

# Christopher Spaulding, Architect

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1-4-23

**PLN22-182, 1620 Crestview Drive, Los Altos APN 331-11-113**

## **Comment Response Letter**

### PLANNING OFFICE

1. The exterior elevations have been added to the plan set, including the overall height.
2. The floor plans have been added to the plan set.
3.
  - a. The buildings are dimensioned on the floor plans.
  - b. The floor area block diagram is attached.
4. The paving in the front setback area has been reduced to 40% of the total setback area. A diagram has been added to sheet A1 to illustrate the area. The pavement shape is complex, so the area has been determined by the AutoCad program instead of trying to show the substantial mathematical analysis of the area.
5. The Grant Deed and Title Report showing legal lot status are attached.

### HISTORIC HERITAGE COORDINATOR

6. A Historic Significance Report has been prepared and is attached.
7. The revised Historic Significance sheet is attached.

### DEPARTMENT OF ENVIRONMENTAL HEALTH

8.
  - a. The current sewer permit is attached.
  - b. The will-serve letter from the California Water Service is attached.

## LAND DEVELOPMENT ENGINEERING

Please refer to the engineer's response letter, appended to the back of this document.

## ROADS AND AIRPORTS

Please refer to the engineer's response letter, appended to the back of this document.

## FIRE MARSHAL'S OFFICE

- 23. The location of the nearest fire hydrant is shown on sheet C2.
- 24. The fire sprinkler requirements have been added to sheet A1.

## CALIFORNIA HISTORICAL RESOURCES INFORMATION SYSTEMS

- 1. Please refer to responses to items #2 & #4 below.
- 2. A Cultural Resource Evaluation Report has been completed for the site and is attached.
- 3. A Cultural Resource Evaluation Report has been completed for the site and is attached.
- 4. A Historical Significance Report has been completed and is attached.

# RW ENGINEERING, INC.

Civil Engineers · Land Surveyors  
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Tel: (408) 262-1899 Fax: (408) 824-5556  
Email: [rwengineering@gmail.com](mailto:rwengineering@gmail.com)

January 11, 2023

**Project Name:** 1620 Crestview Drive, Los Altos  
**File Number:** **PLN22-182 (APN: 331-11-113)**  
**Review Cycle:** BSA & GA review dated 11/01/2022

## RESPONSE TO COMMENTS:

**Land Development Engineering** (Darrell Wong at (408) 299-5735 or [darrell.wong@pln.sccgov.org](mailto:darrell.wong@pln.sccgov.org)):

9. Provide a table of the estimated impervious areas that are created as a part of the development. The net change, as well as an accounting of the new/replacement impervious areas shall be clearly stated on the plans. **Response:** Shown on G&D Plan C-2.
10. Please show the limits of the disturbed area as a result of the proposed development. Include the disturbed areas of the utility installation as well. **Response:** Shown on G&D Plan C-2.
11. Clearly identify and show the limit of the public right of way and the scope of work proposed for the public right of way. **Response:** Shown on G&D Plan C-2 & C-3. Also, noted on scope of work on C-1.
12. The proposed development impacts drainage flows, thereby not meeting the exemption requirements of Section C12-407 of the County Grading & Drainage Ordinance. **Response:** Proposed development mirrors and maintains existing drainage pattern. It does not change drainage flows on County right-of-way, nor adjacent properties.  
Provide a revised Drainage Plan that demonstrates the following items:
  - a. The site can be adequately drained. **Response:** G&D Plan C-3 shows drainage flow that mirrors and maintains existing drainage pattern. Area in front of the house drains to the street and the rest flows towards to the rear.
  - b. The proposed development will not cause problems to the nearby properties. **Response:** G&D Plan C-3 shows controlled drainage flow, which does not cause problem to the adjacent properties. Also 100-yr detention basins are provided to drastically decrease runoff to the rear for majority of the rainfall events.
  - c. The on-site drainage will be controlled in such a manner as to not increase the downstream peak flow or cause a hazard or public nuisance. If this cannot be demonstrated, provide a detention system pursuant to the Design Guidelines in Section 6.3.3 of the 2007 Santa Clara County Drainage Manual. The current design shows drainage runoff terminating in drainage inlets at the front and rear of the property. It is unclear as to how the drainage runoff will be handled from those points. **Response:** G&D Plan C-3 shows controlled drainage flow, which does not cause problem to the adjacent properties. Also 100-yr detention basins are provided to drastically decrease runoff to the rear for majority of the rainfall events. Runoff in areas not collected by drainage collectors are sheetflowed towards either the rear or street. These areas are mainly landscape areas, which by itself can absorb a great deal of runoff.
13. Please revise the driveway plan and section to conform to County Standard Detail SD5 or as required by the County Fire Marshal's Office, whichever is greater. Provide a cross section and structural detail for the driveway access to the rear structure. **Response:** County Standard Detail SD5 does not apply to this flat lot (3% average slope). Fire Marshal does not have any comment on the driveway. Structural section shown both on section A-A and plan.
14. Please revise the driveway turnaround to conform to County Standard Detail SD16 or as required by the County Fire Marshal's Office or CalFire, whichever is greater to meet the requirements of the

Fire Marshal's Office, as necessary. **Response:** County Standard Detail SD16 does not apply to this project. Fire Marshal does not have any comment on the driveway.

15. Please include all applicable easements affecting the parcel(s) with benefactors and recording information on the site plan. Please supply a copy of a preliminary title report, prepared within the current ownership of the property, with a statement from the owner that no subsequent encumbrances have been recorded since the preparation of the title report. **Response:** N/A.
16. Please note that requirements for the SF Bay watershed will change for projects not approved by June 30, 2023 for all projects that have not yet obtained approval by that date. **Response:** OK.

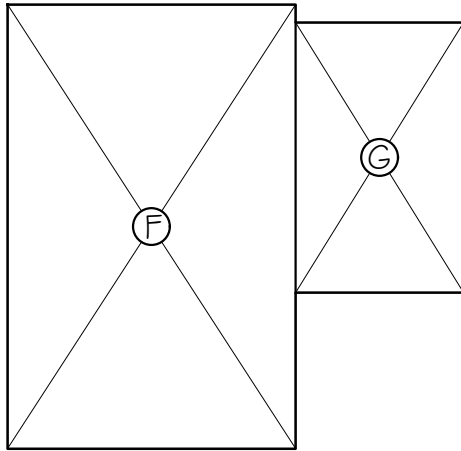
**ROADS AND AIRPORTS** (Thomas Esch at (408) 573-2450 or [tom.esch@rda.sccgov.org](mailto:tom.esch@rda.sccgov.org)):

17. Provide a Sight Distance Analysis (SDA) for driveway approaches. The SDA shall be based on County Standard driveway approach layouts consistent with Caltrans Highway Design Manual Section 200 and prepared by a licensed civil engineer demonstrating adequate stopping sight distance in both directions is available. The SDA is to include the following:
  - a. The design speed used to determine the stopping sight distance.
  - b. The basis of the design speed, i.e., the engineer's statement that he/she has determined the speed by driving the section of roadway or the engineer's calculation of the speed based upon the existing measured roadway geometry
  - c. The limits of any obstruction(s) to be removed between the edge of pavement and the sight line. **Response:** Shown on G&D Plan C-2.
18. Indicate on plans if any conflicts will require mitigation, such as tree removal or additional grading. **Response:** None.
19. All driveways accessing the property will be required to be improved to County Standard B/4 approach; the revised plans should indicate as such. **Response:** Shown on G&D Plan C-2.
20. The property's frontage will be required to be improved to County Standard B/4A. Indicate improvements on the revised plans to identify any conflicts that will need to be resolved (i.e. utility poles, trees, culverts, etc. **Response:** Shown on G&D Plan C-2.
21. Gates, fences, retaining wall, fixed appurtenances, etc. shall be located outside the limits of the County maintained road right-of-way (ROW). If any items must remain in the ROW a Maintenance and Indemnification Agreement (MIA) recorded against the property will be required. Indicate on plans the intent of any existing or future items in the ROW. **Response:** Only mailboxes.

**FIRE MARSHAL'S OFFICE** (Alex Goff at (408) 299-5763 or [alex.goff@sccfd.org](mailto:alex.goff@sccfd.org)):

22. Plans are to show a standard fire hydrant within 400 ft. exterior path of travel to all portions of non-sprinklered structures and 600 ft. of sprinklered structures. **Response:** Shown on G&D Plan C-2.

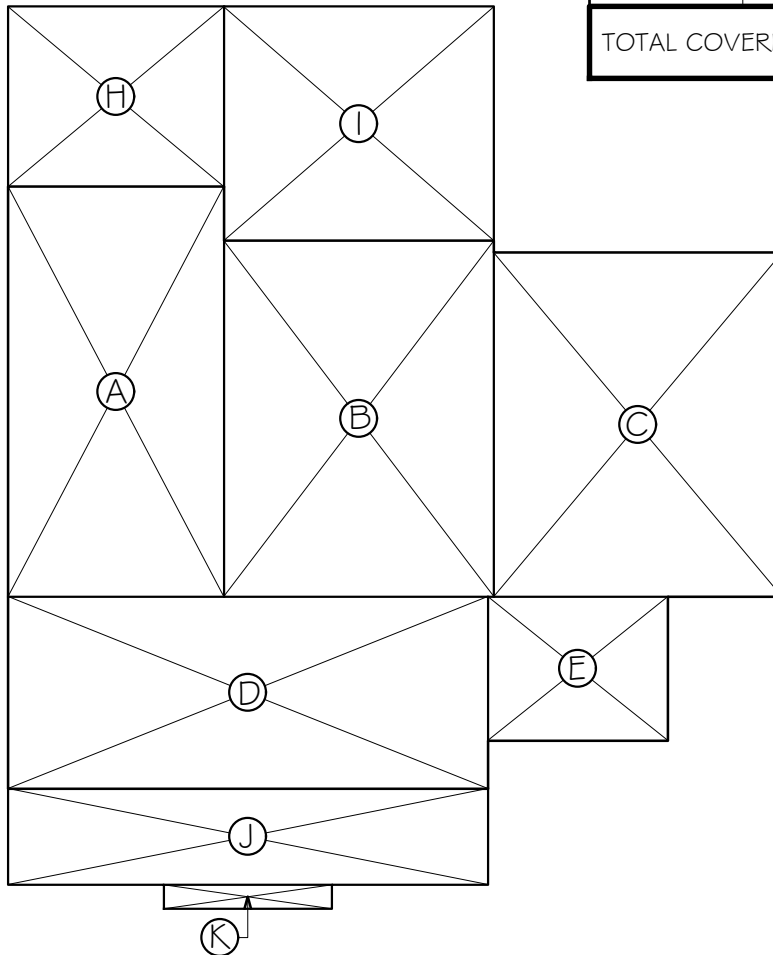
Robert Wang, P.E., P.L.S.



SECOND FLOOR 1/16" = 1'-0"

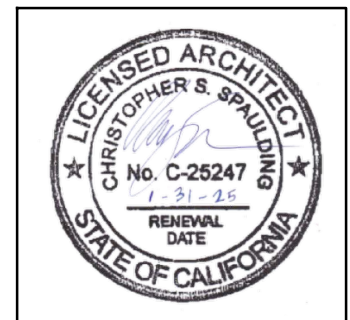
FLOOR AREA CALCULATIONS		
SECTION	DIMENSIONS	AREA
1ST FLR		
A	18'-0" x 34'-2"	615
B	22'-6" x 29'-8"	667.5
C	24'-0" x 28'-8"	688
D	40'-0" x 16'-0"	640
E	15'-0" x 12'-0"	180
2ND FLR		
F	24'-0" x 37'-0"	888
G	14'-0" x 22'-6"	315
TOTAL FLOOR AREA = 3,993.5 SQ.FT.		

COVERED PORCHES		
H	18'-0" x 15'-0"	270
I	22'-6" x 19'-6"	438.8
J	40'-0" x 8'-0"	320
K	14'-0" x 2'-0"	28
TOTAL COVERED PORCHES = 1,056.8 SQ.FT.		



FIRST FLOOR

1/16" = 1'-0"



FROM THE OFFICE OF  
CHRIS SPAULDING  
ARCHITECT  
801 CAMELIA STREET, SUITE E  
BERKELEY CA 94710

PROPOSED FLOOR AREA DIAGRAM  
1620 CRESTVIEW DR  
LOS ALTOS □ CALIFORNIA