

# County of Santa Clara

Department of Planning and Development  
Planning Office

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**\*\*Via Email Only\*\***

September 13, 2022

Yogesh Chitlangia  
Via email at [yogesh@adiarch.com](mailto:yogesh@adiarch.com)

**FILE NUMBER:** PLN22-137  
**SUBJECT:** Building Site Approval and Design Review Tier III  
**SITE LOCATION:** 15581 Glen Una Drive, Los Gatos, CA 95030-2908 (APN: 510-26-007)  
**DATE RECEIVED:** August 2, 2022

Dear Yogesh Chitlangia,

Staff has reviewed the application, submitted on August 2, and would like to provide staff's assessment of the proposed design with respect to the County Zoning Ordinance and Design Review Guidelines.

The information in this section are not incomplete items and are not required to deem the application complete for processing. The information in this section is informational only and can be discussed further if desired with the County Staff.

### *Scope of the Project*

1. The proposed floor plan identifies one family room, one living rooms, one great room, eight bedrooms, and ten bathrooms. Please update the scope of the work on Sheet A0-0 and clarify whether the proposed development is a single-family residence that accommodates multi-generation family members, a caretaker's residence, a communal living unit, or a rooming house. Definition of these terms per the County Zoning Ordinance 1.30.030 are listed as follows:
  - *Caretaker's residence: Dwelling units incidental and subordinate to a significant nonresidential use established by issuance of a use permit. Such units must be necessary for the practical operation of the primary use, and the occupancy of such units shall be limited to owners or employees of the primary use and their families.*
  - *Communal living: A facility containing rooms or apartments (or both) but having communal dining facilities and lounges, and communal services, such as housekeeping, organized social and recreational activities, and support services appropriate for the residents.*

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- *Rooming house: Includes fraternity and sorority housing for students, boarding houses, and similar group residential uses. Also includes single-room occupancy residential facilities where secure rooms are individually rented to a one- or two-person household.*

*Elevation*

2. The submitted colored elevations do not provide enough information for the staff to review the elevations of the project. Please provide uncolored elevation drawings and update your drawings with following information.
3. The information on the submitted elevation drawings is not consistent with the information on Site Section (Sheet C-4.0). Please revise your drawings and provide a consistent information.
4. Revise the elevation drawings of the main house and ADU (Sheet A3.0, A4, and A5.0) to indicate the **final grade level** and correct where the building height is being measured from. Per Section 1.30 of the Zoning Ordinance, building height is measured as the vertical distance from the final grade to the top of a building or structure. The elevation drawings appear to measure the building height from the finished floor level.

*Note: The elevation measurement shall be indicated by a vertical line showing the top point and the bottom point of the measurement.*

5. Update the spot point elevation on Sheet A3.0, A4, and A5.0 to represent the actual elevation according to the submitted Topographic Map. Please make sure that the scaling and point of measurements are correctly represented.
6. Identify the final elevation of the decorative object shaped like a vase on the top of the roof of main entrance.

*Design Review*

7. Pursuant to Zoning Ordinance Section 3.20.040 (F), all projects subject to design review shall comply with applicable provisions of the adopted Design Review Guidelines document.

**Building Form**

- a) Bulk of the building should be broken up by incorporating varied roof heights rather than having just one or two massive roof planes.
- b) The second and the third stories should be set back from the first-floor facade to step with the land and reduce apparent bulk.
- c) Additions to buildings should not result in a major increase to the apparent bulk of the building.

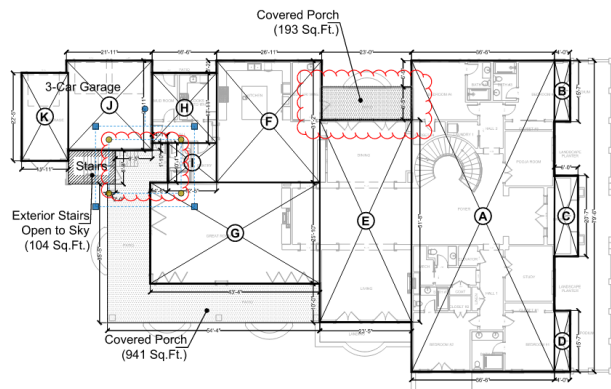
Staff has concerns about the building form, which might not meet the above-mentioned design criteria of the adopted Design Review Guidelines. Please provide a separate sheet for

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roof plan to help the staff make the findings for the Design Review Building Form criteria (a). The submitted demarcation of the Roof Plan over the Upper Floor Plan (Sheet A2.0) is not clear enough for the presentation at the Planning Commission to justify the first Criteria for the building form. Provided elevations that are not colored to better indicate the architectural forms.

Please revise the architectural design per criteria (b) and (c) to be consistent with the required design criteria of the adopted Design Review Guidelines document per the Zoning Ordinance Section 3.20.040 (F).

8. Provide the final elevation of the proposed chimney and reduce the height of the proposed chimney to the level that is required by the California Residential Code. Per California Residential Code CRC-RR1003.9 Termination of Masonry Chimney, Chimneys shall extend not less than 2 feet (610 mm) higher than any portion of a building within 10 feet (3048 mm) but shall be not less than 3 feet (914 mm) above the highest point where the chimney passes through the roof.
9. Please update the floor area calculation to include the area of the covered porch (193 sq.ft.) and the portion of the patio that is adjacent to Garage and restroom (shown in the bellow picture). Per County of Santa Clara Zoning Ordinance section §1.30.030, “floor area” includes “the total area of any attached garage, and any carport, porch or similar attached structure or feature that is both: (a) covered, and (b) greater than 50% enclosed by perimeter walls.”



*Fences*

10. The height of the proposed fences and gate located on 1) the front line, 2) the 40-foot sight clearance triangle on the Northeastern corner of the property, and 3) the 20-foot sight clearance triangle for the Northern driveways exceed the allowed 3-foot height determined by County Zoning Ordinance Section 4.20.050 (A). Pursuant to this section, fences in RHS district are subject to all the following regulations.
  - a. Fences or hedges shall not exceed three (3) feet in height within any portion of a lot within 20 feet of the front lot line (or edge of front right-of-way).
  - b. Fences shall not exceed eight (8) feet in height within any other portion of a lot. This limitation shall not apply to hedges.

- c. On corner lots, fences or hedges along the exterior side lot line (or edge of side right-of way) may be as tall as eight (8) feet, except that a three-foot height limitation shall apply within the following areas: (a) within the 40-foot sight clearance triangle defined by Section B17-69 of the County Ordinance Code, which relates to vehicular sight clearance on intersecting streets, and (b) within a 20-foot sight clearance triangle where the rear of a corner lot abuts the front and side yards of a key lot.

Additionally, no details (elevations) were provided for the fences, gates, and pillars. Staff cannot determine if these structures are meeting the requirements noted above or if they are consistent with the Design Review Guidelines. Pursuant to the Santa Clara County Design Review Guideline (see enclosed document) Open fencing such as welded wire mesh attached to wood posts or other alternate material should be used. Solid fencing should be avoided, especially where highly visible to the public. Note that according to the County GIS system, the existing residence and proposed addition are in high and medium-high visibility zone. Please provide details for these structures that indicate their design, materials, and total height.

#### *Landscape Plan*

11. According to the County GIS system, the existing residence and proposed addition are in high and medium-high visibility zone. Please provide a landscape plan with trees and shrubbery vegetation to screen the proposed residence from the valley floor (the Eastern facade). The landscape plan shall include the required replacement trees.

#### *Landscape Permit*

12. Project proposes 11,026 square feet of landscape area. Per the County's Sustainable Landscape Ordinance (October 2017), if a project is proposing more than 500 square feet of landscaping, a Landscaping Permit will be required prior to issuance of a building permit. Please note a Landscape Permit will be triggered if the result of the total disturbed area minus the impervious area exceeds 500 square feet.

#### *Story Pole*

13. As the project is a Tier III Design Review, story poles are required to be erected on the property seven (7) days prior to any scheduled hearing per Zoning Ordinance Section 3.20.040(A)(2)(c). **Staff recommends that story poles be constructed a minimum of three (3) weeks before the hearing date in case revisions are required.**

#### *Tree Protection and Replacement*

14. As the subject parcel is in -d1 Zoning District, replacement trees are required. The ratios are listed below per the *County Tree Protection Guidelines*.

For the removal of one small tree (5- 18 inches):

(3) 15-gallon trees, or (2) 24-inch box trees.

For the removal of one medium tree (18 – 24 inches):

(4) 15-gallon trees or (3) 24-inch box trees.

For the removal of a tree larger than 24 inches:

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(5) 15-gallon trees or (4) 24-inch box trees.

For questions regarding this letter, please call me at (408) 299-5783 or schedule an appointment.

Sincerely,



Parya Seif  
Associate Planner

cc:

Samuel Gutierrez, Principal Planner