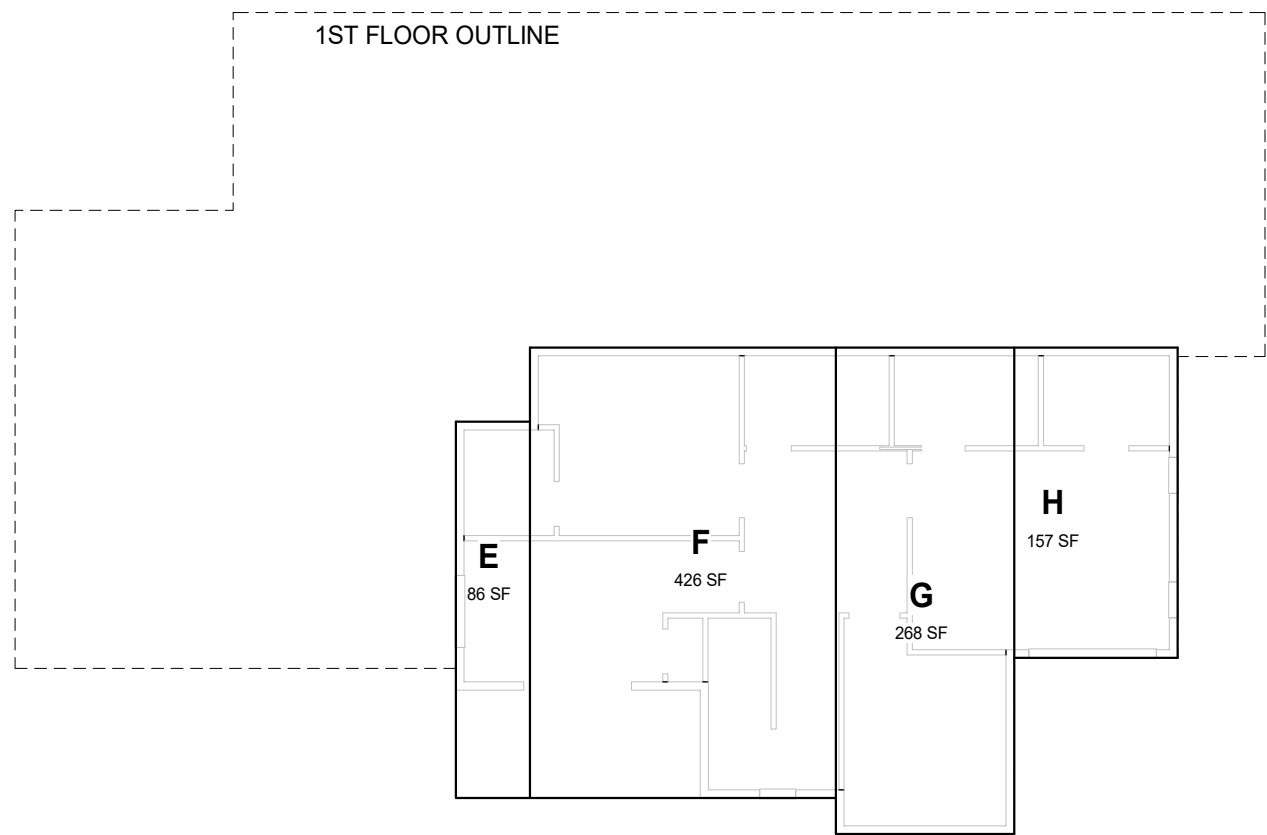
STAMP SPACE



1 1ST FFL
1/4" = 1'-0"



2 1ST FFL AREA PLAN
3/32" = 1'-0"



4 2ND FFL
3/32" = 1'-0"

MH AREA SCHEDULE			
NAME	WIDTH	LENGTH	AREA
1ST FFL			
A	19' - 0 1/2"	44' - 11"	856 SF
B	16' - 9 1/2"	40' - 1 1/2"	674 SF
C	7' - 9 1/2"	21' - 1 1/2"	165 SF
D	9' - 9 1/2"	9' - 11"	97 SF
1791 SF			
2ND FFL			
E	4' - 1 1/2"	20' - 11"	86 SF
F	17' - 0"	25' - 0 1/2"	426 SF
G	9' - 11"	27' - 0 1/2"	268 SF
H	9' - 1"	17' - 3"	157 SF
937 SF			
UNFINISHED			
GARAGE	17' - 5"	43' - 5"	756 SF
756 SF			
GRAND TOTAL			3485 SF

FLOOR PLAN NOTES

- ALL PROPOSED (P) WALLS** DIMENSIONED TO FACE OF STUD.
ALL EXISTING (E) WALLS DIMENSIONED TO FINISHED FACE.

	(P) 2 x 6 STUD WALL
	(P) 2 x 4 STUD WALL
	(P) ALUM BLOCK BASMENT WALL

EXTERIOR WALLS WITH STUCCO FINISH: (6" WALLS) TO BE 2X6 STUDS @ 16" O.C. W/ DBL SILL PLATE AND DBL 2X6 TOP PLATES AS INDICATED ON STRUCTURAL PLANS, TYP., W/ 3-LAYER STUCCO FINISH, TYP.

TYPICAL INTERIOR WALLS: TO BE 2 X 4 STUDS @ 16" O.C. TYP., U.N.O. WITH 5/8" GYP. BD., EACH SIDE, PLASTER FINISH TYPICAL U.N.O.

PROVIDE 2X6 PLUMBING WET WALLS AS REQUIRED.

GARAGE / RESIDENCE COMMON WALL AND CEILING -
PROVIDE A 5/8" GYPSUM BOARD FROM FLOOR TO UNDERSIDE OF ROOF SHEATHING (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) PROVIDE 5/8" TYPE 'X' GYPSUM BOARD AT ENTIRE GARAGE CEILINGS WITH HABITABLE ROOMS ABOVE AND 5/8" GYPSUM BOARD AT WALLS SUPPORTING THIS FLOOR/CEILING. FIRE SEPARATION PER CRC SEC 302.6. AND TABLE R302.6.
- ALL TOILETS** SHALL HAVE A MINIMUM CLEAR WIDTH OF 34".
- EGRESS WINDOW REQ.:**
 - AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7 SF IN OPENING AREA
 - MINIMUM OPENING SIZE IS 20" WIDTH X 24" HIGH
 - HAVE EGRESS OPENING NO MORE THAN 44" A.F.F.
 - IN ORDER TO MEET THE REQUIRED 5.7 SF TOTAL, EITHER THE WIDTH OR HEIGHT, OR BOTH MUST EXCEED THE MINIMUM DIMENSION.

MH ROOM SCHEDULE

NAME	AREA
1ST FFL	
3-CAR GARAGE	713 SF
BATH 2	58 SF
BEDRM 2	183 SF
FOYER	84 SF
GREAT RM	366 SF
KITCHEN & DINING RM	374 SF
LAUNDRY	77 SF
M BATH	87 SF
M BEDRM	261 SF
PANTRY	20 SF
STAIRWELL	59 SF
WIC	52 SF
2ND FFL	
BATH 3	39 SF
BATH 4	39 SF
BEDRM 4	103 SF
BONUS ROOM	109 SF
M BEDRM 3	156 SF
OFFICE	91 SF
WIC 2	34 SF
WIC 3	28 SF
2934 SF	
GRAND TOTAL	2934 SF

FLOOR VENT CALCULATIONS

MAIN FLOOR ATTIC SPACE	
AREA REQ. FLOOR VENT:	[] SF
VENTILATION REQ'D @ 1/150 SF	[] SF
VENTILATION PROVIDED	
PROVIDE 6"x14" 28-GA. GALVANIZED STEEL VENTS W/ 1/4" GALV. MESH SIZE, MAX. 62 SQ. IN. OR 0.43 SF EA.	[] SF
TOTAL VENTILATION PROVIDED:	[] SF
NOTES:	
1. DESIGN 50 / 50 HIGH & LOW VENTS	

STAMP SPACE



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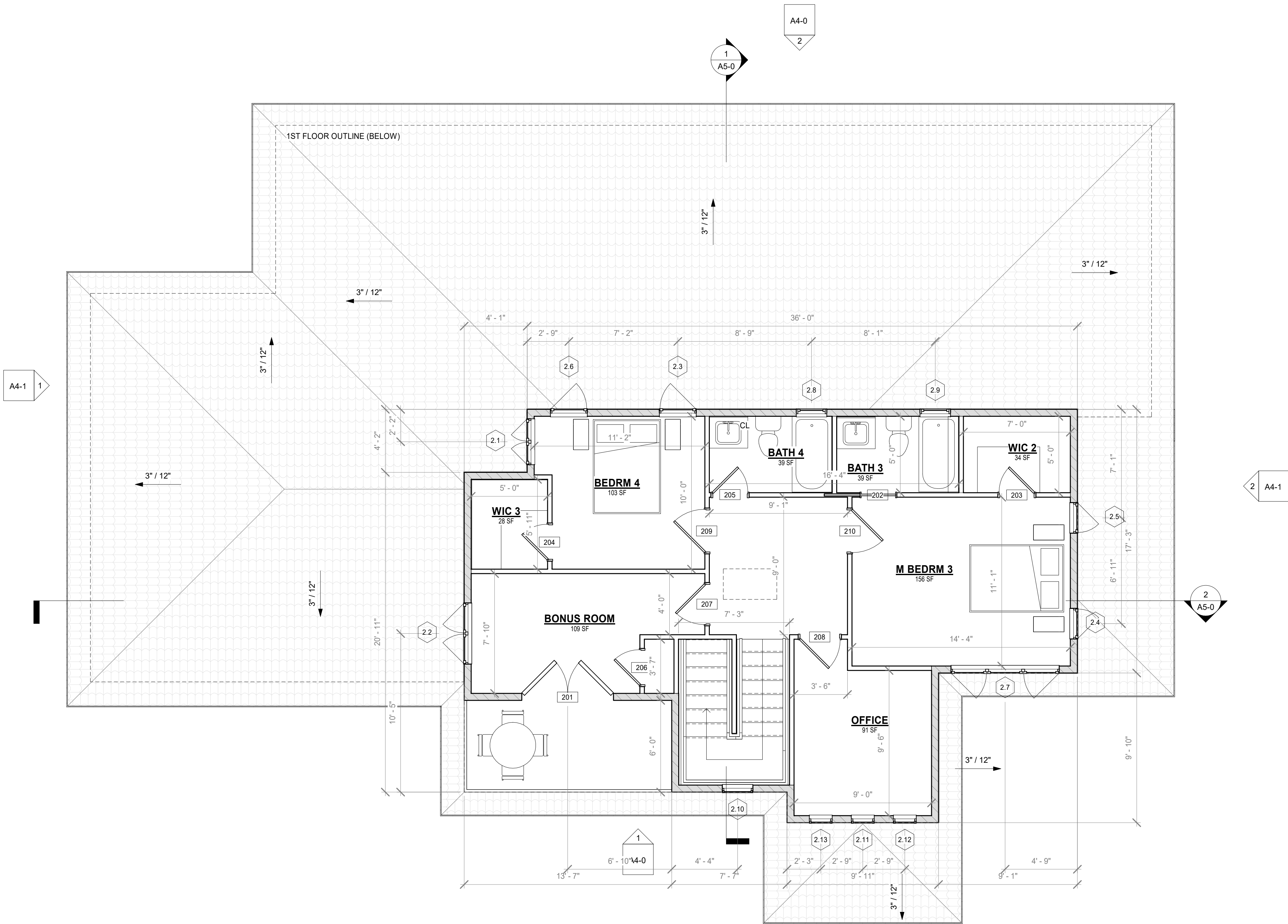
LORI ANNE LN HOUSE

APN: 612-13-018

FLOOR PLAN

A2-0

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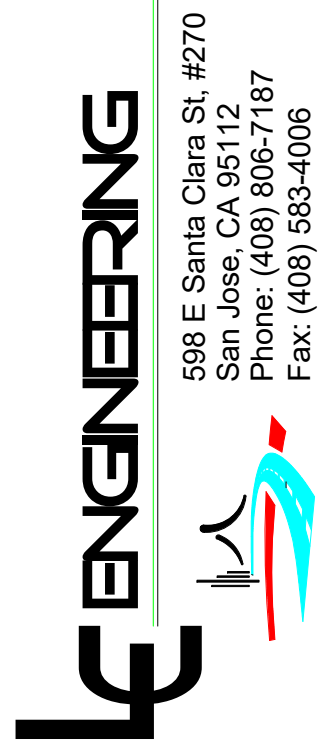
1 2ND FFL
1/4" = 1'-0"

FLOOR PLAN NOTES

1. SEE NOTES ON SHEET A2-0
2. FOR FIRST FLOOR ROOF, SEE NOTES ON A3-0.



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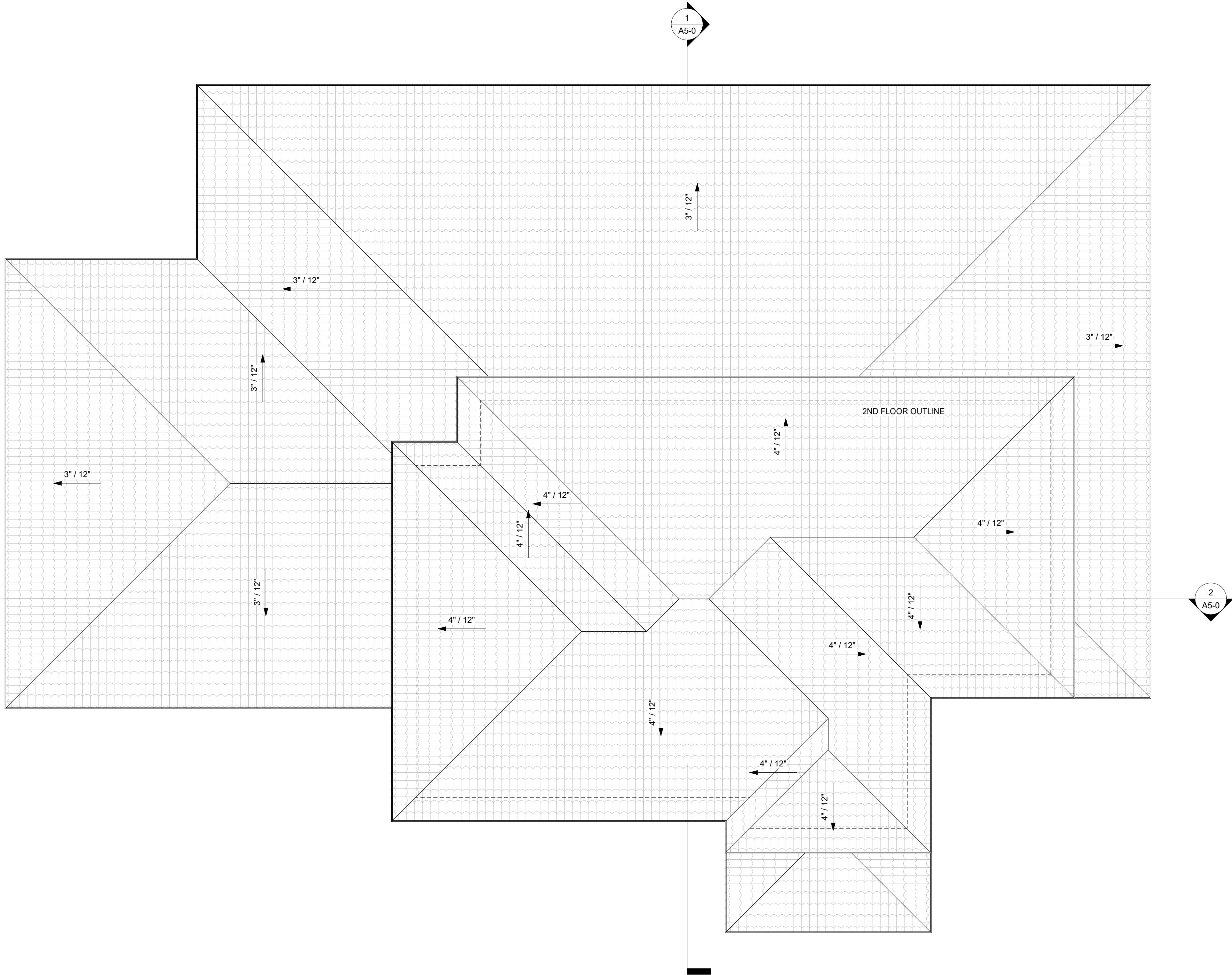
SECOND FLOOR
PLAN

A2-1

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STAMP SPACE

1 TOR
1/4" = 1'-0"



ROOF PLAN NOTES

- 0ROOF OVERHANG IS 1' - 6" U.N.O.
-
- ALL ROOF PROJECTIONS WITH A FIRE SEPARATION DISTANCE GREATER THAN OR EQUAL TO 2' AND LESS THAN 5' SHALL BE FIRE-RESISTANCE RATED PER TABLE R302.1(1) (CRC R302). SEE SHEET 7-1, DETAIL 6 FOR CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
- PROVIDE ROOF SLOPE AS INDICATED ON PLANS. THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD.
- FOR ROOF COVERING, PROVIDE [] "CLASS A" ROOF COVERING. STYLE AND COLOR TO BE DETERMINED BY OWNER.
- CONTRACTOR SHALL PROVIDE A COPY OF THE ICC REPORT FOR THE ROOF COVERING AT THE TIME OF INSPECTION.
- PROVIDE ALUMINUM METAL GUTTERS AND DOWNSPOUTS THAT SHALL BE PAINTED. GUTTERS SHALL BE PAINTED TO MATCH TRIM COLOR AND DOWNSPOUTS (RAIN WATER LEADERS: RWL) SHALL MATCH BODY COLOR.
- PROVIDE ATTIC VENTILATION AT ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF.
- FRAMING MEMBERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. A MINIMUM OF (1) INCH OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATION SHALL BE A MINIMUM OF NOT LESS THAN (1) SQ. FT. FOR EACH (150) SQ. FT. OF ATTIC AREA WITH (50) PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED LOCATED NEAR THE UPPER PORTION.



LORI ANNE LN HOUSE
APN: 612-13-018

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CALIFORNIA Date: 3/14/2022
Designed: KL Checked: NL

MAIN HOUSE
ROOF PLAN

A3-0

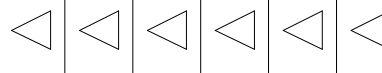


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REVISIONS

DATE

BY



STAMP SPACE

TOR
25' - 5"

2ND FL TOP
20' - 0"

2ND FFL
11' - 0"

1ST FL TOP
10' - 0"

1ST FFL
0' - 0"

BSMT TOP
-1' - 0"



① FRONT ELEVATION
1/4" = 1'-0"

TOR
25' - 5"

2ND FL TOP
20' - 0"

2ND FFL
11' - 0"

1ST FL TOP
10' - 0"

1ST FFL
0' - 0"

BSMT TOP
-1' - 0"

BSMT FFL
-11' - 0"



② REAR ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION
- SEE ROOF PLAN SHEET FOR ADDITIONAL INFORMATION ON ROOF COVERING, GUTTERS & DOWNSPOUTS.
- EXTERIOR WALL COVERING: (SEE EXTERIOR ELEVATIONS FOR LOCATION OF MATERIALS, AND DETAILS FOR ADDITIONAL INFORMATION).
- GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER AND ARCHITECT.
- TRIMS, EXTERIOR DOORS, SHUTTERS, CORBALS AND OTHER MISC. ACCENTS:**
PAINTED COLOR FINISH: SHALL BE SELECTED BY OWNER AND ARCHITECT.
- EXTERIOR ENTRY DOOR, OVERHEAD GARAGE DOOR:**
PROVIDE A PAINT-GRADE FRONT ENTRY DOOR BY "SIMPSON" OR "JELD-WEN" OR SIMILAR BRAND; COLOR TO BE DETERMINED BY OWNER AND ARCHITECT.
- PATIO DOORS & WINDOWS:** BY MARVIN WINDOW OR SIMILAR; ALUMINUM CLAD EXTERIOR FINISH; PRIMED WOOD INTERIOR FINISH.

COLOR AND HARDWARE TO BE DETERMINED. SEE WINDOW AND DOOR SCHEDULE, DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION.
- PROVIDE VAPOR BARRIER (TYVEK OR EQUAL) OVER THE WALL SHEATHING. SEE DETAILS FOR ADDITIONAL INFORMATION.

COLORS & MATERIALS

- | | |
|---|---|
| 1 | SHERWIN-WILLIAMS SUPERPAINT, CORK WEDGE SW 7539, LRV 42 OR SIM. W/ LRV <45. |
| 2 | CERTAINTED ASPHALT ROOF SHINGLE, LANDMARK CLIMATEFLEX STYLE, BURNT SIENNA COLOR OR SIM. |
| 3 | MILGARD ULTRA C650, BARK COLOR OR SIM. |
| 4 | DELTA THIN STONE VENEER, MOUNTAIN VALLEY STONE QUARRY BLEND OR SIM. |



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LORI ANNE LN HOUSE

APN: 612-13-018

PROPOSED
ELEVATIONS

A4-0

STAMP SPACE

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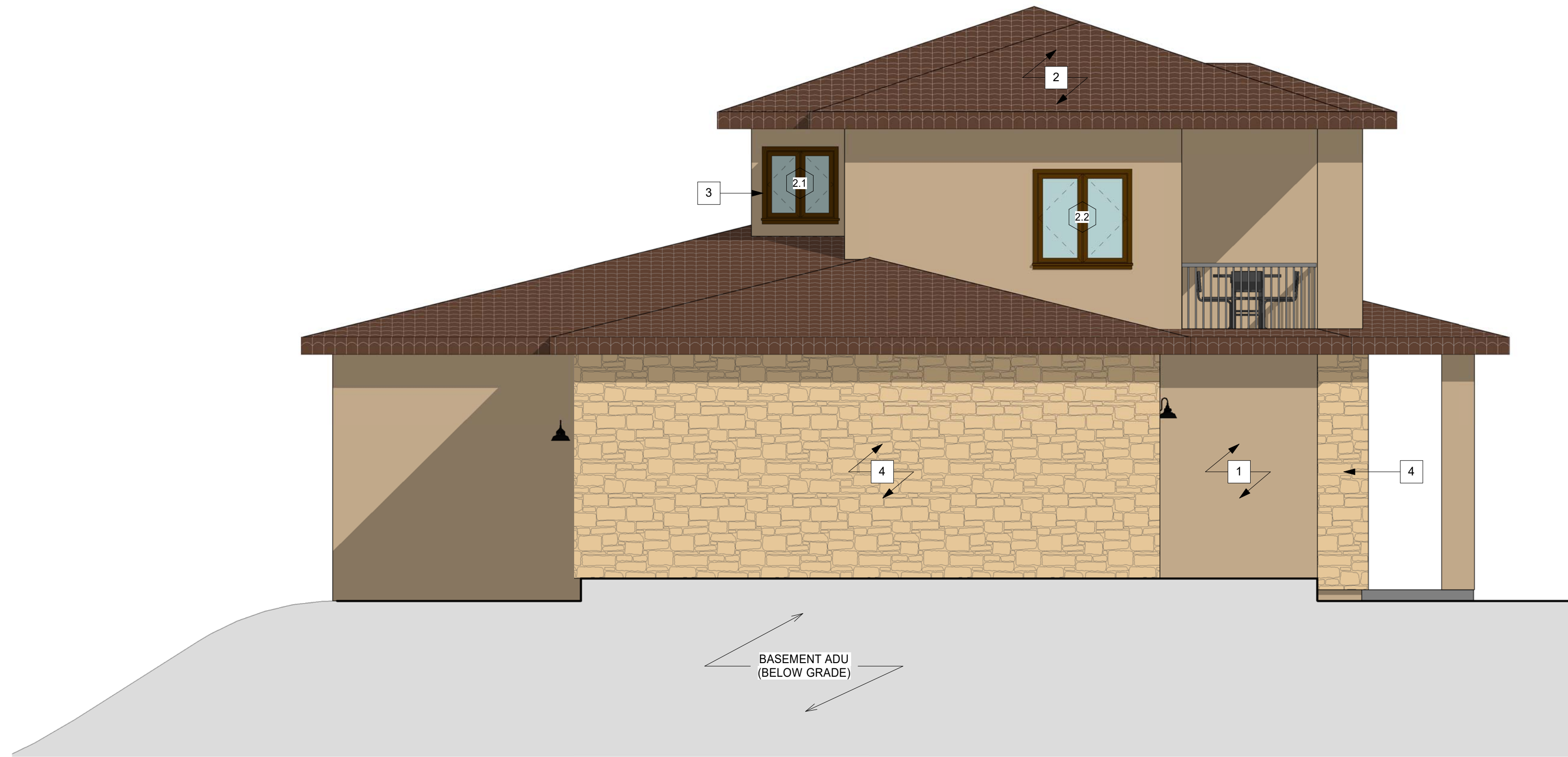


Diagram showing elevations and vertical dimensions:

- TOR: 25' - 5"
- 2ND FL TOP: 20' - 0"
- 2ND FFL: 11' - 0"
- 1ST FL TOP: 10' - 0"
- 1ST FFL: 0' - 0"
- BSMT TOP: -1' - 0"
- BSMT FFL: -11' - 0"

Vertical dimensions:

- 9' - 0"
- 10' - 0"
- 10' - 0"



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SECTION NOTES

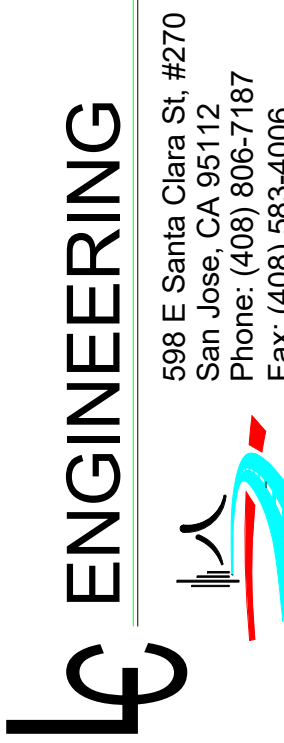
1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION
2. SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION
A. SEE STRUCTURAL DRAWINGS FOR (E) WALL TO (P) WALL CONNECTION DETAILS
3. SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION

FIRE BLOCKING: PROVIDE FIREBLOCKING PER C.R.C. SECTION R301.11 AT THE FOLLOWING COMBUSTIBLE CONSTRUCTION LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS, OR STAGGERED STUDS PER C.R.C. SECTION R302.11 AS FOLLOWS:
A. VERTICALLY AT THE CEILING AND FLOOR LEVELS.
B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES THAT OCCUR, SUCH AS AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS PER C.R.C. SECTION R302.11.
3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN PER C.R.C. SECTION R302.11.
4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES SEE C.R.C. SECTION R1003.19.
6. FACTORY BUILT FIREPLACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 127 PER C.C. SECTION 717.2.5.1.
7. FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
8. WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE PERMITTED TO BE COMBUSTIBLE CONSTRUCTION PER C.B.C. SECTION 1406, OR WHERE ERECTED WITH COMBUSTIBLE FRAMES AT MAXIMUM INTERVALS OF 20 FEET, SO THAT THERE WILL BE NO OPEN SPACE EXCEEDING 100 SQUARE FEET PER C.B.C. SECTION 717.26
9. WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE ON AN APPROVED WOOD OF NATURAL DECAY RESISTANCE OR PRESERVATIVE-TREATED WOOD. IF CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH 4-INCH MINIMUM SEPARATION BETWEEN SECTIONS PER C.B.C. SECTION 717.2.6.
EXCEPTIONS: (PER C.B.C. 717.2.6)
10. FIREBLOCKING SHALL NOT BE REQUIRED WHERE INSTALLED ON NONCOMBUSTIBLE FRAMING AND THE FACE OF THE EXTERIOR WALL FINISH EXPOSED TO THE CONCEALED SPACE IS COVERED BY ONE OF THE FOLLOWING MATERIALS:
A. ALUMINUM HAVING A MINIMUM THICKNESS OF 0.019 INCH.
B. CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS NOT LESS THAN 0.016 INCH AT ANY POINT.
C. OTHER APPROVED NONCOMBUSTIBLE MATERIALS.



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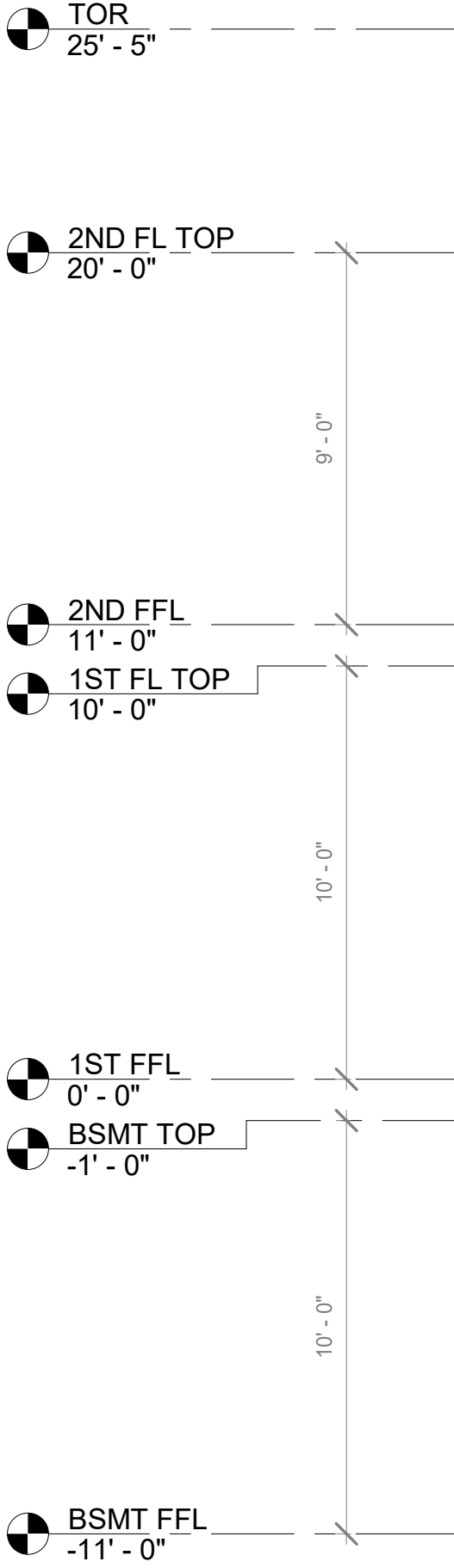
LORI ANNE LN HOUSE

APN: 612-13-018

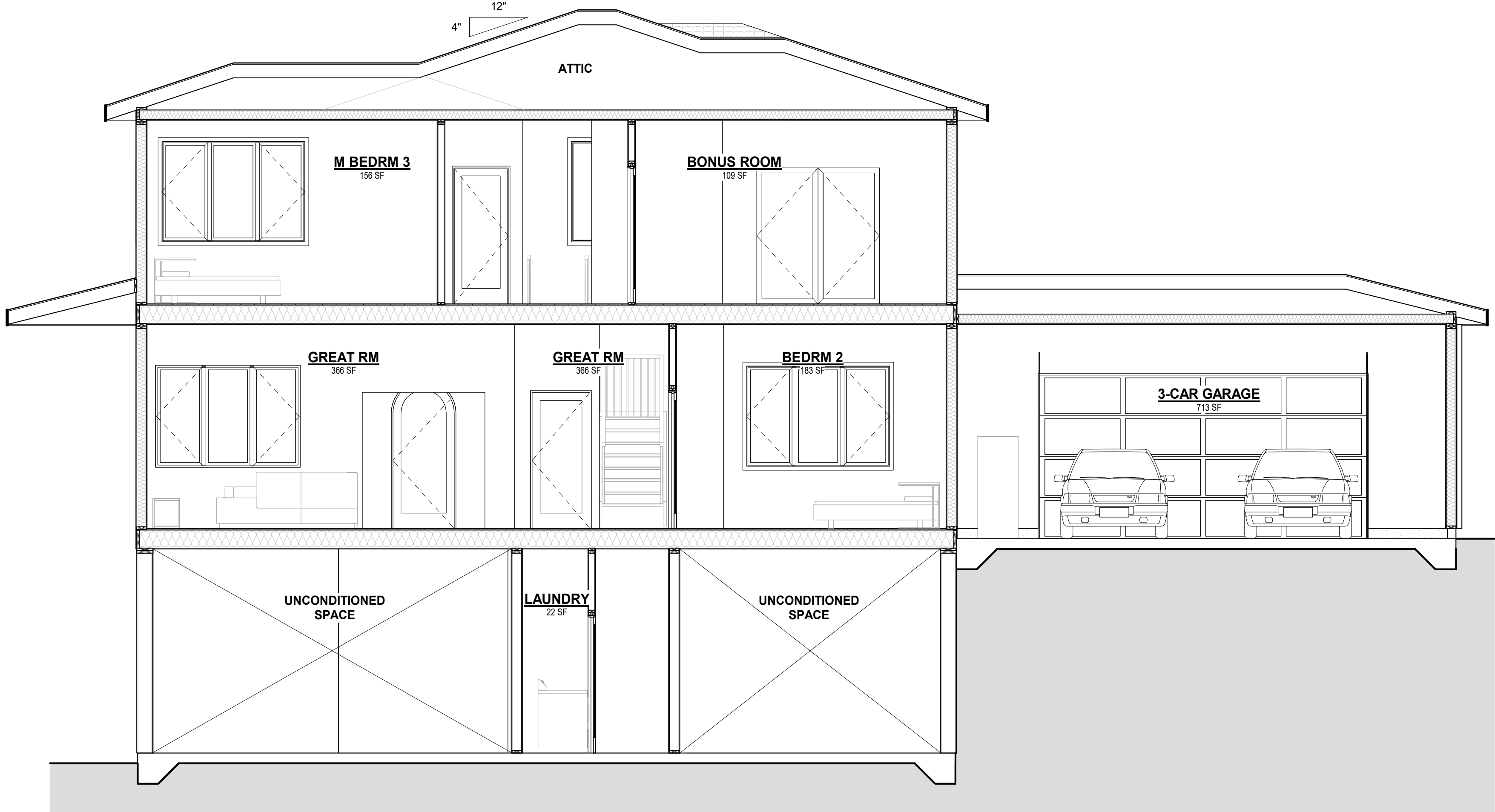
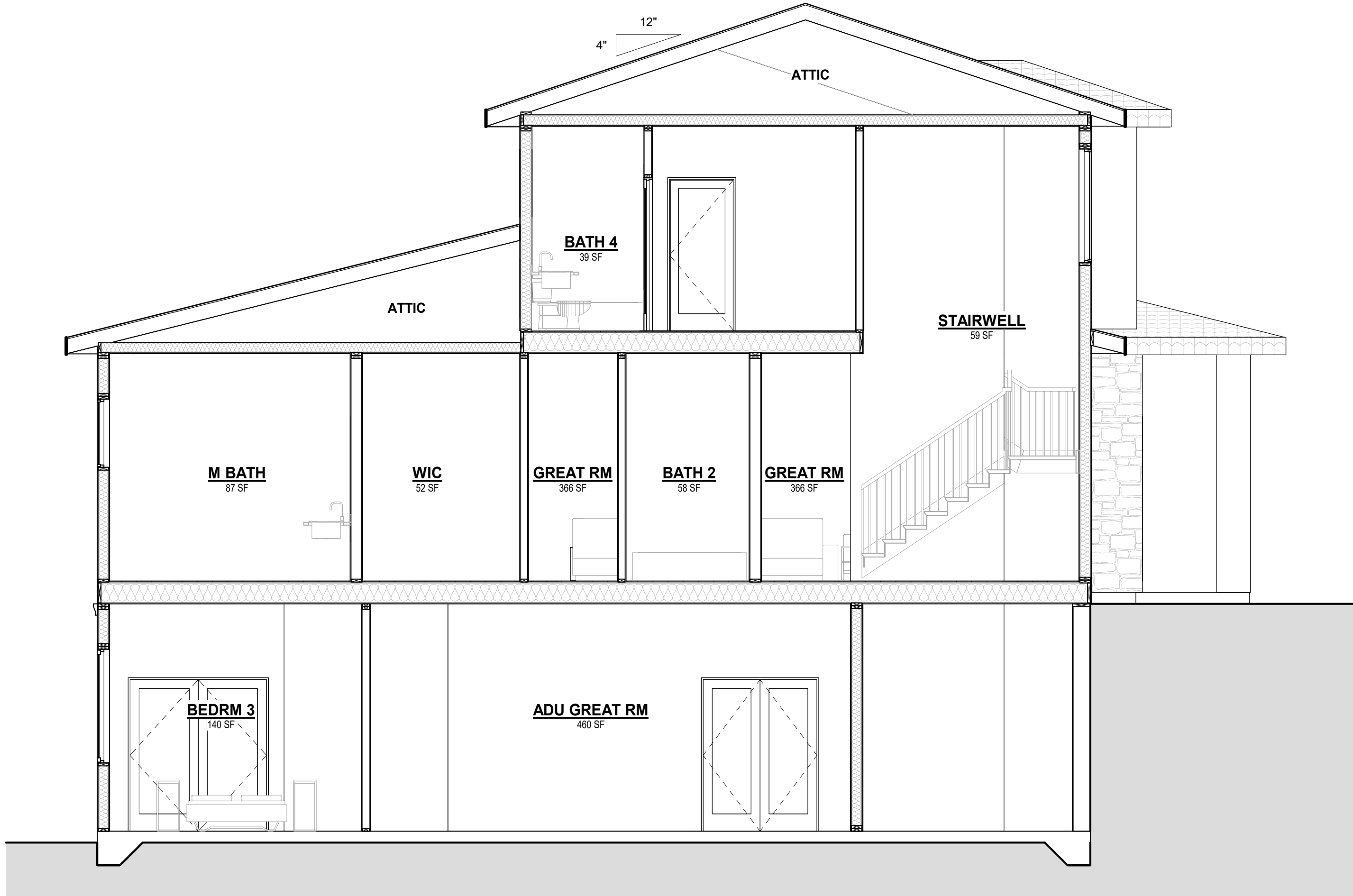
PROPOSED
SECTIONS

A5-0

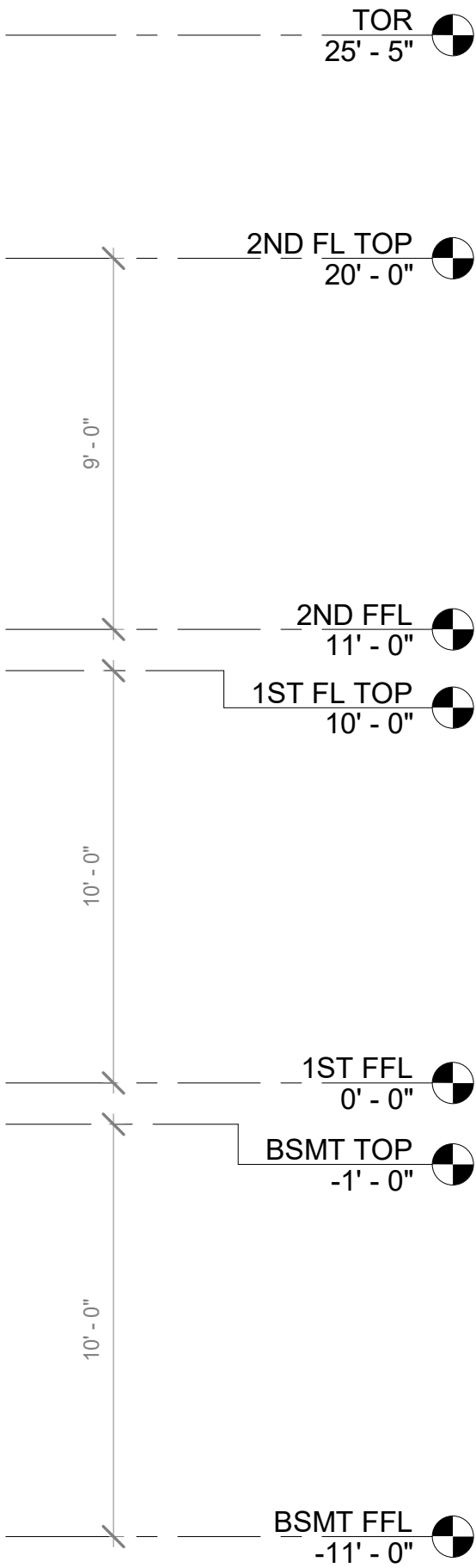
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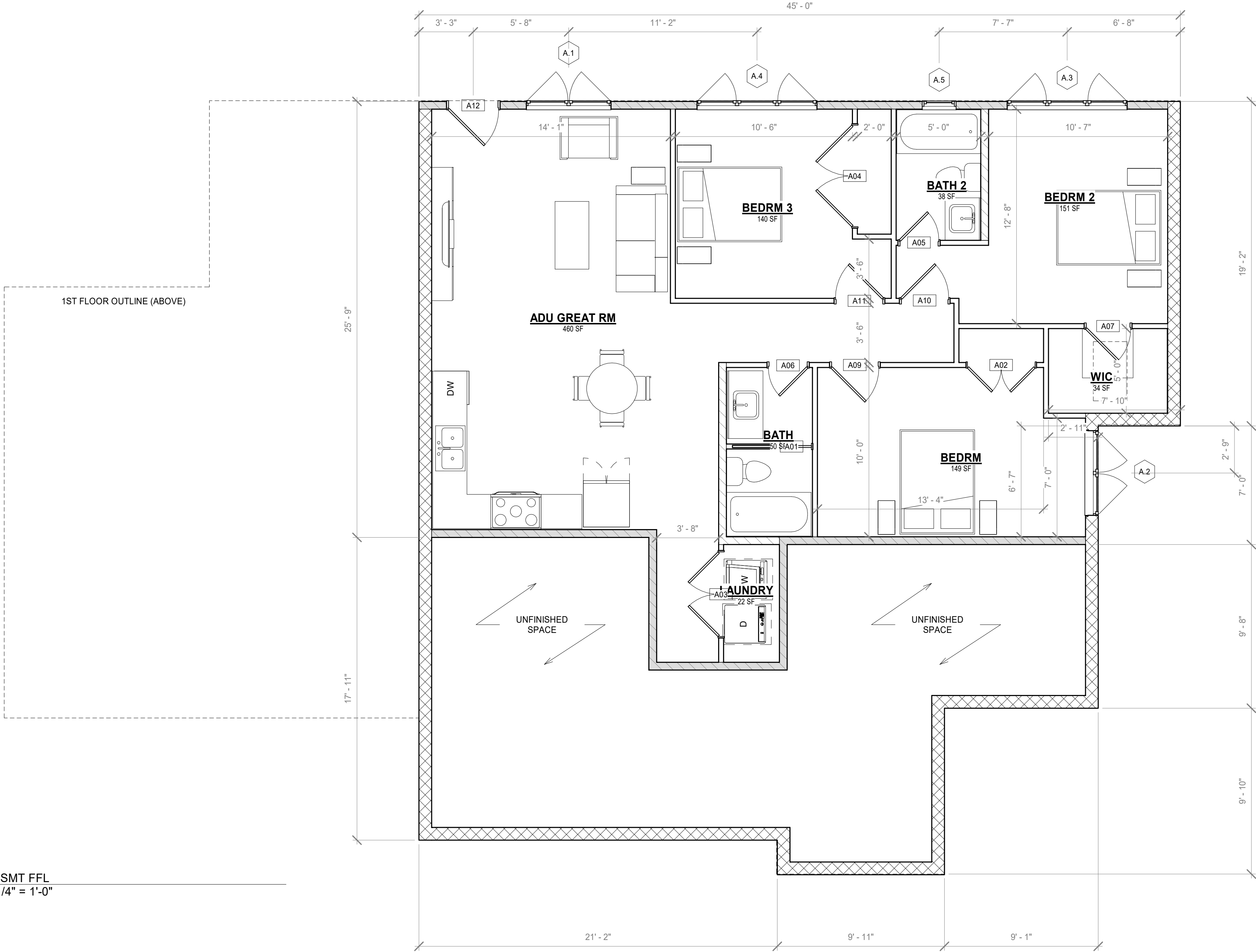
1 SECTION A
1/4" = 1'-0"



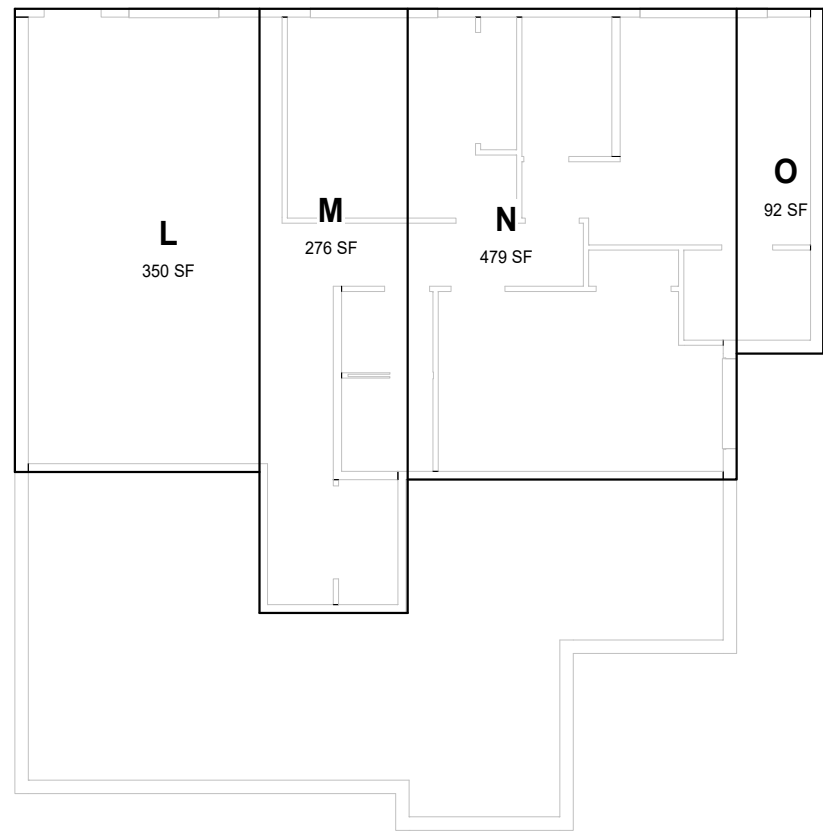
2 SECTION B
1/4" = 1'-0"



STAMP SPACE



1 BSMT FFL
1/4" = 1'-0"



2 BSMT FFL
3/32" = 1'-0"

ADU AREA SCHEDULE			
NAME	WIDTH	LENGTH	AREA
ADU			
L	13' - 7 1/2"	25' - 9"	350 SF
M	8' - 3"	33' - 7"	276 SF
N	18' - 3 1/2"	26' - 2"	479 SF
O	4' - 9 1/2"	19' - 2"	92 SF
GRAND TOTAL			1198 SF

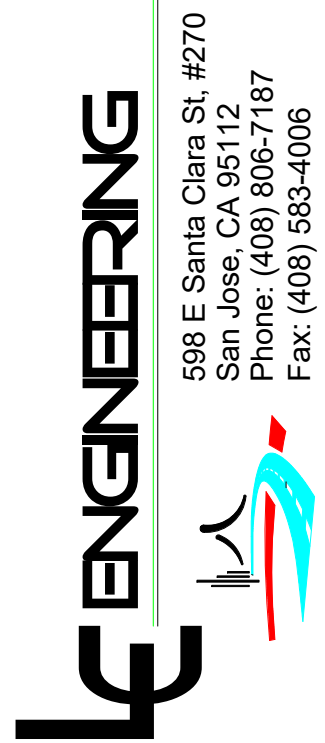
ADU ROOM SCHEDULE			
Comments	NAME	AREA	Level
BSMT FFL			
	ADU GREAT RM	460 SF	BSMT FFL
	BATH	50 SF	BSMT FFL
	BATH 2	38 SF	BSMT FFL
	BEDRM	149 SF	BSMT FFL
	BEDRM 2	151 SF	BSMT FFL
	BEDRM 3	140 SF	BSMT FFL
	LAUNDRY	22 SF	BSMT FFL
	WIC	34 SF	BSMT FFL
GRAND TOTAL		1045 SF	

FLOOR PLAN NOTES

1. SEE NOTES ON SHEET A2-0



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LORI ANNE LN HOUSE

APN: 612-13-018

SAN JOSE
Project No:
Designed: KL
Checked: NL
Date: 3/14/2022
CALIFORNIA

ADU FLOOR PLAN

GA-0

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