

## Construction Permit Application Cover Sheet

Date: 07-12-2022  
To: Department of Permit and Development, Santa Calara County  
Construction Permit Type: New Owners Permit  
Owner: Wei Zang Huifang Ge  
Address: 8965 Marcella Ave. Gilroy CA  
APN #: 835-15-012

### Construction Type:

1. Used manufacturer house site set up. New driveway. Car port. Septic and leach line construction.
2. Construction Plan  
Drawings: A-1 Site plan A 2 Floor Plan A 3 Elevation Plan
3. Department of Housing and Community Development State of California  
Pre-approved Manufacturer House Tiedown System (4 pages).
4. Reference: Used Manufacture House Ownership Transfer Document Escrow.

### Note:

#### Owner's Information

David Zang (408) 4019260 davidwzang@gmail.com

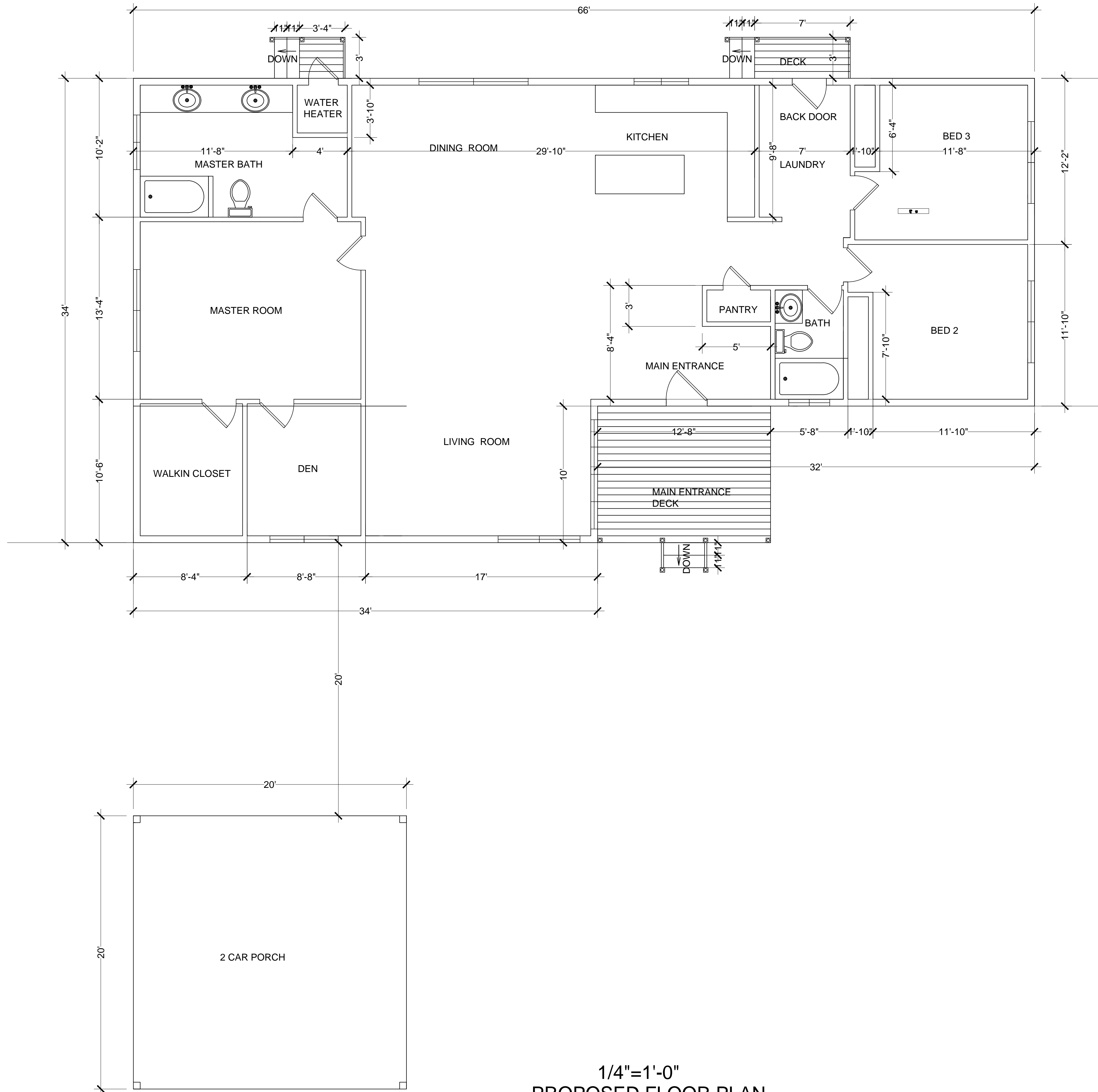
Huifang Ge (510) 687-9858 gehuifang@gmail.com

#### Designer:

Minghui Jiang (650) 722-9665 Keijiang.jcm@gmail.com

#### Contractor:

John Chang (415) 215-1698 Email: john.jcmconstruction@gmail.com



1/4"=1'-0"  
PROPOSED FLOOR PLAN

Revisions

ZANG & GE RESIDENCE

PLAN OF MAIN HOUSE

8965 MARCELLA AVE  
GILROY

A.P.N. # 835-15-012

Drawn By  
JIANG

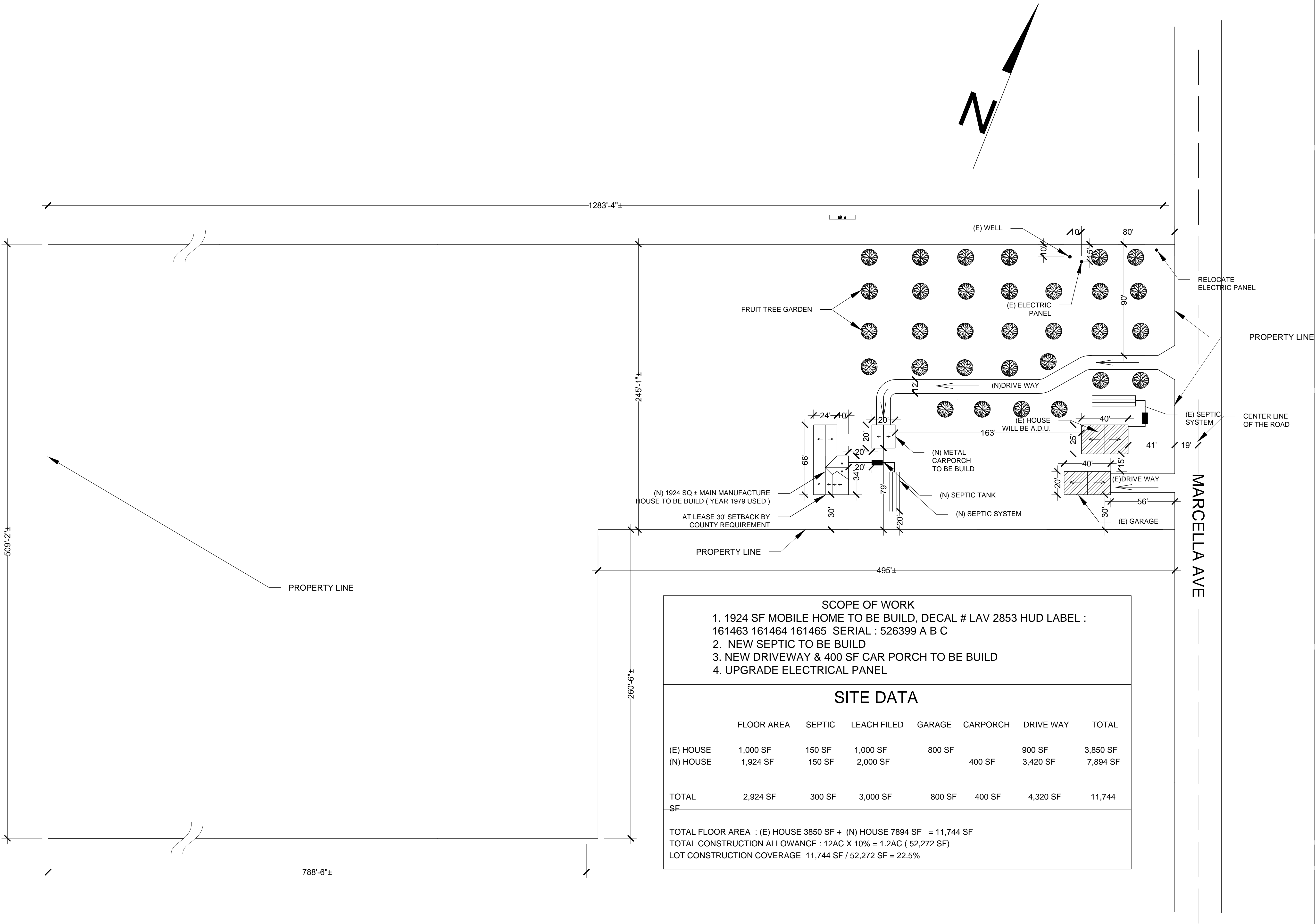
Date  
07/10/2022

Sheet Number

A2

GENERA NOTICE

1. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE, AND SHALL BE RESPONSIBLE FOR CONDITIONS OF ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUB-CONTRACTORS. STRUCTURAL ENGINEER OF RECORD SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH 2020 CALIFORNIA BUILDING CODE.
3. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS SECTIONS AND DETAILS.
4. NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
5. WHERE NO DETAIL SHOWN OR NOTED ON THE DRAWINGS, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
6. OPENINGS, POCKETS, SLEEVES, ETC,SHALL NOT BE PLACE IN SLABS, BEAMS, WALLS, COLUMNS AND FOOTINGS UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS.
7. CONSTRUCTION MATERIAL SHALL BE SPREAD OUT IF PLACE ON FRAMED FLOORS OR ROOF. LOADS SHALL NOT EXCEED DESIGN LIVE LOADS FOR EACH PARTICULAR LEVEL. PROVIDE ADEQUATE SHORING AND BRACING IF LOAD EXCEED DESIGN LIVE LOAD OR WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
8. THIS SET OF DRAWINGS REPRESENT THE FINISHED STRUCTURE, METHOD OF CONSTRUCTION NOT NECESSARY INDICATED, THE CONTRACTOR SHALL PROVIDE ALL MEASURES TO PROTECT THE STRUCTURE, WORKERS AND OTHER PERSONS DURING CONSTRUCTION, SUCH MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO BRACING, SHORING, SCAFFOLDING,ETC.
9. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.
10. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.
11. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.
12. CONSTRUCTION PLANS AND CALCULATION SHALL COMPLY WITH ALL OF THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE 2020 EDITION.



SCOPE OF WORK

1. 1924 SF MOBILE HOME TO BE BUILD, DECAL # LAV 2853 HUD LABEL : 161463 161464 161465 SERIAL : 526399 A B C

2. NEW SEPTIC TO BE BUILD

3. NEW DRIVEWAY & 400 SF CAR PORCH TO BE BUILD

4. UPGRADE ELECTRICAL PANEL

SITE DATA

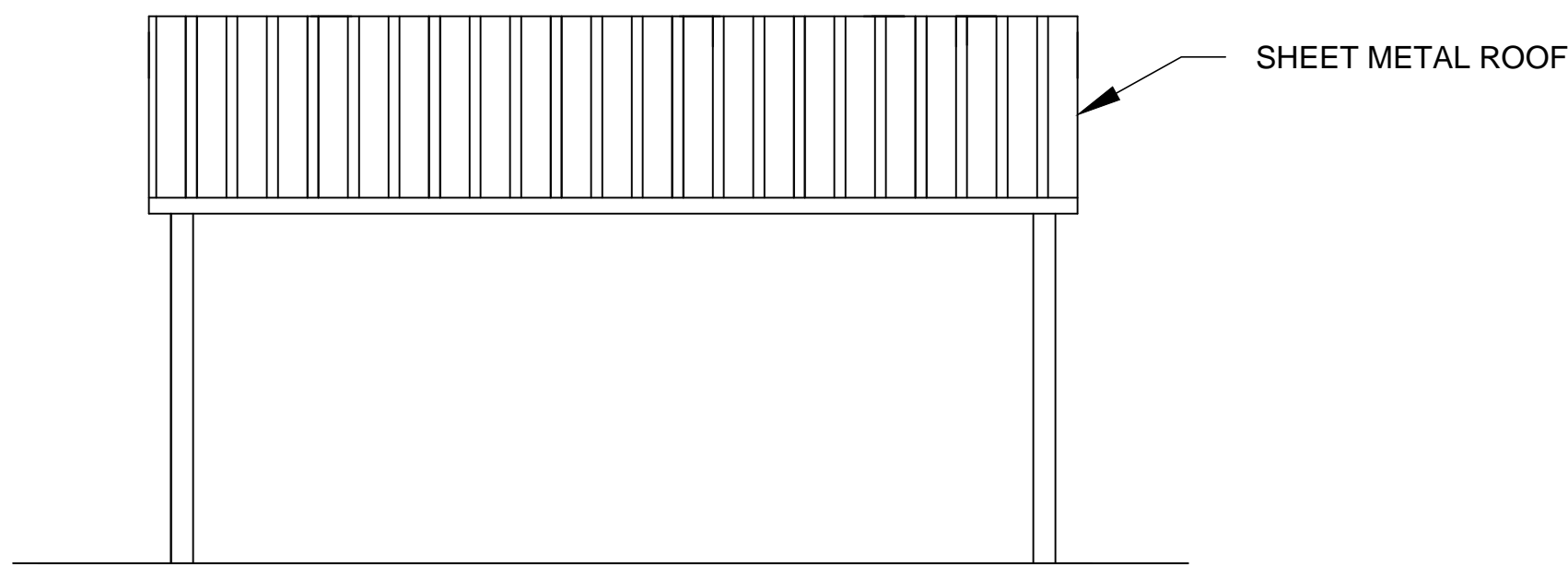
	FLOOR AREA	SEPTIC	LEACH FILED	GARAGE	CARPORCH	DRIVE WAY	TOTAL
(E) HOUSE	1,000 SF	150 SF	1,000 SF	800 SF		900 SF	3,850 SF
(N) HOUSE	1,924 SF	150 SF	2,000 SF		400 SF	3,420 SF	7,894 SF
TOTAL SF	2,924 SF	300 SF	3,000 SF	800 SF	400 SF	4,320 SF	11,744

TOTAL FLOOR AREA : (E) HOUSE 3850 SF + (N) HOUSE 7894 SF = 11,744 SF

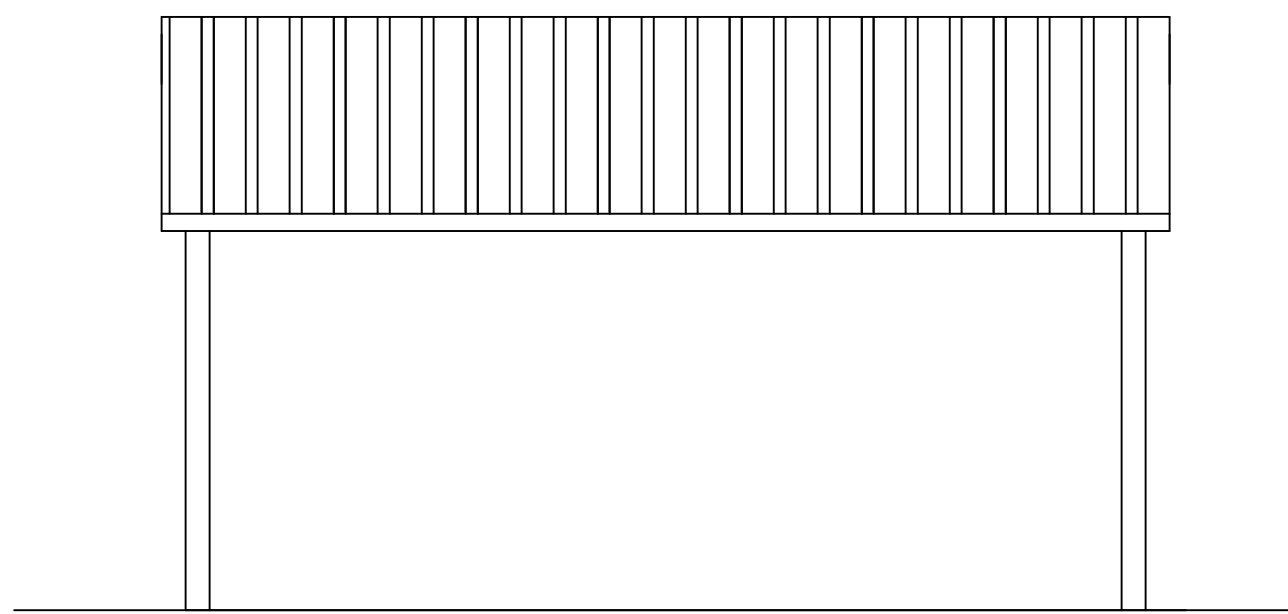
TOTAL CONSTRUCTION ALLOWANCE : 12AC X 10% = 1.2AC ( 52,272 SF)

LOT CONSTRUCTION COVERAGE 11,744 SF / 52,272 SF = 22.5%

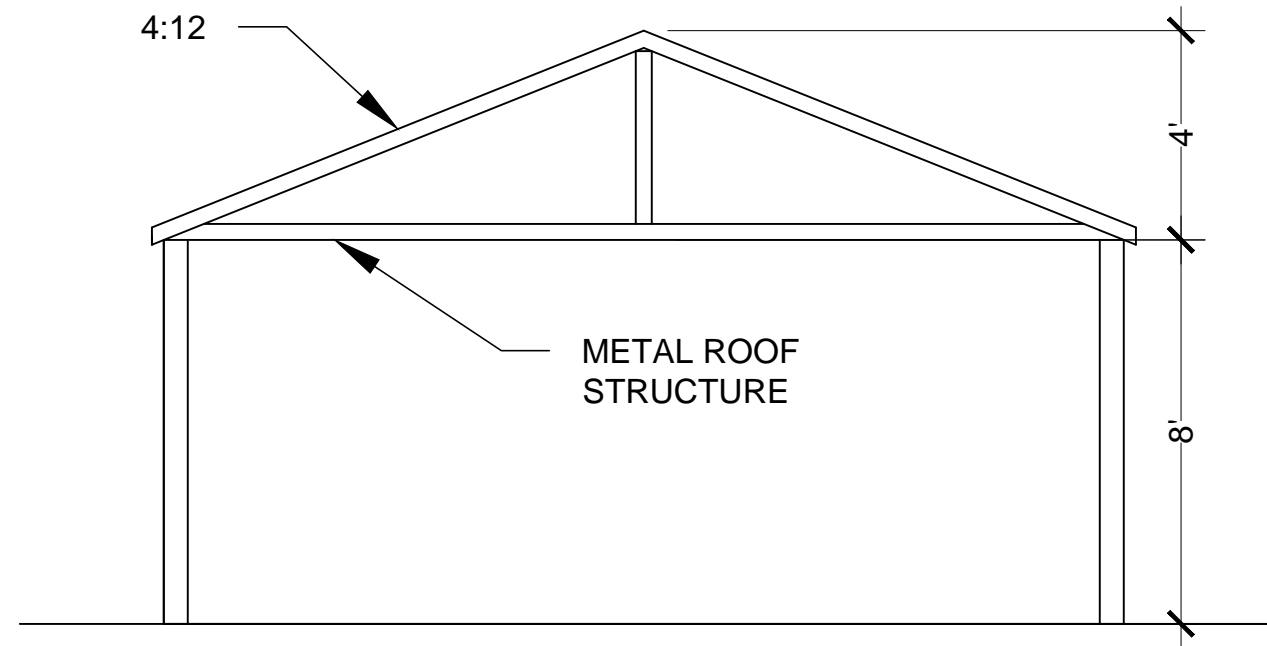
1/4"=10'-0"  
PROPOSED SITE PLAN



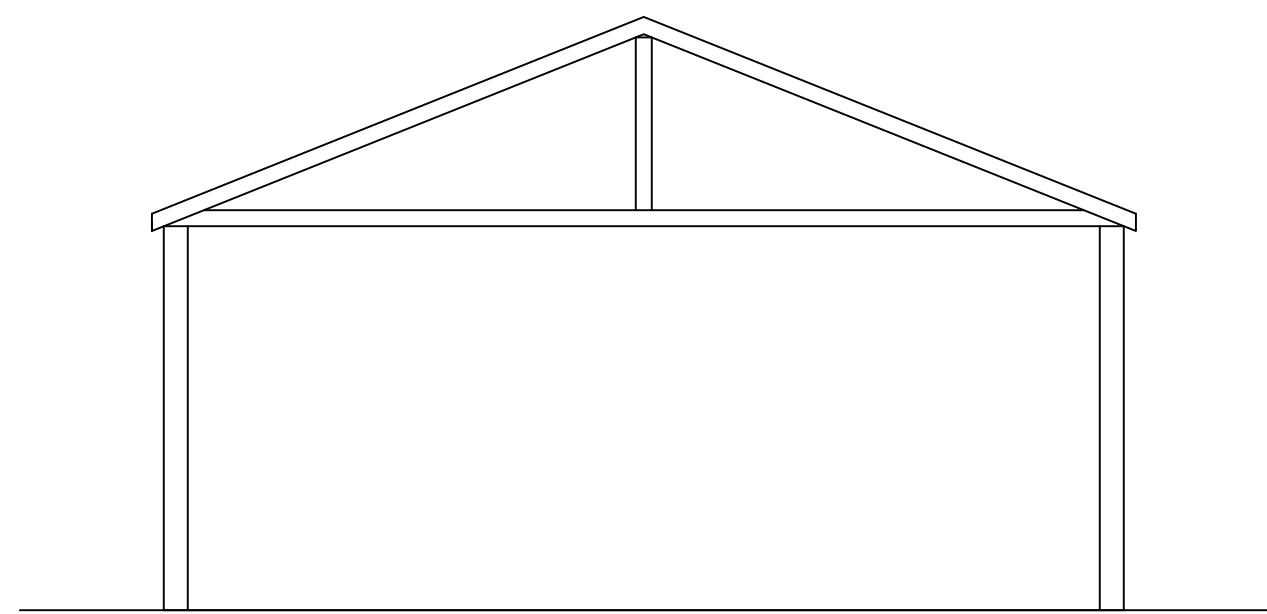
CARPORCH WEST SIDE



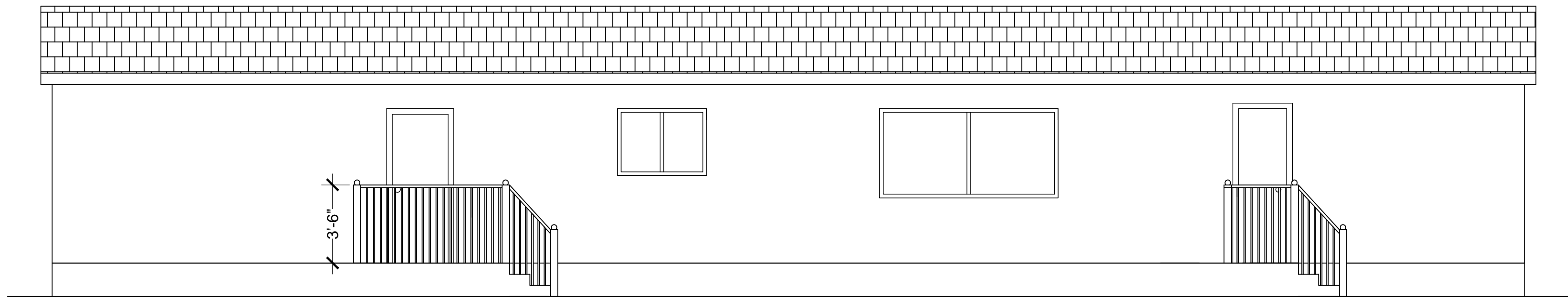
CARPORCH EAST SIDE



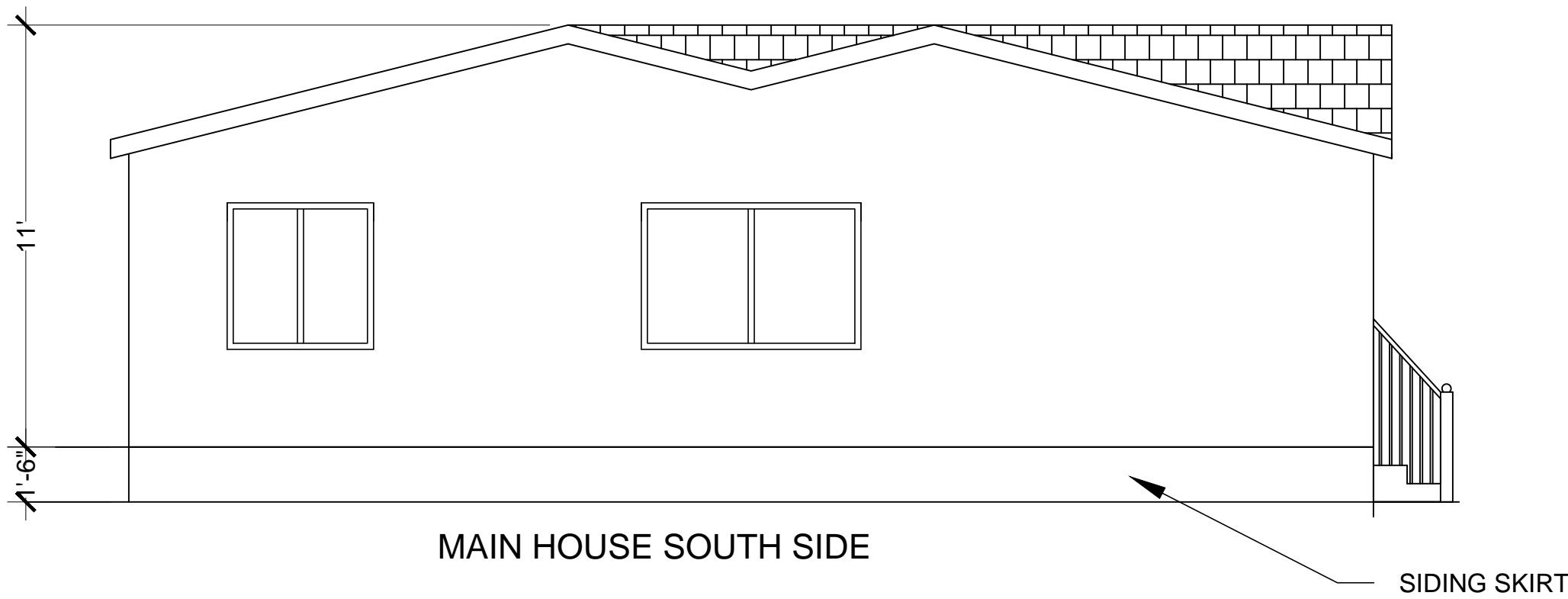
CARPORCH SOUTH SIDE



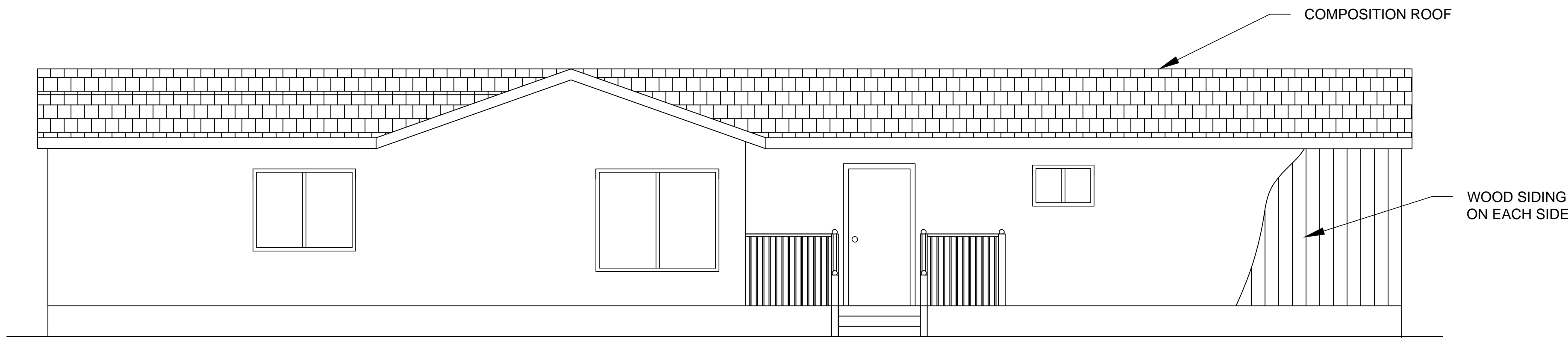
CARPORCH NORTH SIDE



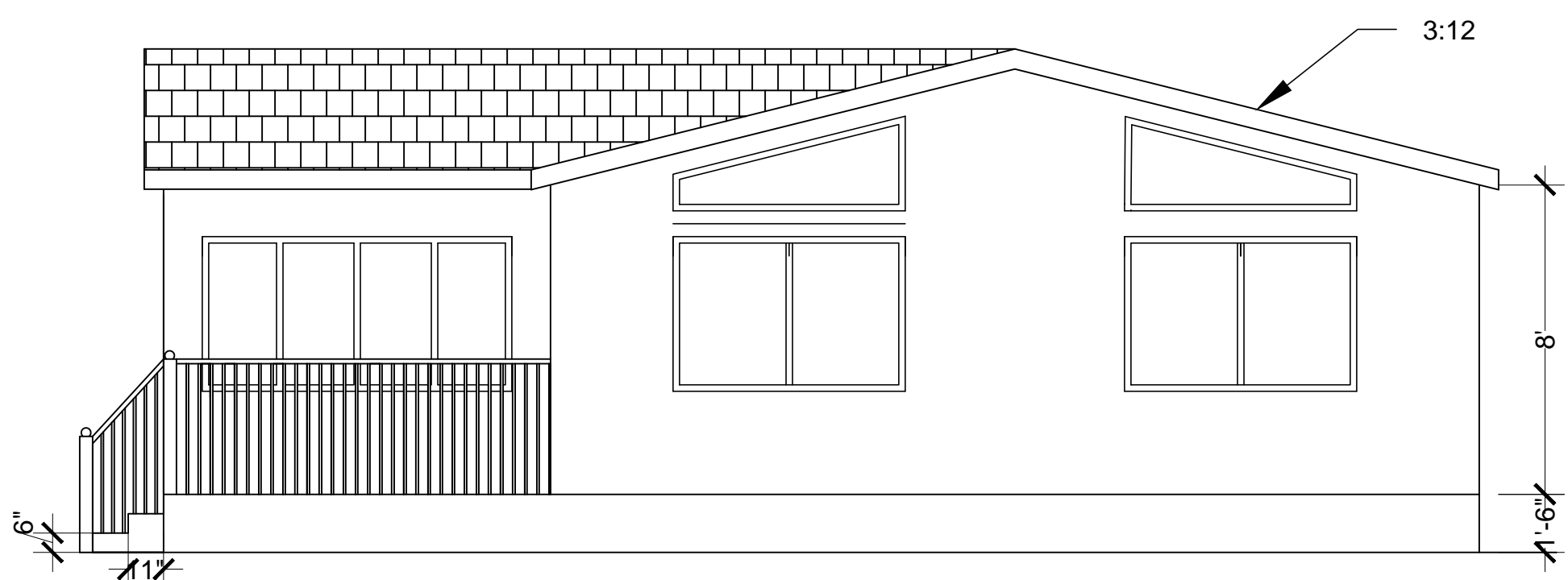
MAIN HOUSE WEST SIDE



MAIN HOUSE SOUTH SIDE



MAIN HOUSE EAST SIDE



MAIN HOUSE NORTH SIDE

1/4"=1'-0"  
PROPOSED ELEVATION PLAN

Revisions

ZANG & GE RESIDENCE

PLAN OF MAIN HOUSE  
8965 MARCELLA AVE  
GILROY

Drawn By  
JIANG

Date  
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Sheet Number

A3



GENERAL NOTES TUF-1

CODE 2019 CRC; SITE CLASS D-2,

1. DESIGN LOADS:

ROOF LIVE LOAD - 30 LB. TO 100 LB. SNOW

FLOOR LIVE LOAD - 40 PSF

WIND LOAD - 110 MPH EXPOSURE "C" & 130 MPH EX. "C"

SEISMIC ZONE -  $S_s=1.5$   $F_o=1.4$   $S_{ps}=1.41$  SITE CLASS "D"

\* SNOW LOAD (SEE NOTE #15)

2. THIS FOUNDATION SYSTEM IS DESIGNED TO BE CONSTRUCTED ON A FAIRLY LEVEL SITE WITH NO EXISTING SOIL PROBLEMS.
3. CHASSIS BEAM SUPPORTS SHALL BE LOCATED AND SIZED FOR THE LOADS AS SHOWN IN THE "MOBILE HOME INSTALLATION INSTRUCTIONS".
4. IN AREAS WHERE DIFFERENTIAL SETTLEMENT (D.S.) CAN OCCUR, MANUFACTURED HOME SHALL BE READJUSTED WHEN DS EXCEEDS 1/4", OR WHEN IT WILL ADVERSELY AFFECT MOBILE HOME UNIT.
5. CARRY ALL CONCRETE FOOTINGS DOWN TO FIRM, UNDISTURBED SOIL. FOOTINGS ARE DESIGNED FOR 1,500 PSF TOTAL LOAD SOIL PRESSURE, AND SHALL BE COMPATIBLE WITH LOCAL SOIL CONDITIONS. COMPACTED SAND MAY BE USED TO FILL LOCAL VOIDS UNDER PADS.
6. STRUCTURAL STEEL: FABRICATED ACCORDING TO AISC SPECIFICATION. WELD ACCORDING TO AWS SPECIFICATIONS. ELECTRODES-370 PLATES-ASTM A36 BOLTS-SAE GR 5=ASTM A449=ASTM A3725.
7. THE ASSEMBLIES SHOWN ON THIS PAGE SHALL BE LISTED AND LABELED BY BSK AND ASSOCIATES FOR THE FOLLOWING LOADS:

ALLOWABLE LOADS:

	HORIZONTAL	VERTICAL
TUF-1	2200#	6000#
E-Z TIE PAD	2200#	6000#

8. DURING PRELIMINARY INSPECTION, THE ESTIMATOR SHALL ENSURE THAT MOBILE HOME CHASSIS BEAMS ARE OF STANDARD SECTION.
9. EXISTING COACHES MAY BE RETROFITTED TO RESIST SEISMIC FORCES BY INSTALLING ABESCO TUF-1 UNITS AS SHOWN ON THIS PAGE OF TYPICAL FOUNDATION PLANS.
10. THE TUF-1 SYSTEMS ARE SAFE FOR INSTALLATION IN FLOOD PLAIN AREAS WHERE DEPTH OF FLOODING DOES NOT EXCEED THE HEIGHT OF THREE FEET.
11. MULTIPLE UNIT INSTALLATION IS ACCEPTABLE PROVIDED THE NUMBER OF TUF-1 UNITS UNDER EACH UNIT IS THE SAME AS SHOWN REQUIRED PER EACH UNIT.
12. SINGLE WIDE UNITS REQUIRE 4 E-Z TIE PADS-ONE ON EACH CORNER OF THE HOME. (SEE SHEET #4). HOMES WITH 2 OR MORE MODULE UNITS DO NOT REQUIRE THE E-Z TIE PADS.
13. ALL METAL COMPONENTS AND ATTACHMENT ITEMS SHALL BE PROTECTIVE COATED. EXISTING CONCRETE SLAB TO BE MIN. 3/4" THICK AND MIN. 4'x4' IN SIZE.
14. WHEN CONCRETE SLAB IS IN EXISTANCE, PAD IS NOT REQUIRED. ANCHOR STAND TO CONCRETE SLAB WITH FOUR (4) 1/2"x 3 1/2" EXPANSION ANCHORS.
15. TUF-1 FOUNDATION SYSTEM PROVIDES ALLOWABLE SNOW LOAD TO 100 PSF WHEN INSTALLED WITH EXISTING STANDARDS REQUIRED BY COACH MANUFACTURER & REQUIRED VERTICAL SUPPORTS MAY BE REPLACED w/ A TUF-1 STANCHION.

NOTE:

THE FOUNDATION SYSTEM IS DESIGNED FOR THE TUF-1 STANCHIONS TO BE PLACED ON THE OUTSIDE CHASSIS BEAMS OF THE MULTI-WIDE HOMES. THE TOTAL NUMBER OF TUF-1 STANCHIONS REQUIRED, CAN BE PLACED ON THE OUTSIDE OF THE INNER CHASSIS BEAMS AT EACH MODULE. SO LONG AS THE MAXIMUM SPACINGS SHOWN THIS SHEET ARE NOT EXCEEDED

LEGEND:

E=END DISTANCE

S=SPACING OF THE TUF-1's

SINGLE WIDE HOMES.

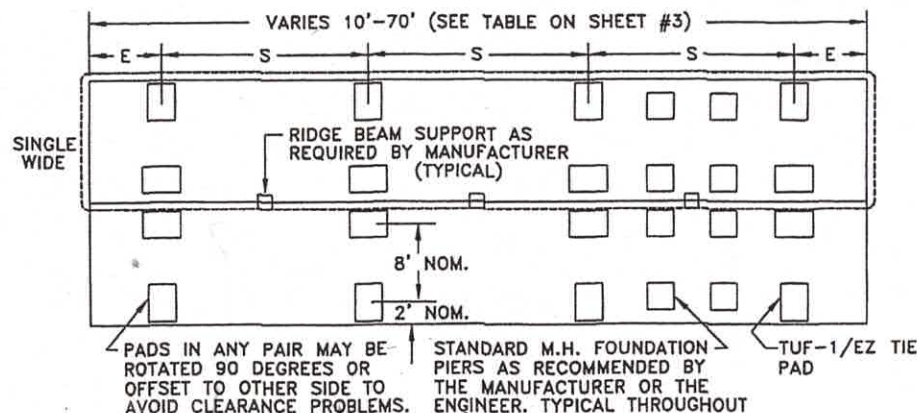
E= 2' MIN. / 8' MAX.

S= 6' MIN. / 22' MAX.

DOUBLE/MULTIPLE HOMES.

E= 2' MIN. / 11' MAX.

S= 6' MIN. / 22' MAX.



3-9-22

TUF-1 PERMANENT FOUNDATION SYSTEM

ABESCO  
5851 FLORIN-PERKINS ROAD  
SACRAMENTO, CA 95828  
PH: (800)382-8831 Toll Free  
FAX: (916)383-5207

REV. DATE 2-22-10

STATE APPROVAL

MANUFACTURED HOME/MOBILE HOME  
FOUNDATION SYSTEM  
HEALTH AND SAFETY CODE, SECTION 18551  
APPROVED

APPROVAL DOES NOT AUTHORIZE OR APPROVE ANY OMISSIONS OR DEVIATION FROM REQUIREMENTS OF APPLICABLE STATE LAWS AND REGULATIONS

State of California  
Department of Housing and Community Development

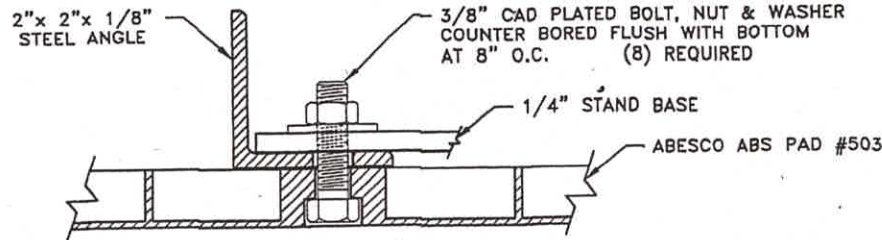
DIVISION OF CODES AND STANDARDS

BY *[Signature]* DATE 3/14/22

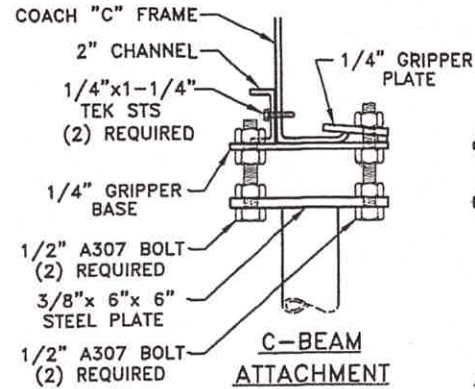
SPA NO. 40-6P (signature)

This Plan Approval Expires 5/15/24

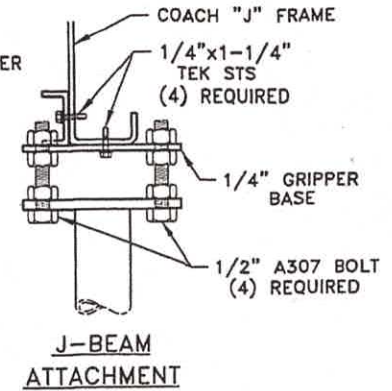




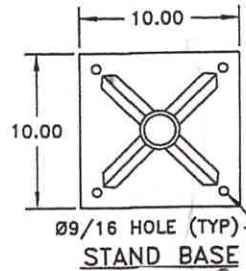
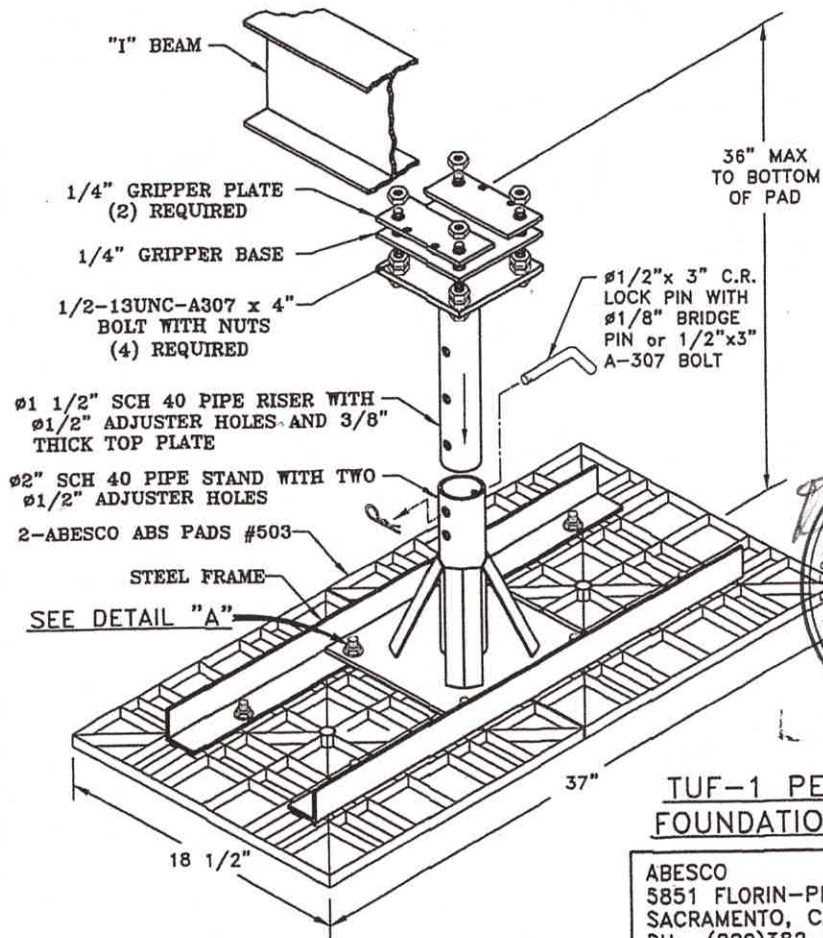
DETAIL "A"



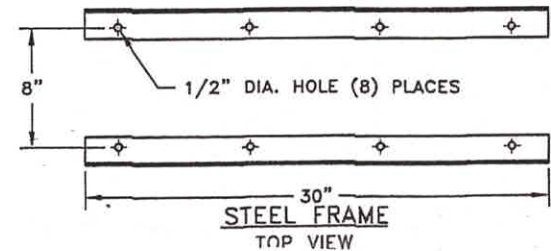
C-BEAM  
ATTACHMENT



J-BEAM  
ATTACHMENT



STAND BASE



STEEL FRAME  
TOP VIEW

REV. DATE 2-22-10



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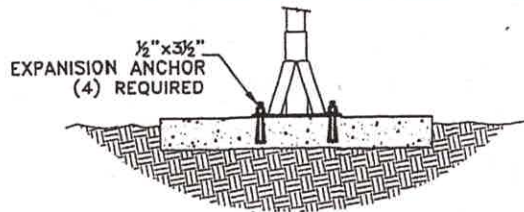
State of California  
Department of Housing and Community Development

DIVISION OF CODES AND STANDARDS

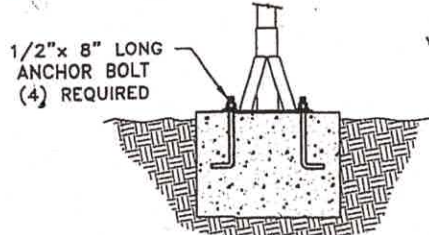
BY 9/m DATE 3/14/24

SPA NO. 40-6F (signature)

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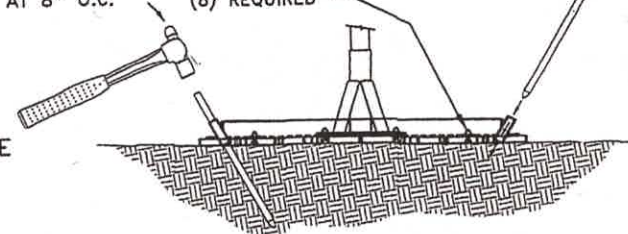
EXISTING CONCRETE SLAB  
SEE NOTE 14 SHEET 1:



POURED IN PLACE 16x16x18 CONCRETE  
FOUNDATION INSTALLATION

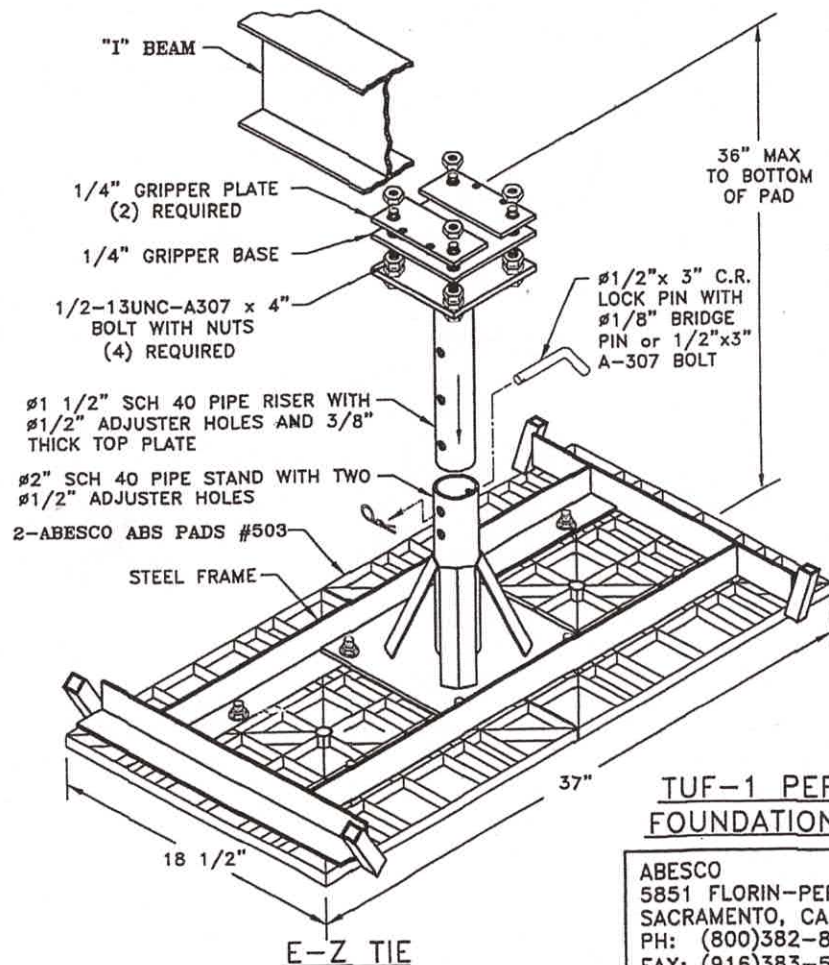
18"x 11/16" STEEL RODS or 3/4" FOUNDATION STAKES  
w/3/16" HOLES @ 1 1/2" C.C.. HOLES ARE OFFSET 90°

3/8" CAD PLATED BOLT, NUT & WASHER  
COUNTER BORED FLUSH WITH BOTTOM  
AT 8" O.C. (8) REQUIRED



E-Z TIE PAD  
INSTALLATION

FOR SINGLE WIDE APPLICATIONS OF THE  
E-Z TIE PAD, SEE NOTE #12, PAGE 1



TUF-1 PERMANENT  
FOUNDATION SYSTEM

ABESCO  
5851 FLORIN-PERKINS ROAD  
SACRAMENTO, CA 95828  
PH: (800)382-8831 Toll Free  
FAX: (916)383-5207



3-7-22

REV. DATE 2-22-10

## STATE APPROVAL

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State of California  
Department of Housing and Community Development

DIVISION OF CODES AND STANDARDS

BY [Signature] DATE 3/17/22

SPA NO. 40-6 (signature)

This Plan Approval Expires 5/15/24

CAPITOL ENGINEERING INC.-LISTING No. CEL-5911-TUF-1

SHEET 6 OF 15



SINGLE WIDE HOME WITH ROOF LOADS TO 60 PSF AND WINDS TO 130 MPH EXP. C

LENGTH OF HOME	NUMBER OF TUF-1's REQUIRED FOR HOMES TO 16' WIDE
UP TO 38'	4
38'-1" to 60'	6
60'-1" to 80'	8

SINGLE WIDE HOMES REQUIRE 4 - EZ TIE PADS 1 AT EACH CORNER

SINGLE WIDE HOME WITH A ROOF SNOW LOAD TO 100 PSF AND WINDS TO 130 MPH EXP. C

LENGTH OF HOME	NUMBER OF TUF-1's REQUIRED FOR HOMES TO 16' WIDE
UP TO 38'	6
38'-1" to 60'	8
60'-1" to 80'	10

MULTI WIDE HOME WITH ROOF LOADS TO 30 PSF AND WINDS TO 110 MPH EXP. C

LENGTH OF HOME	TOTAL NUMBER OF TUF-1's REQUIRED FOR GIVEN WIDTH OF HOME				
	24'	26'	28'	34'	44'
UP TO 44'	4	6	6	6	8
44'-1" to 66'	6	8	8	8	12
66'-1" to 80'	8	8	10	10	14

MULTI WIDE HOME WITH ROOF SNOW LOAD TO 30 PSF AND WINDS TO 130 MPH EXP. C

LENGTH OF HOME	TOTAL NUMBER OF TUF-1's REQUIRED FOR GIVEN WIDTH OF HOME				
	24'	26'	28'	34'	44'
UP TO 44'	6	6	6	6	8
44'-1" to 66'	8	8	8	8	12
66'-1" to 80'	10	10	10	10	14

MULTI WIDE HOME WITH ROOF SNOW LOAD OF 60 PSF AND WINDS TO 130 MPH EXP. C

LENGTH OF HOME	TOTAL NUMBER OF TUF-1's REQUIRED FOR GIVEN WIDTH OF HOME				
	24'	26'	28'	34'	44'
UP TO 44'	6	6	6	8	10
44'-1" to 66'	8	10	10	10	14
66'-1" to 80'	10	12	12	14	18

MULTI WIDE HOME WITH ROOF SNOW LOAD OF 100 PSF AND WINDS TO 130 MPH EXP. C

LENGTH OF HOME	TOTAL NUMBER OF TUF-1's REQUIRED FOR GIVEN WIDTH OF HOME				
	24'	26'	28'	34'	44'
UP TO 44'	8	8	8	10	12
44'-1" to 66'	10	10	12	14	18
66'-1" to 80'	12	14	14	16	22

**NOTE:**

THE FOUNDATION SYSTEM IS DESIGNED FOR THE TUF-1 STANCHIONS TO BE PLACED ON THE OUTSIDE CHASSIS BEAMS OF THE MULTI-WIDE HOMES. THE TOTAL NUMBER OF TUF-1 STANCHIONS REQUIRED, CAN BE PLACED ON THE OUTSIDE OF THE INNER CHASSIS BEAMS AT EACH MODULE SO LONG AS THE MAXIMUM SPACINGS SHOWN ON SHEET #1 ARE NOT EXCEEDED.



3-9-22

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SACRAMENTO, CA 95828  
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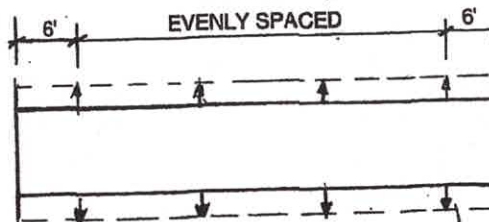
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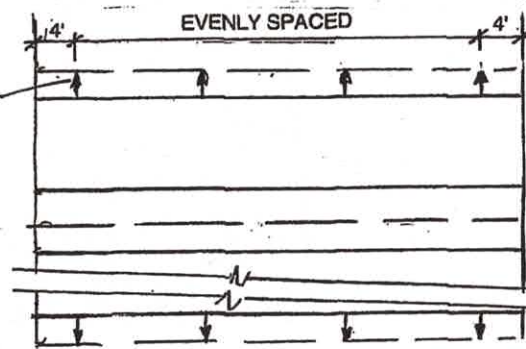


7-7-22

SINGLE WIDES	
MFG'D HOME SIZE	No. OF TIE DOWNS EACH SIDE
12' to 56'	3
12' to 57' / 70'	4
14' to 74'	4
16' to 74'	4



MULTI - WIDES	
MFG'D HOME SIZE	No. OF TIE DOWNS EACH SIDE
20' to 50'	3
20' to 51' / 60'	4
24' to 50'	3
24' to 51' / 66'	5
28' to 60'	5
28' to 61' / 74'	6
40' to 60'	7
40' to 61' / 66'	8
40' to 67' / 74'	9



**FOR INSTALLATIONS IN FLOOD HAZZARD ZONES A, AE & AH**  
**INSTALL MIN 3150 LB. TIE DOWN STRAPS AND MIN 48" EARTH AUGERS**

**ABESCO #603 48" T.D.A. AS SHOWN**  
**ON THE ABESCO ETS 106C**

**MANUFACTURED HOME/MOBILE HOME**  
**FOUNDATION SYSTEM**  
**HEALTH AND SAFETY CODE, SECTION 18551**  
**APPROVED**

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 5851 FLORIN - PERKINS ROAD  
 SACRAMENTO, CA 95828  
 PH: (800) 382-8831  
 FAX: (916) 383-5207

**FOR PLACEMENT IN FLOOD HAZZARD AREAS**  
**WHEN PERIMETER SKIRTING IS INSTALLED, PLACE**  
**THE UNDERFLOOR VENTS SO THE BOTTOM OF**  
**THE VENT IS MAX 12" ABOVE THE UNDERFLOOR**  
**GROUND SURFACE**

CAPTOL ENGINEERING INC.-LISTING No. CEL-5911-TUF-1





STATE OF CALIFORNIA  
BUSINESS, CONSUMER SERVICES AND HOUSING AGENCY  
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT  
DIVISION OF CODES AND STANDARDS  
REGISTRATION AND TITLING PROGRAM

DEPARTMENT USE ONLY

NEW DECAL #

OLD DECAL #

APPLICATION FOR DUPLICATE CERTIFICATE OF TITLE

Name of Manufacturer <b>Lancer</b>		MFG ID #	Trade Name <b>Lancer</b>		Model Name or #	
Date of Manufacture <b>1979</b>	CA Dealer License #	Date of Transfer to Dealer from MFG	ILT Exemption		Date First Sold New <b>01/01/79</b>	
DECAL/LICENSE #	MANUFACTURER SERIAL NUMBER(S)	HUD LABEL OR HCD INSIGNIA #	LENGTH (inches)	WIDTH (inches)	WEIGHT (pounds)	DATE FIRST SOLD (if different than above)
<b>LAV2853</b>	<b>S26399A</b>	<b>161463</b>	<b>66'</b>	<b>12'</b>		
	<b>S26399B</b>	<b>161464</b>	<b>66'</b>	<b>12'</b>		
	<b>S26399C</b>	<b>161465</b>	<b>34'</b>	<b>10'</b>		

ADD UNITS <input type="checkbox"/> DEPARTMENT USE ONLY	USE CODE	EXPIRATION DATE	TAX TYPE				ORIG COST PRICE	CODE	YR	SALE PRICE	PPF	
			ILT	EXT	LPT	PPT					RF	
	DTN NUMBER(S)		DTN DATE(S)				CLERK'S INITIALS		SALE DATE		ILT	
REGISTERED OWNER(S) [Print True Names(s)]	Last		First		Middle							MRF
	1. <b>Graham</b>		<b>Guy</b>									PEN 1
	2.											PEN 2
MAILING ADDRESS	Street	City		State		ZIP						TRF
	<b>699 Elwood Rd</b>	<b>Squaw Valley</b>		<b>CA</b>		<b>93675</b>						
LOCATION ADDRESS OF UNIT	Street	City		State		ZIP						DUPT
	<b>103 Academy Ave</b>	<b>Sanger</b>		<b>CA</b>		<b>93657</b>						DUPR
LEGAL OWNER [Print True Names(s)]												SUBD
												CONF
MAILING ADDRESS	Street	City		State		ZIP Code						REPO

APPLICATION FOR TRANSFER BY NEW OWNERS

I/We request that the new Certificate of Title and Registration Card to be issued as follows:

REGISTERED OWNER(S) [Print True Names(s)]	Last		First		Middle							RREG		
	1. <b>Zang</b>		<b>Wei</b>									RSF		
	2. <b>Ge</b>		<b>Huifang</b>									PLT		
	3.											SIT		
If applicable, check one of the following: <input type="checkbox"/> TENCOM OR <input checked="" type="checkbox"/> JTRS <input type="checkbox"/> TENCOM AND <input type="checkbox"/> COMPRO <input type="checkbox"/> COMPRORS													UTP	RT
MAILING ADDRESS	Street	City		State		Zip Code							ASF	
	<b>586 Sweet Fig Terrace</b>	<b>Fremont</b>		<b>CA</b>		<b>94539</b>							MHP	
FUTURE MAILING ADDRESS	Street	City		State		Zip Code							CCP	
	<b>586 Sweet Fig Terrace</b>	<b>Fremont</b>		<b>CA</b>		<b>94539</b>								
LOCATION ADDRESS OF UNIT	Street	City		State		Zip Code								
	<b>8965 Marcella Ave</b>	<b>Gilroy</b>		<b>CA</b>		<b>95020</b>								
LEGAL OWNER [Print True Names(s)]														
If applicable, check one of the following: <input type="checkbox"/> TENCOM OR <input type="checkbox"/> JTRS <input type="checkbox"/> TENCOM AND <input type="checkbox"/> COMPRO <input type="checkbox"/> COMPRORS													TOTAL	
MAILING ADDRESS	Street	City		State		Zip Code								
FIRST JUNIOR LIENHOLDER [Print True Names(s)]														
If applicable, check one of the following: <input type="checkbox"/> TENCOM OR <input type="checkbox"/> JTRS <input type="checkbox"/> TENCOM AND <input type="checkbox"/> COMPRO <input type="checkbox"/> COMPRORS														
MAILING ADDRESS	Street	City		State		Zip Code								
ADD JR/LH <input type="checkbox"/>	NOTE: SECTION I, "CERTIFICATION OF MISSING TITLE" ON THE REVERSE SIDE MUST BE COMPLETED. TO COMPLETE A TRANSFER OF OWNERSHIP, BOTH THE OLD AND NEW OWNERS MUST SIGN THE APPROPRIATE LINES ON THE REVERSE SIDE OF THIS FORM.													



DECAL (LICENSE) NUMBER(S)  
LAV2853SERIAL NUMBER(S)  
S26399A  
S26399C

S26399B

TRADE NAME

**SECTION I. CERTIFICATION OF MISSING TITLE**

The original HCD Certificate of Title or DMV Ownership Certificate (pink slip) was:

☒ Lost, ☐ Stolen. If the title was lost or stolen after receiving it from a party other than the Department, enter the party's name here: \_\_\_\_\_☐ Illegible, ☐ Mutilated. A mutilated or illegible title must be surrendered to the Department.☐ Not Received from the Department. This box can only be checked by the Legal Owner of Record (lienholder), or if none, the Registered Owner of record.

I/We certify under penalty of perjury under the laws of the State of California that there are no liens against this unit other than those shown on this application and the statements made on this application are true and correct.

I/We agree to indemnify and save harmless the Director of the Department of Housing and Community Development for any loss suffered resulting from the issuance of said duplicate Certificate of Title.

Executed on MAY 23 2022 at San Jose CA  
Date City StateSignature [Signature]

Printed Name of Person Completing Certification: \_\_\_\_\_

**SECTION II. RELEASE OF OWNERSHIP AND/OR INTEREST SIGNATURE(S)**

1 A. RELEASE OF REGISTERED OWNER SIGNATURE <u>[Signature]</u>	RELEASE DATE <u>MAY 23 2022</u>
B. RELEASE OF REGISTERED OWNER SIGNATURE	RELEASE DATE
C. RELEASE OF REGISTERED OWNER SIGNATURE	RELEASE DATE
2 A. RELEASE OF LEGAL OWNER (LIENHOLDER) SIGNATURE	RELEASE DATE
B. RETENTION OF LEGAL OWNER SIGNATURE	DATE
C. ASSIGNMENT OF LEGAL OWNER SIGNATURE	DATE

**SECTION III. DEALER'S RELEASE OF ACQUIRED UNIT**

3 A. NAME OF DEALER	DEALER NAME
B. RELEASE OF DEALER SIGNATURE	RELEASE DATE

**SECTION IV: NEW REGISTERED OWNER SIGNATURE(S)**

4 A. NEW REGISTERED OWNER SIGNATURE <u>[Signature]</u>	If this transfer is the result of a sale, the sale price and sale date must be entered below. PURCHASE PRICE <u>\$15,000.</u> PURCHASE DATE <u>May 23, 2022</u>
B. NEW REGISTERED OWNER SIGNATURE <u>Huifang Gao</u>	
C. NEW REGISTERED OWNER SIGNATURE	





STATE OF CALIFORNIA  
BUSINESS, CONSUMER SERVICES AGENCY  
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT  
DIVISION OF CODES AND STANDARDS  
REGISTRATION AND TITLING PROGRAM

APPLICATION FOR DUPLICATE  
REGISTRATION CARD

DEPARTMENT USE ONLY

NEW DECAL #

OLD DECAL #

Manufacturer Trade Name <b>Lancer</b>		ILT Exemption		Date First Sold New <b>01/01/79</b>		
DECAL/LICENSE #	MANUFACTURER SERIAL NUMBER(S)		HUD LABEL OR HCD INSIGNIA #			
LAV2853	S26399A		161463			
	S26399B		161464			
	S26399C		161465			

DEPARTMENT USE ONLY	USE CODE	EXPIRATION DATE	TAX TYPE				ORIG COST CODE	YR	CLERK'S INITIALS	PPF
			ILT	EXT	LPT	PPT				
	DTN NUMBER(S)		DTN DATE(S)							

Registered Owner(s) [Print true name(s)]	Last		First		Middle		ILT
	1. Graham		Guy				MRF
	2.						PEN 1
	3.						PEN 2
Current Mailing Address	Street	699 Elwood Rd					TRF
	City	Squaw Valley, CA	State		Zip		DUPT
Future Mailing Address (if different than above)	Street	699 Elwood Rd					DUPR
	City	Squaw Valley, CA	State		Zip		SUBD
Situs (Location) Address of unit	Street	103 Academy Ave					CONF
	City	Sanger, Fresno	State		Zip		REPO
Legal Owner (Lienholder) [Print true names(s)]							RREG
							RSF
Mailing Address	Street	City	State	Zip			PLT
First Junior Lienholder [Print true names(s)]							SIT
							UTP
Mailing Address	Street	City	State	Zip			ASF
							MHP
Second Junior Lienholder [Print true names(s)]							CCP
Mailing Address	Street	City	State	Zip			TOTAL
Mobilehome Park	Park Name						
	Operator Name						

I/We certify under penalty of perjury under the laws of the State of California that the foregoing is true and correct and that the registration card has been: ☒ Lost, ☐ Stolen, ☐ Mutilated, ☐ Illegible, or ☐ Not Received

Executed on **MAY 23 2012** Date **San Jose, CA** City **San Jose, CA** State

Signature of Applicant *[Signature]*



STATE OF CALIFORNIA  
BUSINESS, CONSUMER SERVICES AND HOUSING AGENCY  
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT  
DIVISION OF CODES AND STANDARDS  
REGISTRATION AND TITLING PROGRAM



POWER OF ATTORNEY

**SECTION I. DESCRIPTION OF UNIT**

This unit is a:

☒ Manufactured Home/Mobilehome    ☐ Commercial Modular    ☐ Floating Home    ☐ Truck Camper

The Decal (License) No.(s) of the unit is: LAV2853

The Trade Name of the unit is: Lancer

The Serial No.(s) of the unit is: S26399A S26399B S26399C

**SECTION II. APPOINTMENT OF ATTORNEY-IN-FACT**

To the Department of Housing and Community Development, and to whom it may concern:  
(PRINT FULL NAME)

I, Graham Guy   
(Last) (First) (Middle)

I,     
(Last) (First) (Middle)

I,     
(Last) (First) (Middle)

the undersigned do hereby duly appoint the following named person: \_\_\_\_\_

**Business & Escrow Service Center, Inc.**

to act as my attorney-in-fact, only to sign papers and documents that may be necessary in order to secure California registration of or to transfer my interest in the above described unit.

**SECTION III. ASSIGNOR'S CERTIFICATION**

I/We agree to guarantee and save harmless the State of California and the Director of Housing and Community Development from all responsibility which might accrue from the issuance of California registration or transfer of such unit.

**NOTE:** An attorney-in-fact cannot make an affidavit or certificate of the truth of facts unknown to him.

Signed Guy Graham Date MAY 23 2022

Signed \_\_\_\_\_ Date \_\_\_\_\_

Signed \_\_\_\_\_ Date \_\_\_\_\_



STATE OF CALIFORNIA  
BUSINESS, CONSUMER SERVICES AND HOUSING AGENCY  
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT  
DIVISION OF CODES AND STANDARDS  
REGISTRATION AND TITLING PROGRAM



POWER OF ATTORNEY

SECTION I. DESCRIPTION OF UNIT

This unit is a:

☒ Manufactured Home/Mobilehome ☐ Commercial Modular ☐ Floating Home ☐ Truck Camper

The Decal (License) No.(s) of the unit is: LAV2853

The Trade Name of the unit is: Lancer

The Serial No.(s) of the unit is: S26399A S26399B S26399C

SECTION II. APPOINTMENT OF ATTORNEY-IN-FACT

To the Department of Housing and Community Development, and to whom it may concern:  
(PRINT FULL NAME)

I, Zang Wei  
(Last) (First) (Middle)

I, Ge Huifang  
(Last) (First) (Middle)

I, \_\_\_\_\_  
(Last) (First) (Middle)

the undersigned do hereby duly appoint the following named person: \_\_\_\_\_

**Business & Escrow Service Center, Inc.**

to act as my attorney-in-fact, only to sign papers and documents that may be necessary in order to secure California registration of or to transfer my interest in the above described unit.

SECTION III. ASSIGNOR'S CERTIFICATION

I/We agree to guarantee and save harmless the State of California and the Director of Housing and Community Development from all responsibility which might accrue from the issuance of California registration or transfer of such unit.

NOTE: An attorney-in-fact cannot make an affidavit or certificate of the truth of facts unknown to him.

Signed Wei Zang

Date 5-15-2022

Signed Huifang Ge

Date 5-15-2022

Signed \_\_\_\_\_

Date \_\_\_\_\_





## DESIGNATION OF CO-OWNER TERM

### SECTION I. DESCRIPTION OF UNIT

This unit is a (check one):

☐ Manufactured Home/Mobilehome ☐ Commercial Modular ☐ Floating Home ☐ Truck Camper

The Decal (License) No.(s) of the unit is: LAV2853

The Trade Name of the unit is: Lancer

The Serial No.(s) of the unit is: S26399A S26399B S26399C

### SECTION II. OWNERSHIP INTEREST

We request the Department of Housing and Community Development to register our ownership interest in the unit described above with the following co-owner term: **(READ CAREFULLY AND CHECK ONE BOX.)**

- ☒ JTRS (Joint Tenants with Right of Survivorship)  
Upon the death of a joint tenant, the interest of the deceased party passes to the surviving joint tenant. The signature of each joint tenant is required to transfer or encumber the title.
- ☐ TENCOM AND (Tenants in Common with the names joined by the word AND)  
Each tenant in common may transfer his or her individual interest without the signature of the other tenant(s) in common. The signature of each tenant in common is required to transfer full interest in the unit to a new registered owner or to encumber the title.
- ☐ TENCOM OR (Tenants in Common with the names joined by the word OR)  
Any one of the tenants in common may transfer full ownership interest in the unit to a new registered owner without the signature of the other tenant(s) in common. The signature of each tenant in common is required to encumber the title.
- ☐ COMPRO (Community Property)  
A unit may be registered as community property in the names of a husband and wife. The signature of each spouse is required to transfer full interest in the unit or encumber the title.
- ☐ COMPRORS (Community Property with Right of Survivorship)  
A unit may be registered as community property in the names of a husband and wife. At the death of one spouse, the decedent's community property interest passes to the surviving spouse without administration. The signature of each spouse is required to transfer full interest in the unit or encumber the title.

### SECTION III. SIGNATURE OF EACH CO-OWNER AND DATE OF DESIGNATION

**Signatures:**

**Date:**

Wei Zang

Date 5-15-2022

Huifang Ge

Date 5-15-2022

Date \_\_\_\_\_

Date \_\_\_\_\_

Date \_\_\_\_\_

STATUTORY REQUIREMENTS PERTAINING TO CO-OWNER TERMS APPEAR ON THE REVERSE SIDE OF THIS FORM.



STATE OF CALIFORNIA  
BUSINESS, CONSUMER SERVICES AND HOUSING AGENCY  
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT  
DIVISION OF CODES AND STANDARDS  
REGISTRATION AND TITLING PROGRAM



STATEMENT OF FACTS

This unit is a: ☒ Manufactured Home / Mobilehome ☐ Commercial Modular ☐ Floating Home ☐ Truck Camper

Decal (License) No.(s):  
**LAV2853**

Trade Name:  
**Lancer**

Serial No.(s):  
**S26399A**  
**S26399B**  
**S26399C**

I/We, the undersigned, hereby state:

**That a request for a tax clearance/conditional tax clearance was submitted to Fresno County Tax Collector on March 17, 2022. Said Tax Collector has failed to respond to our request within thirty days of the date of the written request.**

I/We further agree to indemnify and save harmless the Director of the Department of Housing and Community Development, State of California, and subsequent purchasers of said unit, for any loss they may suffer resulting from registration of the above described unit in California, or from issuance of a California Certificate of Title covering the same.

I/We certify under penalty of perjury that the foregoing is true and correct.

Executed on May 10, 2022 at San Jose, CA  
*Date City State*

Signature(s):

Business & Escrow Service Center Inc by

A handwritten signature in black ink, appearing to be "Bt", written over a horizontal line.

Printed name(s):

**Business & Escrow Service Center Inc**

Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_





**STATEMENT OF FACTS**  
**SMOKE AND CARBON MONOXIDE DETECTOR/WATER HEATER BRACING**

**SECTION I. INSTRUCTIONS**

The California Health and Safety Code (HSC) requires that on the date of sale all used manufactured homes, mobilehomes, and multifamily manufactured homes be equipped with an operable smoke detector installed in each room designed for sleeping. HSC also requires that on the date of sale all used manufactured homes, used mobilehomes, and used multifamily manufactured homes will have all fuel-gas-burning water heater appliances seismically braced, anchored or strapped pursuant to existing codes. California Code of Regulations requires that carbon monoxide devices be installed near each sleeping area in all new, existing, and used manufactured homes, mobilehomes and multifamily manufactured homes. A declaration may be signed within 45 days prior to the date of sale stating that these requirements have been met.

Upon transfer of title, Sections II, III IV and V of this form must be completed and submitted to the Department of Housing and Community Development along with the appropriate titling documents. This certification must be provided to the Department of Housing and Community Development each time title to the manufactured home, mobilehome, or multifamily manufactured home is transferred as a result of a sale.

**SECTION II. DESCRIPTION OF UNIT**

The Decal (License) No.(s) of the unit is: LAV2853

The Trade Name of the unit is: Lancer

The Serial No.(s) of the unit is: S26399A S26399B S26399C

**SECTION III. DECLARATION OF SMOKE AND CARBON MONOXIDE DETECTOR**

I/We, the undersigned, hereby state that the manufactured home, mobilehome or multifamily manufactured housing described above is equipped with a properly working, operable smoke detector in each room designed for sleeping and a carbon monoxide detector near each sleeping area as of MAY 23 2022

(Month/Day/Year)

**SECTION IV. DECLARATION OF INSTALLATION OF WATER HEATER SEISMIC BRACING**

I/We, the undersigned, hereby state that the all fuel gas-burning water heater appliances in the manufactured home, mobilehome, or multifamily manufactured housing described above are seismically braced, anchored, or strapped in accordance with Health and Safety Code Section 18031.7 as of MAY 23 2022

(Month/Day/Year)

**SECTION IV. CERTIFICATION**

I/We certify under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Executed on MAY 23 2022 at San Jose, CA

Signature Doug Chahar



STATE OF CALIFORNIA  
BUSINESS, CONSUMER SERVICES AND HOUSING AGENCY  
DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT  
DIVISION OF CODES AND STANDARDS  
REGISTRATION AND TITLING PROGRAM



BILL OF SALE

SECTION I. DESCRIPTION OF UNIT

This unit is a (check one):

☒ Manufactured Home/Mobilehome ☐ Commercial Modular ☐ Floating Home ☐ Truck Camper

The Decal (License) No.(s) of the unit is: LAV2853

The Trade Name of the unit is: Lancer

The Serial No.(s) of the unit is: S26399A S26399B S26399C

SECTION II. STATEMENT OF FACTS

For the sum of FIFTEEN THOUSAND AND NO/100 dollars (\$15,000.00) and/or other valuable consideration in the amount of \_\_\_\_\_, the receipt of which is hereby acknowledged, I/we did sell, transfer and deliver to Wei Zang and Huifang Ge Buyer \_\_\_\_\_ Phone Number \_\_\_\_\_ on the 23 day of May, 2022, my/our right title and interest in and to the above-described unit.

SECTION III. SELLER'S CERTIFICATION

I/We certify under penalty of perjury under the laws of the State of California that the following is true and correct: (1) I/we are the lawful owner(s) of the unit, and (2) I/we have the right to sell it, and (3) I/we guarantee and will defend the title to the unit against the claims and demands of any and all persons arising prior to this date and (4) the unit is free of all liens and encumbrances, except for the lienholder shown below\*, whose lien presently exists and has not been paid.

Executed on MAY 23 2022 at San Jose CA  
Date City State  
Signature of Seller Guy Graham Phone Number \_\_\_\_\_ Date MAY 23 2022  
Signature of Seller \_\_\_\_\_ Phone Number \_\_\_\_\_ Date \_\_\_\_\_

Address 103 Academy Ave Sanger CA 93657  
Street Address or P.O. Box City State Zip Code

SECTION IV. LIENHOLDER'S INFORMATION

NOTE: The space below is NOT for liens created by the buyer in this transaction.

\*Lienholder \_\_\_\_\_  
Address \_\_\_\_\_  
Street Address or P.O. Box City State Zip Code





BUSINESS/ESCROW SERVICE CENTER INC  
3031 TISCH WY  
SUITE 310  
SAN JOSE, CA 95128

File #: 31655-CV  
Decal #: LAV2853  
Buyer WEI ZANG  
HUIFANG GE  
ID#:: S26399A,  
S26399B,  
S26399C  
Make: LANCER

1. Upon the close of escrow, complete section 1. Escrow Closing and mail this form with the completed transfer application to the department at the above address.

or

2. Upon the cancellation of escrow, complete section 2. Escrow Cancellation and mail this form alone to the Department at the above address.

#### SECTION 1. ESCROW CLOSING

Escrow file number 31655-CV establish for the described unit has been closed. I am submitting the transfer application to the Department for processing.

Executed on MAY 23 2022 at San Jose CA  
(CITY) (STATE)

Signature of Escrow Agent \_\_\_\_\_

#### SECTION 2. ESCROW CANCELLATION

Escrow file number 31655-CV established for the described unit has been cancelled. I authorize the cancellation of the 120-day moratorium currently on record.

Executed on \_\_\_\_\_ at \_\_\_\_\_  
(CITY) (STATE)

Signature of Escrow Agent \_\_\_\_\_

DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT  
DIVISION OF CODES AND STANDARDS

## Title Search

Date Printed: Mar 17, 2022

Decal #: LAV2853      Use Code: SFD  
 Manufacturer: LANCER      Original Price Code:  
 Tradename: LANCER      Rating Year:  
 Model:      Tax Type: LPT  
 Manufactured Date: 01/01/1979      Last ILT Amount:  
 Registration Exp:      Date ILT Fees Paid:  
 First Sold On: 01/01/1979      ILT Exemption: NONE

Serial Number	HUD Label / Insignia	Length	Width
S26399A	161463	66'	12'
S26399B	161464	66'	12'
S26399C	161465	34'	10'

## Record Conditions:

Voluntary Conversion to LPT

## Registered Owner:

GUY GRAHAM  
 699 ELWOOD RD  
 SQUAW VALLEY, CA 93675

Last Title Date: 02/12/2022

Last Reg Card: 02/12/2022

Sale/Transfer Info: Price \$12,000.00 Transferred on 11/08/2021

## Situs Address:

103 ACADEMY AVE  
 SANGER, CA 93657  
 Situs County: FRESNO

## Inactive Decal/DMV:

DECAL AAY5325, DMV SA7560

## Open Escrow:

BUSINESS/ESCROW SERVICE CENTER INC  
 3031 TISCH WY SUITE 310  
 SAN JOSE, CA 95128

Escrow File No: 31655-CV

Pending Buyer: WEI ZANG  
 HUIFANG GE

Dealer Name: None Reported

Escrow Opened On: 03/17/2022 Expires on: 07/15/2022

\*\*\*END OF TITLE SEARCH\*\*\*

Page Number:2