

County of Santa Clara

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STAFF REPORT
Zoning Administration
October 3, 2024
Item No. 1

Staff Contact: Michael Shwe, Assistant Planner
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File: PLN22-136

Concurrent Land Use Permit for Building Site Approval, Design Review (Tier 1), Grading Approval, and Variance for a New Single Family Residence and attached Accessory Dwelling Unit (ADU)

Summary: Consider a request for a concurrent land use application including Building Site Approval, Design Review Tier 1, Grading Approval and Variance for the construction of a new 2,728 square-foot single-family residence with an attached 1,198 square-foot Accessory Dwelling Unit on a 0.27-acre lot. The Variance request includes a setback reduction for the proposed residence from 30 feet to 10 feet from the edge of the road dedication in front, and a setback reduction from the edge of the recorded right way from 15 feet to 0 feet on the west side and from 30 feet to 10'1" on the rear. Associated improvements include a porch, entry steps, walkways, and a retaining wall. Grading consists of 0 cubic yards of cut and 1,022 cubic yards of fill, with a maximum depth of 10 feet. The project proposes the removal of 28 trees – 5 of which are protected under the County Ordinance Code as they are over 12" in diameter. 15 trees (15-gallon coast live oaks) are proposed to be planted as replacement trees.

Owner: Sam HC LLC
Applicant: LC Engineering
Address: 15560 Lori Anne Ln, San Jose, CA
APN: 612-13-018
Supervisory District: 2

Gen. Plan Designation: Rural Residential
Zoning: RR-d1
Lot Size: 0.27 acres
Present Land Use: Vacant Land
HCP: Within HCP Area, Covered Project

RECOMMENDED ACTIONS

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- A. Accept a Categorical Exemption under Section 15303 (Class 3)(a) of the CEQA Guidelines, Attachment A; and

- B. Grant concurrent land use permit for Building Site Approval, Design Review, Grading Approval, and Variance, pursuant to the Conditions of Approval outlined in Attachment B.

ATTACHMENTS INCLUDED

Attachment A – CEQA Determination
 Attachment B – Preliminary Conditions of Approval
 Attachment C – Location and Vicinity Map
 Attachment D – Proposed Plans
 Attachment E – Color and Materials Board
 Attachment F – Site Photos
 Attachment G – Variance Exhibit
 Attachment H – Variance Request from Applicant

PROJECT DESCRIPTION

The proposed project is a request for a concurrent land use permit for Building Site Approval (BSA), Design Review (DR) (Tier 1), Grading Approval (G) and a Variance (V) for the construction of a new 2,728 square-foot single-family residence with an attached 1,198 square-foot Accessory Dwelling Unit on a 0.27-acre lot. Associated grading consists of 0 cubic yards of cut and 1,022 cubic yards of fill, with a maximum depth of 10 feet. The Variance would accommodate a reduction in the front yard lot setback to 10'-0", as opposed to 30'-0". Associated site improvements include a porch, retaining walls, entry steps and walkways. The project proposes the removal of 28 trees – five of which are protected under the County Ordinance Code as they are over 12" in diameter. 15 15-gallon coast live oaks are proposed to be planted as replacement trees, per the replanting requirements within the County's Tree Preservation Guidelines.

The property takes access from Lori Anne Lane, a private road, via Mt. Hamilton Road (SR 130), a Caltrans-maintained road (refer to **Attachment C**). The subject property abuts Lori Anne Lane on its south side and Miguelita Creek on its north side. The lot is approximately 100 feet deep at its center point from the front to the back of the lot. A proposed reservation easement, shown on a 1962 Record of Survey (154M20) and described in the subject property's 1962 grant deed, is 20 feet wide and runs along the north, west, and south property lines, thus limiting the ability for the placement of retaining walls or associated improvements along the 20 feet to the rear of the property. Due to site constraints and a Land Development Engineering requirement of a 42-foot right-of-way dedication as measured from the center of the cul-de-sac in front of the property on Lori Anne Lane, which in conjunction with the front and rear setbacks of 30 feet would yield between approximately 4.5 to 20 feet of buildable area lot depth (refer to **Attachment G**), the applicant is requesting a variance to reduce the front yard setback from 30 feet to 10 feet. The proposed residence would not meet the reduced side setback of 15 feet on the west side, nor would the project meet the 30-foot front and rear setbacks due to these setbacks being applied from the edge of the right of ways (**Attachment G**). As such, the applicant is requesting a variance for the proposed residence where the front setback would be reduced from 30 feet to 10 feet, the west side setback reduced from 15 feet to 0 feet, and the rear setback would be reduced from 30 feet to 10 feet 1 inch from the edges of the right of way easements. (**Attachment H**). The variance would apply to only the proposed residence as designed in the

submitted plans and would not apply to any other structures or additions to the proposed residence in the future. The subject property is located within the Santa Clara Valley Habitat Plan (HCP) permit area, and is a covered project as it is within Area 1, and as it is an undeveloped lot proposing new development.

Setting/Location Information

The 0.27-acre parcel is currently a vacant lot. The parcel has an average slope of 27.3%, with the highest point on the south side of the property along Lori Anne Lane and the lowest point at the watercourse on the northern side of the property. The northwestern portion of the property is clear and features native grassland, while several oak trees are located on the eastern side of the property. The property is located within the East Foothills of unincorporated San Jose, and is situated amongst a cul-de-sac off Mt. Hamilton Road (SR 130), just under a mile east of Alum Rock Avenue.

The parcel is within the County fault rupture hazard zone and the wildland-urban interface (WUI). The site is located within the Santa Clara Valley Habitat Plan permit area, and is a covered project, as it is within Area 1 and proposed new development on a previously undeveloped lot. Surrounding properties include single-family residential uses, with lot sizes ranging from 0.36 to 0.69 acres. The subject lot, at 0.27 acres, is the smallest lot on Lori Anne Lane.

REASONS FOR RECOMMENDATIONS

A. Environmental Review and Determination (CEQA)

The project has been reviewed in accordance with the California Environmental Quality Act (CEQA) and staff has determined that the proposed project qualifies for a Class 3 Categorical Exemption under Section 15303(a) as it involves the construction of one single-family residence, an attached accessory dwelling unit and associated improvements (refer to **Attachment A**).

B. Project/Proposal

1. **General Plan:** Rural Residential
2. **Approved Building Site:** Pursuant to County Ordinance Code Section C12-307, Building Site Approval (BSA) is required for new single-family dwellings, including any property within the RR-d1 zoning district that is not a numbered lot on a numbered tract map, was not created via a parcel map for subdivision, and did not previously vest BSA through obtaining BSA and a subsequent building permit within the specified time limits. The proposed project satisfies all development standards for the primary residence, attached ADU and associated improvements, including the required setbacks, maximum heights, and parking requirements.

The standard setback for a primary residence RR zoned lot is 30 feet from all property lines (and/or right of way), with a side yard setback reduction for lots which are substandard in size, per §4.20.110(C)(1), which states that the minimum side yard setback shall be 15 feet for lots which are between 10,001 and 20,000 net square feet, and is lesser in area than the minimum lot size required by the applicable zoning

district. The proposed residence features a 15-foot setback on the east side, and a 20 foot setback on the west side, staying clear of the reservation easement that exists on the property and is shown on the 1962 grant deed and a 1962 Record of Survey (154M20). A variance request was granted at the October 3, 2024 Zoning Administration hearing for a front setback reduction from 30 feet to 10 feet due to special circumstances on the lot. The proposed design satisfies the front, rear, and side setbacks. The average height of the proposed two-story residence is 33 feet, per the formula within §1.30.030 of the Zoning Ordinance, which is below the 35 feet maximum allowed within RR zoning. As the project meets all the minimum requirements and development standards, Staff can support the subject request for Building Site Approval if the Zoning Administrator grants the requested variance.

3. **Zoning Standards:** The Zoning Ordinance specifies the required development standards for RR-d1 Zoning District, as summarized below, followed by Table A, noting the project’s conformance with Section 3.20.040 “-d1” Combing District:

Setbacks (RR): Front: Reduction to 10 feet (from 30 feet) per Variance
 East Side: 15 feet (setback reduction per §4.20.110(C)(1))
 West Side: 20 feet with respect to proposed reservation easement
 Rear: 30 feet
Height: 35 feet maximum
Stories: 2-story maximum

Table A: Compliance with Development Standards for Accessory Structures (water tanks)

STANDARDS & REQUIREMENTS	CODE SECTION	Meets Standard (Y/N)*
Siting	§ 3.20.040 (A)(2)(b)	Y
Color/LRV	§ 3.20.040 (B)	Y
Building Form & Massing	§ 3.20.040 (C)	Y
Retaining Walls	§ 3.20.040 (D)	Y
Ridgeline Development	§ 3.20.040 (E)	N/A
Design Review Guidelines	§ 3.20.040 (F)	Y

C. Design Review Findings

All Design Review applications are subject to the scope of review as listed in §5.50.040 of the County Zoning Ordinance. The overall purpose of design review is to encourage quality design and mitigate potential adverse visual impacts of development. In the following discussion, the scope of review criteria is in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. Mitigation of any adverse visual impacts from proposed structures, grading, vegetation removal and landscaping;

The County’s Geographic Information System (GIS) visibility layer shows that the front portion of the subject property is located within the medium-high visibility

zone, thereby the proposed development may potentially be seen from the valley floor below. The front façade of the home is composed primarily of the exterior wall and roof which feature LRV of 42 and 8, respectively, and are of earth and muted tones, which will blend with the surrounding natural landscape. The entry porch and foyer, as well as the garage, feature varying depths which create for articulation within the front façade of the residence (refer to **Attachment D**). The retaining wall proposed for this project is situated primarily behind the home, with some portions to the side of the home, and is not visible from the valley floor.

The grading work associated with this project is to occur out of sight from the valley floor and follows the natural contour of the land, as the site slopes downward away from the direction of the valley floor, thereby presenting no adverse visual impact. 28 trees are to be removed for this project – 5 of which are protected under the County Ordinance Code as they are over 12” in diameter. 15 15-gallon coast live oaks are proposed to be planted as replacement trees, per the replanting requirements within the County’s Tree Preservation Guidelines.

As mitigation of adverse visual impacts from proposed structures, grading, vegetation removal, and landscaping is achieved, this finding can be made.

2. Compatibility with the natural environment;

The proposed grading features 1.022 cubic yards of fill and no cut, which follows the contour of the land as it slopes away from the property’s frontage, and conforms to the County’s Design Review Guidelines. The grading is required to establish the building pad and associated improvements. 28 trees are proposed for removal, with 5 trees being protected under the County’s Tree Preservation Guidelines as featuring a diameter of over 12”. As mentioned previously, 15 15-gallon coast live oaks are proposed to be planted as replacement trees, and are slated to be placed around the perimeter of the property, providing for screening and a natural buffer between surrounding properties as the coast live oaks mature and develop a broader canopy.

The proposed development would have a low impact on biological resources including special status species and wildlife, per a Biological Resource Assessment prepared by Wood Biological Consulting which was updated in April 2024.

As the proposed development is designed to be compatible with the natural environment and will not have significant impact on any existing or natural habitat, this finding can be made.

3. Conformance with the “Design Review Guidelines,” adopted by the Board of Supervisors;

The proposed project conforms with the County’s Design Review Guidelines, which is composed of objective 1 and objective 2. Objective 1 of the Guidelines requires the project to minimize the visibility of new structures from the valley floor through site

design, building form, colors and materials, and landscape. The proposed residence is placed and designed following the natural contour of the existing setting and follows the slope away from the valley floor. The architectural design of the structure includes non-contiguous wall planes with varied roof lines which break up the bulk and mass of the structure. Exterior colors for the residence walls, trim, and roof materials feature earthen tones and have a Light Reflective Value (LRV) of 45 or less, aside from a section of stone veneer, as shown on the color and materials board (refer to **Attachment E**).

The project proposed 15 coast live oaks (15-gallon size) which will be planted around the perimeter of the property. The trees will provide adequate screening and a natural buffer with the surrounding areas as the trees mature and grow a larger canopy. Additionally, the coast live oaks to be replanted will blend the structure with the surrounding landscape and soften the impact of development.

As the proposed development conforms with the County's "Design Review Guidelines," this finding can be made.

4. Compatibility with the neighborhood and adjacent development;

The proposed development is located on Lori Anne Lane, a cul-de-sac that contains five lots, four of which are developed with single-family residences ranging from 1,979 square feet to 2,516 square feet in size. The subject property for this project is the only undeveloped lot on Lori Anne Lane. As the surrounding uses are single-family residences, the proposed residence and attached ADU would be compatible with the neighborhood and adjacent development. Although the proposed structure containing the single-family residence and attached ADU is larger than the existing homes on Lori Anne Lane, a two-story façade which is consistent with the neighboring properties is visible from the right of way in front of the home, as the bulk of the square footage of the home is positioned down the slope away from Lori Anne Lane and out of sight of people traversing Lori Anne Lane.

As such, this finding can be made.

5. Compliance with applicable zoning district regulations; and

Residential uses are allowed and common use within RR-d1 zoning (Rural Residential with a Design Review combining district). As discussed earlier, the proposed residence meets the applicable zoning district regulations of the RR-d1 zoning. The applicant requested a front setback variance from 30 feet to 10 feet due to special circumstances on the lot – the proposed home features a 10-foot front setback, and qualifies for a reduced 15-foot side setback due to the lot size being under an acre within RR zoning per §4.20.110(C)(1), and features a rear setback of 30 feet per the Rural Residential development standards in § 2.20.030 of the Zoning Ordinance. The residence features an average height of 33 feet per the provisions within § 1.30.030 of the Zoning Ordinance, which is under the maximum of 35 feet.

A basement area calculation conducted by the applicant concluded that the exposed basement area, that being the area where the finish floor level immediately above such under-floor space is more than 6 feet above grade, totals 432 square feet (refer to sheet GA-0 within **Attachment D**). With the basement area totaling 1,198 square feet, the area where the finish floor level immediately above such under-floor space spans more than 6 feet, is 36%, which falls below the 50% maximum threshold per the definition of basement in § 1.30.030 of the Zoning Ordinance, thereby qualifying the basement as such, and not as another story. Subsequently, the proposed residence meets the two-story standard within RR zoning.

As the proposed development demonstrates compliance with the applicable zoning district regulations, this finding can be made.

6. Conformance with the general plan, any applicable specific plan, or any other applicable guidelines adopted by the Board of Supervisors or Planning Commission.

The proposed development conforms with applicable General Plan guidelines which address single-family residence development, such as R-LU 56 and R-LU 57, which state that residential uses are among the intended and primary uses within Rural Residential zoning. General Plan Policy R-GD 22 is also applicable to this project – it states that the amount, design, location, and the nature of any proposed grading may be approved only if determined to be appropriate, justifiable, and reasonably necessary for the establishment of a allowable use, kept to a minimum given site characteristics and constraints, and causes minimum disturbance to the natural environment, slopes and other features of the land. As discussed in earlier sections, the grading proposed is reasonable to establish the residential use on the subject parcel which slopes downward away from the front of the property.

General Plan Policy R-GD 17 is also applicable to this project, as the project is subject to Design Review. The project is designed in a manner that minimizes visual impact from the valley floor as earthen tones are featured for the residence in addition to façade articulation along the wall planes providing varied planes. The majority of the massing of the proposed home is out of view from the valley floor as the design utilizes the natural downward slope of the terrain, moving away from Lori Anne Lane and the valley floor below.

As such, the project confirms with the applicable General Plan policies, and this finding can be made.

D. Grading Findings:

All Grading Approvals are subject to specific findings, pursuant to Ordinance Code sections C12-433. In the following discussion, the scope of review findings are listed in **bold**, and an explanation of how the project meets the required standard is in plain text below.

1. The amount, design, location, and the nature of any proposed grading is necessary to establish or maintain a use presently permitted by law on the property.

The proposed grading quantities for the project include 0 cubic yards of cut and 1,022 cubic yards of fill with a maximum height of 10 feet. The grading is necessary to accommodate a building pad for the residence on this vacant lot, as the lot slopes abruptly downwards and away from the property's frontage off Lori Anne Lane. As the lot is a modest 0.27 acres, the location of grading work is appropriate as it is proposed in the center of the property beginning at the edge of the right of way. The grading design is necessary and appropriate to establish a residence, which is permissible in the Rural Residential base zoning district, as stated within the Zoning Ordinance as well as within General Plan policies R-LU 56 and R-LU 57.

As such, this finding can be made.

2. The grading will not endanger public and/or private property, endanger public health and safety, will not result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.

The proposed project will not endanger public or private property. Standard Conditions of Approval and requirements of final grading plans will ensure that grading around the building pad will not result in slope instability or erosion and that all excess material is removed to a County-approved site. The development meets stream setback requirements to ensure the stability of the stream bank, and the proposal has been approved by the County Land Development Engineering Division. The grading will not endanger the public and/or private property, public health, and safety, nor result in excessive deposition of debris or soil sediments on any public right-of-way, or impair any spring or existing watercourse.

As such, this finding can be made.

3. Grading will minimize impacts to the natural landscape, scenic, biological and aquatic resources, and minimize erosion impacts.

The proposed grading has been designed to contour and blend with the natural topography to the maximum extent possible. The proposed building pad is situated on the most appropriate portion of the lot. The grading will not impose any significant impacts on the natural landscape, biological, or aquatic resources. The proposed project is adequately setback from Miguelita Creek. 28 trees are proposed to be removed as a part of this application – five of which are protected as they are over 12" in diameter. The project will plant 15 coast live oaks (15-gallon size) around the perimeter of the property, consistent with the replacement ratios set forth in the County's Guidelines for Tree Preservation.

Thereby, the proposed grading will minimize impacts to the natural landscape and resources, and minimize erosion impacts, and this finding can be made.

- 4. For grading associated with a new building or development site, the subject site shall be one that minimizes grading in comparison with other available development sites, taking into consideration other development constraints and regulations applicable to the project.**

The proposed grading is to allow for a building pad for a proposed single-family residence and attached ADU along with associated improvements, which is proposed on the most suitable portion of the lot. This project is subject to a few development constraints, that being the abrupt slope at the front of the lot, a Land Development Engineering requirement of a 42-foot radius from the center of a cul-de-sac for a road dedication, the existence of a 20-foot wide right of way along the front, west and rear of the property which was recorded in 1962, as well as the presence of Miguelita Creek beyond the rear of the property, which calls for a 35-foot setback from the top of bank of said creek. The proposed fill quantities serve to accommodate a building pad for the proposed residence due to the abrupt downward slope which lies at the front of the lot.

Given the constraints mentioned above, the subject site is one that minimizes grading in comparison with other available development sites, and this finding can be made.

- 5. Grading and associated improvements will conform with the natural terrain and existing topography of the site as much as possible, and should not create a significant visual scar.**

The proposed grading is designed to conform with the natural terrain and existing topography and will not create a significant visual scar. The placement of the proposed residence and associated grading follows the natural slope, contour, and topography of the existing site.

As such, this finding can be made.

- 6. Grading conforms with any applicable general plan or specific plan policies; and**

The proposed grading conforms with applicable policies within the County General Plan. The project utilizes the most logical location to place the proposed single family residence, and the proposed design of the residence follows the existing slope of the land. The design minimizes grading to the extent possible and reduces visual impacts from hillside development in keeping with General Plan policies R-GD 20 through R-GD 27. These policies state that grading shall conserve the natural landscape and resources, minimize erosion impacts, not exacerbate existing hazards, be the minimum necessary for the establishment of an allowable use, balance cut and fill, and reduce visual impacts. Specifically, General Plan Policy R-GD 22 states that the

amount, design, location, and the nature of any proposed grading may be approved only if determined to be appropriate, justifiable, and reasonably necessary for the establishment of an allowable use, kept to a minimum given site characteristics and constraints, and causes minimum disturbance to the natural environment, slopes and other features of the land. As discussed in earlier sections, the grading proposed is reasonable to establish the permitted residential use on the subject parcel which slopes downward away from the property’s frontage.

General Plan Policy R-GD 17 is also applicable to this project, as the project is subject to Design Review. The project is designed in a manner which minimizes visual impact from the valley floor as earthen tones are featured for the residence, the façade features articulation and wall planes are broken up, and as the majority of the bulk of the house is out of view from the valley floor since the design utilizes and places the home along the natural slope downwards and away from Lori Anne Lane and the valley floor below. The proposed development also conforms with General Plan policies R-LU 56 and R-LU 57, which state that residential uses are among the intended and primary uses within Rural Residential zoning.

As such, the project confirms with the applicable General Plan policies, and this finding can be made.

7. Grading substantially conforms with the adopted "*Guidelines for Grading and Hillside Development*" and other applicable guidelines adopted by the County.

The proposed grading is in substantial conformance with the adopted “*Guidelines for Grading and Hillside Development,*” as discussed throughout the various sections for the grading findings. The project uses the most logical area of the property to place the proposed residence and attached ADU given the constraints that exist on the site. The grading will not cause an adverse visual impact as viewed from the valley floor, and 15 coast live oaks to be planted around the perimeter of the property will serve to aid in that effort and provide effective screening between surrounding properties, particularly as the oaks mature and develop a larger canopy. Therefore, the proposed grading is designed to follow the natural terrain, minimize grading, and reduce visual impacts of the hillside development and is in keeping with General Plan Policies.

As such, the proposed grading substantially conforms with the adopted "*Guidelines for Grading and Hillside Development*" and other applicable guidelines adopted by the County, and this finding can be made.

E. Variance Findings:

Pursuant to Section 5.70.020 of the County Zoning Ordinance, a Variance may be considered and justified to enable discretionary relief from the development standards of the Zoning Ordinance where it can be determined that based on the unique circumstances and characteristics of the lot, enforcement of the applicable standards would preclude reasonable use and development of the lot. Furthermore, the unique circumstances involved must be substantial and detrimental, and must relate directly to the

characteristics and circumstances of the lot, such that any Variance approved logically and reasonably provides a remedy for a specific hardship(s). In the following discussion, the scope of review findings are identified in **bold** text, and an explanation of how the project meets or doesn't meet the required finding is followed in plain text.

1. Because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the zoning ordinance deprives such property of privileges enjoyed by other properties in the vicinity and under identical zoning classification; and

The Variance request includes a setback reduction for the proposed residence from 30 feet to 10 feet from the edge of the road dedication in front, and a setback reduction from the edge of the recorded right way from 15 feet to 0 feet on the west side and from 30 feet to 10'1" on the rear. The subject lot is 0.27 acres, and slopes abruptly downward from the property's frontage. A 20-foot-wide reservation easement, which is described and recorded on the property's 1962 grant deed and shown on 1962 Record of Survey map 154M20, is located along the north, west, and south perimeter of the property, and presents a further constrained footprint for the buildable area. Taking the 30-foot front setback from the edge of the right of way dedication off Lori Anne Lane, the 15-foot side setback from the edge of the 20-foot wide recorded right of way, and the 30-foot rear setback from the edge of the 20-foot wide recorded right of way, the buildable area that remains is a sliver which is between 4.5 feet to 20 feet deep and roughly 50 feet wide. This would yield a buildable area of approximately 563 square feet where at least 200 square feet would be required to be allocated for covered parking given the restrictions of the codes around detached accessory structures and the limitations imposed by the easements (right of ways) on the property. Effectively allowing approximately 363 square feet of living space, which is not reasonably sufficient for a property owner to develop a single-family residence and enjoy privileges afforded by properties in the vicinity that also carry the same base zoning designation (refer to **Attachment G**).

The substandard lot size, abrupt slope at the front of the property, LDE dedication requirement, and recorded 20 foot wide easement which runs along three sides of the property, altogether greatly limit the ability of the property owner to develop a single family residence on the property, which is allowed by right within Rural Residential Zoning, and is a primary land use within Rural Residential zoning, per General Plan policy R-LU 57.

As such, Staff can make the finding to reduce the proposed single-family residence's setback from 30 feet to 10 feet from the edge of the road dedication in front, from 15 feet to 0 feet on the west side, and from 30 feet to 10'1" on the rear from the edge of the 1962 recorded right of way. This would allow the construction of the single family residence and attached ADU, which is a permitted use within the RR-d1 zoning district. Thereby, this finding can be made.

2. The grant of the variance does not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and the zoning district in which the subject property is located.

As noted in previous sections of this report, the subject property has a tremendously limited development area due to the substandard lot size, abrupt slope at the front of the property, LDE dedication requirement of 42 feet from the center of the cul-de-sac, and recorded 20 foot wide easement which runs along three sides of the property. The project is seeking to develop a single-family residence and attached ADU in a neighborhood that is primarily developed with single-family residences. The subject lot is the smallest lot on Lori Anne Lane, at 11,761 square feet, and coupled with a Land Development Engineering dedication of 42 feet in addition to the standard front setback of 30 feet, along with the 1962 recorded right of way which is 20 feet wide and runs along three sides of the property, which yields just 563 square feet to develop a property after applying the setback from the edge of said right of way, the subject property has development constraints which no other property on in the vicinity has.

Three lots at the end of Lori Anne Lane feature much larger length and width dimensions, and have public utility easements of 5 feet and 10 feet on the property, which do not have impacts on the application of the required setbacks (setbacks are not applied from the edge of those types of easements). Staff recognizes that the combination of a variety of factors that are unique to the subject property; abrupt slope along the property's frontage, private road dedication of 42 feet, and the impacts of the 20-foot-wide right-of-way – would not constitute granting of special privileges inconsistent with the limitations upon other properties in the vicinity and the zoning district in which the subject property is located, with the granting of a variance for setback reduction. Therefore, this finding can be made.

Staff Recommendation

In conclusion, based on the unique circumstances and findings of fact described in the body of this report, Staff recommends that the Zoning Administration Hearing Officer grant the concurrent land use permit for Building Site Approval, Design Review (Tier 1), Grading Approval and Variance for the construction of a new 2,728 square-foot single-family residence with an attached 1,198 square-foot Accessory Dwelling Unit on a 0.27-acre lot. The Variance request includes a setback reduction for the proposed residence from 30 feet to 10 feet from the edge of the road dedication in front, and a setback reduction from the edge of the recorded right way from 15 feet to 0 feet on the west side and from 30 feet to 10'1" on the rear. The Variance is reasonably necessary to provide a practical remedy to the substantial and detrimental hardships presented by the lot's characteristics and conforms to the applicable policies, findings and guidelines of the Zoning Ordinance, General Plan, and Ordinance Code.

ADDITIONAL INFORMATION

Public Comments

No public comments have been received as of the public posting of this report.

BACKGROUND

The applicant applied Building Site Approval, Design Review (Tier 1), and Grading Approval to construct a single-family residence, attached ADU, and associated improvements – subsequently file PLN22-136 was created on August 1, 2022. After receiving comments from County staff, the applicant added Variance to the scope of the application to accommodate a reduced setback from the right of way dedication in the front of the proposed home as well as from the 1962 recorded right of way which lies along the north, west, and south dimensions of the subject parcel. The application was deemed incomplete on several occasions, and on July 10, 2024, the application was deemed complete. On July 26, 2024 staff requested a 90-day extension of the Permit Streamlined Act (PSA) which the applicant granted on August 19, 2024. The final date for action on this application per the PSA is December 6, 2024.

On September 20, 2024, a public notice was mailed to all property owners within a 300-foot radius and was also published in the [Post Records](#) on [September 23, 2024](#).¹

STAFF REPORT REVIEW

Prepared by: Michael Shwe, Assistant Planner

DocuSigned by:

Michael Shwe

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Reviewed by: Samuel Gutierrez, Principal Planner

DocuSigned by:

[Signature]

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¹ San Jose Post Record; <https://www.postrecord.news/home.cfm?ref=legalnotices&disp=1> – Legal Notices September 23, 2024; <https://www.postrecord.news/LegalNotices/SJR-2024-09-23.pdf>

Attachment A

Statement of Exemption
from the California Environmental Quality Act (CEQA)

County of Santa Clara
Department of Planning and Development
 County Government Center, East Wing, 7th Floor
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 San Jose, CA 95110
 Phone: (408) 299-5700
 www.sccplandev.org



STATEMENT OF EXEMPTION

from the California Environmental Quality Act (CEQA)

FILE NUMBER	APN(S)	DATE
PLN22-136	612-13-018	10/3/24
PROJECT NAME	APPLICATION TYPE	
Lori Anne Ln Single Family Residence and ADU	Building Site Approval, Design Review (Tier 1), Grading Approval, and Variance	
OWNER	APPLICANT	
Sam HC LLC	LC Engineering	
PROJECT LOCATION		
15560 Lori Anne Ln, San Jose, CA		
PROJECT DESCRIPTION		
<p>Building Site Approval, Design Review Tier 1, Grading Approval and Variance for the construction of a new 2,728 square-foot single family residence with an attached 1,198 square-foot Accessory Dwelling Unit on a 0.27 acre lot. The Variance request includes a setback reduction for the proposed residence from 30 feet to 10 feet from the edge of the road dedication in front, and a setback reduction from the edge of the recorded right way from 15 feet to 0 feet on the west side and from 30 feet to 10'1" on the rear. Associated improvements include a porch, entry steps and walkways, and a retaining wall. Grading consists of 0 cubic yards of cut and 1,022 cubic yards of fill, with a maximum depth of 10 feet. The project proposes the removal of 28 trees – 5 of which are protected under the County Ordinance Code as they are over 12" in diameter. 15 trees (15-gallon coast live oaks) are proposed to be planted as replacement trees.</p>		
<p>All discretionary development permits processed by the County Planning Office must be evaluated for compliance with the California Environmental Quality Act (CEQA) of 1970 (as amended). Projects which meet criteria listed under CEQA may be deemed exempt from environmental review. The project described above has been evaluated by Planning Staff under the provisions of CEQA and has been deemed to be exempt from further environmental review per the provision(s) listed below.</p>		
CEQA (GUIDELINES) EXEMPTION SECTION		
Class 3 (CEQA Guidelines Section 15303 (a)): New construction or conversion of small structures.		
COMMENTS		

The project proposes to construct a single family residence and attached ADU on a vacant Rural Residential zoned lot within a design review district. The subject property is in an area zoned to allow single-family residential development by right. The project is consistent with existing development in the neighborhood, as all other lots on Lori Anne Ln are developed with single family residences. The proposed grading is justified to establish a building pad for the single family residence and ADU, as the site slopes abruptly downwards and away from the property's frontage. The project proposes the removal of 28 trees – 5 of which are protected under the County Ordinance Code as they are over 12” in diameter. 15 trees (15-gallon coast live oaks) are proposed to be planted as replacement trees. No special status species or habitat exist on the project site, and the project will not impact any watercourses or sensitive or protected wildlife or plant species.

APPROVED BY:

Michael Shwe, Assistant Planner

DocuSigned by:

Michael Shwe

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Signature

_____ Date

Attachment B

Preliminary Conditions of Approval

ATTACHMENT B
BUILDING SITE APPROVAL, DESIGN REVIEW (TIER 1), GRADING
APPROVAL, VARIANCE
Conditions of Approval

Date: September 23, 2024
Owner/Applicant: Sam HC LLC / LC Engineering
Applicant: LC Engineering
Project Location: 15560 Lori Anne Ln, San Jose (APN: 612-13-018)
File Number: PLN22-136
CEQA: Categorically Exempt - Section 15303, Class 3(a)

Project Description: Building Site Approval, Design Review Tier 1, Grading Approval and Variance for the construction of a new 2,728 square-foot single-family residence with an attached 1,198 square-foot Accessory Dwelling Unit on a 0.27 acre lot. The Variance request includes a setback reduction for the proposed residence from 30 feet to 10 feet from the edge of the road dedication in front, and a setback reduction from the edge of the recorded right way from 15 feet to 0 feet on the west side and from 30 feet to 10'1" on the rear. Associated improvements include a porch, entry steps and walkways, and a retaining wall. Grading consists of 0 cubic yards of cut and 1,022 cubic yards of fill, with a maximum depth of 10 feet. The project proposes removing 28 trees – 5 of which are protected under the County Ordinance Code as they are over 12" in diameter. 15 trees (15-gallon coast live oaks) are proposed to be planted as replacement trees. Approval is based on plans submitted on June 11, 2024.

If you have any questions regarding the following conditions of approval, please call the agency contact listed below.

Agency	Name	Phone	E-mail
Planning	Michael Shwe	(408) 299-5714	michael.shwe@pln.sccgov.org
Fire Marshal's Office	Alex Goff	(408) 299-5763	alex.goff@sccfd.org
Roads & Airports	Tom Esch	(408) 573-2450	tom.esch@rda.sccgov.org
Geology	David Seymour	(408) 299-7611	david.seymour@pln.sccgov.org
Environmental Health	Darrin Lee	(408) 918-3435	darrin.lee@cep.sccgov.org
Land Development Engineering	Darrell Wong	(408) 299-5735	darrell.wong@pln.sccgov.org

5. The maximum height of a dwelling is 35 ft. and shall not exceed two (2) stories.
6. Associated grading consists of 0 cubic yards of cut and 1,022 cubic yards of fill, with a maximum depth of 10 feet. Any increase in grading quantities, or modification to the grading design, is subject to further review.
7. All excess fills shall be taken off-site to an approved disposal location. A note of this requirement shall be incorporated into the civil plan.
8. Light Reflective Value (LRV) for the residence and all accessory structures shall be 45 LRV or less within the combined Design Review zoning district. Note: Submitted color samples conform to this requirement.
9. Two off-street parking spaces are required, one of which shall be covered.
10. Building and Grading Permits shall be submitted to the Building Office concurrently. All building and grading plans submitted into Plan Check shall be in substantial conformance with the plans approved by Planning as part of the land-use entitlement.
11. If archaeological resources or human skeletal remains are discovered during construction, work shall immediately stop, and the County Coroner's Office notified. Upon determination that the remains are Native American, no further disturbance of the site may be made except as authorized by the County Coordinator of Indian Affairs, in accordance with state law and Chapter B6-18 of the County Ordinance Code.

Land Development Engineering

12. Property owner is responsible for the adequacy of any drainage facilities and for the continued maintenance thereof in a manner that will preclude any hazard to life, health, or damage to adjoining property.

Environmental Health

13. All construction activities shall be in conformance with the Santa Clara County Noise Ordinance Section B11-154 and prohibited between the hours of 7:00 p.m. and 7:00 a.m. on weekdays and Saturdays, or at any time on Sundays for the duration of construction.

Roads and Airports

14. A Tree Removal Approval (Board of Supervisors) process is required prior to any tree removal, replacement, or relocation within the County right-of-way (ROW). A tree within the ROW requiring removal approval is any tree at least 20 feet in height or at least 12 inches in diameter measured 4.5 feet above grade. The process for obtaining approval for a tree removal and the forms that are required can be found at: <https://countyroads.sccgov.org/tree-removal-approval-county-right-way>

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO BUILDING/GRADING PERMIT ISSUANCE

Planning

15. **Prior to issuance of any permits**, the applicant shall pay all reasonable costs associated with the project by the Department of Planning and Development.
16. **Prior to issuance of a building permit**, and pursuant to Zoning Ordinance Section 5.20.125, record a Notice of Permit and Conditions with the County Office of Clerk-Recorder to ensure that successor property owners are aware that certain conditions of approval shall have enduring obligation. Evidence of such recordation shall be provided **prior to building permit issuance**.

Tree Protection

17. **Prior to issuance of a building permit**, submit a landscaping plan that clearly specifies all trees that are proposed for removal as part of the project. This plan shall specify number, species, and size of all trees that are proposed for removal, and shall show replacement trees at the ratio prescribed in the ‘Santa Clara County Guidelines for Tree Protection and Preservation for Land Use Applications’.
18. For all trees to be retained with a canopy in the development area, or that interfaces with the limits of grading for any proposed development on-site, the trees shall be protected by the placement of five (5)-foot tall rigid tree protective fencing, as shown on the final grading and final building plans and must include the following:
 - a) Fencing should be placed along the outside edge of the drip line of the tree or grove of trees.
 - b) The fencing should be maintained throughout the site during the entire construction period and should be inspected periodically for damage and proper functions.
 - c) Fencing should be repaired as necessary to provide a physical barrier from construction activities.
 - d) The following sign shall be placed on all tree protection fencing and must remain until final occupancy. The sign must read: “Warning. This fencing shall not be removed without permission from the Santa Clara County Planning Office. County of Santa Clara tree protection measures may be found at <http://www.sccplanning.gov> or call 408-299-5770 for additional details.”
 - e) Protection measures must be in place **prior to construction activity** commencing.
 - f) Evidence of tree protective fencing can be provided by taking photos and emailing them to the project planner.

Habitat Plan Application for Private Projects

19. Prior to issuance of any grading or building permit, submit a completed Habitat Plan Application for Private Projects (“Application”) with all required submittal materials,

including all exhibits (as described in the Application for Private Projects), and required staff review fee to the Planning Office for review and verification. See further details regarding site plans and land cover mapping as part of the application.

Site Plan

The required site plan shall show the project development, including a delineation of the permanent and temporary development buffer areas.

- *Permanent development area* is defined as all land that will have permanent improvements (driveways, water tanks, buildings/structures, septic system, landscaping, etc.), plus a 50-foot buffer surrounding these areas.
- *Temporary development area* is defined as land that will be temporarily affected during development (construction laydown areas, subsurface utilities/trenching, etc.) that will be *restored within one year of completing construction*, plus a 10-foot buffer surrounding these area

Land Cover Mapping

The required land cover mapping shall include the following:

- Land cover mapping that clearly delineates the verified land cover (as described in Chapter 3 of the Habitat Plan), proposed development (footprint of residence and improvements – i.e., driveway, septic system, landscaping, impervious surfaces, and area of temporary and permanent impacts (with applicable buffers).
- Area calculations of land cover permanently and temporarily impacted by the project, consistent with Table 1 in the Application for Private Projects.

Fees

20. **Prior to issuance of any grading or building permits**, all Santa Clara Valley Habitat Agency (SCVHA) fees must be paid. Land cover fees are paid based on the land cover (including Serpentine Fee Zone), and development area associated with the project. Temporary development fees are based on the amount of time the land is disturbed during construction, plus one year after completing construction, and cannot exceed a combined total of 2 years. ***All temporary development that exceeds 2 years from the onset of construction will be subject to permanent impact fees.***

The project is subject to the following Habitat Plan fees based on HCP Geobrowser Mapping. Actual land cover fees will be verified upon receiving adequate land cover mapping with impervious surface calculations.

- a) Land cover fee zone B: Agricultural and Valley Floor Lands
- b) Mixed Riparian Forest and Woodland Zone

Habitat Plan Conditions of Approval

21. **Prior to issuance of grading/drainage or building permits**, all future development is subject to the following Conditions of Approval and described in more detail within Chapter 6 of the Santa Clara Valley Habitat Plan.

- Condition 1: Avoid Direct Impacts on Legally Protected Plant and Wildlife Species.
- Condition 3: Maintain Hydrologic Conditions and Protect Water Quality.
- Condition 4: Avoidance and Minimization for In-Stream Projects
- Condition 7: Rural Development.

22. **Prior to issuance of grading/drainage or building permits**, incorporate the Habitat Plan *Conditions of Approval (Exhibit A)*, and *Table 1: Hydrology Condition 3 into the improvement/grading and building plans*.

Land Development Engineering

23. Obtain a Grading Permit from Land Development Engineering (LDE) prior to beginning any construction activities. Issuance of the grading permit is required prior to LDE clearance of the building permit (building and grading permits shall be applied for concurrently). The process for obtaining a grading permit and the forms that are required can be found at the following web page:

<https://plandev.sccgov.org/home> > How to > Apply for a Development Permit or Planning Application > Grading Permit

If the County Roads and Airports Department provides a condition of approval to obtain an encroachment permit, for your convenience, the grading and encroachment permits will be processed concurrently under one set of improvement (grading) plans.

24. Final plans shall include a single sheet which contains the County standard notes and certificates as shown on County Standard Cover Sheet. Plans shall be neatly and accurately drawn, at an appropriate scale that will enable ready identification and recognition of submitted information.
25. Final improvement plans shall be prepared by a licensed civil engineer for review and approval by LDE and the scope of work shall be in substantial conformance with the conditionally approved preliminary plans on file with the Planning Office. Include plan, profile, typical sections, contour grading for all street, road, driveway, structures, and other improvements as appropriate for construction. The final design shall be in conformance with all currently adopted standards and ordinances. The following standards are available on-line:

§ Standard Details Manual, September 1997, County of Santa Clara, Roads and Airports Department

<https://countyroads.sccgov.org/home> > Do Business with Us > County Standard Details, Specifications and Documents

§ March 1981 Standards and Policies Manual, Volume 1 (Land Development)
<https://plandev.sccgov.org/home> > Ordinances & Codes > Land Development Standards and Policies

§ 2007 Santa Clara County Drainage Manual
<https://plandev.sccgov.org/home> > Ordinances & Codes > Grading and Drainage Ordinance

26. Survey monuments shall be shown on the improvement plan to provide sufficient information to locate the proposed improvements and the property lines. Existing monuments must be exposed, verified, and noted on the grading plans. Where existing monuments are below grade, they shall be field verified by the surveyor and the grade shall be restored and a temporary stake shall be placed identifying the location of the found monument. If existing survey monuments are not found, temporary staking delineating the property line may be placed prior to construction and new monuments shall be set prior to final acceptance of the improvements. The permanent survey monuments shall be set pursuant to the State Land Surveyor's Act. The Land Surveyor / Engineer in charge of the boundary survey shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.
27. The improvement plans shall include an Erosion and Sediment Control Plan that outlines seasonally appropriate erosion and sediment controls during the construction period). Include the County's Standard Best Management Practice Plan Sheets BMP-1 and BMP-2 with the Plan Set.
28. All applicable easements affecting the parcel with benefactors and recording information shall be shown on the improvement plans.
29. All proposed and future fencing and gates outside of the right of way to be dedicated.
30. Provide landscaping and disturbed area quantities on the final plans along with water efficiency calculations to demonstrate compliance with water usage requirements.
31. Submit and obtain building permits for the retaining walls from the Building Inspection Office.

CalTrans

32. The project is located partially within the CalTrans Right of Way. Provide documentation of the CalTrans encroachment permit issued for the work connecting Lori Anne Lane.

Drainage

33. Provide a drainage analysis prepared by a licensed civil engineer in accordance with criteria as designated in the 2007 County Drainage Manual (see Section 6.3.3 and Appendix L for design requirements). The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow for the 10-year and 100-year

storm event or cause a hazard or public nuisance. The mean annual precipitation is available on the on-line property profile.

Utilities

34. All new on-site utilities, mains and services shall be placed underground and extended to serve the proposed development. All extensions shall be included in the improvement plans. Off-site work should be coordinated with any other undergrounding to serve other properties in the immediate area.
35. A profile view of the sanitary sewer connection shall be provided for the connection to the main in Miguelito Road. Any necessary pump and electrical connection for the force main shall be permitted through the Building Inspection Office.

Stormwater Treatment – San Francisco Bay

36. Include one of the following site design measures per the Municipal Regional Permit in the project design: (a) direct hardscape and/or roof runoff onto vegetated areas, (b) collect roof runoff in cisterns or rain barrels for reuse, or (c) construct hardscape (driveway, walkways, patios, etc.) with permeable surfaces. Though only one site design measure is required, it is encouraged to include multiple site design measures in the project design. For additional information, please refer to the C.3 Stormwater Handbook available at the following website:

§ www.scvurppp.org > Elements > New Development and Redevelopment > C.3 Stormwater Handbook

Soils and Geology

37. Submit one copy of the signed and stamped geotechnical report for the project.
38. Submit a plan review letter by the Project Geotechnical Engineer certifying that the geotechnical recommendation in the above geotechnical report have been incorporated into the improvement plan.

Notice of Intent

39. Indicate on the improvement plans the land area that will be disturbed. If one acre or more of land area will be disturbed, file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) for coverage under the State General Construction Permit. The SWRCB will issue a Waste Discharge Identification number (WDID). The WDID number shall be shown on the on the final improvement plans. The SWRCB web site is at:

www.waterboards.ca.gov > Water Issues > Programs > Stormwater

Dedications and Easements

40. The following offers to dedicate easements shall be submitted to LDE. All easement dedications shall include legal descriptions, plats, and corresponding documents to be reviewed and approved by the County Surveyor's Office. The owner/ applicant will be required to record the document with the County's Recorder's Office after reviewed and approved by the County Surveyor's Office.
- a) Offer to dedicate the remainder of the 42' radius around the cul-de-sac of Lori Anne Lane centered about the existing center of the cul-de-sac recorded on the previous 1959 Record of Survey to the public and the County for p/private road purposes.
 - b) Submit a signed and notarized Common Ownership Covenant of Easement for the sanitary sewer connection. The easement shall be sufficiently wide to install and accommodate maintenance of the required improvements.

Environmental Health

41. Prior to issuance of a development permit, for each of the proposed dwellings, obtain and provide a sanitary sewer will serve letter from County Sanitation District-2,3 (by calling County Sanitation District No.2-3 at 408-255-2137 or by emailing to Plans@CSD2-3.org).
42. Prior to issuance of a development permit, for each of the proposed dwellings, obtain and provide a water connection letter from the water purveyor, San Jose Water Company (408-279-7900).

Geology

43. The updated fault location investigation report by Associated Terra Consultants (ATC), dated April 15, 2022, and the previous fault trench study by Applied Earth Consultants, dated October 21, 1988, adequately address the fault rupture hazard at the site. These reports conclude that the potential for surface fault rupture at the site to be very low. The ATC report is approved and no further geologic evaluations are required.

The ATC report also includes updated recommendations to their geotechnical investigation report, dated May 12, 2008. Their recommendations need to be incorporated into the future design plans.

Prior to building and grading permit issuance, submit a Plan Review Letter prepared by the geotechnical consultant that confirms the plans conform with the recommendations presented in the approved report. Please submit a copy of the ATC geotechnical report, dated May 12, 2008, with the plan review letter.

Fire Marshal

FIRE PROTECTION WATER

IMPORTANT: Fire protection water system shall be installed, functioning and inspected prior to approval of the foundation. System shall be maintained in good working order and accessible throughout construction. A stop work order may be placed on the project if the required hydrant systems are not installed, accessible, and/or functioning.

44. FIRE-FLOW: The minimum fire-flow shall be 875 gpm at 20 psi. after sprinkler reduction.

NOTE: The fire-flow may be adjusted depending upon the final size of the structure shown on the building permit set of drawings to meet Appendix B of the CFC.

- a) At the time of plan submittal for building permit, provide written verification from the water company that this condition can be satisfied.
- b) If an existing approved water system is within 300 ft. of the property line, extension to site is required, provided it is feasible to do so. Contact local water purveyor as soon as possible. If the water company will not grant a water connection, submit official documentation from the water company to that effect.
- c) Fire hydrant is to be located within 400 ft. exterior path of travel to all portions of non-sprinklered structures and 600 ft. of sprinklered structures.

FIRE DEPARTMENT ACCESS

45. GENERAL REQUIREMENTS:

- a) These are minimum Fire Marshal standards. Should these standards conflict with any other local, state or federal requirement, the most restrictive shall apply.
- b) All required access roads, driveways, turnarounds, and turnouts shall be installed, and serviceable prior to approval of the foundation, and shall be maintained throughout construction. A stop work order may be placed on the project if required driving surfaces are not installed, accessible, and/or maintained at all times.

46. ACCESS ROADS (roads serving more than two lots) and DRIVEWAYS (roads serving no more than two lots) for fire department access shall comply with the following:

- a) Width: Access Roads to have a clear drivable width of 18 ft. plus a 3 ft. shoulder on each side per CFMO-A1. Driveways are to have a 12 ft. drivable width and a 3 ft. shoulder.
- b) Vertical Clearance: Minimum vertical clearance of 13 ft. 6 in. shall be maintained to building site (trim or remove, tree limbs, electrical wires, structures, and similar improvements) for access roads and driveways.
- c) Curve Radius: Plans to show minimum 30 ft. inside turn radius for curves and 50 ft. exterior turn radius.
- d) Grade: Maximum grade shall not exceed 15%.
- e) Surface: All driving surfaces shall be all-weather and capable of sustaining 75,000 pound gross vehicle weight.
- f) Turnarounds: Turnaround shall be provided for driveways and dead-end roads in excess of 150 ft. as measured along the path of travel from the centerline of the

access road to the structure. Acceptable turnaround shall comply with County Standard SD-16. All turnarounds shall have a slope of not more than 5% in any direction.

- g) Gates: Gates shall not obstruct the required width or vertical clearance of the driveway and may require a Fire Department Lock Box/Gate Switch to allow for fire department access. Installation shall comply with CFMO-A3.
- h) Address: Numbered address to be easily recognizable from the street.

MISCELLANEOUS

47. This property is located in the Wildland Urban Interface Fire Area. All of the following conditions shall apply:
- a) A Class "A" roof assembly is required. Detail shall be included in plans submitted for building permit.
 - b) Meet Chapter 7A of the CBC.
 - c) Remove significant combustible vegetation within 30 feet of the structure to minimize risk of wildfire casualty. Maintain appropriate separation of vegetative fuels in areas between 30 and 100 feet from the structure.

Roads and Airports

48. Obtain a Santa Clara County Roads and Airports Department Encroachment Permit for the following required improvements (the process for obtaining an Encroachment Permit and the forms that are required can be found at: <https://countyroads.sccgov.org/encroachment-permits>):
- a) Sanitary sewer line connection to Miguelito Rd.
 - b) All utility relocations, replacements, abandonments, temporary facilities, and new facilities off of Miguelito Rd.
49. Provide sanitary sewer line details with dimensions during the encroachment permit process, with sufficient detail to fully demonstrate application of the County standards that will apply to the sewer line connection work. Include County Standard details on the plan sets.
50. Demonstrate that the post-development maximum flow rate into the County Road right-of-way is equal-to or less-than the pre-development corresponding storm event flow rate per the County Drainage Manual. Provide engineered plans and drainage calculations for any detention or retention system necessary to satisfy this requirement.

CONDITIONS OF APPROVAL TO BE COMPLETED PRIOR TO OCCUPANCY OR ONE YEAR FROM THE DATE OF THE LAND DEVELOPMENT AGREEMENT, WHICHEVER COMES FIRST.

Planning

51. **Prior to final inspection**, contact the project planner Michael Shwe, at least two (2) weeks in advance to schedule a site visit to verify that the approved exterior colors

and replacement trees have been installed per the approved plans submitted June 11, 2024, and colors/materials board submitted on September 18, 2024 and approved landscape plan.

52. Prior to final inspection, landscaping shall be installed to ensure that they blend with the natural surroundings per the Design Review Guidelines and the conditions of approval.

Land Development Engineering

53. Existing and set permanent survey monuments shall be verified by inspectors prior to final acceptance of the improvements by the County. Any permanent survey monuments damaged or missing shall be reset by a licensed land surveyor or registered civil engineer authorized to practice land surveying and they shall file appropriate records pursuant to Business and Professions Code Section 8762 or 8771 of the Land Surveyors Act with the County Surveyor.

54. Construct the improvements. Construction staking is required and shall be the responsibility of the developer.

Fire Marshal Office

55. FIRE SPRINKLER SYSTEM: An approved residential fire sprinkler system complying with CFMO-SP6 shall be installed throughout the structure.

NOTE: The fire sprinkler system shall be installed and finalized by this office prior to occupancy. A separate permit shall be obtained from this office by a state licensed C-16 contractor prior to installation. Please allow for a minimum of 30 days for plan review of fire sprinkler plans by this office.

Department of Environmental Health

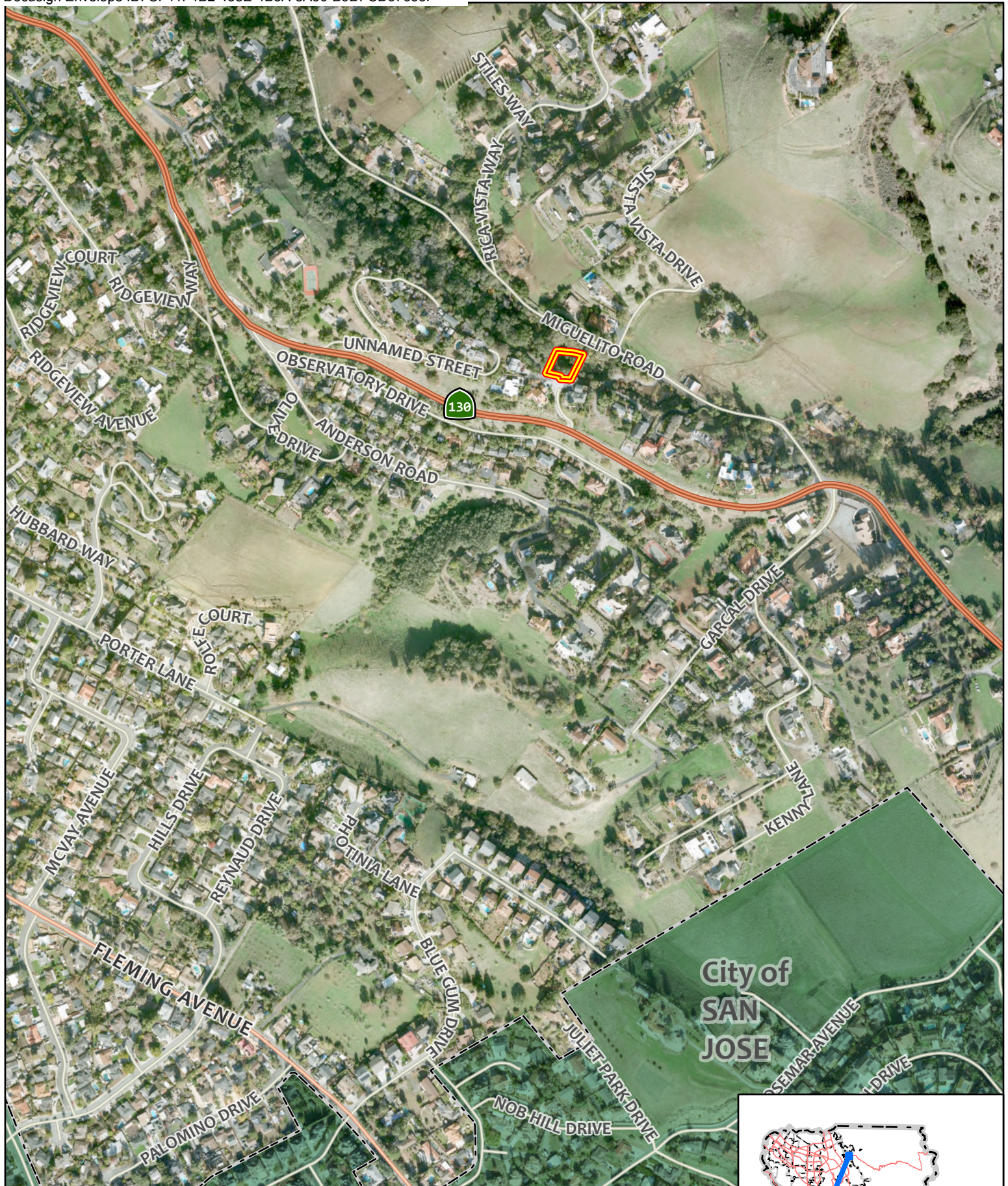
56. Provide proof of garbage service at the time of final occupancy sign-off. Garbage service in the unincorporated areas of Santa Clara County is mandatory.

Roads and Airports

57. Construct all the improvements approved under the Encroachment Permit.
58. Remove any temporary facilities and temporary construction entrances from the County ROW.

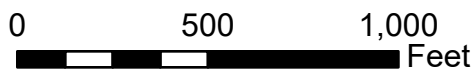
Attachment C

Location and Vicinity Map



Location and Vicinity Map

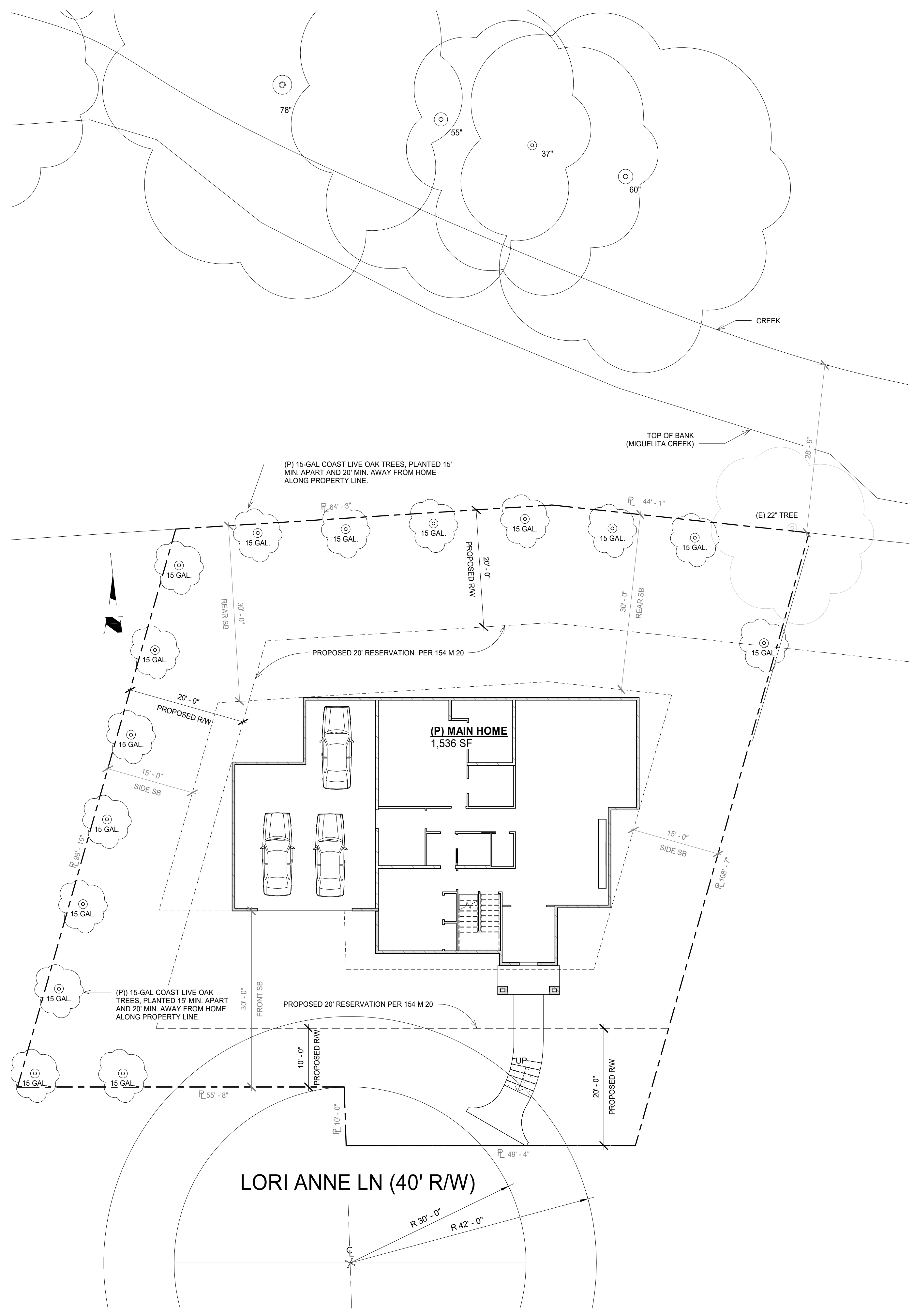
PLN22-136
 APN: 612-13-018
 15560 Lori Anne Ln



City of
**SAN
 JOSE**

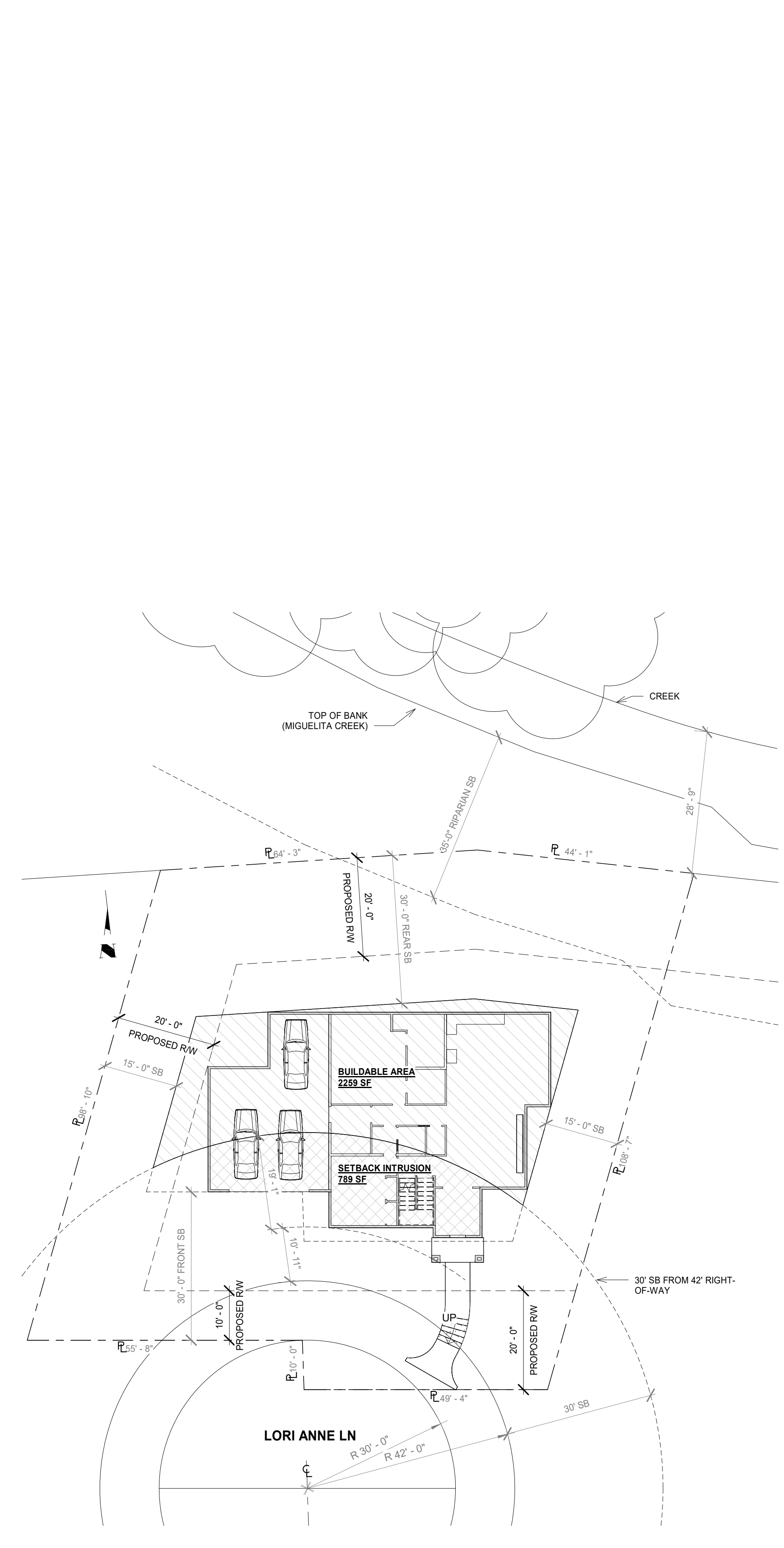
Attachment D

Proposed Plans



1 PROPOSED SITE PLAN
3/32" = 1'-0"

NOTE:
SEE § 4.20.110 (C)(1) FOR SIDE SETBACK REDUCTION



2 SITE PLAN SETBACK EXHIBIT
1/16" = 1'-0"

STAMP SPACE

SITE PLAN GENERAL NOTES

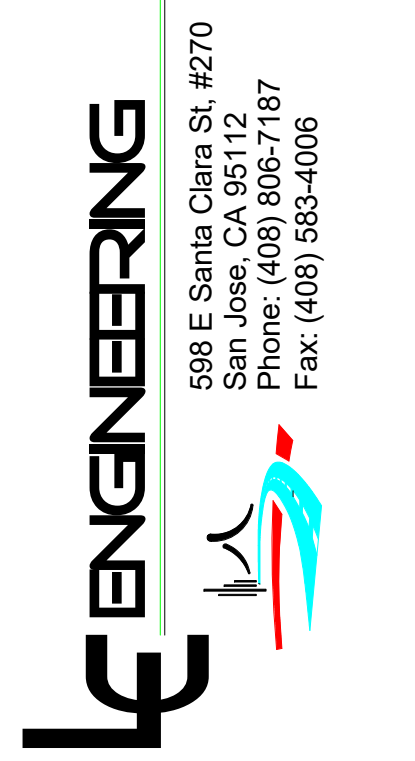
- CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
- BEFORE ANY EXCAVATION, COORDINATE LOCATION OF ALL EXISTING SITE UTILITIES.
- EXCAVATION, FILLS, AND UTILITIES FOR ALL BUILDINGS OR STRUCTURES SHALL BE SO CONSTRUCTED OR PROTECTED THAT THEY DO NOT ENDANGER LIFE OR PROPERTY.
- CONTRACTOR SHALL PROTECT ALL EXISTING TREES TO REMAIN DURING EXCAVATION AND CONSTRUCTION. U.O.N. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SEE GRADING & DRAINAGE PLANS FOR ALL FINISH GRADES, SLOPES, AND EXTERIOR HARD SURFACES INCLUDING PATIOS AND PORCHES.
- LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY. SEE GRADING & DRAINAGE PLANS.
- IMPLEMENTATION OF "BEST MANAGEMENT PRACTICES" SHALL BE USED TO PROTECT STORM QUALITY AND PREVENT POLLUTANTS ENTERING THE PUBLIC STORM DRAIN. FAILURE TO IMPLEMENT AND COMPLY WITH THE APPROVED CONSTRUCTION "BEST MANAGEMENT PRACTICES" WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP ORDERS. SEE GRADING & DRAINAGE PLANS.
- PROVIDE EXPANSION AND CONTROL JOINTS IN ALL EXTERIOR CONCRETE SLABS. SPACING OF JOINTS SHALL BE PER INDUSTRY STANDARDS. SEE GRADING AND DRAINAGE PLANS.
- TRENCHES SHALL BE LOCATED OUTSIDE OF THE TRIP LINES OF EXISTING TREES IN ORDER TO MINIMIZE NEGATIVE IMPACTS.
- SEE COVER SHEET, FLOOR PLAN, AND BEST PRACTICES MANAGEMENT SHEET FOR ADDITIONAL PROJECT INFORMATION.
- NATURAL GRADE AND VEGETATION SHALL BE RETAINED TO THE MAXIMUM EXTENT PRACTICABLE. SEE GRADING AND DRAINAGE PLANS.
- SEE ROOF PLAN FOR ROOF OVERHANGS.

RETAINING WALL: SEE CIVIL ENGINEERING PLANS FOR RETAINING WALL DETAILS.
*NO LANDSCAPING DESIGN

NO.	REVISIONS	DATE	BY



Mike Moinee
15560 Lori Anne Ln, San Jose, CA,
95127



LORI ANNE LN HOUSE
APN: 612-13-018
SAN JOSE
Project No:
Designed: KL
Checked: NL
Date: 01/03/2024
CALIFORNIA

SITE PLAN

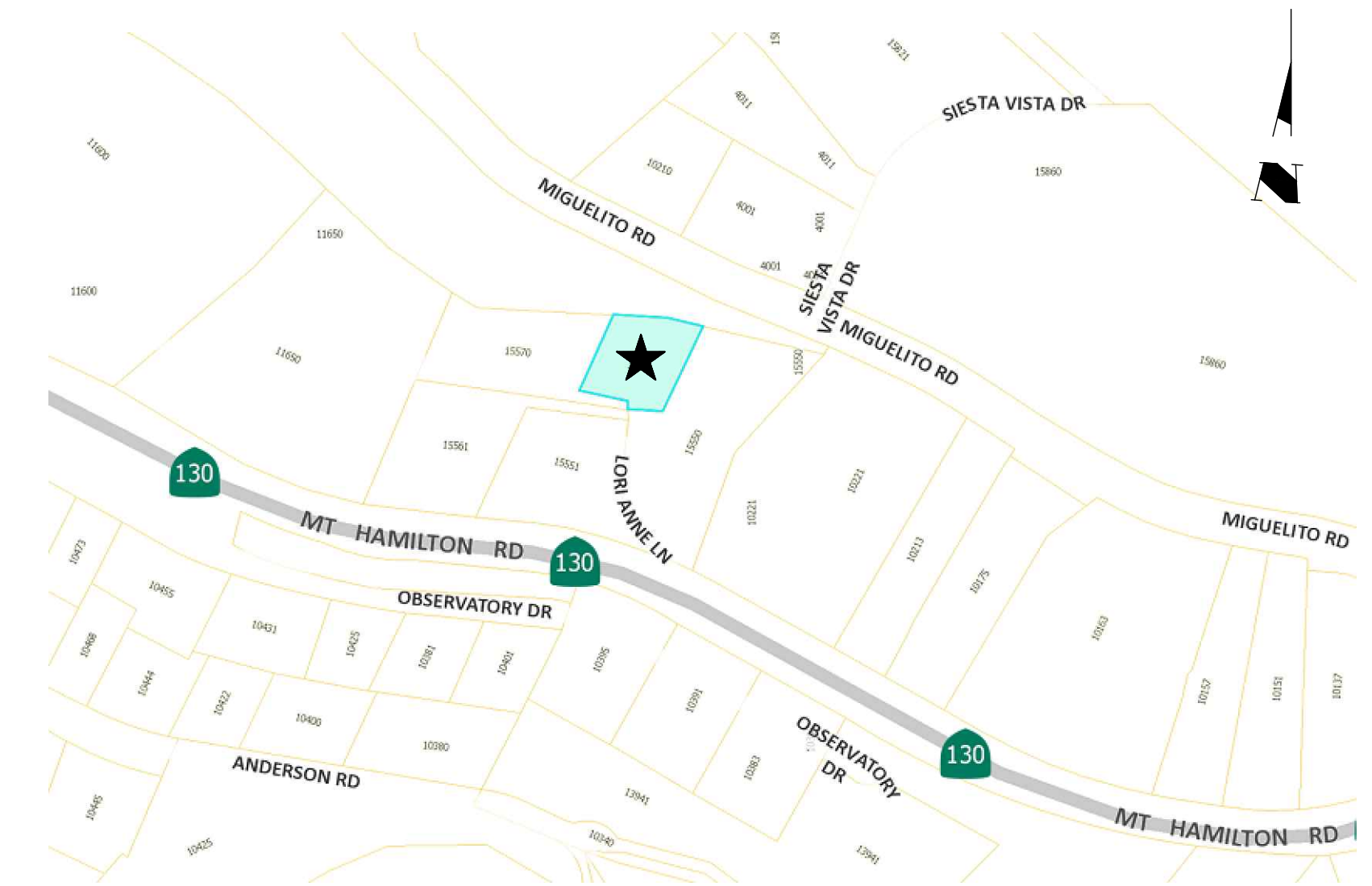
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LEGEND

- AREA DRAIN
- BENCHMARK
- BOUNDARY
- CATCH BASIN
- COBBLE ROCK ENERGY DISSIPATOR
- CONCRETE
- EXISTING CONTOUR AFTER GRADING
- ORIGINAL GROUND PRIOR TO GRADING
- DESIGN GRADE
- DOWNSPOUT WITH SPLASHBLOCK
- DRAINAGE EMITTER
- DIVERSION VALVE
- BACKWATER VALVE
- DRAINAGE SWALE
- EASEMENT LINE
- EXISTING ELEVATION
- EXISTING FENCE
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- FOUND IRON PIPE AT PROPERTY CORNER
- FIBER ROLLS
- GAS METER
- GAS VALVE
- GRADE TO DRAIN
- GUY POLE
- GUY WIRE ANCHOR
- HIGH POINT
- HYDRANT: EXISTING
- HYDRANT: PROPOSED
- INLET
- JOINT POLE
- LIGHTING
- LIGHTING POLE
- LOW POINT
- OVERLAND FLOW DIRECTION
- PGE BOX
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE
- PROJECT SITE
- RETAINING WALL
- RIGHT OF WAY
- SANITARY SEWER CLEAN OUT MANHOLE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- SUMP PUMP
- TELEPHONE BOX
- TELEVISION BOX
- TEST PIT
- TOP OF FILL
- TOE OF FILL
- TOP OF CUT
- TOE OF CUT
- TREE NUMBER
- T-VAULT
- UTILITY: EXISTING
- UTILITY: PROPOSED OR NEW
- WATER METER
- WATER VALVE
- WELL
- DISTURBED AREA = 9,370 SF

ABBREVIATIONS

- | | | | | | | | |
|------|-----------------------------|-------|--------------------------------|--------|--------------------------------|------|-------------------------|
| AB | AGGREGATE BASE | EM | ELECTRIC METER | MIN | MINIMUM | SE | SLOPE EASEMENT |
| AC | ASPHALT CONCRETE | E(OH) | ELECTRIC OVERHEAD | N&S | NAIL AND SILVER | SS | SANITARY SEWER/LATERAL |
| AD | AREA DRAIN | E(UG) | ELECTRIC UNDERGROUND | NTS | NOT TO SCALE | SSE | SANITARY SEWER EASEMENT |
| AE | ANCHOR EASEMENT | EP | EDGE OF PAVEMENT | OH | OVERHEAD | STA | STATION |
| BB | BUBBLER BOX | EX | EXISTING | OG | ORIGINAL GROUND | STD | STANDARD CITY DETAIL |
| BLDG | BUILDING | FC | FACE OF CURB | P | PAVEMENT FINISH GRADE | SW | SIDEWALK |
| BSL | BUILDING SETBACK LINE | FD | FOUND | PAD | PAD ELEVATION | TB | TOP OF BANK |
| BW | BOTTOM OF WALL/BACK OF WALK | FF | FINISH ELEVATION OF SUBFLOOR | P | PROPERTY LINE | TC | TOP OF CURB |
| CG | CURB & GUTTER | FG | GROUND FINISH GRADE | PEE | PEDESTRIAN EQUESTRIAN EASEMENT | TEMP | TEMPORARY |
| C | CENTERLINE | FH | FIRE HYDRANT | PERF | PERFORATED | TOC | TOP OF COVER |
| CLF | CHAIN LINK FENCE | FL | FLOW LINE | PP | POWER POLE PROP PROPOSED | TOE | TOE OF BANK |
| CO | SANITARY SEWER CLEANOUT | G | GARAGE SLAB ELEVATION/GAS LINE | PSE | PUBLIC SERVICE EASEMENT | TG | TOP OF GRATE |
| COP | CURB OPENING | GPE | GENERAL PUBLIC EASEMENT | PUE | PUBLIC UTILITY EASEMENT | TPF | TREE PROTECTION FENCE |
| CONC | CONCRETE | GSB | GRADING SETBACK | PVMT | PAVEMENT | TW | TOP OF WALL |
| CSD | COUNTY STANDARD DETAIL | GM | GAS METER | PVC | POLYVINYL CHLORIDE | TYP | TYPICAL |
| DE | DRAINAGE EMITTER | HP | HI POINT | R | RADIUS | VG | VALLEY GUTTER |
| DI | DRAINAGE INLET | INV | INVERT | RW | RETAINING WALL | W | WATER |
| DS | DOWNSPOUT | LIP | LIP OF GUTTER | REMOVE | REMOVE | WCE | WIRE CLEARANCE EASEMENT |
| DWY | DRIVEWAY | LS | LANDSCAPED AREA | R/W | RIGHT OF WAY | WLK | WALKWAY |
| EA | EASEMENT | MAX | MAXIMUM | SD | STORM DRAIN | WM | WATER METER |
| ELEV | ELEVATION | MH | MANHOLE | SDE | STORM DRAIN EASEMENT | WOE | WIRE OVERHANG EASEMENT |
| | | | | | | WV | WATER VALVE |



VICINITY MAP
NTS

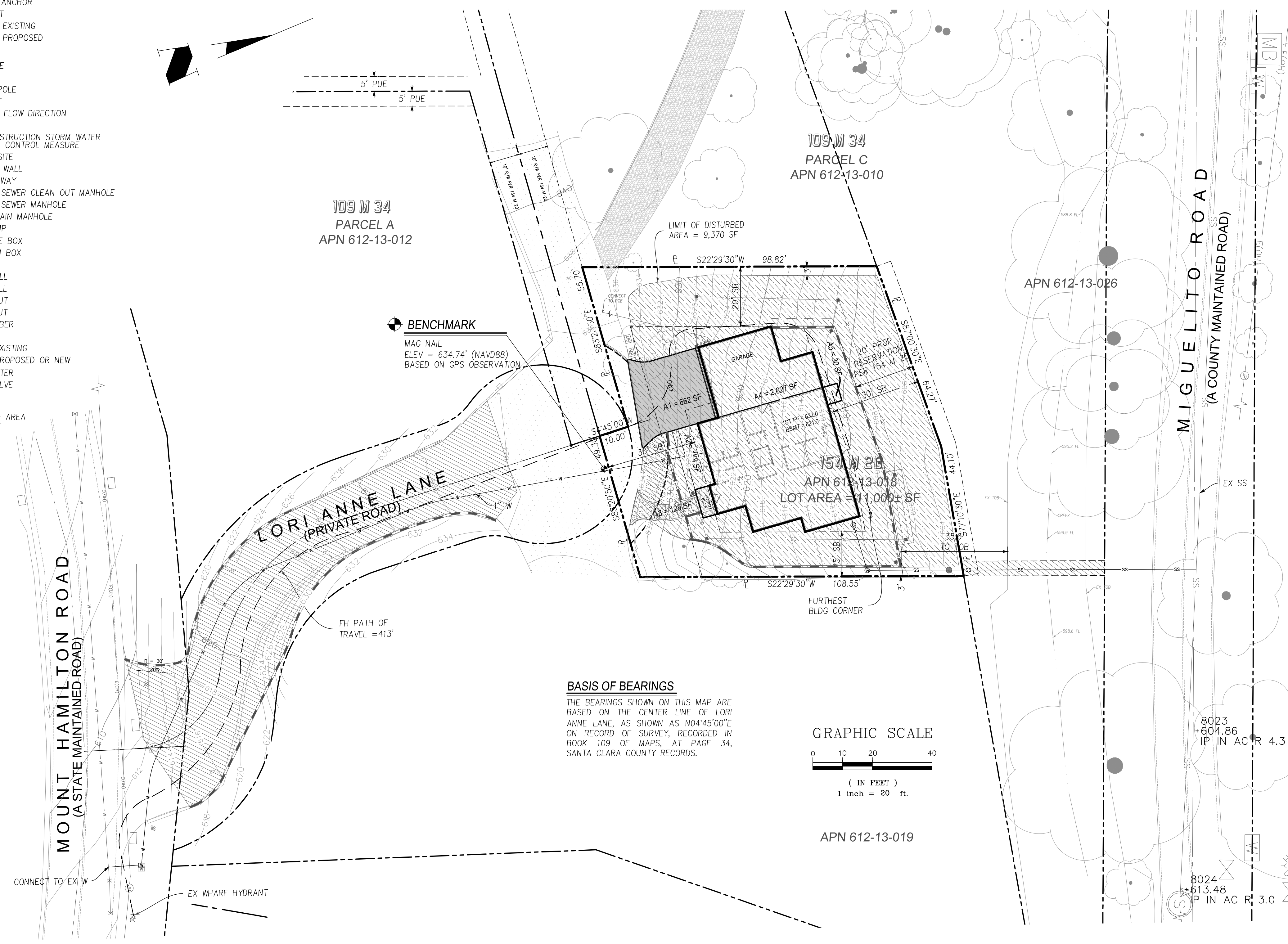
PROJECT DATA:

- SITE ADDRESS: 15560 LORI ANNE LANE, SAN JOSE CA 95127
- APN: 612-13-018
- LOT SIZE ARE: 11,000± SQ.FT / 0.25± ACRES
- ZONING: RR-D1 (100%)
- HCP RURAL DEVELOPMENT AREAS: IN
- FIRE RESPONSIBILITY AREA: LRA (100%)
- WILDLAND URBAN INTERFACE: IN
- FIRE PROTECTION DISTRICT: SCC CENTRAL FIRE PROTECTION DISTRICT
- GEOHAZARD: COUNTY FAULT RUPTURE HAZARD ZONE
- FEMA FLOOD ZONE: D (100%)
- WATERSHED: SAN FRANCISCO BAY
- RAIN ISOHYET: 15.5 INCHES
- IMPERVIOUS AREA: 3,565 SQ.FT

POST - DEVELOPMENT				
ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A1	DWY	NEW	662 SF	
A2	WALK	NEW	148 SF	
A3	WALK	NEW	128 SF	
A4	MAIN HOUSE	NEW	2,627 SF	
A5	BACK PORCH	NEW	30 SF	
A6	FRONT PORCH	NEW	50 SF	
	LANDSCAPE			7,355 SF
TOTAL			3,645 SF	7,355 SF

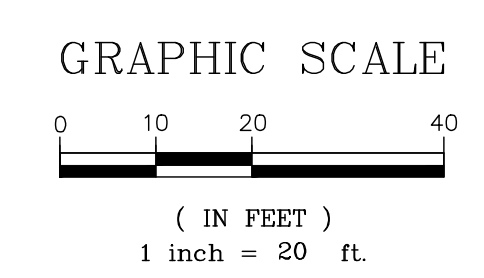
SHEET INDEX

- SHEET C1: OVERALL SITE PLAN
- SHEET C2: DEMOLITION PLAN
- SHEET C3: EXISTING ACCESS ROAD
- SHEET C4: SITE GRADING PLAN
- SHEET C5: DRIVEWAY PROFILE AND SECTIONS
- SHEET C6: LAND COVER EXHIBIT



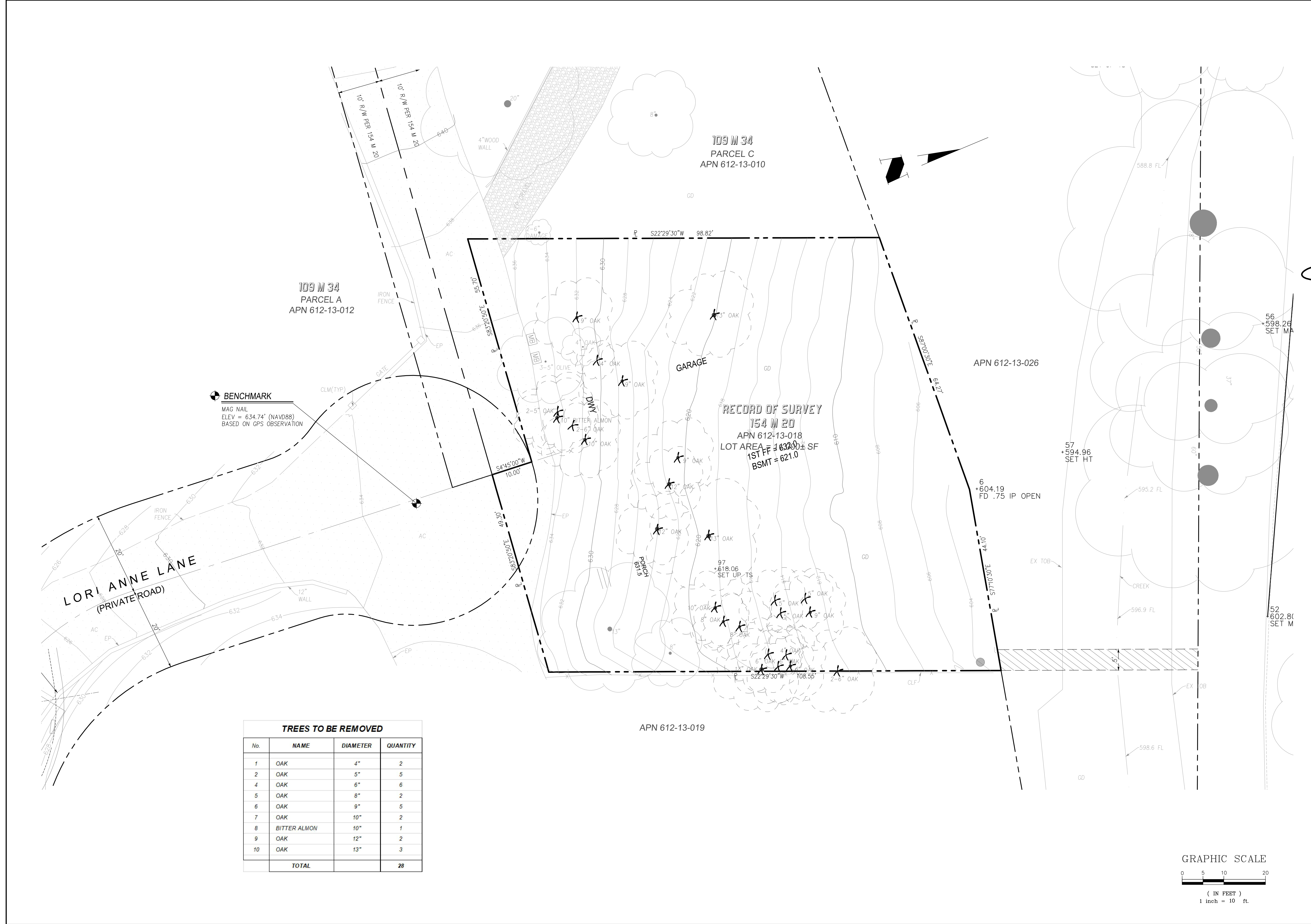
BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTER LINE OF LORI ANNE LANE, AS SHOWN AS N04°45'00"E ON RECORD OF SURVEY, RECORDED IN BOOK 109 OF MAPS, AT PAGE 34, SANTA CLARA COUNTY RECORDS.



APN 612-13-019

REGISTERED PROFESSIONAL ENGINEER No. 47518 STATE OF CALIFORNIA CIVIL	MIKE MOINEE 15560 LORI ANNE LN, SAN JOSE, CA 95127 Email: ma.moinee@gmail.com Tel: (949)233-1014			ENGINEERING 588 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187			
SHEET	15560 LORI ANNE LN APN 612-13-018			SANTA CLARA COUNTY, CALIFORNIA Project No.: _____ Designed: PT Checked: NL Date: 03/30/22			
FILE #							



109 M 34
PARCEL A
APN 612-13-012

109 M 34
PARCEL C
APN 612-13-010

APN 612-13-026

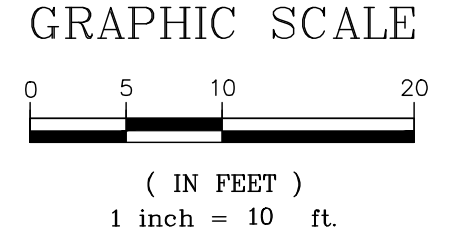
APN 612-13-019

BENCHMARK
MAG NAIL
ELEV = 634.74' (NAVD88)
BASED ON GPS OBSERVATION

LORI ANNE LANE
(PRIVATE ROAD)

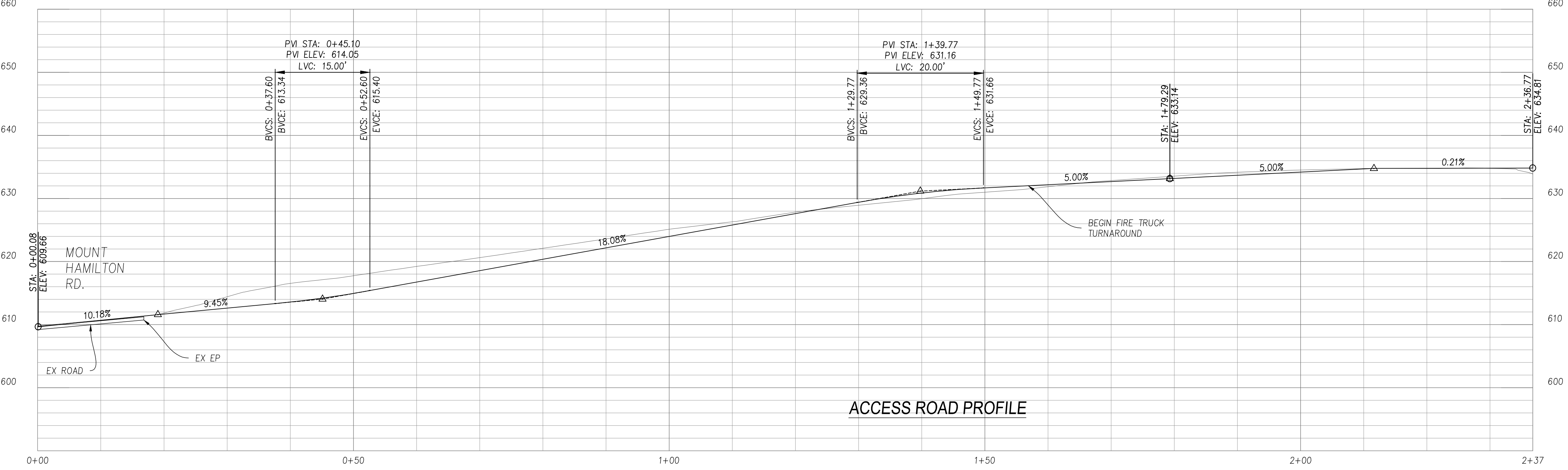
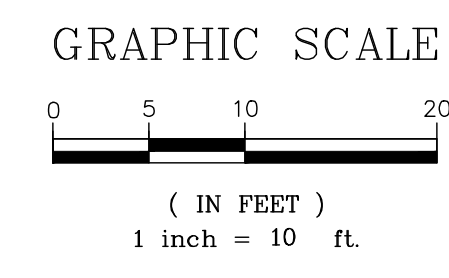
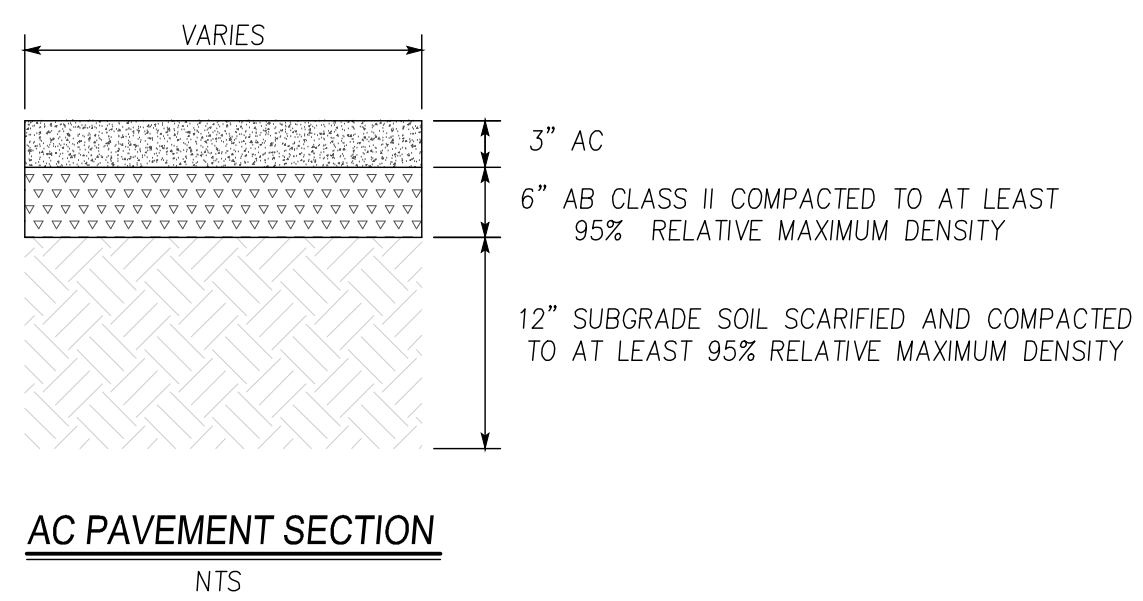
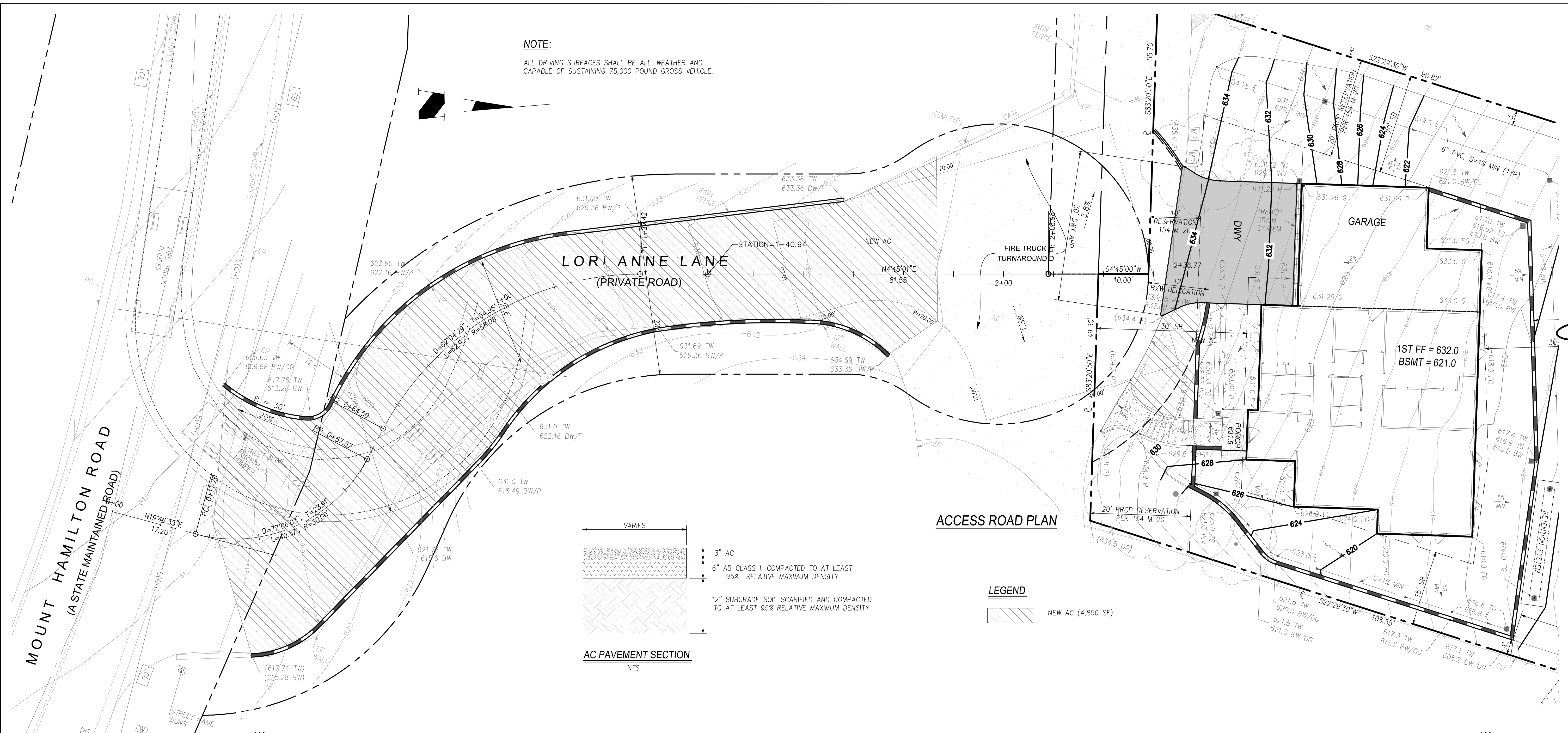
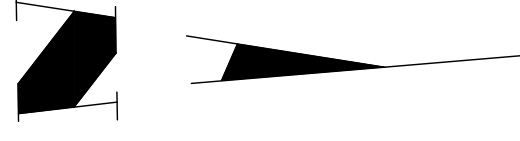
TREES TO BE REMOVED

No.	NAME	DIAMETER	QUANTITY
1	OAK	4"	2
2	OAK	5"	5
4	OAK	6"	6
5	OAK	8"	2
6	OAK	9"	5
7	OAK	10"	2
8	BITTER ALMON	10"	1
9	OAK	12"	2
10	OAK	13"	3
TOTAL			28

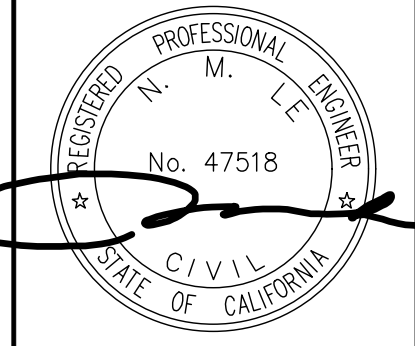


<p>MIKE MOINEE 15560 LORI ANNE LN, SAN JOSE, CA 95127 Email: ma.moinee@gmail.com Tel: (949)233-1014</p>																			
<p>ENGINEERING 588 E Santa Clara St, #270 San Jose, CA 95112 Phone: (408) 806-7187</p>																			
<p>DEMOLITION PLAN 15560 LORI ANNE LN APN 612-13-018</p>																			
<p>SHEET C2</p>																			
<p>FILE #</p>																			
<p>Project No.: SAN JOSE, CALIFORNIA Date: 03/30/22 Designed: PT Checked: NL</p>																			
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>								NO.	DATE	BY									
NO.	DATE	BY																	

NOTE:
ALL DRIVING SURFACES SHALL BE ALL-WEATHER AND CAPABLE OF SUSTAINING 75,000 POUND GROSS VEHICLE.



NO.	DATE	BY	REVISIONS



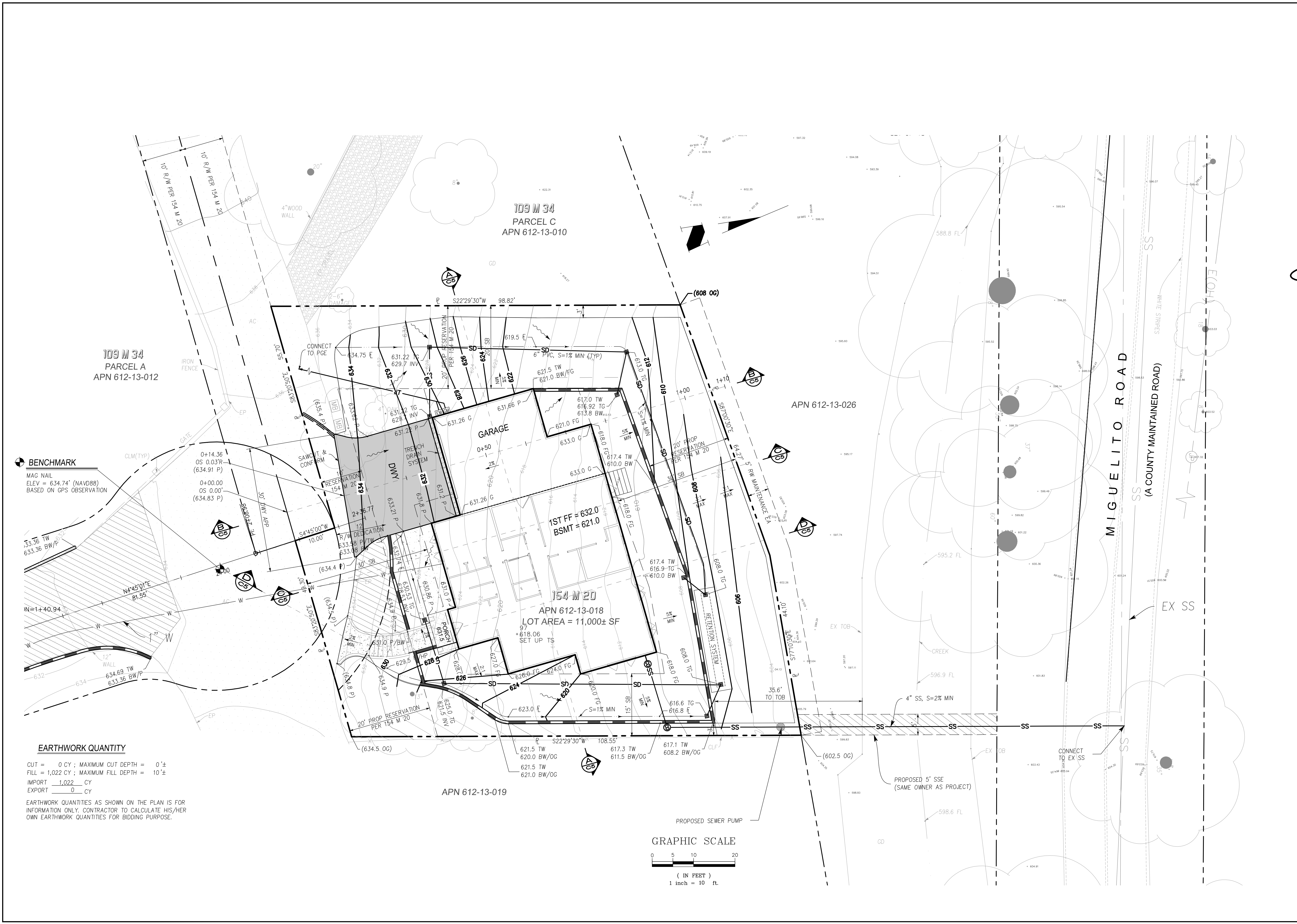
MIKE MOINEE
15560 LORI ANNE LN, SAN JOSE, CA 95127
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Tel: (949)233-1014

ENGINEERING
598 E Santa Clara St. #270
San Jose, CA 95112
Phone: (408) 806-7187

EXISTING ACCESS ROAD
15560 LORI ANNE LN
APN 612-13-018

SAN JOSE CALIFORNIA
Project No.: _____
Designed: PT
Checked: NL
Date: 03/30/22

SHEET
C3
FILE #
.....



109 M 34
PARCEL A
APN 612-13-012

109 M 34
PARCEL C
APN 612-13-010

APN 612-13-026

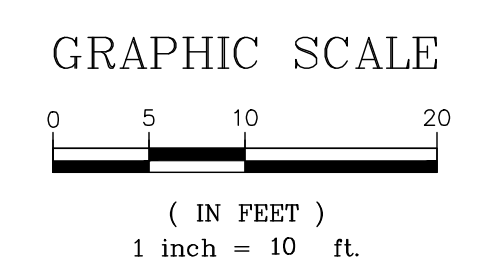
APN 612-13-019

154 M 20
APN 612-13-018
LOT AREA = 11,000± SF

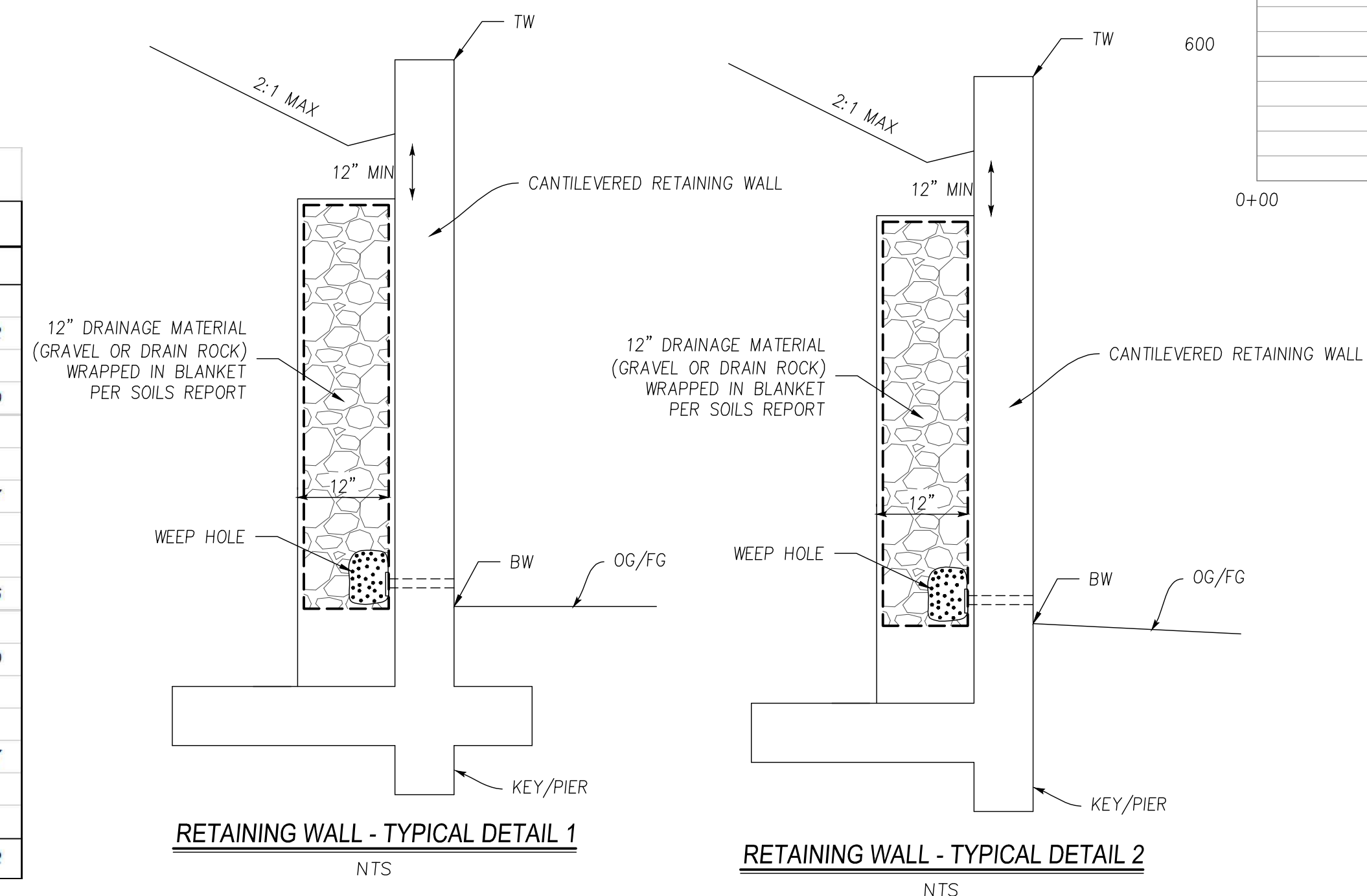
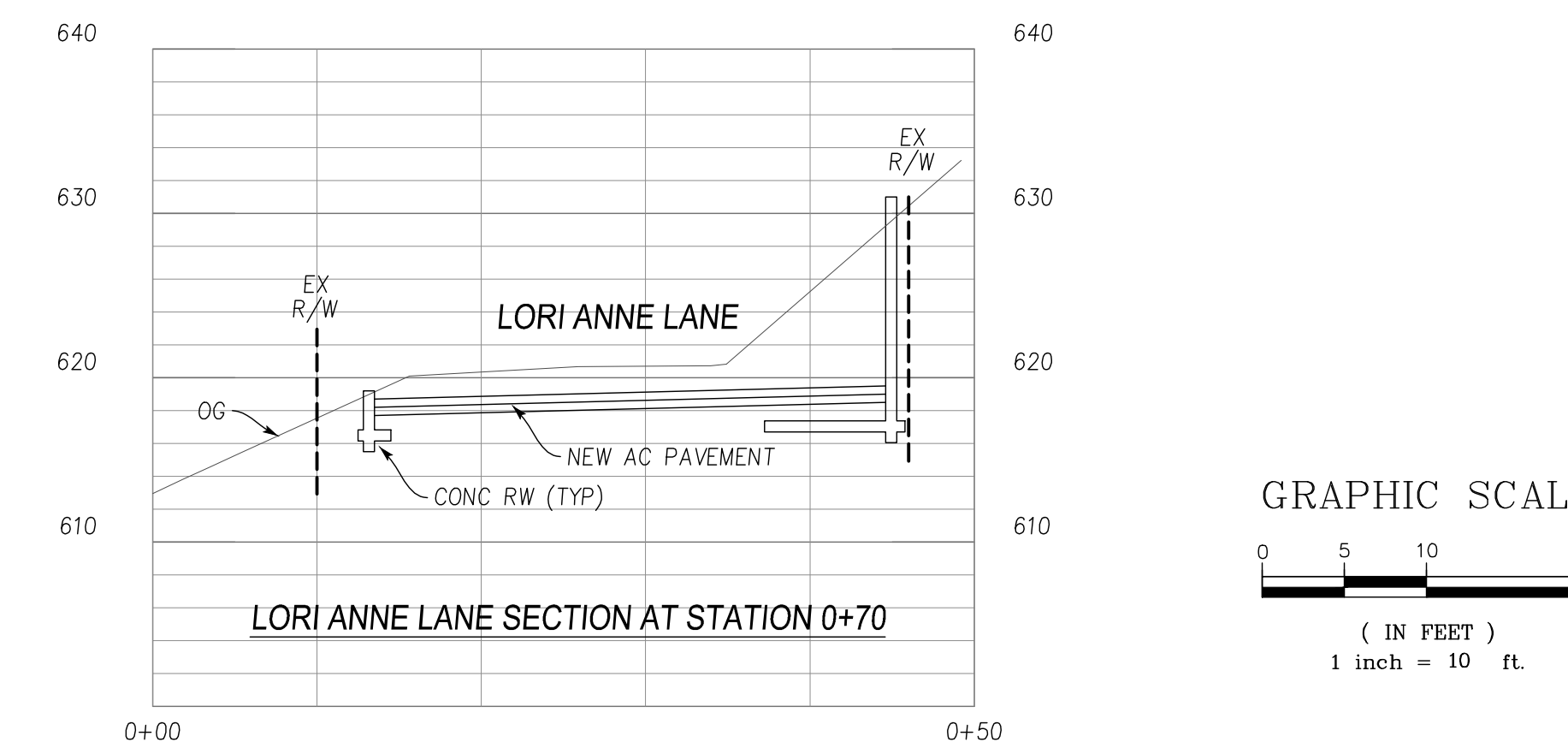
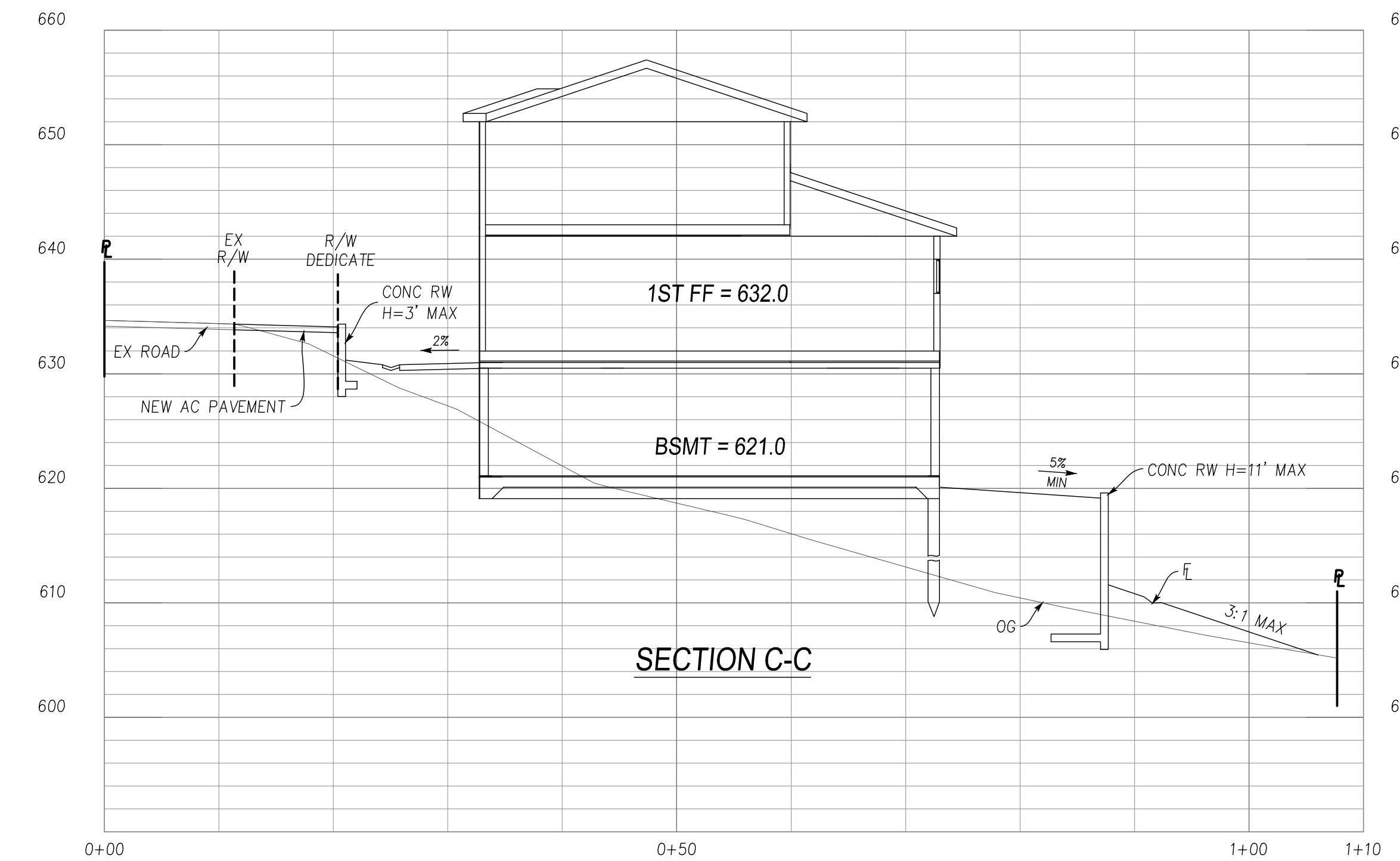
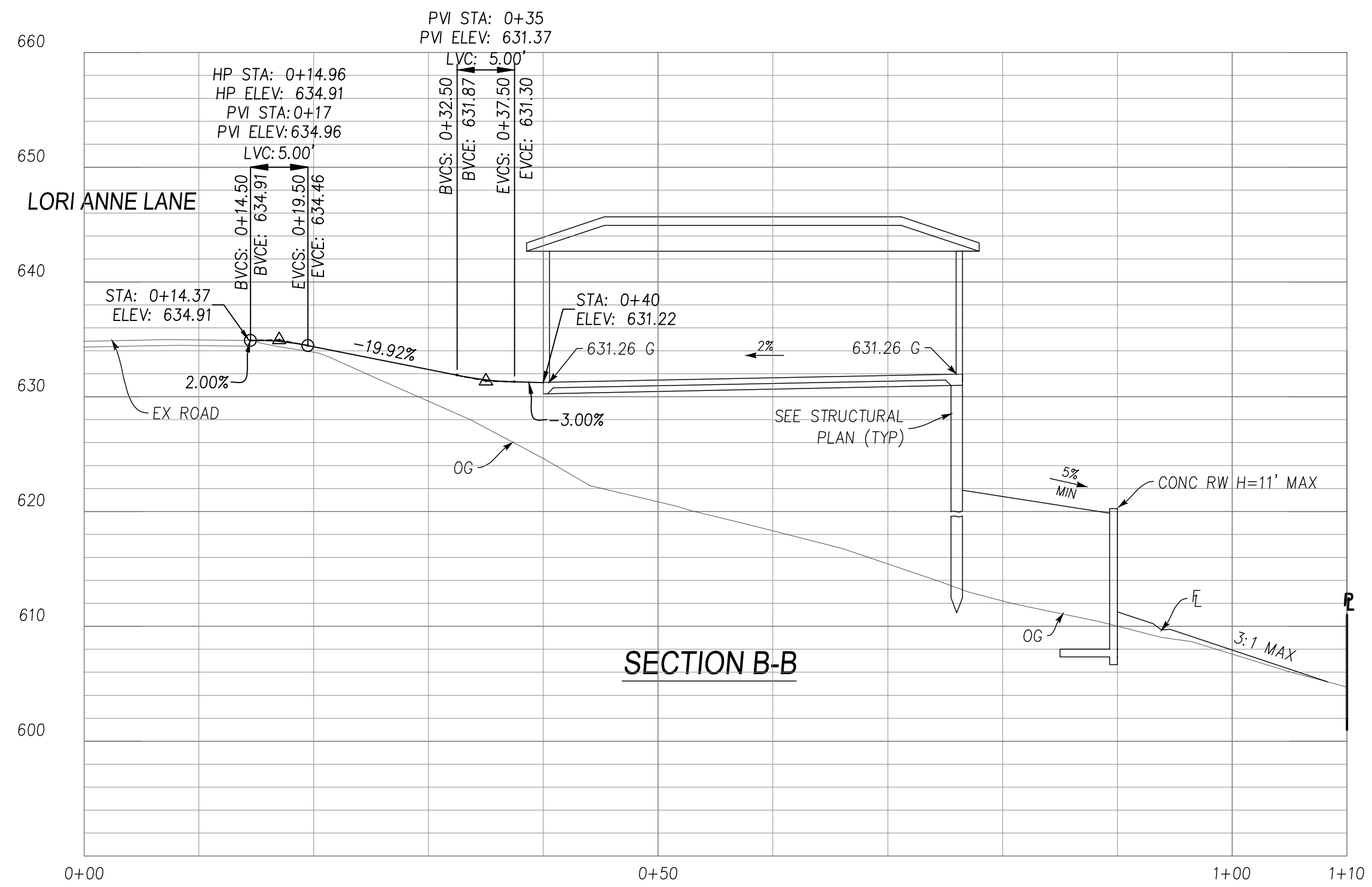
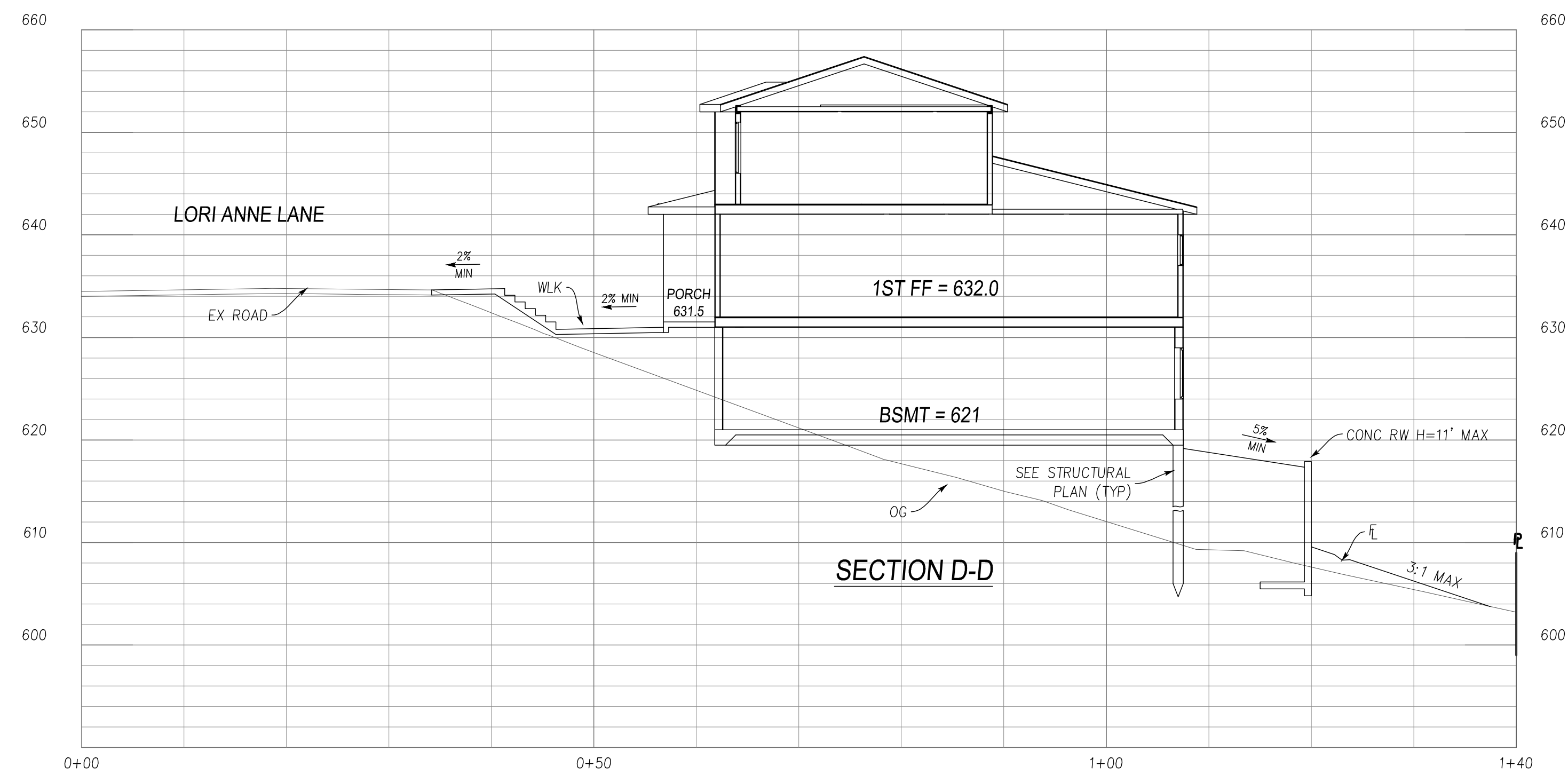
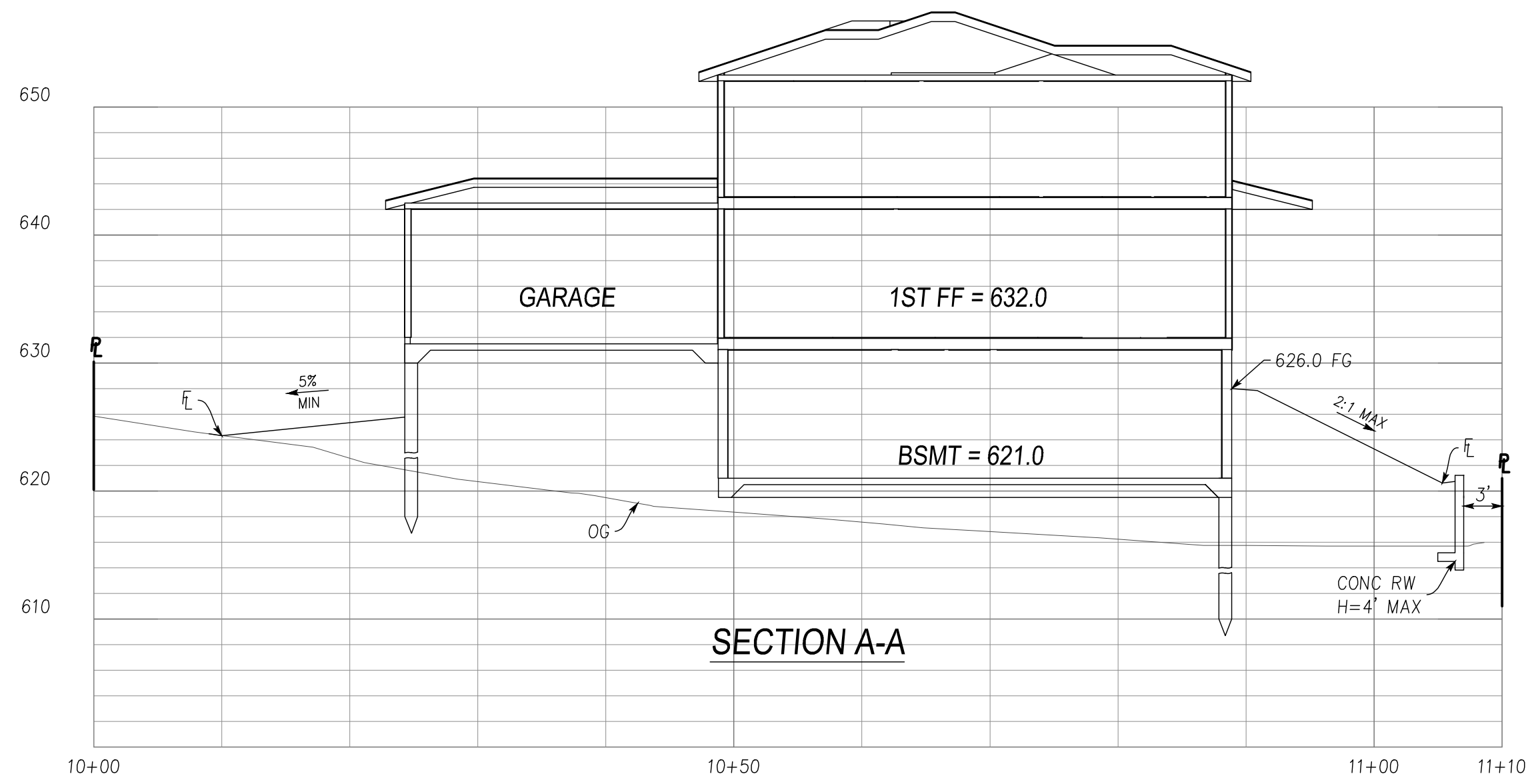
MIGUELITO ROAD
(A COUNTY MAINTAINED ROAD)

BENCHMARK
MAG NAIL
ELEV = 634.74' (NAVD88)
BASED ON GPS OBSERVATION

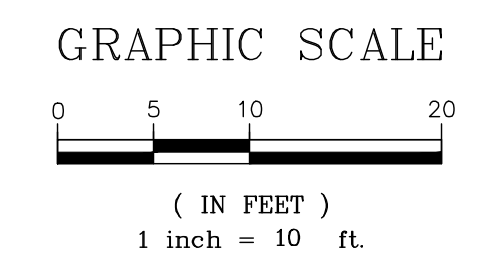
EARTHWORK QUANTITY
CUT = 0 CY ; MAXIMUM CUT DEPTH = 0'±
FILL = 1,022 CY ; MAXIMUM FILL DEPTH = 10'±
IMPORT 1,022 CY
EXPORT 0 CY
EARTHWORK QUANTITIES AS SHOWN ON THE PLAN IS FOR INFORMATION ONLY. CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK QUANTITIES FOR BIDDING PURPOSE.



SHEET		<p>ENGINEERING 15560 LORI ANNE LN APN 612-13-018</p>	<p>SAN JOSE CALIFORNIA Project No. _____ Designed: PT Checked: NL Date: 03/30/22</p>
C4			
FILE #		<p>MIKE MOINEE 15560 LORI ANNE LN, SAN JOSE, CA 95127 Email: ma.moinee@gmail.com Tel: (949)233-1014</p>	
REVISIONS		<p>REGISTERED PROFESSIONAL ENGINEER No. 47518 STATE OF CALIFORNIA CIVIL</p>	



EARTH WORK QUANTITY						
No.	STATION	AREA (SQUARE FEET)		DISTANCE (FEET)	VOLUME (CUBIC YARD)	
		CUT	FILL		CUT	FILL
1	A-A (LEFT)		11.00	70.00	0.00	28.52
2	B-B (LEFT)		36.00	30.00	0.00	40.00
3	C-C (LEFT)		8.00	65.00	0.00	54.17
4	D-D (LEFT)		37.00			
5	A-A (RIGHT)		46.00	70.00	0.00	119.26
6	B-B (RIGHT)		205.00	40.00	0.00	303.70
7	C-C (RIGHT)		225.00	65.00	0.00	476.67
8	D-D (RIGHT)		171.00			
TOTAL					0.00	1,022.32



REVISIONS	BY	DATE

MIKE MOINEE
 15560 LORI ANNE LN, SAN JOSE, CA 95127
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 Tel: (949)233-1014

588 E Santa Clara St, #270
 San Jose, CA 95112
 Phone: (408) 806-7187

DRIVEWAY PROFILE & SECTIONS
 15560 LORI ANNE LN
 APN 612-13-018

Project No.: SAN JOSE CALIFORNIA
 Date: 02/20/22
 Checked: NL
 Designed: PT

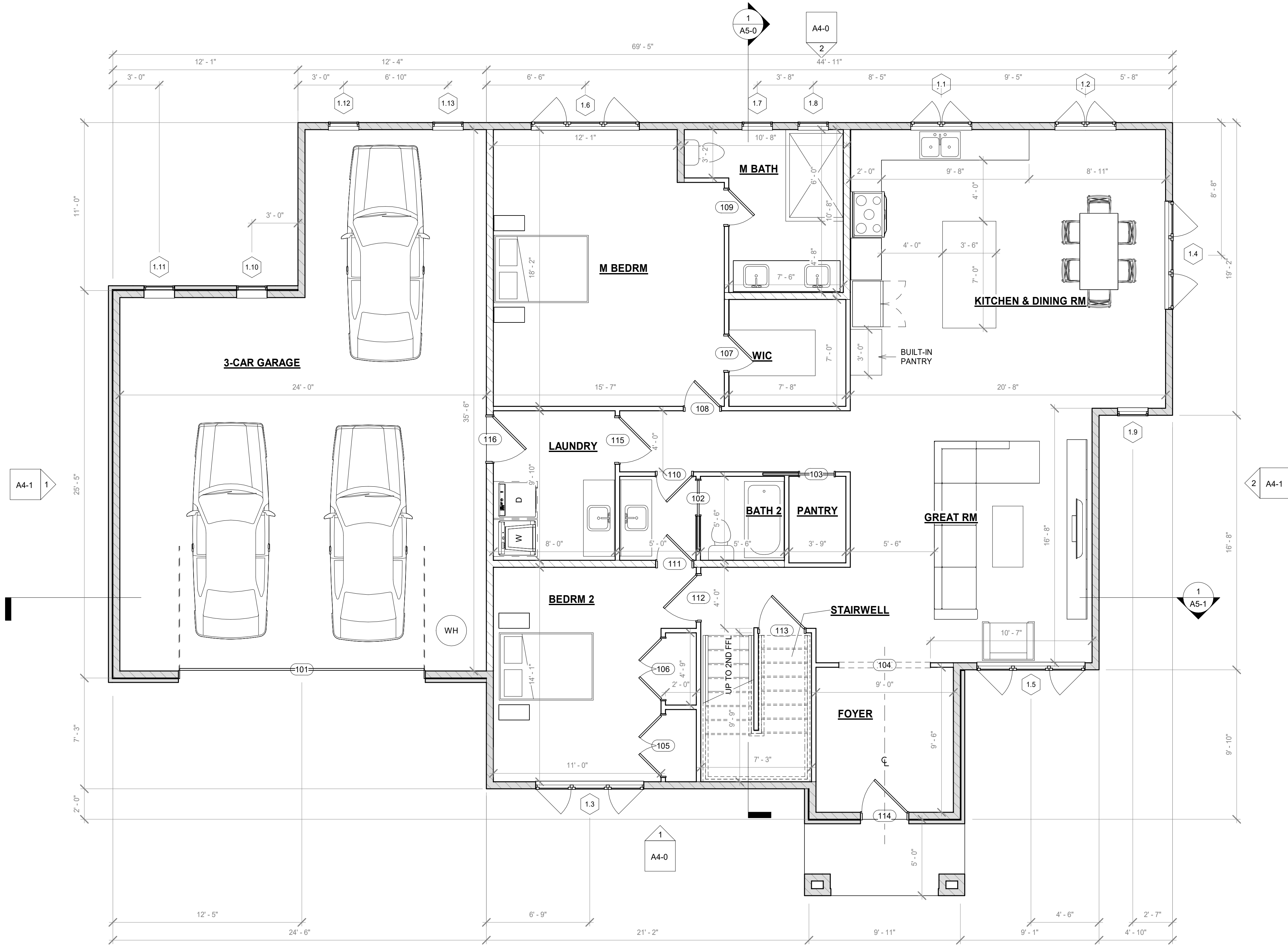
SHEET
C5
 FILE #



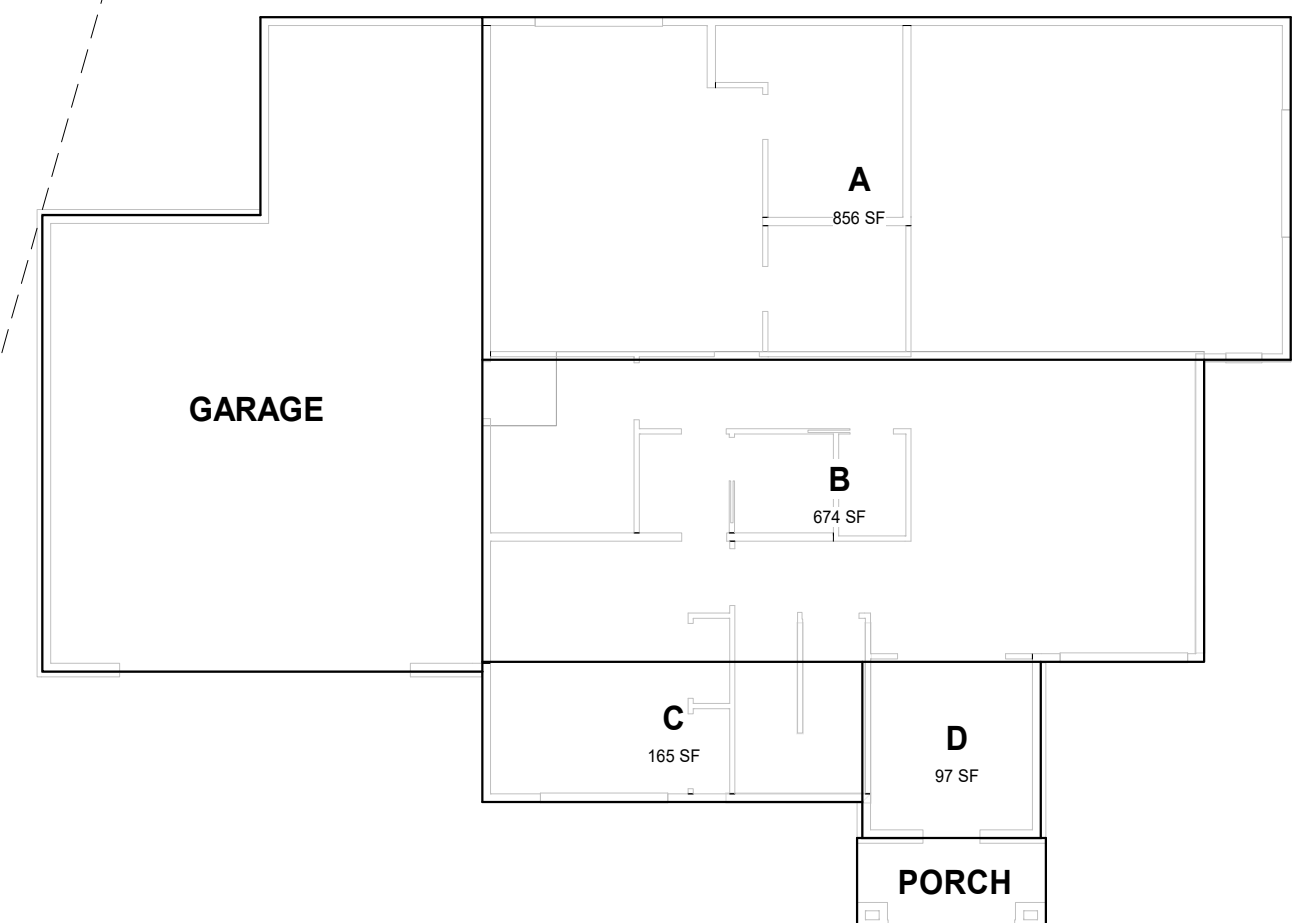
LEGEND

- TEMPORARY DISTURBANCE AREA (1,993 SF)
- PERMANENT DEVELOPMENT AREA (11,020 SF)
- BUILDING ENVELOP
- COAST LIVE OAK WOODLAND
- MIXED RIPARIAN WOODLAND

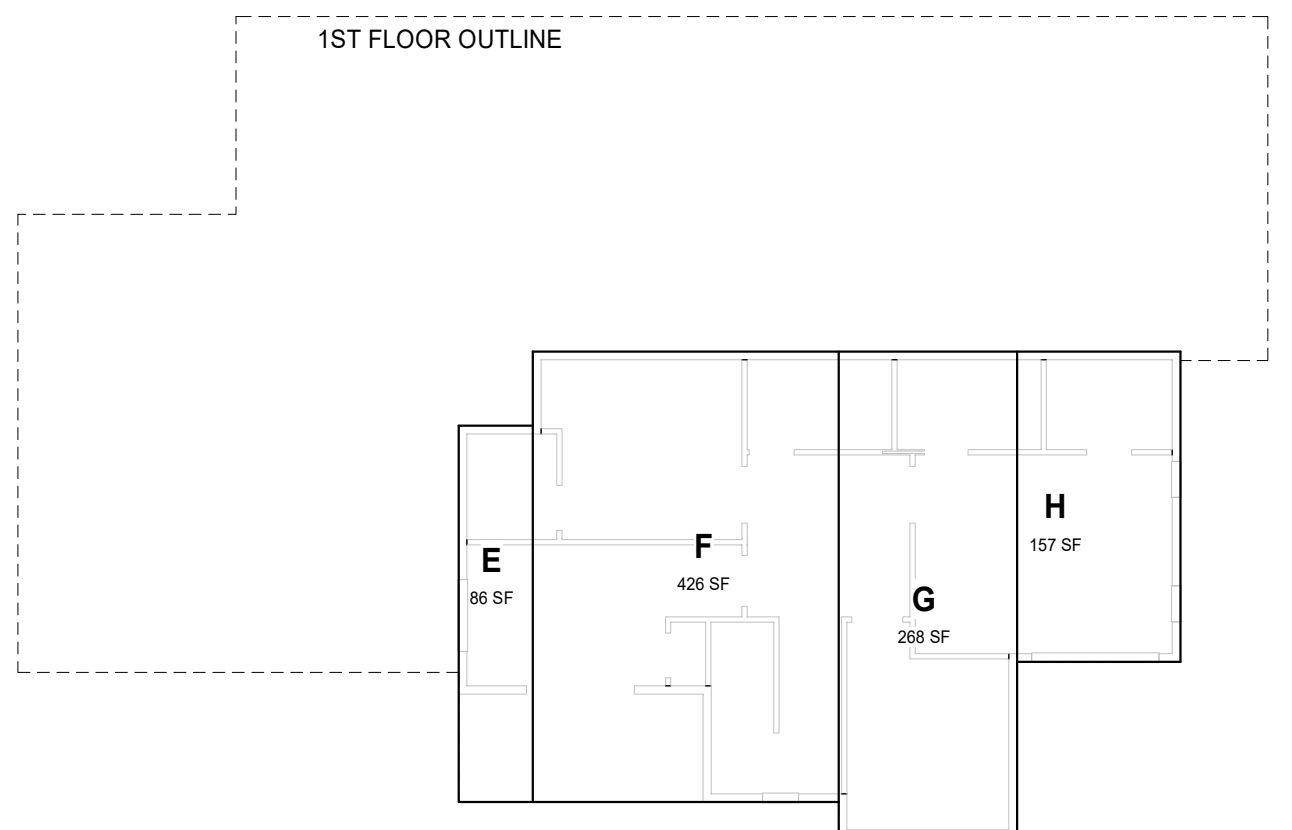
										
MIKE MOINEE 15560 LORI ANNE LN, SAN JOSE, CA 95127 Email: ma.moinee@gmail.com Tel: (949)233-1014										
										
LAND COVER EXHIBIT 15560 LORI ANNE LN APN 612-13-018										
SHEET										
C6										
FILE #										
.....										
SAN JOSE	DESIGNED: PT	CHECKED: NL	DATE: 03/30/22							CALIFORNIA
Project No.:										
BY	DATE									
REVISIONS										



1 1ST FFL
1/4" = 1'-0"



2 1ST FFL AREA PLAN
3/32" = 1'-0"



4 2ND FFL
3/32" = 1'-0"

MH AREA SCHEDULE			
NAME	WIDTH	LENGTH	AREA
1ST FFL			
A	19'-0 1/2"	44'-11"	856 SF
B	16'-9 1/2"	40'-1 1/2"	674 SF
C	7'-9 1/2"	21'-1 1/2"	164 SF
D	9'-9 1/2"	9'-11"	97 SF
1791 SF			
2ND FFL			
E	4'-1 1/2"	20'-11"	86 SF
F	17'-0"	25'-0 1/2"	426 SF
G	9'-11"	27'-0 1/2"	268 SF
H	9'-1"	17'-3"	157 SF
937 SF			
UNFINISHED			
GARAGE	17'-5"	43'-5"	756 SF
PORCH	5'-0"	10'-6"	52 SF
808 SF			
GRAND TOTAL			
			3537 SF

FLOOR PLAN NOTES

- ALL PROPOSED (P) WALLS DIMENSIONED TO FACE OF STUD. ALL EXISTING (E) WALLS DIMENSIONED TO FINISHED FACE.
 - (P) 2 x 6 EXTERIOR STUD WALL
 - (P) 2 x 6 STUD WALL
 - (P) 2 x 4 STUD WALL
 - (P) ALUM BLOCK BASMENT WALL

EXTERIOR WALLS WITH STUCCO FINISH: (6" WALLS) TO BE 2X6 STUDS @ 16" O.C. W/ DBL SILL PLATE AND DBL 2X6 TOP PLATES AS INDICATED ON STRUCTURAL PLANS, TYP., W/ 3-LAYER STUCCO FINISH, TYP.

TYPICAL INTERIOR WALLS: TO BE 2 X 4 STUDS @ 16" O.C. TYP., U.N.O. WITH 5/8" GYP. BD., EACH SIDE, PLASTER FINISH TYPICAL U.N.O.

PROVIDE 2X6 PLUMBING WET WALLS AS REQUIRED.

GARAGE / RESIDENCE COMMON WALL AND CEILING - PROVIDE A 5/8" GYPSUM BOARD FROM FLOOR TO UNDERSIDE OF ROOF SHEATHING (GARAGE MUST BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA) PROVIDE 5/8" TYPE 'X' GYPSUM BOARD AT ENTIRE GARAGE CEILINGS WITH HABITABLE ROOMS ABOVE AND 5/8" GYPSUM BOARD AT WALLS SUPPORTING THIS FLOOR/CEILING. FIRE SEPARATION PER CRC SEC 302.6 AND TABLE R302.6.

- ALL TOILETS SHALL HAVE A MINIMUM CLEAR WIDTH OF 34".
- EGRESS WINDOW REQ.:
 - AN OPENING FOR EMERGENCY THAT IS AT LEAST 5.7 SF IN OPENING AREA
 - MINIMUM OPENING SIZE IS 20" WIDTH X 24" HIGH
 - HAVE EGRESS OPENING NO MORE THAN 44" A.F.F. IN ORDER TO MEET THE REQUIRED 5.7 SF TOTAL EITHER THE WIDTH OR HEIGHT, OR BOTH MUST EXCEED THE MINIMUM DIMENSION.

MH ROOM SCHEDULE

NAME	AREA
1ST FFL	
3-CAR GARAGE	713 SF
BATH 2	58 SF
BEDRM 2	183 SF
FOYER	84 SF
GREAT RM	366 SF
KITCHEN & DINING RM	374 SF
LAUNDRY	77 SF
M BATH	87 SF
M BEDRM	261 SF
PANTRY	20 SF
STAIRWELL	67 SF
WIC	52 SF
2ND FFL	
BATH 3	39 SF
BATH 4	39 SF
BEDRM 4	103 SF
BONUS ROOM	109 SF
M BEDRM 3	156 SF
OFFICE	91 SF
WIC 2	34 SF
WIC 3	28 SF
GRAND TOTAL	2942 SF

FLOOR VENT CALCULATIONS

MAIN FLOOR ATTIC SPACE	
AREA REQ. FLOOR VENT:	[] SF
VENTILATION REQ'D @ 1/150 SF	[] SF
VENTILATION PROVIDED	
PROVIDE 6"x14" 28-GA. GALVANIZED STEEL VENTS W/ 1/4" GALV. MESH SIZE. MAX. 62 SQ. IN. OR 0.43 SF EA.	[] SF
TOTAL VENTILATION PROVIDED:	[] SF
NOTES:	
1. DESIGN 50 / 50 HIGH & LOW VENTS	

STAMP SPACE

NO.	REVISIONS	DATE	BY

Mike Moine
15560 Lori Anne Ln, San Jose, CA, 95127

ENGINEERING
598 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7167
Fax: (408) 583-4006

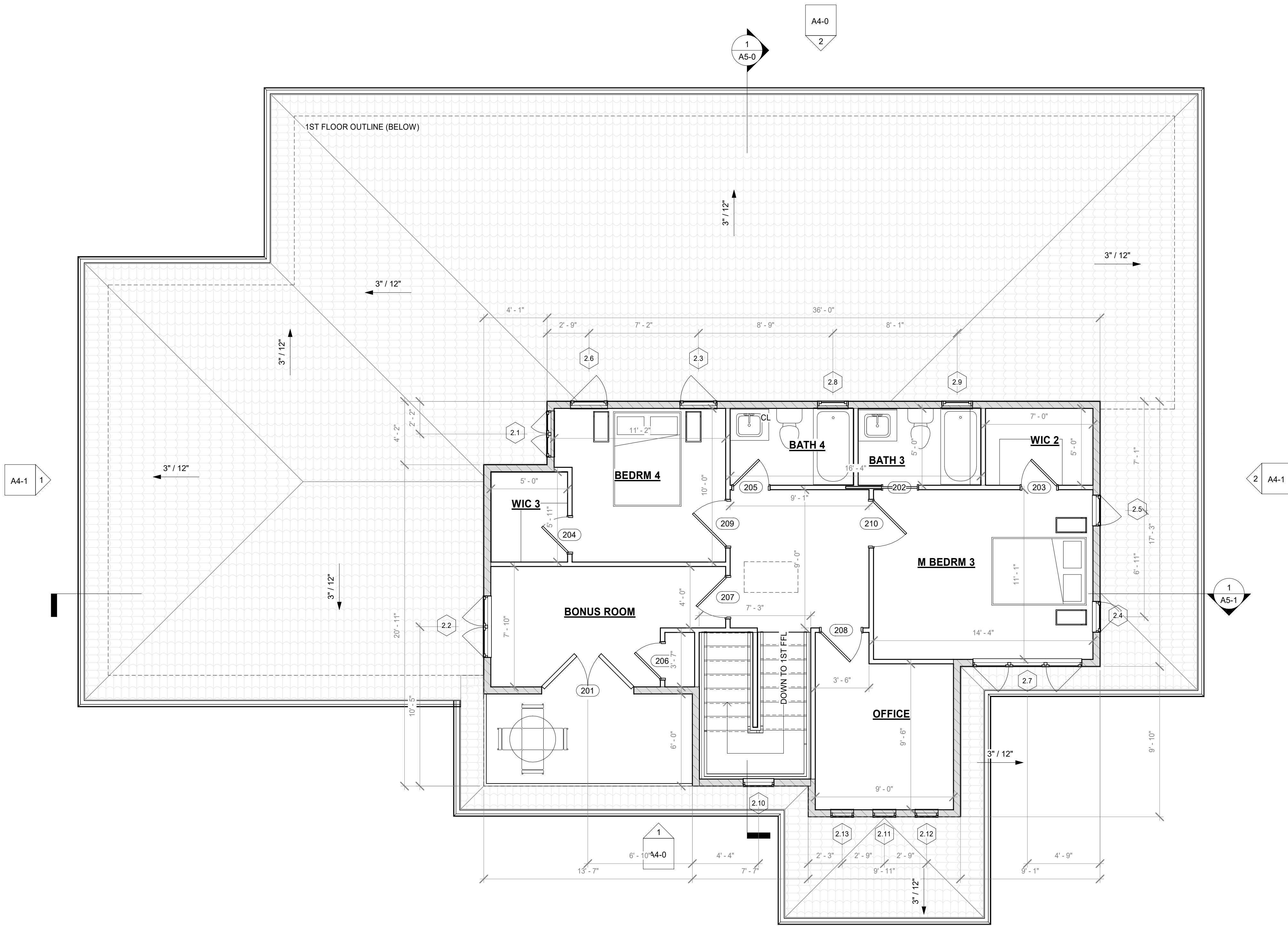
LORI ANNE LN HOUSE
APN: 612-13-018
SAN JOSE
Project No:
Designed: NL
Checked: KL
Date: 01/03/2024

FLOOR PLAN

A2-0

FLOOR PLAN NOTES

- SEE NOTES ON SHEET A2-0
- FOR FIRST FLOOR ROOF, SEE NOTES ON A3-0.



① 2ND FFL
1/4" = 1'-0"

STAMP SPACE



Mike Moinee
15560 Lori Anne Ln, San Jose, CA,
95127



LORI ANNE LN HOUSE
APN: 612-13-018

SECOND FLOOR PLAN

A2-1

1/3/2024 2:07:53 PM

NO.	DATE	BY	REVISIONS

SAN JOSE Project No: _____
Designed: KL Checked: NL Date: 01/03/2024 CALIFORNIA

FLOOR PLAN NOTES

1. SEE NOTES ON SHEET A2-0

NO.	DATE	BY	REVISIONS



Mike Moinee
 15560 Lori Anne Ln, San Jose, CA,
 95127

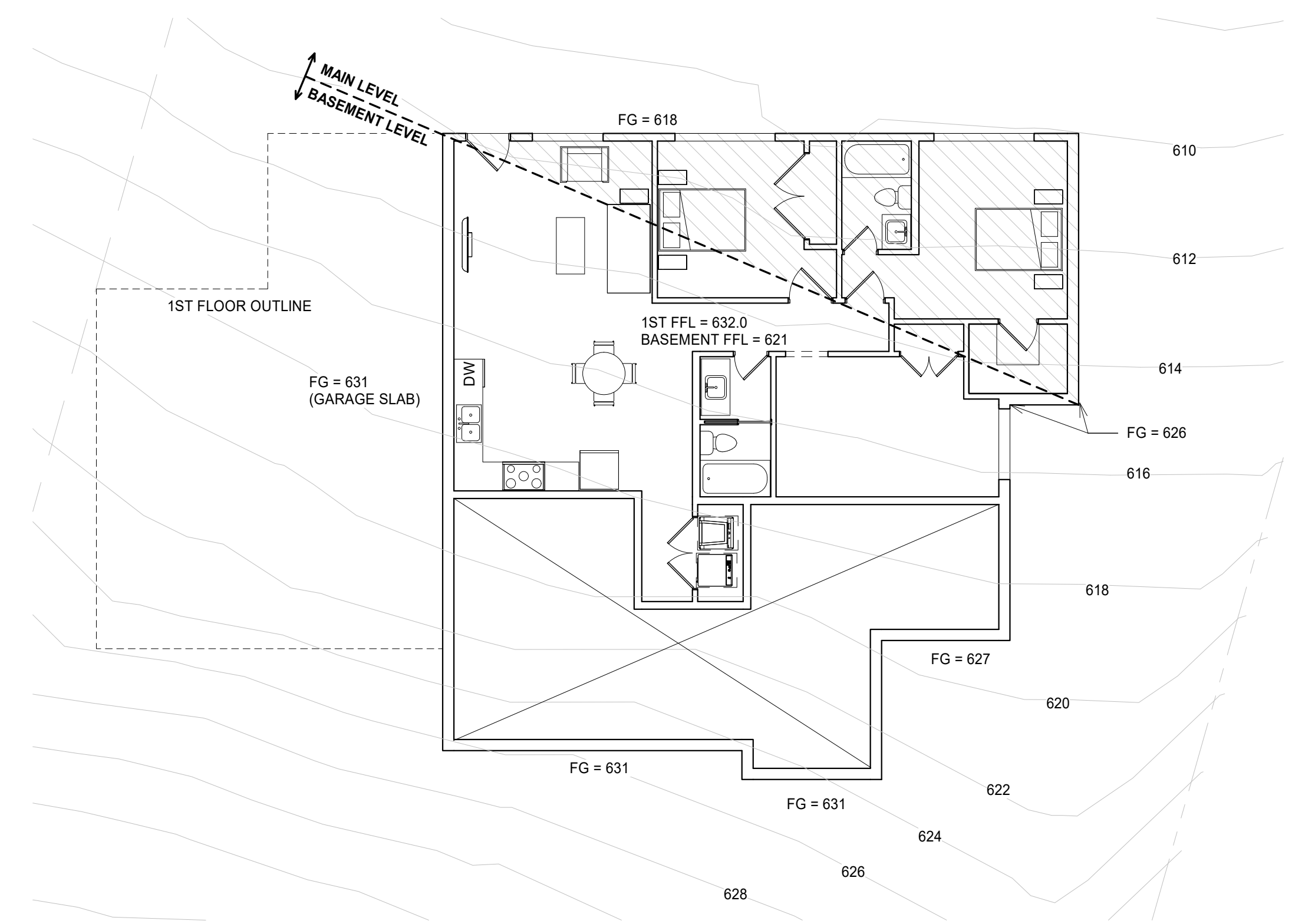
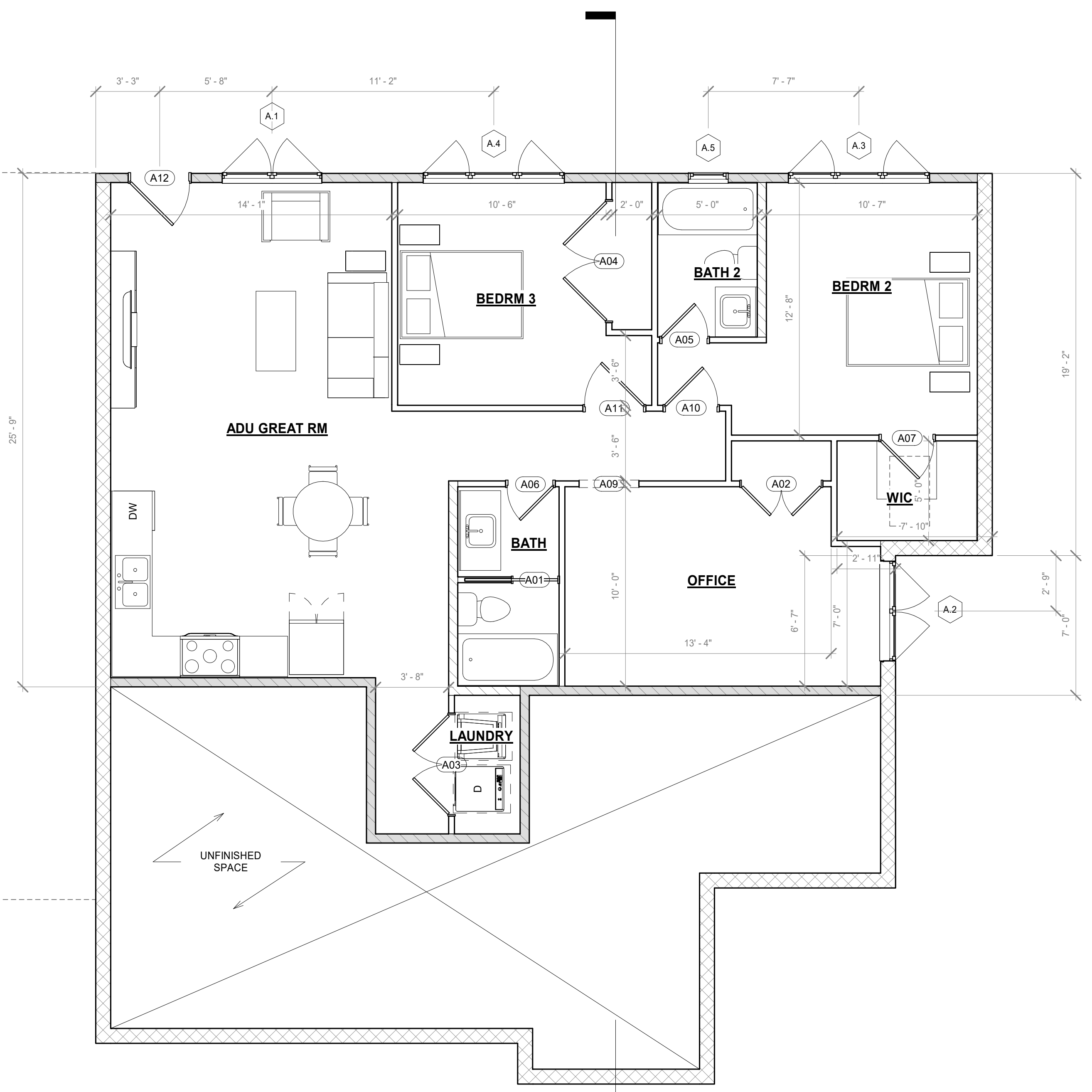


LORI ANNE LN HOUSE
 APN: 612-13-018
 SAN JOSE, CALIFORNIA
 Project No: _____
 Designed: KL Checked: NL Date: 01/03/2024

ADU FLOOR PLAN

GA-0

1/3/2024 2:07:55 PM



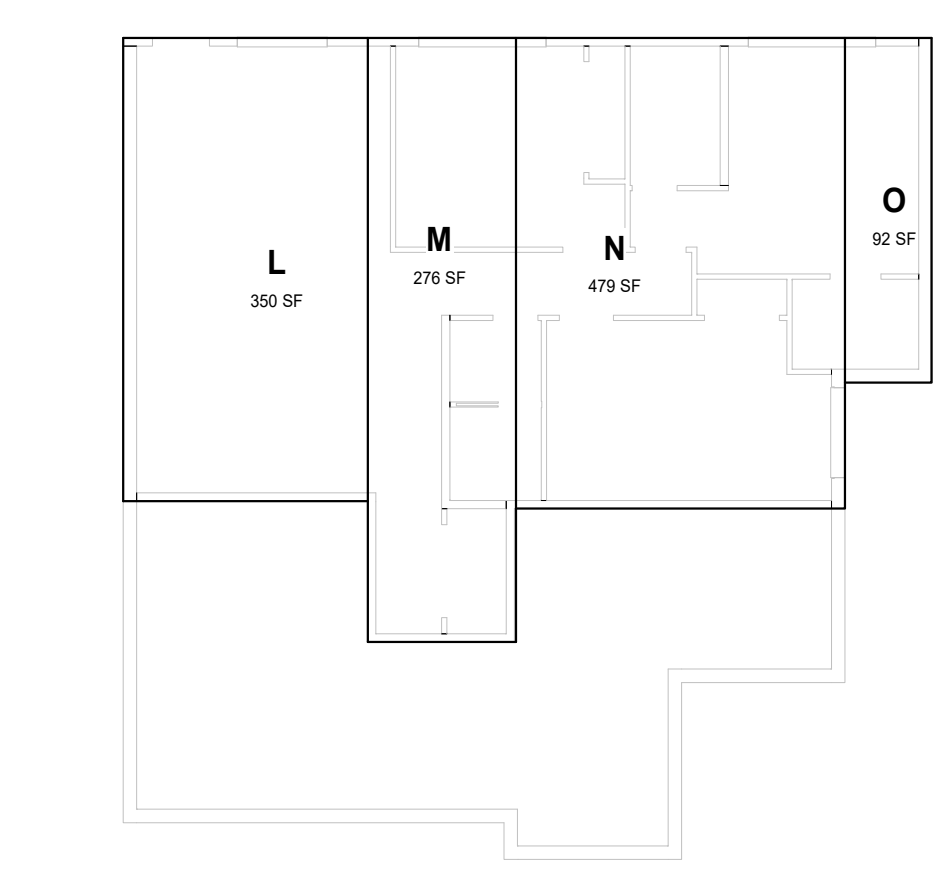
3 BSMT STUDY
 1/8" = 1'-0"

BASEMENT AREA CALCULATION*

TOTAL BASEMENT AREA:	1198 SQ. FT.
EXPOSED BASEMENT AREA: (WHERE THE MAIN LEVEL FINISHED FLOOR IS GREATER THAN 6 FT ABOVE GRADE)	432.13
EXPOSED BASEMENT AREA / TOTAL BASEMENT AREA:	432.13/1198 = 0.36, 36%

THE PERCENTAGE OF EXPOSED BASEMENT AREA IS <50%. THEREFORE, THIS FLOOR MAY BE CONSIDERED A BASEMENT.
 *SEE GRADING PLAN FOR FURTHER INFORMATION

1 BSMT FFL
 1/4" = 1'-0"



ADU AREA SCHEDULE

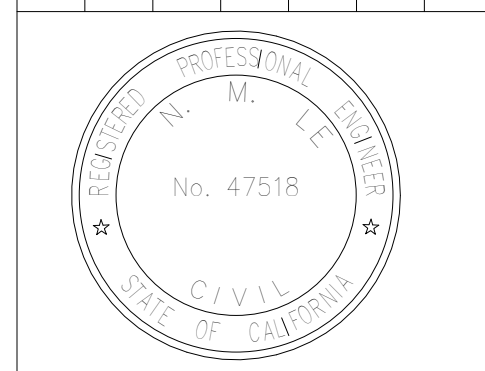
NAME	WIDTH	LENGTH	AREA
ADU			
L	13'-7 1/2"	25'-9"	351 SF
M	8'-3"	33'-7"	276 SF
N	18'-3 1/2"	26'-2"	479 SF
O	4'-9 1/2"	19'-2"	92 SF
GRAND TOTAL			1198 SF

2 BSMT FFL
 3/32" = 1'-0"

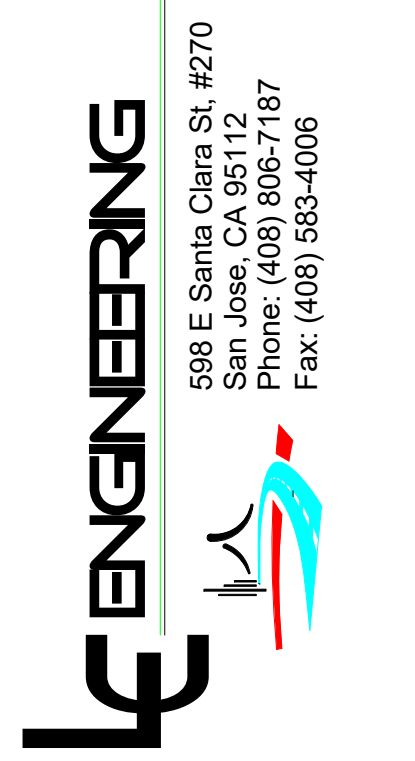
STAMP SPACE

ROOF PLAN NOTES

1. ROOF OVERHANG IS 1' - 6" U.N.O.
- 2.
3. ALL ROOF PROJECTIONS WITH A FIRE SEPARATION DISTANCE GREATER THAN OR EQUAL TO 2' AND LESS THAN 5' SHALL BE FIRE-RESISTANCE RATED PER TABLE R302.1(1) (CRC R302). SEE SHEET 7-1, DETAIL 6 FOR CONSTRUCTION.
4. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
5. PROVIDE ROOF SLOPE AS INDICATED ON PLANS. THE GENERAL CONTRACTOR SHALL VERIFY IN THE FIELD.
6. FOR ROOF COVERING, PROVIDE "CLASS A" ROOF COVERING. STYLE AND COLOR TO BE DETERMINED BY OWNER.
7. CONTRACTOR SHALL PROVIDE A COPY OF THE ICC REPORT FOR THE ROOF COVERING AT THE TIME OF INSPECTION.
8. PROVIDE ALUMINUM METAL GUTTERS AND DOWNSPOUTS THAT SHALL BE PAINTED. GUTTERS SHALL BE PAINTED TO MATCH TRIM COLOR AND DOWNSPOUTS (RAIN WATER LEADERS: RWL) SHALL MATCH BODY COLOR.
9. PROVIDE ATTIC VENTILATION AT ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF.
10. FRAMING MEMBERS SHALL HAVE A CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND SNOW. BLOCKING AND BRIDGING SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH THE MOVEMENT OF AIR. A MINIMUM OF (1) INCH OF AIRSPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. THE NET FREE VENTILATION SHALL BE A MINIMUM OF NOT LESS THAN (1) SQ. FT. FOR EACH (150) SQ. FT. OF ATTIC AREA WITH (50) PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED LOCATED NEAR THE UPPER PORTION.



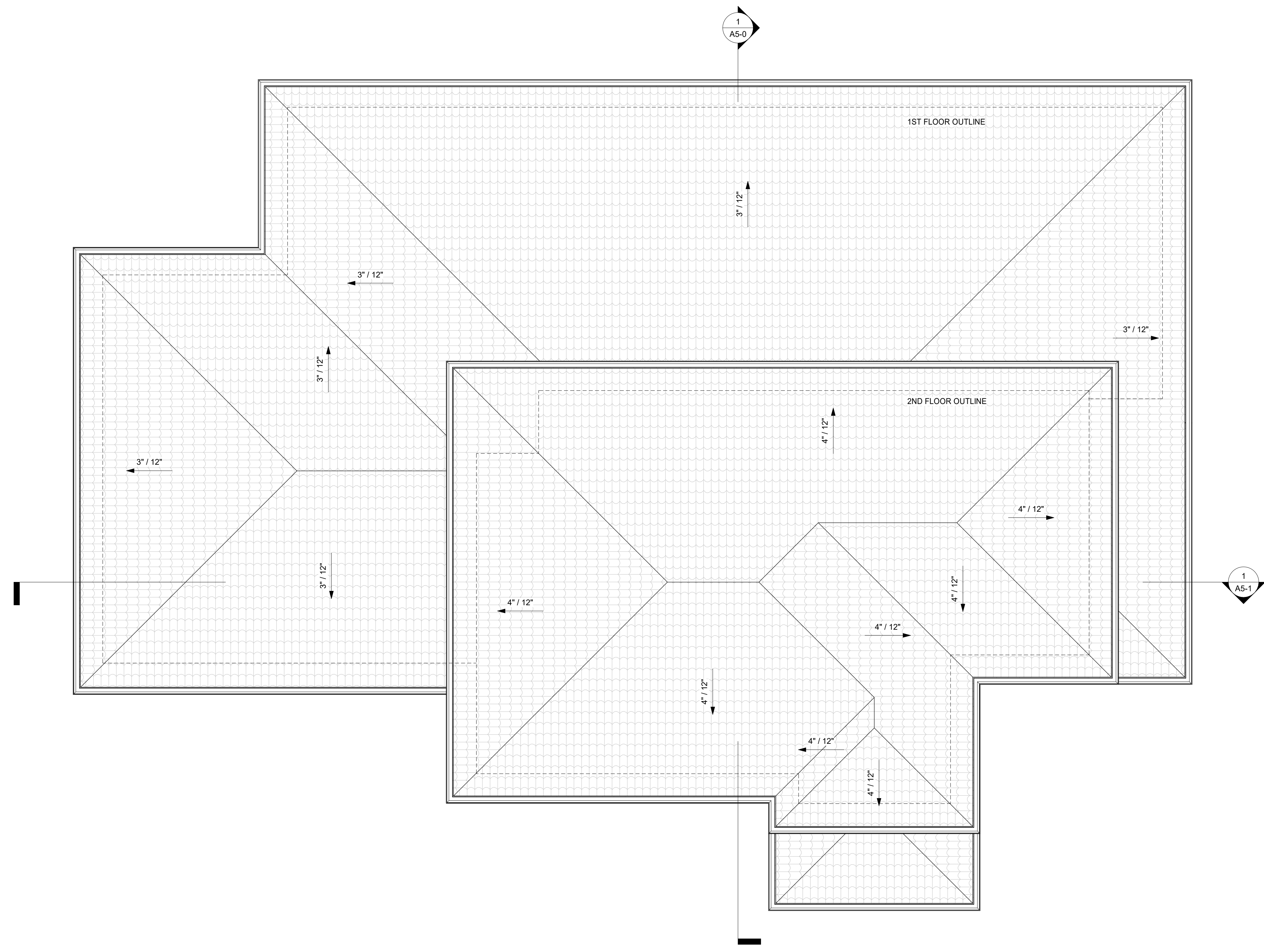
Mike Moinee
 15560 Lori Anne Ln, San Jose, CA,
 95127



LORI ANNE LN HOUSE
 APN: 612-13-018
 SAN JOSE CALIFORNIA
 Project No: _____ Date: 01/03/2024
 Designed: KL Checked: NL

MAIN HOUSE
 ROOF PLAN

A3-0



1 TOR
 1/4" = 1'-0"

STAMP SPACE

NO.	REVISIONS	DATE	BY

TOR
25' - 5"

2ND FL TOP
20' - 0"

2ND FFL
11' - 0"

1ST FL TOP
10' - 0"

1ST FFL
0' - 0"

BSMT TOP
-1' - 0"



① FRONT ELEVATION
1/4" = 1'-0"

TOR
25' - 5"

2ND FL TOP
20' - 0"

2ND FFL
11' - 0"

1ST FL TOP
10' - 0"

1ST FFL
0' - 0"

BSMT TOP
-1' - 0"

BSMT FFL
-11' - 0"



② REAR ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION
2. SEE ROOF PLAN SHEET FOR ADDITIONAL INFORMATION ON ROOF COVERING, GUTTERS & DOWNSPOUTS.
3. EXTERIOR WALL COVERING: (SEE EXTERIOR ELEVATIONS FOR LOCATION OF MATERIALS, AND DETAILS FOR ADDITIONAL INFORMATION).
4. GENERAL CONTRACTOR TO PROVIDE COLOR SAMPLES FOR APPROVAL BY OWNER AND ARCHITECT.
5. **TRIMS, EXTERIOR DOORS, SHUTTERS, CORBALS AND OTHER MISC. ACCENTS:**
PAINTED COLOR FINISH: SHALL BE SELECTED BY OWNER AND ARCHITECT.
6. **EXTERIOR ENTRY DOOR, OVERHEAD GARAGE DOOR:**
PROVIDE A PAINT-GRADE FRONT ENTRY DOOR BY "SIMPSON" OR "JELD-WEN" OR SIMILAR BRAND; COLOR TO BE DETERMINED BY OWNER AND ARCHITECT.
7. **PATIO DOORS & WINDOWS:** BY MARVIN WINDOW OR SIMILAR; ALUMINUM CLAD EXTERIOR FINISH; PRIMED WOOD INTERIOR FINISH.

COLOR AND HARDWARE TO BE DETERMINED. SEE WINDOW AND DOOR SCHEDULE, DETAILS, AND FLOOR PLANS FOR ADDITIONAL INFORMATION.
8. PROVIDE VAPOR BARRIER (TYVEK OR EQUAL) OVER THE WALL SHEATHING. SEE DETAILS FOR ADDITIONAL INFORMATION.

COLORS & MATERIALS

- | | | |
|---|--|--|
| 1 | | SHERWIN-WILLIAMS SUPERPAINT, CORK WEDGE SW 7539, LRV 42 OR SIM. W/ LRV <45. |
| 2 | | CERTAINTEED ASPHALT ROOF SHINGLE, LANDMARK CLIMATEFLEX STYLE, BURNT SIENNA COLOR OR SIM. |
| 3 | | MILGARD ULTRA C650, BARK COLOR OR SIM. |
| 4 | | DELTA THIN STONE VENEER, MOUNTAIN VALLEY STONE QUARRY BLEND OR SIM. |



Mike Moinee
15560 Lori Anne Ln, San Jose, CA,
95127

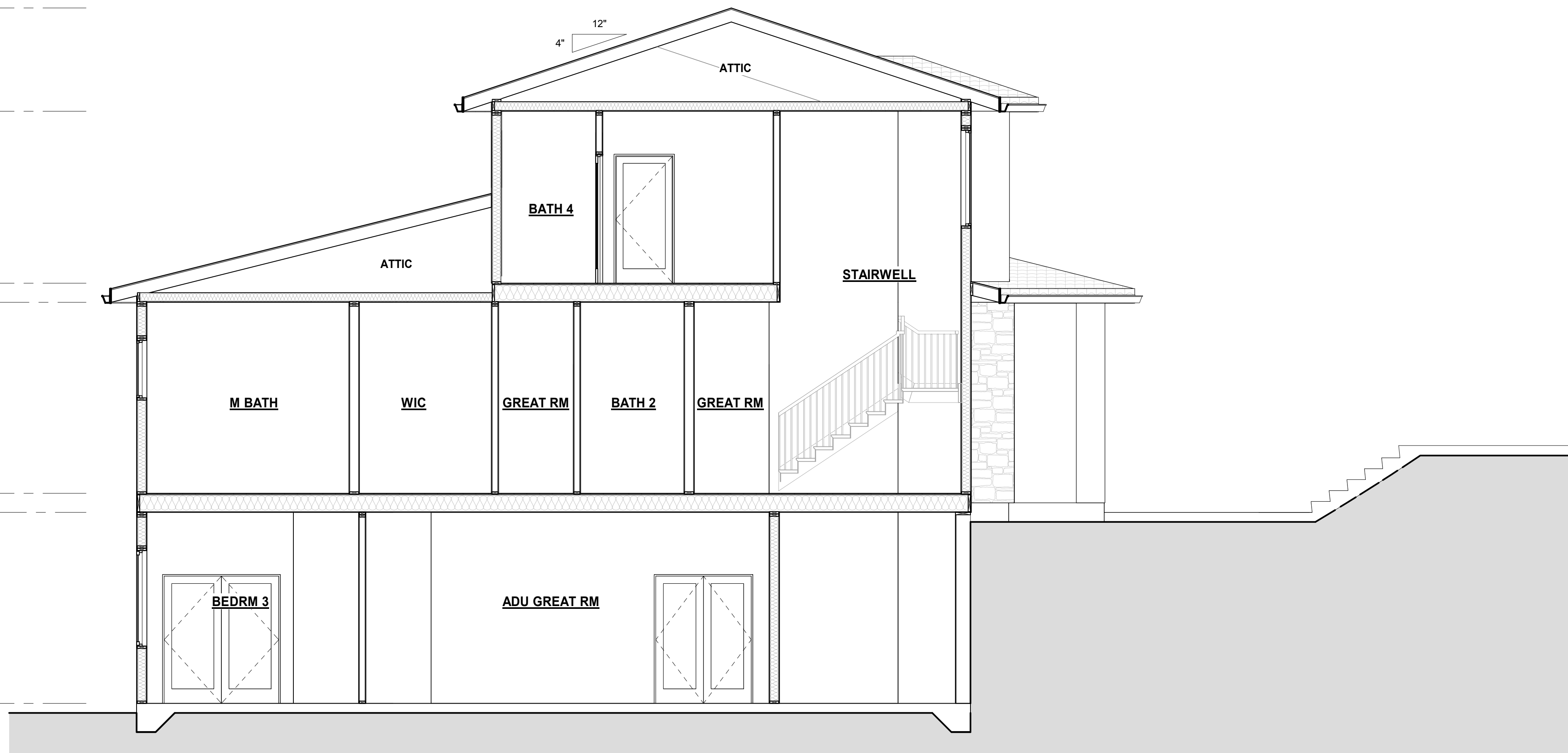
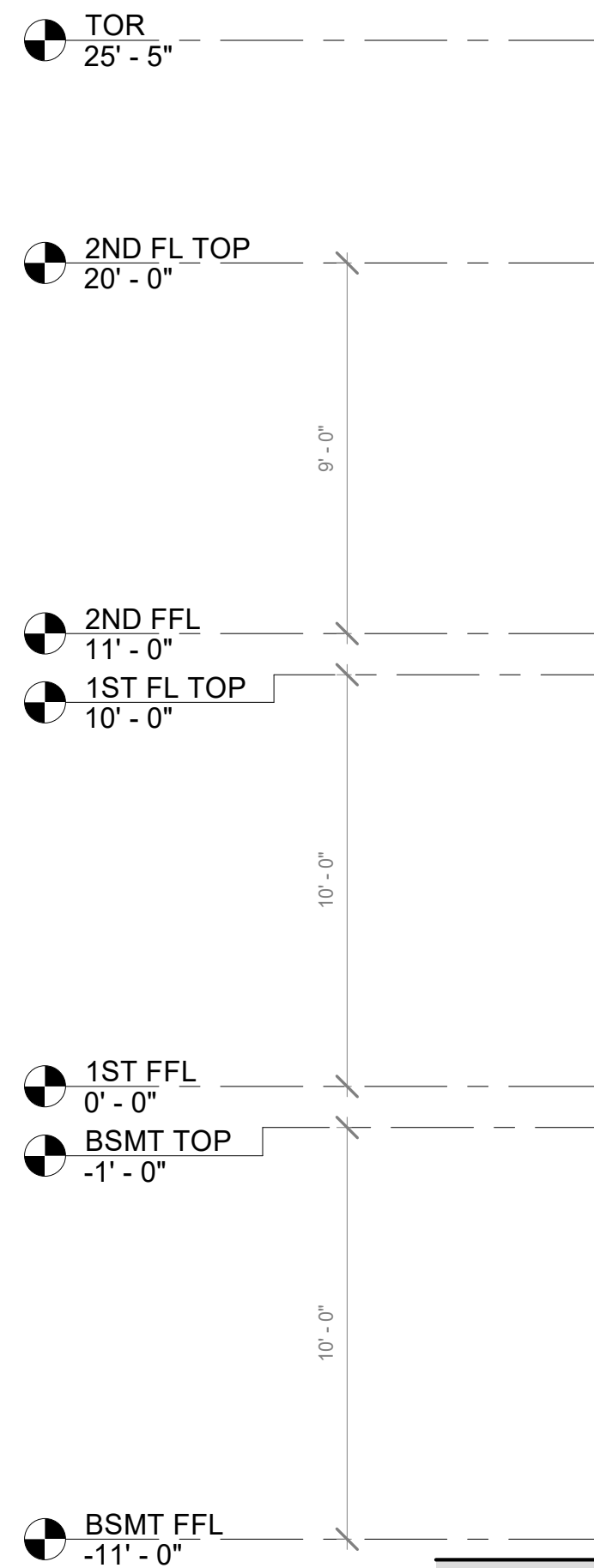


LORI ANNE LN HOUSE
APN: 612-13-018
SAN JOSE
Project No: _____
Designed: KL
Checked: NL
Date: 01/03/2024
CALIFORNIA

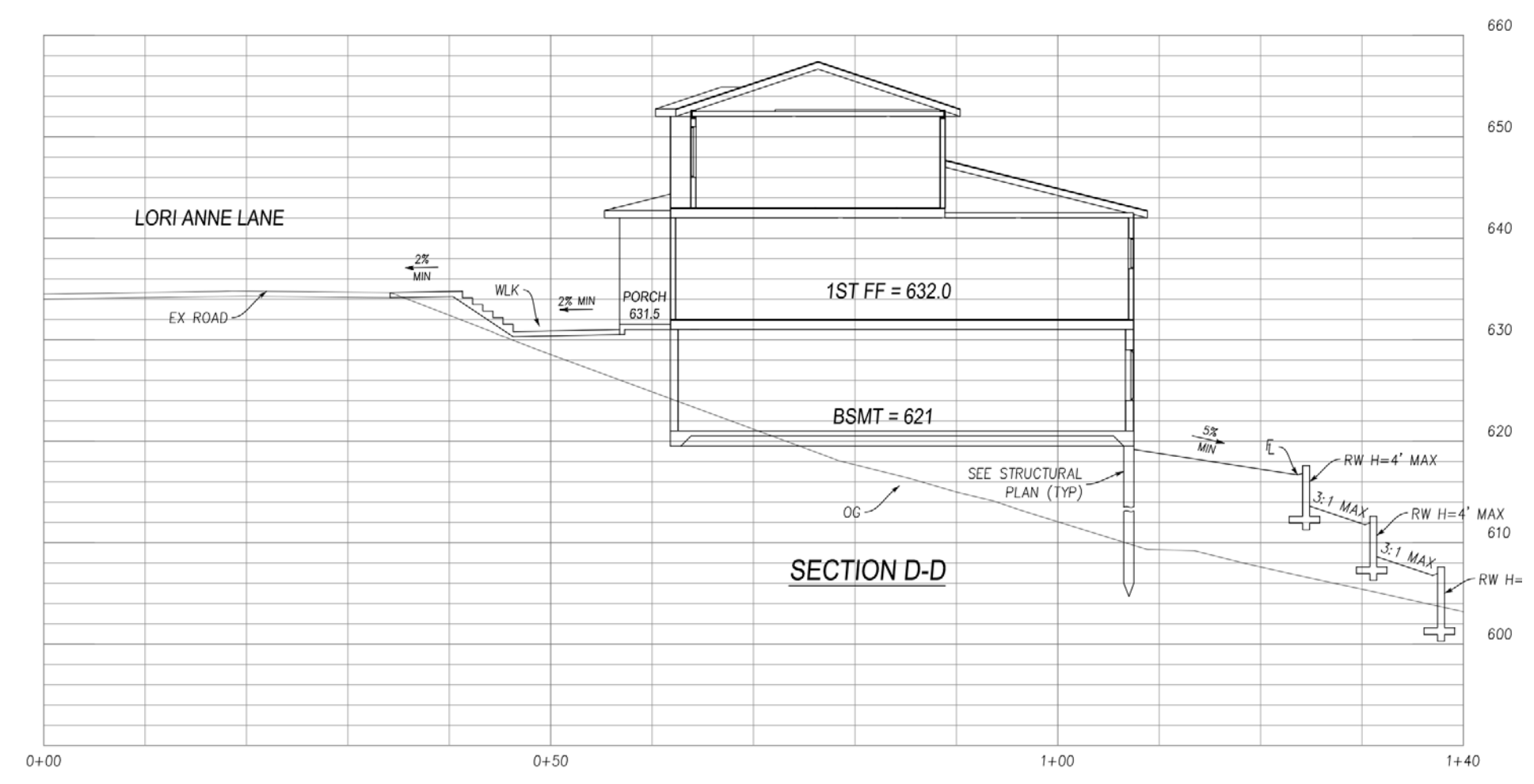
PROPOSED ELEVATIONS

A4-0

STAMP SPACE



1 SECTION A
1/4" = 1'-0"



HEIGHT CALCULATIONS:
 IN THIS SECTION, AT THE REAR FACE OF THE HOUSE MEETS THE PROPOSED GRADE AT AN ELEVATION OF 620.
 AT THE FRONT FACE, THE HIGH POINT, THE PROPOSED GRADE IS AT 630.
 AVERAGING THE TWO NUMBERS RESULTS IN THE PROJECTED SURFACE SITTING AT A HYPOTHETICAL ELEVATION OF 625. THE TOP OF RIDGE IS AT ELEVATION 658.
 $658 - 625 = 33$
 THE AVERAGE HEIGHT OF THE STRUCTURE IS 33', PER ZONING ORDINANCE (1.30.030).

2 HEIGHT CALCULATIONS

SECTION NOTES

- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION
- SEE STRUCTURAL DRAWINGS AND DETAILS FOR CONSTRUCTION INFORMATION
 - SEE STRUCTURAL DRAWINGS FOR (E) WALL TO (P) WALL CONNECTION DETAILS
- SEE ARCHITECTURAL DETAILS FOR ADDITIONAL INFORMATION

FIRE BLOCKING: PROVIDE FIREBLOCKING PER C.R.C. SECTION R301.11 AT THE FOLLOWING COMBUSTIBLE CONSTRUCTION LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS, OR STAGGERED STUDS PER C.R.C. SECTION R302.11 AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'.
 - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES THAT OCCUR, SUCH AS AT SOFFITS, DROP CEILINGS, AND COVE CEILINGS PER C.R.C. SECTION R302.11.
 - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN PER C.R.C. SECTION R302.11.
 - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILINGS AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
 - FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES SEE C.R.C. SECTION R1003.19.
 - FACTORY BUILT FIREPLACES SHALL BE FIREBLOCKED IN ACCORDANCE WITH UL 103 AND UL 127 PER C.C. SECTION 717.2.5.1.
 - FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
 - WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE PERMITTED TO BE COMBUSTIBLE CONSTRUCTION PER C.B.C. SECTION 1406, OR WHERE ERECTED WITH COMBUSTIBLE FRAMES AT MAXIMUM INTERVALS OF 20 FEET, SO THAT THERE WILL BE NO OPEN SPACE EXCEEDING 100 SQUARE FEET PER C.B.C. SECTION 717.26
 - WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE ON AN APPROVED WOOD OF NATURAL DECAY RESISTANCE OR PRESERVATIVE-TREATED WOOD. IF CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH 4-INCH MINIMUM SEPARATION BETWEEN SECTIONS PER C.B.C. SECTION 717.2.6.
- EXCEPTIONS: (PER C.B.C. 717.2.6)**
- ALUMINUM HAVING A MINIMUM THICKNESS OF 0.019 INCH
 - CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS NOT LESS THAN 0.016 INCH AT ANY POINT.
 - OTHER APPROVED NONCOMBUSTIBLE MATERIALS.

NO.	REVISIONS	DATE	BY

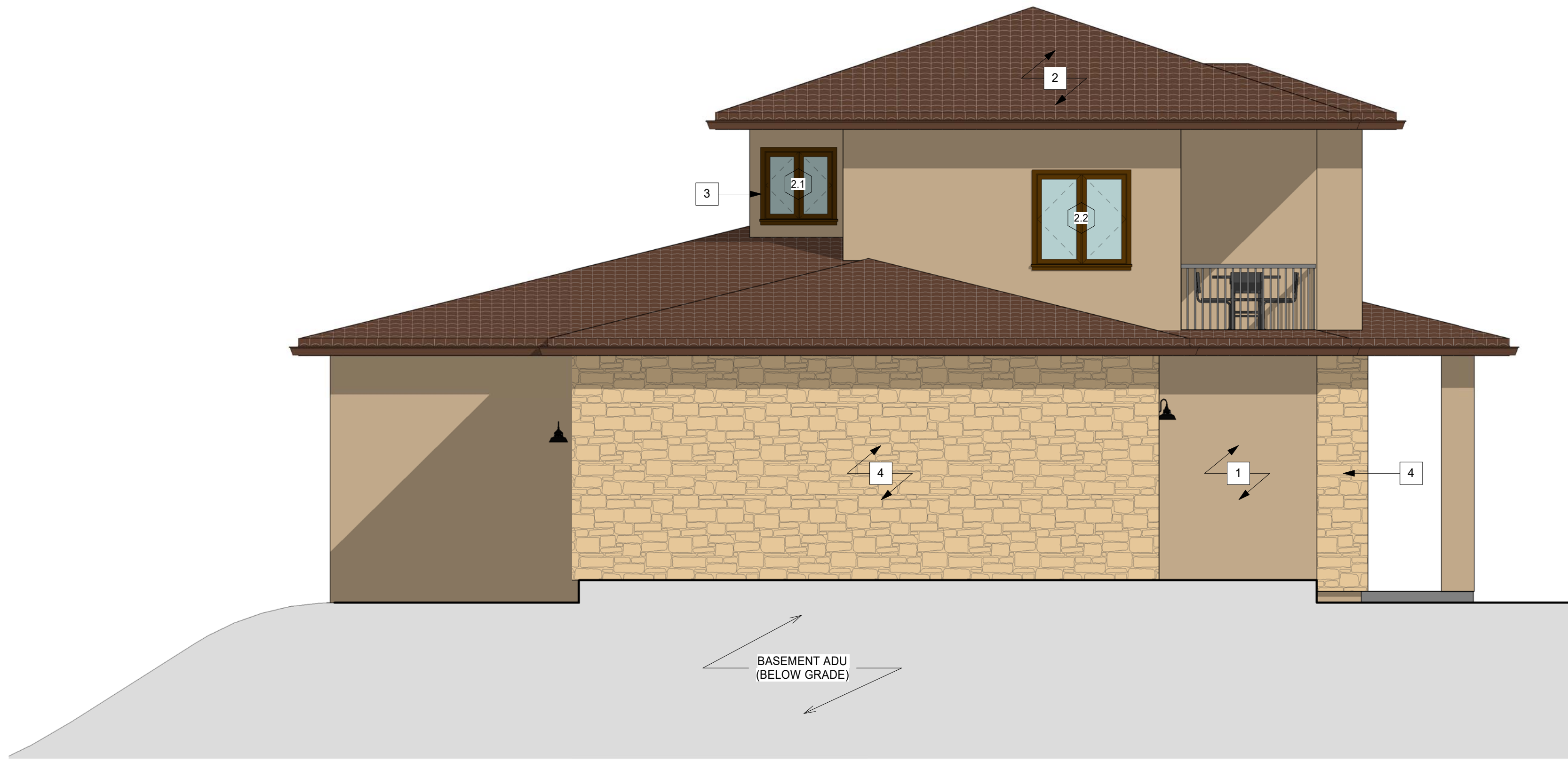
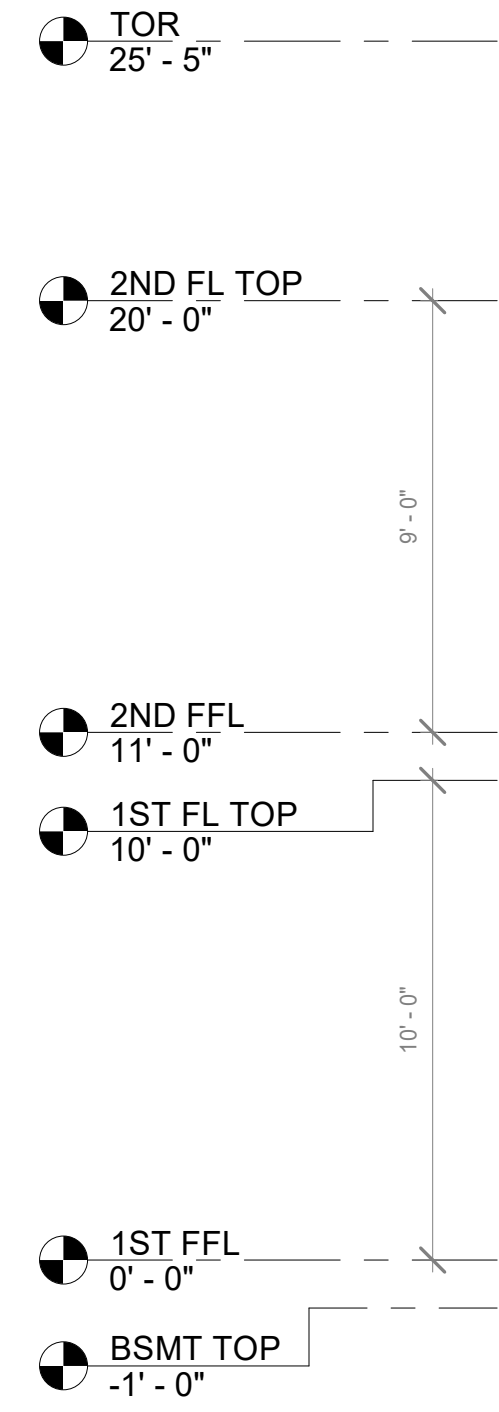
Mike Moinee
 15560 Lori Anne Ln, San Jose, CA, 95127

ENGINEERING
 598 E Santa Clara St, #270
 San Jose, CA 95112
 Phone: (408) 806-7167
 Fax: (408) 583-4006

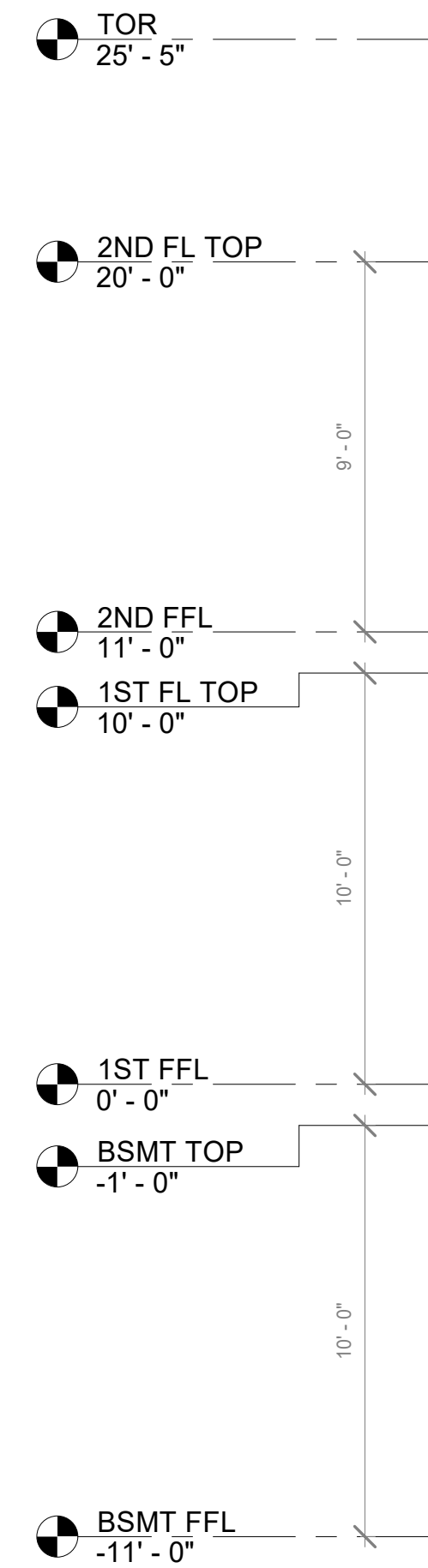
LORI ANNE LN HOUSE
 APN: 612-13-018
 Project No: SAN JOSE
 Designed: KL
 Checked: NL
 Date: 01/03/2024

PROPOSED SECTIONS
A5-0
 1/3/2024 2:08:13 PM

STAMP SPACE



① LEFT ELEVATION
1/4" = 1'-0"



② RIGHT ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

1. SEE NOTES ON SHEET A4-0

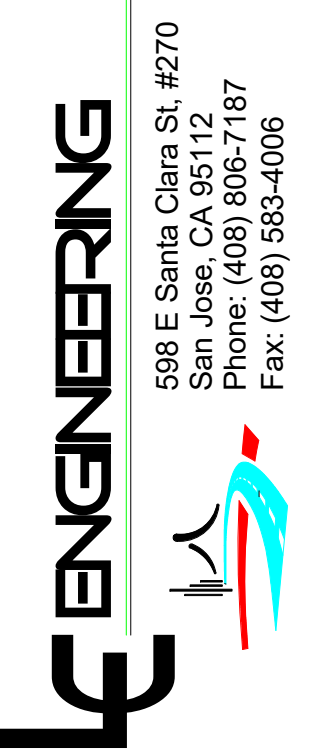
COLORS & MATERIALS

- 1. SHERWIN-WILLIAMS SUPERPAINT, CORK WEDGE SW 7539, LRV 42 OR SIM. W/ LRV <45.
- 2. CERTAINTEED ASPHALT ROOF SHINGLE, LANDMARK CLIMATEFLEX STYLE, BURNT SIENNA COLOR OR SIM.
- 3. MILGARD ULTRA C650, BARK COLOR OR SIM.
- 4. DELTA THIN STONE VENEER, MACQUINTAIN VALLEY STONE QUARRY BLEND OR SIM.

STAMP SPACE



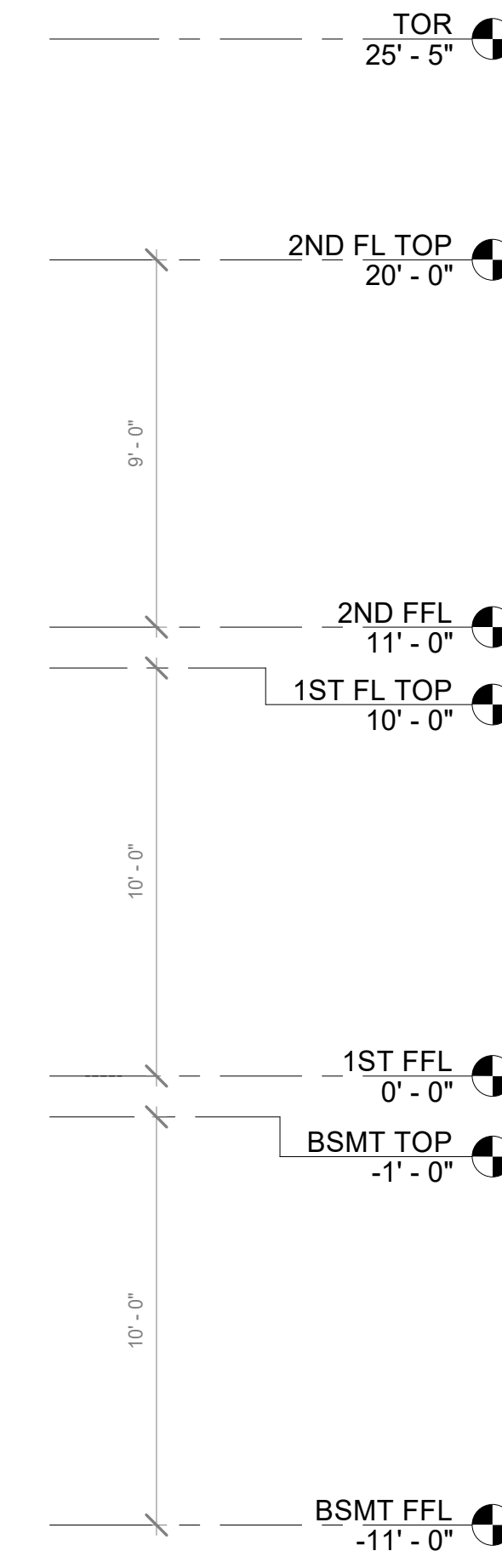
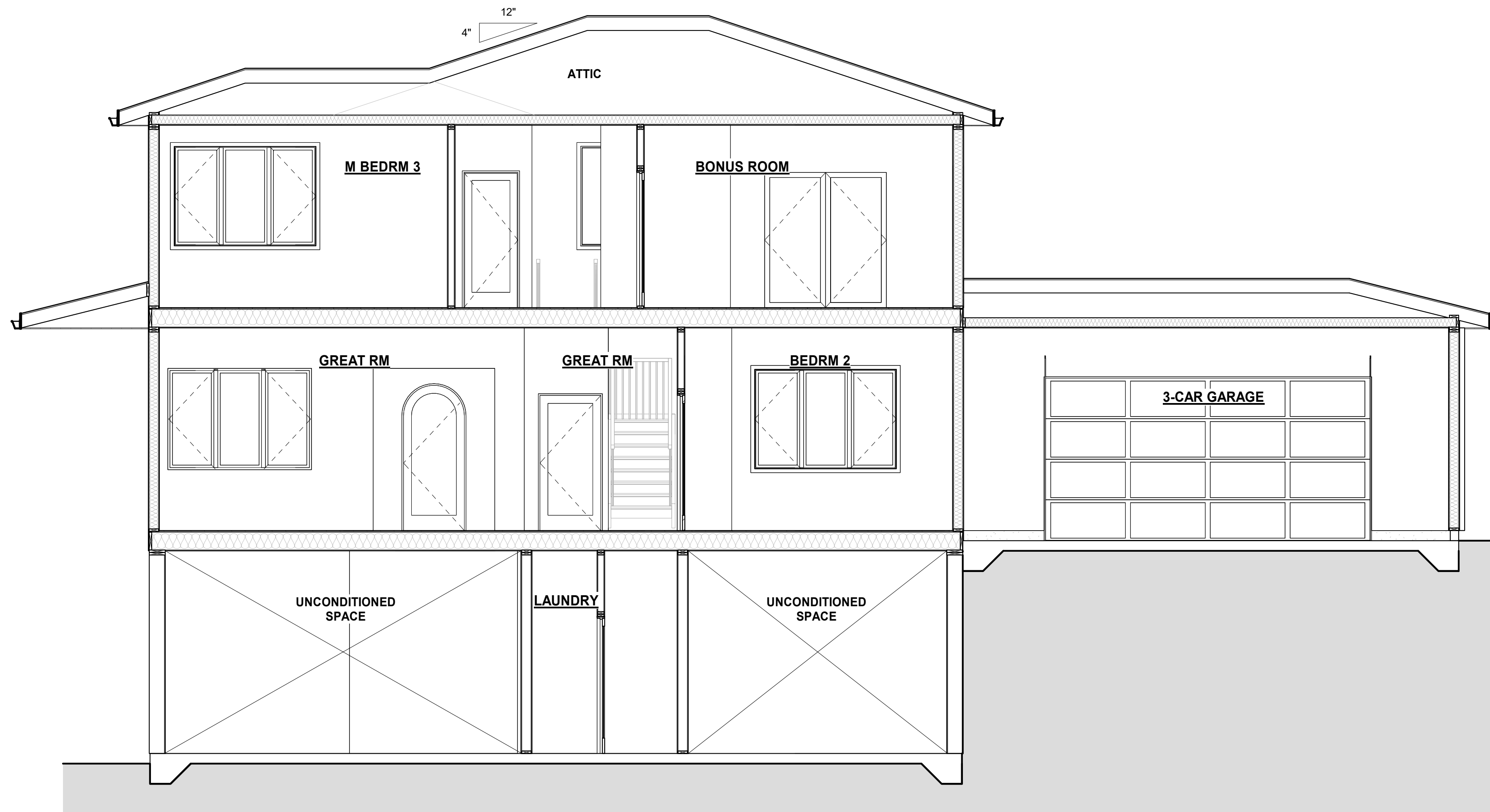
Mike Moinee
15560 Lori Anne Ln, San Jose, CA,
95127



LORI ANNE LN HOUSE
APN: 612-13-018
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PROPOSED ELEVATIONS

A4-1



1 SECTION B
1/4" = 1'-0"

SECTION NOTES

1. SEE NOTES ON SHEET A5-0.

NO.	DATE	BY	REVISIONS



Mike Moinee
15560 Lori Anne Ln, San Jose, CA,
95127



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CALIFORNIA

PROPOSED SECTIONS

A5-1

STAMP SPACE

Attachment E

Color and Materials Board

15560 Lori Anne Ln, San Jose, CA, 95127

Project Address
612-13-018

APN

Project File Number

Color/Materials Board*

Roof CertainTeed asphalt roof shingle, Landmark ClimateFlex style, Burnt Sienna (color.) approx. LRV 8.

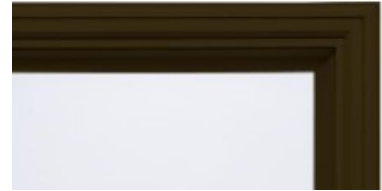
Manufacture & Material
Product Name, Number



Door & Window Frames, Railings

Milgard Ultra C650, Bark, approx. LRV 6.

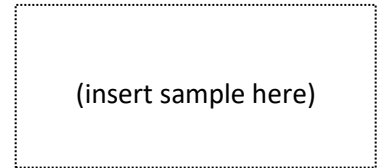
Manufacture / Number
Color Name, LRV



Trim

N/A

Manufacture / Number
Color Name, LRV



Exterior Walls

Sherwin-Williams SuperPaint, Cork Wedge SW 7539, LRV 42

Manufacture / Number
Color Name, LRV



Architectural Accents (Ex. Stone Veneer)

Delta - Thin Stone Veneer, Mountain Valley Stone Quarry Blend

Manufacture / Number approx. LRV 62.
Color Name, LRV



Retaining Walls

Stained Concrete or Alum Block Wall, approx. LRV 39.

Manufacture / Number
Color Name, LRV



*This information shall also be provided on the elevation drawings in the plans.

Attachment F

Site Photos



Eastern half of property, looking towards creek from cul-de-sac on Lori Anne Lane



Standing on Lori Anne Lane looking towards front property line



Standing near front property line looking towards rear property line and Miguelita Creek in the background



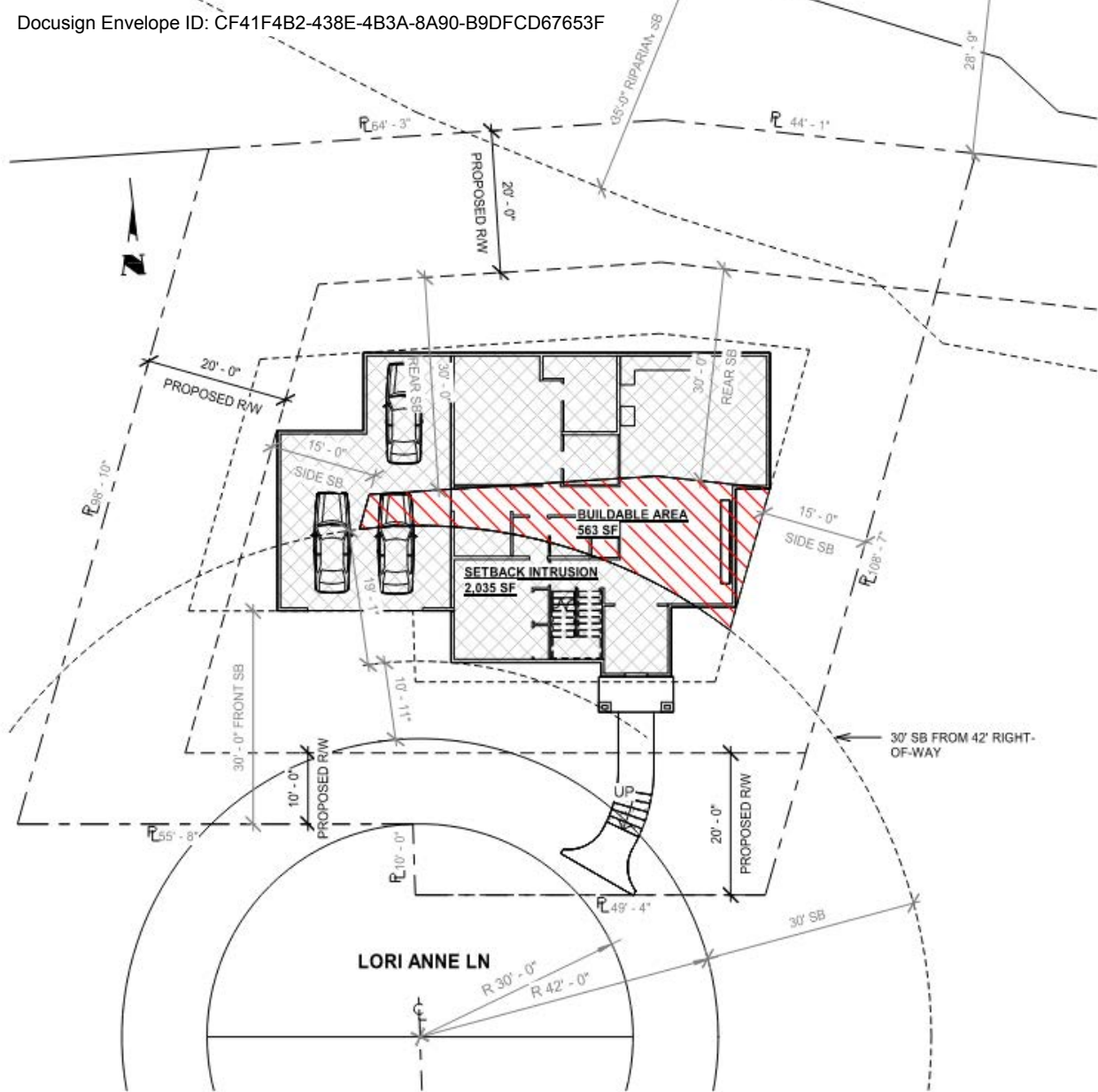
Standing on Miguelito Road behind property looking south towards Lori Anne Lane



Standing in cul-de-sac on Lori Anne Lane on the east portion of the property, looking west

Attachment G

Variance Exhibit



② SITE PLAN SETBACK EXHIBIT
1/16" = 1'-0"

Attachment H

Variance Request from Applicant

STATEMENT OF CIRCUMSTANCE

15560 Lori Anne Ln

FILE NO.	PLN22-136
LOCATION OF PROPERTY	15560 Lori Anne Ln, San Jose, CA, 95127
	APN: 612-113-018
ZONING DISTRICT	RR-d1, Rural Residential
GENERAL PLAN DESIGNATION	Open Hillside
PROPOSED USE	A Single-Family House.
OWNER/ADDRESS	Mike Moinee
ARCHITECT/ADDRESS	LC Engineering 598 E Santa Clara St, Ste 270 San Jose, CA, 95112

The following are relevant facts and findings regarding this project, as discovered by LC Engineering.

- 1. Project Description.** The subject lot is zoned RR-d1, and currently undeveloped. The proposed residence is a new 2,728 square foot, two-story single-family residence, with a 1198 square foot basement that will serve as an attached ADU. The new house is proposed to be sited on the parcel per site plan. Part of the house, as well as its entry steps over 30" in height, are fully within the front setback. Due to the increase in the radius of the cul-de-sac from 30' to 42' for the right-of-way width requirement, the total encroachment into the new 30' front setback is 789 square feet. Additionally, a retaining wall is proposed in the rear, within the proposed reservation right of way shown on map 154M20.

We are requesting a setback reduction for the proposed residence from 30 feet to 10 feet from the edge of road dedication in front, and from 15 feet to 0 feet on the west side setback from the edge of the recorded right of way, and from 30 feet to 10'1" from the edge of the right of way on the rear from the recorded right of way.

- 2. Site Description.** The subject site at 15560 Lori Anne Ln is located on the north side of the cul-de-sac at the end of Lori Anne Ln, off Mt Hamilton Rd. There are four other lots in this cul-de-sac, all of which are also zoned RR-d1 and are single-family residences. Please see sheet A1-0 in the Plans, drawing 2, Site Plan Setback Exhibit, for further information.
- 3. Unique Characteristics of Site.** The 30' difference in elevation from the front to the back of the lot makes moving the home into the rear setback unfeasible. It would lead to a steeper driveway and taller retaining walls. In addition to the grading difficulty, we must comply with the riparian setback from Miguelita Creek. We have kept the proposed home and retaining wall within the setback and easement constraints as much as possible, but these factors, in addition to the required 42' right-of-way for the cul-de-sac, greatly reduce the buildable footprint relative to other lots in the RR designation.
- 4. Neighboring Properties and Zoning Compliance.** The lot at 15560 Lori Anne Ln is below the typical minimum size of lot for the Rural Residential zoning. It is the smallest lot in its cul-de-sac at 11,761

square feet.

For the above reasons, it may be appropriate to grant a variance for this project.