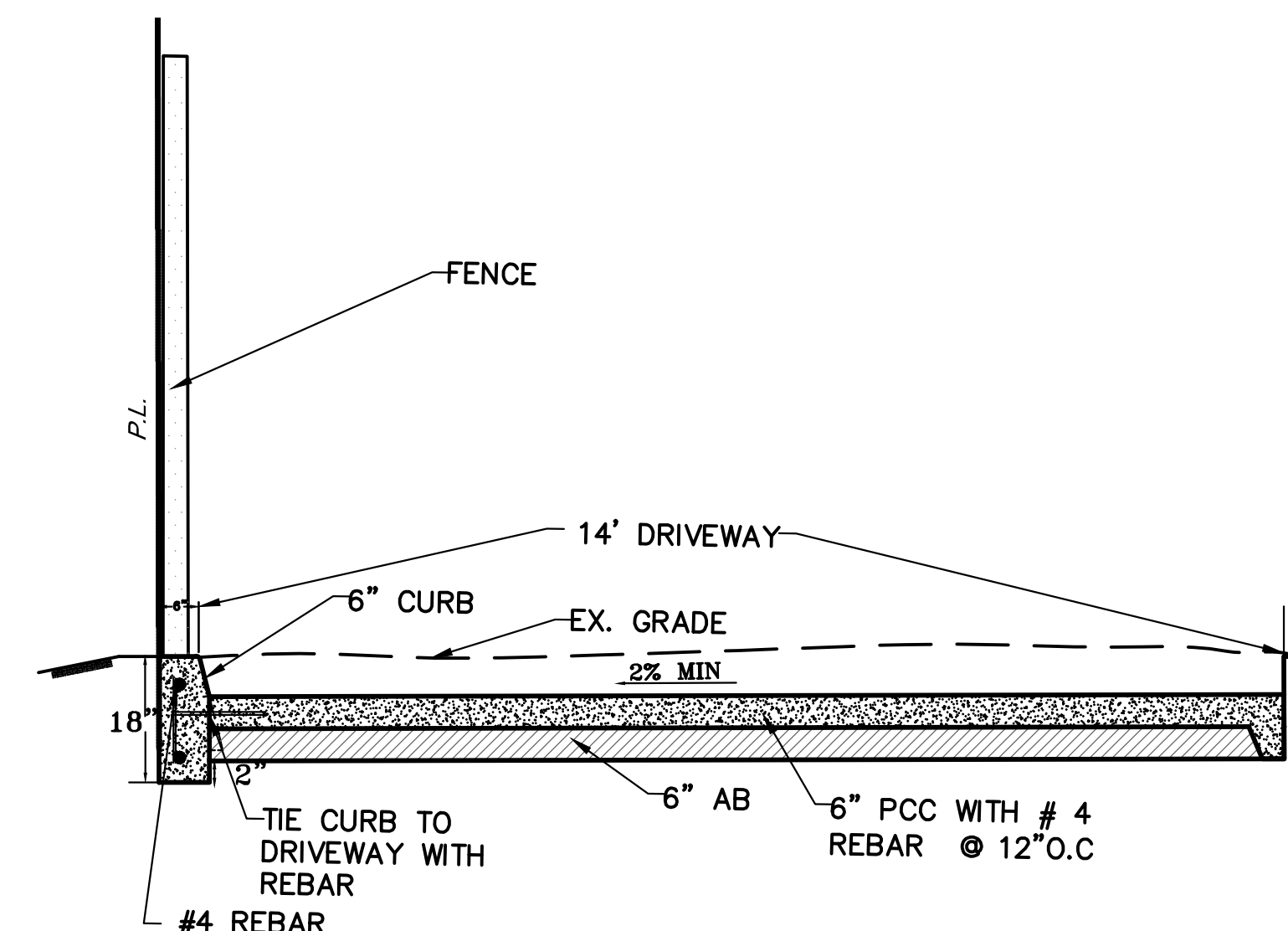
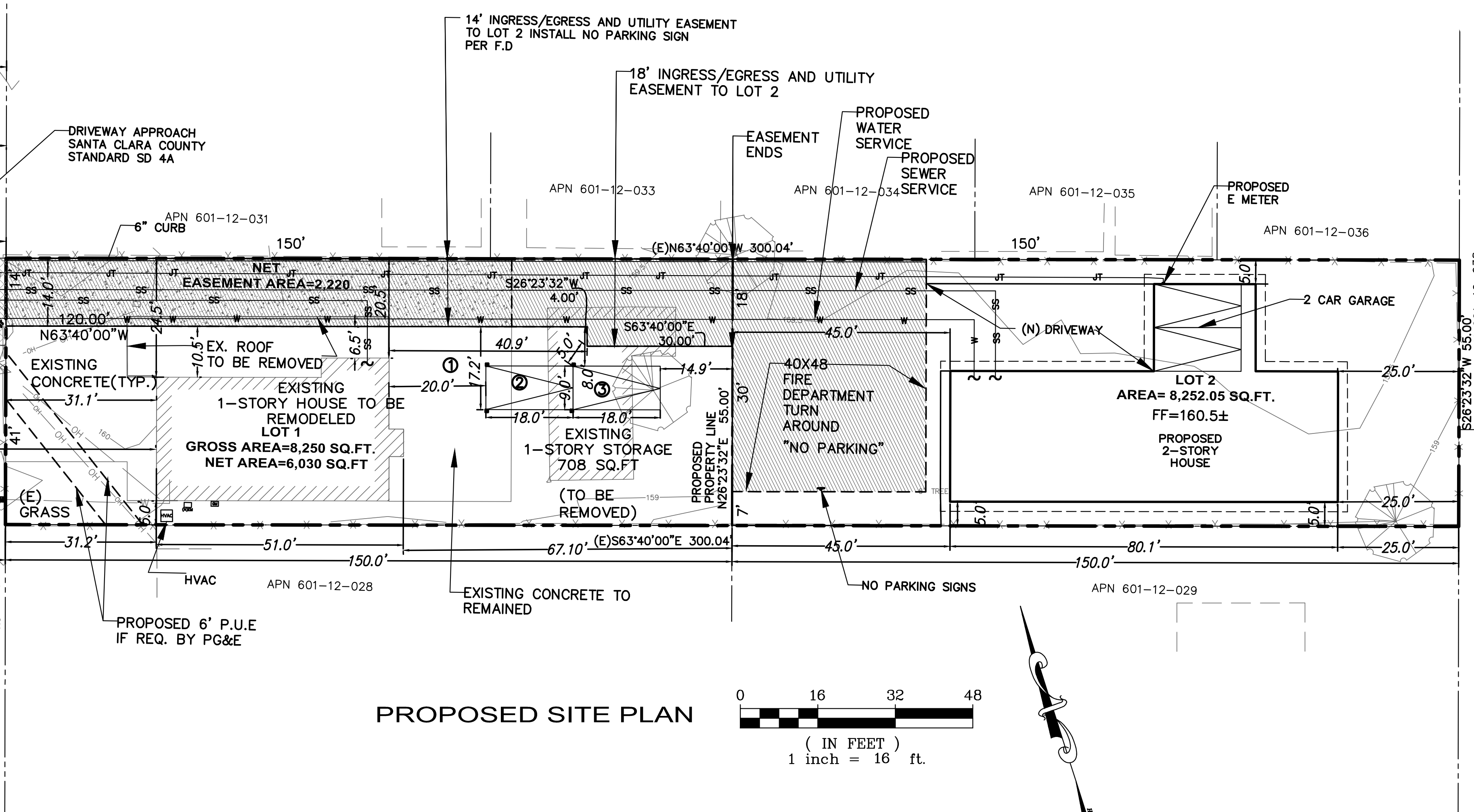
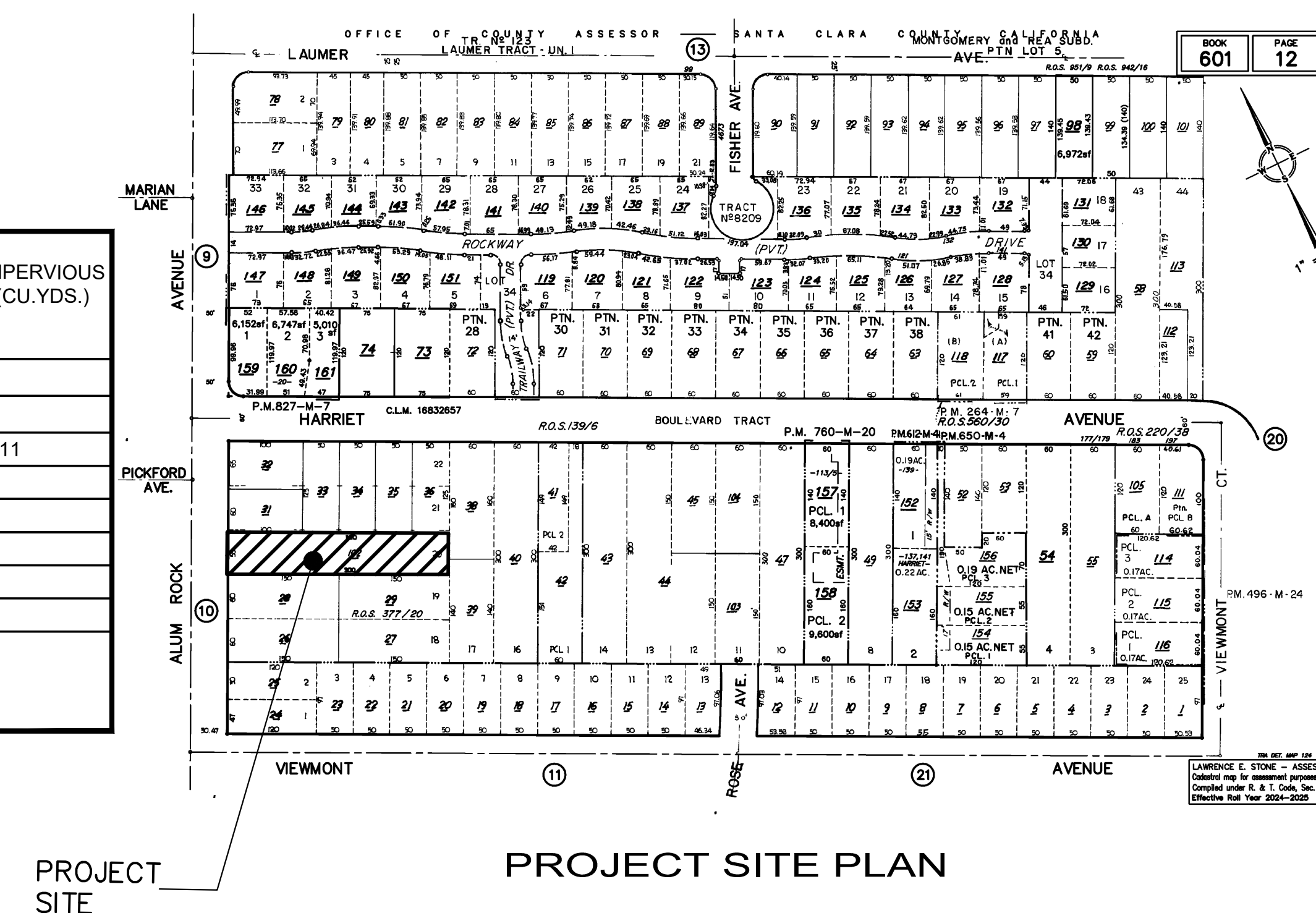




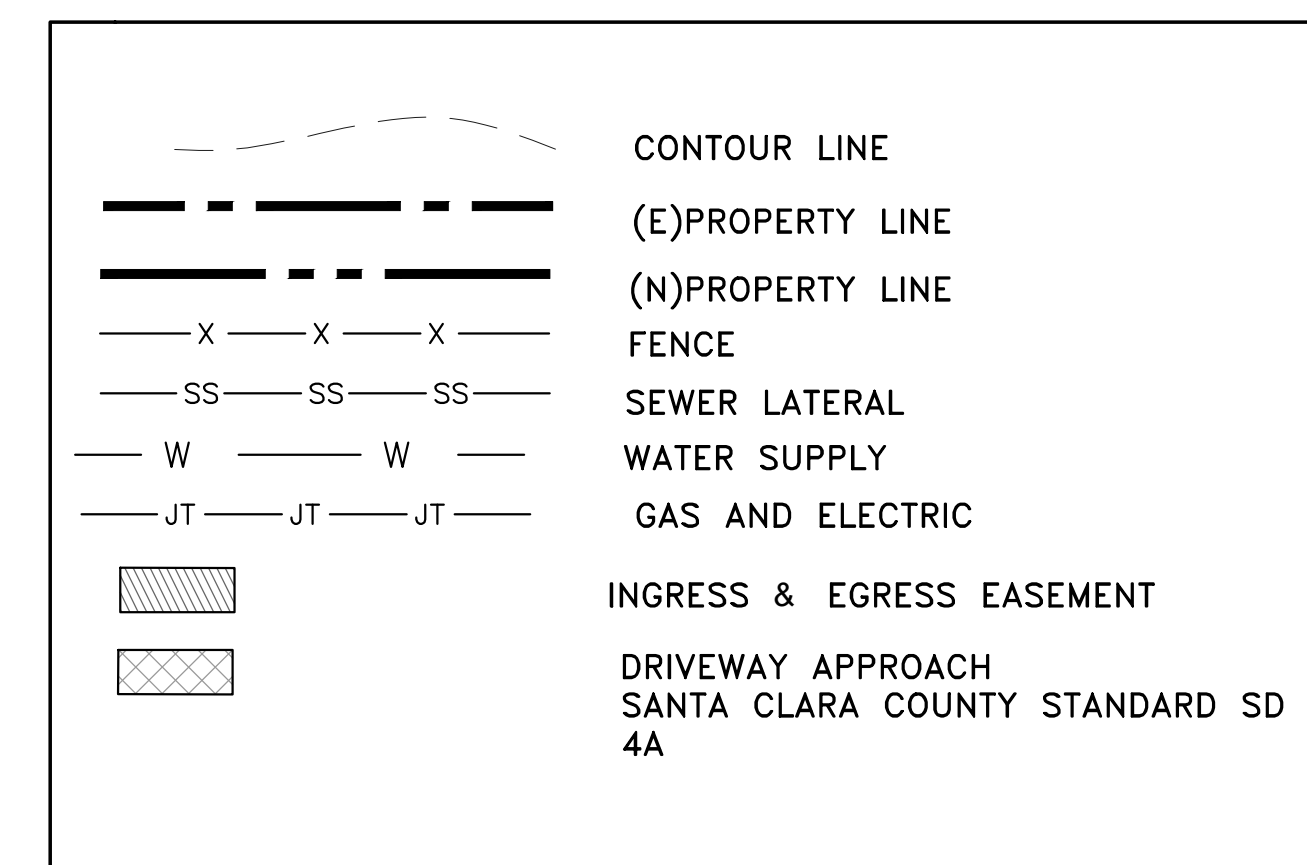
	SIZE(SQ.FT)	GRADING PERVIOUS @1' DEPTH (CU. YDS.)	GRADING IMPERVIOUS @1' DEPTH (CU. YDS.)
NEW TURNAROUND	2000 sqft		
NEW PORTION OF DRIVEWAY	1000 sqft		
TOTAL NEW	3000 sqft	111.111111	111.111111
EXISTING IMPERVIOUS TO BE REMOVED	1140 sqft		
NET IMPERVIOUS(NEW REMOVED)	1860 sqft		
GRADING REQUIRED IF > 150 CU.YDS.		NO	NO
DRAINAGE REQUIRED FOR IMPERVIOUS IF NET > 2000 SQ.FT.		YES	NO



LAND USE TABLE

	LOT 1	LOT 2		ZONING DISTRICT STANDARD
SUBDIVISION LOT AREA	8,250 sqft	8,252.05 sqft		
FOOTPRINT AREA	1,297 sqft	2,539 sqft		
LOT COVERAGE	16%	31%		
NUMBER OF STORY	1	2		2.5
SET BACK				
FRONT SET BACK	31.16 ft	45 ft		25 ft
SIDE SETBACK	5 ft	5 ft		5 ft
REAR SET BACK	67.8 ft	25 ft		25 ft

LEGEND



EARTH QUANTITIES

APPROXIMATE EARTH QUANTITIES TO BE VERIFIED BY CONTRACTOR

R/W :

NO GRADING PROPOSED.

LOT 1:

CUT	50	CU. YDS.
FILL	50	CU. YDS.

LOT 2:

CUT	50	CU. YDS.
FILL	50	CU. YDS.

NOTE: EARTH QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL COMPUTE QUANTITIES INDEPENDENTLY TO VERIFY. ENGINEER IS NOT RESPONSIBLE FOR DISCREPANCIES.

PROJECT INFORMATION:

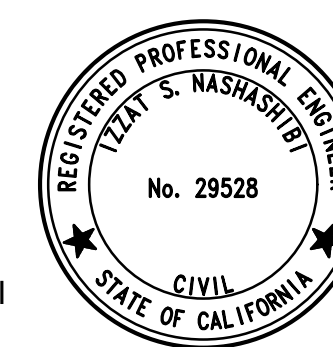
PROJECT INFORMATION:

APN:	601-12-102
ADDRESS:	4500 ALUM ROCK AVENUE, SAN JOSE, CA
EXISTING ZONING:	R1
EXISTING LAND USE:	RESIDENTIAL
PROPOSED LAND USE:	RESIDENTIAL
TOTAL AREA:	16,902.05± SF
R.O.W.	
NET AREA	
NUMBER OF LOTS:	2
NUMBER OF UNITS:	
PROPOSED DENSITY:	
LOT COVERAGE:	
FEMA FLOOD DESIGNATION:	
MAXIMUM BUILDING HEIGHT:	
FIRE PROTECTION DISTRICT:	ES

LEGEND :

- ① DRIVEWAY EXISTING CONCRETE
- ② PROPOSED DRIVE THROUGH COVERED CARPORT SPACE 1 (GRAVEL TREATED)
- ③ PROPOSED OFF STREET PARKING SPACE 2 (GRAVEL TREATED)

CIVIL ENGINEER:
HUMANN COMPANY INC.
1021 BROWN AVE.
LAFAYETTE, CA 94549
CONTACT: IZZAT NASHASHIBI
PH. (925) 283-5000



OWNER AND DEVELOPER:
LIEN LY
3309 PINKERTON CT.
SAN JOSE, CA 95148
CONTACT- (408) 886-8992

SIGNATURE: IZZAT S. NASHASHIBI R.C.E. 29528