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\*\*\*PROJECT COMPANY\*\*\*: PANGAN RESIDENCE • \*\*\*PROJECT NUMBER \*\*\*: A0.0

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## NEW RESIDENCE FOR ROY AND EVAN PANGAN

### GENERAL NOTES

#### COORDINATION

- IF THESE DRAWINGS ARE NOT 24" x 36" THEY HAVE BEEN REDUCED OR ENLARGED
- THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS
- ALL WORK SHALL COMPLY WITH THE 2019 CALIFORNIA RESIDENTIAL CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA ENERGY CODE, CALIFORNIA GREEN BUILDING CODE AND CALIFORNIA FIRE CODE
- ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF CONCRETE UNLESS OTHERWISE NOTED
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS
- DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS AND OR SAMPLE BOARDS TO ARCHITECT PRIOR TO ORDERING AND OR INSTALLATION FOR:
  - ALL MILLWORK (CUSTOM OR FACTORY PRODUCED) WITH COUNTER MATERIAL
  - ALL EXTERIOR WINDOWS/DOORS WITH FIN. SAMPLES
  - ALL INTERIOR DOORS WITH FIN. SAMPLES
  - WOOD SIDING (CONNECTION AND CORNERS) WITH FIN. SAMPLES
  - ALL TILE WORK 12"x12" MOCKUP (INTERIOR AND EXTERIOR)
  - EXTERIOR STUCCO 24"x24" MOCKUP
  - EXPOSED FLASHING ELEMENTS (SAMPLE)
  - EXPOSED ROOFING (SAMPLE)

#### CONTRACTOR DUTIES

- THE CONTRACTOR SHALL:
  - FURNISH, PAY FOR, AND FILE ALL NECESSARY PERMITS, FEES, INSPECTIONS, ETC. EXCEPT FOR PLAN CHECK, ZONING, AND SCHOOL FEES WHICH WILL BE PAID FOR BY THE OWNER
  - GUARANTEE ALL WORK FOR ONE YEAR AS EVIDENCED BY THE DATE OF THE FINAL CERTIFICATE OF PAYMENT
  - PROVIDE RELEASE OF ALL SUBCONTRACTOR AND SUPPLIER LIENS BEFORE FINAL PAYMENT IS MADE
  - FILE WORKMAN'S COMPENSATION
  - ARRANGE FOR ALL INSPECTIONS AS CALLED FOR IN SECTION 110 OF THE 2013 CBC
- CONTRACTOR SHALL INSTALL ALL MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALL APPLICABLE CODES
- CONTRACTOR SHALL PROTECT EXISTING VEGETATION AND ADJACENT SITE IMPROVEMENTS FROM DAMAGE DURING THE COURSE OF THE WORK
- CONTRACTOR SHALL BRACE STRUCTURE AS REQUIRED DURING CONSTRUCTION
- CONTRACTOR SHALL PROVIDE STRICT CONTROL OF JOB CLEANUP TO REMOVE DUST AND DEBRIS FROM CONSTRUCTION AREA
- ALL SPECIAL INSPECTION AGENCIES, INDIVIDUALS, AND SHOP FABRICATORS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ANY WORK BEING PERFORMED. CONTRACTOR SHALL SUBMIT ALL DOCUMENTATION FOR APPROVAL
- CONTRACTOR SHALL PROVIDE PLANS OF GAS LINE SIZING TO THE BUILDING INSPECTION OFFICE PRIOR TO CALLING FOR INSPECTION

#### GENERAL

- ALL STAIRS WITH MORE THAN THREE RISERS SHALL HAVE ONE (1) 1-1/4" - 2" DIAMETER HANDRAIL w/ 1-1/2" CLEARANCE FROM THE WALL. ALL RAILS SHALL BE BETWEEN 34" AND 38" ABOVE NOSING OF THE TREAD AND BE CONTINUOUS FROM THE TOP RISER TO THE BOTTOM RISER -- 2019 CRC SEC.311
- GUARDRAILS SHALL BE A MINIMUM OF 42" IN HEIGHT AND DESIGNED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH ANY OPENING -- 2019 CRC SEC. R311.7
- FIREBLOCKING AND DRAFTSTOPPING SHALL BE PROVIDED IN ALL LOCATIONS IN ACCORDANCE w/ 2019 CRC SEC. R302
- WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS. BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF MINIMUM 72 POUNDS MINERAL-SURFACED NON-PERFORATED CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING PER CRC R337.5.2.
- WHERE VALLEY FLASHING IS INSTALLED, THE FLASHING SHALL NOT BE LESS THAN NO. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ON LAYER OF MINIMUM 72-POUND MINERAL-SURFACED NON-PERFORATED CAP SHEET, AT LEAST 36 INCH-WIDE RUNNING THE FULL LENGTH OF THE VALLEY PER CRC R337.5.3.
- HEARTH'S SHALL EXTEND 20" IN FRONT AND 12" BEYOND EACH SIDE OF FIREPLACE OPENING
- FIREPLACE SHALL HAVE TIGHT FITTING METAL OR GLASS DOOR AND OUTSIDE AIR INTAKE WITH DAMPER AND CONTROL
- ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED -- 2019 CRC SECTIONS R308/R327.8

#### ENERGY

- THIS BUILDING MEETS THE ENERGY BUILDING DESIGN REQUIREMENTS OF TITLE 24 PART 6. SEE ATTACHED TITLE 24 FOR CERTIFICATE OF COMPLIANCE.
- ALL WINDOWS AND DOORS SHALL BE DOUBLE GLAZED U.O.N.
- FOR PROJECTS IN CALIFORNIA:
  - INSULATION SHALL MEET THE CALIFORNIA ENERGY COMMISSION (C.E.C.) QUALITY STANDARDS AND BE CERTIFIED BY THE MANUFACTURER.
  - ALL FREEZERS, REFRIGERATORS, AND FLUORESCENT LAMP BALLASTS SHALL BE CERTIFIED BY THE C.E.C.
  - ALL HVAC EQUIPMENT, WATER HEATERS, FAUCETS, AND SHOWER HEADS SHALL BE CERTIFIED BY THE C.E.C.
- ALL TOILETS ARE TO BE ULTRA LOW FLOW 1.28 GALLONS MAXIMUM FLUSH CAPACITY PER 2019 CPC 402.2
- THERMOSTATS SHALL BE OF A PROGRAMMABLE DUAL SET BACK TYPE.
- WATER HEATER SHALL BE INSULATED WITH R-12 BLANKET AND PIPES WITHIN FIRST FIVE FEET OF TANK WITH R-4
- GENERAL LIGHTING IN KITCHENS AND BATHS SHALL BE HIGH EFFICACY & COMPLY w/ TITLE 24 CALCULATIONS

#### LIFE SAFETY

- WHERE REQUIRED BY LOCAL JURISDICTIONS, BUILDINGS TO BE FULLY SPRINKLERED IN ACCORDANCE w/ 2019 CRC SEC. R313/R309.8 AND 2013 NFPA. DRAWINGS TO BE SUBMITTED FOR PERMIT BY DESIGN/BUILD SUBCONTRACTOR
- SMOKE DETECTORS SHALL BE HARD-WIRED IN CEILINGS AND EQUIPPED w/ A BATTERY BACKUP. SEE REFLECTED CEILING AND MECHANICAL PLANS FOR EXACT LOCATIONS -- 2019 CRC SEC.314
- ALL SMOKE DETECTORS TO BE WIRED FOR 24 HOUR MONITORING BY REMOTE ANSWERING STATION PER NFPA 72

#### MEP

- ALL GAS APPLIANCES SHALL HAVE GAS IGNITER TYPE PILOTS AND INTERMITTENT IGNITION DEVICES
- CLOTHES DRYERS SHALL BE VENTED TO THE OUTSIDE. PROVIDE BACKDRAFT DAMPER
- WATER HEATERS SHALL BE SECURELY FASTENED TO PREVENT OVERTURNING AS DETAILED ON DRAWING 2/A8.1 -- 2019 CRC R301.2.2.3.7
- ALL HOT WATER FAUCETS WITH 10 FEET OR MORE OF PIPE BETWEEN FAUCET AND WATER HEATER ARE TO BE EQUIPPED WITH HOT WATER RECIRCULATING SYSTEM
- SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE
- ALL HOSE BIBBS SHALL HAVE APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES -- 2019 CRC AP103.3
- DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED PER 2010 CMC
- EXHAUST SYSTEMS SHALL HAVE DAMPER CONTROLS
- ALL ELECTRICAL OUTLETS IN EXTERNAL WALLS SHALL HAVE INSULATING GASKETS
- NO LIGHT FIXTURES IN CLOTHES CLOSETS SHALL BE CLOSER THAN 12" TO COMBUSTIBLE STORAGE ITEMS -- 2019 CRC
- ALL 120V / 1-PH / 15- & 20- AMP BRANCH CIRCUITS IN BEDROOMS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER -- 2019 CEC ARTICLE 210.12
- HYRO RADIANT, CONTRACTOR SHALL DOCUMENT AND PROVIDE DIMENSIONED DRAWING/ WITH PICTURES OR VIDEO FOR THE OWNER SHOWING LOCATIONS OF ALL IN FLOOR HYRO-RADIANT TUBING.

#### FRAMING PLANS AND LIGHTING COORDINATION

- CONTRACTOR SHALL REVIEW ALL RCP/LIGHTING PLANS PRIOR TO SETTING FLOOR/ROOF JOIST MEMBERS TO ALLOW FOR LIGHTING PLACEMENT AS SHOWN. CONTRACTOR SHALL SPOT LOCATE (PAINT OR OTHER MEANS) ALL RECESSED FIXTURES AND NOTIFY THE ARCHITECT FOR A WALK THRU PRIOR TO SETTING OF CANS IN PERMANENT LOCATION.

#### ARCHITECT SHALL HAVE ACCESS TO THE SITE AT ALL TIMES

\*PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN A COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R337.1.5.

\*PRIOR TO FINAL INSPECTION, A CONSTRUCTION OBSERVATIONS LETTER THAT VERIFIES THE WORK WAS COMPLETED IN ACCORDANCE WITH THE RECOMMENDATIONS IN THE APPROVED REPORT SHALL BE SUBMITTED

### SYMBOLS

- |  |   |
|--|---|
|  | GRID LINE - F.O.S. UNLESS OTHERWISE NOTED |
|  | DIMENSION TO FACE OF FRAMING              |
|  | DIMENSION TO CENTERLINE                   |
|  | DIMENSION TO FACE OF FINISH               |
|  | DETAIL REFERENCE SHEET LOCATION           |
|  | INTERIOR ELEVATION KEY AND SHEET LOCATION |
|  | DOOR NUMBER, SEE DOOR SCHEDULE            |
|  | WINDOW NUMBER, SEE WINDOW SCHEDULE        |
|  | ELEVATION DATUM POINT                     |
|  | CROSS SECTION SHEET LOCATION              |
|  | EXTERIOR ELEVATION                        |
|  | SPOT ELEVATION                            |
|  | DRAWING KEYNOTE                           |
|  | MATCH LINE                                |
|  | DRAWING REVISION                          |

### PROJECT DATA

LOCATION:	AUGUSTA CT MILPITAS, CA 95035
APN:	029-35-005
ZONING:	HS-d2
LOT SIZE:	1,688,821.20 SQ. FT. (38.77 ACRES)
BLDG USE:	SINGLE FAMILY
OCCUPANCY GROUP:	R-3/U
CONSTRUCTION TYPE:	TYPE VB
CLIMATE ZONE:	NA
BLDG. CODE:	2019 CALIFORNIA BUILDING, RESIDENTIAL, PLUMBING, ELECTRICAL, ENERGY, GREEN BUILDING STANDARDS, FIRE AND MECHANICAL CODES
ITEMS TO BE UNDER SEPARATE PERMIT(S):	AUTOMATED FIRE SPRINKLER, SOLAR WATER HEATING SYSTEM
PROJECT SCOPE:	NEW SINGLE FAMILY

#### SEE SITE PLAN SHEET A1.0 FOR FLOOR AREA CALCULATIONS

### DRAWING INDEX

#### CIVIL DRAWINGS

C1	CIVIL COVER SHEET
C2	GRADING AND DRAINAGE PLAN
C3	DRIVEWAY PROFILE
C4	DRIVEWAY PROFILE & SECTIONS
C5	DETAILS
C6	EROSION CONTROL PLAN
ONSITE ONE	SEPTIC SYSTEM PLAN
ONSITE TWO	SEPTIC SYSTEM PLAN
BMP-1	BEST MANAGEMENT PRACTICES
BMP-2	BEST MANAGEMENT PRACTICES

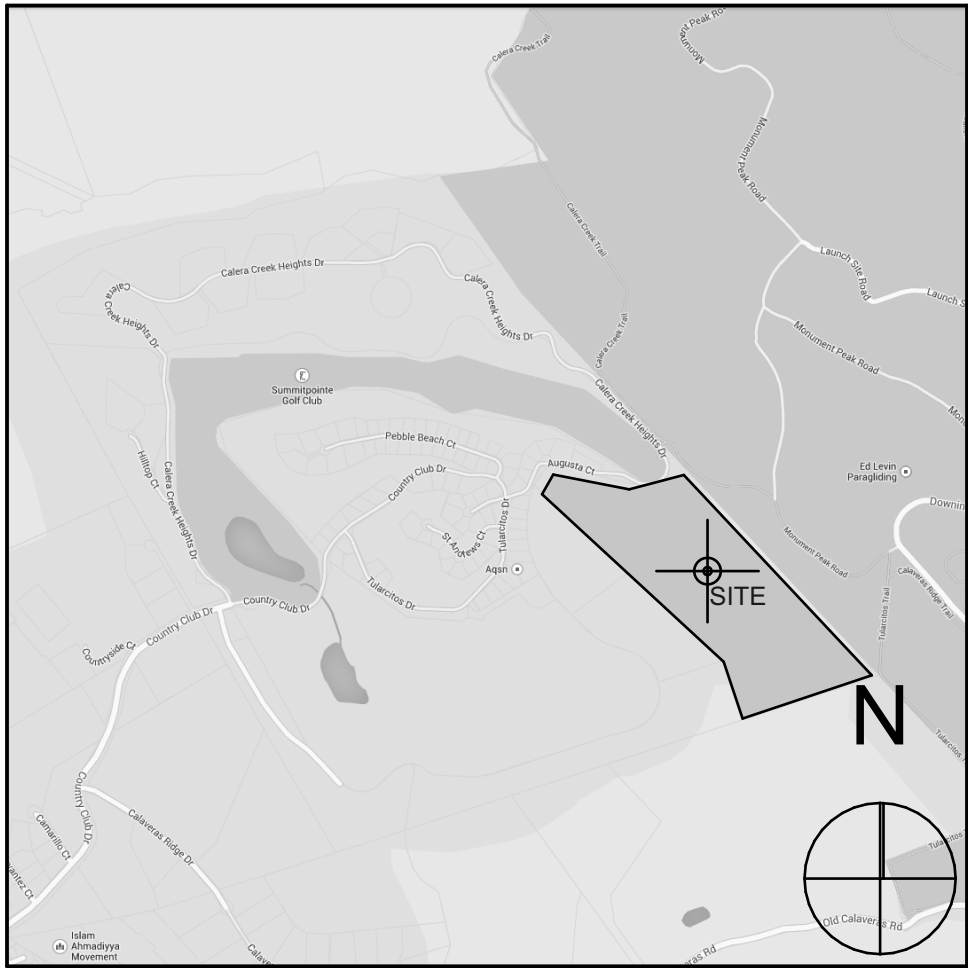
#### ARCHITECTURAL

A0.0	COVERSHEET
A0.4	SITE SURVEY
A0.7	FLOOR AREA CALCULATION
A1.0	SITE PLAN
L1	SITE PLAN (CLOSE-UP)
A1.2	LAND DISTURBANCE SITE PLAN
A2.0	GROUND FLOOR PLAN
A2.1	MAIN FLOOR PLAN
A2.2	ROOF PLAN
A3.1	NORTH & WEST ELEVATIONS (PROPOSED)
A3.2	SOUTH & EAST ELEVATIONS (PROPOSED)
A4.1	BUILDING SECTIONS

### DIRECTORY

OWNER:	ROY AND EVAN PANGAN 2767 BELMONT TR FREMONT CALIFORNIA 94539 Tel: EMAIL:
ARCHITECT:	MODERN HOUSE ARCHITECTS 1177 CALIFORNIA ST. #1401 SAN FRANCISCO CALIFORNIA 94108 TEL: (415) 596-7281 EMAIL: MODERNHOUSE@MAC.COM
GENERAL CONTRACTOR:	TBD
STRUCTURAL ENGINEER:	SFA DESIGN GROUP 1813 RUTAN DR, SUITE C LIVERMORE, CALIFORNIA 94551 TEL: 503.641.6311 WWW.SFADG.COM
LANDSCAPE ARCHITECT:	FIELD LANDSCAPE DESIGN 1265 INDIANA STREET SAN FRANCISCO, CA 94107 TEL: (415) 926-5775 EMAIL: chrisyatesdesign@gmail.com
CIVIL/SURVEY:	WESTFALL ENGINEERS, INC. 14583 BIG BASIN WAY SARATOGA, CA 95070 TEL: (408) 867-0244 EMAIL: jitka@westf.com
GEOTECHNICAL ENGINEER:	EARTH SYSTEMS 48511 WARM SPRING BLVD., SUITE 210 FREMONT, CA 94539 (510) 353-3833 WWW.EARTHSYSTEMS.COM

### VICINITY MAP



# MODERN HOUSE

#### ARCHITECTURE

#### & DESIGN

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Curt Cline Architect

**BUILDING SITE APPROVAL**  
**029-35-005**  
**PANGAN RESIDENCE**  
**AUGUSTA CT**  
**MILPITAS, CA**

#### REVISIONS:

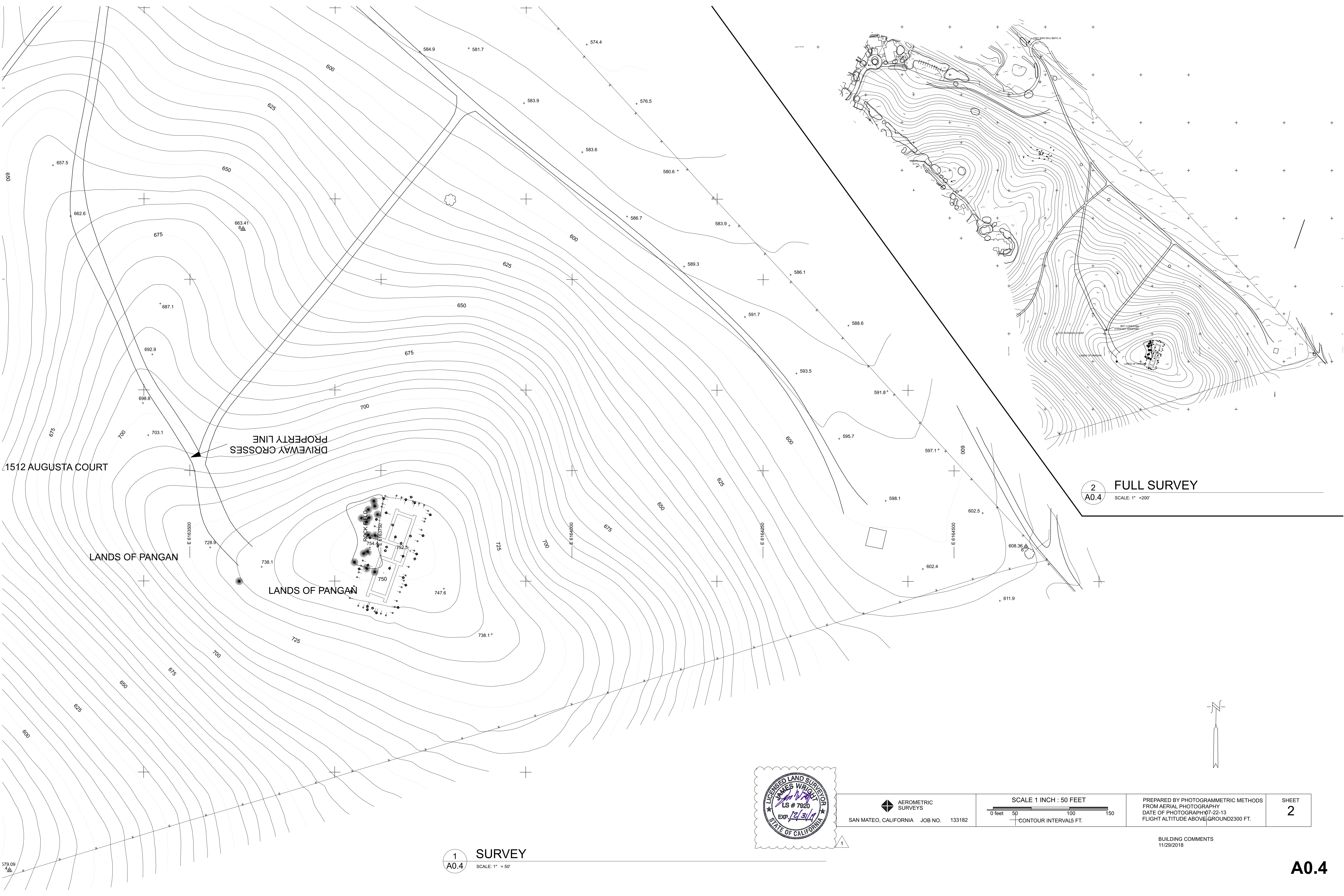

#### COVERSHEET

SCALE : AS NOTED

07.26.2018

SHEET : **A0.0**





1512 AUGUSTA COURT

LANDS OF PANGAN

LANDS OF PANGAN

DRIVEWAY CROSSES  
PROPERTY LINE

2  
A0.4

FULL SURVEY

SCALE: 1" = 200'

1  
A0.4

SURVEY

SCALE: 1" = 50'



AEROMETRIC  
SURVEYS  
SAN MATEO, CALIFORNIA JOB NO. 133182

SCALE 1 INCH : 50 FEET  
0 feet 50 100 150  
CONTOUR INTERVALS 5 FT.

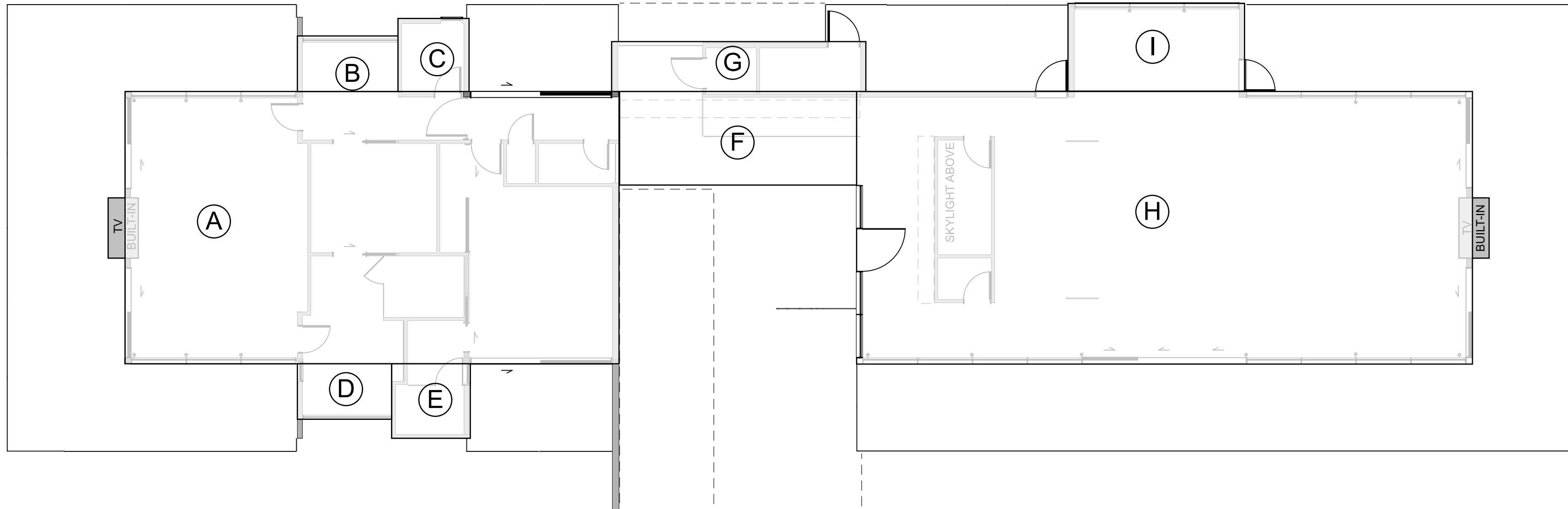
PREPARED BY PHOTOGRAMMETRIC METHODS  
FROM AERIAL PHOTOGRAPHY  
DATE OF PHOTOGRAPHY 07-22-13  
FLIGHT ALTITUDE ABOVE GROUND 2300 FT.

SHEET  
2

BUILDING COMMENTS  
11/29/2018

A0.4





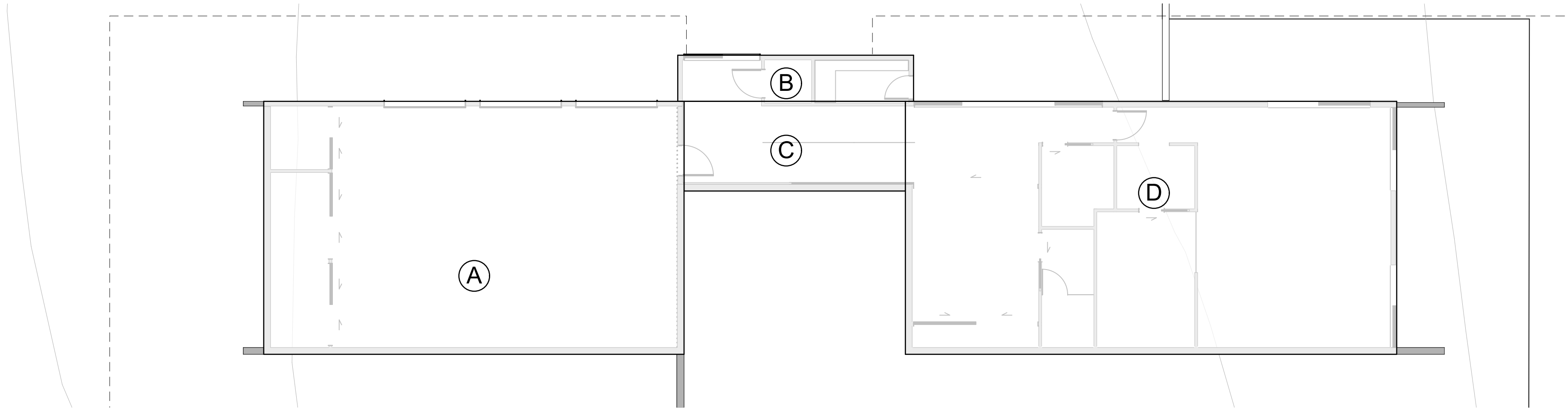
1  
A0.7

### MAIN FLOOR AREA

SCALE: 1/8" = 1'-0"

A	24.0	X	16.3	=	391.20	SQ. FT.
B	10.0	X	9.3	=	93.0	
C	25.4	X	8.5	=	220.5	
D	11.0	X	6.6	=	72.6	
E	27.2	X	7.0	=	190.4	
F	12.9	X	8.7	=	112.2	
G	15.5	X	13.8	=	213.9	
H	23.3	X	13.3	=	309.9	
I	17.7	X	8.1	=	143.4	
J	51.4	X	8.6	=	442.1	
K	51.8	X	15.5	=	802.9	

MAIN FLOOR AREA TOTAL: 2,992.1 SQ. FT.



2  
A0.7

### GROUND FLOOR AREA

SCALE: 1/8" = 1'-0"

A	37.5	X	24.4	=	915.0	SQ. FT. (GARAGE)
B	23.3	X	4.7	=	109.5	
C	21.8	X	8.6	=	187.5	
D	43.5	X	8.6	=	374.1	
E	43.4	X	15.8	=	685.7	

GROUND FLOOR AREA TOTAL: 2,271.8 SQ. FT.

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Revisions:

FLOOR AREA  
CALCULATION

SCALE : AS NOTED

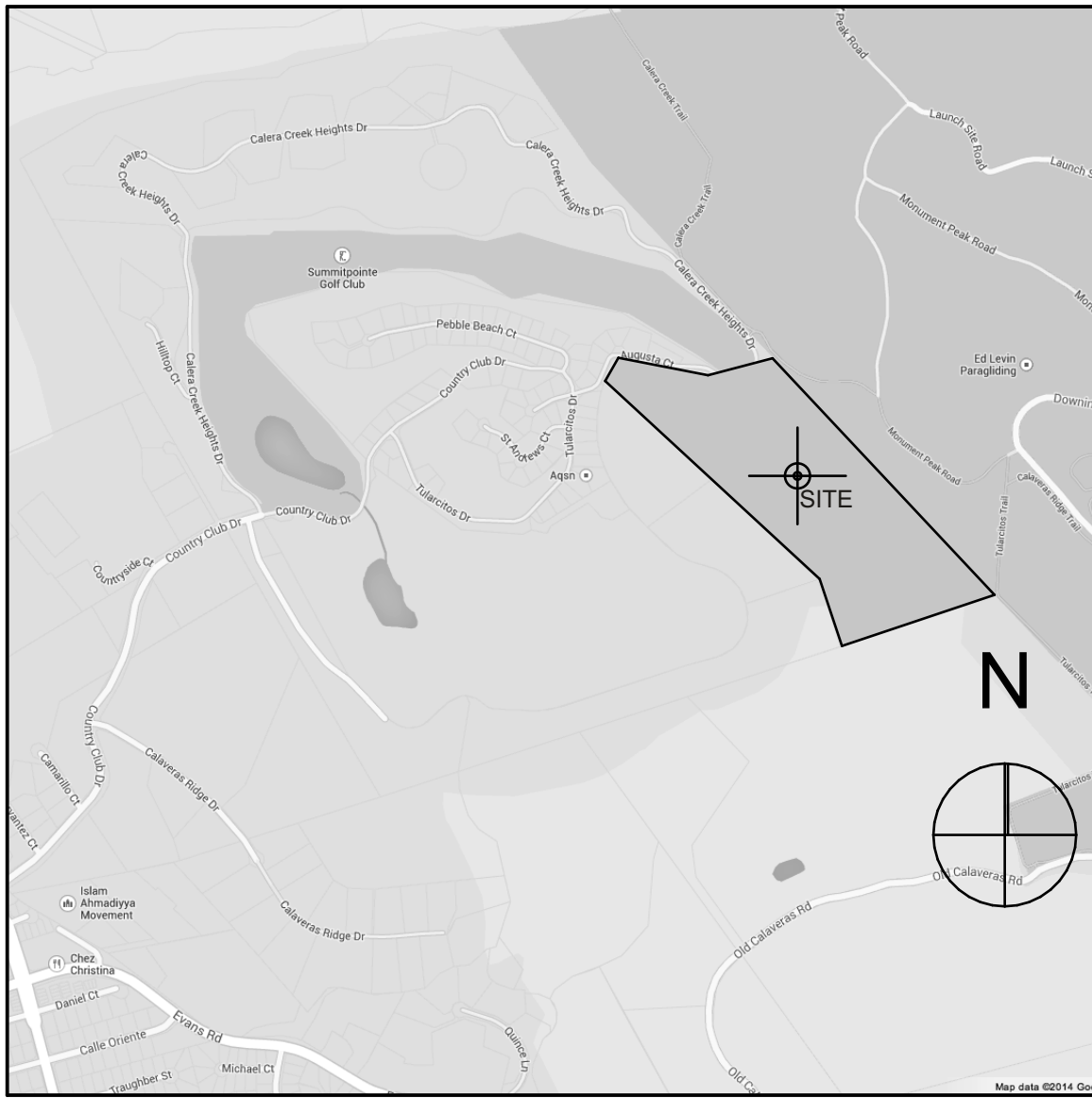
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SHEET : A0.7





## VICINITY MAP



## PROPOSED FLOOR AREA

LOT SIZE:	38.77 ACRES
ZONING DISTRICT:	HS-d2 (100%)
(N) TWO-STORY RESIDENCE:	5,263.9 SQ. FT.
(N) DECKS/TERRACE	2,369.5 SQ. FT.
(N) DRIVEWAY	36,564 SQ. FT.

MAX. SQUARE FEET (≈10 ACRES): 8,000 SQ. FT.

SEE CIVIL DRAWINGS FOR MORE DETAILS

DRIVEWAY, FIRE DEPARTMENT ACCESS, WILL BE OF "ALL WEATHER MATERIAL" CAPABLE OF HOLDING 75,000 LBS.

1 SITE PLAN  
A1.0 SCALE: 1" = 100'

MODERN  
HOUSE

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MILPITAS, CA

Revisions:

SITE PLAN

SCALE : AS NOTED

DATE : 07.26.2018

SHEET : A1.0



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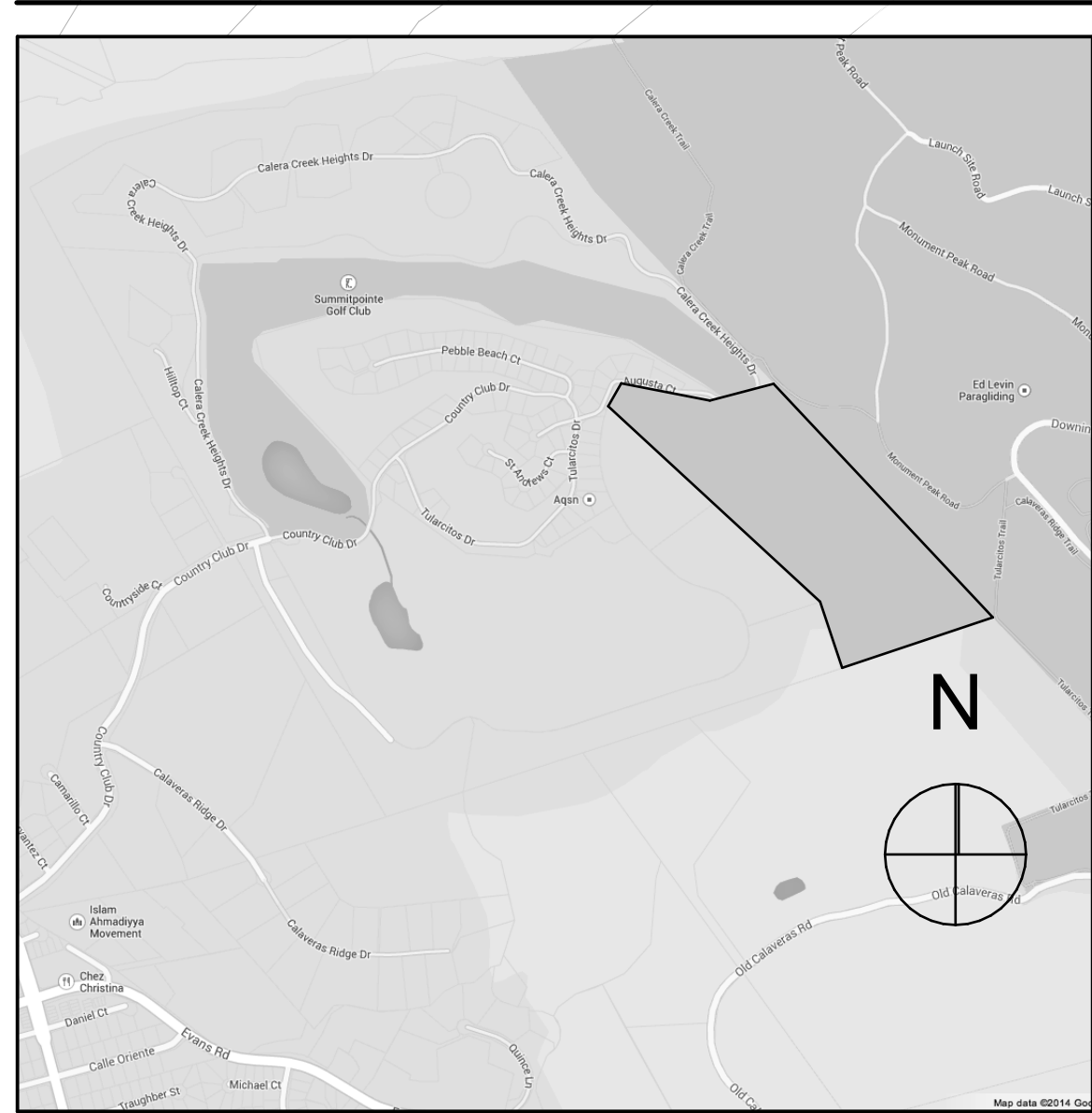
PLANT LIST

TREES		
QTY.	SIZE	BOTANICAL NAME
12	24" BOX	CARPINUS BETULUS FASTIGIATA
2	24" BOX	CERCIDIUM 'DESERT MUSEUM'
8	15 GAL	FRUIT TREES
4	24" BOX	ZELKOVA SERRATA MUSHASHINO

SHRUBS/VINES		
QTY.	SIZE	BOTANICAL NAME
8	15 GAL	ELEGIA CAPENSIS

GRASSES/GROUNDCOVERS		
QTY.	SIZE	BOTANICAL NAME
3100 SF	SOD	NATIVE BENTGRASS
4000 SF	SOD	NO MOW FESCUE

VICINITY MAP



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(N) DECKS/TERRACE	2,369.5 SQ. FT.
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MAX. SQUARE FEET (±10 ACRES): 8,000 SQ. FT.

GRADING QUANTITIES (CUBIC YDS)

DRIVEWAY	1,920	300
RESIDENCE	761	0
YARD	853	93
SUBTOTAL	3,534	393
SHRINKAGE		59

TOTAL 3,534 452

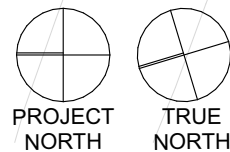
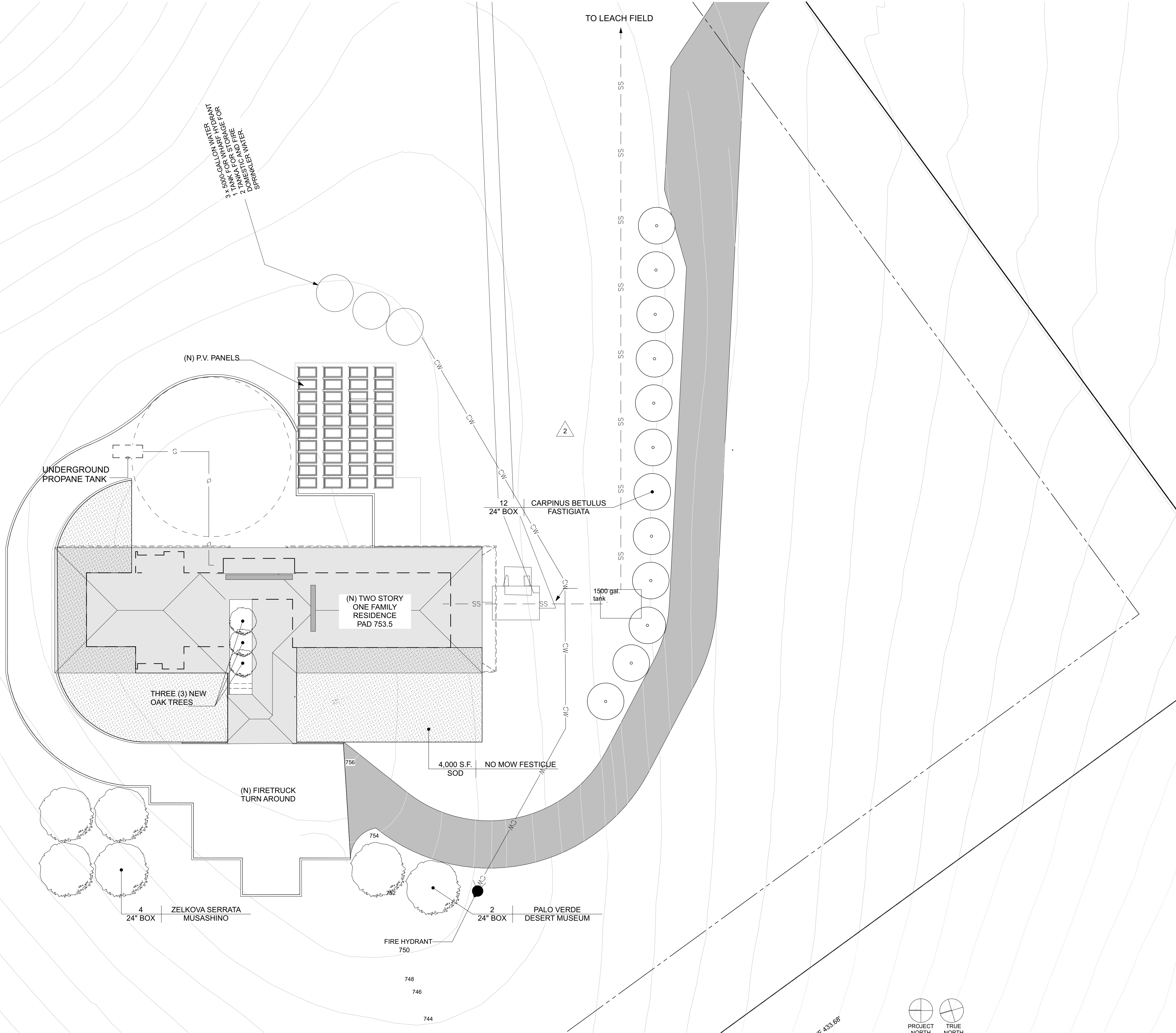
SEE CIVIL DRAWINGS FOR MORE DETAILS

SS	SANITARY SEWER LINE
CW	WATER LINE
G	GAS LINE

4  
L1

SITE PLAN (ENLARGED)

SCALE: 1/16" = 1'-0"



0 6' 16' 32'

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Revisions:

SITE PLAN (CLOSE-UP)

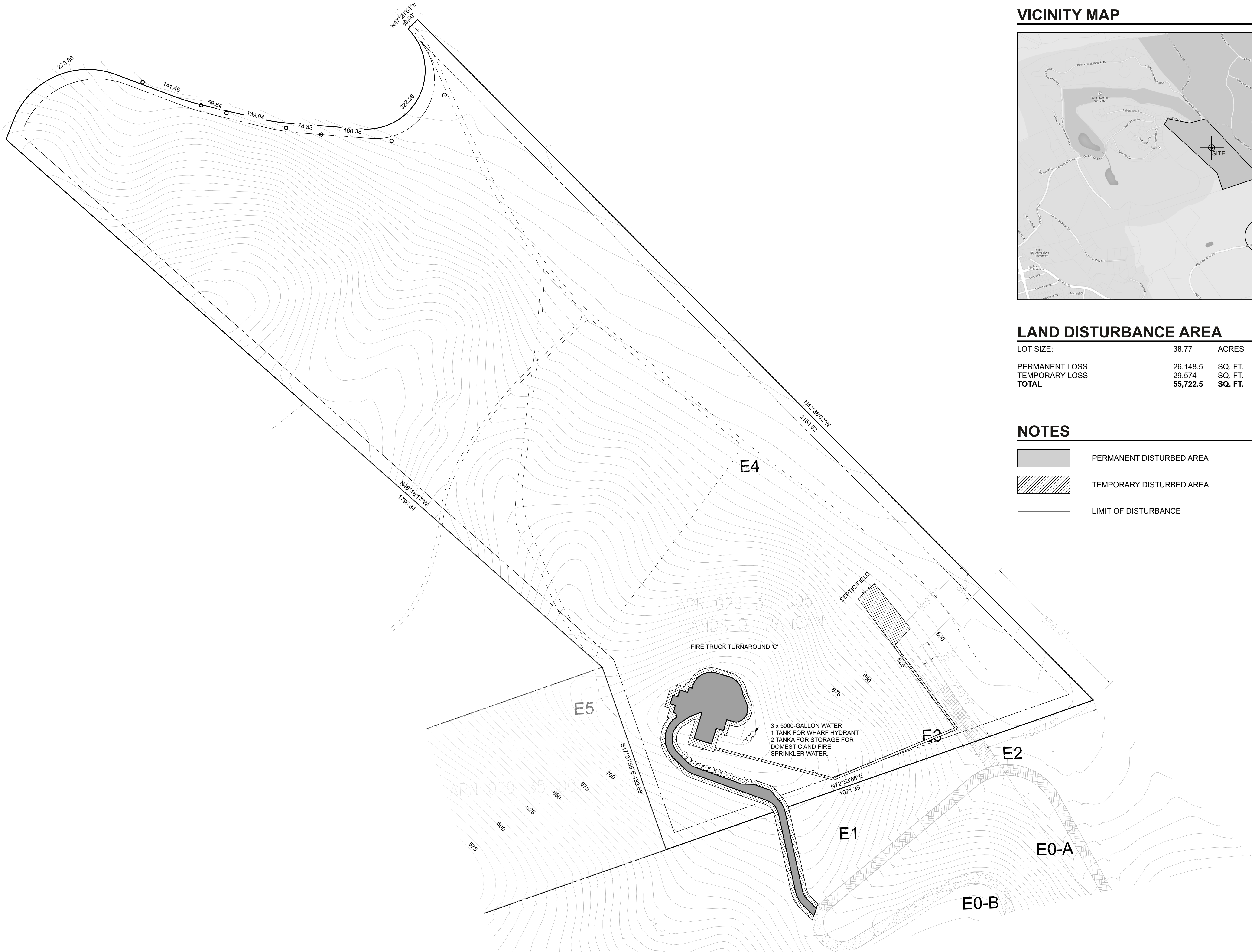
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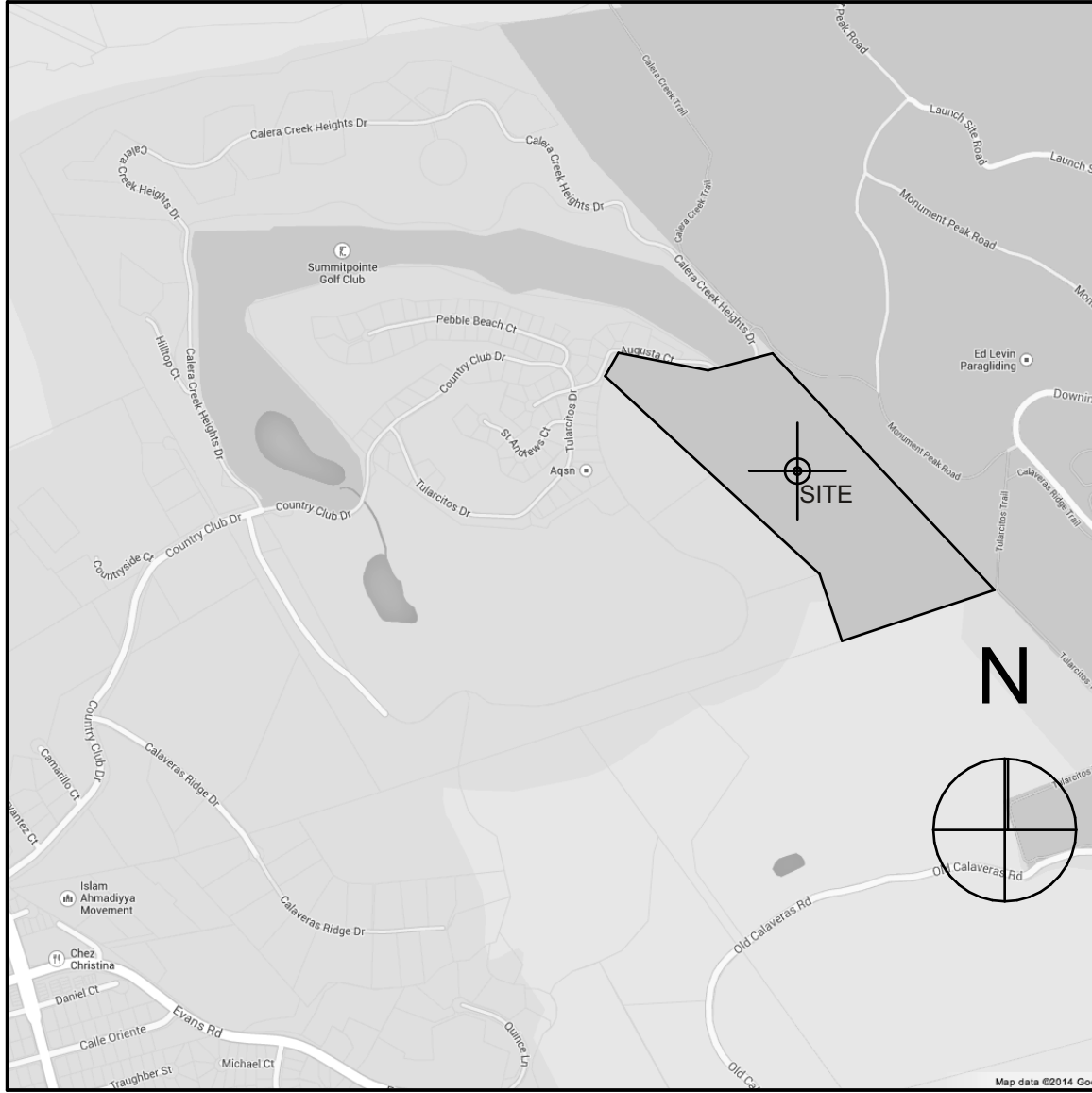
SHEET :

L1





VICINITY MAP



LAND DISTURBANCE AREA

LOT SIZE:	38.77	ACRES
PERMANENT LOSS	26,148.5	SQ. FT.
TEMPORARY LOSS	29,574	SQ. FT.
TOTAL	55,722.5	SQ. FT.

NOTES

- PERMANENT DISTURBED AREA
- TEMPORARY DISTURBED AREA
- LIMIT OF DISTURBANCE

1  
A1.2

LAND DISTURBANCE SITE PLAN

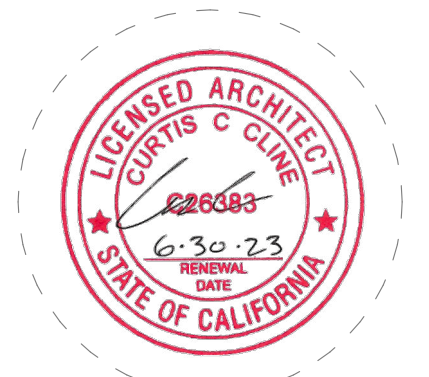
SCALE: 1" = 100'



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Revisions:

LAND DISTURBANCE SITE PLAN

SCALE : AS NOTED

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Revisions:

MAIN FLOOR PLAN

SCALE :

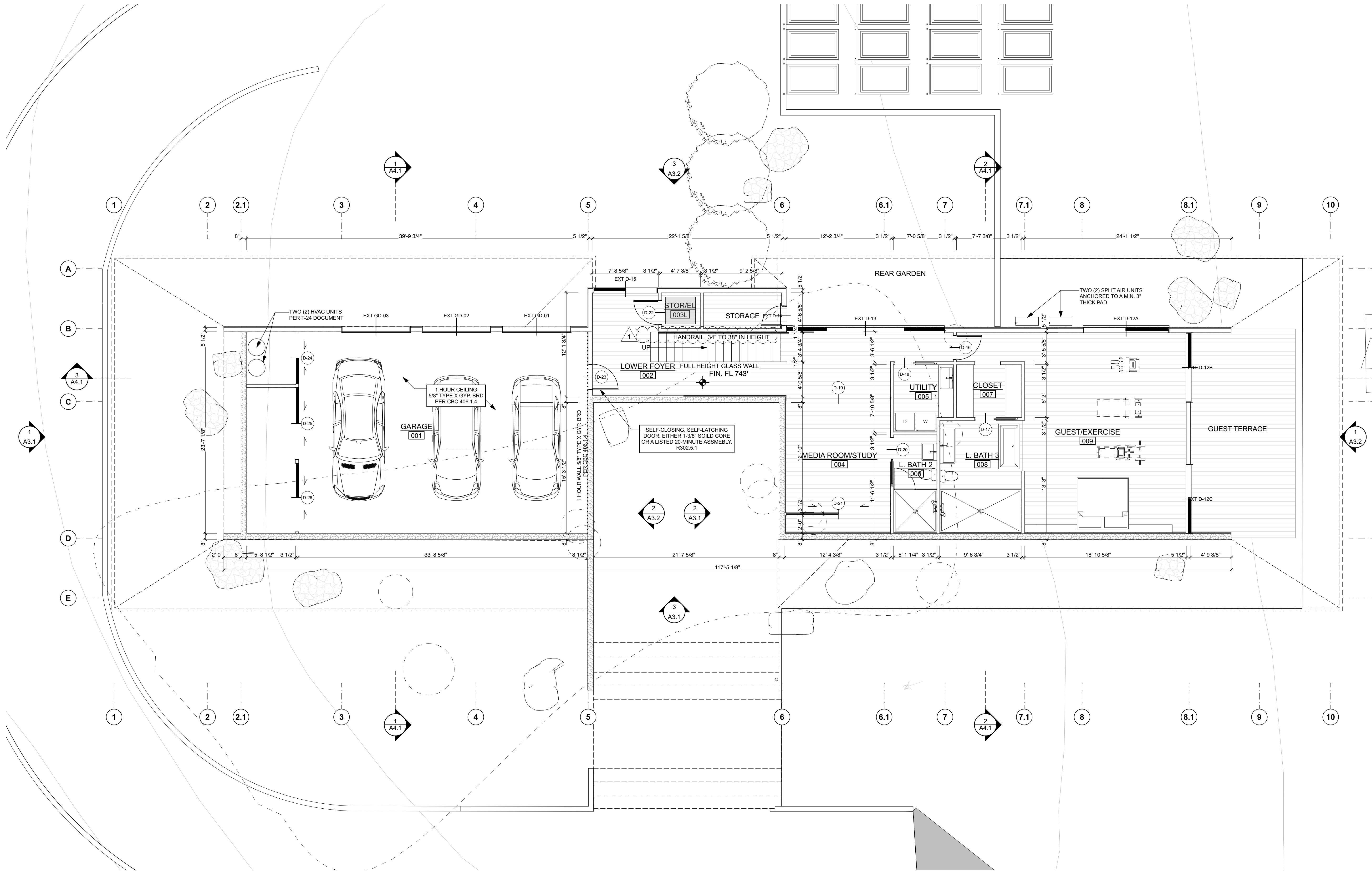
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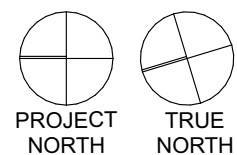
07.26.2017

SHEET :

A2.1



6 GROUND FLOOR PLAN  
A2.0 SCALE: 3/16" = 1'-0"



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Revisions:

GROUND FLOOR PLAN

SCALE : AS NOTED

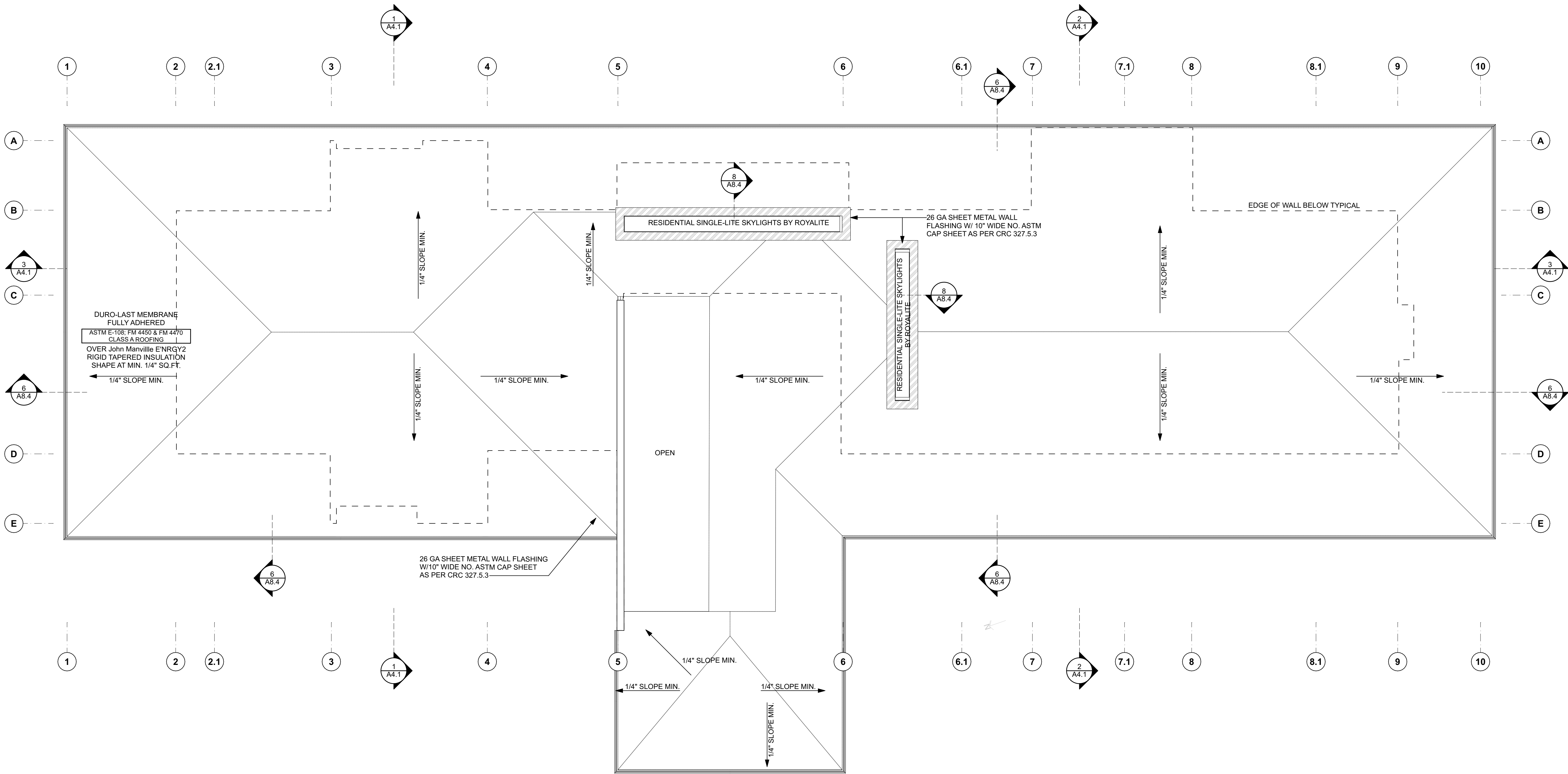
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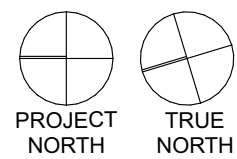


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1  
A2.2 ROOF PLAN  
SCALE: 3/16" = 1'-0"



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ARCHITECTURE & DESIGN

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Curt Cline Architect

BUILDING SITE APPROVAL  
029-35-005  
PANGAN RESIDENCE  
AUGUSTA CT  
MILPITAS, CA

Revisions:

ROOF PLAN

SCALE : AS NOTED

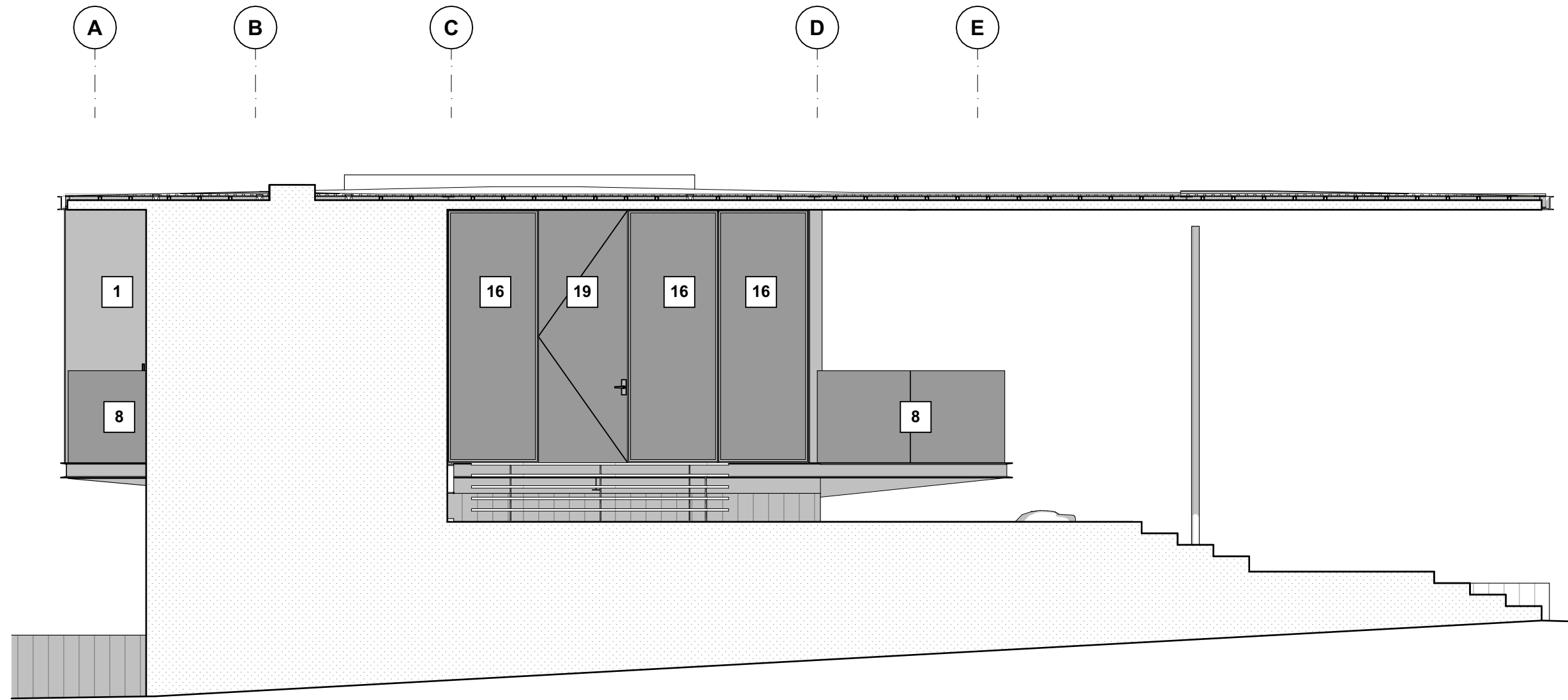
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SHEET : A2.2

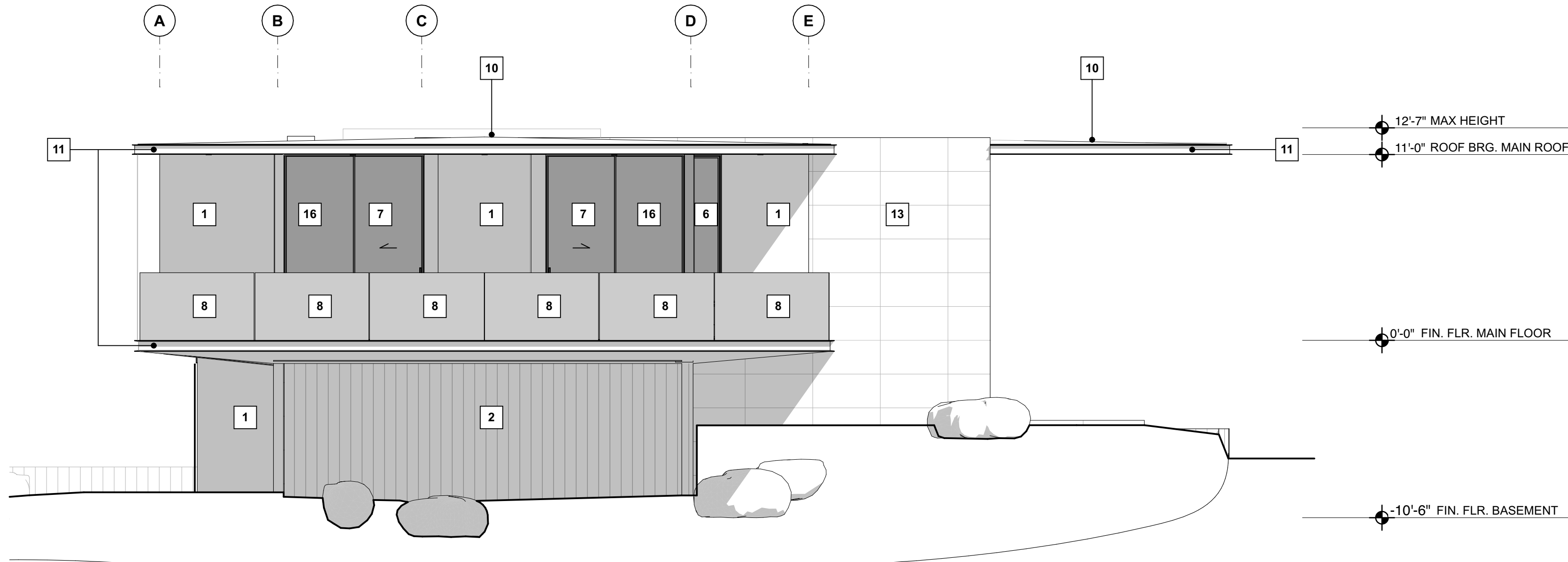


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\*\*\*PROJECT COMPANY\*\*\* PANGAN RESIDENCE • \*\*\* PROJECT NUMBER \*\*\* A3.1

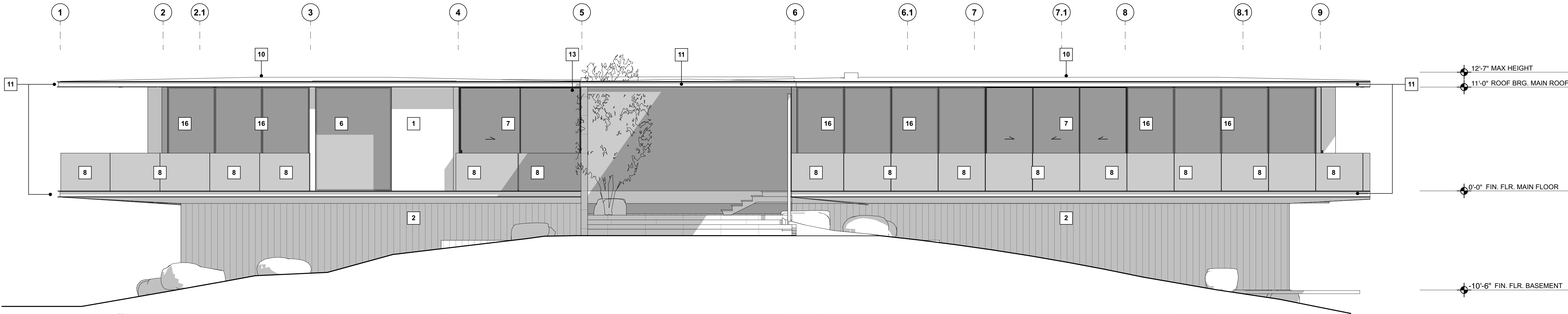
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2 NORTH ELEVATION CT. YRD. (PROPOSED)  
A3.1 SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION (PROPOSED)  
A3.1 SCALE: 3/16" = 1'-0"



3 WEST ELEVATION (PROPOSED)  
A3.1 SCALE: 3/16" = 1'-0"

KEY NOTES - EXT. ELEVATIONS:

- |    |   |    |  |
|----|---|----|--|
| 1  | 3 COAT SMOOTH STUCCO SAND FINISH (SEE ARCHITECT FOR COLOR)            | 11 | EXPOSED STEEL BEAM WITH CLEAR POWDER COAT                        |
| 2  | BOARD FORMED CONC. SEE ARCHITECT FOR FINISH QUALITY                   | 12 | STEEL PLATE W/ CLEAR POWDERCOAT                                  |
| 3  | ZINC PANELS   | 13 | LIMESTONE TILE (SEE ARCHITECT FOR SAMPLE)                        |
| 4  | ZINC FASCIA   | 14 | 1/2" TEMP. GLASS (CLEAR)   |
| 5  | PRE-PAINTED HOLLOW METAL FRAME W/ ACID ETCHED GLASS PANEL GARAGE DOOR | 15 | 1/2" TEMP. GLASS (ACID ETCHED)                                   |
| 6  | PRE-PAINTED HOLLOW METAL ALUM. WINDOW                                 | 16 | FRAMELESS DUAL GLAZED TEMPERED GLASS W/ SOLAR BAN 70 AND LOW E   |
| 7  | PRE-PAINTED HOLLOW METAL ALUM. DOOR                                   | 17 | GUTTER SEE DETAIL  |
| 8  | 42" MIN. 1/2" TEMP. GLASS GUARDRAIL                                   | 18 | 1X3 CHICHIPATE CHANNEL GROOVE SIDING                             |
| 9  | ZINC PLANTER  | 19 | PRE-PAINTED METAL BREAK METAL PROVIDED BY WINDOW/DOOR FABRICATOR |
| 10 | EPDM ROOFING  |    |  |

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NORTH & WEST ELEVATIONS (PROPOSED)

SCALE : AS NOTED

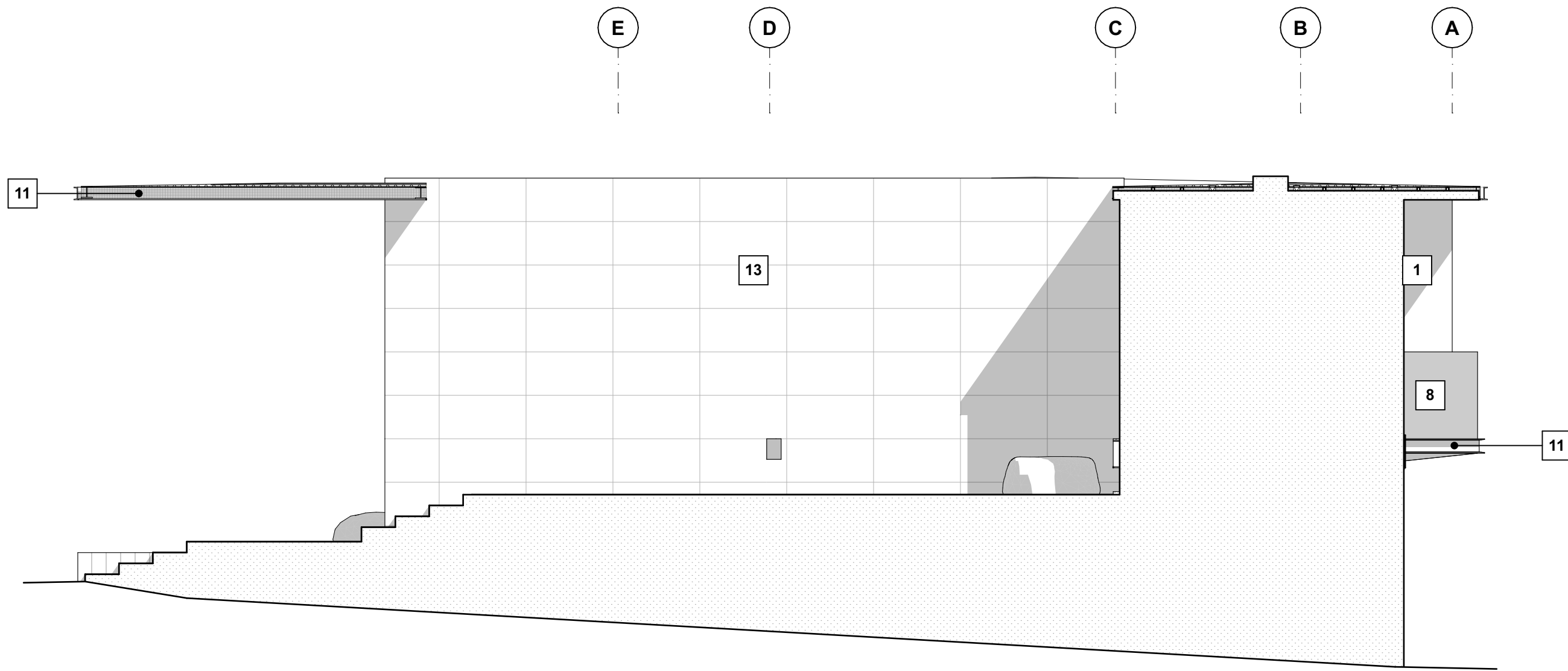
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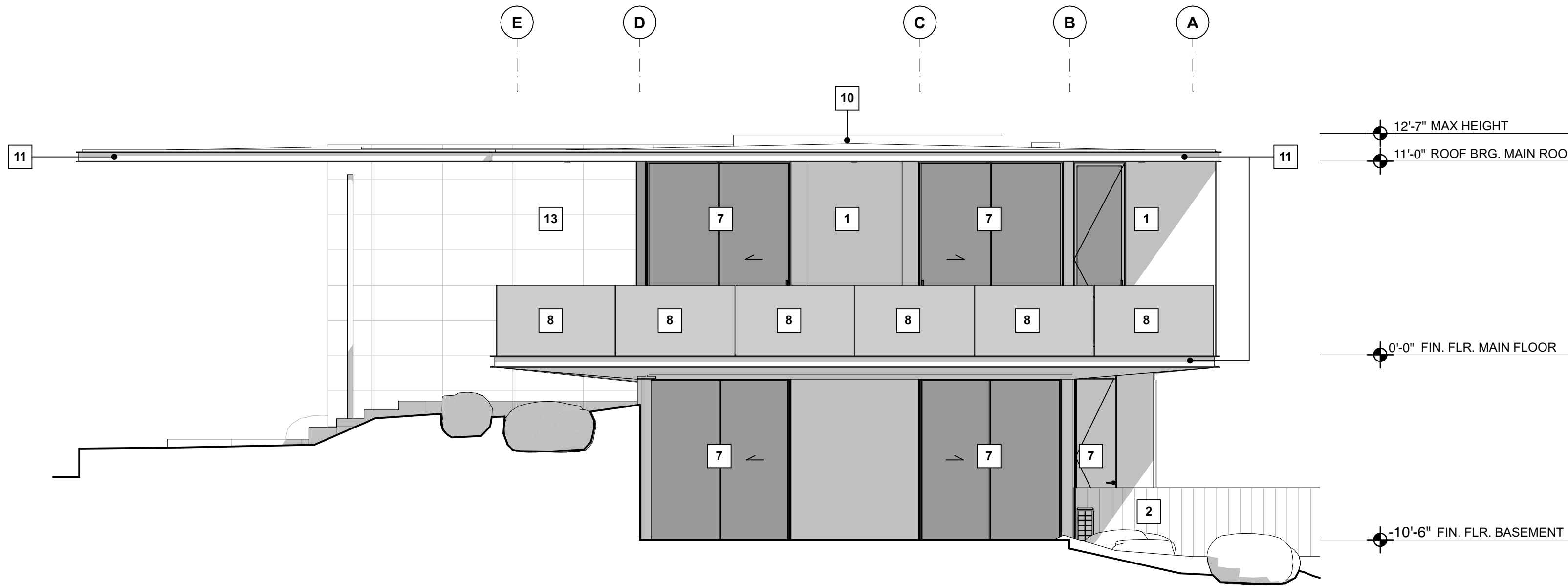


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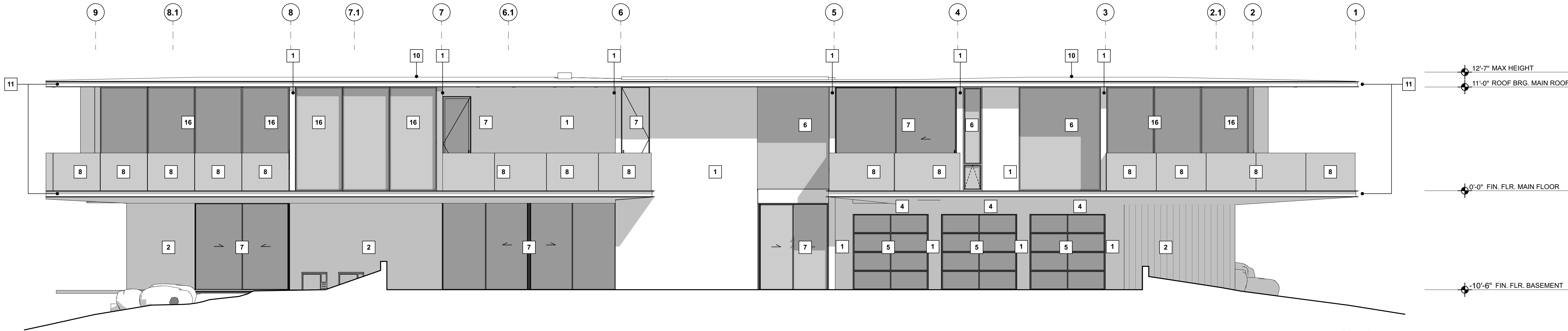
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2 SOUTH ELEVATION CT. YRD. (PROPOSED)  
A3.2 SCALE: 3/16" = 1'-0"



1 SOUTH ELEVATION (PROPOSED)  
A3.2 SCALE: 3/16" = 1'-0"



3 EAST ELEVATION (PROPOSED)  
A3.2 SCALE: 3/16" = 1'-0"

KEY NOTES - EXT. ELEVATIONS:

- |    |   |    |  |
|----|---|----|--|
| 1  | 3 COAT SMOOTH STUCCO SAND FINISH (SEE ARCHITECT FOR COLOR)            | 11 | EXPOSED STEEL BEAM WITH CLEAR POWDER COAT                        |
| 2  | BOARD FORMED CONC. SEE ARCHITECT FOR FINISH QUALITY                   | 12 | STEEL PLATE W/ CLEAR POWDERCOAT                                  |
| 3  | ZINC PANELS   | 13 | LIMESTONE TILE (SEE ARCHITECT FOR SAMPLE)                        |
| 4  | ZINC FASCIA   | 14 | 1/2" TEMP. GLASS (CLEAR)   |
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| 8  | 42" MIN. 1/2" TEMP. GLASS GUARDRAIL                                   | 18 | 1X3 CHICHIPATE CHANNEL GROOVE SIDING                             |
| 9  | ZINC PLANTER  | 19 | PRE-PAINTED METAL BREAK METAL PROVIDED BY WINDOW/DOOR FABRICATOR |
| 10 | EPDM ROOFING  |    |  |

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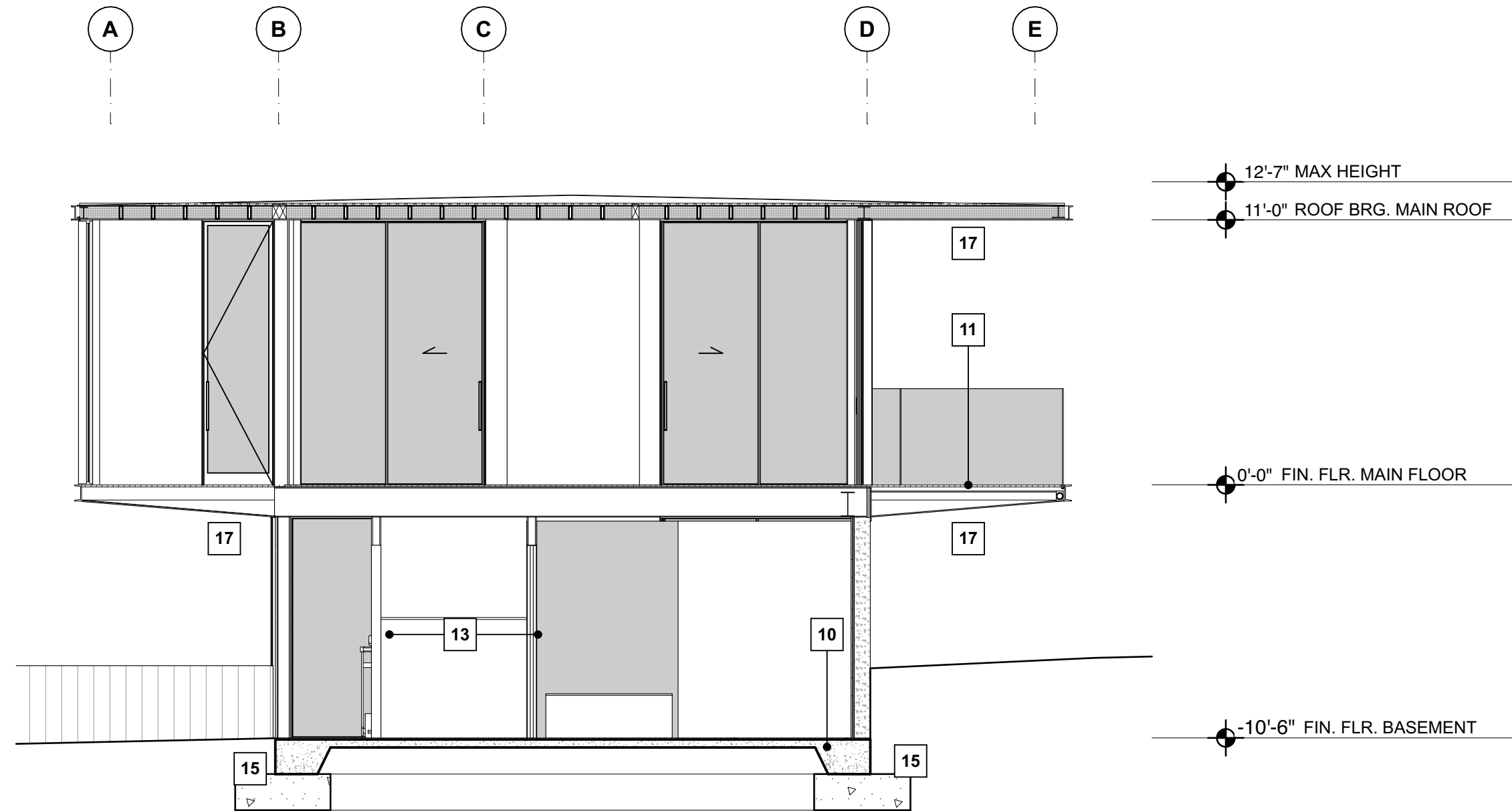
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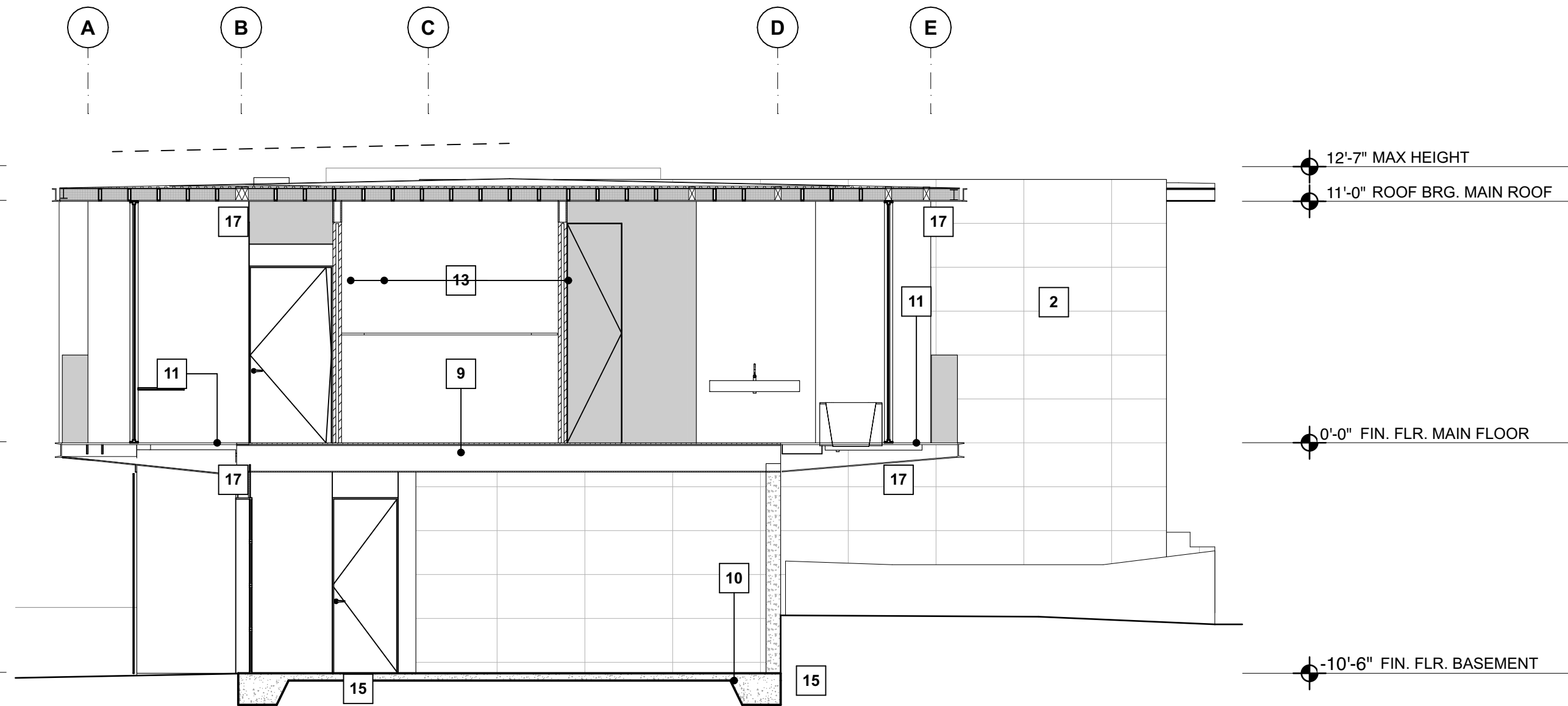
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SOUTH & EAST ELEVATIONS (PROPOSED)  
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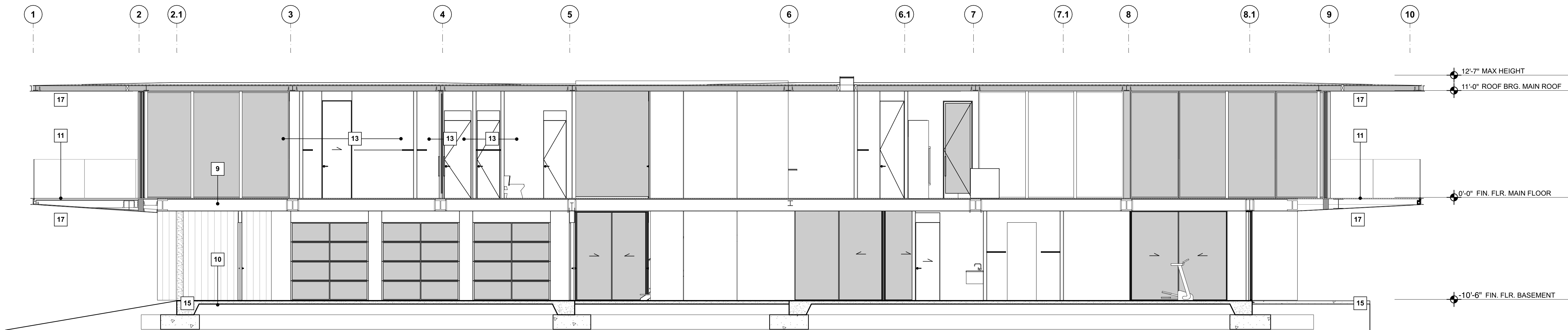




2 CROSS-SECTION AT BREAKFAST ROOM/KITCHEN  
A4.1 SCALE: 3/16" = 1'-0"



1 CROSS-SECTION AT MASTER CLOSET/MASTERBATH  
A4.1 SCALE: 3/16" = 1'-0"



3 LONGITUDINAL CROSS-SECTION  
A4.1 SCALE: 3/16" = 1'-0"

#### NOTES - BUILDING SECTIONS:

- EXTERIOR WALL COVERING SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2' NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS. OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT ENCLOSURE AS PER (CRC R327.7.3.1)
- THE UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL MAINTAIN THE SMAE IGNITION-RESISTANCE OF EXTERIOR WALLS OR BE ENCLOSED TO GRADE (CRC R327.7.7)

#### KEY NOTES - BLDG. SECTIONS:

- 3 COAT STUCCO W/ SMOOTH FINISH
- 1X3 CHANNEL GROOVE CHICHIPATE SIDING
- CONCRETE FLATWORK MIN. 5" THICK W/ #3'S E.W. AT 12" O.C. OVER 2" SAND OVER 4" MIN. WASHED COMPACTED PEA GRAVEL W/ C JOINTS AT 5'-0" MAX. W/ 1/2" E JOINTS AT OTHER SLAB INTERFACES
- MATT SLAB SEE STRUCTURAL
- RETAINING WALL SEE STRUCTURAL
- A.B./HOLDWOWN SEE STRUCTURAL
- 1/2" TEMPERED GLASS GUARDRAIL
- TYPICAL FLAT ROOF CONSTRUCTION** (R-VALUE: R38)  
PremiumCoat ROOF COATING BY HYDRO-STOP LLC (STATE FIRE MARSHALL APPROVED LISTING #: 4175-1724-0100) OVER TAPERED RIGID INSULATION OVER 1/4" DENSDECK™ FIREPROOF DECKING PLYWOOD ROOF SHEATHING OVER 2X ROOF JOISTS (SEE STRUCTURAL) W/ 7.7" OF AIRTIGHT SPRAY FOAM OPEN CELL FULL THICKNESS (STATE FIRE MARSHALL APPROVED LISTING #: 2440-1705-0101) INSULATION W/ 1/2" GYP. BRD. AT INTERIOR WITH LEVEL 5 MUD AND PAINT
- TYPICAL FLOOR CONSTRUCTION OVER FRAMING** (R-VALUE: R30)  
3/4" TEAK T & G FLOORING OVER INTEGRAL PLYWOOD AND HYDRO RADIANT FLOOR SHEATHING OVER FLOOR FRAMING (SEE STRUCTURAL) W/ 1/2" GYP. BRD. CEILING W/ LEVEL 5 MUD AND PAINT
- TYPICAL FLOOR CONSTRUCTION OVER SLAB** (R-VALUE: R30)  
3/4" x 6" TEAK T & G FLOORING OVER INTEGRAL PLYWOOD OVER 1 1/2" GYP. CRETE W/ HYDRO RADIANT OVER CONCRETE SLAB (SEE STRUCTURAL FOR REQUIREMENTS)
- TYPICAL DECK CONSTRUCTION** (R-VALUE: R30)  
PALOPE DECKING OVER P.T. WOOD SLEEPERS TAPPERED TO DRAIN OVER PLY-DEK ICC-ES ESR-2097 SYSTEM OVER 3/4" MARINE PLYWOOD DECK SHEATHING OVER FLOOR FRAMING (SEE STRUCTURAL) MIN. 1/8" SLOPE TO DRAIN
- TYPICAL EXTERIOR WALL CONSTRUCTION** (R-VALUE: R25)  
3 COAT SMOOTH FINISH STUCCO OR 1X3 CHICHIPATE CHANNEL GROOVE SIDING OVER 1 1/2" RIGID WALL INSULATION OVER 2 LAYERS OF GRADE D PAPER (CRC R703.6.3) OVER PLWOOD SHEAR (SEE STRUCTURAL) OVER 2X6 STUDS AT 16" O.C. WITH BATT INSULATION FULL THICKNESS AND 1/2" GYP. BRD. AT INTERIOR WITH LEVEL 4 MUD AND PAINT (NO RIGID INS. AT GARAGE)
- TYPICAL INTERIOR WALL CONSTRUCTION** (R-VALUE: R19)  
5/8" GYP. BRD. W/ LEVEL 4 FINISH EITHER SIDE OF 2X4'S AT 16" O.C. (SOUND BATT AT ALL BEDROOMS)
- TYPICAL ACCENT TILE WALL CONSTRUCTION** (R-VALUE: R25)  
CONC. /STONE TILE (SEE ARCHITECT) (EXT.) OVER PLYWOOD SHEAR (SEE STRUCTURAL) OVER 2X6 STUDS AT 16" O.C. WITH BATT INSULATION FULL THICKNESS AND 1/2" DENS SIELD. AT INTERIOR WITH CONC. TILE (SEE ARCHITECT) WALL COPING AT ROOF TOP WITH COPING STONE OVER ROOF MEMBRANE AND TURNDOWNS/COUNTER FLASHING AS PER MANF. REQ'S.
- AIRTIGHT SPRAY FOAM OPEN CELL INSULATION
- FOUNDATION WATER PROOFING AND DRAINAGE SEE SPEC
- STONE TILE SEE ARCHITECT
- NON-COMBUSTABLE SOFFIT BOARD MANF. JAMES HARDIE HardieSoffit® (STATE FIRE MARSHALL APPROVED LISTING #: 8160-2026:0007)
- DUAL GLAZED FRAMELESS GLASS W/ SOLAR BAN 70 AND LOW E

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#### BUILDING SECTIONS

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