

NEW RESIDENCE

15581 GLEN UNA DRIVE, LOS GATOS, CA 95030

APN# 510-26-007

PROJECT INFORMATION

OWNER: KALYANI & MURTHY VUPPALA
OWNER'S ADDRESS: 15581 GLEN UNA DRIVE, LOS GATOS, CA 95030
APN: 510-26-007
ZONING: RHS-D1
 PROJECT SITE LOCATED WITHIN **SRA & WUI**- Very High
OCCUPANCY GROUP: R-3 / U
BUILDING TYPE: TYPE V-B
NO OF STORIES (EXISTING): 2
NO OF STORIES (PROPOSED): 2
CURRENT USE: SINGLE FAMILY DWELLING
PROPOSED USE: SINGLE FAMILY DWELLING + ADU
LOT AREA: 33,120 Sq.Ft., +/- (GROSS)
 30,890 Sq.Ft., +/- (NET)
MAX. BUILDING HEIGHT: - (ALLOWED 35' MAX.)

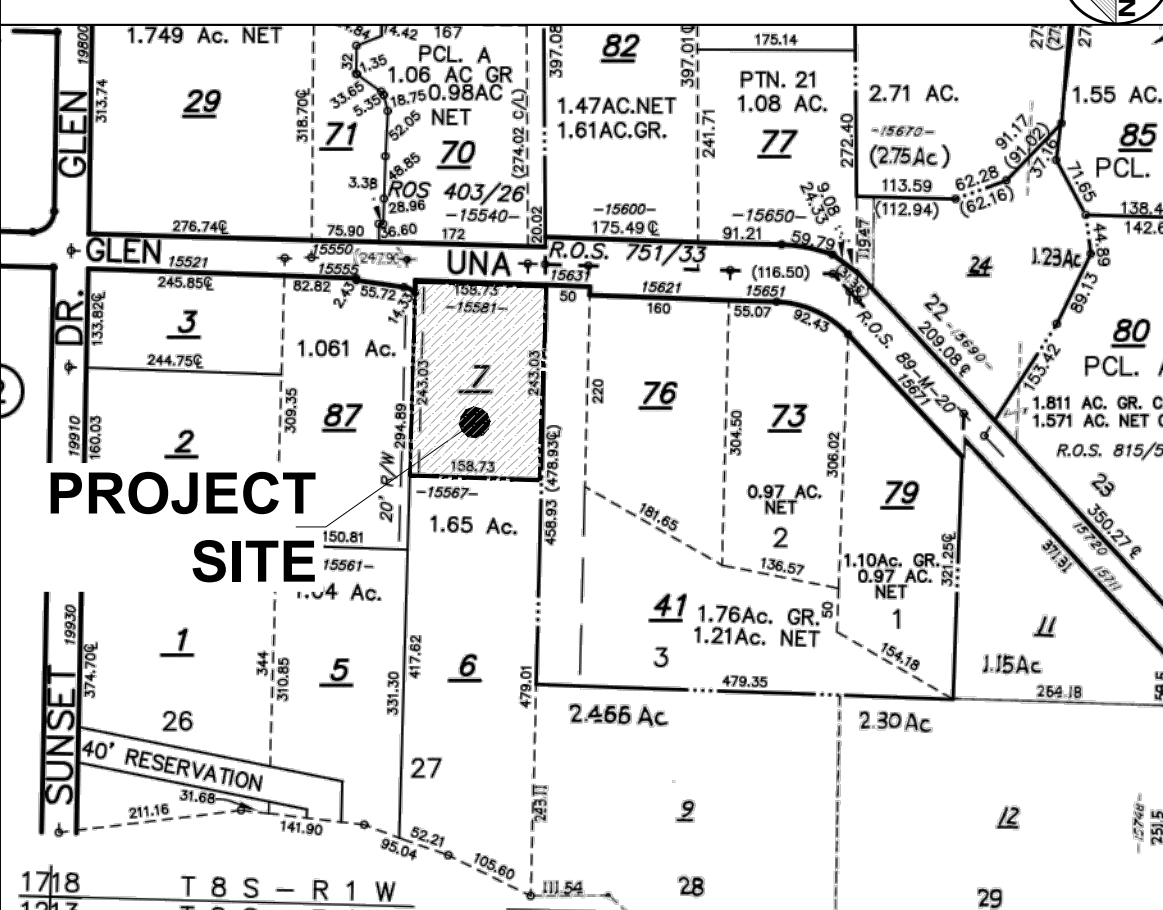
GOVERNING CODES/ JURISDICTION:

SANTA CLARA COUNTY, CA
 2019 California Building Code
 2019 California Residential Code
 2019 California Plumbing Code
 2019 California Mechanical Code
 2019 California Electrical Code
 2019 California Fire Code
 2019 California Energy Code
 2019 CalGreen Code

ALONG WITH ANY OTHER APPLICABLE LOCAL COUNTY AND STATE LAWS AND REGULATIONS

SETBACKS	PROPOSED	REQUIRED	MAIN HOUSE
FRONT	30 Ft.	47'-0"	
SIDE	20 Ft.	38'-0" (Left); 30'-1" (Right)	
REAR	25 Ft.	34'-0"	

PARCEL MAP



VICINITY MAP



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BUILDING AREA SUMMARY

See Sheet A2.2 for Floor Area Calculations

FAR SUMMARY INFORMATION	
Gross Lot Area	33120 Sq.Ft.
Net Lot Area	30890 Sq.Ft.
Floor Area Calculations (See Sheet A2.3 for Area Calcs)	
Primary Single Family Residence (SFR)	
1st Floor	6740 Sq.Ft.
2nd Floor	5684 Sq.Ft.
Attached Garage	760 Sq.Ft.
Covered Porches	1134 Sq.Ft.
GRAND TOTAL (Gross Floor Area)	14318 Sq.Ft.
F.A.R. (Gross Floor Area/ Net Lot Area)	0.46
ADU (Accessory Dwelling Unit): Excluded from FAR Calc	
Gross Floor Area	1103 Sq.Ft.

PROPOSED LOT COVERAGE = 9702 Sq.Ft. (29.29%)
 (NEW MAIN RESIDENCE + NEW ADU)

GRADING CALCULATIONS
 REFER GRADING PLAN SHEET C1.0

IMPERVIOUS AREA CALCULATIONS
 REFER SHEET HYD-1

PROJECT DIRECTORY

OWNER: KALYANI & MURTHY VUPPALA
 15581 Glen Una Drive,
 Los Gatos, CA 95030
 Tel: 408-544-0566
 MURTHYV@GMAIL.COM

DESIGNER: ARTS DESIGNER INC
 P.O. BOX 3426
 Los Altos, CA 94024
 Tel: 650-948-8492
 ARTDESIGNER@COMCAST.NET

CIVIL ENGINEER: Lea & Braze Engineering, Inc
 Civil Engineers | Land Surveyors
 HAYWARD - ROSEVILLE - DUBLIN - SAN JOSE
 WWW.LEABRAZE.COM
 Phone: 510-887-4086 x.117

LANDSCAPE ARCHITECT: KAREN AITKEN
 Karen Aitken & Associates
 8262 Rancho Real, Gilroy, CA 95020
 Tel: 408-842-0245
 KAREN@KAA.DESIGN

ARCHITECT: YOGESH CHITLANGIA
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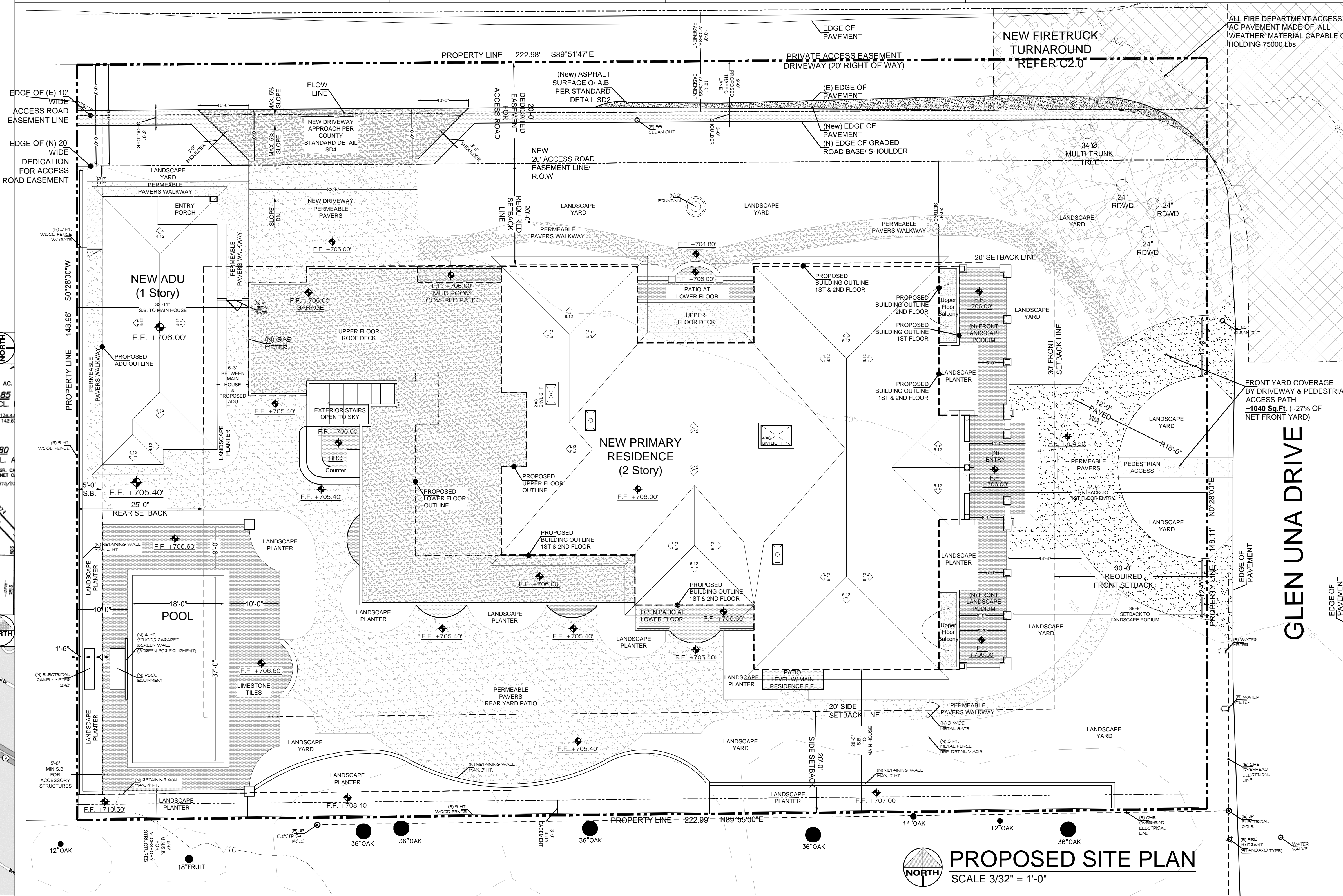


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 Architect/ Designer

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 Los Altos, CA 94024
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PROPOSED SITE PLAN
 SCALE 3/32" = 1'-0"

NEW RESIDENCE

15581 GLEN UNA DRIVE,
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 APN# 510-026-007

Date	Issued For
10.27.22	PLANNING
12.03.22	PLANNING (Rev 1)
03.14.23	PLANNING (Rev 4)



TITLE: COVER SHEET, INDEX OF SHEETS, PROJECT INFO., SITE PLAN

PROJECT NO: 2021-04-13

DRAWING NO:

A 0.0

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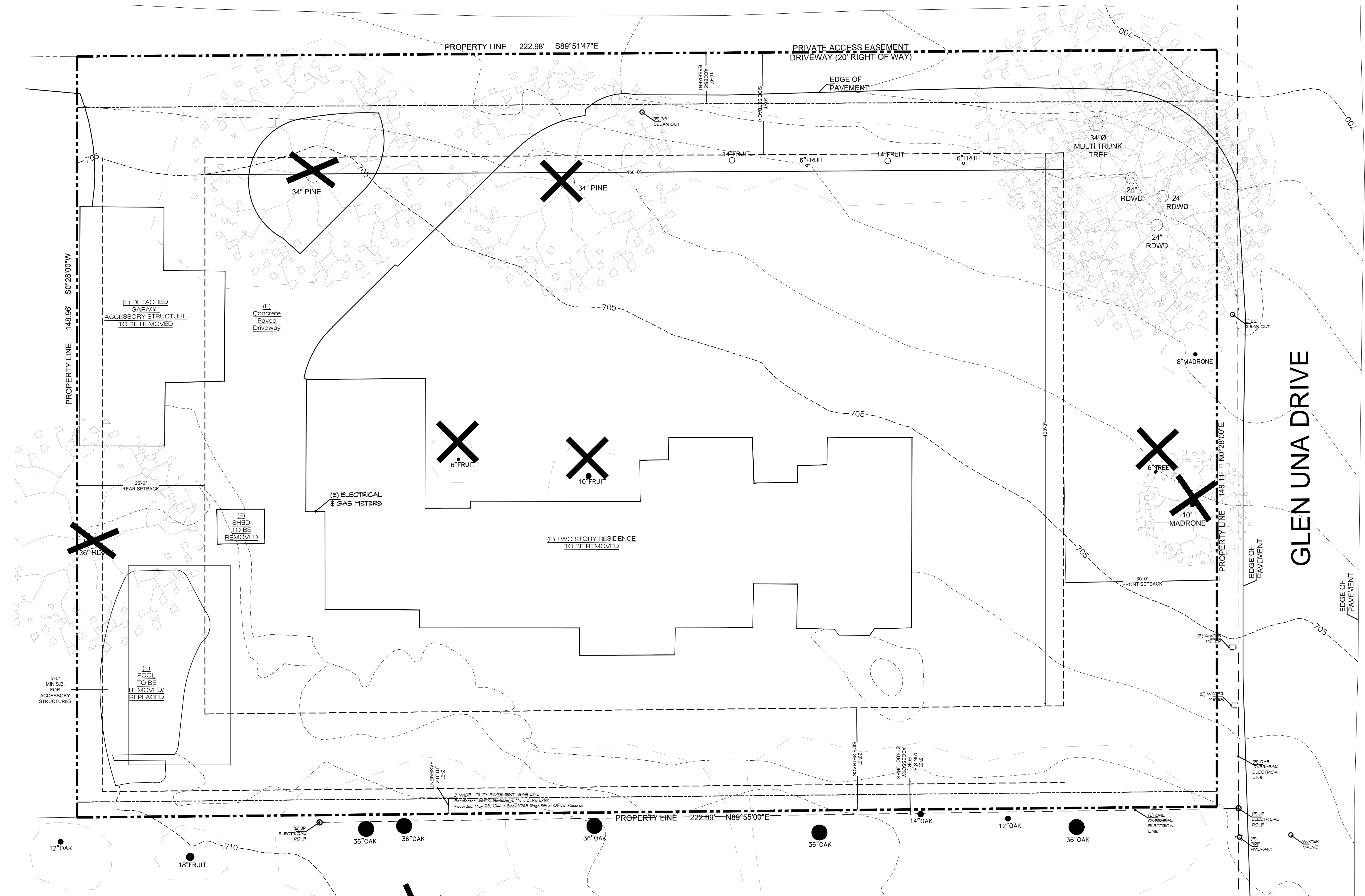


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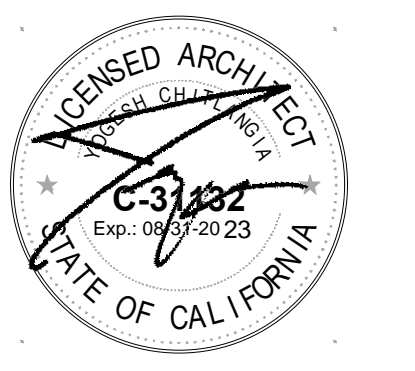
EXISTING SITE PLAN
SCALE 3/32" = 1'-0"

X EXISTING TREE TO BE REMOVED

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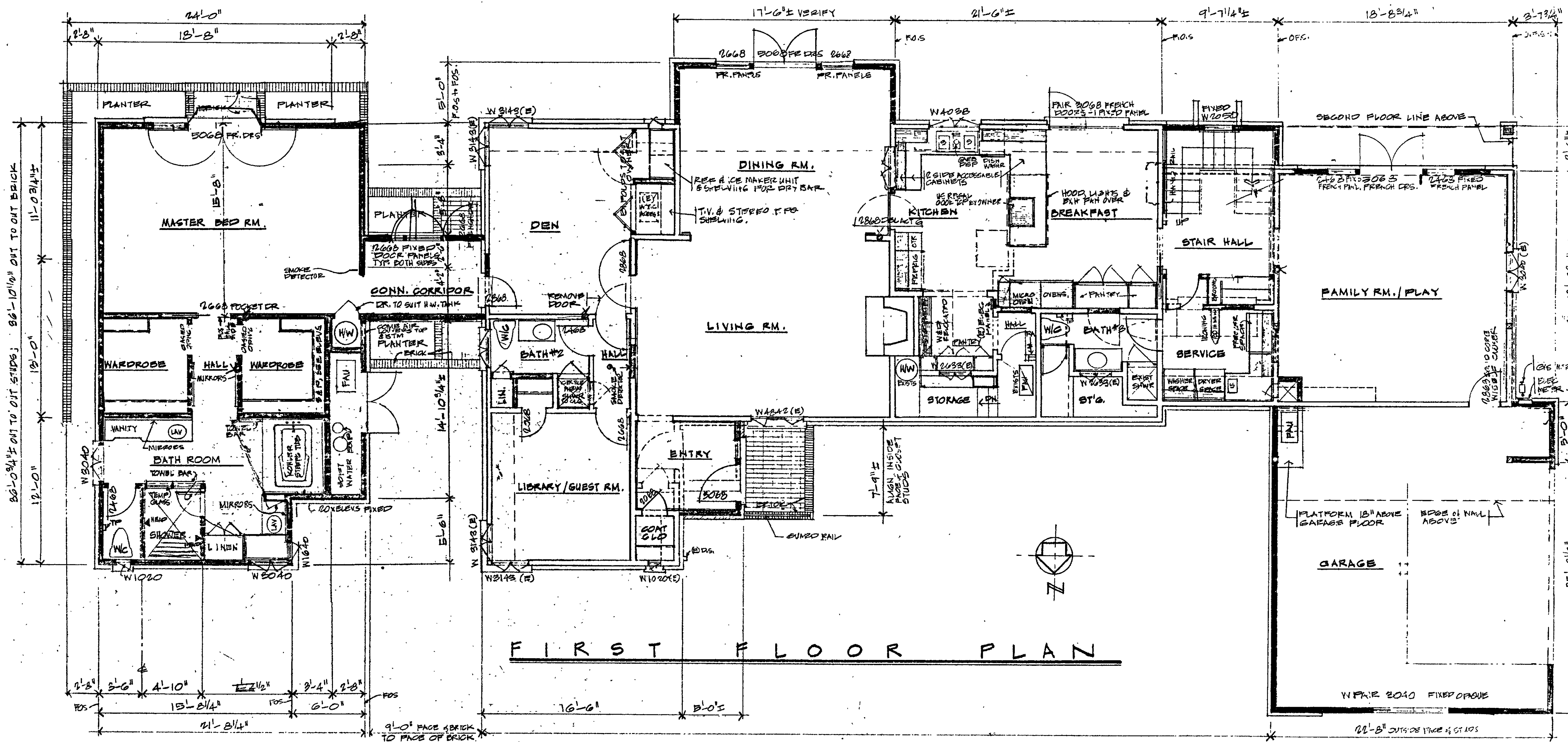
TITLE:
EXISTING SITE PLAN

PROJECT NO:
2021-04-13

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NOTE:
 THE PLANS ARE FROM ORIGINAL PERMIT
 RECORDS AND INCLUDED FOR REFERENCE
 ONLY

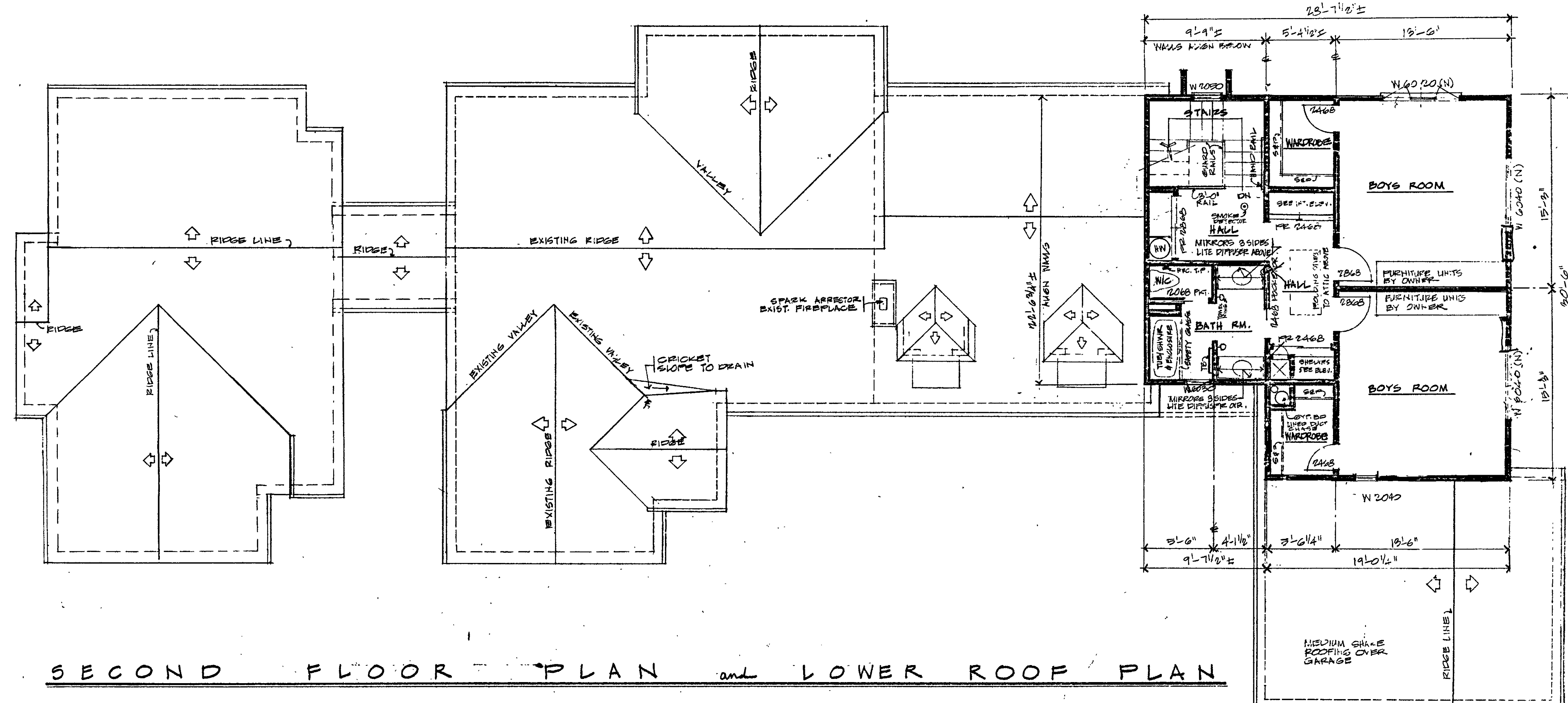


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ALL EXISTING STRUCTURE TO BE REMOVED
1st FLR PLAN (EXISTING)
 SCALE 3/16" = 1'-0"

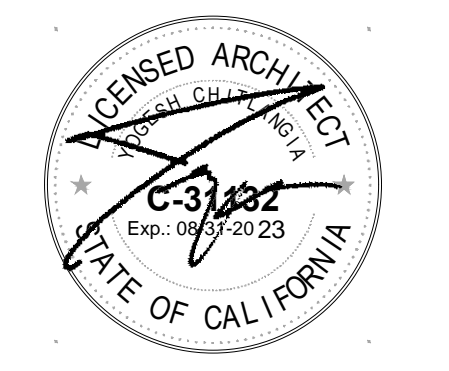


ALL EXISTING STRUCTURE TO BE REMOVED
2nd FLR PLAN (EXISTING)
 SCALE 3/16" = 1'-0"

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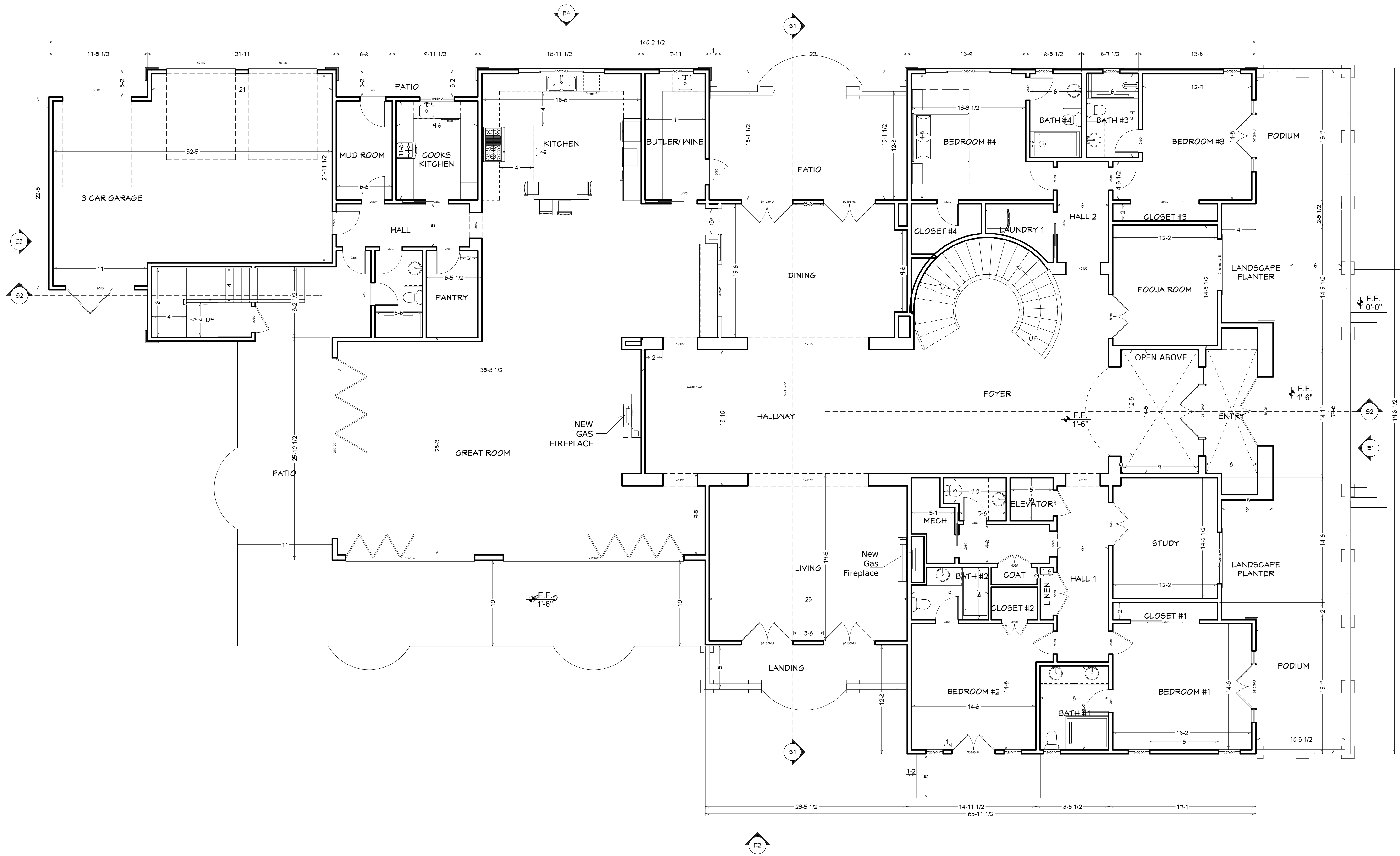


TITLE:
 EXISTING FLOOR PLAN;
 DEMOLITION PLAN

PROJECT NO:
 2021-04-13
 DRAWING NO:

A 1.1

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1st FLOOR PLAN
Scale 3/16" = 1'-0"

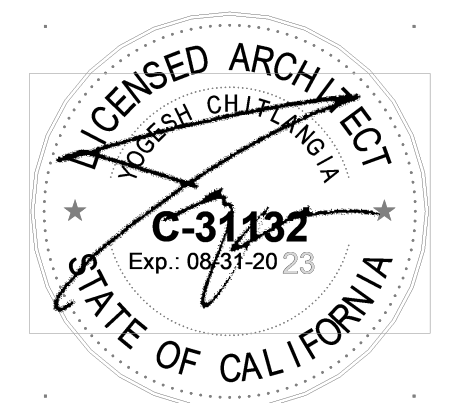


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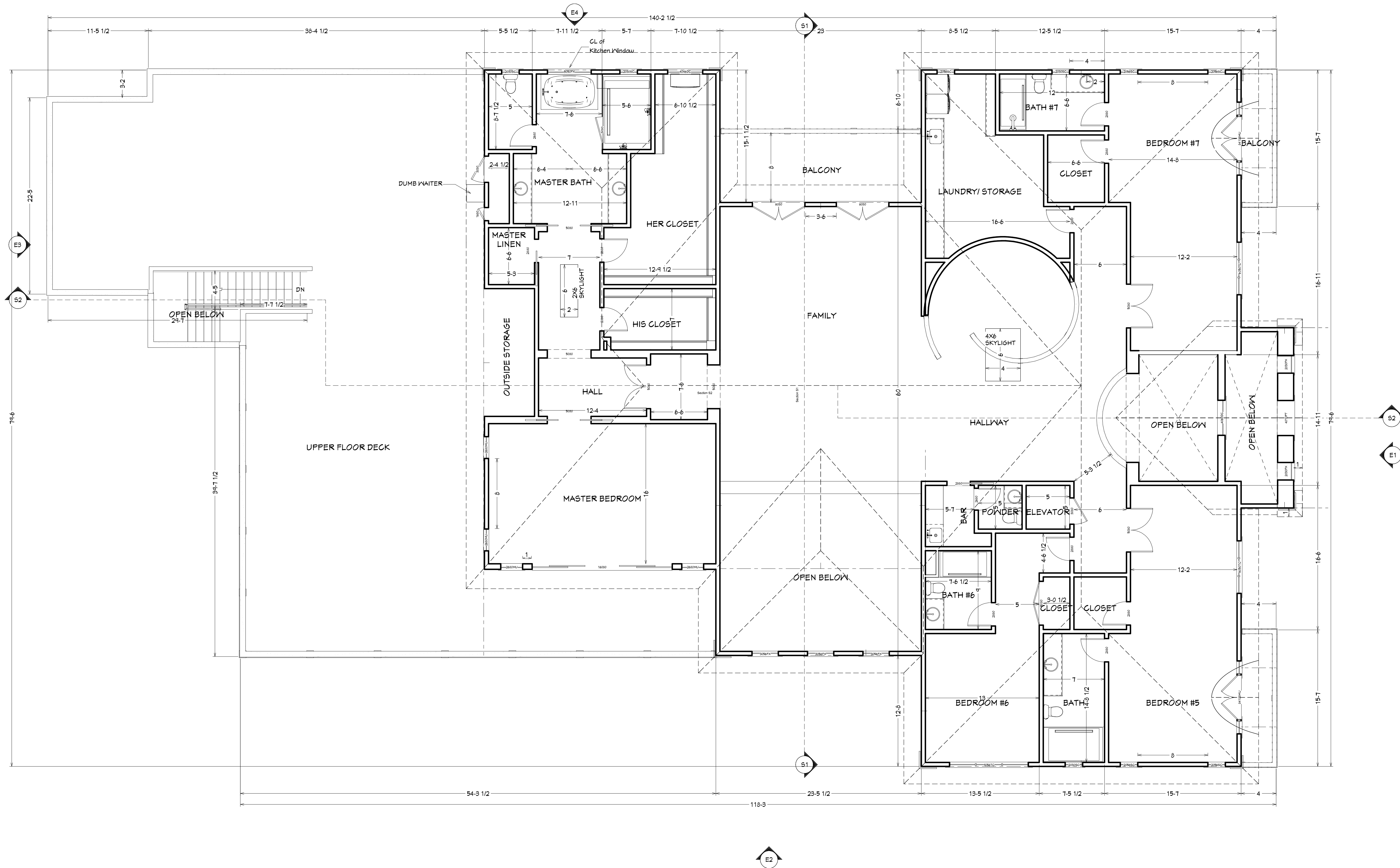
TITLE:
MAIN RESIDENCE
PROPOSED LOWER
FLOOR PLAN

PROJECT NO:
2021-04-13

DRAWING NO:

A 2.0

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UPPER FLOOR PLAN
Scale 3/16"=1'-0"

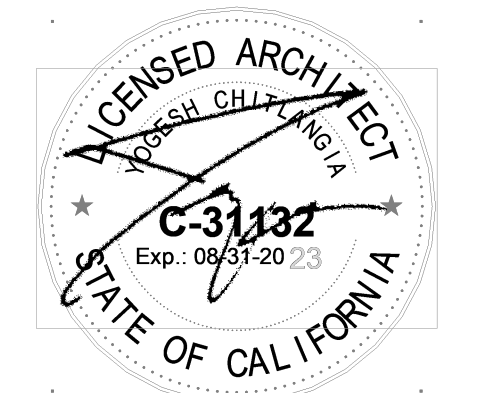


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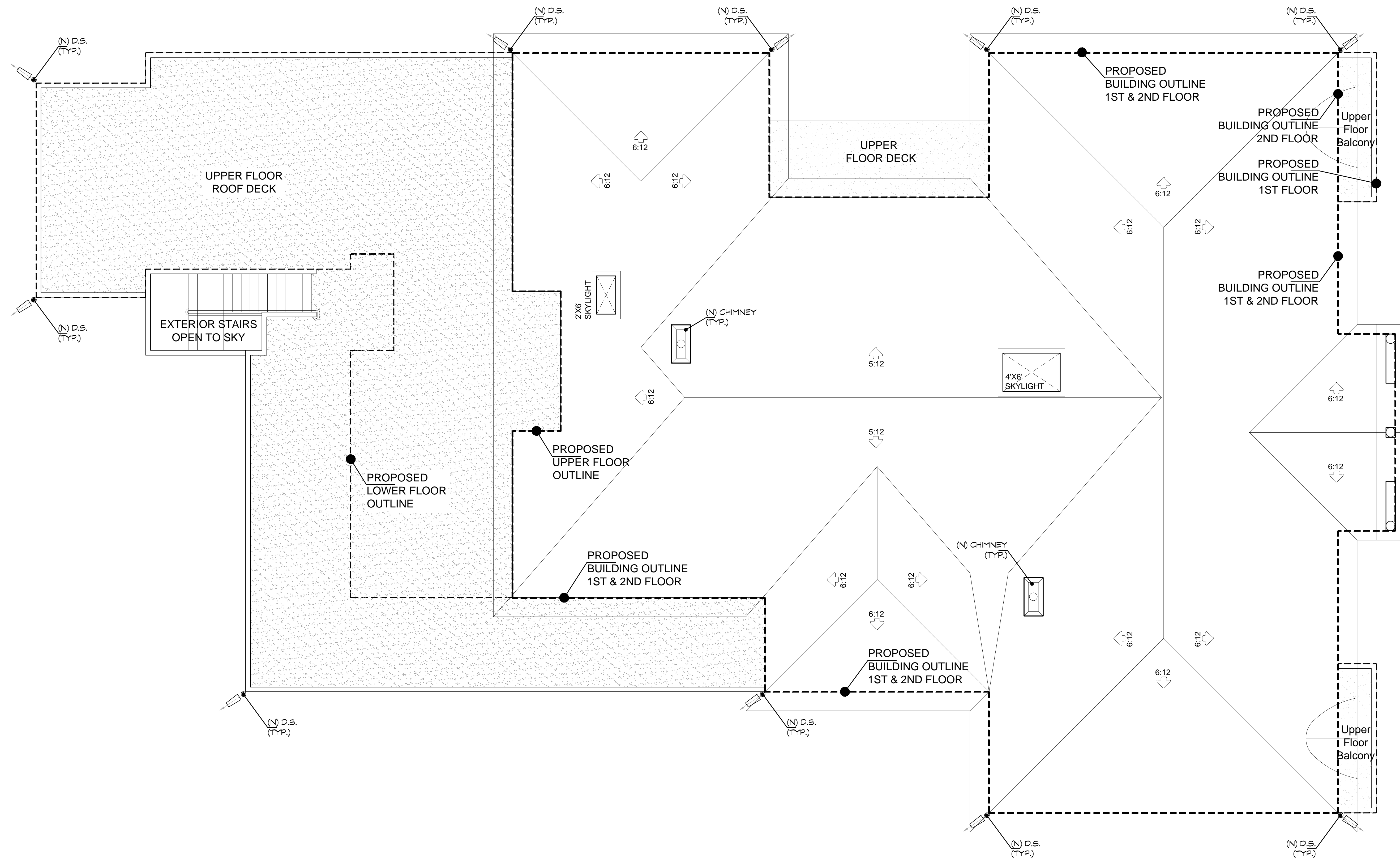


TITLE:
MAIN RESIDENCE
PROPOSED UPPER
FLOOR PLAN

PROJECT NO:
2021-04-13

DRAWING NO:
A 2.1

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PROPOSED ROOF PLAN- MAIN RESIDENCE
 SCALE 3/16" = 1'-0"



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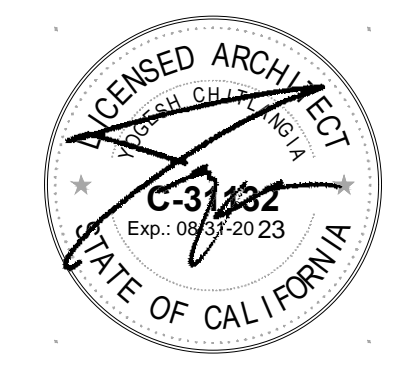
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TITLE:
 ROOF PLAN- MAIN RESIDENCE

PROJECT NO:
 2021-04-13

DRAWING NO:

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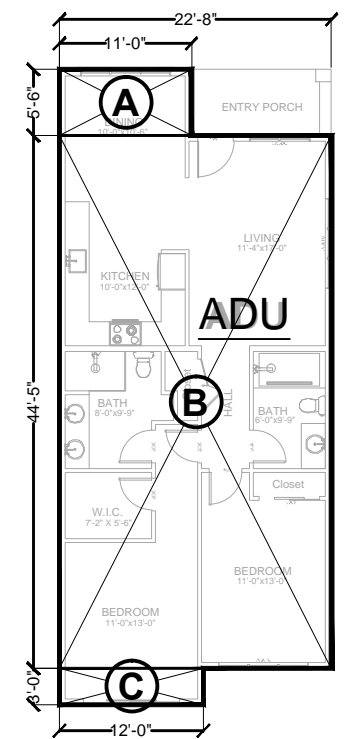
CAL FIRE NOTES:
 PROJECT is located within the State Responsibility Area (SRA) and is recommended to follow all minimum wildfire protection standards of California Code of Regulations Title 14 Natural Resources Division 1.5 Department of Forestry Chapter 7-Fire Protection Subchapter 2 SRA Fire Safe Regulations Articles 1-5.

Sections of Glen Una Drive do not meet specifications in § 1273.01 in the Fire Safe Regulations. Those sections of Glen Una Drive will need to conform to § 1273.01 to Building site and provide a minimum of two ten (10) foot traffic lanes, not including shoulder and striping.

Defensible Space: Maintain defensible space specifications described in Public Resource Code 4291.

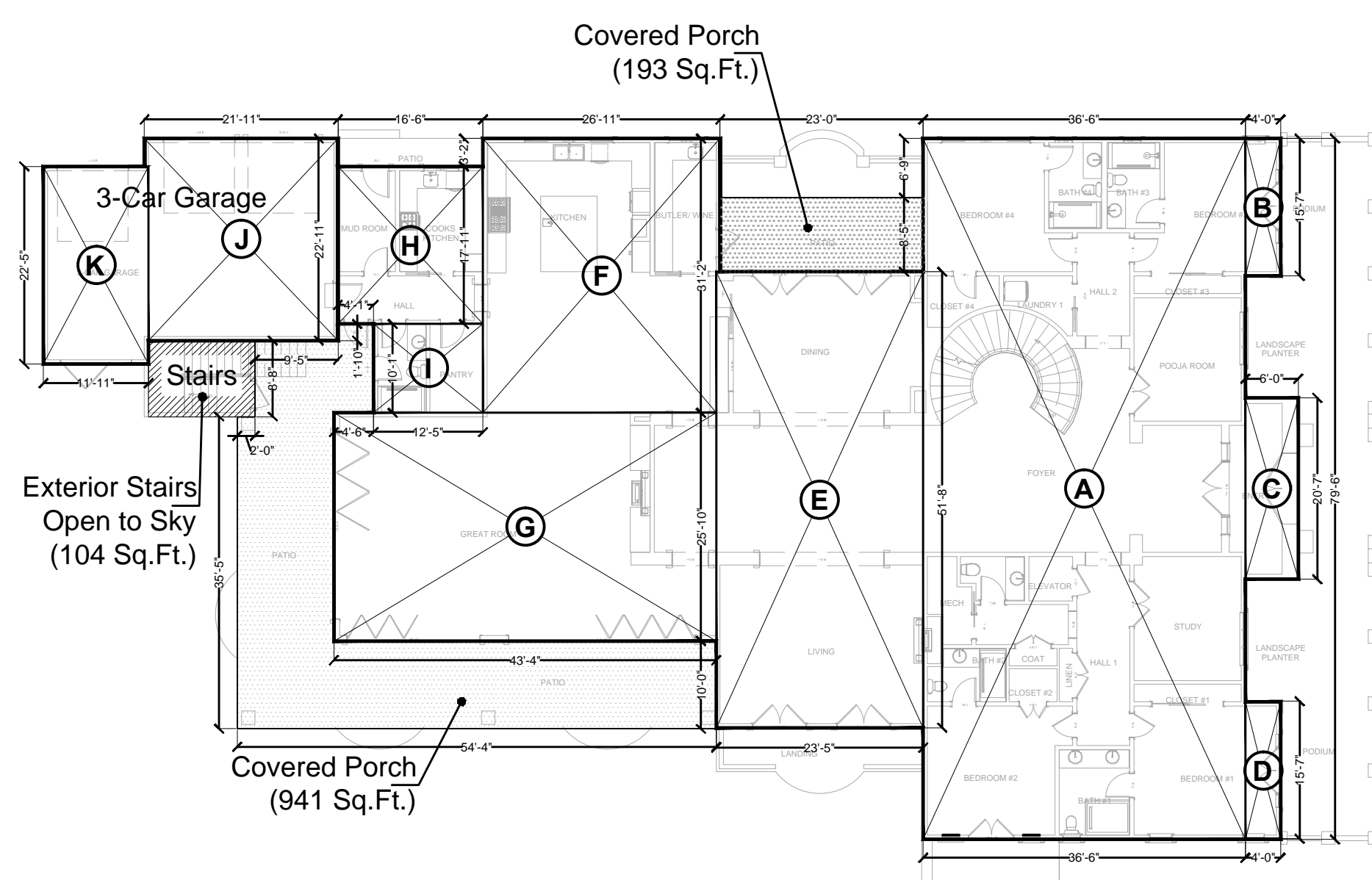
§1276.01. Setback for Structure Defensible Space.

c. Structures constructed in the SRA are required to comply with the defensible space regulations in Title 14. Natural Resources Division 1.5. Department of Forestry and Fire Protection Chapter 7. Fire Protection Subchapter 3. Fire Hazard.



**FLOOR AREA CALCULATIONS
 ADU (Accessory Dwelling Unit)
 Scale 1/16" = 1'-0"**

LIVING AREA (Conditioned)		
Area	Size	Area (Sq.Ft.)
A	11'-0" x 5'-6"	60.50
B	44'-5" x 22'-8"	1006.50
C	12'-0" x 3'-0"	36.00
Total		1103.00
GRAND TOTAL		1103.00 Sq.Ft.



**FLOOR AREA CALCULATIONS
 1ST FLOOR- MAIN RESIDENCE
 Scale 1/16" = 1'-0"**

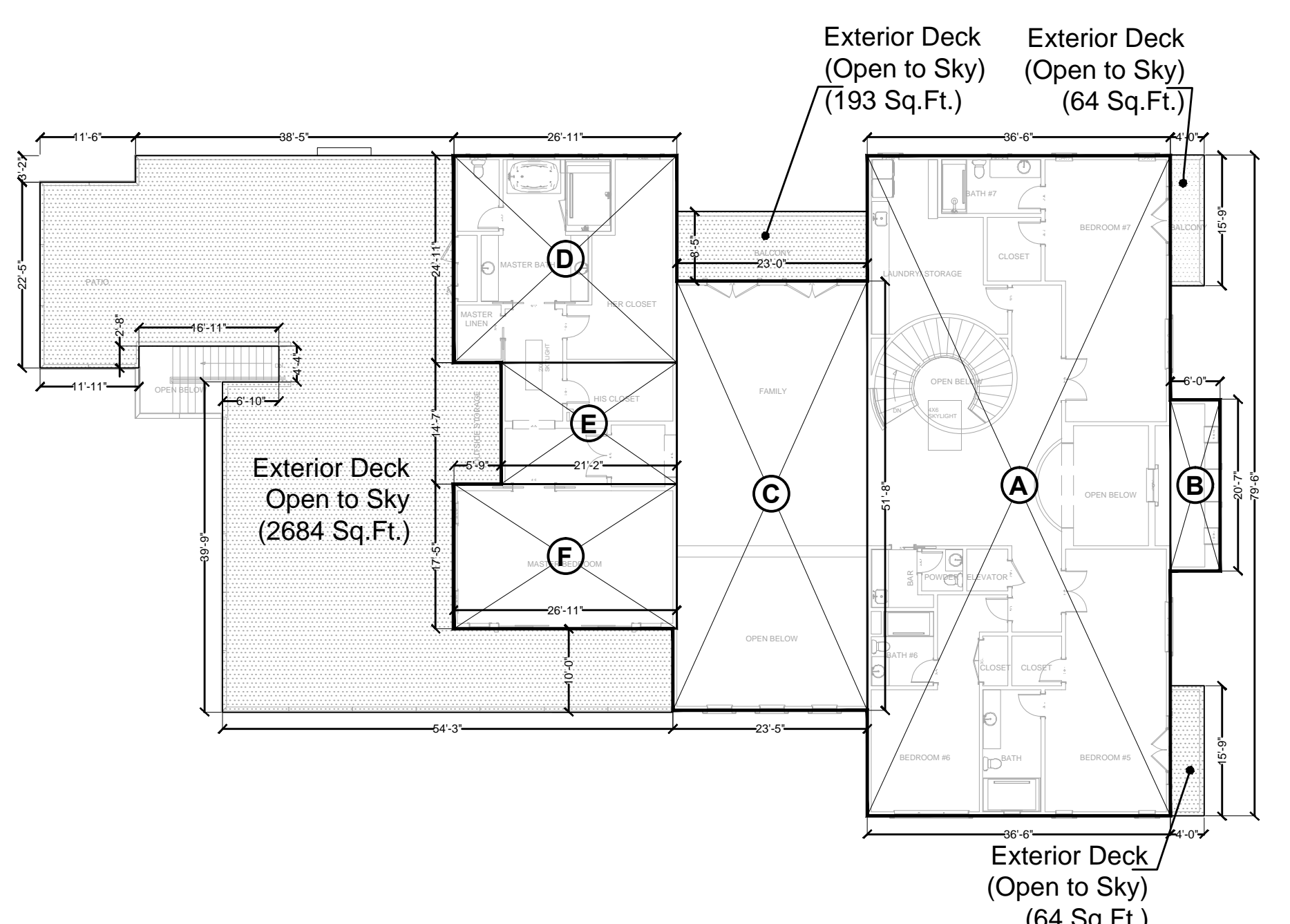
LIVING AREA (Conditioned)		
Area	Size	Area (Sq.Ft.)
A	36'-6" x 79'-6"	2902.00
B	4'-0" x 15'-7"	62.00
C	6'-0" x 20'-7"	123.00
D	4'-0" x 15'-7"	62.00
E	23'-5" x 51'-8"	1213.00
F	26'-11" x 31'-2"	839.00
G	43'-4" x 25'-10"	1119.00
H	16'-6" x 17'-11"	295.00
I	12'-5" x 10'-1"	125.00
Total		6740.00

GARAGE AREA		
Area	Size	Area (Sq.Ft.)
J	21'-11" x 22'-11"	502.00
K	11'-11" x 22'-5"	267.00
Total Garage		769.00

OTHER AREAS		
Area	Size	Area (Sq.Ft.)
Covered Porches (193+ 941)		1134.00
Floor Area Gross Total		8643.00 Sq.Ft.

**FLOOR AREA CALCULATIONS
 2ND FLOOR- MAIN RESIDENCE
 Scale 1/16" = 1'-0"**

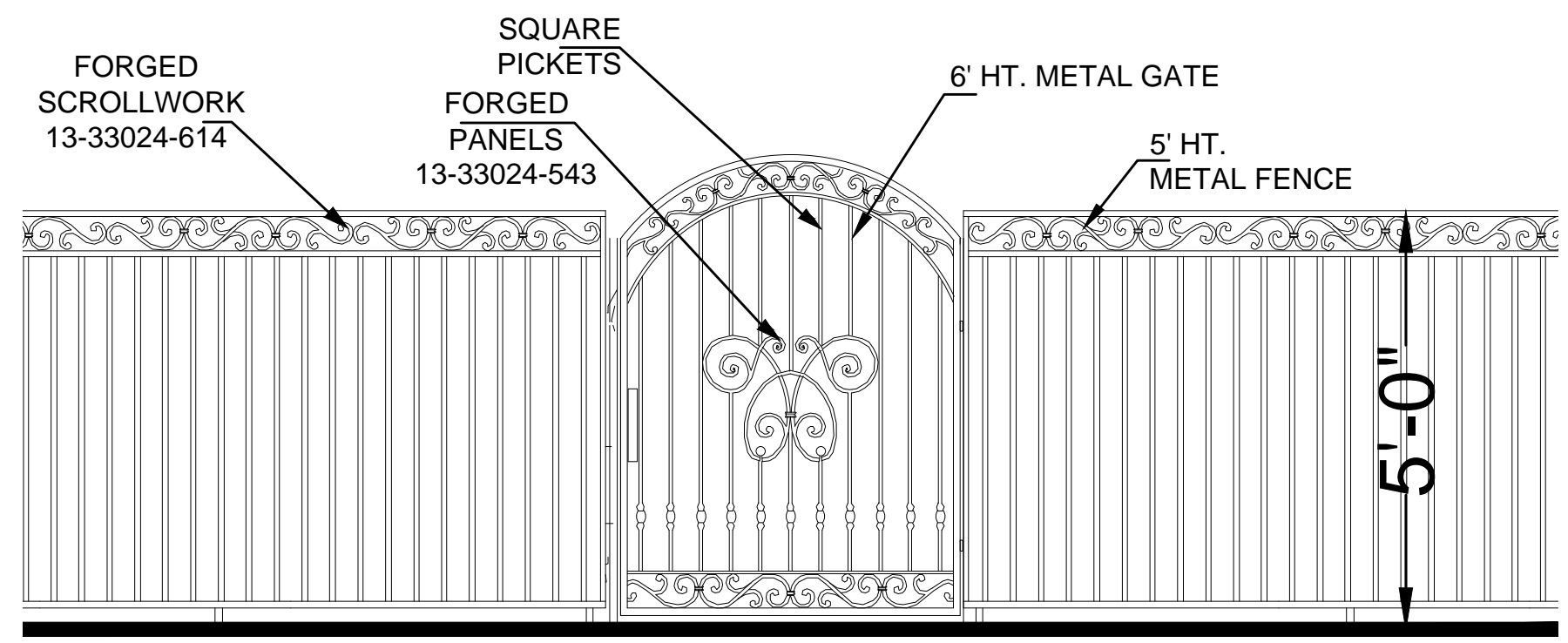
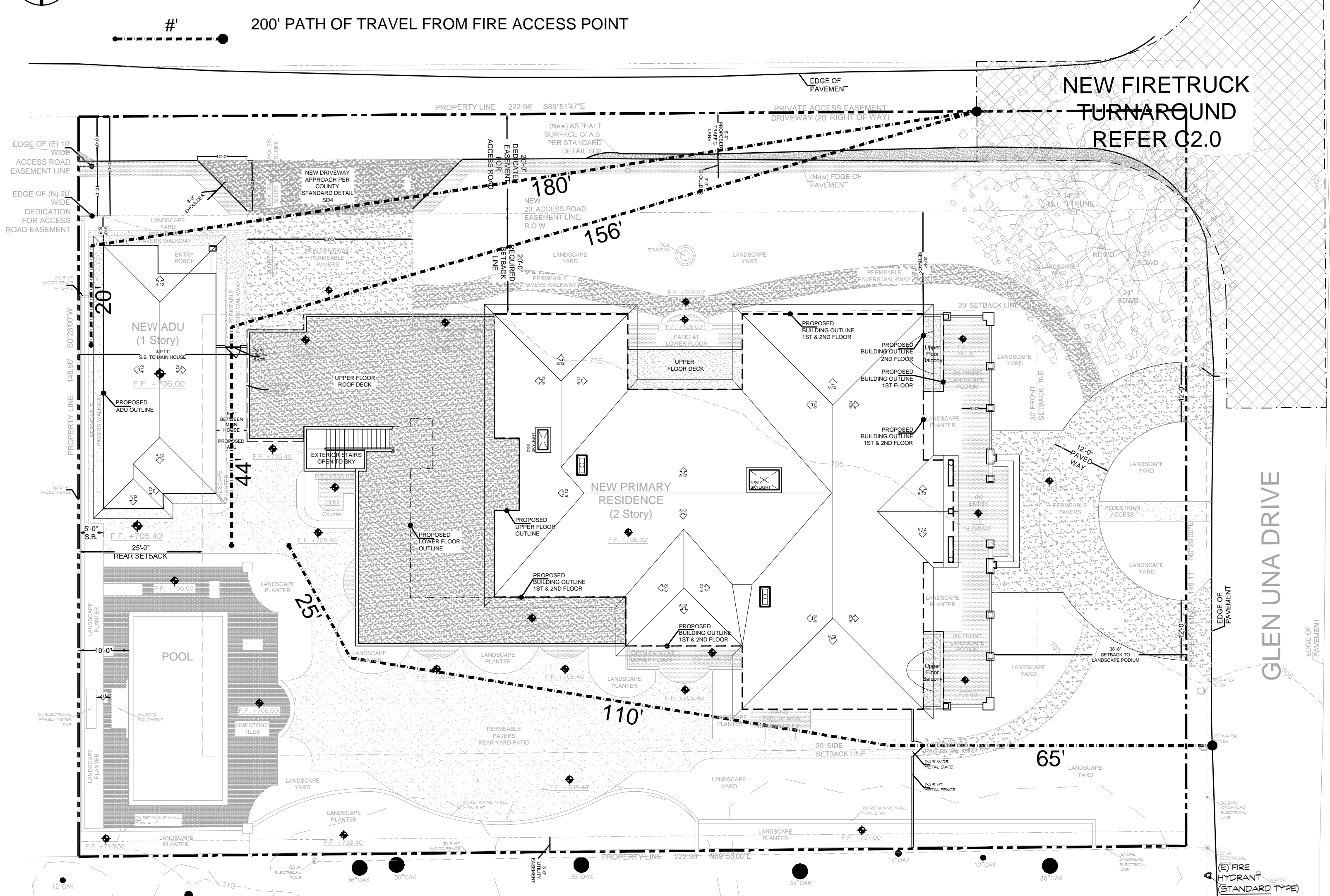
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B	6'-0" x 20'-7"	123.00
C	23'-5" x 51'-8"	1213.00
D	26'-11" x 24'-11"	670.00
E	21'-2" x 14'-7"	308.00
F	26'-11" x 17'-5"	468.00
Total		5684.00
Floor Area Gross Total		5684.00 Sq.Ft.



**FLOOR AREA CALCULATIONS
 2ND FLOOR- MAIN RESIDENCE
 Scale 1/16" = 1'-0"**

LIVING AREA (Conditioned)		
Area	Size	Area (Sq.Ft.)
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Total		5684.00
Floor Area Gross Total		5684.00 Sq.Ft.

FIRE ACCESS/ 200' REACH ANALYSIS
 SCALE 1/16" = 1'-0"



**DETAIL 1
 FENCE/ GATE DESIGN
 SCALE 1/2" = 1'-0"**

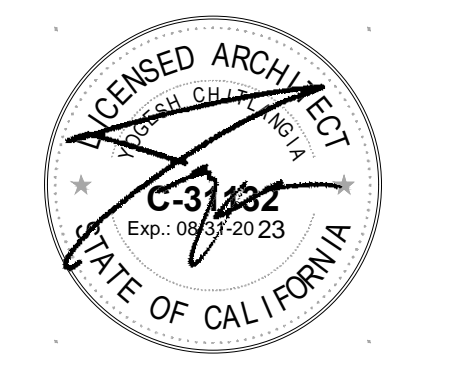
SCALE 1/2" = 1'-0"
 FINISH: DARK BRONZE COLOR
 LRV 7.38

planning
 architecture
aadiarch
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TITLE:
 FLOOR AREA CALCULATIONS;
 CALFIRE NOTES; FIRE
 ACCESS 200' REACH
 ANALYSIS

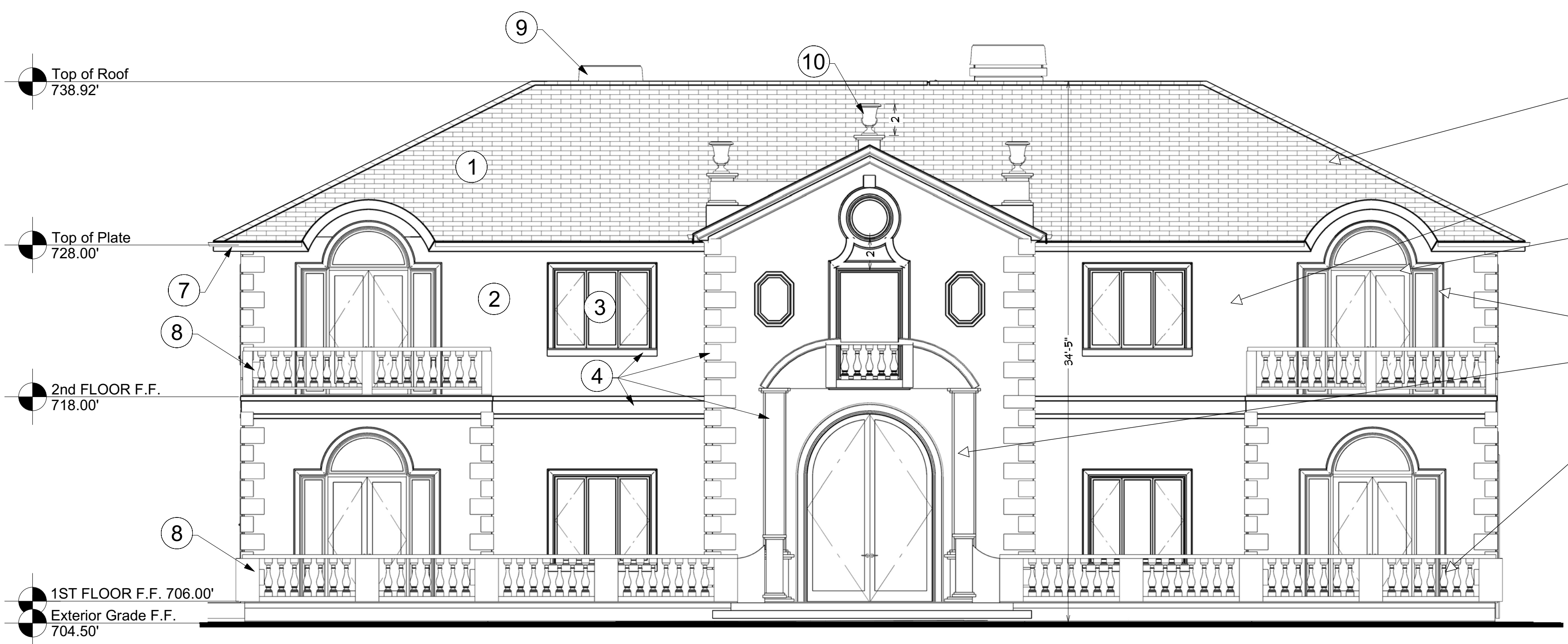
PROJECT NO:
 2021-04-13

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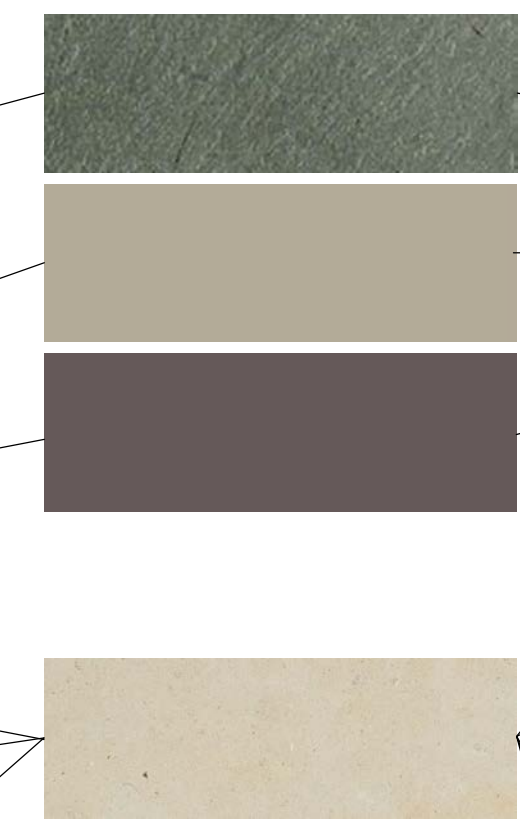
A 2.3

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FRONT ELEVATION
Scale 3/16"= 1'-0"



- LEGEND**
- 1 ROOF: SLATE (Min. Class 'B')
Color: GREY/ GREEN Semi-Weathering (LRV 19)
by VERMONT SLATE CO.
 - 2 EXTERIOR WALLS:
Cement plaster or Stucco Painted (Smooth Finish)
COLOR- Benjamin Moore # CSP 375 (LRV41.21)
 - 3 WINDOWS/ DOORS:
Type: METAL, Anderson E Series Aluminum Exterior
COLOR: URBAN BRONZE (LRV 10)
 - 4 DOOR/ WINDOW TRIMS & ACCENT MOLDINGS:
PRIMAR ITALIAN LIMESTONE
COLOR- BEIGE Smooth Honed (LRV 44)
 - 5 FRONT ENTRANCE WALL:
PRIMAR ITALIAN LIMESTONE
COLOR: BEIGE Smooth Honed (LRV 44)
 - 6 FRONT ENTRANCE DOOR:
METAL
COLOR- BLACK
 - 7 GUTTERS & DOWNSPOUTS:
COPPER (LRV 16.79)
 - 8 RAILINGS:
PRIMAR ITALIAN LIMESTONE
COLOR: BEIGE Smooth Honed (LRV 44)
 - 9 CHIMNEY:
WALL- STUCCO (EXTERIOR WALL COLOR & FINISH, LRV 41.21)
ACCENT TRIM @ TOP- PRIMAR ITALIAN LIMESTONE- BEIGE (LRV 44)
CAP- COPPER CAP (LRV 16.79)
 - 10 DECORATIVE ACCENT URNS @ ROOF TOP: (2' HT.)
PEDESTAL BASE: STUCCO (EXTERIOR WALL FINISH, LRV 41.21)
PEDESTAL CAP & ACCENT URN:
PRIMAR ITALIAN LIMESTONE- BEIGE (LRV 44)

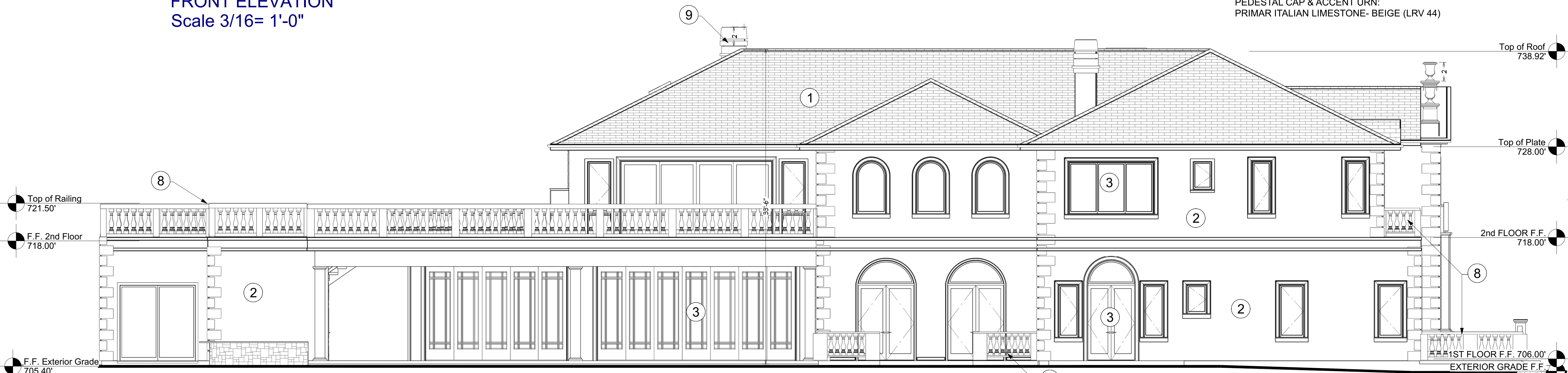


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Tel. 650-948-8492

NEW RESIDENCE & ADU
 15581 GLEN UNA DRIVE,
 LOS GATOS,
 CA 95030
 APN# 510-026-007

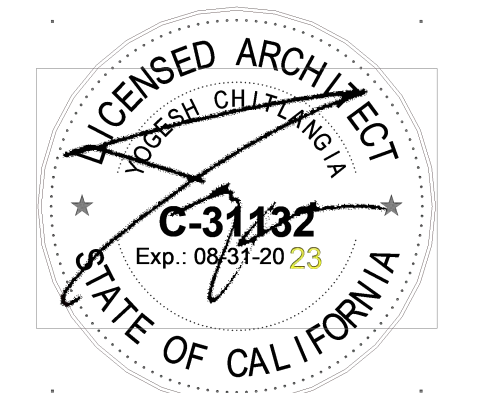
Date	Issued For
07.01.22	PLANNING
11.14.22	PLANNING Rev 1



LEFT SIDE ELEVATION
Scale 3/16"= 1'-0"



RIGHT SIDE ELEVATION
Scale 3/16"= 1'-0"



TITLE:
MAIN RESIDENCE
PROPOSED ELEVATIONS

PROJECT NO:
2021-04-13

DRAWING NO:

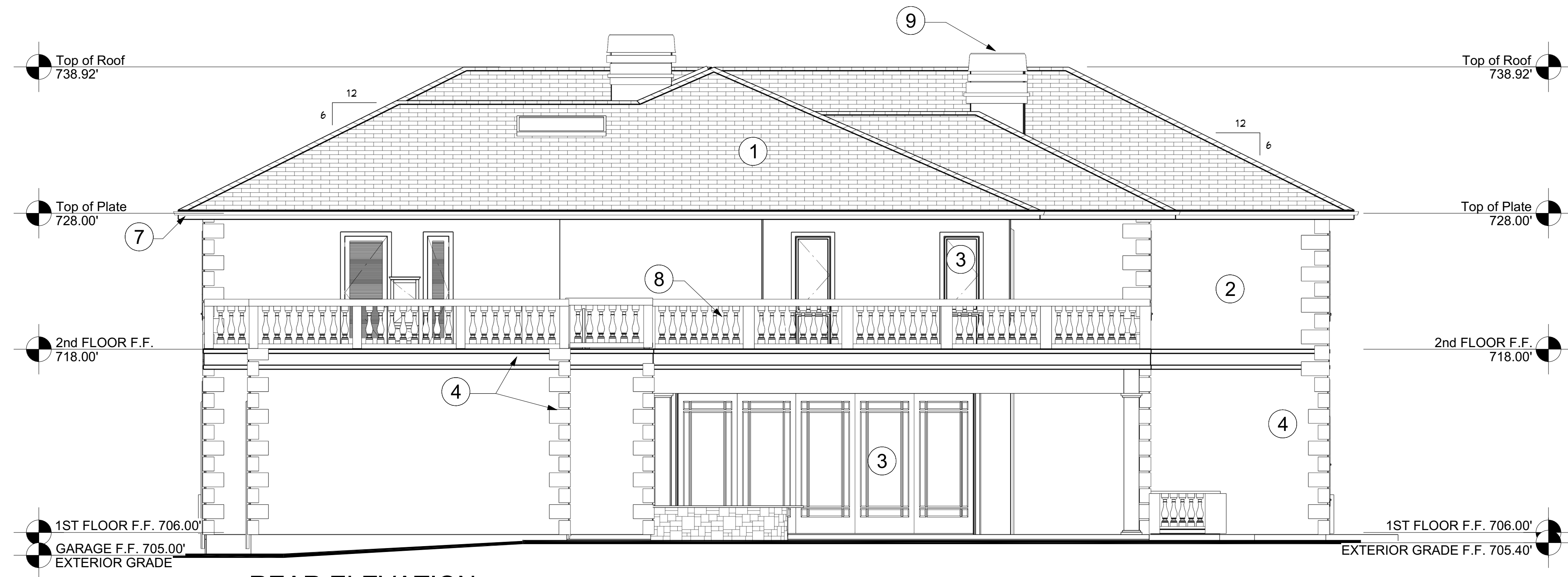
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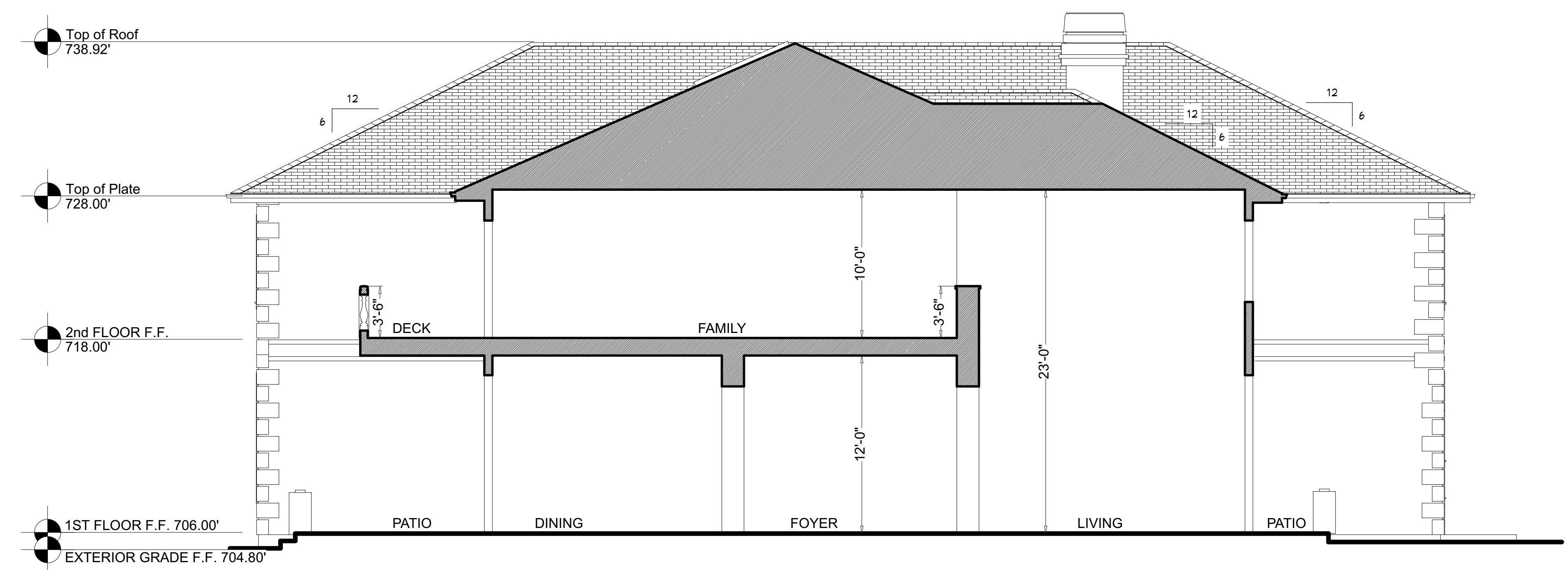
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REAR ELEVATION
Scale 3/16"= 1'-0"

Building Section 'S2'
Scale 3/16"= 1'-0"

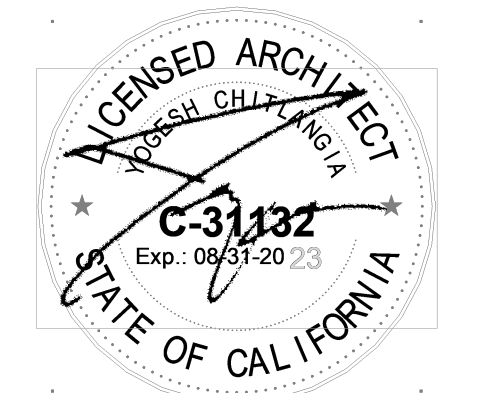
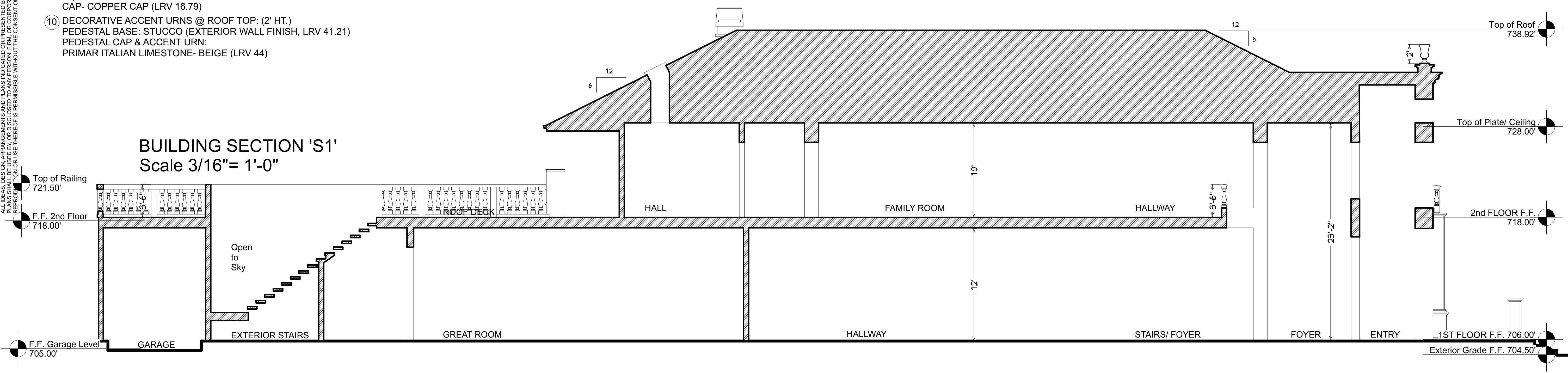


- LEGEND**
- 1 ROOF: SLATE (Min. Class 'B')
Color: GREY/ GREEN Semi-Weathering (LRV 19)
by VERMONT SLATE CO.
 - 2 EXTERIOR WALLS:
Cement plaster or Stucco Painted (Smooth Finish)
COLOR- Benjamin Moore # CSP 375 (LRV41.21)
 - 3 WINDOWS/ DOORS:
Type: METAL, Anderson E Series Aluminum Exterior
COLOR: URBAN BRONZE (LRV 10)
 - 4 DOOR/ WINDOW TRIMS & ACCENT MOLDINGS:
PRIMAR ITALIAN LIMESTONE
COLOR- BEIGE Smooth Honed (LRV 44)
 - 5 FRONT ENTRANCE WALL:
PRIMAR ITALIAN LIMESTONE
COLOR: BEIGE Smooth Honed (LRV 44)
 - 6 FRONT ENTRANCE DOOR:
METAL
COLOR- BLACK
 - 7 GUTTERS & DOWNSPOUTS:
COPPER (LRV 16.79)
 - 8 RAILINGS:
PRIMAR ITALIAN LIMESTONE
COLOR: BEIGE Smooth Honed (LRV 44)
 - 9 CHIMNEY:
WALL- STUCCO (EXTERIOR WALL COLOR & FINISH, LRV 41.21)
ACCENT TRIM @ TOP- PRIMAR ITALIAN LIMESTONE- BEIGE (LRV 44)
CAP- COPPER CAP (LRV 16.79)
 - 10 DECORATIVE ACCENT URNS @ ROOF TOP: (2' HT.)
PEDESTAL BASE: STUCCO (EXTERIOR WALL FINISH, LRV 41.21)
PEDESTAL CAP & ACCENT URN:
PRIMAR ITALIAN LIMESTONE- BEIGE (LRV 44)

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 CA 95030
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Date	Issued For
07.01.22	PLANNING
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BUILDING SECTION 'S1'
Scale 3/16"= 1'-0"



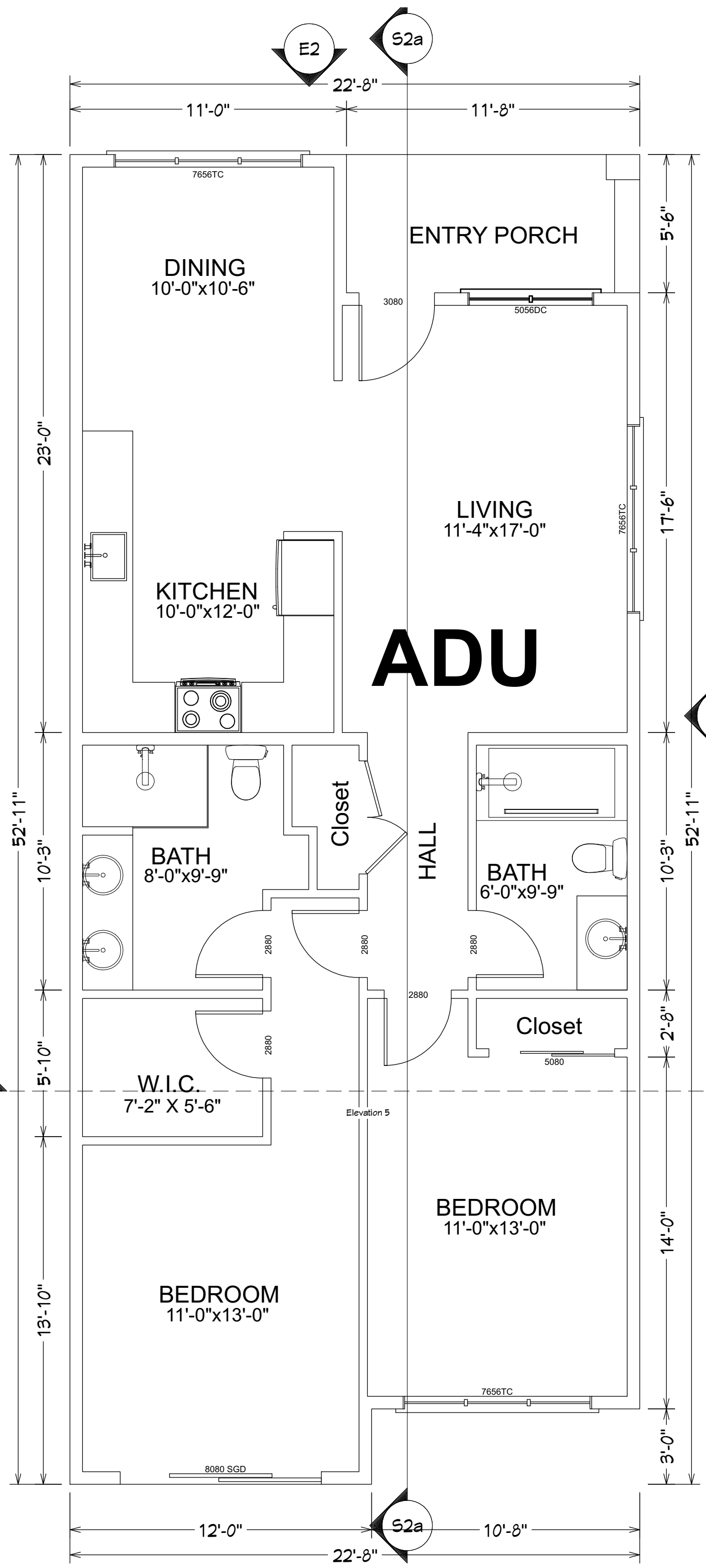
TITLE:
 MAIN RESIDENCE
 PROPOSED BUILDING
 SECTIONS

PROJECT NO:
 2021-04-13

DRAWING NO:

A 4.0

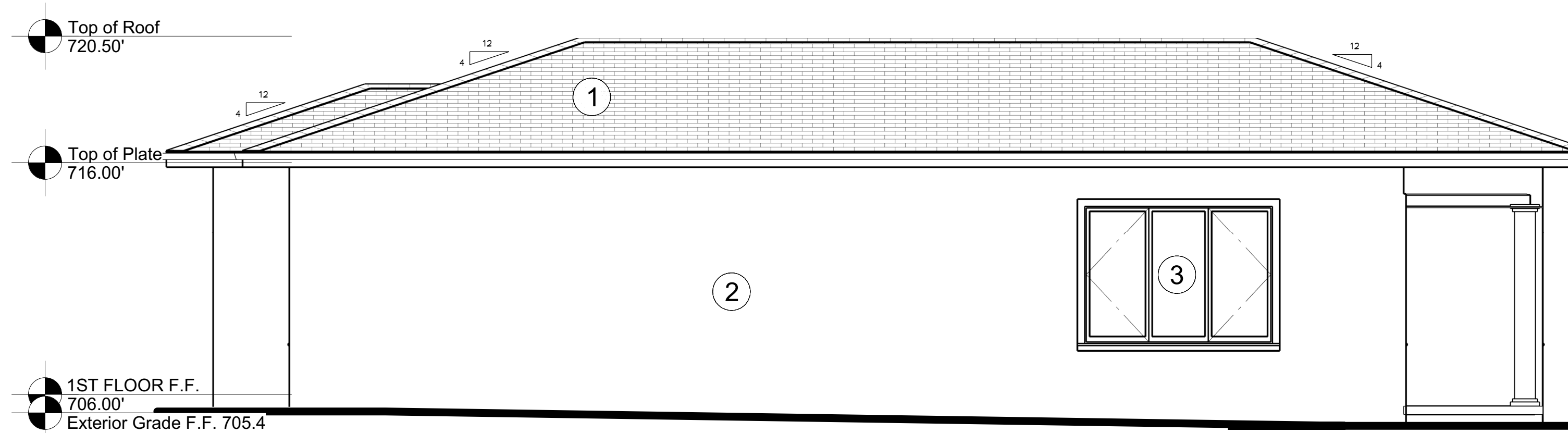
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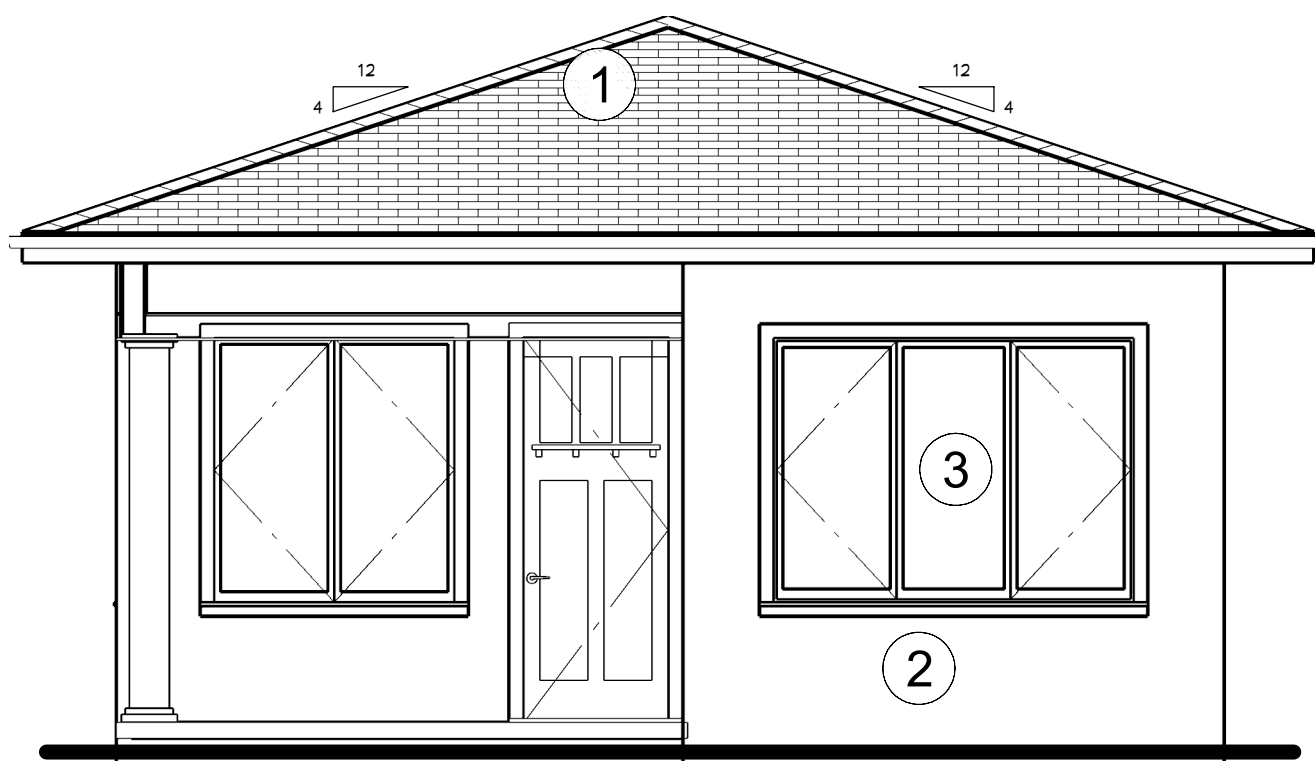
FLOOR PLAN
Scale 1/4" = 1'-0"

ADU

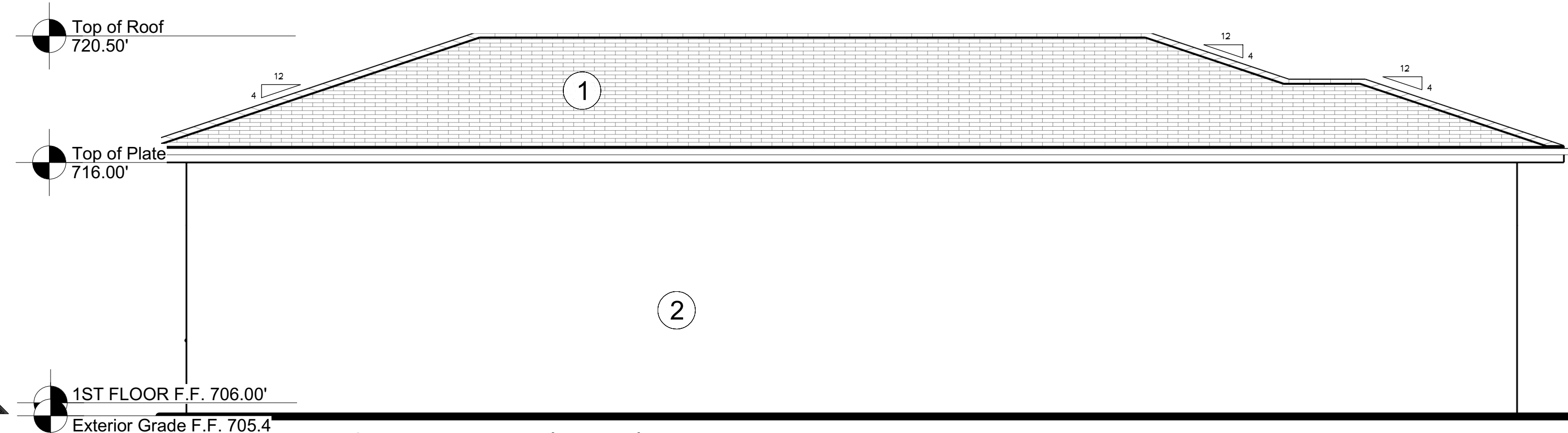
- LEGEND**
- ① ROOF: SLATE (Min. Class 'B')
Color: GREY/ GREEN Semi-Weathering (LRV 19)
by VERMONT SLATE CO.
 - ② EXTERIOR WALLS:
Cement plaster or Stucco Painted (Smooth Finish)
COLOR- Benjamin Moore # CSP 375 (LRV41.21)
 - ③ WINDOWS/ DOORS:
Type: METAL, Anderson E Series Aluminum Exterior
COLOR: URBAN BRONZE (LRV 10)
 - ④ DOOR/ WINDOW TRIMS & ACCENT MOLDINGS:
PRIMAR ITALIAN LIMESTONE
COLOR- BEIGE Smooth Honed (LRV 44)
 - ⑤ FRONT ENTRANCE WALL:
PRIMAR ITALIAN LIMESTONE
COLOR: BEIGE Smooth Honed (LRV 44)
 - ⑥ FRONT ENTRANCE DOOR:
METAL
COLOR- BLACK
 - ⑦ GUTTERS & DOWNSPOUTS:
COPPER (LRV 16.79)



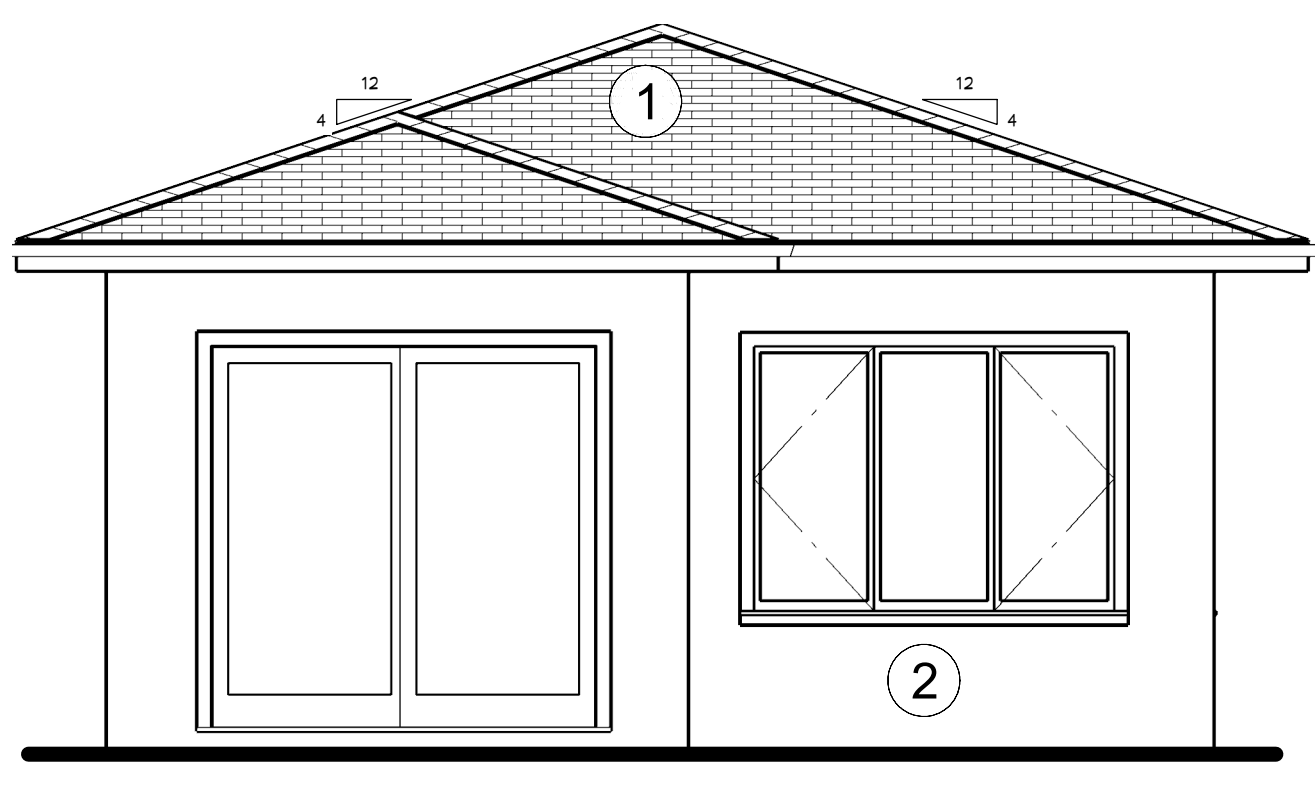
E1- Elevation (East)
Scale 1/4" = 1'-0"



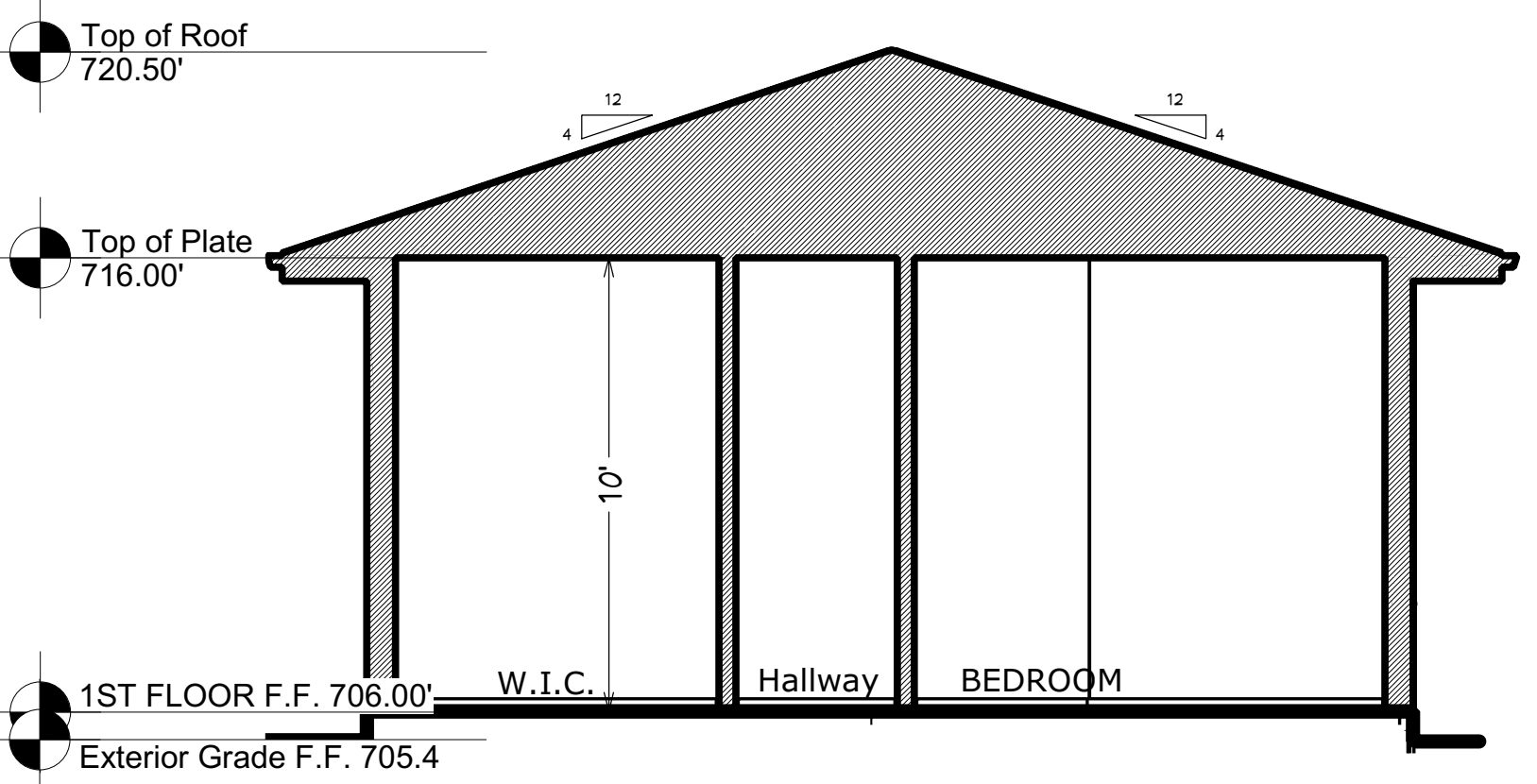
E2- Elevation (North)
Scale 1/4" = 1'-0"



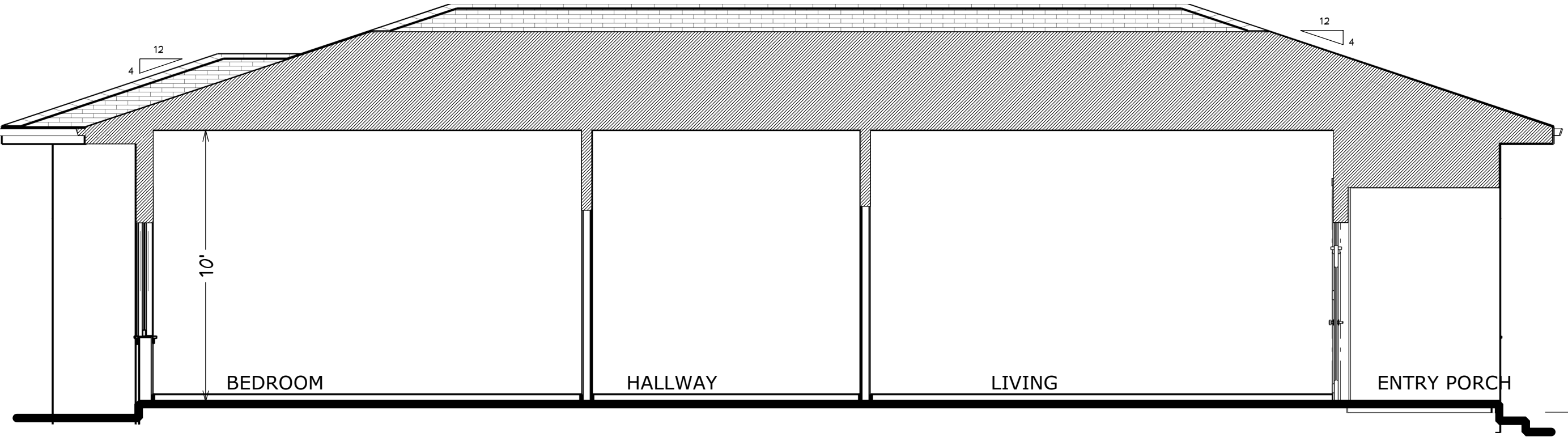
E3- Elevation (West)
Scale 1/4" = 1'-0"



E4- Elevation (South)
Scale 1/4" = 1'-0"



Section S1a
Scale 1/4" = 1'-0"



Section S2a
Scale 1/4" = 1'-0"



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NEW RESIDENCE & ADU
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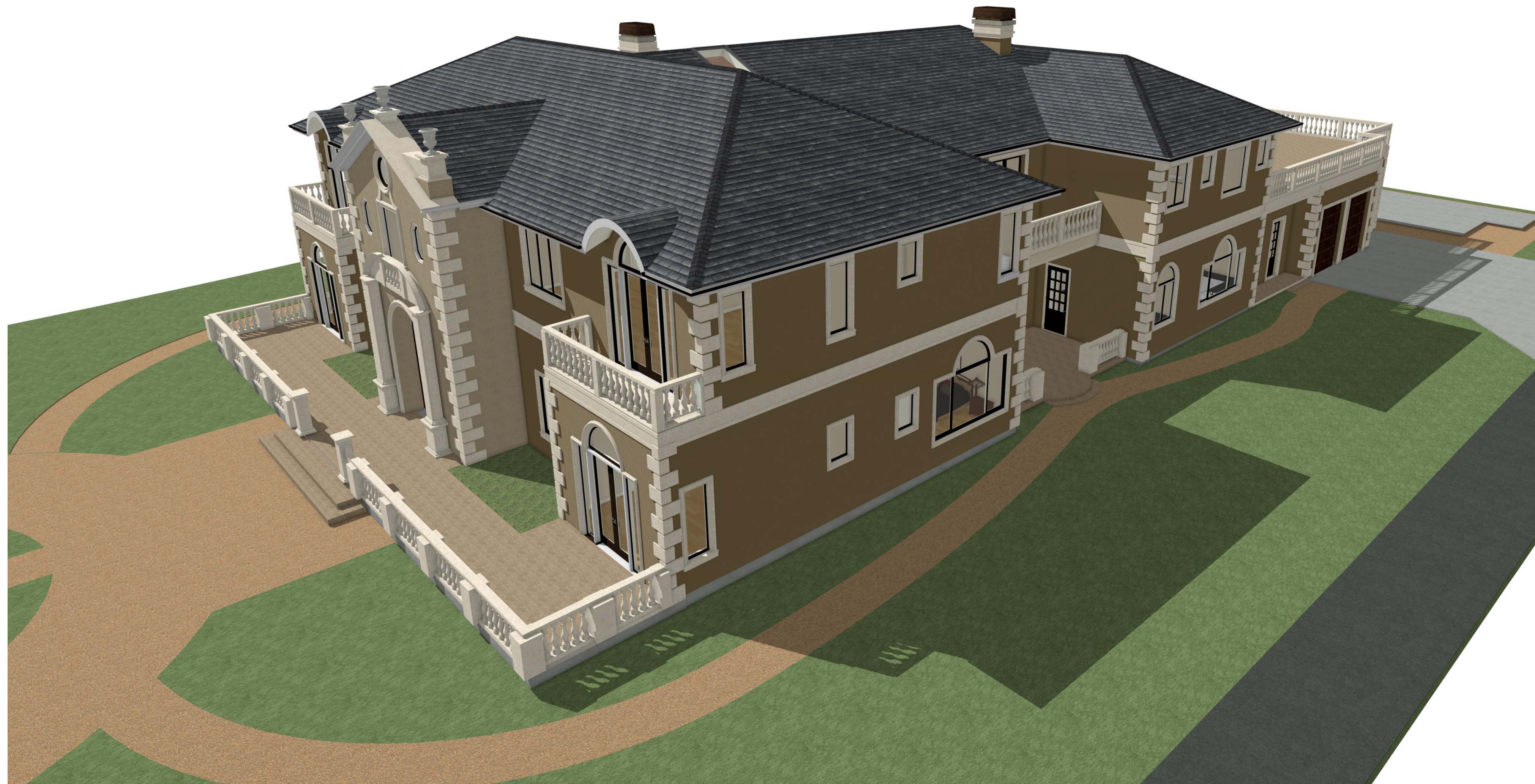
TITLE:
ACCESSORY DWELLING
UNIT
FLOOR PLAN, ELEVATIONS

PROJECT NO:
2021-04-13

DRAWING NO:

A 5.0

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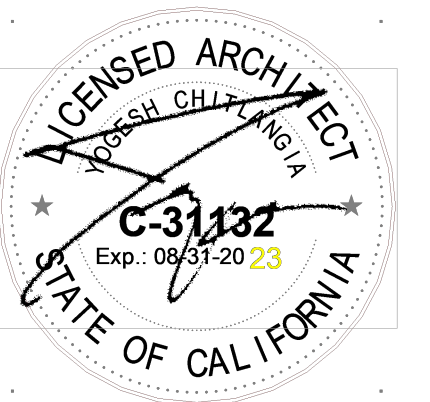
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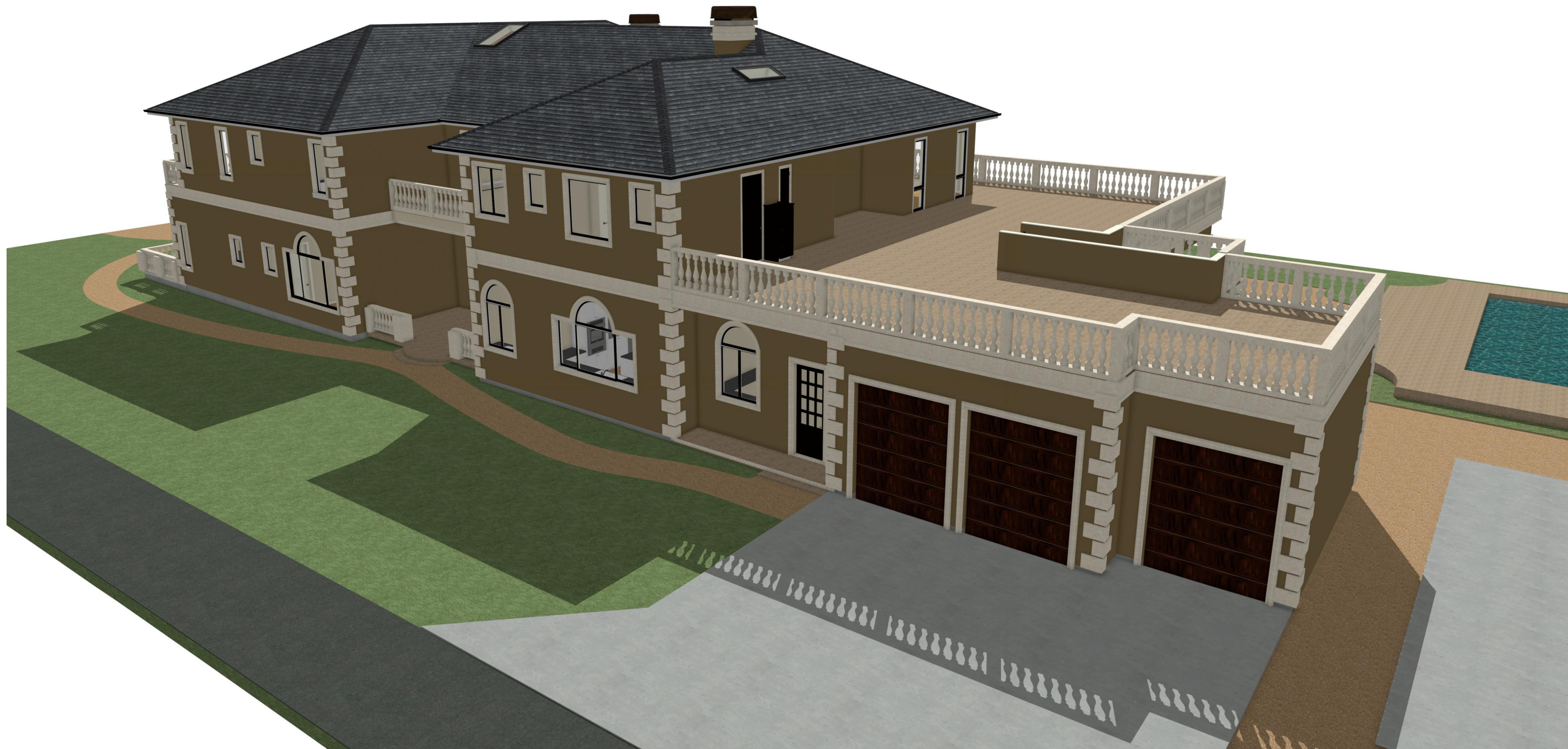
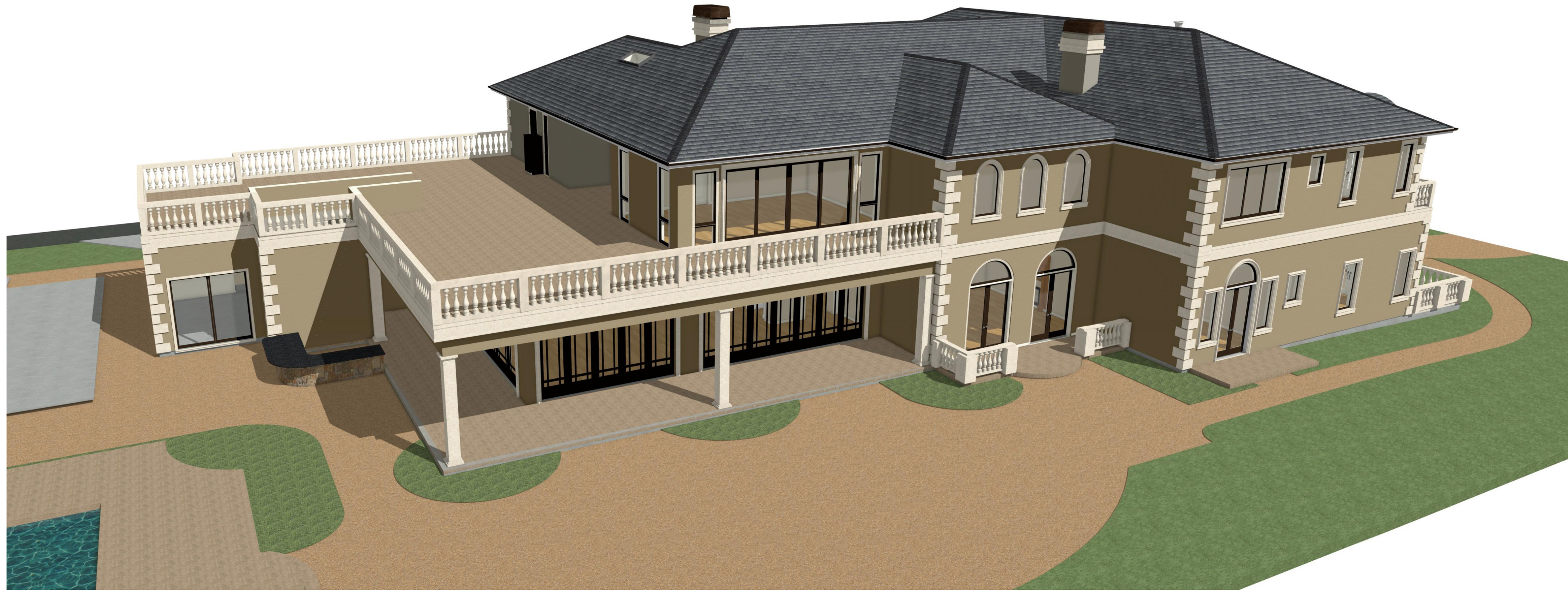
TITLE:
3D VIEWS

PROJECT NO:
2021-04-13

DRAWING NO:

A 6.0

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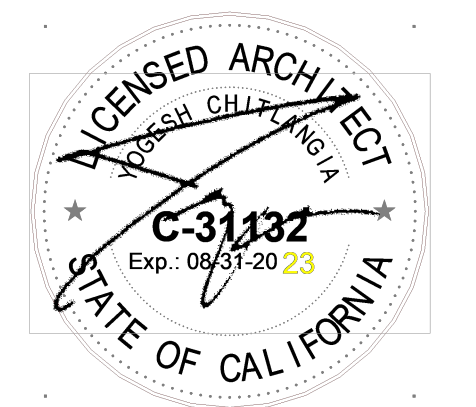
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Date	Issued For
07.01.22	PLANNING
11.14.22	PLANNING Rev 1



TITLE:
3D VIEWS

PROJECT NO:
2021-04-13

DRAWING NO:

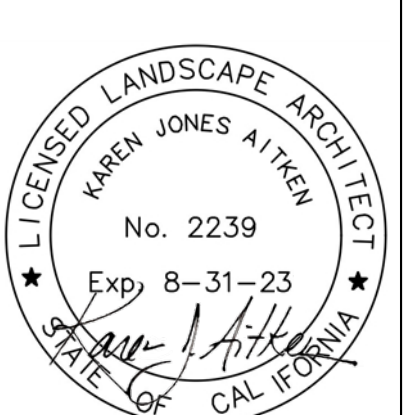
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REVISIONS	BY



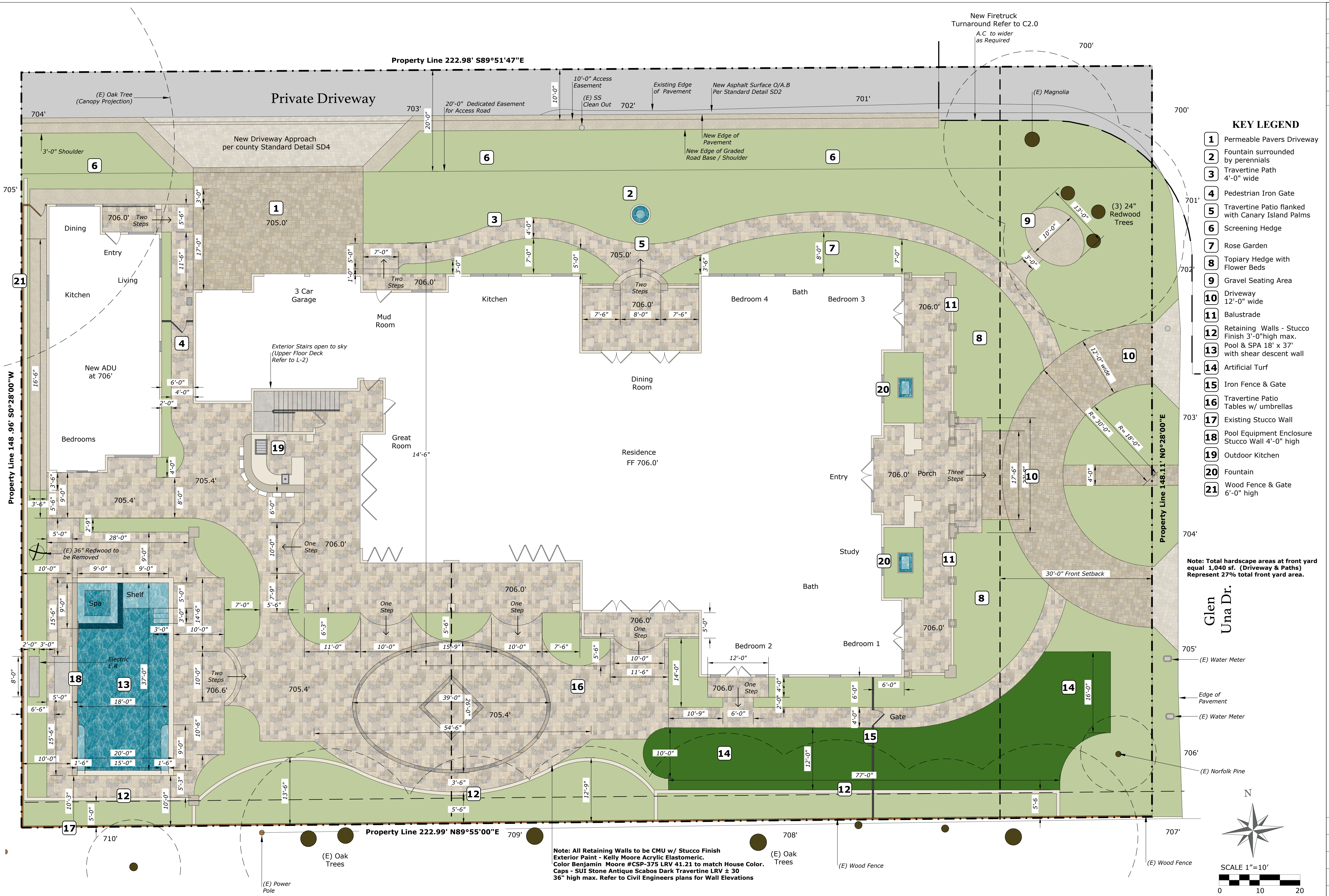
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LANDSCAPE ARCHITECTS
 8262 Rancho Real Gilroy Ca. 95020
 Calif. Reg.#2239 (408) 842-0245
 karen@kaa.design

VUPPALA RESIDENCE
 1558i Glen Una Dr, Los Gatos, CA.
LAYOUT & DIMENSION PLAN



DATE	12-13-22
SCALE	1"=10'-0"
DRAWN	AD
JOB	VUPPALA

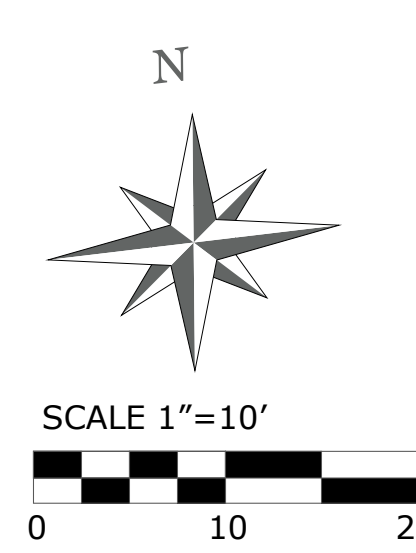
L-1



- KEY LEGEND**
- 1 Permeable Pavers Driveway
 - 2 Fountain surrounded by perennials
 - 3 Travertine Path 4'-0" wide
 - 4 Pedestrian Iron Gate
 - 5 Travertine Patio flanked with Canary Island Palms
 - 6 Screening Hedge
 - 7 Rose Garden
 - 8 Topiary Hedge with Flower Beds
 - 9 Gravel Seating Area
 - 10 Driveway 12'-0" wide
 - 11 Balustrade
 - 12 Retaining Walls - Stucco Finish 3'-0" high max.
 - 13 Pool & SPA 18' x 37' with shear descent wall
 - 14 Artificial Turf
 - 15 Iron Fence & Gate
 - 16 Travertine Patio Tables w/ umbrellas
 - 17 Existing Stucco Wall
 - 18 Pool Equipment Enclosure Stucco Wall 4'-0" high
 - 19 Outdoor Kitchen
 - 20 Fountain
 - 21 Wood Fence & Gate 6'-0" high

Note: Total hardscape areas at front yard equal 1,040 sf. (Driveway & Paths) Represent 27% total front yard area.

Note: All Retaining Walls to be CMU w/ Stucco Finish Exterior Paint - Kelly Moore Acrylic Elastomeric. Color Benjamin Moore #CSP-375 LRV 41.21 to match House Color. Caps - SUI Stone Antique Scabos Dark Travertine LRV ± 30 36" high max. Refer to Civil Engineers plans for Wall Elevations



Karen Aitken & Associates

REVISIONS	BY

At least 4 cu. yds. of compost, six (6) inches deep, shall be applied per 1,000 sq. ft. of landscape area.

A minimum three (3") inch layer of mulch shall be applied on all exposed soil surfaces of planting areas.



- KEY LEGEND**
- 1 Permeable Pavers Driveway
 - 2 Fountain surrounded by perennials
 - 3 Travertine Path 4'-0" wide
 - 4 Pedestrian Iron Gate
 - 5 Travertine Patio flanked with Canary Island Palms
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KAREN AITKEN & ASSOCIATES
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 Calif. Reg.#2239 (408) 842-0245
 karen@kaa.design

VUPPALA RESIDENCE
 15581 Glen Una Dr, Los Gatos, CA.
PLANTING PLAN



DATE 02-01-23
 SCALE 1"=10'-0"
 DRAWN IN
 JOB VUPPALA

L-2

Note: No Irrigation to be Installed beneath canopies of Existing Oaks Chipped Barck Mulch only

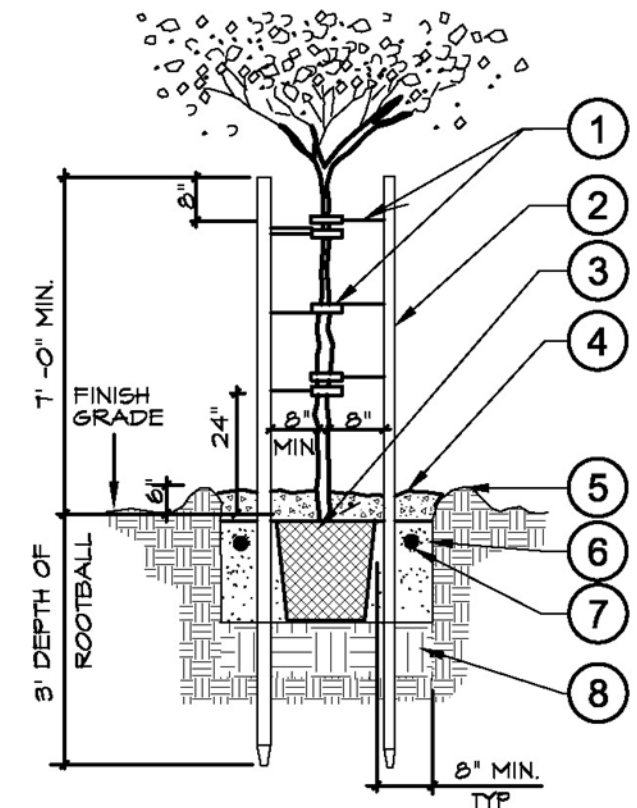
Refer to L-3 for Planting Details
 * NOTES (E) = Existing

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Karen Aitken & Associates

NOTE:

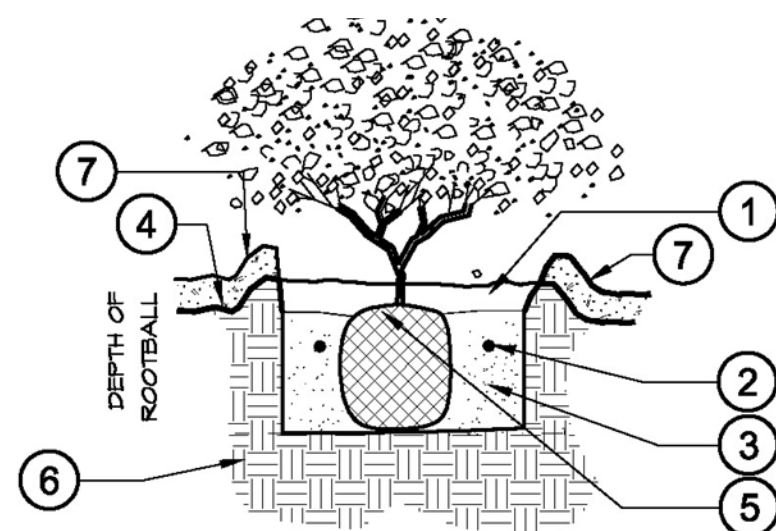
ALL TREES 8' OR CLOSER TO HARDSCAPE SURFACE OR BUILDING SHALL HAVE ROOT-BARRIER PANELS, INSTALLED PER MANUFACTURE SPECIFICATIONS AND EXTEND 10' IN EACH DIRECTION FROM TREE TRUNK. SEE ROOT BARRIER DETAIL ON THIS SHEET.



LEGEND

- ① CINCH-TIE TREE TIE - WRAP WIRE AROUND OUTSIDE OF STAKE. SECURE TO STAKE PER MANUFACTURER'S RECOMMENDATIONS, PLACE BELOW BRANCHING YOKE OF TREE
- ② LODGE POLE PINE STAKES: 3 POLES FOR 36" BOX IN TRIANGLE ARRANGEMENT
- ③ SET TOP OF ROOTBALL 2" ABOVE FINISH GRADE.
- ④ 2" SHREDDED BARK MULCH, (APPROX. 3" DIA. RING)
- ⑤ WATER BASIN (SHRUB AREAS ONLY)
- ⑥ BACKFILL MIX- 1/3 SITE SOIL, 1/3 SAND, 1/3 GROW MULCH
- ⑦ PLANTING FERTILIZER TABLETS (SEE DETAIL/CHART ON THIS SHEET) APPLICATION RATES PER MANUFACTURER SPECIFICATIONS OR SOILS REPORT RECOMMENDATIONS.
- ⑧ NATIVE SOIL SUBGRADE EXCAVATE TO CORRECT HEIGHT FOR PLANTING. SCARIFY BOTTOM TO ENSURE ADEQUATE DRAINAGE FOR HEALTHY GROWTH OF PLANT.

TREE PLANTING WITH DOUBLE STAKE



- ① WATER BASIN WITH 2" X 2" SHREDDED BARK MULCH.
- ② TRI-C MYCO PAKS (SEE DETAIL "E" ON THIS SHEET). APPLICATION RATES PER MANUFACTURER SPECIFICATIONS.
- ③ BACKFILL MIX- 1/3 SITE SOIL, 1/3 SAND, 1/3 GROW MULCH.
- ④ FINISH GRADE
- ⑤ ROOTBALL 1"-2" ABOVE FINISH GRADE
- ⑥ NATIVE SOIL SUBGRADE EXCAVATE TO CORRECT HEIGHT FOR PLANTING. SCARIFY BOTTOM TO ENSURE ADEQUATE DRAINAGE FOR HEALTHY GROWTH OF PLANT.
- ⑦ 3" MULCH LAYER

TYPICAL SHRUB PLANTING

PLANT LEGEND

BOTANICAL	COMMON	QTY	SIZE	WATER	REMARKS
Tree					
Betula occidentalis	Water Birch	6	24" Box	Medium	California Native
Cercis occidentalis	Western Redbud	9	24" Box	Very Low	California Native
Laurus nobilis	Grecian Laurel	3	24" Box	Low	
Olea europaea 'Majestic Beauty'	Majestic Beauty Fruitless Olive	2	24" Box	Low	
Shrub					
Buxus 'Green Beauty'	Globe Japanese Boxwood	87	5 Gallon	Medium	
Buxus microphylla japonica	Japanese Boxwood	64	5 Gallon	Medium	
Camellia japonica	Japanese Camellia	6	5 Gallon	Medium	
Coleonema pulchellum 'Sunset Gold'	Golden Breath Of Heaven	9	5 Gallon	Medium	
Hibiscus rosa-sinensis 'Seminole'	Seminole Hibiscus	1	5 Gallon	Medium	
Hydrangea macrophylla	Bigleaf Hydrangea	12	5 Gallon	High	
Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	12	5 Gallon	Low	
Ligustrum japonicum	Japanese Privet	45	5 Gallon	Medium	
Loropetalum chinense 'Rubrum'	Red Fringe Flower	13	5 Gallon	Medium	
Nandina domestica	Nandina, Heavenly Bamboo	7	5 Gallon	Low	
Pittosporum tenuifolium	Blackstem Pittosporum	12	5 Gallon	Medium	
Prunus caroliniana 'Bright n' Tight'	Bright n' Tight Carolina Laurel	22	5 Gallon	Low	
Prunus caroliniana 'Compacta'	Dwarf Carolina Laurel Cherry	28	5 Gallon	Low	
Rhaphiolepis umbellata 'Minor'	White Compact Yeddo Hawthorn	23	5 Gallon	Low	
Rosa 'Iceberg'	Iceberg Floribunda Rose	30	5 Gallon	Medium	
Rosa Hybrid Tea varieties	Hybrid Tea Rose (selections)	45	5 Gallon	Medium	
Rosmarinus officinalis	Rosemary	12	5 Gallon	Low	
Verbena 'Homestead Purple'	Homestead Purple Verbena	10	1 Gallon	Low	
Ground cover					
Gazania hybrids	Hybrid Gazanias	10	1 Gallon	Medium	
Geranium x cantabrigiense 'Biokovo'	Biokovo Geranium	12	1 Gallon	Low	
Iberis sempervirens 'Little Gem'	Little Gem Evergreen Candytuft	10	1 Gallon	Low	
Lantana montevidensis	Trailing Lantana	13	5 Gallon	Low	
Rosa Flower Carpet Pink	Pink Carpet Rose	16	5 Gallon	Medium	
Perennial					
Alstroemeria hybrids	Peruvian Lily	9	5 Gallon	Low	
Salvia 'Waverly'	Waverly Sage	17	5 Gallon	Low	
Conifer					
Juniperus chinensis	Chinese Juniper	13	5 Gallon	Low	
Fern					
Woodwardia fimbriata	Giant Chain Fern	12	5 Gallon	Medium	
Palm					
Phoenix canariensis	Canary Island Date Palm	2	48" Box	Low	

REVISIONS BY



KAREN AITKEN & ASSOCIATES
LANDSCAPE ARCHITECTS

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Calif. Reg.#2239 (408) 842-0245
karen@kaa.design

VUPPALA RESIDENCE
15581 Glen Una Dr, Los Gatos, CA.

PLANTING DETAILS



DATE 02-01-23
SCALE 1"=10'-0"
DRAWN IN
JOB VUPPALA

Pavers (M1-M3)
 Cal Stone Pavilion
 Pavers. Color Cream
 Tan Brown LRV 25

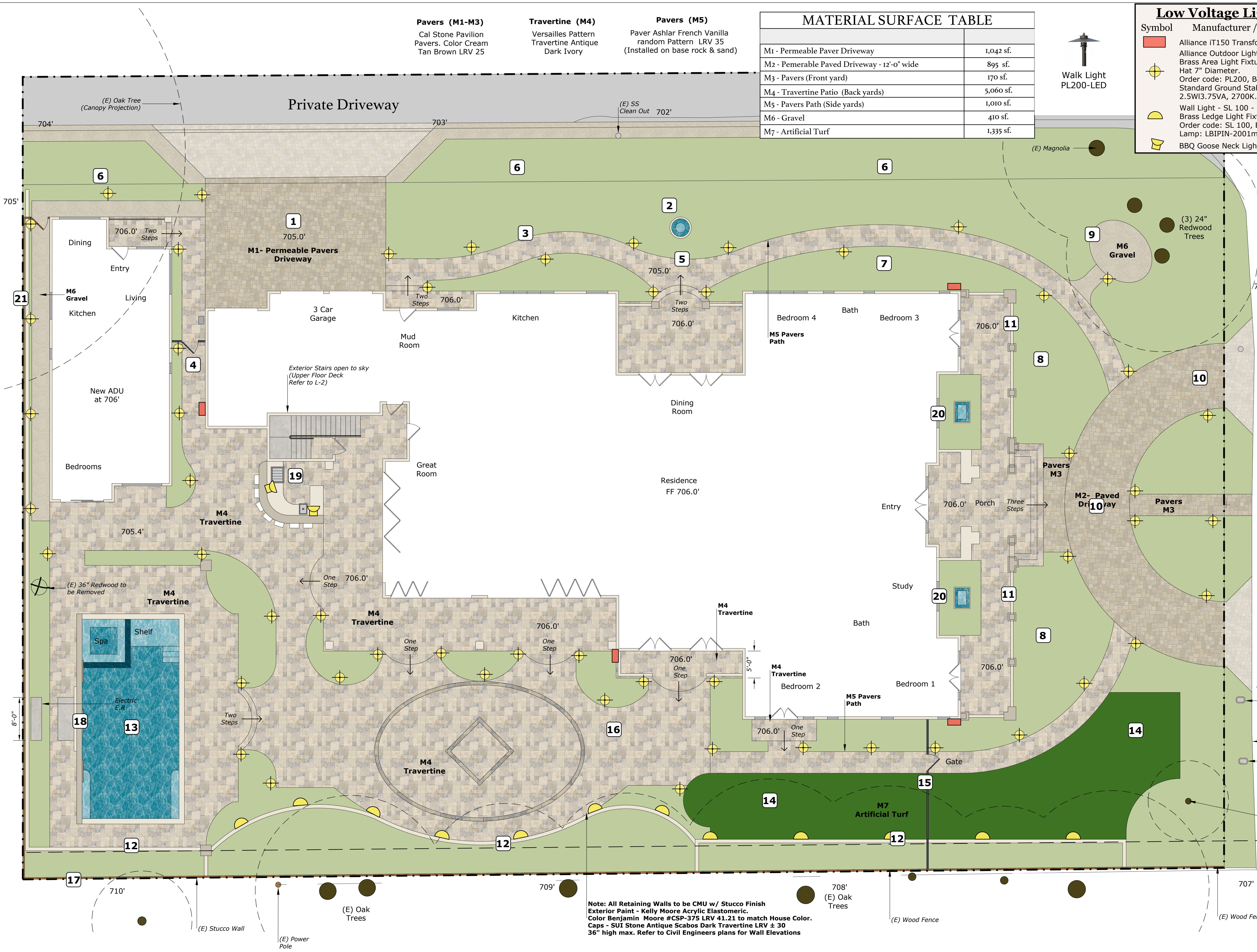
Travertine (M4)
 Versailles Pattern
 Travertine Antique
 Dark Ivory

Pavers (M5)
 Paver Ashlar French Vanilla
 random Pattern LRV 35
 (Installed on base rock & sand)

MATERIAL SURFACE TABLE	
M1 - Permeable Paver Driveway	1,042 sf.
M2 - Permeable Paved Driveway - 12'-0" wide	895 sf.
M3 - Pavers (Front yard)	170 sf.
M4 - Travertine Patio (Back yards)	5,060 sf.
M5 - Pavers Path (Side yards)	1,010 sf.
M6 - Gravel	410 sf.
M7 - Artificial Turf	1,335 sf.

Low Voltage Lights- by Alliance			
Symbol	Manufacturer / Model / Description	Qty.	
⬮	Alliance IT150 Transformer	1	
⊕	Alliance Outdoor Lighting PL200-LED-Walk Light Brass Area Light Fixture. 17" to 27" H Hat 7" Diameter. Order code: PL200, Brass, (AB) Aged Brass, Standard Ground Stake Lamp: LBIPIN-200lm, 2.5W/3.75VA, 2700K.	53	
⊙	Wall Light - SL 100 - Wall Light Brass Ledge Light Fixture. 3.75" W x 1.75" D. Order code: SL 100, Brass, (AB) Aged Brass Lamp: LBIPIN-200lm, 2.5W/3.75VA, 2700K.	12	
⬮	BBQ Goose Neck Light Designer's Edge #L856	2	

- KEY LEGEND**
- 1 Permeable Pavers Driveway
 - 2 Fountain surrounded by perennials
 - 3 Travertine Path 4'-0" wide
 - 4 Pedestrian Iron Gate
 - 5 Travertine Patio flanked with Canary Island Palms
 - 6 Screening Hedge
 - 7 Rose Garden
 - 8 Topiary Hedge with Flower Beds
 - 9 Gravel Seating Area
 - 10 Driveway 12'-0" wide
 - 11 Balustrade
 - 12 Retaining Walls - Stucco Finish 3'-0" high max.
 - 13 Pool & SPA 18' x 37' with shear descent wall
 - 14 Artificial Turf
 - 15 Iron Fence & Gate
 - 16 Travertine Patio Tables w/ umbrellas
 - 17 Existing Stucco Wall
 - 18 Pool Equipment Enclosure Stucco Wall 4'-0" high
 - 19 Outdoor Kitchen
 - 20 Fountain
 - 21 Wood Fence & Gate 6'-0" high



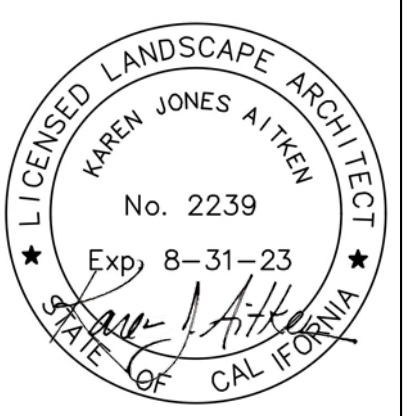
Note: All Retaining Walls to be CMU w/ Stucco Finish
 Exterior Paint - Kelly Moore Acrylic Elastomeric.
 Color Benjamin Moore #CSP-375 LRV 41.21 to match House Color.
 Caps - SUI Stone Antique Scabos Dark Travertine LRV ± 30
 36" high max. Refer to Civil Engineers plans for Wall Elevations

REVISIONS	BY

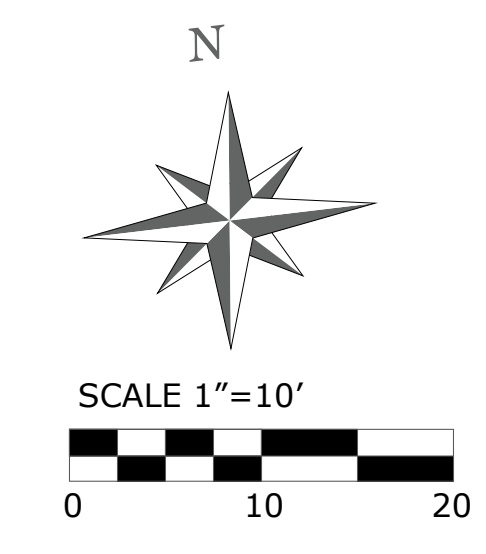


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VUPPALA RESIDENCE
 15581 Glen Una Dr, Los Gatos, CA.
LIGHTING & MATERIAL PLAN



DATE	12-13-22
SCALE	1"=10'-0"
DRAWN	AD
JOB	VUPPALA



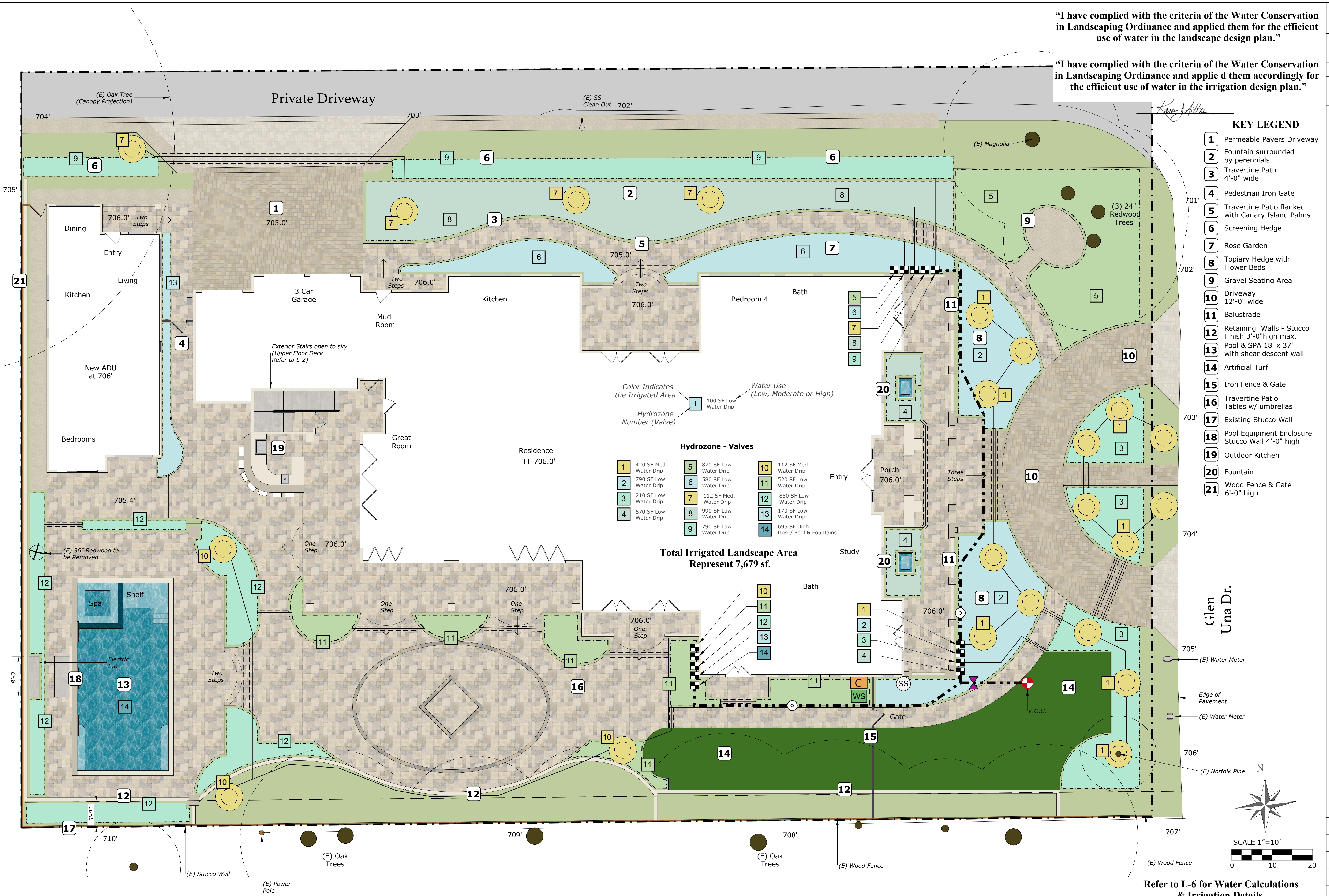
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* NOTES (E) = Existing

REVISIONS	BY

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them for the efficient use of water in the landscape design plan."

"I have complied with the criteria of the Water Conservation in Landscaping Ordinance and applied them accordingly for the efficient use of water in the irrigation design plan."



- KEY LEGEND**
- 1 Permeable Pavers Driveway
 - 2 Fountain surrounded by perennials
 - 3 Travertine Path 4'-0" wide
 - 4 Pedestrian Iron Gate
 - 5 Travertine Patio flanked with Canary Island Palms
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 - 18 Pool Equipment Enclosure Stucco Wall 4'-0" high
 - 19 Outdoor Kitchen
 - 20 Fountain
 - 21 Wood Fence & Gate 6'-0" high

Color Indicates the Irrigated Area

Hydrozone Number (Valve)

Water Use (Low, Moderate or High)

100 SF Low Water Drip

Hydrozone - Valves

1 420 SF Med. Water Drip	5 870 SF Low Water Drip	10 112 SF Med. Water Drip
2 790 SF Low Water Drip	6 580 SF Low Water Drip	11 520 SF Low Water Drip
3 210 SF Low Water Drip	7 112 SF Med. Water Drip	12 850 SF Low Water Drip
4 570 SF Low Water Drip	8 990 SF Low Water Drip	13 170 SF Low Water Drip
	9 790 SF Low Water Drip	14 695 SF High Hose/ Pool & Fountains

Total Irrigated Landscape Area Represent 7,679 sf.



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VUPPALA RESIDENCE
 15581 Glen Una Dr, Los Gatos, CA.
IRRIGATION PLAN



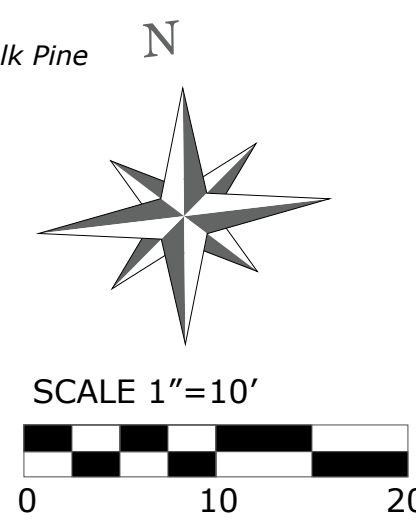
DATE 12-13-22
 SCALE 1"=10'-0"
 DRAWN AD
 JOB VUPPALA

L-5

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* NOTES (E) = Existing

Refer to L-6 for Water Calculations & Irrigation Details



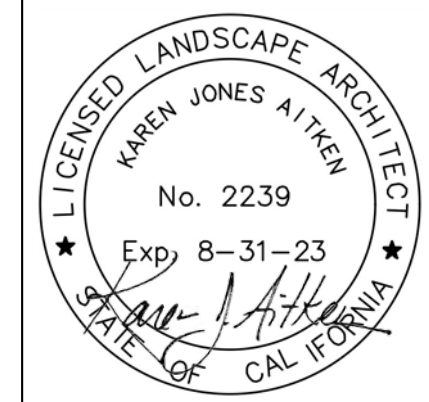


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VUPPALA RESIDENCE
15581 Glen Una Dr, Los Gatos, CA.

WATER CALCULATIONS
& IRRIGATION DETAILS



DATE 02-01-23
SCALE 1"=10'-0"
DRAWN AD
JOB VUPPALA

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM IS TO BE INSTALLED IN CONFORMANCE WITH ALL LOCAL CODES.
2. THIS IRRIGATION DESIGN IS DIAGRAMMATIC IN NATURE AND DOES NOT REPRESENT AN EXACT LAYOUT. THE CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS IN HEAD, VALVE, AND PIPING LAYOUT. FOR GRAPHIC CLARITY, PIPING MAY BE SHOWN OUTSIDE OF PLANTING AREAS BUT SHOULD BE INSTALLED IN BEDS WHENEVER POSSIBLE.
3. REMOTE CONTROL VALVES SHALL BE INSTALLED FLUSH WITH FINISH GRADE AND SHOULD BE INSTALLED IN PLANTING AREAS ONLY. USE EXISTING VALVE BOXES WHEN POSSIBLE.
4. WHERE PIPE PASSES UNDER DRIVING SURFACES, AND WALKS PROVIDE PVC SLEEVES AS NOTED ON PLANS. CONTRACTOR TO USE EXISTING SLEEVING WHEN POSSIBLE AND IS TO LOCATE ON SITE.
5. CONTRACTOR TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES AND UNDERGROUND STRUCTURES PRIOR TO EXCAVATION OF TRENCHES. CONTRACTOR TO REPAIR ANY DAMAGES CAUSED BY, OR DURING THE PERFORMANCE OF HIS WORK AT NO EXTRA COST TO THE OWNER.
6. A DIAGRAM OF THE IRRIGATION PLAN SHOWING HYDROZONES SHALL BE KEPT WITH THE IRRIGATION CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
7. AN IRRIGATION AUDIT REPORT SHALL BE COMPLETED BY A CERTIFIED IRRIGATION AUDITOR AT THE TIME OF FINAL INSPECTION

IRRIGATION KEY

- Irrigation Lateral Line: 1 in. PVC Class 200
- Irrigation Mainline: 1 in. PVC Schedule 40
- Pipe Sleeve: PVC Class 200 - Typical pipe sleeve for irrigation pipe. Pipe sleeve size shall allow for irrigation piping and their related couplings to easily slide through sleeving material. Extend sleeves 18 inches beyond edges of paving or construction.
- Hunter ICZ-101-25-LF**
Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 25psi. Flow Range: .5-15 GPM. 150 mesh stainless steel screen.
- Hunter HFS-150**
Flow Sensor for use with ACC controller, 1" Schedule 40 Sensor Body, 24 VAC, 2 amp.
- Master Shut Off Valve**
- Hunter Dripline HDL-06-12-CV**
Hunter Dripline w/ 0.9 GPH emitters every 12 in. Dripline laterals spaced at 12" apart. Install with Hunter PLD barbed or PLD-LOC fittings.
- Tree Ring Irrigation**
Dripline w/ 0.9 drip emitters placed every 12 in. Inner ring 12" from plant. Outer ring 30" from plant. Place tie down every 4' in loam and 5' in clay.
- Hunter ACC-1200**
12 Station Outdoor Modular Controller. No Module Required. High-End Commercial Use. Metal Cabinet.
- Hunter SOIL-CLIK**
The Soil-Clk probe uses proven technology to measure moisture within the root zone. When the probe senses that the soil has reached its desired moisture level, it will shut down irrigation, preventing water waste.
- Hunter Solar-Sync**
Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket. Wired.

MAWA EPPT and ETWU Calculations

Project Name: Vuppala Residence
Project Location: 15581 Glen Una Dr, Los Gatos, CA.
Total Landscape Area: 7,679.0 sq. ft.
Date: 10/31/22

MAWA CALCULATION

$MAWA = (Eto) .62[(0.55 \times LA) + (1-ETAF \times SLA)]$

MAWA = Maximum Applied Water Allowance (gallons per year)
Eto = Reference Evapotranspiration (inches per year)
.62 = Conversion Factor (to gallons)
0.55 = ET Adjustment Factor (ETAF)
LA = Landscape Area including SLA (square feet)
0.45 = Additional Water Allowance for SLA
SLA = Special Landscape Area (square feet)

Eto =	42.9
Conversion	0.62
ETAF =	0.55
LA =	7,679
SLA =	0
MAWA =	112,335.3 gallons per year
	15,018.1 cubic feet per year

MAWA with EPPT

$MAWA = (Eto-EPPT)(.62)[(0.55 \times LA) + (1-ETAF \times SLA)]$

EPPT = 25% of Annual precipitation

Eto =	42.9
EPPT =	5
ETAF =	0.55
LA =	7,679
SLA =	0
MAWA w/ EPPT =	99,265.1 gallons per year
	13,270.9 cubic feet

ETWU CALCULATION

$ETWU = (Eto) .62[(PF)E(LA)]$

ETWU = Estimated Total Water Use Per Year (gallons)
Eto = Reference Evapotranspiration
PF = Plant Factor from WUCOLS (Region 2, Water Use: H 0.7 - 0.9, M 0.4 - 0.6, L 0.1 - 0.3, VL < 0.1, All Turf 0.8)
LA = Landscape Area (High, Medium, and low water use areas)(square feet)
SLA = Special Landscape Area
.62 = Conversion Factor
IE = Irrigation Efficiency (drip spray and bubblers .81, sub surface .81, spray sprinklers .75)
ET Adjustment Factor (ETAF) .55 for Residential and .45 for Non Residential

Reference Evapotranspiration (Eto) 42.9 Los Gatos, CA

REGULAR LANDSCAPE AREAS

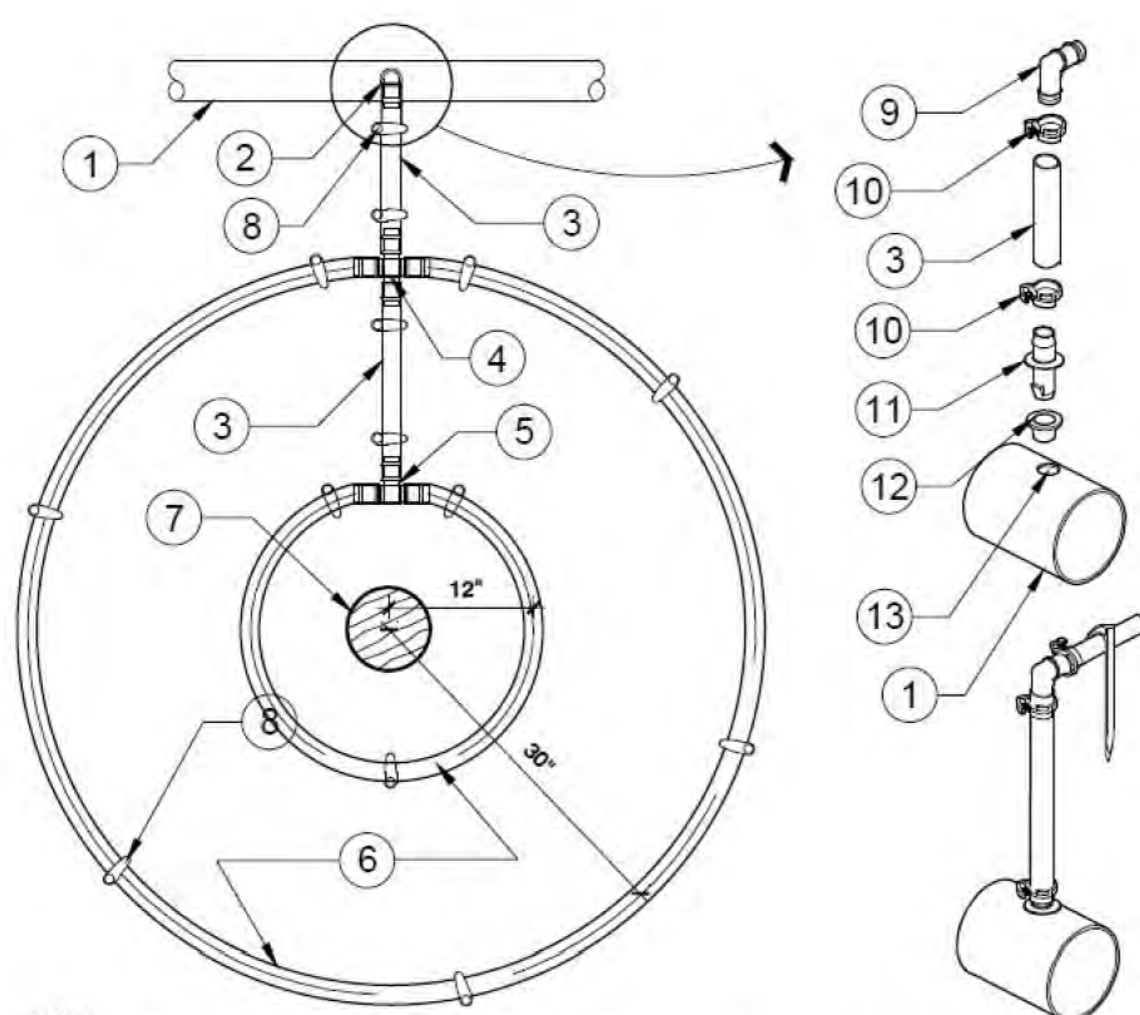
Hydrozone #/ Plant Description	Irrigation Method	Plant Factor (PF)	Irrigation Efficiency (IE)	ETAF (PF)(IE)	Landscape Area (sq. ft.)	ETAF x Area	ETWU
1. Med Water User/ Trees	Drip	0.4	0.81	0.49382716	420.0	207.4	5,516.6
2. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037	790.0	292.6	7,782.4
3. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037	210.0	77.8	2,068.7
4. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037	570.0	211.1	5,615.1
5. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037	870.0	322.2	8,570.5
6. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037	580.0	214.8	5,713.6
7. Med Water User/ Trees	Drip	0.4	0.81	0.49382716	112.0	55.3	1,471.1
8. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037	990.0	366.7	9,752.6
9. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037	790.0	292.6	7,782.4
10. Med Water User/ Trees	Drip	0.4	0.81	0.49382716	112.0	55.3	1,471.1
11. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037	520.0	192.6	5,122.6
12. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037	850.0	314.8	8,373.4
13. Low Water User/ Shrubs	Drip	0.3	0.81	0.37037037	170.0	63.0	1,674.7
Fountains	Hose	0.8	0.81	0.987654321	695.0	686.4	18,257.4
Totals					7,679.0	3,352.6	89,172.3
ETWU TOTAL							89,172.3
MAWA							112,335.3

ETAF CALCULATIONS

Regular Landscape Areas

Total ETAF x Area	3,352.6
Total Area	7,679.0
Average ETAF	0.4

Average ETAF for Regular Landscape Areas must be .55 or below for residential areas, and .45 or below for non residential areas.

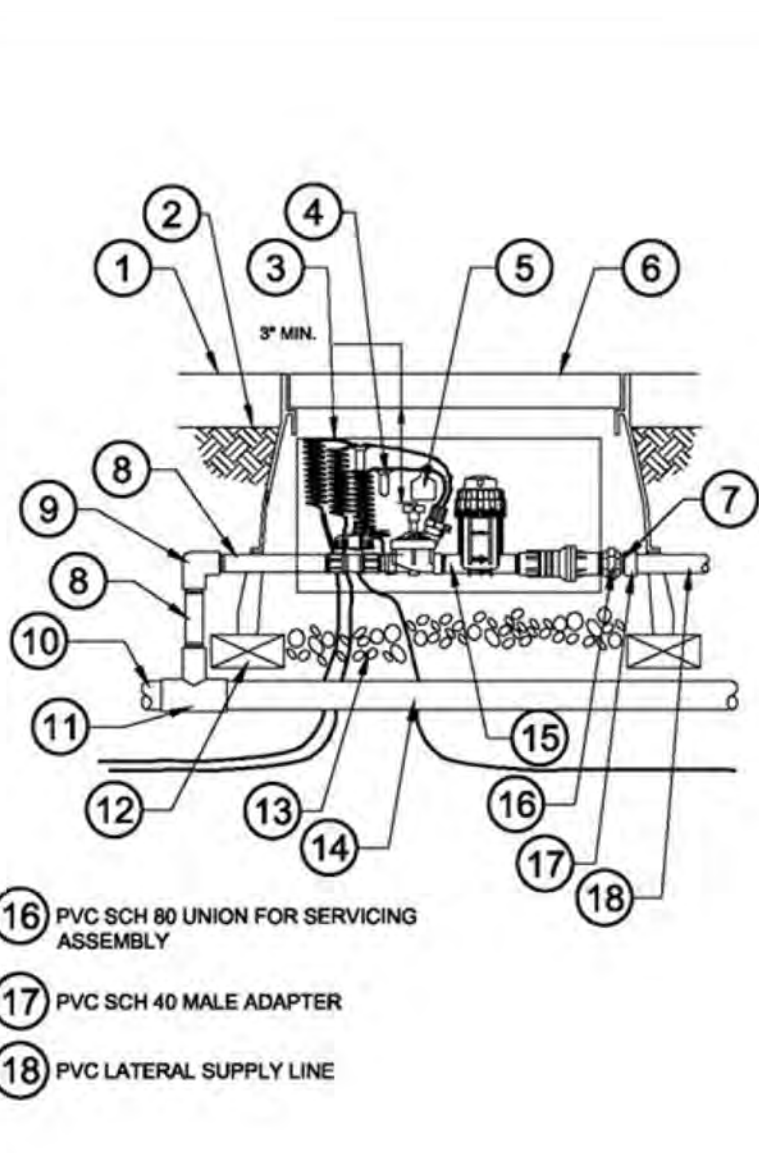


NOTE: PLACE TIE DOWN STAKES EVERY 3 FT. IN SAND, 4 FT. IN LOAM, AND 5 FT. IN CLAY, AS WELL AS AT ALL CHANGE OF DIRECTION SUCH AS AT TEES OR ELLS.
DRIPLINE TO LATERAL "XPANDO" ADAPTER CONNECTION DETAIL

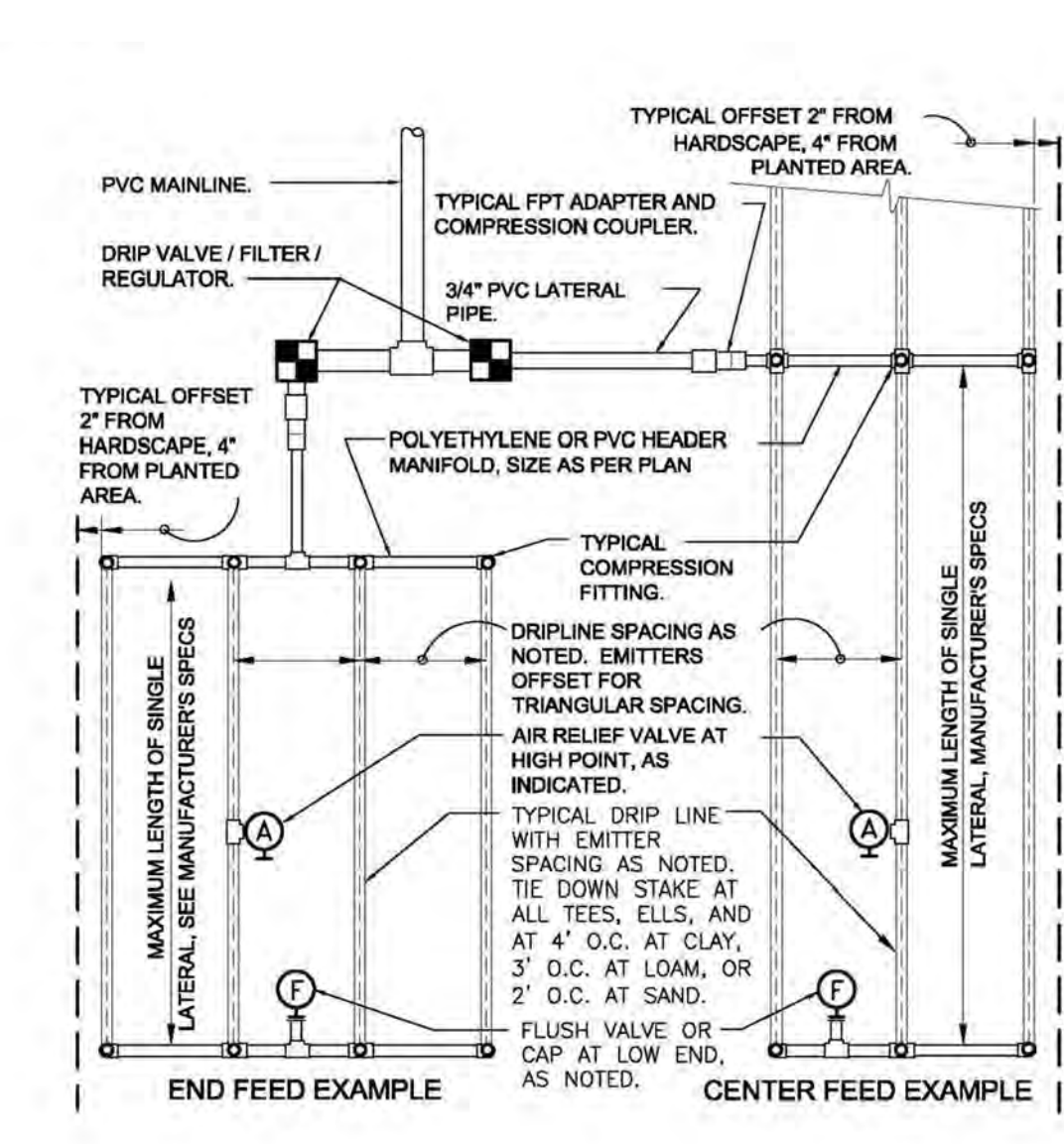
- 1 PVC LATERAL SUPPLY PIPE, SIZE AS PER PLAN WITH MINIMUM SIZE 1 1/2" DIAMETER.
- 2 DRIPLINE CONNECTION TO BELOW GRADE LATERAL PIPE. SEE DRIPLINE TO LATERAL "XPANDO" ADAPTER CONNECTION DETAIL.
- 3 1/2" FLOYETHYLENE BLANK TUBING, AS REQUIRED.
- 4 BARB CROSS INSERT FITTING.
- 5 BARB TEE INSERT FITTING.
- 6 AT-GRADE DRIPLINE, INNER RING 12" FROM PLANT, OUTER RING 30" FROM PLANT. DRIPLINE TO BE 0.9GPH EMITTERS AT 12" O.C.
- 7 PLANT TRUNK.
- 8 TYPICAL ANTELCO ASTA TIE-DOWN STAKE. SEE NOTES.
- 9 DRIPLINE BARBED INSERT ELL.
- 10 RATCHET CLAMP AT ALL BARBED CONNECTIONS ANTELCO PART NO. 44345.
- 11 INSERT ADAPTER, ANTELCO "XPANDO" 13MM X 14MM, PART NO. 45595.
- 12 13MM ANTELCO "CAPO": RUBBER GROMMET, NO. 45735.
- 13 DRILL 5/8" HOLE IN PVC LATERAL PIPE WHERE REQUIRED. YOU MUST USE A "FORSTNER" DRILL BIT FOR DRILLING INTO PVC. REMOVE ANY EXCESS BURRS OR ROUGH EDGES.

- 1 TOP OF MULCH
- 2 FINISH GRADE
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATERPROOF CONNECTION (1 OF 2)
- 5 ID TAG
- 6 JUMBO VALVE BOX WITH COVER (TAN IN COLOR)
- 7 PVC SCH 80 NIPPLE, CLOSE (1 OF 3)
- 8 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 9 PVC SCH 40 ELL
- 10 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 11 PVC SCH 40 TEE OR ELL
- 12 BRICK (1 OF 4)
- 13 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
- 14 PVC MAINLINE
- 15 DRIP CONTROL ZONE KIT (SEE IRRIGATION SCHEDULE)

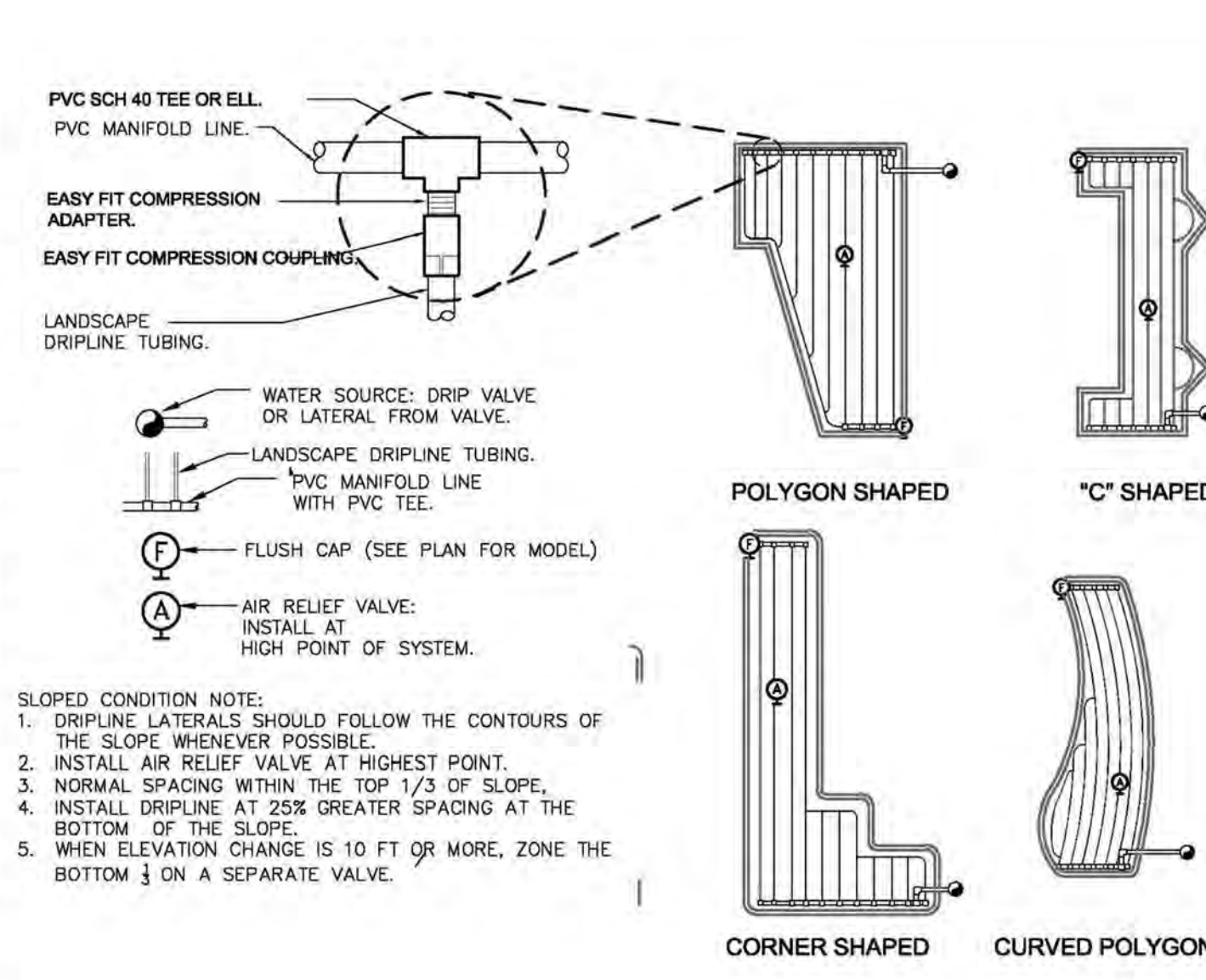
DRIP CONTROL ZONE



16 PVC SCH 80 UNION FOR SERVICING ASSEMBLY
17 PVC SCH 40 MALE ADAPTER
18 PVC LATERAL SUPPLY LINE



TYPICAL DRIP UT



SLOPED CONDITION NOTE:
1. DRIPLINE LATERALS SHOULD FOLLOW THE CONTOURS OF THE SLOPE, WHENEVER POSSIBLE.
2. INSTALL AIR RELIEF VALVE AT HIGHEST POINT.
3. NORMAL SPACING WITHIN THE TOP 1/3 OF SLOPE.
4. INSTALL DRIPLINE AT 25% GREATER SPACING AT THE BOTTOM OF THE SLOPE.
5. WHEN ELEVATION CHANGE IS 10 FT OR MORE, ZONE THE BOTTOM 1/3 ON A SEPARATE VALVE.

COUNTY OF SANTA CLARA

General Construction Specifications

GENERAL CONDITIONS

- 1. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS AND/OR GEOTECHNICAL REPORT PREPARED BY... 2. THIS REPORT IS SUPPLEMENTED AND DATED... 3. THE COUNTY OF SANTA CLARA STANDARD SPECIFICATIONS... 4. DEVELOPER IS RESPONSIBLE FOR INSTALLATION OF THE IMPROVEMENTS SHOWN ON THESE PLANS... 5. DEVELOPER SHALL BE RESPONSIBLE FOR CORRECTION OF ANY ERRORS OR OMISSIONS... 6. DEVELOPER SHALL OBTAIN ENCROACHMENT PERMITS FROM THE SANTA CLARA VALLEY WATER DISTRICT AND CALIFORNIA DEPARTMENT OF TRANSPORTATION... 7. DEVELOPER SHALL REMOVE OR TRIM ALL TREES TO PROVIDE AN UNOBSTRUCTED FIFTEEN (15) FOOT VERTICAL CLEARANCE FOR ROADWAY AREA... 8. ALL PERSONS MUST COMPLY WITH SECTION 4442 OF THE PUBLIC RESOURCES CODE AND SECTION 13005 OF THE HEALTH AND SAFETY CODE... 9. UPON DISCOVERING OR UNEARTHING ANY BURIAL SITE AS EVIDENCED BY HUMAN SKELETAL REMAINS OR ARTIFACTS... 10. THESE PLANS ARE FOR THE WORK DESCRIBED IN THE SCOPE OF WORK ONLY... 11. ANY DEVIATION FROM THESE APPROVED PLANS SHALL BE RE-APPROVED IN WRITING BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION.

CONSTRUCTION STAKING

- 1. THE DEVELOPER'S ENGINEER IS RESPONSIBLE FOR THE INITIAL PLACEMENT AND REPLACEMENT OF CONSTRUCTION GRADE STAKES... 2. THE UPPER LINE STAKES OR ROAD MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE RE-PLACED BY DEVELOPER'S ENGINEER AND LICENSED LAND SURVEYOR... 3. PROPERTY LINE STAKING MUST BE PERFORMED BY THE PROJECT ENGINEER OR LAND SURVEYOR TO ESTABLISH OR RE-ESTABLISH THE PROJECT BOUNDARY... 4. PROPER CONSTRUCTION STAKES SHALL BE SET IN THE FIELD BY THE PROJECT ENGINEER OR LAND SURVEYOR AND VERIFIED BY THE COUNTY INSPECTOR PRIOR TO THE COMMENCEMENT OF GRADING.

CONSTRUCTION INSPECTION

- 1. CONTRACTOR SHALL NOTIFY PERMIT INSPECTION UNIT, SANTA CLARA COUNTY PRIOR TO COMMENCING WORK AND FOR FINAL INSPECTION WORK AND SITE... 2. THE COUNTY REQUIRES A MINIMUM OF 24 HOURS ADVANCE NOTICE FOR GENERAL INSPECTION... 3. INSPECTION BY SANTA CLARA COUNTY SHALL BE LIMITED TO INSPECTION OF MATERIALS AND PROCESSES OF CONSTRUCTION... 4. DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE MUST SUBMIT WRITTEN REQUEST FOR FINAL INSPECTION AND ACCEPTANCE... 5. THE CONTRACTOR SHALL PROVIDE TO THE COUNTY CONSTRUCTION INSPECTOR WITH PAD ELEVATION AND LOCATION CERTIFICATES...

SITE PREPARATION (CLEARING AND GRUBBING)

- 1. EXISTING TREES AUTHORIZED FOR REMOVAL, ROOTS, AND FOREIGN MATERIAL IN AREAS TO BE IMPROVED WILL BE REMOVED TO AN AUTHORIZED DISPOSAL SITE AS FOLLOWS: A) TO A MINIMUM DEPTH OF TWO FEET BELOW THE FINISHED GRADE... B) FROM AREAS AFFECTED BY THE PROPOSED GRADING EXCEPT WHERE NOTED ON THE PLANS... 2. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO MOVE OR RELOCATE UTILITY POLES AND OTHER OBSTRUCTIONS IN THE WAY OF CONSTRUCTION.

UTILITY LOCATION, TRENCHING & BACKFILL

- 1. CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-277-2600 A MINIMUM OF 24 HOURS BEFORE BEGINNING UNDERGROUND WORK... 2. ACCURATE VERIFICATION AS TO SIZE, LOCATION, AND DEPTH OF EXISTING UNDERGROUND CONDUITS OR FACILITIES SHALL BE THE INDIVIDUAL CONTRACTOR'S RESPONSIBILITY... 3. ALL UNDERGROUND INSTALLATIONS SHALL BE IN PLACE AND THE TRENCH BACKFILLED AND COMPACTED BEFORE PLACING AGGREGATE BASE MATERIAL... 4. TRENCH BACKFILL IN EXISTING PAVEMENT AREAS SHALL BE SAND MATERIAL IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE STANDARD SPECIFICATIONS... 5. TRENCH BACKFILL IN NEW CONSTRUCTION AREAS SHALL BE SAND MATERIAL COMPACTED TO A RELATIVE COMPACTION OF AT LEAST 90%... 6. BACKFILL AND TRENCH RESTORATION REQUIREMENTS SHALL APPLY AS MINIMUM STANDARDS TO ALL UNDERGROUND FACILITIES INSTALLED BY OTHER FIRMS OR PUBLIC AGENCIES.

RETAINING WALLS

- 1. REINFORCED CONCRETE AND CONCRETE MASONRY UNIT RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR AND ENGINEER OF RECORD PRIOR TO POURING THE FOUNDATION AND FORMING THE WALL... 2. SEGMENTAL BLOCK RETAINING WALLS SHALL HAVE FOUNDATION AND REINFORCEMENT INSPECTED BY THE COUNTY ENGINEERING INSPECTOR.

GRADING

- 1. EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO A COUNTY APPROVED DISPOSAL SITE... 2. EXCESS CUT MATERIAL SHALL NOT BE SPREAD OR STOCKPILED ON THE SITE... 3. SURPLUS EARTH FILL MATERIAL SHALL BE PLACED IN A SINGLE (8" MAX) THICK LAYER COMPACTED TO WITHSTAND WEATHERING IN THE AREA(S) DELINEATED ON THE PLAN... 4. NO ORGANIC MATERIAL SHALL BE PLACED IN ANY FILL... 5. THE UPPER 6" OF SUBGRADE BELOW DRIVEWAY ACCESS ROAD OR PARKING AREA SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY... 6. MAXIMUM CUT SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL... MAXIMUM FILL SLOPE SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

Table with columns: LOCATION, OUT (C.Y.), FILL (C.Y.), NET (C.Y.), MAX CUT HT., MAX FILL HT. Rows include RESIDENCY, ACCESSORY STRUCTURE, POOL/HARDSCAPE, LANDSCAPE, DRIVEWAY, OFF SITE IMPROVEMENTS, and TOTAL.

- NOTE: FILL VOLUMES INCLUDE 10% SHRINKAGE. EXCESS MATERIAL SHALL BE OFF HAULED TO A COUNTY APPROVED DUMP SITE... 7. NOTIFY SOILS ENGINEER TWO (2) DAYS PRIOR TO COMMENCEMENT OF ANY GRADING WORK... 8. ALL MATERIALS FOR FILL SHOULD BE APPROVED BY THE SOILS ENGINEER BEFORE IT IS BROUGHT TO THE SITE... 9. THE UPPER 6" OF THE SUBGRADE SOIL SHALL BE SCARIFIED, MOISTURE CONDITIONED AND COMPACTED TO A MINIMUM RELATIVE COMPACTION OF 95%... 10. ALL AGGREGATE BASE MATERIAL SHALL BE COMPACTED TO A MINIMUM 95% RELATIVE COMPACTION... 11. THE UPPER LAYER PLAN REVIEW LETTER MUST BE REVIEWED AND APPROVED BY THE COUNTY GEOLOGIST PRIOR TO FINAL APPROVAL... 12. THE PROJECT GEOTECHNICAL ENGINEER SHALL PERFORM COMPACTION TESTING AND PRESENT THE RESULTS TO THE COUNTY ENGINEERING INSPECTOR PRIOR TO THE CONSTRUCTION OF ANY PAVED AREA... 13. GRADING WORK BETWEEN OCTOBER 15TH AND APRIL 15TH IS AT THE DISCRETION OF THE SANTA CLARA COUNTY GRADING OFFICIAL... 14. TOTAL DISTURBED AREA FOR THE PROJECT: 42,800 SF... 15. WDD NO. _____... 16. THE INSPECTOR MAY VERIFY THAT A VALID NOTICE OF INTENT (NOI) HAS BEEN ISSUED BY THE STATE AND THAT A CURRENT AND UP TO DATE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS AVAILABLE ON SITE.

TREE PROTECTION

- 1. FOR ALL TREES TO BE RETAINED WITH A CANOPY IN THE DEVELOPMENT AREA OR INTERFACES WITH THE LIMITS OF GRADING FOR ALL PROPOSED DEVELOPMENT ON SITE, THE TREES SHALL BE PROTECTED BY THE PLACEMENT OF RIGID TREE PROTECTIVE FENCING... A. FENCING SHOULD BE PLACED ALONG THE OUTSIDE EDGE OF THE DRIFLINE OF THE TREE OR GROVE OF TREES... B. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE CONSTRUCTION AND SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION... C. FENCING SHALL BE REPAIRED, AS NECESSARY, TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES... D. SIGNAGE STATING "WARNING - THIS FENCING SHALL NOT BE REMOVED WITHOUT PERMISSION FROM THE SANTA CLARA COUNTY PLANNING OFFICE (408) 299-5770... 2. PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY, TREE PROTECTIVE FENCING SHALL BE SECURELY IN PLACE AND INSPECTED BY THE LAND DEVELOPMENT ENGINEERING INSPECTOR... 3. SEE EXISTING TREE PROTECTION DETAILS FOR MORE INFORMATION.

ACCESS ROADS AND DRIVEWAYS

- 1. DRIVEWAY LOCATIONS SHALL BE AS SHOWN ON THE IMPROVEMENT PLANS WITH CENTERLINE STATIONING... 2. ALL DRIVEWAY OR COMMON ACCESS ROAD SECTIONS IN EXCESS OF 15 LONGITUDINAL SLOPE MUST BE PAVED WITH A MINIMUM 2-INCH ASPHALT LIFT OR FULL DEPTH CONCRETE LIFT PRIOR TO ANY COMBUSTIBLE FRAMING... 3. THE OWNER AND PRIME CONTRACTOR ARE RESPONSIBLE FOR MAINTAINING PROJECT SITE ACCESS AND NEIGHBORHOOD ACCESS FOR EMERGENCY VEHICLES AND LOCAL RESIDENTS... 4. ROADWAYS DESIGNATED AS NOT COUNTY MAINTAINED ROADS AS SHOWN ON THE PLAN WILL NOT BE ELIGIBLE FOR COUNTY MAINTENANCE UNTIL THE ROADWAYS ARE IMPROVED... 5. ALL WORK IN THE COUNTY ROAD RIGHT-OF-WAY REQUIRES AN ENCROACHMENT PERMIT FROM THE ROADS AND AIRPORTS DEPARTMENT...

STREET LIGHTING

- 1. PACIFIC GAS & ELECTRIC ELECTROLIER SERVICE FEE SHALL BE PAID BY THE DEVELOPER AND/OR HIS AUTHORIZED REPRESENTATIVE.

SANITARY SEWER

- 1. THE SANITARY SEWER AND WATER UTILITIES SHOWN ON THESE PLANS ARE NOT PART OF THIS GRADING PERMIT AND ARE SHOWN FOR REFERENCE ONLY... 2. ALL MATERIALS AND METHODS OF CONSTRUCTION OF SANITARY SEWERS SHALL CONFORM TO THE SPECIFICATIONS OF THE JURISDICTION INVOLVED...

PORTLAND CEMENT CONCRETE

- 1. CONCRETE USED FOR STRUCTURAL PURPOSES SHALL BE CLASS "A" (6 SACK PER CUBIC YARD) AS SPECIFIED IN THE STATE STANDARD SPECIFICATIONS... 2. CONCRETE PLACED MUST DEVELOP A MINIMUM STRENGTH FACTOR OF 2800 PSI IN A SEVEN-DAY PERIOD...

AIR QUALITY, LANDSCAPING AND EROSION CONTROL

- 1. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY... 2. COVER ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD... 3. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS... 4. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS... 5. SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS... 6. ALL CONSTRUCTION VEHICLES, EQUIPMENT AND DELIVERY TRUCKS SHALL HAVE A MAXIMUM IDLING TIME OF 5 MINUTES... 7. ALL VEHICLE SPEEDS ON UNPAVED ROADS SHALL BE LIMITED TO 15 MILES PER HOUR... 8. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND PROPERLY TUNED... 9. POST A SIGN THAT IS AT LEAST 32 SQUARE FEET MINIMUM HEIGHT... 10. ALL FILL SLOPES SHALL BE COMPACTED AND LEFT IN A SMOOTH AND FIRM CONDITION... 11. ALL EXPOSED DISTURBED AREAS SHALL BE SEDED WITH BROME SEED SPREAD AT THE RATE OF 5 LB. PER 1000 SQUARE FEET... 12. ALL DITCHES SHALL BE LINED PER COUNTY STANDARD SDR... 13. ALL STORM DRAINAGE STRUCTURES SHALL BE INSTALLED WITH EFFECTIVE ENTRANCE & OUTFALL EROSION CONTROLS... 14. PRIOR TO GRADING COMPLETION AND RELEASE OF THE BOND, ALL GRADED AREAS SHALL BE RESEDED IN CONFORMANCE WITH THE COUNTY GRADING ORDINANCE... 15. PERMANENT LANDSCAPING SHOWN ON THE ATTACHED LANDSCAPE PLAN MUST BE INSTALLED AND FIELD APPROVED BY THE COUNTY PLANNING OFFICE... 16. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR... 17. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL INSTALL AND MAINTAIN CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) ON THE PROJECT SITE AND WITHIN THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY...

SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES... 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS... 3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE... 4. THE OWNER SHALL PREPARE AND PRESENT A WINTERIZATION REPORT TO THE COUNTY INSPECTOR FOR REVIEW PRIOR TO OCTOBER 15TH OF EVERY YEAR... 5. PREVENTION OF POLLUTANTS IN STORM WATER DISCHARGES FROM THE CONSTRUCTION SITE AND THE CONTRACTOR'S MATERIAL AND EQUIPMENT LAYDOWN / STAGING AREAS... 6. PREVENTION OF TRACKING OF MUD, DIRT, AND CONSTRUCTION MATERIALS ONTO THE PUBLIC ROAD RIGHT-OF-WAY... 7. PREVENTION OF DISCHARGE OF WATER RUN-OFF DURING DRY AND WET WEATHER CONDITIONS ONTO THE PUBLIC ROAD RIGHT-OF-WAY... 8. THE OWNER, CONTRACTOR, AND ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES SHALL ENSURE THAT ALL TEMPORARY CONSTRUCTION FACILITIES, INCLUDING BUT NOT LIMITED TO CONSTRUCTION MATERIALS, DELIVERIES, HAZARDOUS AND NON-HAZARDOUS MATERIAL STORAGE, EQUIPMENT, TOOLS, PORTABLE TOILETS, CONCRETE WASHOUT, GARBAGE CONTAINERS, LAYDOWN YARDS, SECONDARY CONTAINMENT AREAS, ETC. ARE LOCATED OUTSIDE THE SANTA CLARA COUNTY ROAD RIGHT-OF-WAY... 9. EROSION CONTROL PLAN IS A GUIDE AND SHALL BE AMENDED AS NECESSARY TO PREVENT EROSION AND ILLICIT DISCHARGES ON A YEAR AROUND BASIS... 10. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW... 11. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES... 12. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

STORM DRAINAGE AND STORMWATER MANAGEMENT

- 1. DEVELOPER IS RESPONSIBLE FOR ALL NECESSARY DRAINAGE FACILITIES WHETHER SHOWN ON THE PLANS OR BY THE OWNER OR HIS SUCCESSOR... 2. DROP INLETS SHALL BE COUNTY STANDARD TYPE 5 UNLESS OTHERWISE NOTED ON THE PLANS... 3. WHERE CULVERTS ARE INSTALLED THE DEVELOPER SHALL BE RESPONSIBLE FOR GRADING THE OUTLET DITCH TO DRAIN TO AN EXISTING SWALE OR TO AN OPEN AREA FOR SHEET FLOW... 4. UPON INSTALLATION OF DRIVEWAY CONNECTIONS, PROPERTY OWNERS SHALL PROVIDE FOR THE UNINTERRUPTED FLOW OF WATER IN ROADSIDE DITCHES... 5. THE COUNTY SHALL INSPECT UNDERGROUND DRAINAGE IMPROVEMENTS AND STORMWATER MANAGEMENT FEATURES PRIOR TO BACKFILL.

AS-BUILT PLANS STATEMENT

THIS IS A TRUE COPY OF THE AS-BUILT PLANS. THERE () WERE () WERE NOT) MINOR FIELD CHANGES - MARKED WITH THE SYMBOL (). THERE () WERE () WERE NOT) PLAN REVISIONS INDICATING SIGNIFICANT CHANGES REVIEWED BY THE COUNTY ENGINEER AND MARKED WITH THE SYMBOL Δ.

ENGINEER'S STATEMENT

I HEREBY STATE THAT THESE PLANS ARE IN COMPLIANCE WITH ADOPTED COUNTY STANDARDS, THE APPROVED TENTATIVE MAP (OR PLAN) AND CONDITIONS OF APPROVAL PERTAINING THERETO DATED FILE(S) NO. _____

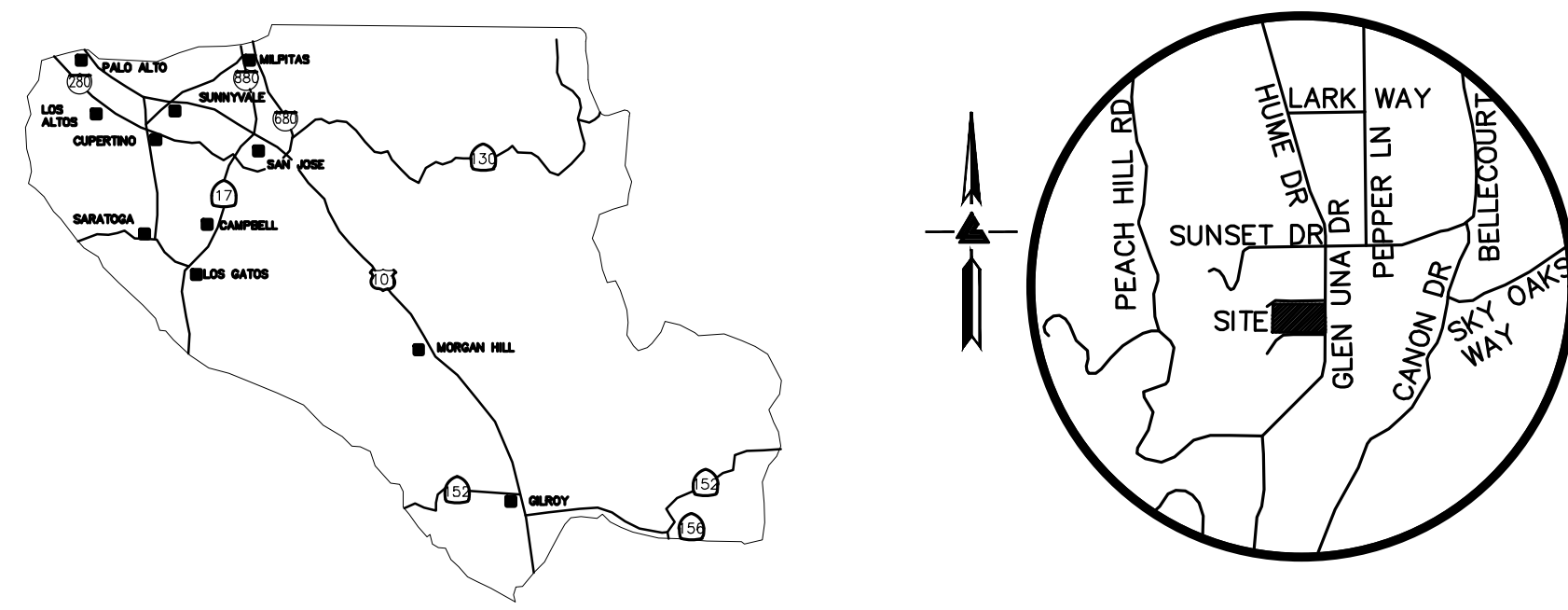
DATE _____ SIGNATURE _____

COUNTY ENGINEER'S NOTE

ISSUANCE OF A PERMIT AUTHORIZING CONSTRUCTION DOES NOT RELEASE THE DEVELOPER, PERMITTEE OF ENGINEER FROM RESPONSIBILITY FOR THE CORRECTION OF ERRORS OR OMISSIONS CONTAINED IN THE PLANS. IF, DURING THE COURSE OF CONSTRUCTION, THE PUBLIC INTEREST REQUIRES A MODIFICATION (OR DEPARTURE FROM) THE SPECIFICATIONS OF THE PLANS, THE COUNTY SHALL HAVE THE AUTHORITY TO REQUIRE THE SUSPENSION OF WORK, AND THE NECESSARY MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.

DATE _____ SIGNATURE _____

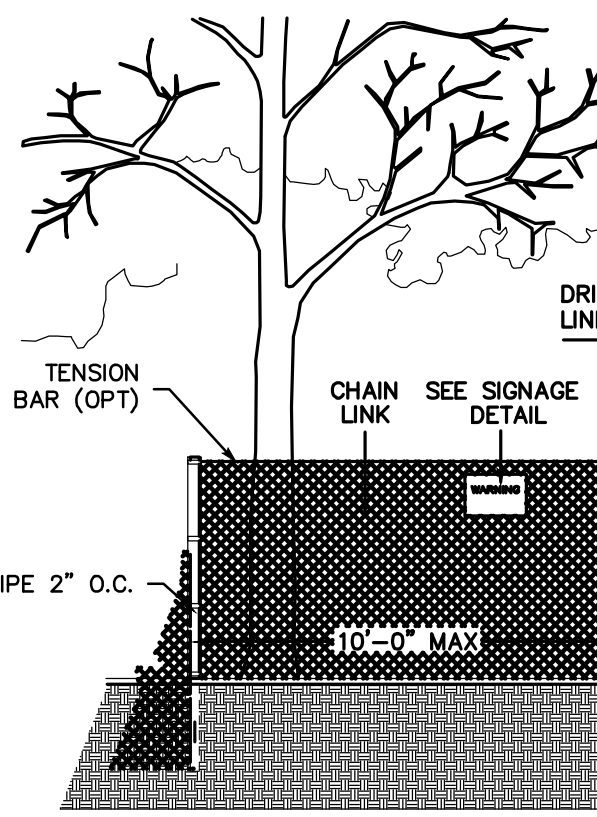
R.C.E. NO. _____ EXPIRATION DATE _____



COUNTY LOCATION MAP

SURVEY MONUMENT PRESERVATION

- 1. THE LANDOWNER / CONTRACTOR MUST PROTECT AND ENSURE THE PERPETUATION OF SURVEY MONUMENTS AFFECTED BY CONSTRUCTION ACTIVITIES... 2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL LOCATE, STAKE, AND FLAG OR OTHERWISE IDENTIFY WITH PAINT OR OTHER MARKINGS ALL PERMANENT SURVEY MONUMENTS... 3. THE LANDOWNER, CONTRACTOR AND/OR ANY PERSON PERFORMING CONSTRUCTION ACTIVITIES THAT WILL OR MAY DISTURB AN EXISTING MONUMENT, CORNER STAKE, OR ANY OTHER PERMANENT SURVEYED MONUMENT SHALL CAUSE TO HAVE A LICENSED LAND SURVEYOR OR CIVIL ENGINEER, AUTHORIZED TO PRACTICE SURVEYING, ENSURE THAT A CORNER RECORD AND/OR RECORD OF SURVEY ARE FILED WITH THE COUNTY SURVEYOR'S OFFICE...



EXISTING TREE PROTECTION DETAILS

- 1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN... 2. FENCE SHALL BE MINIMUM 5 FEET TALL, CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/DURABILITY)... 3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART... 4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD... 5. A SIGN THAT INCLUDES THE WORDS "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE" SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

PROJECT TITLE VUPPALA RESIDENCE 15581 GLEN UNA DRIVE LOS GATOS UNINCORPORATED

SEE SHEET C-1.1 FOR LEGEND & ABBREVIATIONS

SCOPE OF WORK

- 1. THE DEVELOPER IS RESPONSIBLE FOR THE INSTALLATION OF THE WORK PROPOSED ON THE EROSION CONTROL PLAN... 2. CONSTRUCTION OF NEW HOUSE AND ADU... 3. CONSTRUCTION OF DRIVEWAY AND PARKING AREAS... 4. CONSTRUCTION OF PATIO AND PATHWAY... 5. CONSTRUCTION OF SWIMMING POOL... 6. CONSTRUCTION OF STORM WATER FACILITIES... 7. CONSTRUCTION RETAINING WALLS

SHEET INDEX

Table with columns: SHEET NO., TITLE. Rows include C-1.0 TITLE SHEET, C-1.1 OVERALL SITE PLAN, C-2.0 GRADING & DRAINAGE PLAN, C-3.0 UTILITY PLAN, C-4.0 SITE SECTIONS, ER-1 EROSION CONTROL PLAN, BMP-1 BEST MANAGEMENT PRACTICES, BMP-2 BEST MANAGEMENT PRACTICES, HYD-1 IMPERVIOUS SURFACE EXHIBIT, HYD-2 PROPOSED DRAINAGE EXHIBIT, TOPOGRAPHIC MAP.

LEA & BRAZE ENGINEERING, INC. CIVIL ENGINEERS • LAND SURVEYORS. BAY AREA REGION: 2495 INDUSTRIAL TRWAY WEST, HAYWARD, CALIFORNIA 94545. SACRAMENTO REGION: 3017 DOUGLAS BLVD., # 300, ROSEVILLE, CA 95661.

Table with columns: Revision, Date, APN, Co. File, Sheet of. Rows include Revision 1, 2, 3.

DATE: 07/21/22 LB#: 2221289

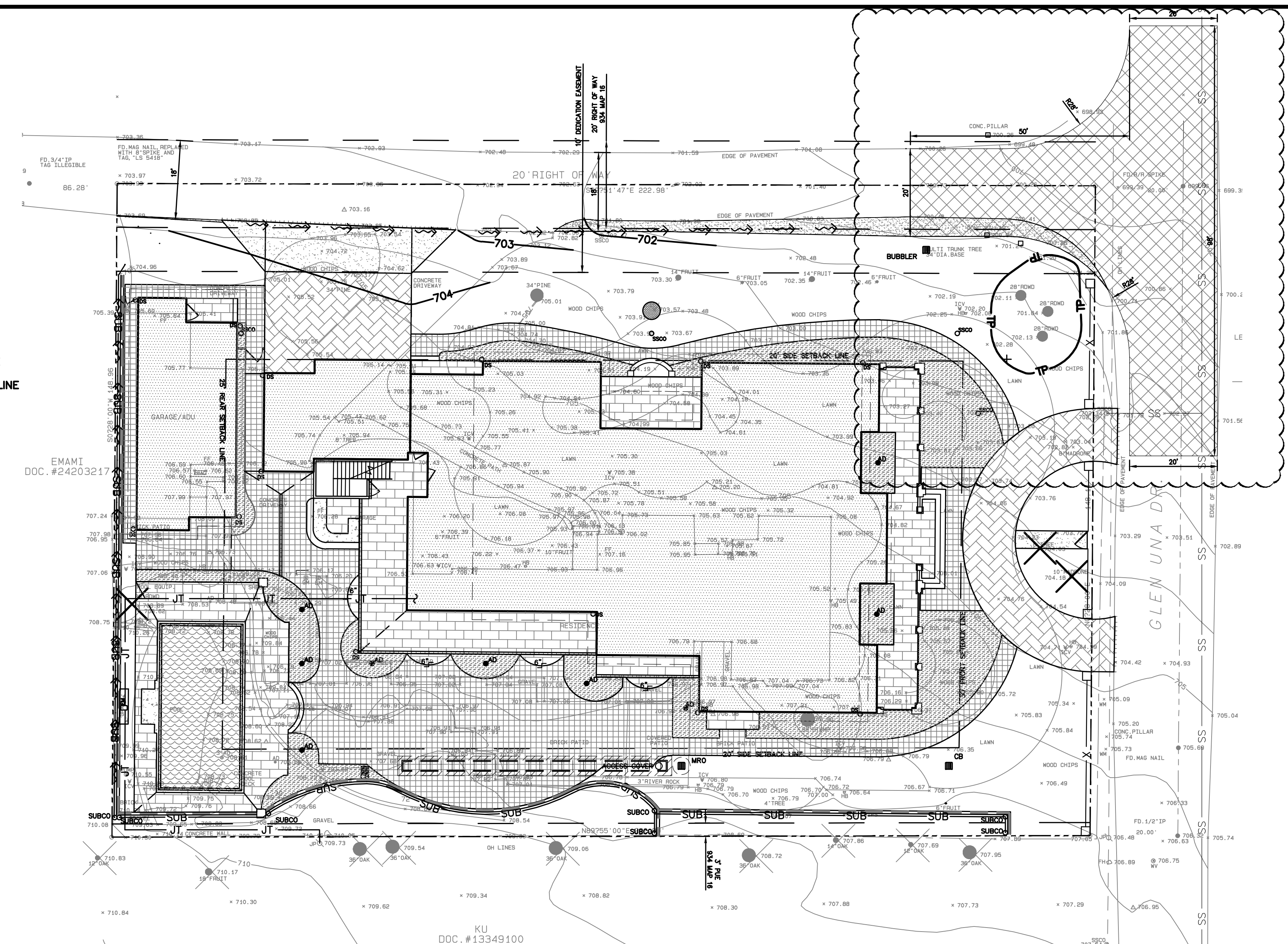
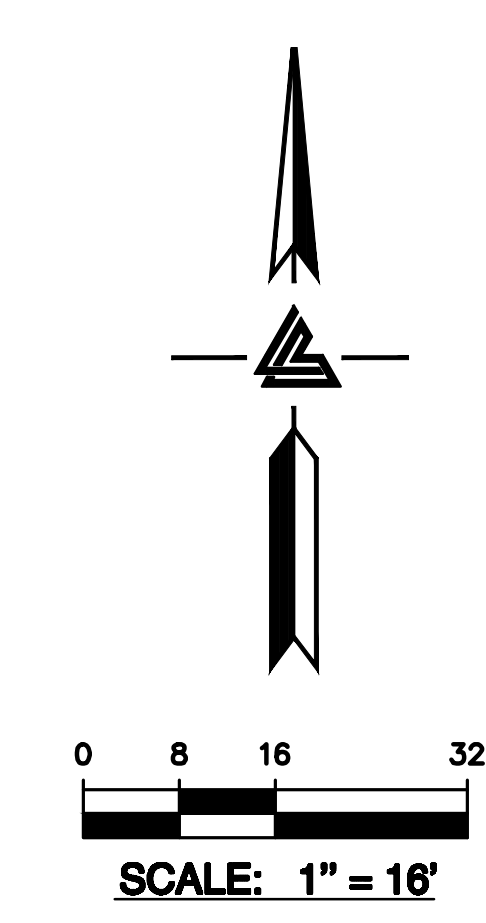


LEA & BRAZE ENGINEERING, INC.
 CIVIL ENGINEERS & LAND SURVEYORS
 REGIONAL OFFICES:
 MAIN OFFICE: 10000 RAINY MIST DRIVE, SUITE 100, LOS GATOS, CALIFORNIA 94543
 SAN JOSE OFFICE: 10000 RAINY MIST DRIVE, SUITE 100, SAN JOSE, CALIFORNIA 94543
 (510) 887-4086
 WWW.LEABRAZE.COM

VAPPALA RESIDENCE
15581 GLEN UNA DRIVE
LOS GATOS, CALIFORNIA
 APN: 510-26-007
 SANTA CLARA COUNTY

OVERALL SITE PLAN

PLAN CHECK	11-16-22	MR
CALIFRE	02-17-23	MR
REVISIONS	BY	
JOB NO:	2221289	
DATE:	07-21-22	
SCALE:	1" = 20'	
DESIGN BY:	MR	
CHECKED BY:	DY	
SHEET NO:		



LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	BOUNDARY
---	---	PROPERTY LINE
---	---	RETAINING WALL
---	---	LANDSCAPE RETAINING WALL
---	---	RAINWATER TIGHTLINE
---	---	SUBDRAIN LINE
---	---	TIGHTLINE
---	---	STORM DRAIN LINE
---	---	SANITARY SEWER LINE
---	---	WATER LINE
---	---	GAS LINE
---	---	STORM DRAIN PRESSURE LINE
---	---	SANITARY SEWER PRESSURE LINE
---	---	JOINT TRENCH
---	---	SET BACK LINE
---	---	CONCRETE VALLEY GUTTER
---	---	EARTHEN SWALE
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	AREA DRAIN
---	---	CURB INLET
---	---	STORM DRAIN MANHOLE
---	---	FIRE HYDRANT
---	---	SANITARY SEWER MANHOLE
---	---	STREET SIGN
---	---	SPOT ELEVATION
---	---	FLOW DIRECTION
---	---	DEMOLISH/REMOVE
---	---	BENCHMARK
---	---	CONTOURS
---	---	TREE TO BE REMOVED
---	---	TREE PROTECTION FENCING

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	MAX	MAXIMUM
ACC	ACCESSIBLE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
BC	BEGINNING OF CURVE	MON.	MONUMENT
B & D	BEARING & DISTANCE	MRO	METERED RELEASE OUTLET
BM	BENCHMARK	(N)	NEW
BUB	BUBBLER BOX	NO.	NUMBER
BW/FG	BOTTOM OF WALL/FINISH GRADE	NTS	NOT TO SCALE
CB	CATCH BASIN	O.C.	ON CENTER
C & G	CURB AND GUTTER	O/	OVER
CL	CENTER LINE	(PA)	PLANTING AREA
CPP	CORRUGATED PLASTIC PIPE (SMOOTH INTERIOR)	PED	PEDESTRIAN
CO	CLEANOUT	PIV	POST INDICATOR VALVE
COTG	CLEANOUT TO GRADE	PSS	PUBLIC SERVICES EASEMENT
CONC	CONCRETE	R	PROPERTY LINE
CONST	CONSTRUCTION	PP	POWER POLE
CONC COR	CONCRETE CORNER	PUE	PUBLIC UTILITY EASEMENT
CY	CUBIC YARD	PVC	POLYVINYL CHLORIDE
D	DIAMETER	R	RADIUS
DI	DROP INLET	RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE	RIM	RIM ELEVATION
EA	EACH	RW	RAINWATER
EC	END OF CURVE	R/W	RIGHT OF WAY
EG	EXISTING GRADE	S	SLOPE
EL	ELEVATIONS	S.A.D.	SEE ARCHITECTURAL DRAWINGS
EP	EDGE OF PAVEMENT	SAN	SANITARY
EQ	EQUIPMENT	SD	STORM DRAIN
EW	EACH WAY	SDMH	STORM DRAIN MANHOLE
(E)	EXISTING	SHIT	SHEET
FC	FACE OF CURB	S.L.D.	SEE LANDSCAPE DRAWINGS
FF	FINISHED FLOOR	SPEC	SPECIFICATION
FG	FINISHED GRADE	SS	SANITARY SEWER
FH	FIRE HYDRANT	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
FS	FINISHED SURFACE	ST.	STREET
G	GAGE OR GAUGE	STA	STATION
GB	GRADE BREAK	STD	STANDARD
HDPE	HIGH DENSITY CORRUGATED POLYETHYLENE PIPE	STRUC	STRUCTURAL
HORIZ	HORIZONTAL	T	TELEPHONE
HI PT	HIGH POINT	TC	TOP OF CURB
H&T	HUB & TACK	TOW	TOP OF WALL
ID	INSIDE DIAMETER	TEMP	TEMPORARY
INV	INVERT ELEVATION	TP	TOP OF PAVEMENT
JB	JUNCTION BOX	TW/FG	TOP OF WALL/FINISH GRADE
JT	JOINT TRENCH	TY	TYPICAL
JT	JOINT UTILITY POLE	VC	VERTICAL CURVE
L	LENGTH	VCP	VITRIFIED CLAY PIPE
LNDG	LANDING	VERT	VERTICAL
		W/	WITH
		W.WL	WATER LINE
		WM	WATER METER
		WWF	WELDED WIRE FABRIC

NOTES

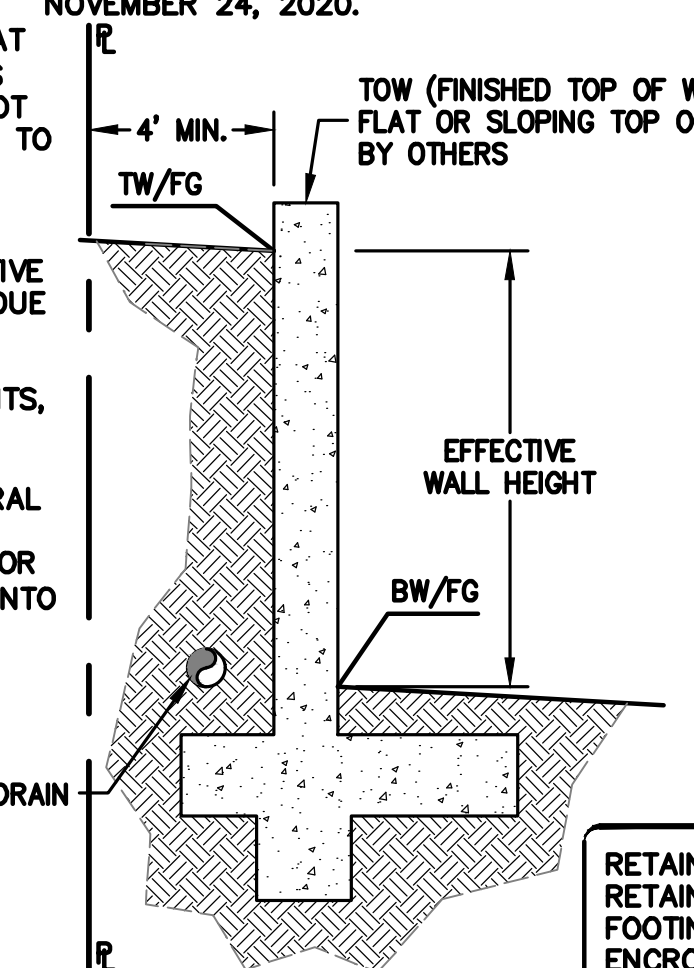
ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING) AT GROUND LEVEL.
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).
 THE AREA OF THE SURVEYED LOT IS 33,120± SQUARE FEET / 0.76± ACRES

EASEMENT NOTE

EASEMENTS ARE SHOWN PER PRELIMINARY TITLE REPORT ISSUED BY FIDELITY NATIONAL TITLE COMPANY, ORDER NO. FSBC-2062004769-DT, DATED NOVEMBER 24, 2020.

RETAINING WALL NOTES

- TW/FG REPRESENTS FINISHED EARTHEN GRADE OR PAVEMENT ELEVATION AT TOP OF WALL; NOT ACTUAL TOP OF WALL MATERIAL. BW/FG REPRESENTS FINISH EARTHEN GRADE OR PAVEMENT ELEVATION AT BOTTOM OF WALL NOT INCLUDING FILL FOUNDATION GRADES INDICATED ON THESE PLANS REFER TO THE FINISHED GRADES ADJACENT TO THE RETAINING WALL, NOT INCLUDING FOOTING, FREEBOARD, ETC.
- DIMENSIONS SHOWN IN BRACKETS SHOWN AS [X.X'] DENOTE THE EFFECTIVE WALL HEIGHT ONLY. THE ACTUAL WALL HEIGHT AND DEPTH MAY DIFFER DUE TO CONSTRUCTION REQUIREMENTS.
- REFER TO SPECIFIC WALL CONSTRUCTION DETAIL FOR STRUCTURAL ELEMENTS, FREEBOARD, AND EMBEDMENT.
- REFER TO ARCHITECTURAL, LANDSCAPE ARCHITECTURE, AND/OR STRUCTURAL PLANS FOR DETAILS, WALL ELEVATIONS, SUBDRAINAGE, WATERPROOFING, FINISHES, COLORS, STEEL REINFORCING, MATERIALS, ETC. PROVIDE CLIPS OR OTHER MEANS OF SECURING FINISH MATERIALS AS NECESSARY (WET SET INTO THE WALL).
- ALL RETAINING WALLS SHOULD HAVE A BACK-OF-WALL SUB-SURFACE DRAINAGE SYSTEM INCLUDING WEEPHOLES TO PREVENT HYDROSTATIC PRESSURE.
- SEE DETAIL SHEET FOR SPECIFIC INFORMATION.
- PROVIDE GUARDRAIL (WHERE APPLICABLE AND DESIGNED BY OTHERS) AS REQUIRED FOR GRADE SEPARATION OF 30 INCHES OR MORE MEASURED 5' HORIZONTALLY FROM FACE OF WALL, PER CBC.



RETAINING WALL NOTE: PROPOSED RETAINING WALLS, INCLUDING THE FOOTING, AND THE SUBDRAIN SHALL NOT ENCRoACH ON NEIGHBORING PROPERTY.

BENCHMARK

CITY OF LOS GATOS BENCHMARK "RM27" "C" IN THE WORD CASTING ON C.B. WEST SIDE OF QUITO ROAD SOUTH OF MONTEWOOD DRIVE. ELEVATION = 444.22' (NAVD 88 DATUM)

SITE BENCHMARK

ELEVATIONS SHOWN ON THIS MAP ARE BASED ON A HIGH PRECISION GPS READING ON AN INITIAL CONTROL POINT AS ESTABLISHED WITH LEICH'S HxGN SMARTNET (NAVD 88 DATUM)

TREE NOTE

TREE SIZE, TYPE AND DRIPLEINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

BASIS OF BEARING

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTER LINE OF GLEN UNA DRIVE AS FOUND MONUMENTED AND RECORDED AS NORTH 00°28'00" EAST ON THE RECORD OF SURVEY FILED IN BOOK 403 OF MAPS, PAGE 26, SANTA CLARA COUNTY RECORDS.

FEMA FLOOD NOTE

FLOOD ZONE: D
 100-YEAR BASE FLOOD ELEVATION (BFE) NOT DEFINED PER CURRENT FLOOD INSURANCE RATE MAP (FIRM)
 FEMA FLOOD INSURANCE RATE MAP NO.: 06087C0110E EFFECTIVE DATE: MAY 16, 2012

UTILITY NOTE

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

OWNER'S INFORMATION

OWNER: KALYANI & MURTHY VAPPALA
 15581 GLEN UNA DRIVE
 LOS GATOS, CA

APN: 510-26-007

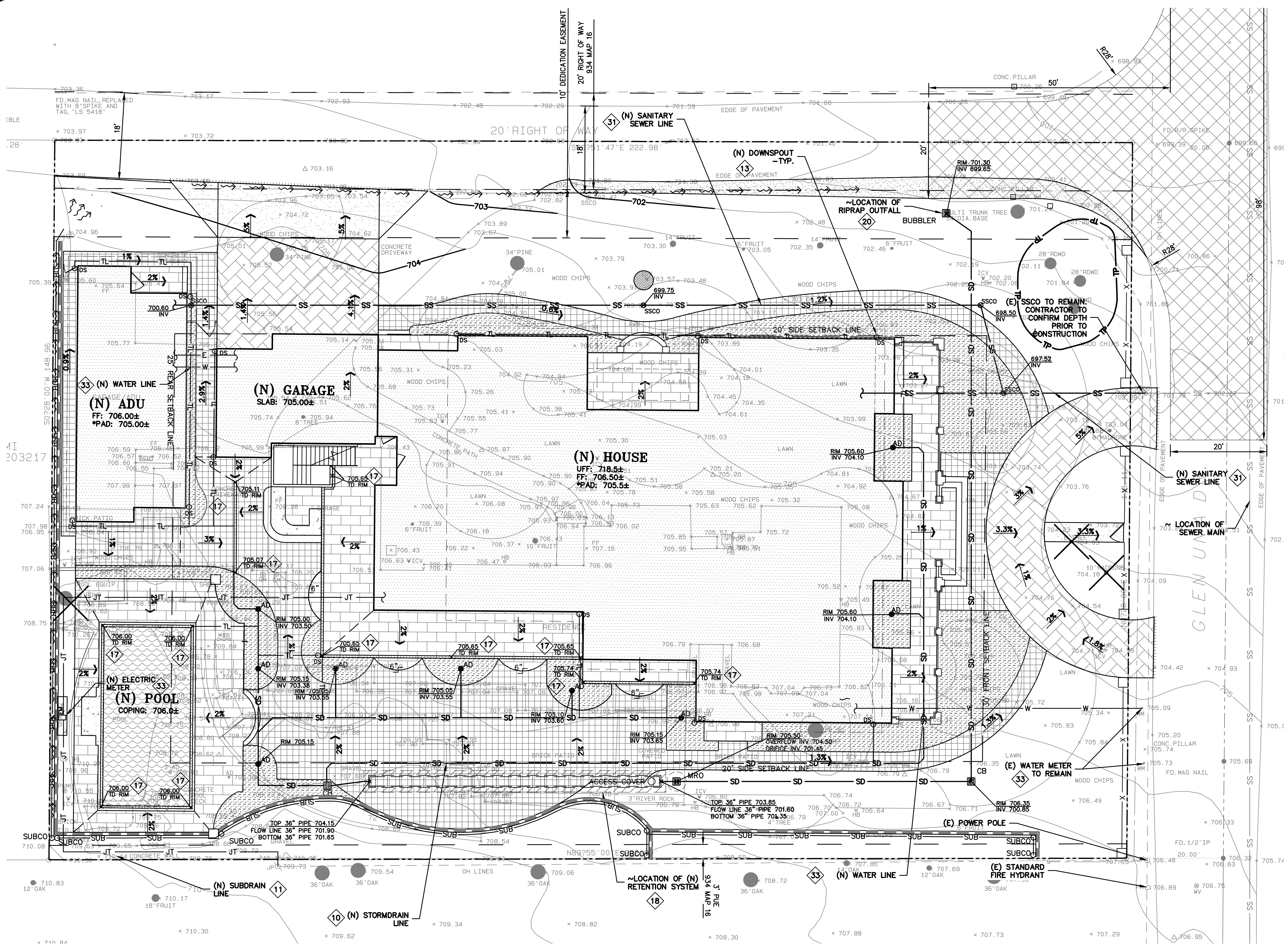
REFERENCES

- TOPOGRAPHIC SURVEY BY ROBERT J. CRAIG, ENTITLED: "TOPOGRAPHIC MAP" 15581 GLEN UNA DRIVE LOS GATOS, CA DATED: 1-23-2020 JOB# C-19143
- SITE PLAN BY AADIARCH ENTITLED: "NEW RESIDENCE" 15581 GLEN UNA DRIVE LOS GATOS, CA

THE CONTRACTOR SHALL REFER TO THE ABOVE NOTED SURVEY AND PLAN, AND SHALL VERIFY BOTH EXISTING AND PROPOSED ITEMS ACCORDING TO THEM.

* BUILDING PAD NOTE: ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE: FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aabaya@leabraze.com

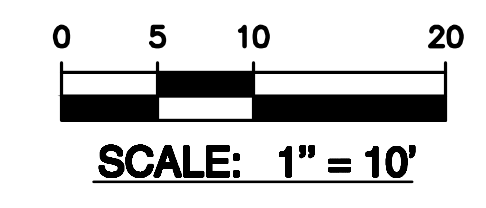


- STORM DRAIN KEYNOTES 10 TO 20**
- 10 INSTALL (N) ON-SITE STORM DRAIN SYSTEM. USE MINIMUM 6" PVC (SDR 35) OR HDPE (ADS N-12 W/ SMOOTH INTERIOR WALLS). MAINTAIN 24" MINIMUM COVER AND SLOPED AT 1% MINIMUM AT ALL TIMES UNLESS OTHERWISE NOTED. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS.
 - 11 INSTALL (N) SUBDRAIN. USE PERFORATED 4" PVC (SDR-35) WITH HOLES DOWN AND SLOPED AT 1% MINIMUM SURROUND WITH 3/4" DRAIN ROCK WRAPPED IN FILTER FABRIC (MIRAFI 140N). MIRADRAIN OR OTHER LEA & BRAZE APPROVED DRAINAGE SYSTEM MAY ALSO BE USED. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS AND WYE CONNECTIONS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION AND AT 100' MAXIMUM INTERVALS. SUBDRAIN SHALL REMAIN A DEDICATED SEPARATE SYSTEM UNTIL IT CONNECTS TO STORM DRAIN SYSTEM OR OUTFALL AS SHOWN. SEE DETAIL X ON SHEET C-X.
 - 12 CONSTRUCT (N) EARTHEN SWALE SLOPED AT 1% MINIMUM TOWARDS POSITIVE OUTFALL. SEE DETAIL X ON SHEET C-X.
 - 13 CONNECT RAIN WATER DOWNSPOUTS TO 4" PVC (SDR-35) TIGHTLINE SLOPED AT 1% MINIMUM. DIRECT TO NEAREST STORM DRAIN LINE AS SHOWN ON PLANS. PROVIDE CLEANOUT TO GRADE AT MAJOR CHANGES IN DIRECTION. AVOID USING 90° BENDS AND INSTEAD USE (2) 45° BENDS. TIGHTLINE MAY BE PLACED IN COMMON TRENCH WITH SUBDRAIN LINES, HOWEVER, DO NOT CONNECT TO SUBDRAIN LINES. SEE DETAIL X ON SHEET C-X.
 - 14 INSTALL (N) "CHRISTY F08" AREA DRAINS. CONNECT TO ON-SITE STORM DRAIN SYSTEM. SEE DETAIL X ON C-X.
 - 15 INSTALL (N) 4" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE IN LANDSCAPE OR PLANTER AREAS (NDS PART 78 OR 90 FOR 6" DIAMETER HEAVY DUTY PLASTIC BLACK GRATE). SEE DETAIL X ON C-X.
 - 16 INSTALL (N) "CHRISTY V-24" CATCH BASIN W/ CONCRETE BOTTOM FLUSH W/ LOWEST OUTGOING INVERT. PLACE BOX ON 6" CLASS 2 AGGREGATE BASE MATERIAL. SEE DETAIL X ON SHEET C-X.
 - 17 TRENCH DRAINS SHALL BE 6" NDS "DURA-SLOPE" PRESLOPED TRENCH DRAINS W/ TRAFFIC RATED GRATE OR APPROVED EQUAL. CONNECT TO NEAREST STORM DRAIN LINE VIA 4" PVC TIGHTLINE.
 - 18 INSTALL (N) RETENTION SYSTEM. SEE DETAIL X ON SHEET C-X.
 - 19 INSTALL (N) RIP-RAP ENERGY DISSIPATER. SEE DETAIL X ON SHEET C-X.

- UTILITIES KEYNOTES 31 TO 34**
- 31 INSTALL (N) SANITARY SEWER LATERALS. USE 4" PVC (SDR-26) SLOPED AT 2% MINIMUM. CONNECT TO (E) SEWER MAIN AS SHOWN. PROVIDE CLEANOUT TO GRADE AT BUILDING AND BEHIND PROPERTY LINE AND AT MAJOR CHANGES IN DIRECTION AS SHOWN. REUSE (E) LATERAL IF POSSIBLE. CONNECT PER DISTRICT STANDARDS.
 - 32 INSTALL (N) ENVIRONMENTAL ONE SEWER EJECTOR SYSTEM. SEE DETAIL X ON SHEET C-X.
 - 33 CONNECT (N) WATER SERVICE PER WATER DISTRICT STANDARDS. UPGRADE (E) WATER METER PER WATER DISTRICT STANDARDS AS APPLICABLE. INSTALL (N) 2" MINIMUM SERVICE LINE TO (N) RESIDENCE OR AS DIRECTED BY FIRE SPRINKLER DESIGNER.
 - 34 INSTALL (N) JOINT TRENCH FOR SERVICES INCLUDING GAS, CATV & ELECTRIC FROM NEAREST POINT OF CONNECTION. DESIGN BY OTHERS.

*** BUILDING PAD NOTE:**
ADJUST PAD LEVEL AS REQUIRED. REFER TO STRUCTURAL PLANS FOR SLAB SECTION OR CRAWL SPACE DEPTH TO ESTABLISH PAD LEVEL.

NOTE:
FOR CONSTRUCTION STAKING SCHEDULING OR QUOTATIONS PLEASE CONTACT ALEX ABAYA AT LEA & BRAZE ENGINEERING (510)887-4086 EXT 116. aaabaya@leabraze.com

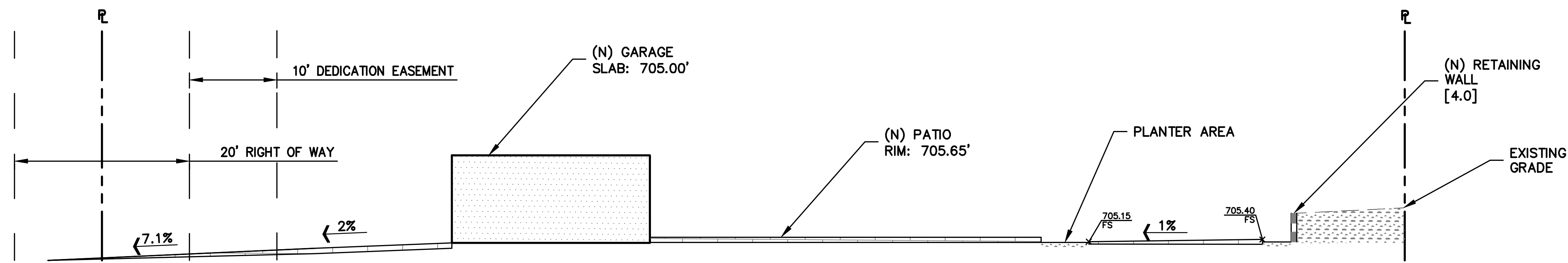


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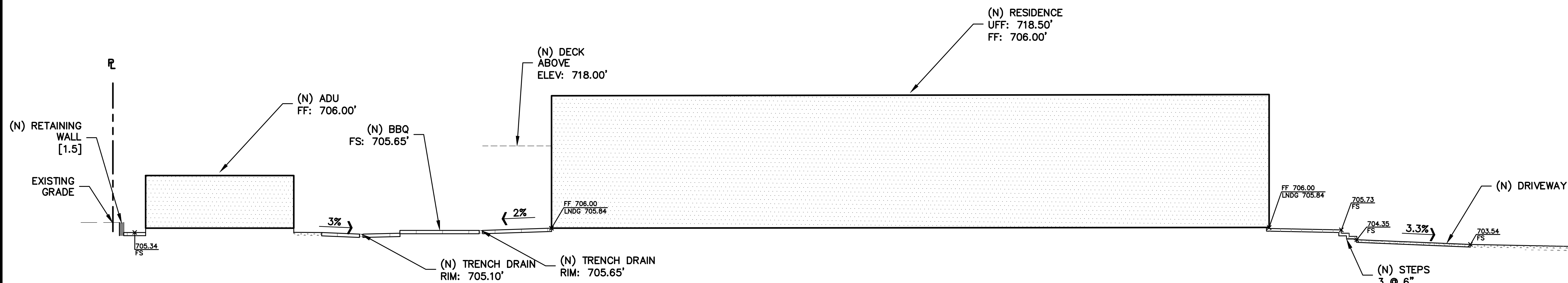
VAPPALA RESIDENCE
15581 GLEN UNA DRIVE
LOS GATOS, CALIFORNIA
SANTA CLARA COUNTY
APN: 510-26-007

UTILITY PLAN

1	PLAN CHECK	11-16-22	MR
2	CALIFIRE	02-17-23	MR
REVISIONS BY			
JOB NO:		2221289	
DATE:		07-21-22	
SCALE:		AS NOTED	
DESIGN BY:		MR	
CHECKED BY:		DY	
SHEET NO:			



1 SECTION
C-4.0 NTS



2 SECTION
C-4.0 NTS



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 CIVIL ENGINEERS & LAND SURVEYORS
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 HAYWARD OFFICE: 1000 AVENUE WEST, HAYWARD, CA 94545
 SAN JOSE: (510) 887-4086
 WWW.LEABRAZE.COM

VAPPALA RESIDENCE
 15581 GLEN UNA DRIVE
 LOS GATOS, CALIFORNIA

APN: 510-28-007

SANTA CLARA COUNTY

SITE SECTIONS

1	PLAN CHECK 11-16-22	MR
2	CALFIRE 02-17-23	MR
-	-	-
-	-	-
-	-	-
REVISIONS		BY

JOB NO: 2221289

DATE: 07-21-22

SCALE: AS NOTED

DESIGN BY: MR

CHECKED BY: DY

SHEET NO:

C-4.0

05 OF 11 SHEETS

PURPOSE:

THE PURPOSE OF THIS PLAN IS TO STABILIZE THE SITE TO PREVENT EROSION OF GRADED AREAS AND TO PREVENT SEDIMENTATION FROM LEAVING THE CONSTRUCTION AREA AND AFFECTING NEIGHBORING SITES, NATURAL AREAS, PUBLIC FACILITIES OR ANY OTHER AREA THAT MIGHT BE AFFECTED BY SEDIMENTATION. ALL MEASURES SHOWN ON THIS PLAN SHOULD BE CONSIDERED THE MINIMUM REQUIREMENTS NECESSARY. SHOULD FIELD CONDITIONS DICTATE ADDITIONAL MEASURES, SUCH MEASURES SHALL BE PER CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL AND THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION. LEA & BRAZE ENGINEERING SHOULD BE NOTIFIED IMMEDIATELY SHOULD CONDITIONS CHANGE.

EROSION CONTROL NOTES:

- IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THIS EROSION CONTROL PLAN.
- THE INTENTION OF THIS PLAN IS FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY. ALL EROSION CONTROL MEASURES SHALL CONFORM TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL, THE CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION, AND THE LOCAL GOVERNING AGENCY FOR THIS PROJECT.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO, DURING, AND AFTER STORM EVENTS. PERSON IN CHARGE OF MAINTAINING EROSION CONTROL MEASURES SHOULD WATCH LOCAL WEATHER REPORTS AND ACT APPROPRIATELY TO MAKE SURE ALL NECESSARY MEASURES ARE IN PLACE.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATERCOURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. COMPLIANCE WITH FEDERAL, STATE AND LOCAL LAWS CONCERNING POLLUTION SHALL BE MAINTAINED AT ALL TIMES.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.
- ALL MATERIALS NECESSARY FOR THE APPROVED EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15TH.
- EROSION CONTROL SYSTEMS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON, OR FROM OCTOBER 15TH THROUGH APRIL 15TH, WHICHEVER IS LONGER.
- IN THE EVENT OF RAIN, ALL GRADING WORK IS TO CEASE IMMEDIATELY AND THE SITE IS TO BE SEALED IN ACCORDANCE WITH THE APPROVAL EROSION CONTROL MEASURES AND APPROVED EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY LOCAL JURISDICTION'S ENGINEERING DEPARTMENT OR BUILDING OFFICIALS.
- MEASURES SHALL BE TAKEN TO COLLECT OR CLEAN ANY ACCUMULATION OR DEPOSIT OF DIRT, MUD, SAND, ROCKS, GRAVEL OR DEBRIS ON THE SURFACE OF ANY STREET, ALLEY OR PUBLIC PLACE OR IN ANY PUBLIC STORM DRAIN SYSTEMS. THE REMOVAL OF AFORESAID SHALL BE DONE BY STREET SWEEPING OR HAND SWEEPING. WATER SHALL NOT BE USED TO WASH SEDIMENTS INTO PUBLIC OR PRIVATE DRAINAGE FACILITIES.
- EROSION CONTROL MEASURES SHALL BE ON-SITE FROM SEPTEMBER 15TH THRU APRIL 15TH.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE RAINY SEASON OR FROM OCTOBER X THROUGH APRIL X, WHICHEVER IS GREATER.
- PLANS SHALL BE DESIGNED TO MEET C3 REQUIREMENTS OF THE MUNICIPAL STORMWATER REGIONAL PERMIT("MRP") NPDES PERMIT CAS 612008.
- THE CONTRACTOR TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
- THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ONSITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE TOWN INSPECTOR. THE ADJACENT STREET SHALL AT ALL TIMES BE KEPT CLEAN OF DEBRIS. WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THE BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE TOWN RIGHT-OF-WAY.
- SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INSPECTION OF ANY WORK ONSITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO NOT INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
- THE CONTRACTOR SHALL PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY SWALES, SILT FENCES, AND EARTH PERMS IN CONJUNCTION OF ALL LANDSCAPING.
- STOCKPILED MATERIALS SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT IS SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND

EROSION CONTROL NOTES CONTINUED:

- FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- DUST CONTROL SHALL BE DONE BY WATERING AND AS OFTEN AS REQUIRED BY THE TOWN INSPECTOR.
- SILT FENCE(S) AND/OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO SEPTEMBER 15TH AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED. CONTRACTOR SHALL CONTINUOUSLY MONITOR THESE MEASURES, FOLLOWING AND DURING ALL RAIN EVENTS, TO PUBLIC OWNED FACILITIES.

EROSION CONTROL MEASURES:

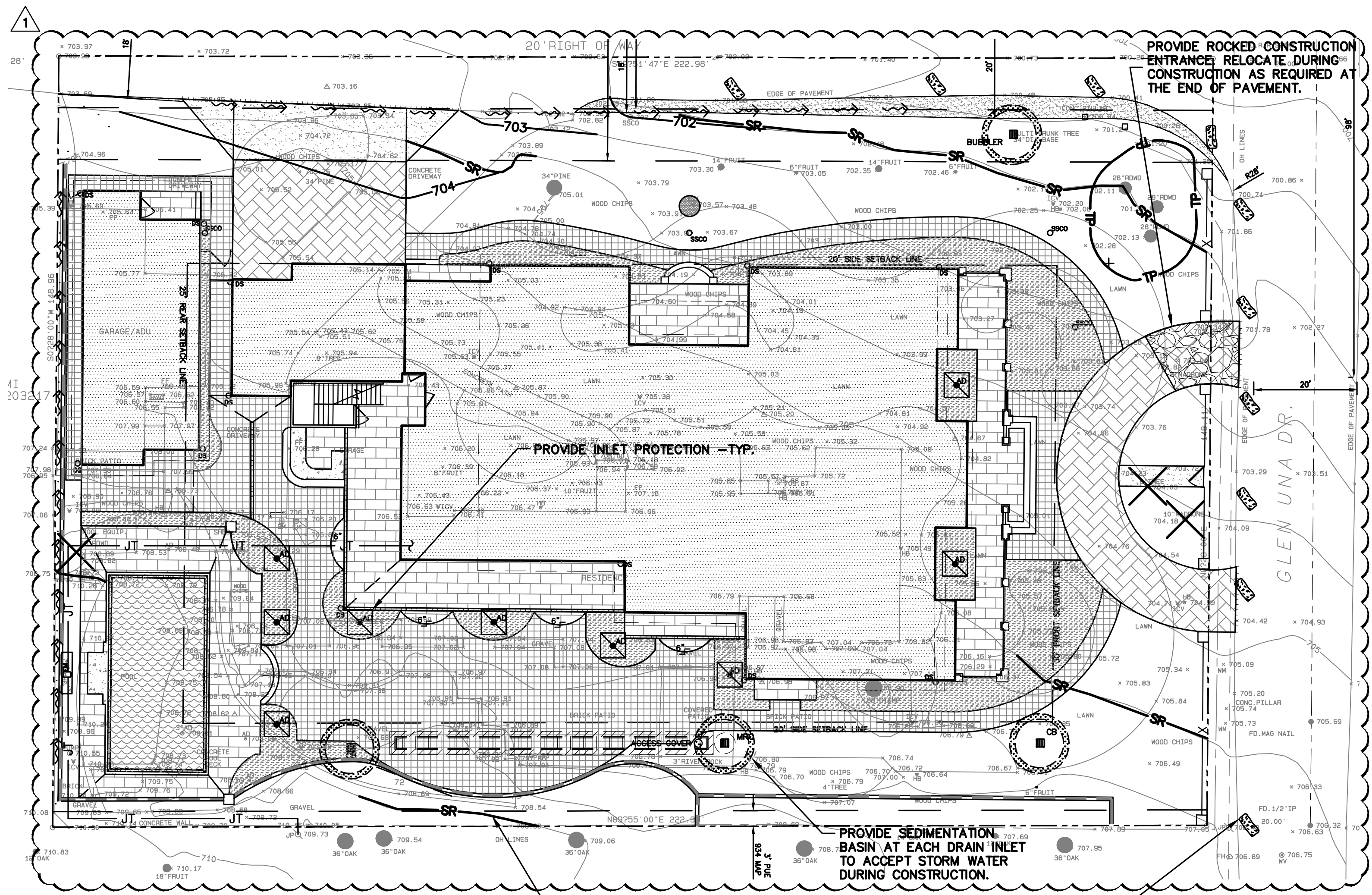
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15TH TO APRIL 15. EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO OCTOBER 15TH OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- SITE CONDITIONS AT TIME OF PLACEMENT OF EROSION CONTROL MEASURES WILL VARY. APPROPRIATE ACTION INCLUDING TEMPORARY SWALES, INLETS, HYDROSEEDING, STRAW BALES, ROCK SACKS, ETC. SHALL BE TAKEN TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING SITE. EROSION CONTROL MEASURES SHALL BE ADJUSTED AS THE CONDITIONS CHANGE AND THE NEED OF CONSTRUCTION SHIFT.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCES. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE GOVERNING AGENCY.
- ALL EXPOSED SLOPES THAT ARE NOT VEGETATED SHALL BE HYDROSEEDED. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 15, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. HYDROSEEDING SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF SECTION 20" EROSION CONTROL AND HIGHWAY PLANTING" OF THE STANDARD SPECIFICATION OF THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION, AS LAST REVISED. REFER TO THE EROSION CONTROL SECTION OF THE GRADING SPECIFICATIONS THAT ARE A PART OF THIS PLAN SET FOR FURTHER INFORMATION.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT. MINIMUM INLET PROTECTION SHALL CONSIST OF A ROCK SACKS OR AS SHOWN ON THIS PLAN
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. A REPRESENTATIVE OF LEA & BRAZE ENGINEERING SHALL PERFORM A FIELD REVIEW AND MAKE RECOMMENDATIONS AS NEEDED. CONTRACTOR IS RESPONSIBLE TO NOTIFY LEA & BRAZE ENGINEERING AND THE GOVERNING AGENCY OF ANY CHANGES.
- THE EROSION CONTROL MEASURES SHALL CONFORM TO THE LOCAL JURISDICTION'S STANDARDS AND THE APPROVAL OF THE LOCAL JURISDICTION'S ENGINEERING DEPARTMENT.
- STRAW ROLLS SHALL BE PLACED AT THE TOE OF SLOPES AND ALONG THE DOWN SLOPE PERIMETER OF THE PROJECT. THEY SHALL BE PLACED AT 25 FOOT INTERVALS ON GRADED SLOPES. PLACEMENT SHALL RUN WITH THE CONTOURS AND ROLLS SHALL BE TIGHTLY END BUTTED. CONTRACTOR SHALL REFER TO MANUFACTURERS SPECIFICATIONS FOR PLACEMENT AND INSTALLATION INSTRUCTIONS.

REFERENCES:

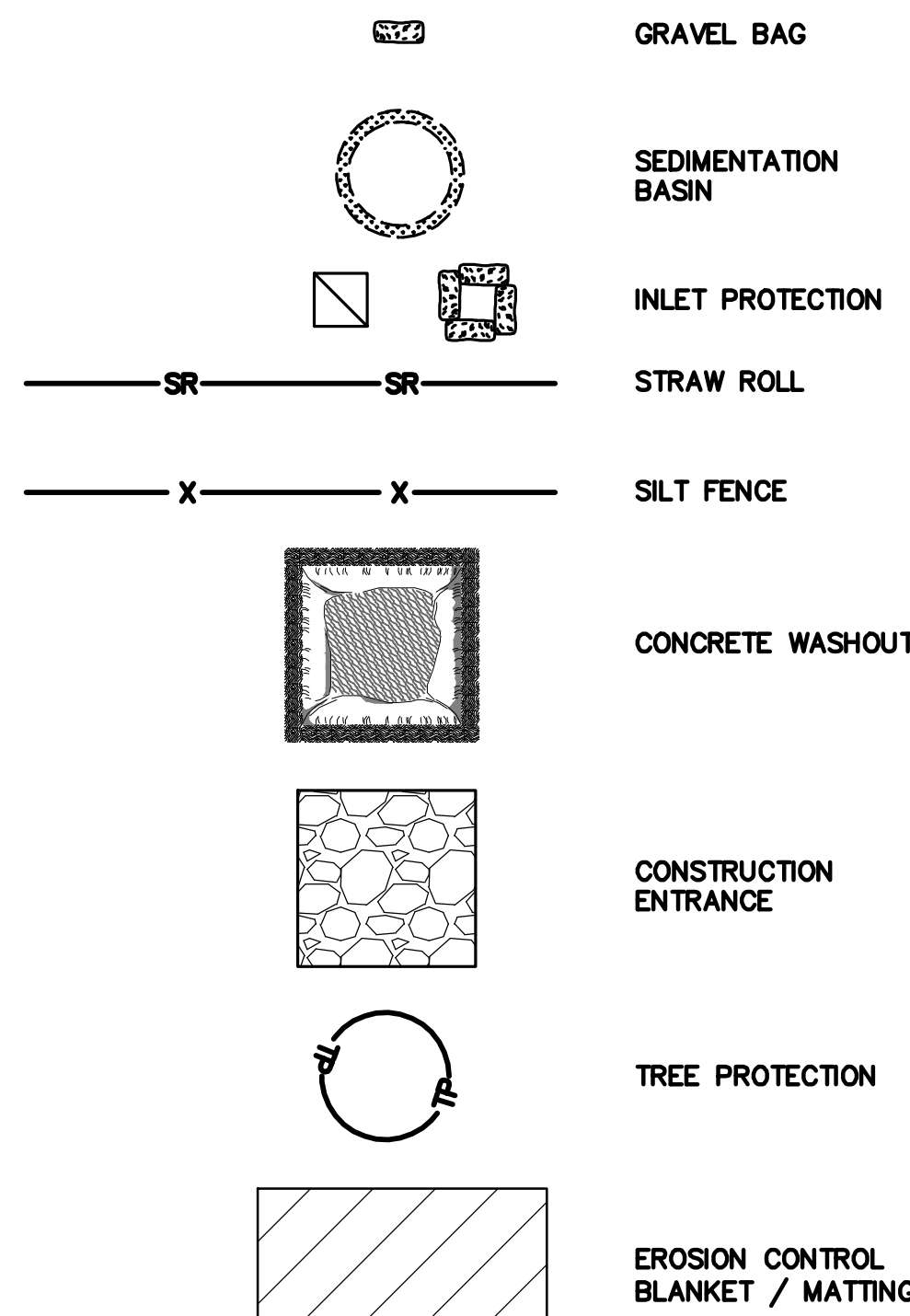
- CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD'S FIELD MANUAL FOR EROSION AND SEDIMENTATION CONTROL
- CALIFORNIA STORM WATER QUALITY ASSOCIATION BEST MANAGEMENT PRACTICES HANDBOOK FOR CONSTRUCTION

PERIODIC MAINTENANCE:

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION SHALL BE REPAIRED AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1" FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- GRAVEL BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE GRAVEL BAG.
- STRAW ROLLS SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHED HALF THE HEIGHT OF THE ROLL.
- SILT FENCE SHALL BE PERIODICALLY CHECKED TO ASSURE PROPER FUNCTION AND CLEANED OUT WHENEVER THE SEDIMENT DEPTH REACHES ONE FOOT IN HEIGHT.
- CONSTRUCTION ENTRANCE SHALL BE REGRAVELED AS NECESSARY FOLLOWING SILT/SOIL BUILDUP.
- ANY OTHER EROSION CONTROL MEASURES SHOULD BE CHECKED AT REGULAR INTERVALS TO ASSURE PROPER FUNCTION



EROSION CONTROL LEGEND



NOTE:
SEAL ALL OTHER INLETS NOT INTENDED TO ACCEPT STORM WATER AND DIRECT FLOWS TEMPORARILY TO FUNCTIONAL SEDIMENTATION BASIN INLETS. -TYP



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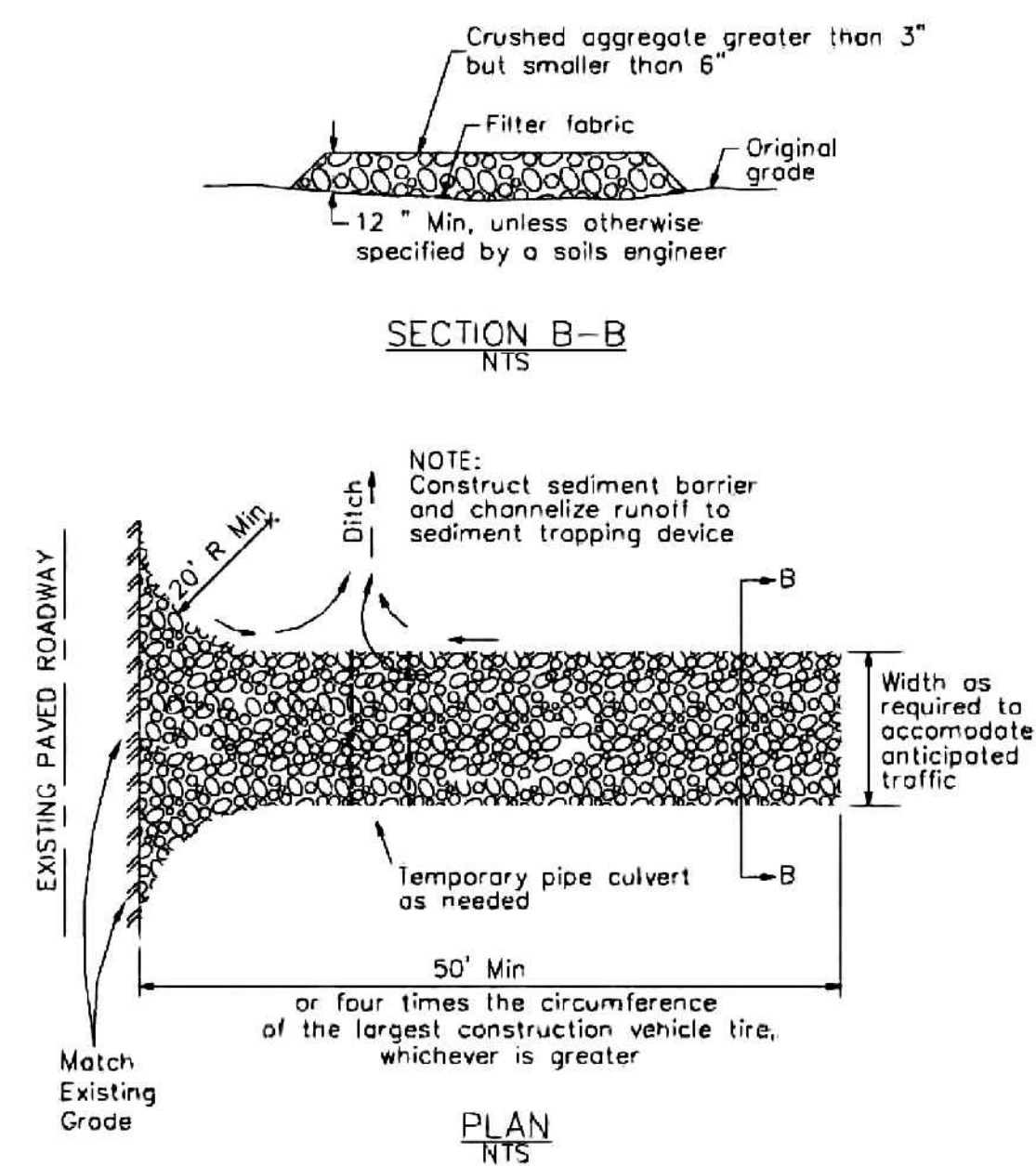
VAPPALA RESIDENCE
15581 GLEN UNA DRIVE
LOS GATOS, CALIFORNIA

EROSION CONTROL PLAN

1	PLAN CHECK	MR
11-16-22		
2	CALIFIRE	MR
02-17-23		
	REVISIONS	BY
	JOB NO:	2221289
	DATE:	07-21-22
	SCALE:	AS NOTED
	DESIGN BY:	MR
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	SHEET NO:	

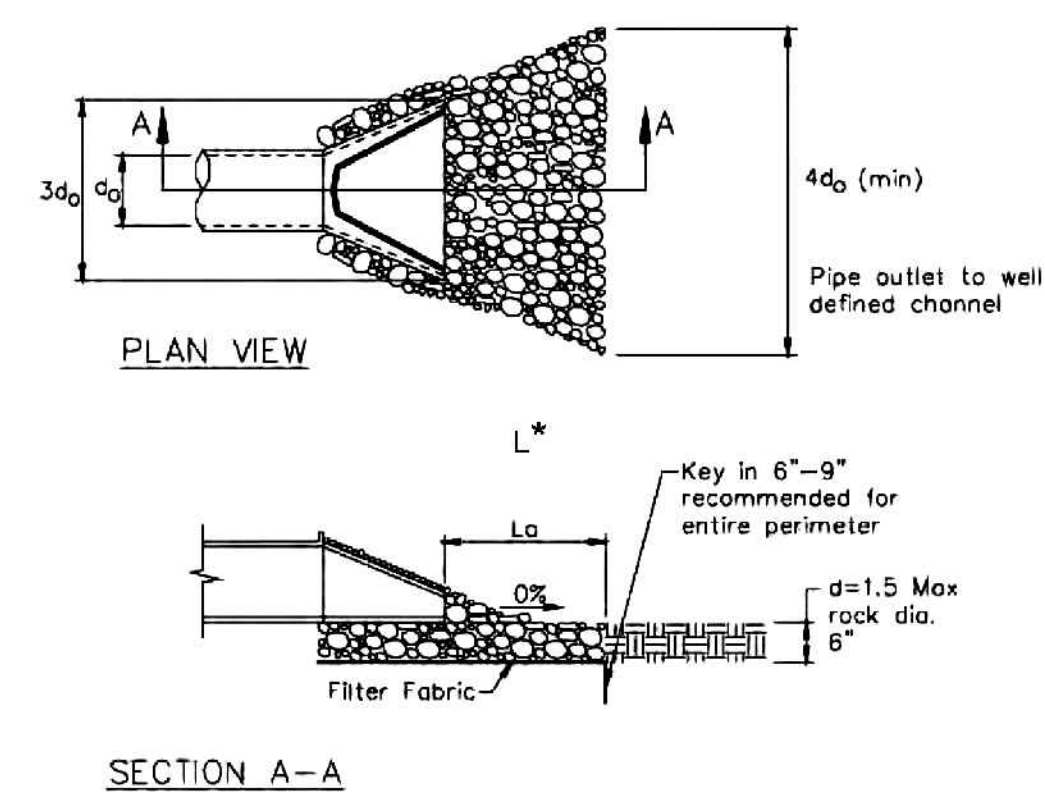
3 Stabilized Construction Entrance/Exit

CASQA Detail TC-1



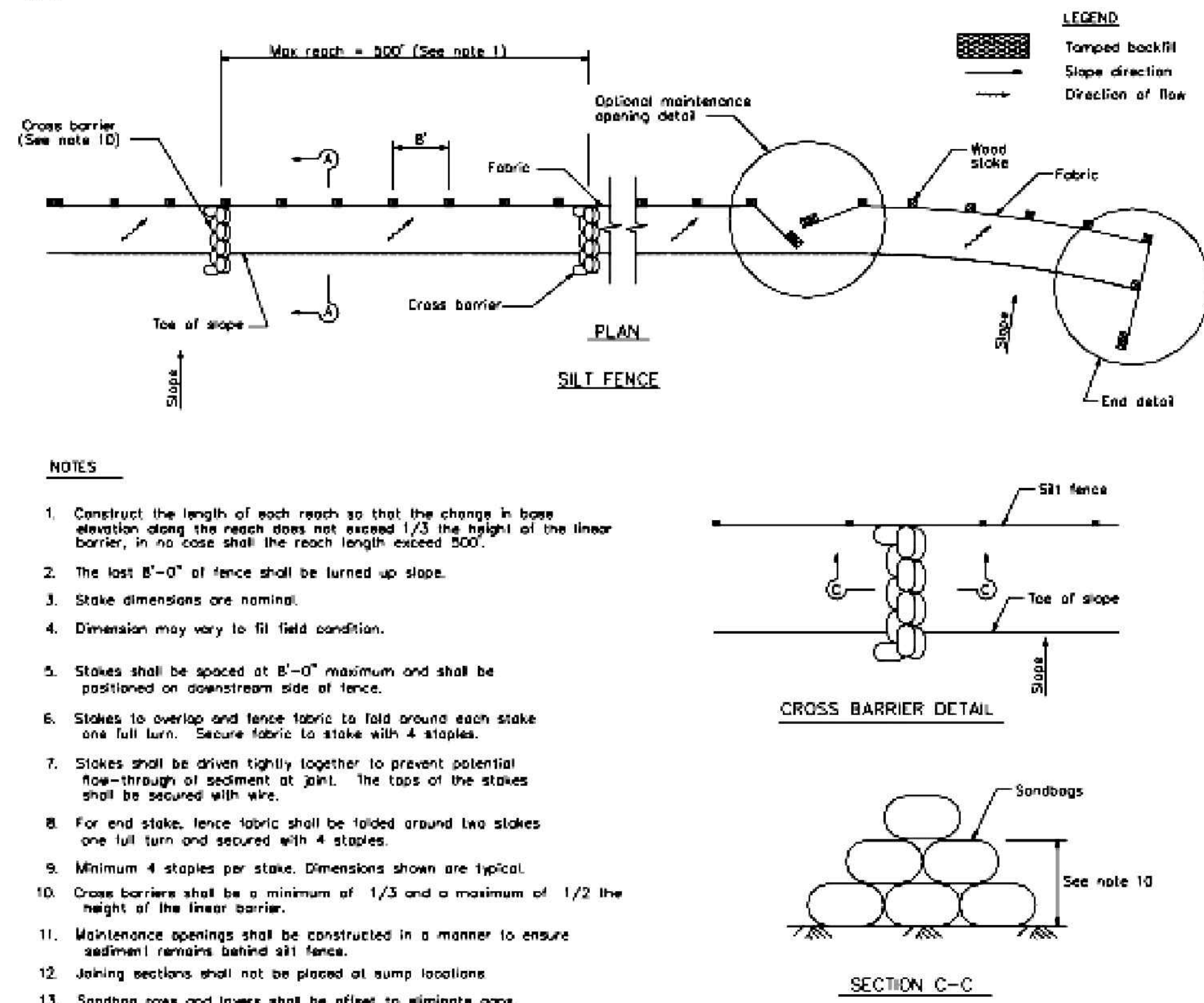
4 Velocity Dissipation Devices

CASQA Detail EC-10



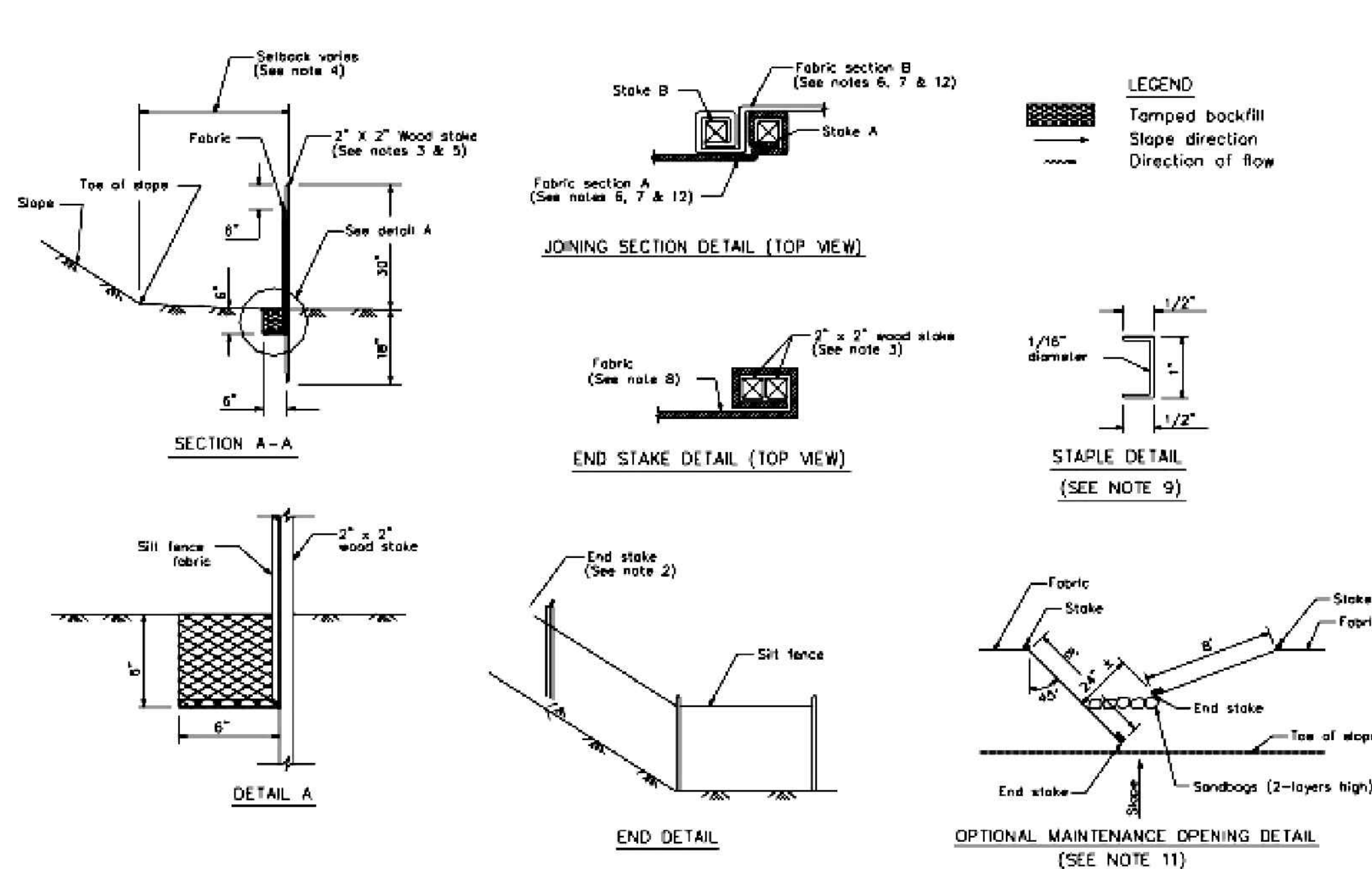
1 Silt Fence

CASQA Detail SE-1



2 Silt Fence

CASQA Detail SE-1



STANDARD BEST MANAGEMENT PRACTICE NOTES

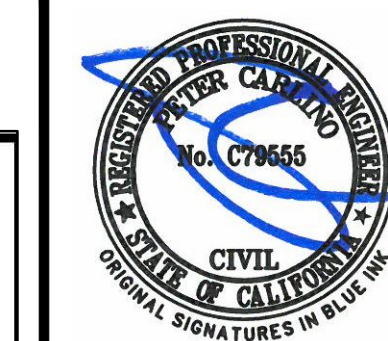
- Solid and Demolition Waste Management:** Provide designated waste collection areas and containers on site away from streets, gutters, storm drains, and waterways, and arrange for regular disposal. Waste containers must be watertight and covered at all times except when waste is deposited. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C3) or latest.
- Hazardous Waste Management:** Provide proper handling and disposal of hazardous wastes by a licensed hazardous waste material hauler. Hazardous wastes shall be stored and properly labeled in sealed containers constructed of suitable materials. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-5 to C-6) or latest.
- Spill Prevention and Control:** Provide proper storage areas for liquid and solid materials, including chemicals and hazardous substances, away from streets, gutters, storm drains, and waterways. Spill control materials must be kept on site where readily accessible. Spills must be cleaned up immediately and contaminated soil disposed properly. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-7 to C-8, C-13 to C-14) or latest.
- Vehicle and Construction Equipment Service and Storage:** An area shall be designated for the maintenance, where on-site maintenance is required, and storage of equipment that is protected from stormwater run-on and runoff. Measures shall be provided to capture any waste oils, lubricants, or other potential pollutants and these wastes shall be properly disposed of off site. Fueling and major maintenance/repair, and washing shall be conducted off-site whenever feasible. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C9) or latest.
- Material Delivery, Handling and Storage:** In general, materials should not be stockpiled on site. Where temporary stockpiles are necessary and approved by the County, they shall be covered with secured plastic sheeting or tarp and located in designated areas near construction entrances and away from drainage paths and waterways. Barriers shall be provided around storage areas where materials are potentially in contact with runoff. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-11 to C-12) or latest.
- Handling and Disposal of Concrete and Cement:** When concrete trucks and equipment are washed on-site, concrete wastewater shall be contained in designated containers or in a temporary lined and watertight pit where wasted concrete can harden for later removal. If possible have concrete contractor remove concrete wash water from site. In no case shall fresh concrete be washed into the road right-of-way. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-15 to C-16) or latest.
- Pavement Construction Management:** Prevent or reduce the discharge of pollutants from paving operations, using measures to prevent run-on and runoff pollution and properly disposing of wastes. Avoid paving in the wet season and reschedule paving when rain is in the forecast. Residue from saw-cutting shall be vacuumed for proper disposal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-17 to C-18) or latest.
- Contaminated Soil and Water Management:** Inspections to identify contaminated soils should occur prior to construction and at regular intervals during construction. Remediating contaminated soil should occur promptly after identification and be specific to the contaminant identified, which may include hazardous waste removal. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages C-19 to C-20) or latest.
- Sanitary/Septic Water Management:** Temporary sanitary facilities should be located away from drainage paths, waterways, and traffic areas. Only licensed sanitary and septic waste haulers should be used. Secondary containment should be provided for all sanitary facilities. Refer to Erosion & Sediment Control Field Manual, 4th Edition (page C-21) or latest.
- Inspection & Maintenance:** Areas of material and equipment storage sites and temporary sanitary facilities must be inspected weekly. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.

STANDARD EROSION CONTROL NOTES

- Sediment Control Management:**
 - Tracking Prevention & Clean Up:** Activities shall be organized and measures taken as needed to prevent or minimize tracking of soil onto the public street system. A gravel or proprietary device construction entrance/exit is required for all sites. Clean up of tracked material shall be provided by means of a street sweeper prior to an approaching rain event, or at least once at the end of each workday that material is tracked, or more frequently as determined by the County Inspector. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-31 to B-33) or latest.
 - Storm Drain Inlet and Catch Basin Inlet Protection:** All inlets within the vicinity of the project and within the project limits shall be protected with gravel bags placed around inlets or other inlet protection. At locations where exposed soils are present, staked fiber roles or staked silt fences can be used. Inlet filters are not allowed due to clogging and subsequent flooding. Refer to Erosion & Sediment Control Field Manual, 4th Edition (pages B-49 to B-51) or latest.
 - Storm Water Runoff:** No storm water runoff shall be allowed to drain in to the existing and/or proposed underground storm drain system or other above ground watercourses until appropriate erosion control measures are fully installed.
 - Dust Control:** The contractor shall provide dust control in graded areas as required by providing wet suppression or chemical stabilization of exposed soils, providing for rapid clean up of sediments deposited on paved roads, furnishing construction road entrances and vehicle wash down areas, and limiting the amount of areas disturbed by clearing and earth moving operations by scheduling these activities in phases.
 - Stockpiling:** Excavated soils shall not be placed in streets or on paved areas. Borrow and temporary stockpiles shall be protected with appropriate erosion control measures (mats, straw bales, silt fences, ect.) to ensure silt does not leave the site or enter the storm drain system or neighboring watercourse.
- Erosion Control:** During the rainy season, all disturbed areas must include an effective combination of erosion and sediment control. It is required that temporary erosion control measures are applied to all disturbed soil areas prior to a rain event. During the non-rainy season, erosion control measures must be applied sufficient to control wind erosion at the site.
- Inspection & Maintenance:** Disturbed areas of the Project's site, locations where vehicles enter or exit the site, and all erosion and sediment controls that are identified as part of the Erosion Control Plans must be inspected by the Contractor before, during, and after storm events, and at least weekly during seasonal wet periods. Problem areas shall be identified and appropriate additional and/or alternative control measures implemented immediately, within 24 hours of the problem being identified.
- Project Completion:** Prior to project completion and signoff by the County Inspector, all disturbed areas shall be reseeded, planted, or landscaped to minimize the potential for erosion on the subject site.
- It shall be the Owner's/Contractor's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the erosion control plan.
- Erosion and sediment control best management practices shall be operable year round or until vegetation is fully established on landscaped surfaces.

Project Information

Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.



LEA & BRAZE ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
SAN JOSE, CALIFORNIA 95128
DUBLIN, CALIFORNIA 94568
HAYWARD, CALIFORNIA 94545
(510) 887-4086
WWW.LEABRAZE.COM

VAPPALA RESIDENCE
15581 GLEN UNA DRIVE
LOS GATOS, CALIFORNIA

APN: 510-28-007

SANTA CLARA COUNTY

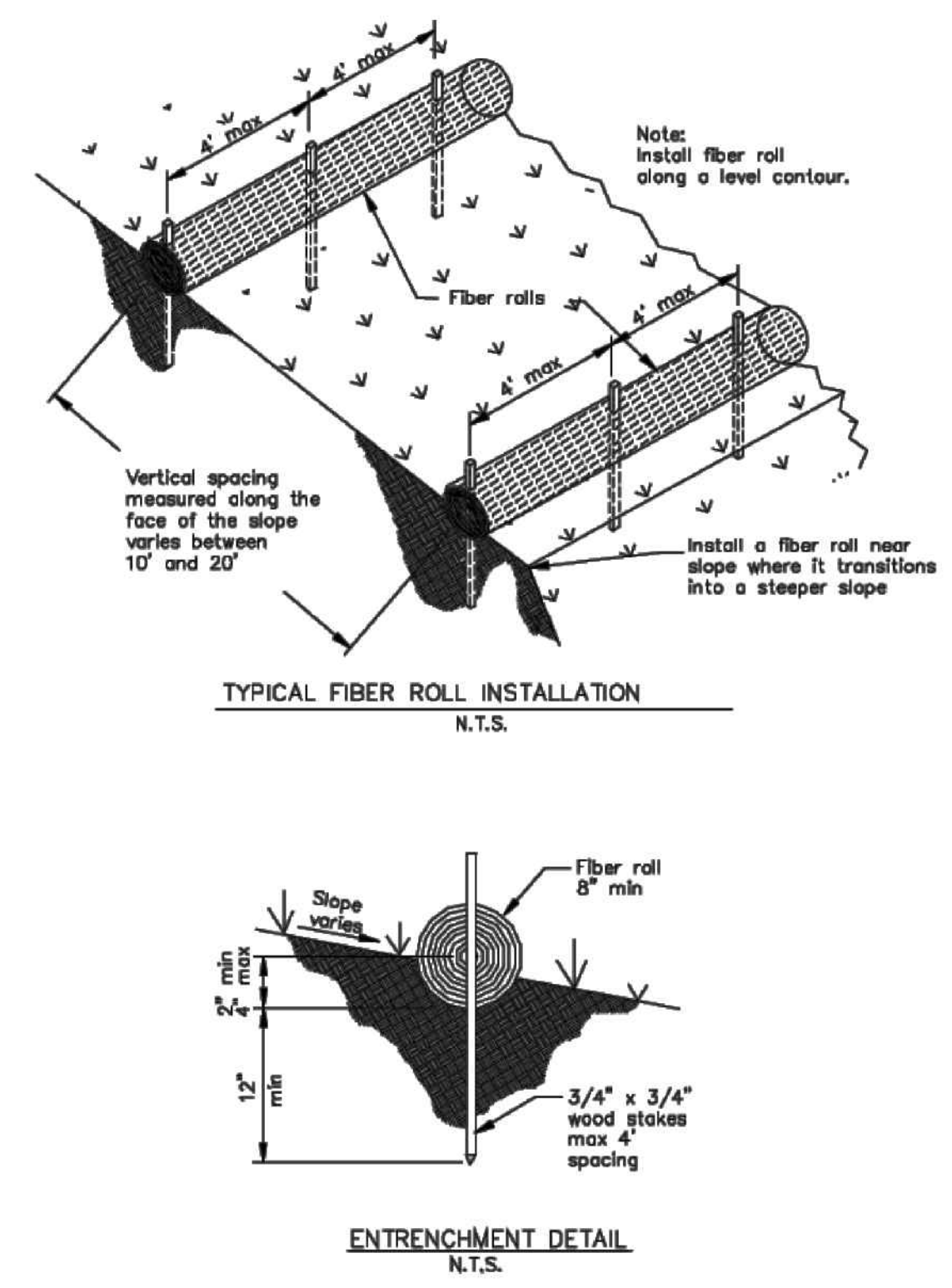
BEST MANAGEMENT PRACTICES

1	PLAN CHECK	11-16-22	MR
2	CALIFIRE	02-17-23	MR
-	-	-	-
-	-	-	-
-	-	-	-
REVISIONS		BY	
JOB NO:		2221289	
DATE:		07-21-22	
SCALE:		AS NOTED	
DESIGN BY:		MR	
CHECKED BY:		DY	
SHEET NO:			

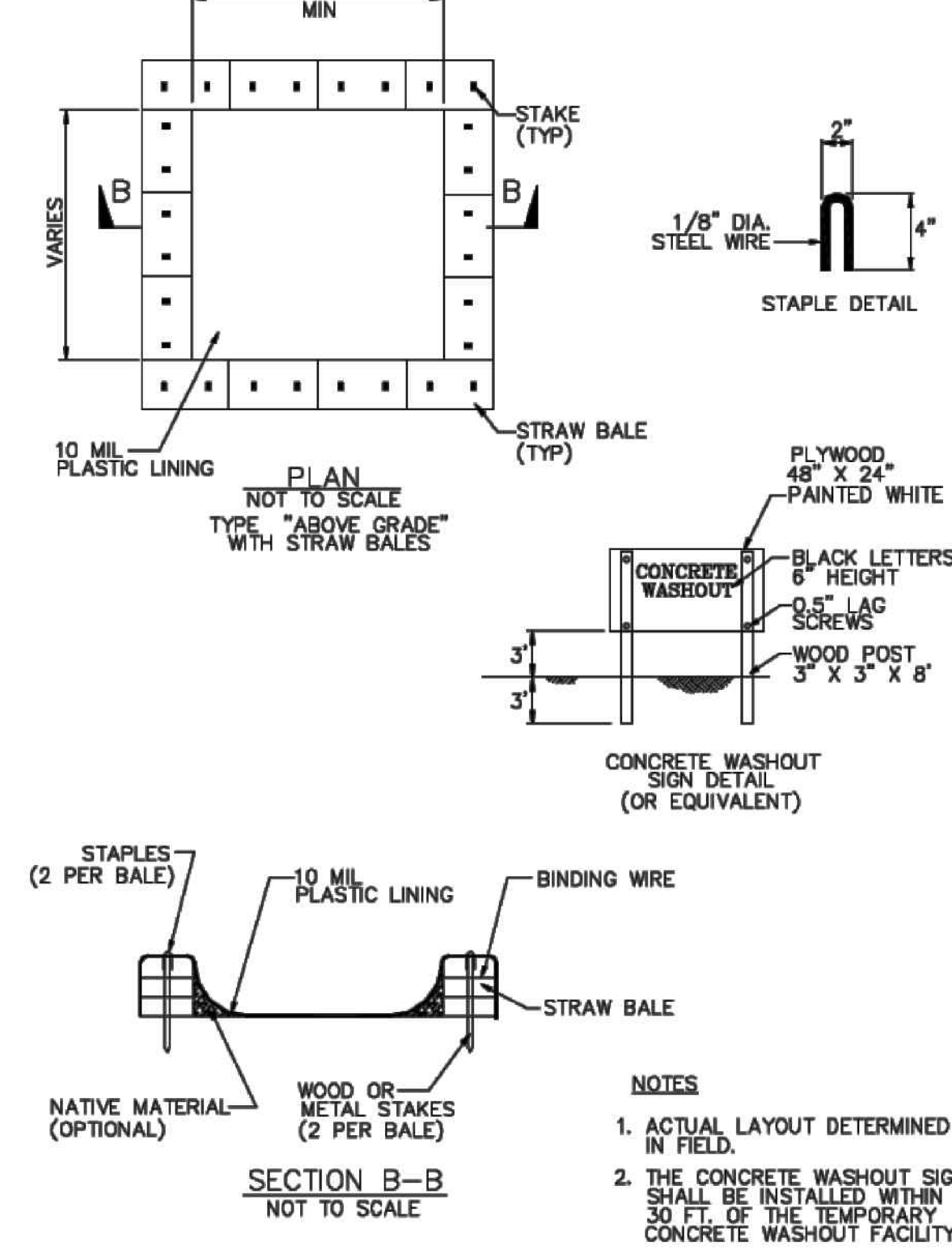
1	PLAN CHECK 11-16-22	MR
2	CALFIRE 02-17-23	MR
-	-	-
-	-	-
-	-	-
REVISIONS	BY	
JOB NO:	2221289	
DATE:	07-21-22	
SCALE:	AS NOTED	
DESIGN BY:	MR	
CHECKED BY:	DY	
SHEET NO:		

Project Information

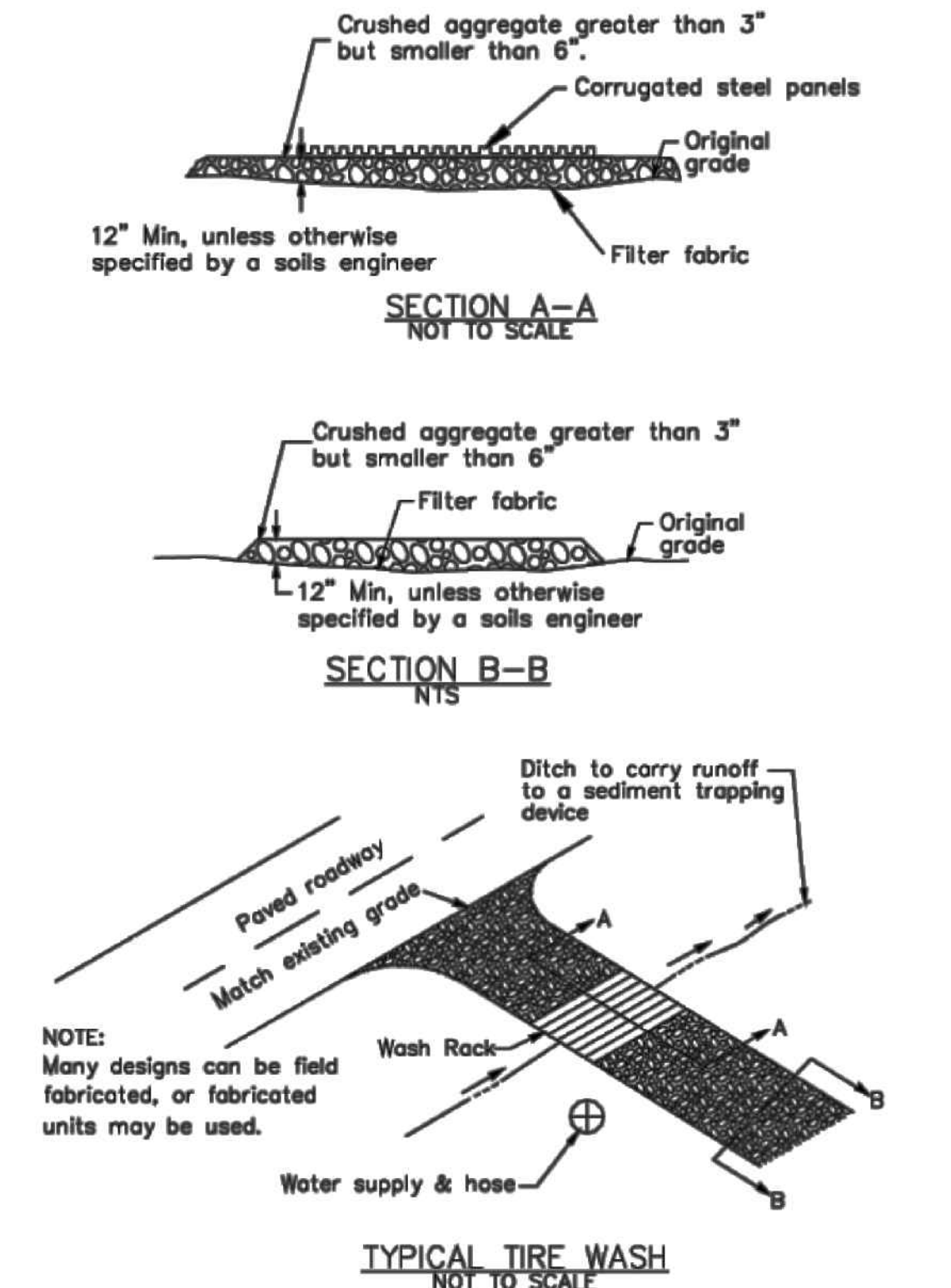
1 Fiber Rolls
 CASQA Detail SE-5



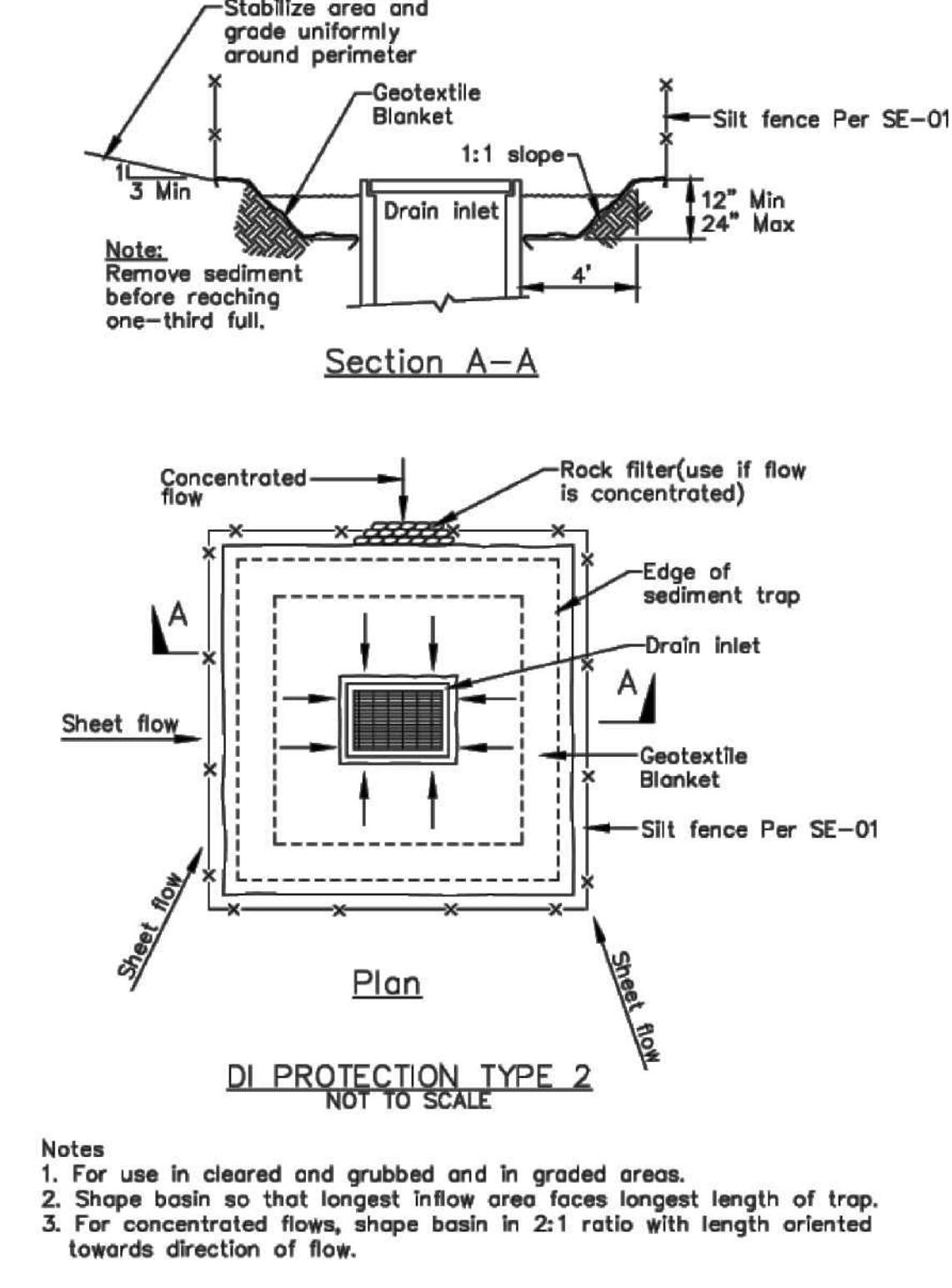
2 Concrete Waste Management
 CASQA Detail WM-8



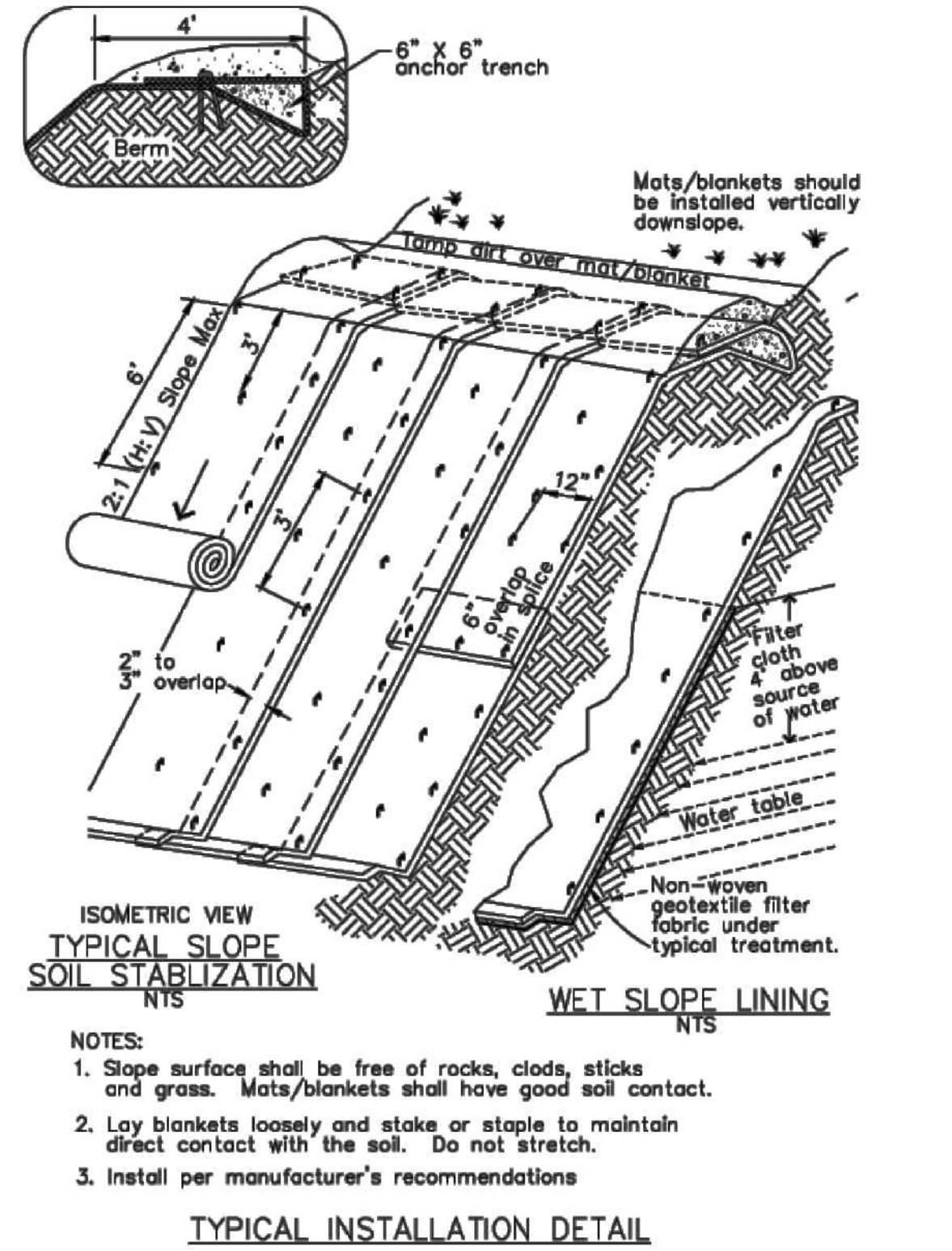
3 Entrance/Outlet Tire Wash
 CASQA Detail TC-3



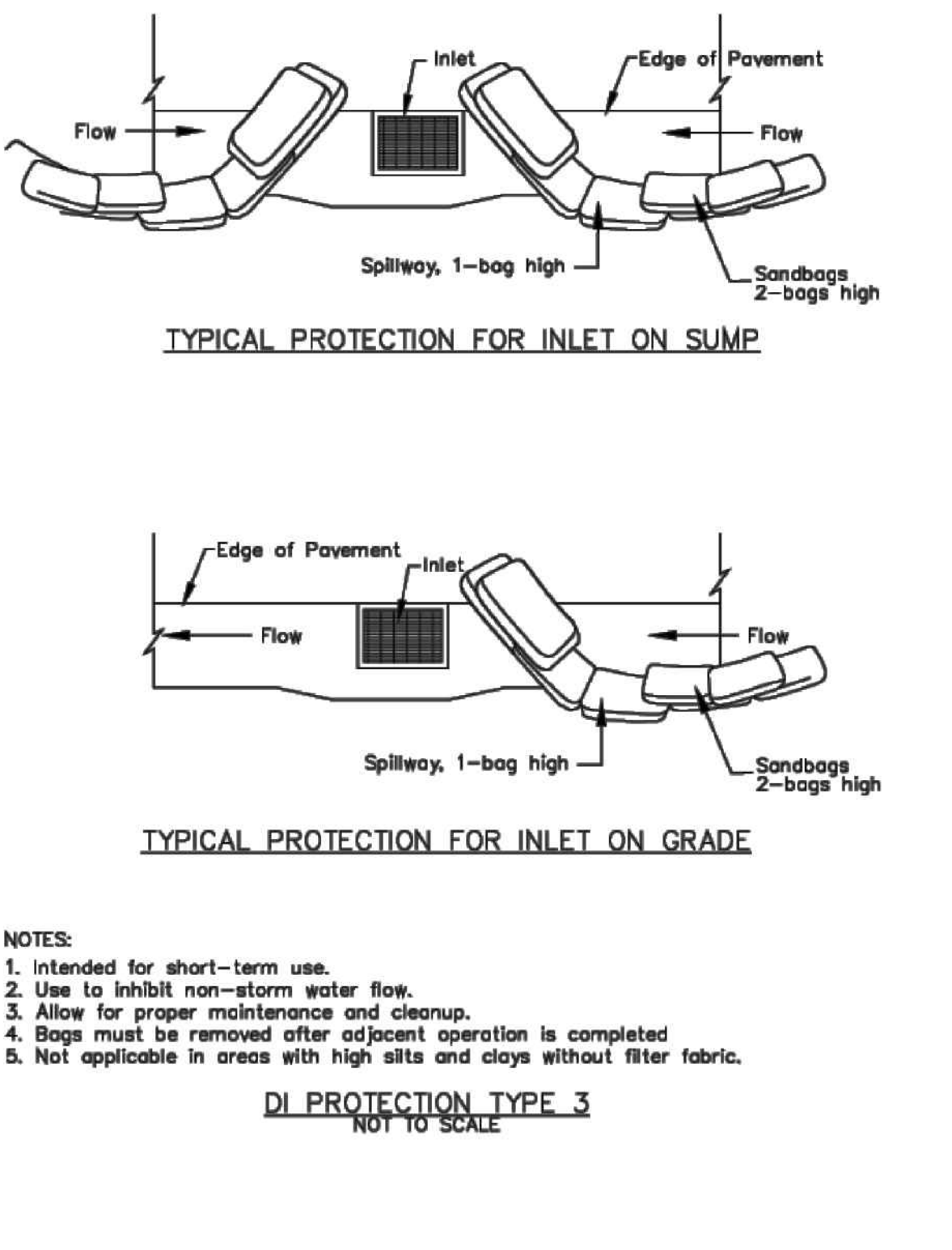
4 Storm Drain Inlet Protection
 CASQA Detail SE-10



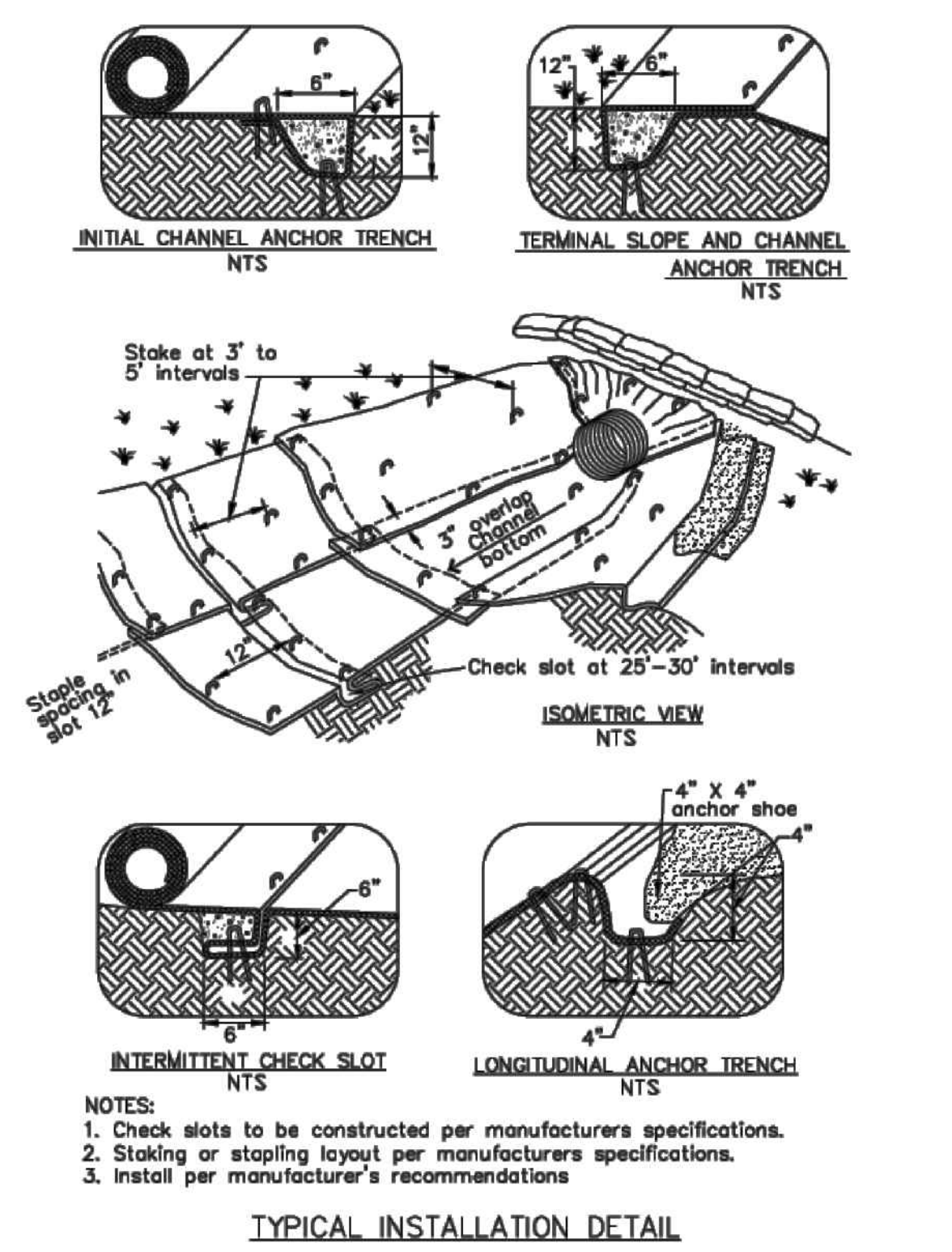
5 Geotextiles and Mats
 CASQA Detail EC-7



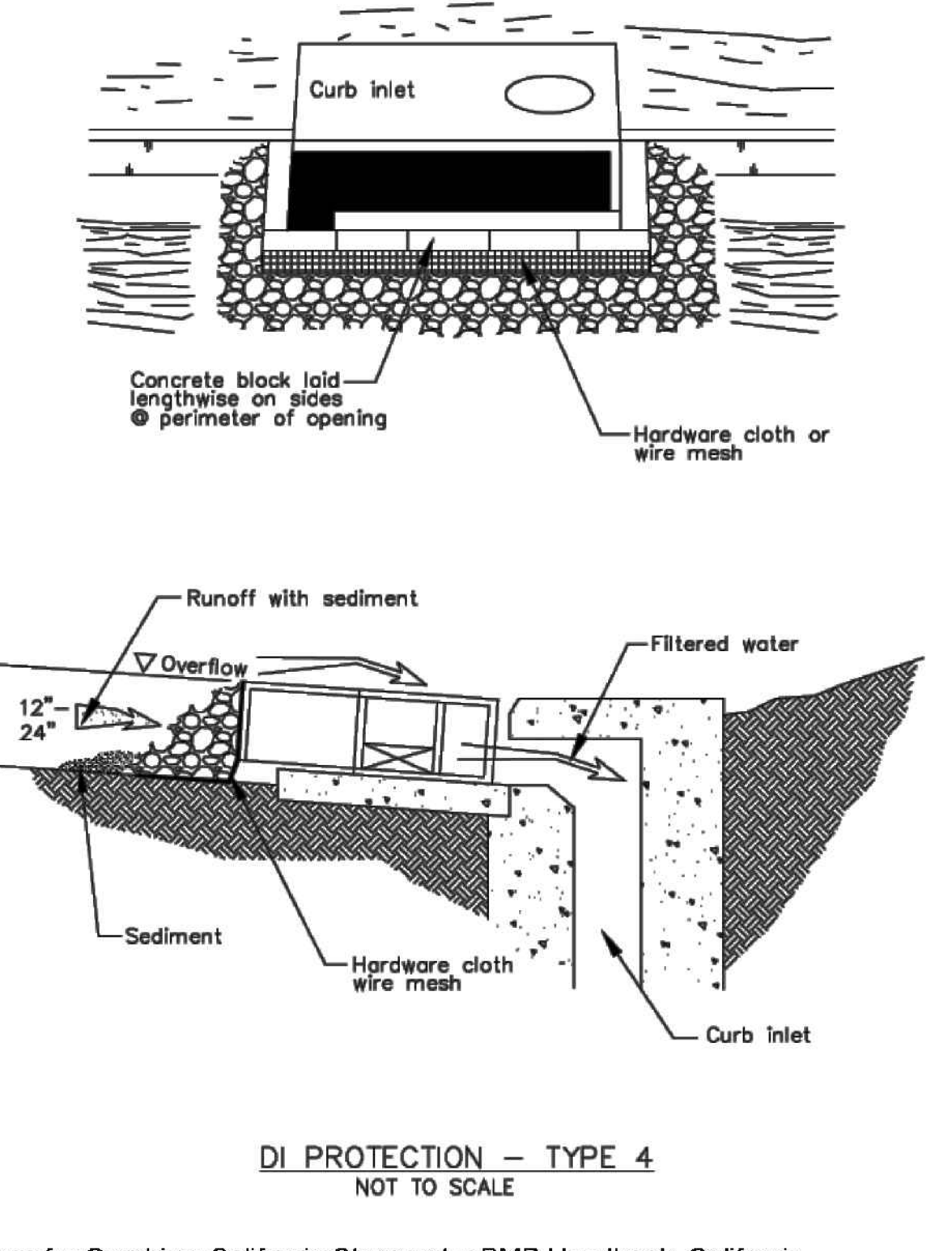
6 Storm Drain Inlet Protection
 CASQA Detail SE-10



7 Geotextiles and Mats
 CASQA Detail EC-7



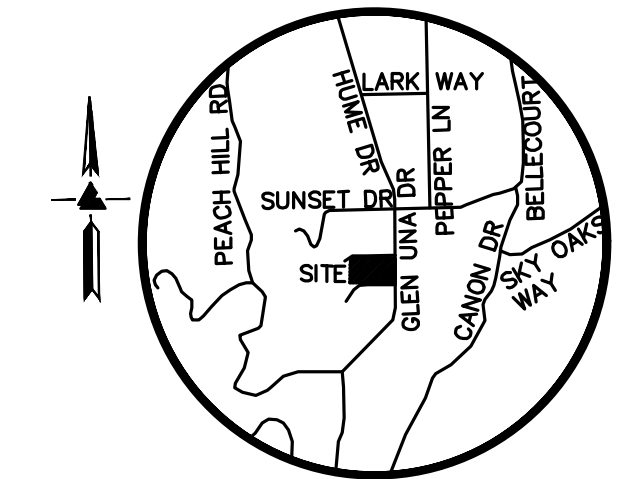
8 Storm Drain Inlet Protection
 CASQA Detail SE-10



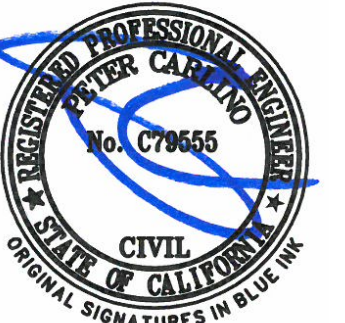
Source for Graphics: California Stormwater BMP Handbook, California Stormwater Quality Association, January 2003. Available from www.cabmphandbooks.com.



AVERAGE LOT SLOPE EXHIBIT 15581 GLEN UNA DRIVE LOS GATOS, CALIFORNIA



VICINITY MAP
NO SCALE



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CIVIL ENGINEERS & LAND SURVEYORS
REGIONAL OFFICES:
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DUBLIN
SAN JOSE
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AREA WITHIN RIGHT-OF-WAY
2,181 SQFT. (0.005 ACRE)
(EXCLUDED FROM CALCULATIONS)

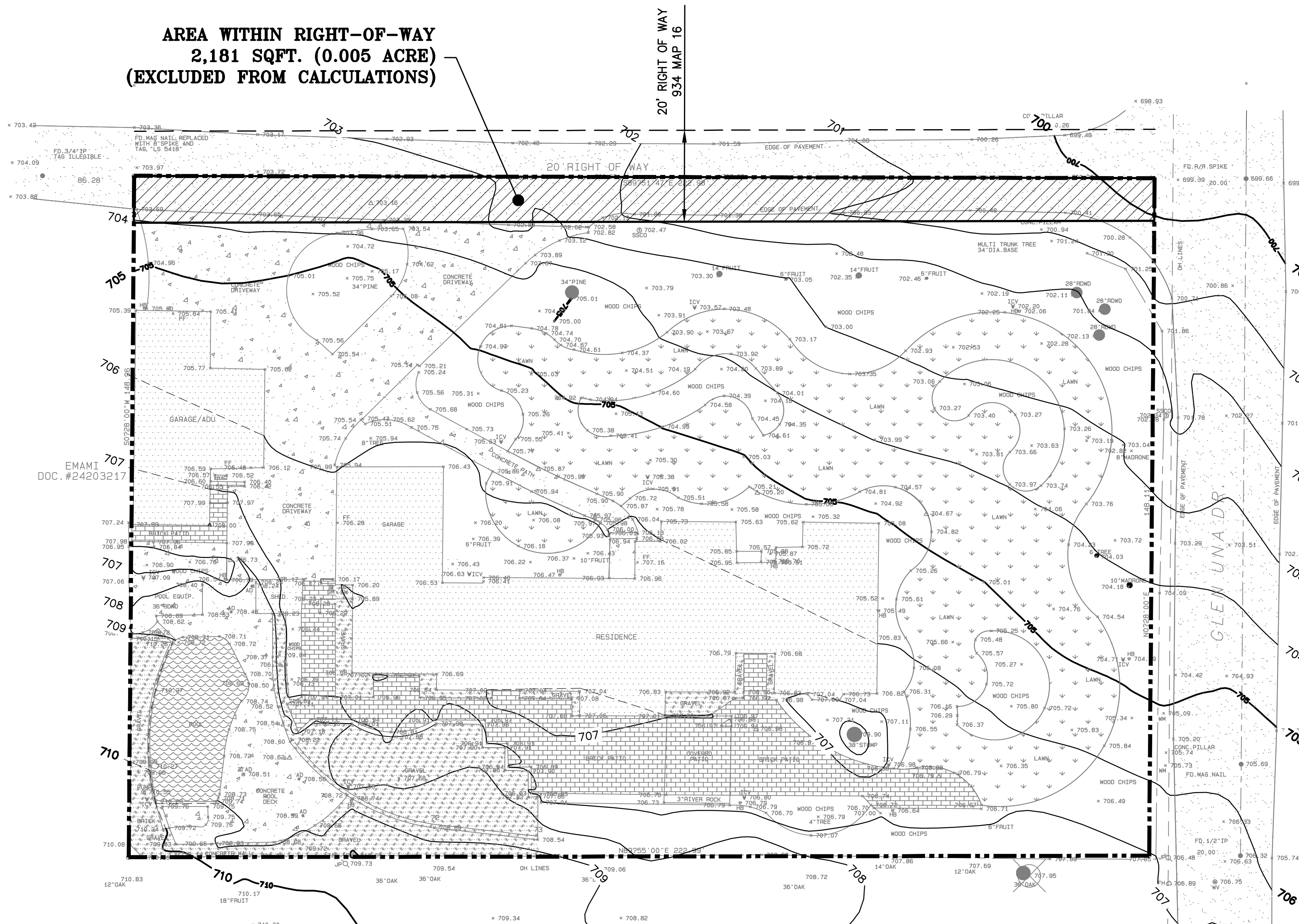


EXHIBIT NOTE

THIS EXHIBIT IS INTENDED ONLY AS AN AID TO DETERMINE THE AVERAGE LOT SLOPE OF THE SUBJECT PROPERTY. SITE SURVEY INFORMATION, INCLUDING BUT NOT LIMITED TO, UTILITIES, FENCES AND SPECIFIC SPOT GRADES MAY BE REMOVED FOR CLARITY. REFER TO THE SITE SURVEY BY ROBERT J. CRAIG FOR COMPLETE SITE SURVEY INFORMATION

CALCULATIONS BY LEA & BRAZE ENGINEERING (510) 887-4086

CALCULATION OF AVERAGE SLOPE

PROPERTY OWNER(S)	15581 Glen Una Drive		
PROPERTY ADDRESS	15581 Glen Una Drive		
CALCULATED BY	R. West	DATE	July 19, 2022
REFERENCE MAP:	Robert J. Craig Survey #C-19143	JOB#	2221289

I. CALCULATION OF AVERAGE SLOPE

ZONING N/A
GROSS AREA 0.76 ACRE (33,120 sqft.)
AREA IN R.O.W. 0.05 ACRE (2,181 sqft.) (Excluded from calculations)

A. NET AREA (An) 0.71 ACRES B. CONTOUR INTERVAL (I) 1.0 FT.

C. DRAWING SCALE 1" = 16'

D. CONTOUR LENGTH WITHIN NET AREA OF LOT (An)

CONTOUR	LENGTH (INCHES)	CONTOUR	LENGTH (INCHES)	CONTOUR	LENGTH (INCHES)	CONTOUR	LENGTH (INCHES)
699	0.0	711	0.0	723		735	
700	0.0	712	0.0	724		736	
701	3.7	713		725		737	
702	7.0	714		726		738	
703	9.8	715		727		739	
704	14.8	716		728		740	
705	15.7	717		729		741	
706	15.5	718		730		742	
707	29.3	719		731		743	
708	12.0	720		732		744	
709	9.3	721		733		745	
710	1.7	722		734		746	
TOTAL	118.8						

CONVERT INCHES TO FEET (MULTIPLY BY MAP SCALE) = (L) = 1900.8 FT.

E. AVERAGE SLOPE WITHIN NET AREA OF LOT

$$S = \frac{(0.00229) (I)}{(A)} (L)$$

$$S = \frac{(0.00229) (1 \text{ FT})}{(0.71 \text{ ACRES})} (1900.8 \text{ FT.}) = 6.1\%$$

SURVEY INFORMATION

A REQUESTED TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY.

ROBERT J. CRAIG LICENSED LAND SURVEYOR 966 ELSIE MAE DRIVE BOULDER CREEK, CA 95006 (831)359-1750 OR (408)884-3791 RobertJamesCraig@gmail.com		TOPOGRAPHIC MAP OF LANDS OF VAPPALA & JALADI AS RECORDED IN DOCUMENT NO. 24244049 OFFICIAL RECORDS OF SANTA CLARA CO. Situate in LOS GATOS Unincorporated area of County of Santa Clara, State of California	
DATE: JANUARY 23, 2020	DRAWN: RJC	JOB NO. C-19143	INDEX: SANTA CLARA CO.
FIELDWORK: NIB	APN 510-26-007		

TECHNICAL INFORMATION

ASSESSOR'S PARCEL NUMBER: 510-26-007

ADDRESS OF PROJECT: 15581 GLEN UNA
LOS GATOS, CA

OWNERS' NAMES: LINGA VAPPALA
KALYANI JALADI

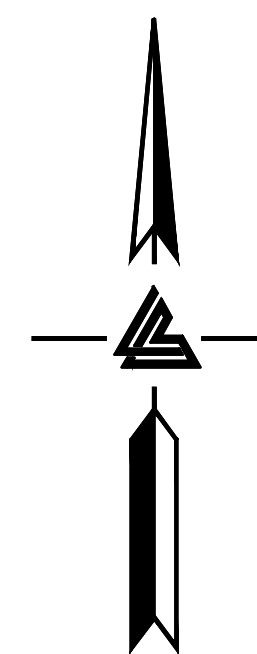
SIZE OF LOT: 33,120 SQ FT. +/- (GROSS)
30,890 SQ FT. +/- (NET)

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTER LINE OF GLEN UNA DRIVE AS FOUND MONUMENTED AND RECORDED AS NORTH 0°28'00" EAST ON THE RECORD OF SURVEY FILED IN BOOK 403 OF MAPS, PAGE 26, SANTA CLARA COUNTY RECORDS.

BASIS OF ELEVATIONS

ELEVATIONS SHOWN ON THIS MAP ARE BASED ON A HIGH PRECISION GPS READING ON AN INITIAL CONTROL POINT AS ESTABLISHED WITH LEICS'S "HXGN SMARTNET (NAVDB8)



SCALE: 1" = 16'



VAPPALA RESIDENCE
15581 GLEN UNA DRIVE
LOS GATOS, CALIFORNIA

APN: 51-26-007

SANTA CLARA COUNTY

AVERAGE LOT SLOPE
EXHIBIT

REVISIONS	BY
JOB NO:	2221289
DATE:	07-21-22
SCALE:	1"=16'
EXHIBIT DRAWN BY:	RW
CALCULATIONS BY:	RW
SHEET NO:	

SL-1

1 OF 1 SHEETS

This map being filed in accordance with Section 8762(b) (1) (2) (3) of the Professional Land Surveyors' Act.

ALL DISTANCES AND ELEVATIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.

FD. 1/2" IRON PIN
PER (C) (D)

SUNSET DR. GLEN UNA DR.

N89°32'W 4.88' (D)

COUNTY SURVEYOR'S STATEMENT

This map has been examined in accordance with Section 8766 of the Professional Land Surveyors' Act this 2nd day of 2020

AUGUST HANKS, COUNTY SURVEYOR
Professional Land Surveyor No 9274

By: *August Hanks*
JEREMY KOENIG, DEPUTY COUNTY SURVEYOR
Professional Land Surveyor No 9394



APN 510-26-087
O'BRIEN
DOC. #21658276

FD. MAG NAIL, REPLACED
WITH 8" SPIKE AND
TAG, "LS 5418"

FD. 3/4" IP (PER (H))
TAG ILLEGIBLE

RECORDER'S STATEMENT

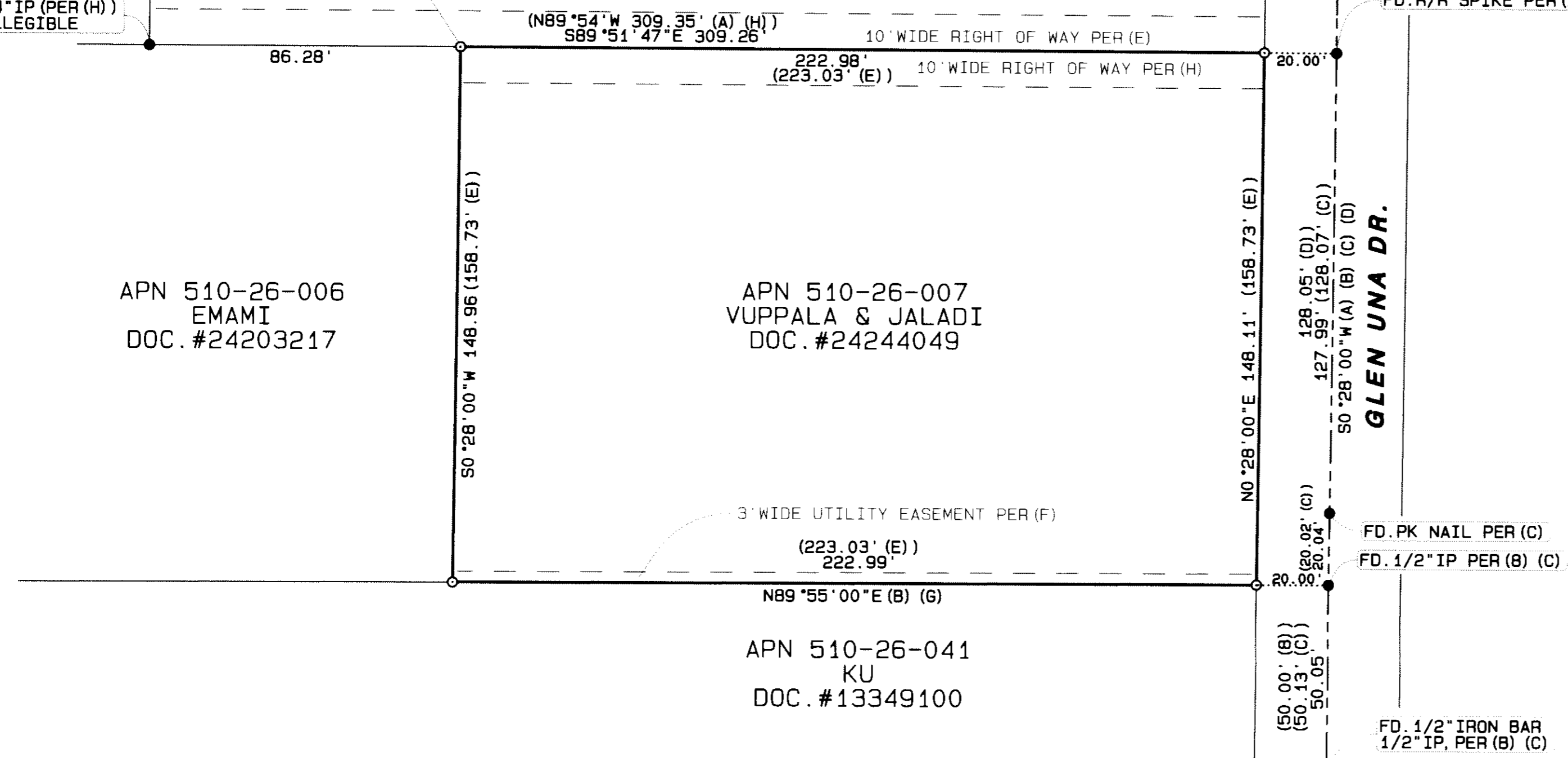
Filed this 5th day of November 2020, at 12:28 PM, in Book 934 of Maps at Page 16, at the request of Robert Craig.

REGINA ALCOMENDRAS File: 24690744
Fee: \$ 83.00

By Deputy *Yira Hopkins*

REFERENCE DOCUMENTS

- (A) RECORD OF SURVEY, 87-M-32
- (B) RECORD OF SURVEY, 89-M-20
- (C) RECORD OF SURVEY, 403-M-26
- (D) RECORD OF SURVEY, 751-M-33
- (E) DEED DOC. #24244049
- (F) DEED DOC. #24203217
- (G) DEED DOC. #13349100
- (H) DEED DOC. #21658276



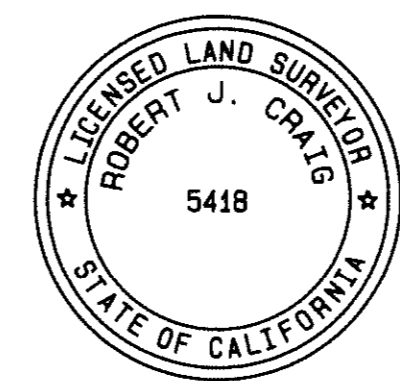
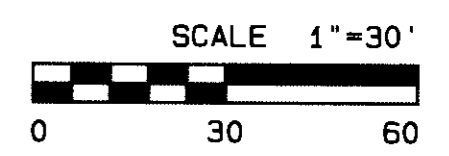
- LEGEND**
- INDICATES RECORD BOUNDARY LINE
 - INDICATES BOUNDARY LINE OF OTHERS
 - - - - - INDICATES CENTER LINE OF RIGHT OF WAY
 - INDICATES MONUMENT FOUND, AS NOTED
 - INDICATES SET 1/2"x36" STEEL ROD, CAPPED "LS 5418", UNLESS NOTED OTHERWISE

BASIS OF BEARINGS
THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTER LINE OF GLEN UNA DRIVE AS FOUND MONUMENTED AND RECORDED AS NORTH 0°28'00"EAST ON THE RECORD OF SURVEY FILED IN BOOK 403 OF MAPS, PAGE 26, SANTA CLARA COUNTY RECORDS.

SURVEYOR'S STATEMENT

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Professional Land Surveyors' Act at the request of Kalyani Jaladi in November, 2019.

Robert J. Craig
ROBERT J. CRAIG
Professional Land Surveyor No. 5418

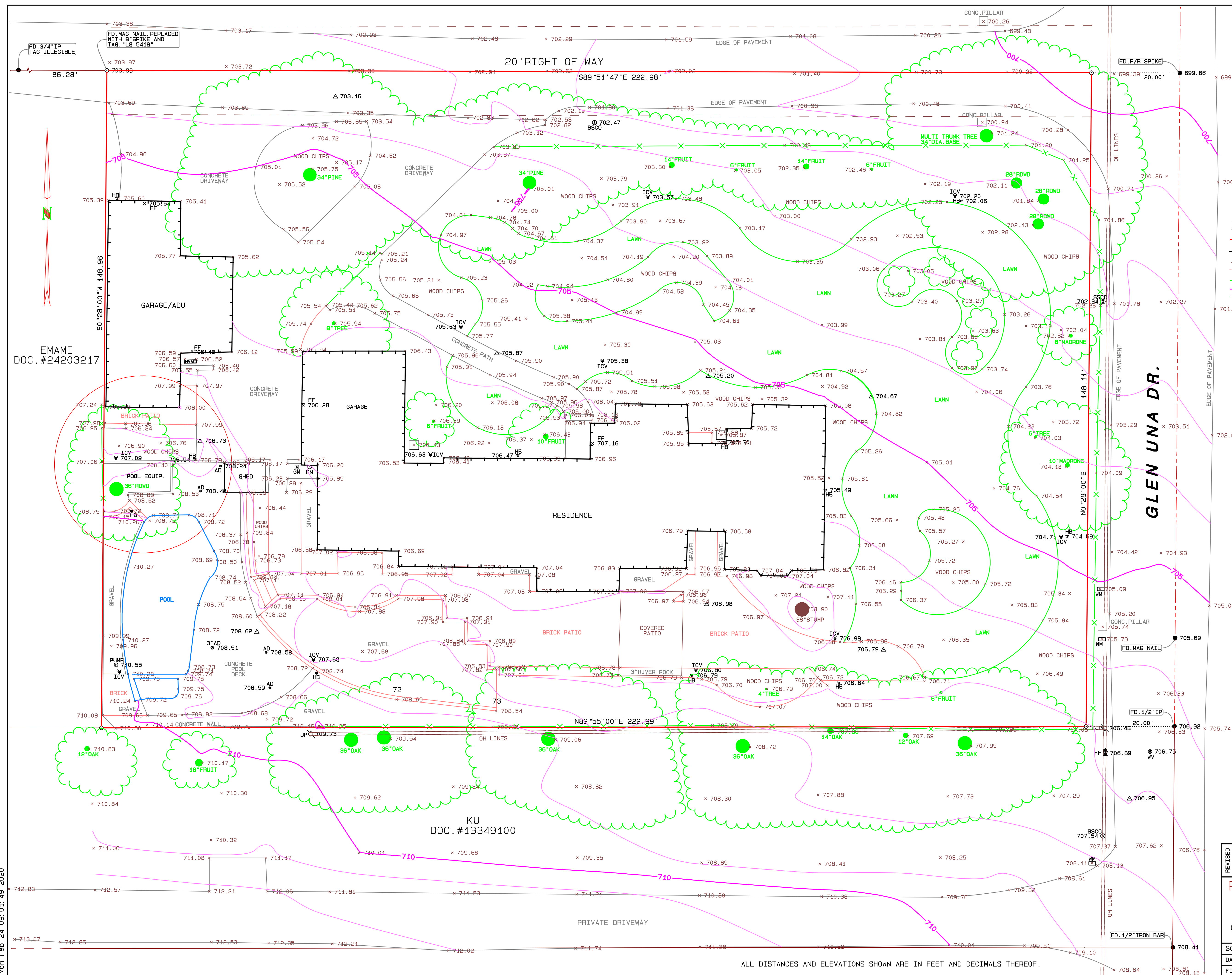


ROBERT J. CRAIG LICENSED LAND SURVEYOR 966 ELSIE MAE DRIVE BOULDER CREEK, CA 95006 (831) 359-1750 (408) 884-3791 robertjamescraig@gmail.com		RECORD OF SURVEY LANDS OF VUPPALA & JALADI AS RECORDED IN DOC. # 24244049 OFFICIAL RECORDS OF SANTA CLARA COUNTY	
SCALE 1" = 30' DATE FEB. 6, 2020 FIELD NIB		SITUATED IN LOS GATOS UNINCORPORATED AREA OF SANTA CLARA COUNTY, CALIFORNIA	
DRAWN RJC APN 510-26-007	JOB NO. C-19143 INDEX SANTA CLARA CO.	SHEET 1	OF 1

24690744

934/16

16



TECHNICAL INFORMATION

ASSESSOR'S PARCEL NUMBER: 510-26-007
 ADDRESS OF PROJECT: 15581 GLEN UNA LOS GATOS, CA
 OWNERS' NAMES: LINGA VUPPALA, KALYANI JALADI
 SIZE OF LOT: 33,120 SQ FT. +/- (GROSS), 30,890 SQ FT. +/- (NET)

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTER LINE OF GLEN UNA DRIVE AS FOUND MONUMENTED AND RECORDED AS NORTH 0°28'00" EAST ON THE RECORD OF SURVEY FILED IN BOOK 403 OF MAPS, PAGE 26, SANTA CLARA COUNTY RECORDS.

- LEGEND**
- INDICATES RECORD BOUNDARY LINE
 - INDICATES EXTERIOR FACE OF BUILDING
 - - - INDICATES EDGE OF EASEMENT
 - - - INDICATES CENTER LINE OF RIGHT OF WAY
 - X — INDICATES EXISTING FENCE
 - OR — INDICATES CONTOUR LINE
 - INDICATES SET 1/2" x 36" IRON BAR CAPPED "LS 5418", UNLESS NOTED OTHERWISE
 - INDICATES SURVEY MONUMENT FOUND, AS NOTED
 - △ INDICATES RANDOM SURVEY CONTROL POINT
 - FF INDICATES FINISH FLOOR
 - SSCO INDICATES SANITARY SEWER CLEANOUT
 - WV INDICATES WATER VALVE
 - WM INDICATES WATER METER
 - JP INDICATES JOINT SERVICES POLE
 - FH INDICATES FIRE HYDRANT
 - HB INDICATES HOSE BIB
 - ICV INDICATES IRRIGATION CONTROL VALVES
 - OH INDICATES OVERHEAD

A REQUESTED TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY.

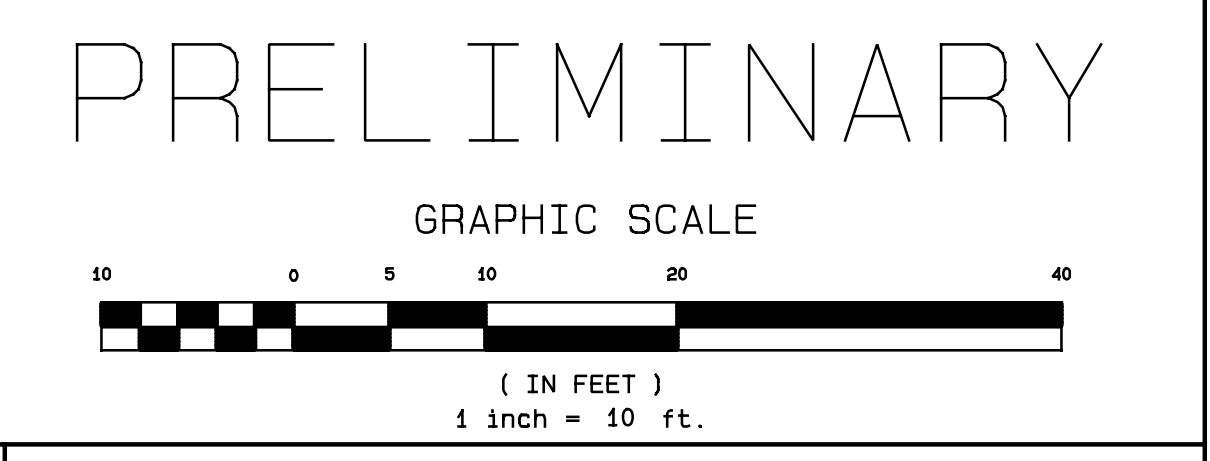
BOUNDARY LINES DELINEATED ON THIS MAP ARE IN RED AND ARE BASED ON THE SURVEYOR'S OPINION UTILIZING FOUND PHYSICAL EVIDENCE AND RECORD DATA.

BASIS OF ELEVATIONS

ELEVATIONS SHOWN ON THIS MAP ARE BASED ON A HIGH PRECISION GPS READING ON AN INITIAL CONTROL POINT AS ESTABLISHED WITH LEIC'S "HXGN SMARTNET (NAVDSB)

ATTENTION

THE DELIVERY OF THIS MAP IN AN ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF MY PROFESSIONAL WORK PRODUCT. THE SIGNED PAPER PRINT IS PROVIDED TO THE CLIENT AS AN INSTRUMENT OF SERVICE. IN EVENT THE ELECTRONIC FILE IS ALTERED, THE SAID PAPER PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. I SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE, BY OTHERS, TO THE ELECTRONIC FILE, OR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE.



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SCALE: 1" = 10'	DRAWN: RJC	JOB NO.: C-19143	SHEET
DATE: JANUARY 23, 2020		INDEX: SANTA CLARA CO.	ONE
FIELDWORK: NIB	APN 510-26-007		OF ONE

ALL DISTANCES AND ELEVATIONS SHOWN ARE IN FEET AND DECIMALS THEREOF.

Mon Feb 24 09:01:49 2020