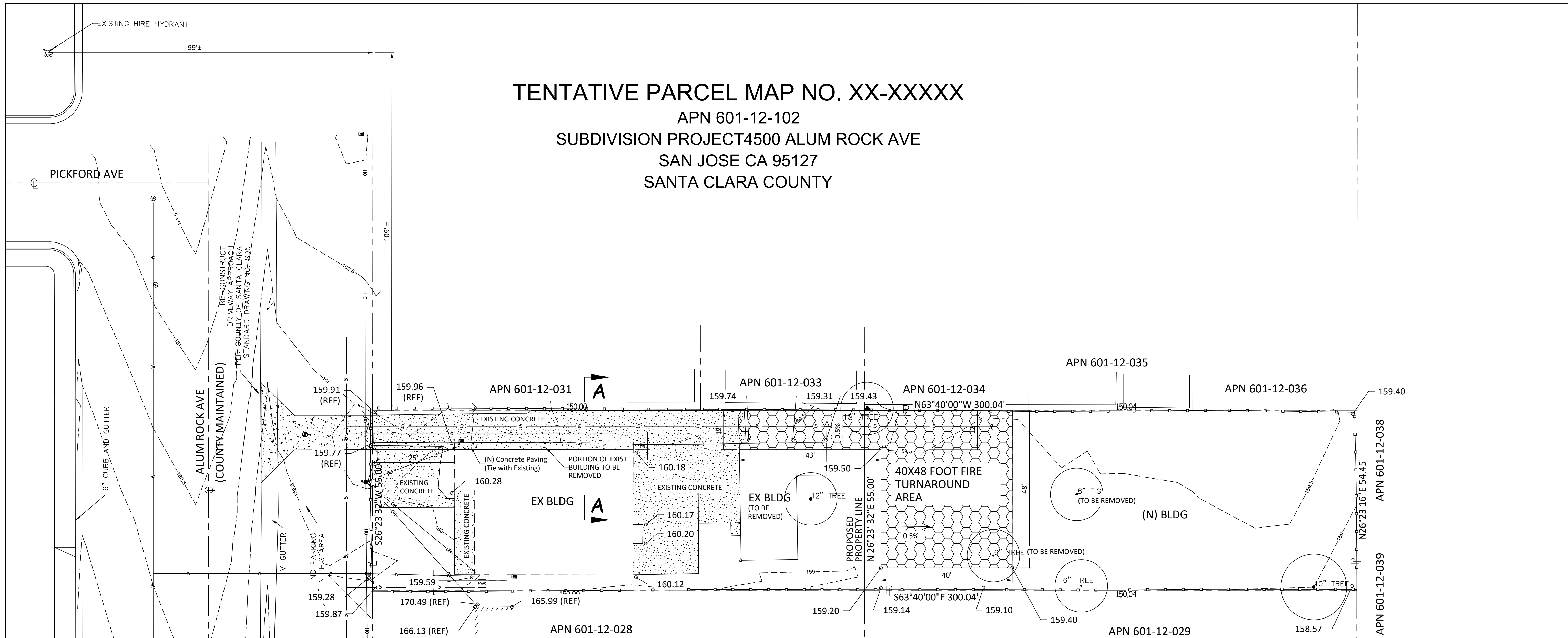


# TENTATIVE PARCEL MAP NO. XX-XXXXX

APN 601-12-102  
 SUBDIVISION PROJECT 4500 ALUM ROCK AVE  
 SAN JOSE CA 95127  
 SANTA CLARA COUNTY



### NOTES :

1. ALL DIMENSIONS AND ELEVATIONS ARE IN FEET UNLESS NOTED OTHERWISE.
2. ROAD/DRIVEWAY SHALL BE CONSTRUCTED USING ALL WEATHER DRIVING SURFACE. THE LOAD CAPACITY OF THE ROAD SHALL BE MINIMUM 75,000 LBS.

### LOT INFORMATION

PREVIOUS AREA : 16,502.05 SQ. FT.  
 NEW LOT 1 GROSS AREA : 8,250.00 SQ. FT.  
 NEW LOT 2 GROSS AREA : 8,252.05 SQ. FT.  
 PREVIOUS USE : RESIDENTIAL  
 PROPOSED USE : RESIDENTIAL  
 ZONE : R1

### OWNER INFORMATION

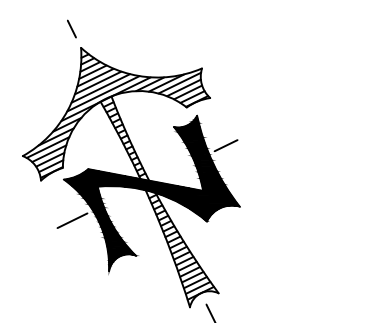
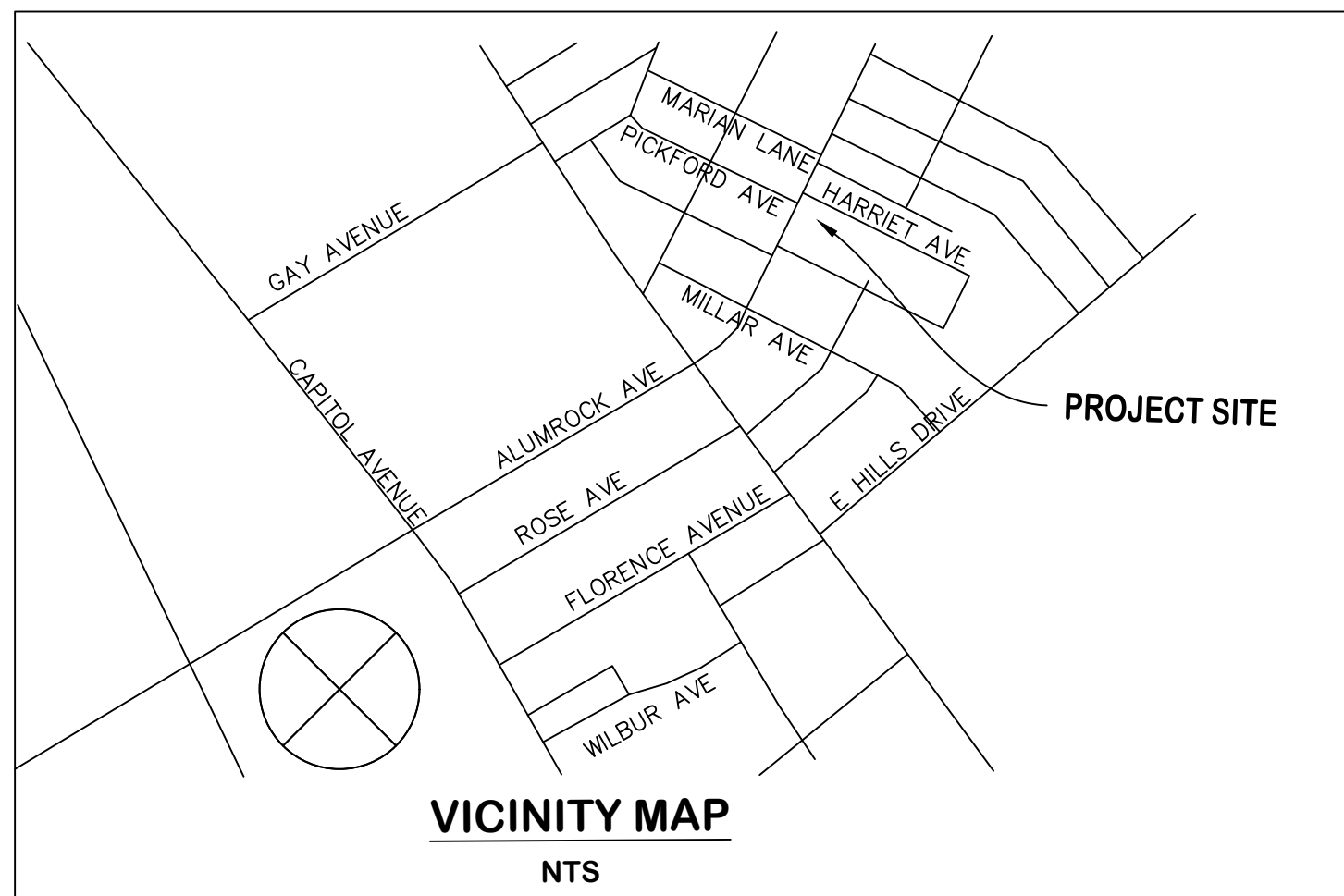
NAME : LIEN LY  
 ADDRESS : 3309 PINKERTON CT,  
 SAN JOSE CA 95148  
 NUMBER : (408) 886-8992

### CIVIL ENGINEER

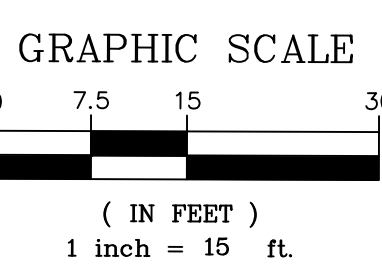
NAME : YONAS MISGINA  
 ADDRESS : 365 FLOWER LANE  
 MOUNTAIN VIEW, CA 94043  
 NUMBER : (818) 399-9135

### LEGEND

- DISTINCTIVE BORDER
- - - EXISTING LOT LINE
- NEW LOT LINE
- - - EASEMENT LINE
- BUILDING ENVELOP
- ▨ BUILDING TO BE REMOVED
- ⊗ FIRE HYDRANT

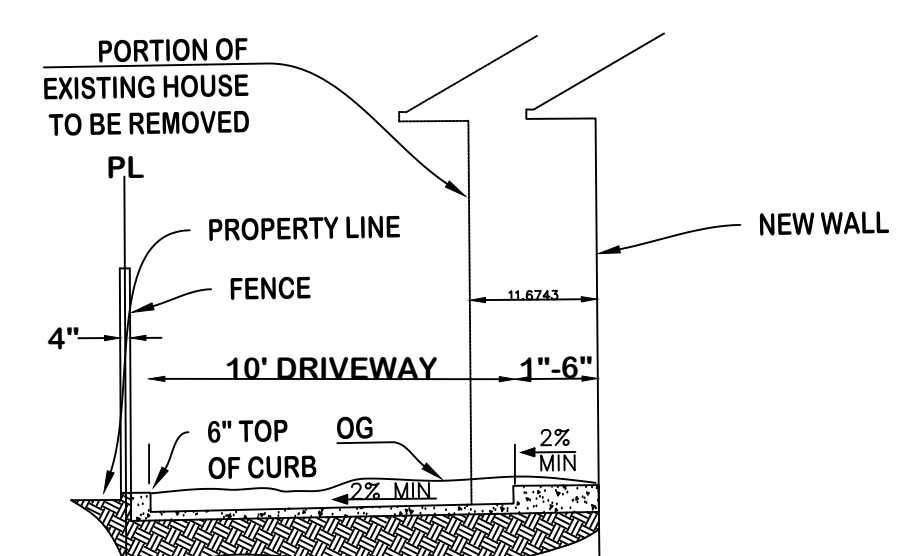


SCALE 1" = 15'



EARTH WORK QUANTITIES	
CUT:	4.58 CY
FILL:	12 CY
EXPORT:	0 CY
IMPORT:	7.42 CY

NOTE: EARTHWORK QUANTITIES SHOWN ARE APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INDEPENDENTLY ESTIMATE QUANTITIES FOR HIS/HER OWN USE.



SECTION @ PROPOSED EASEMENT  
 INGRESS AND EGRESS  
 /PUBLIC UTILITY EASEMENT

### SECTION A-A



SIGNATURE \_\_\_\_\_

PLANNING APPLICATION NUMBER <b>PLN22-172</b>				
DESIGN EVEREST CONSULTING ENGINEERS				
365 FLOWER LANE MOUNTAIN VIEW, CA 94043 PHONE: (888) 311-3015 FAX: (650) 695-1801				
TENTATIVE PARCEL MAP LIEN LY 4500 ALUM ROCK AVENUE SAN JOSE, CA SAN JOSE CALIFORNIA	Project No: 201903060	Designed: AE	Checked: AP	Date: 2/7/2019
SHEET C 1.0 1 Of 1 SHEETS				
PW PROJECT # X-XXXXX				