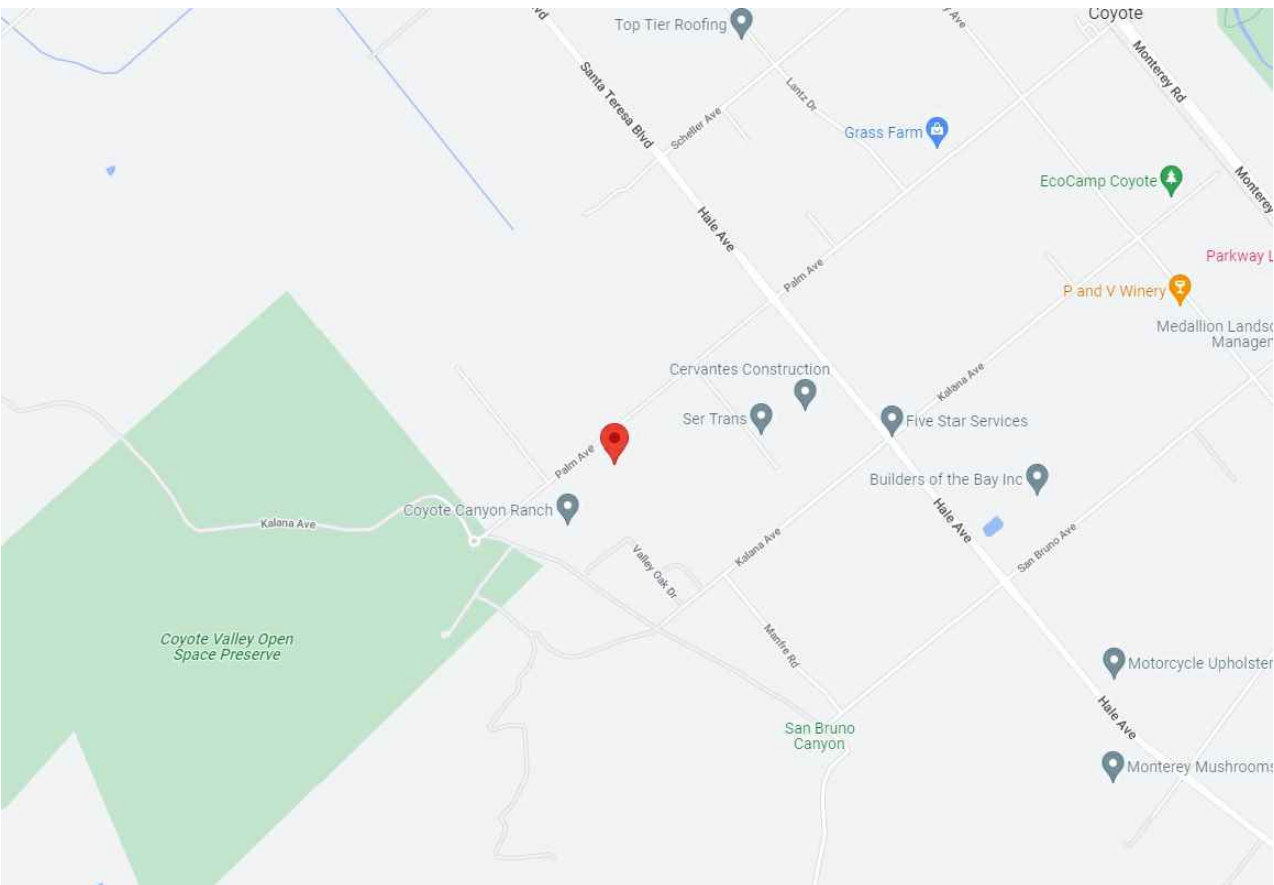


ONE STORY HOUSE

PALM AVE. MORGAN HILL, CA 95037

VICINITY MAP



7280 Blue Hill Dr., Suite 5
San Jose, CA 95129
Tel: (408) 559-8037
www.memarie.com

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Client:

Mr. & Mrs. Nassar

317 Woodward Dr.
Milpitas, CA 95035

Project:

One Story House

Palm Ave.
Morgan Hill, CA 95037

☒ PLANNING DEPARTMENT ☐ PRELIMINARY ☒ PLANNING APPROVAL ☐ BUILDING DEPARTMENT ☐ PLAN CHECK SUBMITTAL (NOT FOR CONSTRUCTION) ☐ APPROVED FOR CONSTRUCTION

SHEET INDEX

CONSULTANTS

PROJECT DATA

A-0 COVER SHEET
A-1 SITE PLAN
A-2 AREA CALCULATION
A-3 NEW FLOOR PLAN
A-4 EXTERIOR ELEVATIONS
A-5 EXTERIOR ELEVATIONS
A-6 ROOF PLAN
A-7 BUILDING SECTIONS
A-8 BUILDING SECTIONS

1 OF 1 EXISTING SITE TOPO
1 OF 1 SITE PLAN

1- CLIENT: Mr. & Mrs. NASSAR
317 WOODWARD DR
MILPITAS, CA 95035
TEL: (408) 832-3470
E-MAIL: anassar1@yahoo.com

2- DESIGN: MEMARIE ASSOC.
7280 BLUE HILL DR #5
SAN JOSE, CA 95129
TEL: (408) 559-8037
E-MAIL: reza@memarie.com

3- CIVIL: MH ENGINEERING CO.
16075 VINEYARD BLVD.
MORGAN HILL, CA 95038
TEL: (408) 719-1381
E-MAIL: gloriab@mhengineering.com

4- SOIL: SILICON VALLEY SOIL ENGINEERING
SEAN DEIVERT
1916 OTTOLE WAY
SAN JOSE, CA 95131
TEL: (408) 324-1400
E-MAIL: sdeivert@siliconvalleysoil.com

APPLICABLE CODES:
CALIFORNIA BUILDING CODE: 2019 EDITION
CALIFORNIA RESIDENTIAL CODE: 2019 EDITION
CALIFORNIA ELECTRICAL CODE: 2019 EDITION
CALIFORNIA MECHANICAL CODE: 2019 EDITION
CALIFORNIA PLUMBING CODE: 2019 EDITION
CALIFORNIA FIRE CODE: 2019 EDITION
CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS: 2019 EDITION
CALIFORNIA GREEN BUILDING STANDARDS CODE: 2019 EDITION
ANY OTHER APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS.

APN: 712-22-036 & 712-22-037
ZONING: A-20Ac-cv
LOT SIZE: GROSS AREA 10,004 AC / NET AREA 9,570 AC.
TYPE OF OCCUPANCY: A/R
TYPE OF CONSTRUCTION: V-B
MAXIMUM HEIGHT: 35'

PROJECT ADDRESS: PALM AVE.
MORGAN HILL, CA 95037

SCOPE OF WORKS:
- BUILD 3,342 SQ. FT. ONE STORY HOUSE WITH 969 SQ. FT. ATTACHED GARAGE, 118 SQ. FT. FRONT COVERED PORCH, 673 SQ. FT. REAR COVERED PATIO, & 380 SQ. FT. SIDE COVERED PATIO.

PROPOSED MAIN HOUSE: DESIGNED
LIVING AREA: 3,342 SQ. FT.
GARAGE: 969 SQ. FT.
TOTAL: 4,311 SQ. FT.
FRONT COVERED PORCH: 118 SQ. FT.
REAR COVERED PATIO: 673 SQ. FT.
SIDE COVERED PATIO: 380 SQ. FT.
TOTAL: 5,482 SQ. FT.

SETBACK	REQUIRED	HOUSE
FRONT:	30'-0"	100'
REAR:	30'-0"	660'-11"
RIGHT:	30'-0"	310'-7"
LEFT:	30'-0"	91'-9"

Client Revisions

No.	Description	Date
1	Design #1, #2, & #3	02/28/22
2	Design #4, #5, & #6	03/04/22
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6	Design #10	03/30/22
7	Design #11	05/02/22
8	Civil	08/17/22
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City Revisions

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Signature:

Date: 02/17/22

Scale: N.T.S.

Drawn By: IL

Checked By: RN

Sheet Title:

Cover Sheet

Sheet No.:

A-0

File: M3Nassar

Job: Nassar

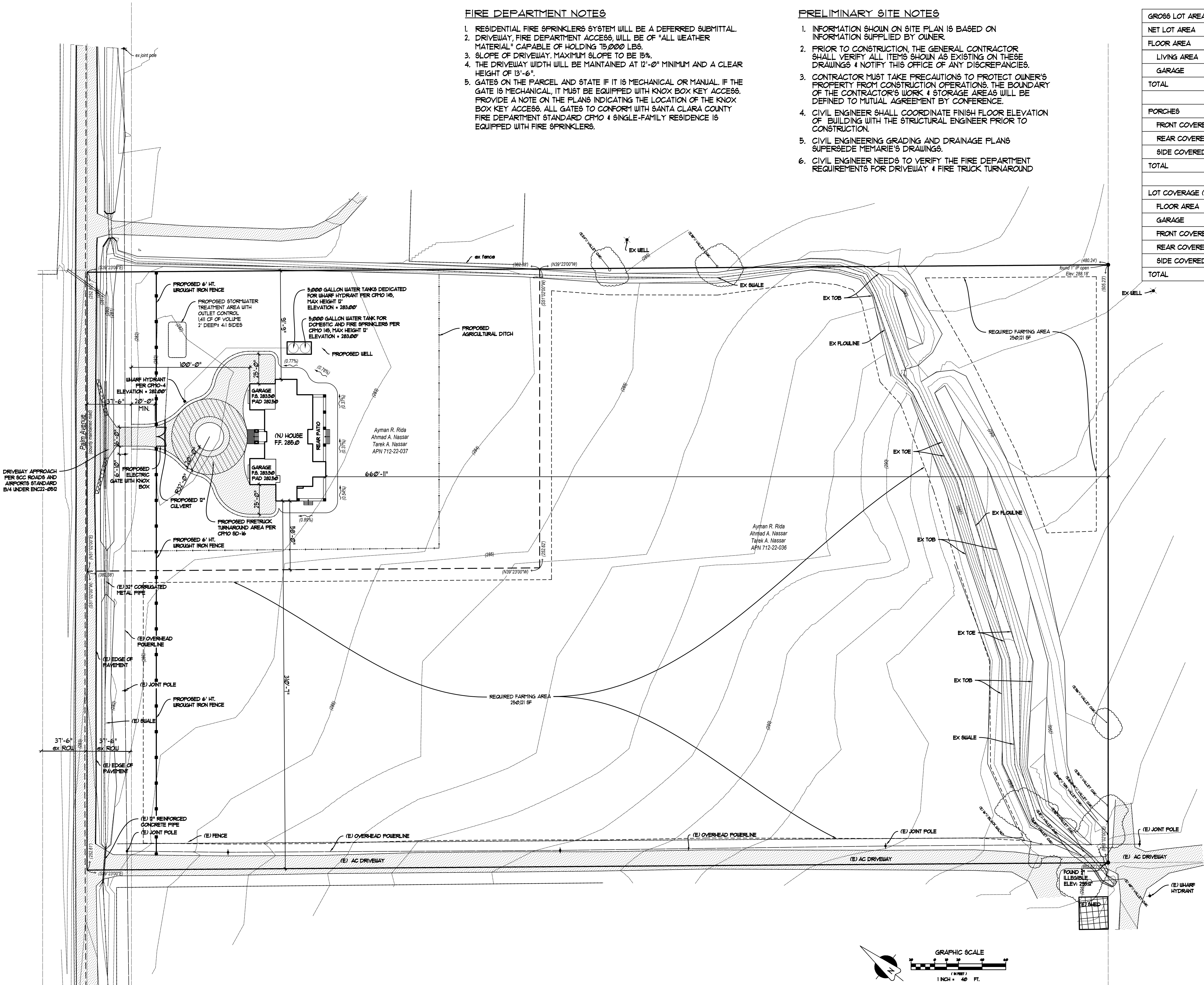
FIRE DEPARTMENT NOTES

1. RESIDENTIAL FIRE SPRINKLERS SYSTEM WILL BE A DEFERRED SUBMITTAL.
2. DRIVEWAY, FIRE DEPARTMENT ACCESS, WILL BE OF "ALL WEATHER MATERIAL" CAPABLE OF HOLDING 15,000 LBS.
3. SLOPE OF DRIVEWAY, MAXIMUM SLOPE TO BE 15%.
4. THE DRIVEWAY WIDTH WILL BE MAINTAINED AT 12'-0" MINIMUM AND A CLEAR HEIGHT OF 13'-6".
5. GATES ON THE PARCEL AND STATE IF IT IS MECHANICAL OR MANIAL. IF THE GATE IS MECHANICAL, IT MUST BE EQUIPPED WITH KNOX BOX KEY ACCESS. PROVIDE A NOTE ON THE PLANS INDICATING THE LOCATION OF THE KNOX BOX KEY ACCESS. ALL GATES TO CONFORM WITH SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD CPMO 4 SINGLE-FAMILY RESIDENCE IS EQUIPPED WITH FIRE SPRINKLERS.

PRELIMINARY SITE NOTES

1. INFORMATION SHOWN ON SITE PLAN IS BASED ON INFORMATION SUPPLIED BY OWNER.
2. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY ALL ITEMS SHOWN AS EXISTING ON THESE DRAWINGS & NOTIFY THIS OFFICE OF ANY DISCREPANCIES.
3. CONTRACTOR MUST TAKE PRECAUTIONS TO PROTECT OWNER'S PROPERTY FROM CONSTRUCTION OPERATIONS. THE BOUNDARY OF THE CONTRACTOR'S WORK & STORAGE AREAS WILL BE DEFINED TO MUTUAL AGREEMENT BY CONFERENCE.
4. CIVIL ENGINEER SHALL COORDINATE FINISH FLOOR ELEVATION OF BUILDING WITH THE STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
5. CIVIL ENGINEERING GRADING AND DRAINAGE PLANS SUPERSEDE MEMARIE'S DRAWINGS.
6. CIVIL ENGINEER NEEDS TO VERIFY THE FIRE DEPARTMENT REQUIREMENTS FOR DRIVEWAY & FIRE TRUCK TURNAROUND

GROSS LOT AREA	10,004 AC.
NET LOT AREA	9,510 AC.
FLOOR AREA	
LIVING AREA	3,342 SQ. FT.
GARAGE	969 SQ. FT.
TOTAL	4,311 SQ. FT.
PORCHES	
FRONT COVERED PORCH	118 SQ. FT.
REAR COVERED PATIO	673 SQ. FT.
SIDE COVERED PATIO	380 SQ. FT.
TOTAL	1,171 SQ. FT.
LOT COVERAGE (ADU IS EXEMPT)	
FLOOR AREA	3,342 SQ. FT.
GARAGE	969 SQ. FT.
FRONT COVERED PORCH	118 SQ. FT.
REAR COVERED PATIO	673 SQ. FT.
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TOTAL	5,482 SQ. FT.



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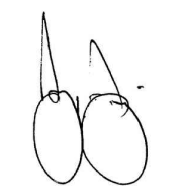
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City Revisions		
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Signature: 

Date: 02/17/22

Scale: 1" = 40'-0"

Drawn By: IL

Checked By: RN

Sheet Title:

Site Plan

Sheet No.: **A-1**

File: M:Nassar Job: Nassar

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City Revisions

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Signature:

Date:

02/17/22

Scale:

1/4" = 1'-0"

Drawn By:

IL

Checked By:

RN

Sheet Title:

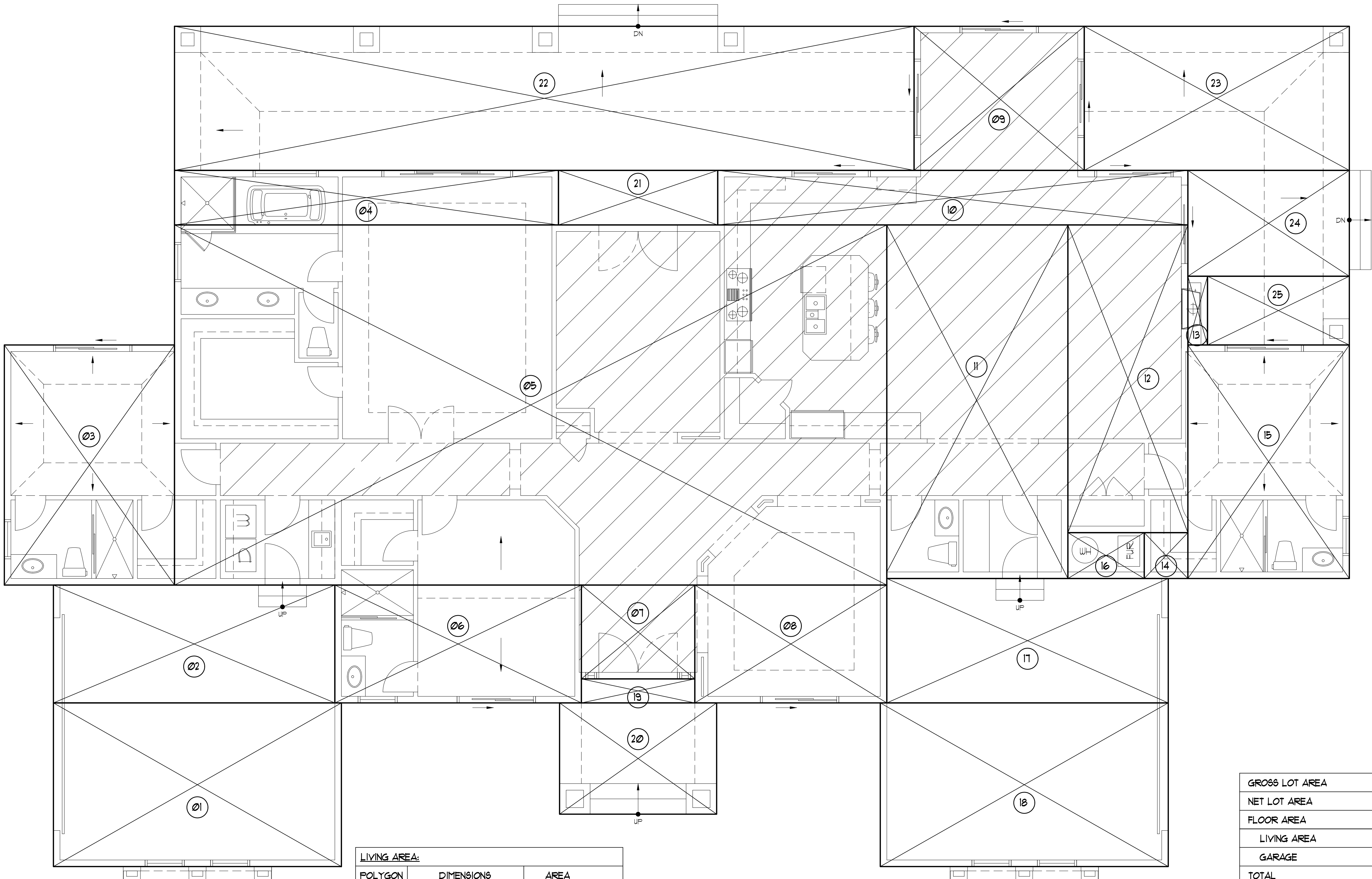
Area
Calculations

Sheet No.:

A-2

File: M3Nassar

Job:Nassar



GARAGE:		
POLYGON	DIMENSIONS	AREA
01	(22'-0") x (12'-6") =	275 SQ. FT.
02	(21'-6") x (9'-0") =	194 SQ. FT.
16	(5'-10") x (3'-6") =	21 SQ. FT.
17	(21'-6") x (9'-6") =	204 SQ. FT.
18	(22'-0") x (12'-6") =	275 SQ. FT.
TOTAL		969 SQ. FT.

LIVING AREA:		
POLYGON	DIMENSIONS	AREA
03	(13'-0") x (18'-4") =	238 SQ. FT.
04	(29'-4") x (4'-2") =	122 SQ. FT.
05	(54'-5") x (21'-6") =	1,496 SQ. FT.
06	(18'-10") x (9'-0") =	170 SQ. FT.
07	(8'-8") x (7'-2") =	62 SQ. FT.
08	(14'-8") x (9'-0") =	132 SQ. FT.
09	(13'-0") x (11'-0") =	143 SQ. FT.
10	(35'-11") x (4'-2") =	150 SQ. FT.
11	(13'-10") x (21'-0") =	374 SQ. FT.
12	(9'-2") x (23'-6") =	215 SQ. FT.
13	(1'-6") x (5'-3") =	8 SQ. FT.
14	(3'-4") x (3'-6") =	12 SQ. FT.
15	(12'-4") x (11'-10") =	220 SQ. FT.
TOTAL		3,342 SQ. FT.

FRONT COVERED PORCH:		
POLYGON	DIMENSIONS	AREA
19	(8'-8") x (1'-10") =	16 SQ. FT.
20	(12'-0") x (8'-6") =	102 SQ. FT.
TOTAL		118 SQ. FT.

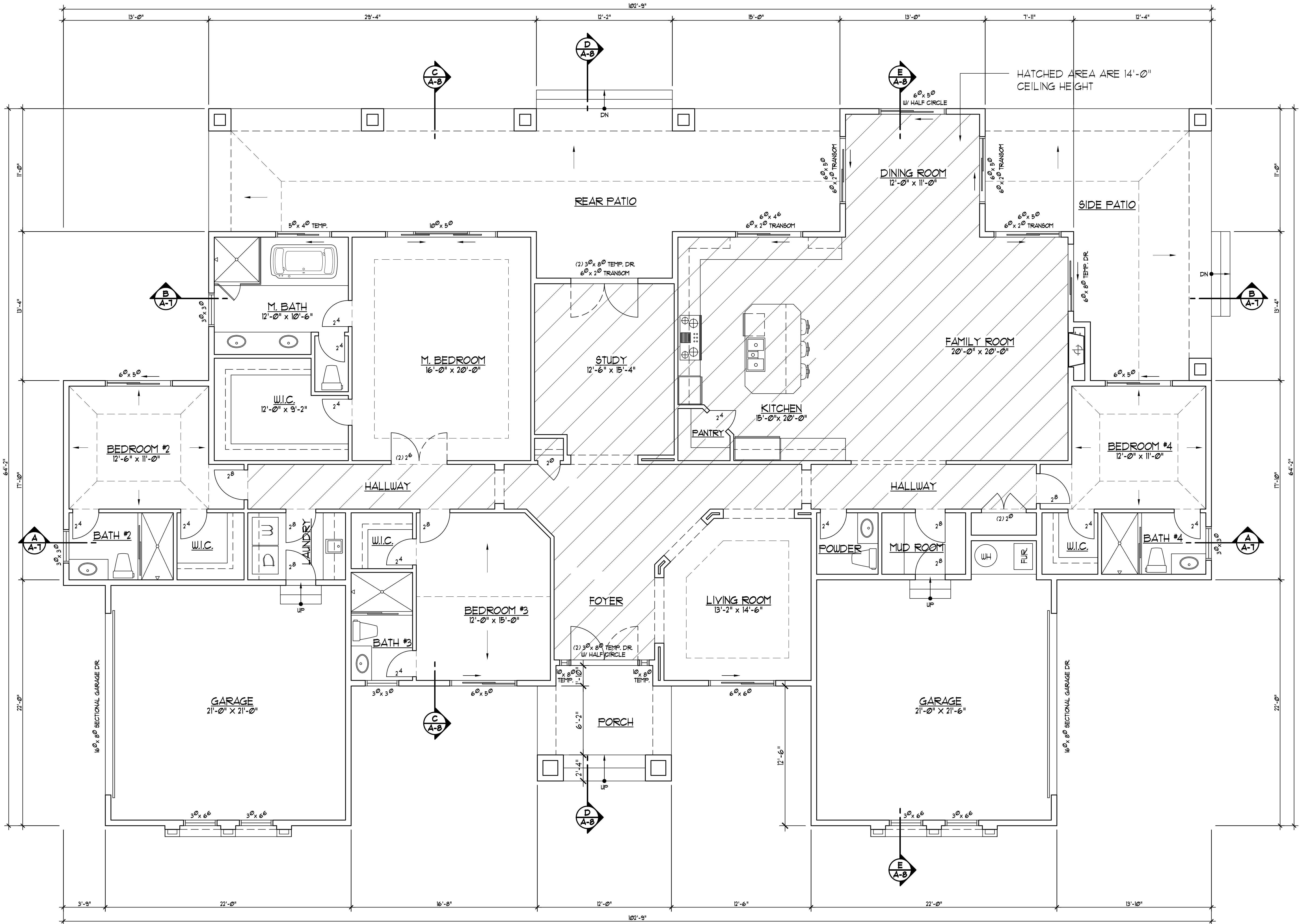
REAR COVERED PATIO:		
POLYGON	DIMENSIONS	AREA
21	(12'-2") x (4'-2") =	51 SQ. FT.
22	(56'-6") x (11'-0") =	622 SQ. FT.
TOTAL		673 SQ. FT.

SIDE COVERED PATIO:		
POLYGON	DIMENSIONS	AREA
23	(20'-3") x (11'-0") =	223 SQ. FT.
24	(12'-4") x (8'-1") =	100 SQ. FT.
25	(10'-10") x (5'-3") =	57 SQ. FT.
TOTAL		380 SQ. FT.

GROSS LOT AREA	10,004 AC.
NET LOT AREA	9,570 AC.
FLOOR AREA	
LIVING AREA	3,342 SQ. FT.
GARAGE	969 SQ. FT.
TOTAL	4,311 SQ. FT.

PORCHES	
FRONT COVERED PORCH	118 SQ. FT.
REAR COVERED PATIO	673 SQ. FT.
SIDE COVERED PATIO	380 SQ. FT.
TOTAL	1,171 SQ. FT.

LOT COVERAGE (ADU IS EXEMPT)	MAX. 7,500 SQ. FT.
FLOOR AREA	3,342 SQ. FT.
GARAGE	969 SQ. FT.
FRONT COVERED PORCH	118 SQ. FT.
REAR COVERED PATIO	673 SQ. FT.
SIDE COVERED PATIO	380 SQ. FT.
TOTAL	5,482 SQ. FT.





MEMARIE ASSOCIATES
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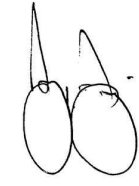
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City Revisions		
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Signature: 

Date: 02/17/22

Scale: 1/4" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:
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Floor Plan**

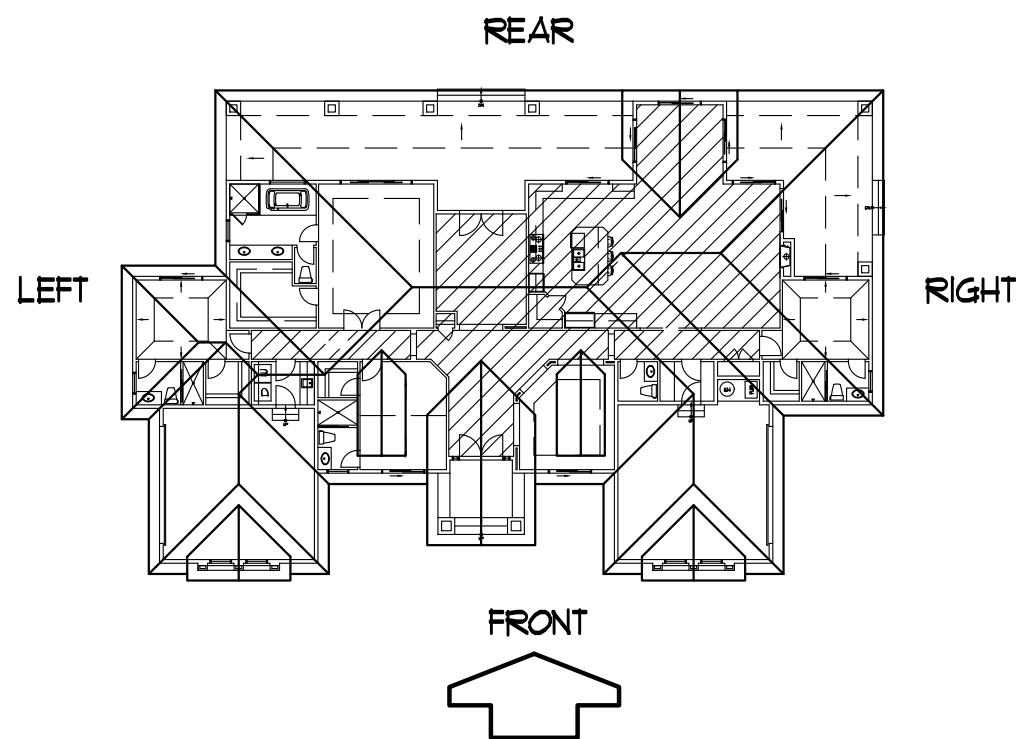
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A-3

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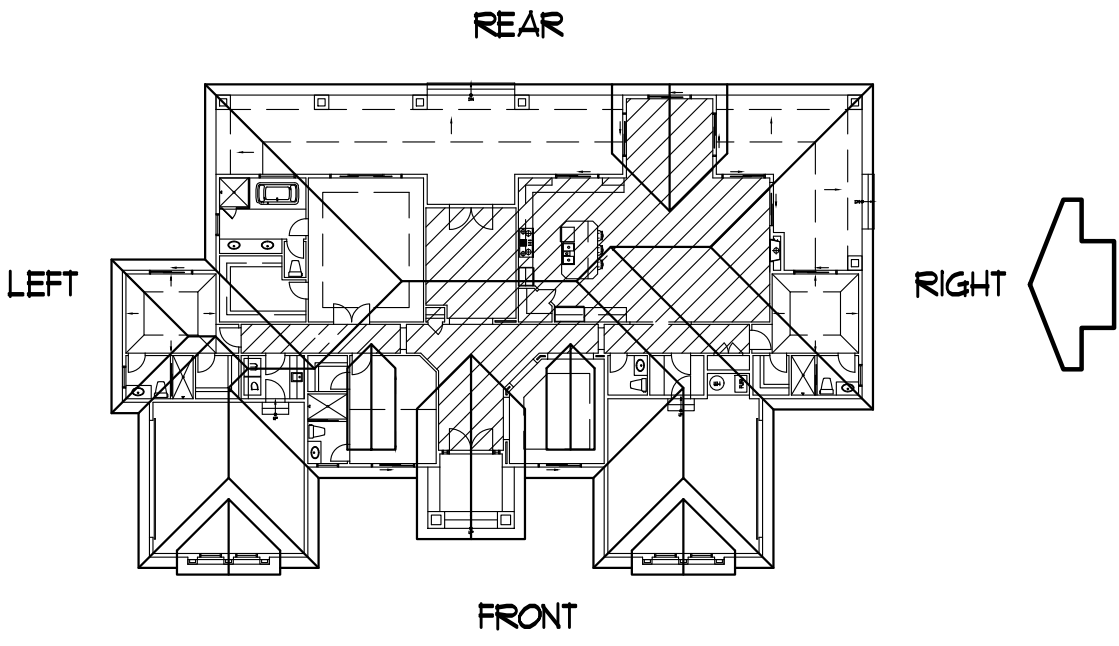
FRONT ELEVATION

- KEY NOTES:
- 01. 30 YEAR CLASS 'A' DIMENSIONAL COMPOSITION SHINGLE ROOF, SEE ROOF PLAN
 - 02. 3 COAT, 1/8" MIN. THICK STUCCO
 - 03. ENTRY DOOR
 - 04. VINYL WINDOW (TYP.)
 - 05. COLUMN (TYP.)
 - 06. FOAM MOLDING (TYP.)
 - 07. FOAM TRIM (TYP.)
 - 08. OVERHEAD GARAGE DOOR
 - 09. DECORATIVE VENT
 - 10. MAX. HT. OF RISER NOT TO EXCEED 1 3/4"
 - 11. WEEP SCREED 4" ABOVE GRADE OR 2" ABOVE CONCRETE
 - 12. 6"x4" VENT WITH ECT SCREEN SHALL BE LOCATED WITHIN 3'-0" OF CORNERS TO PROVIDE CROSS VENTILATION
 - 13. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING, & FINISH GRADES



REAR

FRONT



RIGHT SIDE ELEVATION

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City Revisions		
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Signature:

Date: 02/17/22

Scale: 1/4" = 1'-0"

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Checked By: RN

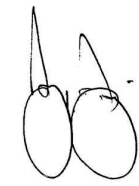
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Exterior Elevations

Sheet No.:
A-4

Client Revisions		
No.	Description	Date
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Signature: 

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Scale: 1/4" = 1'-0"

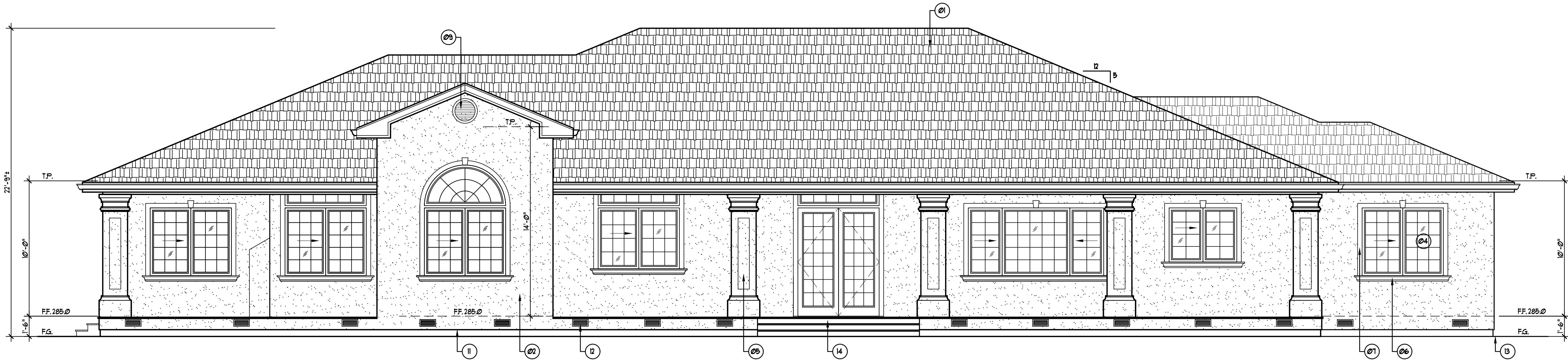
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Checked By: RN

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Exterior Elevations

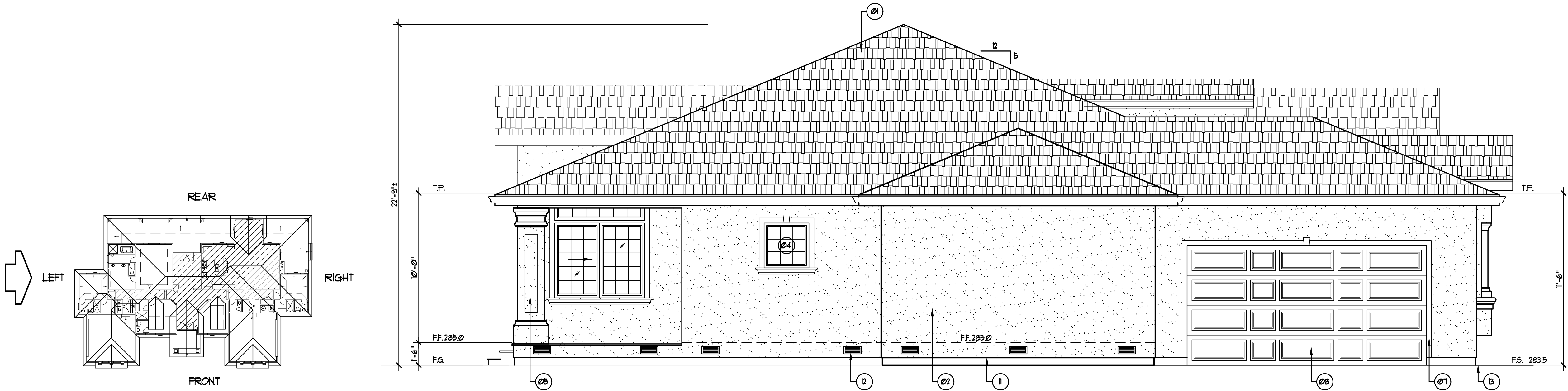
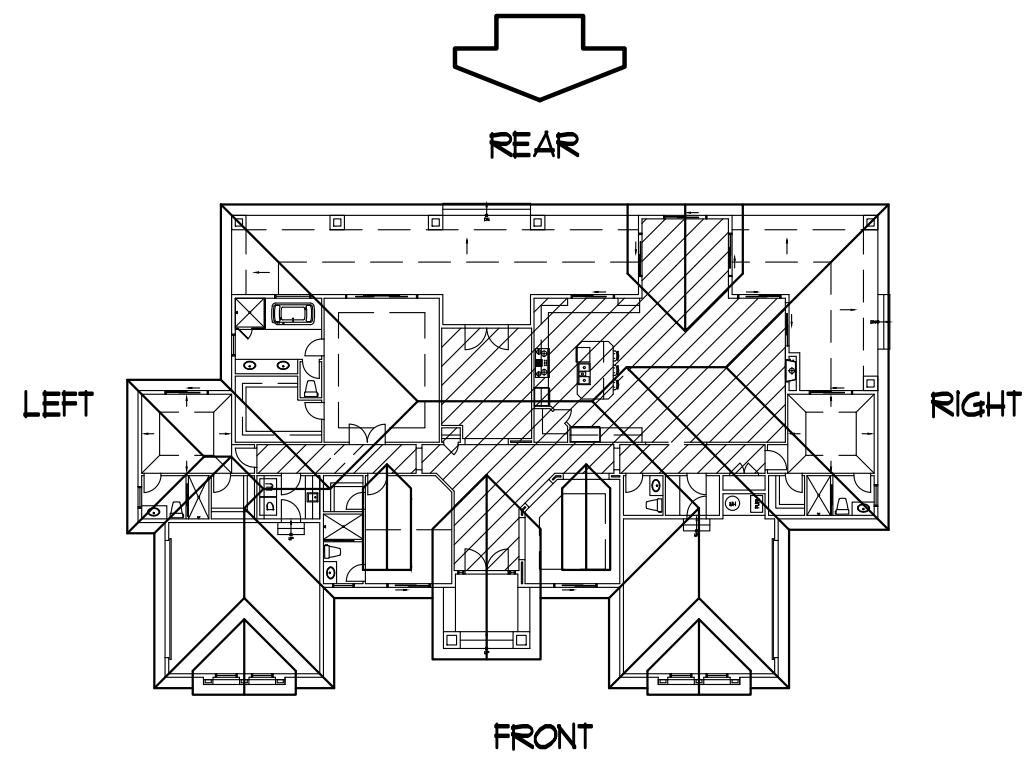
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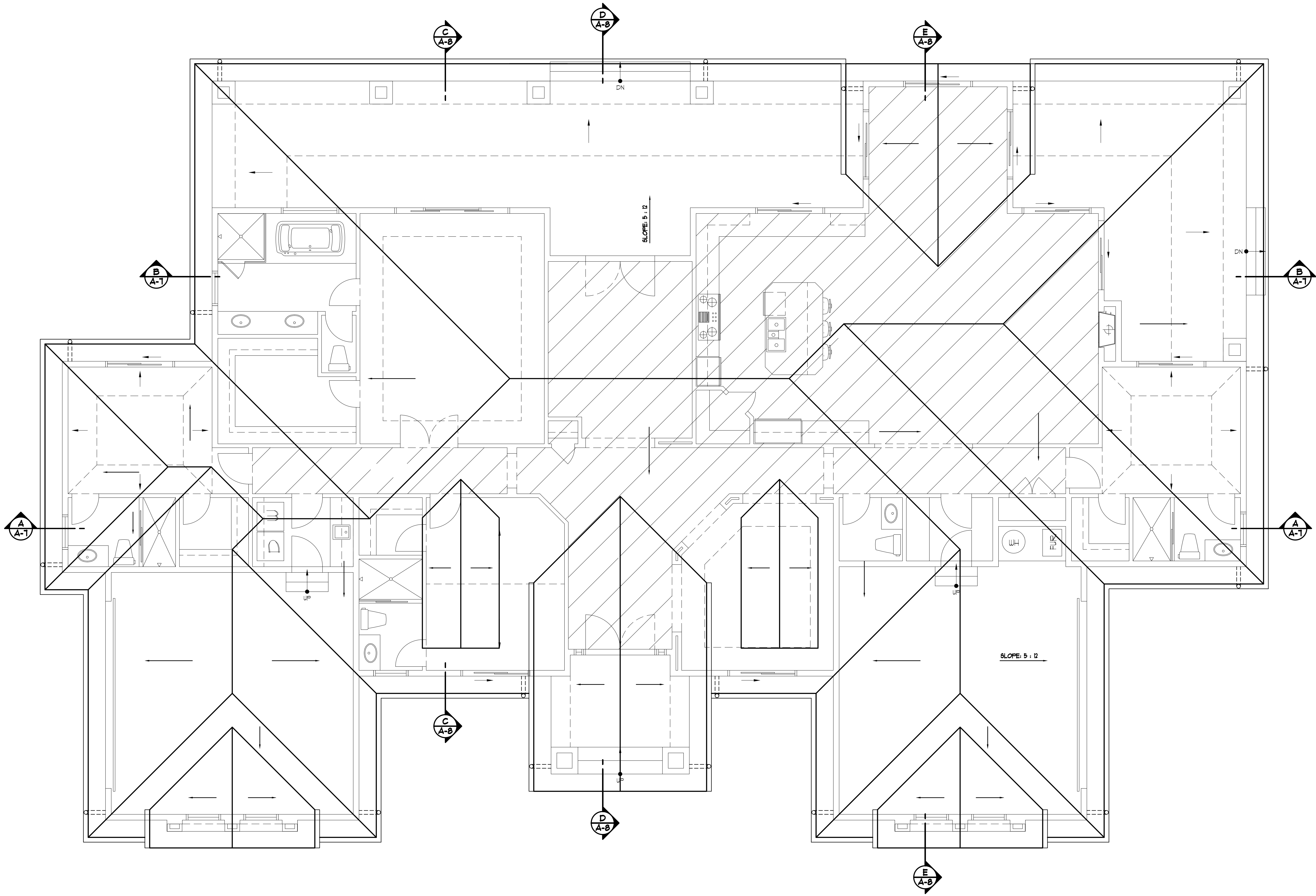


REAR ELEVATION

- KEY NOTES:**
- 30 YEAR CLASS 'A' DIMENSIONAL COMPOSITION SHINGLE ROOF, SEE ROOF PLAN
 - 3 COAT, 1/8" MIN THICK STUCCO
 - ENTRY DOOR
 - VINYL WINDOW (TYP.)
 - COLUMN (TYP.)
 - FOAM MOLDING (TYP.)
 - FOAM TRIM (TYP.)
 - OVERHEAD GARAGE DOOR
 - DECORATIVE VENT
 - MAX. HT. OF RISER NOT TO EXCEED 1 3/4"
 - KEEP SCREED 4" ABOVE GRADE OR 2" ABOVE CONCRETE
 - 6"x14" VENT W/INSECT SCREEN SHALL BE LOCATED WITHIN 3'-0" OF CORNERS TO PROVIDE CROSS VENTILATION
 - SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING, & FINISH GRADES



LEFT SIDE ELEVATION





MEMARIE ASSOCIATES

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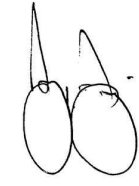
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Signature:



Date:

02/17/22

Scale:

1/4" = 1'-0"

Drawn By:

IL

Checked By:

RN

Sheet Title:

Roof Plan

Sheet No.:

A-6

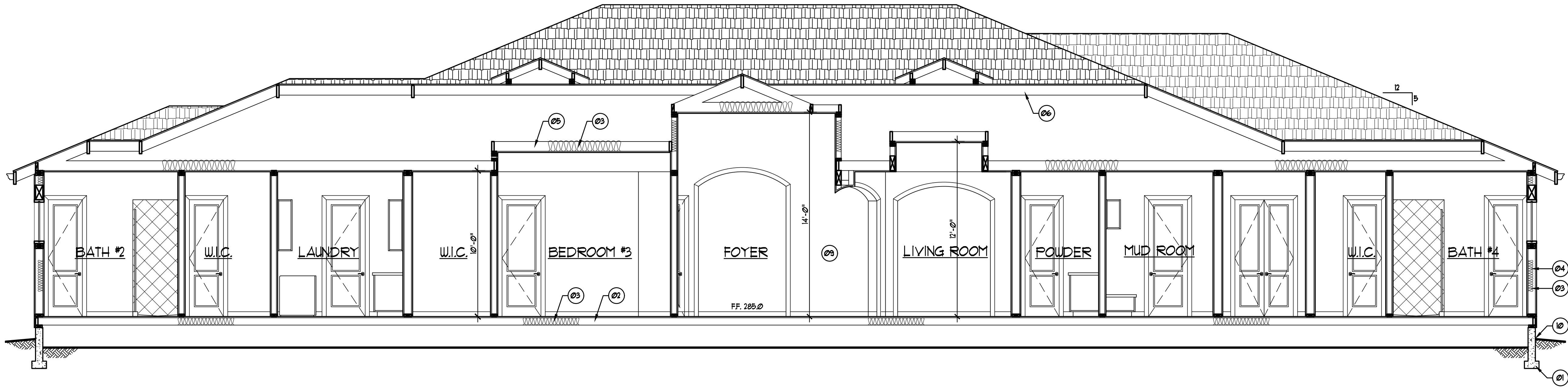
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Job:Nassar

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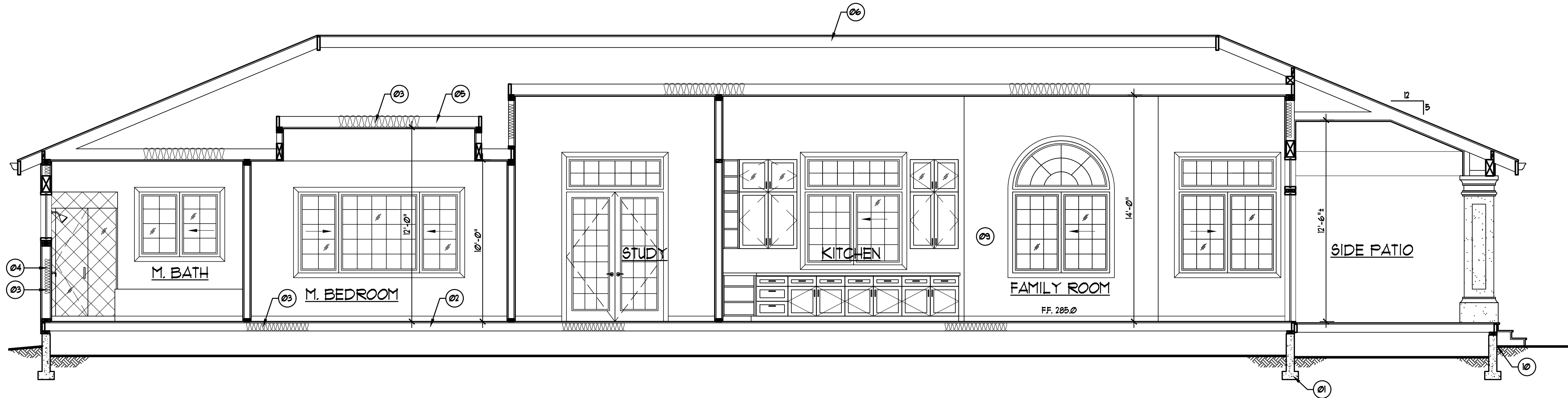
Client:
Mr. & Mrs. Nassar
317 Woodward Dr.
Milpitas, CA 95035

Project:
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Morgan Hill, CA 95037



SECTION A-A

- KEY NOTES:**
- NOTE: REFER TO STRUCTURAL PLANS FOR ALL STRUCTURAL MEMBER SIZES, LOCATION & ETC.
VERIFY ALL EXISTING GRADES (IMPORT & EXPORT OF DIRT) AROUND THE HOUSE AT THE JOB SITE.
- 01. CONCRETE FOOTING
 - 02. FLOOR FRAMING
 - 03. INSULATION, SEE TITLE 24 REPORT
 - 04. WALL FRAMING
 - 05. CEILING JOISTS
 - 06. ROOF FRAMING
 - 07. STUCCO FINISH
 - 08. HEADER FOR DOORS, WINDOWS, AND OPENINGS
 - 09. ALL FINAL INTERIOR FINISHES TO BE VERIFIED & SELECTED BY INTERIOR DESIGNER
 - 10. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING & FINISH GRADES



SECTION B-B

Client Revisions		
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Date: 02/17/22

Scale: 1/4" = 1'-0"

Drawn By: IL

Checked By: RN

Sheet Title:
Building Sections

Sheet No.:
A-7

File: M3Nassar Job: Nassar

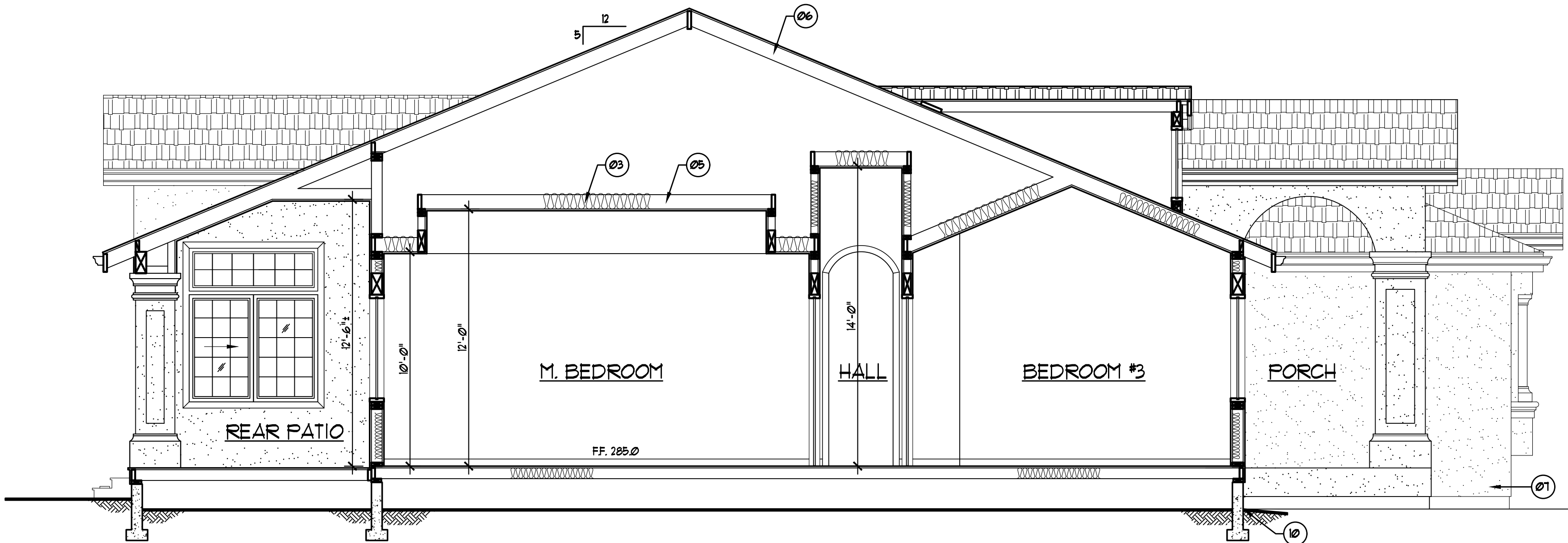
The use of these plans and specifications shall be restricted to the specific site for which they were prepared and publication thereof shall be expressly limited to such use. Reuse, reproduction or publication by any method, in whole or in part, is prohibited. Title to the plans and specifications remains with Memarie Associates Designer without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of the restrictions.

Client:

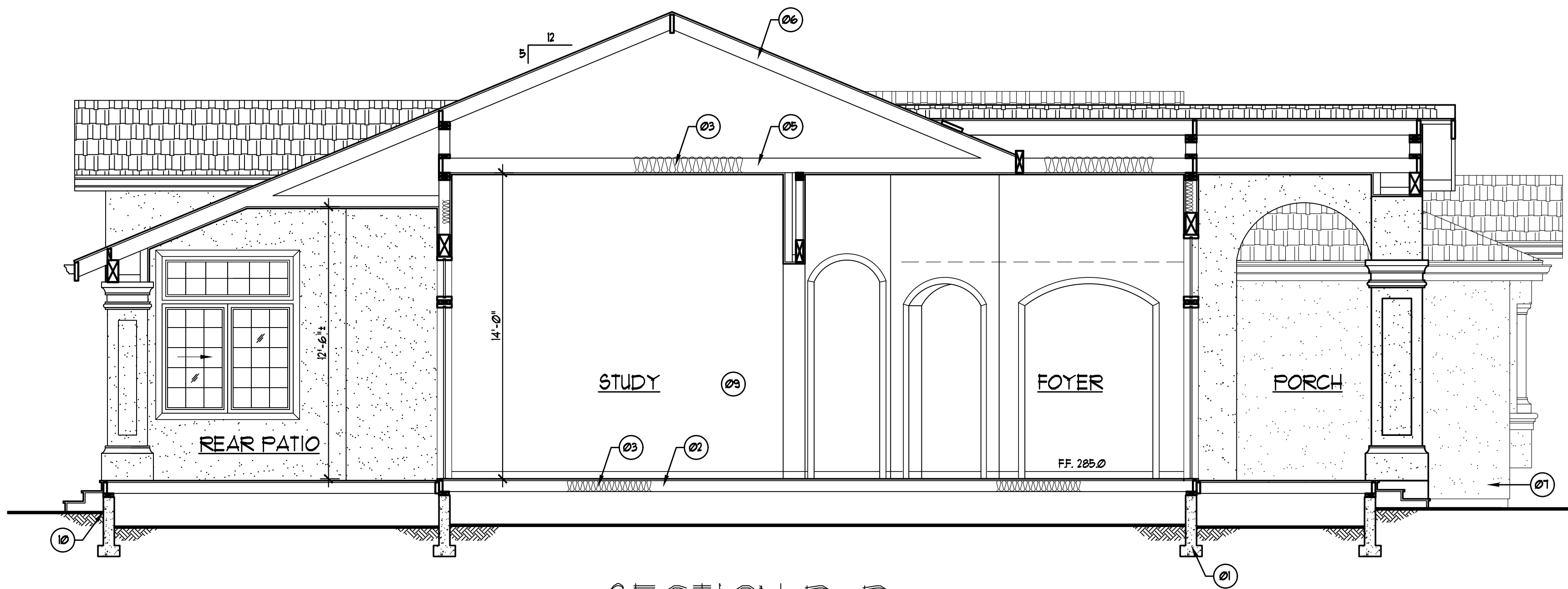
Mr. & Mrs. Nassar
317 Woodward Dr.
Milpitas, CA 95035

Project:

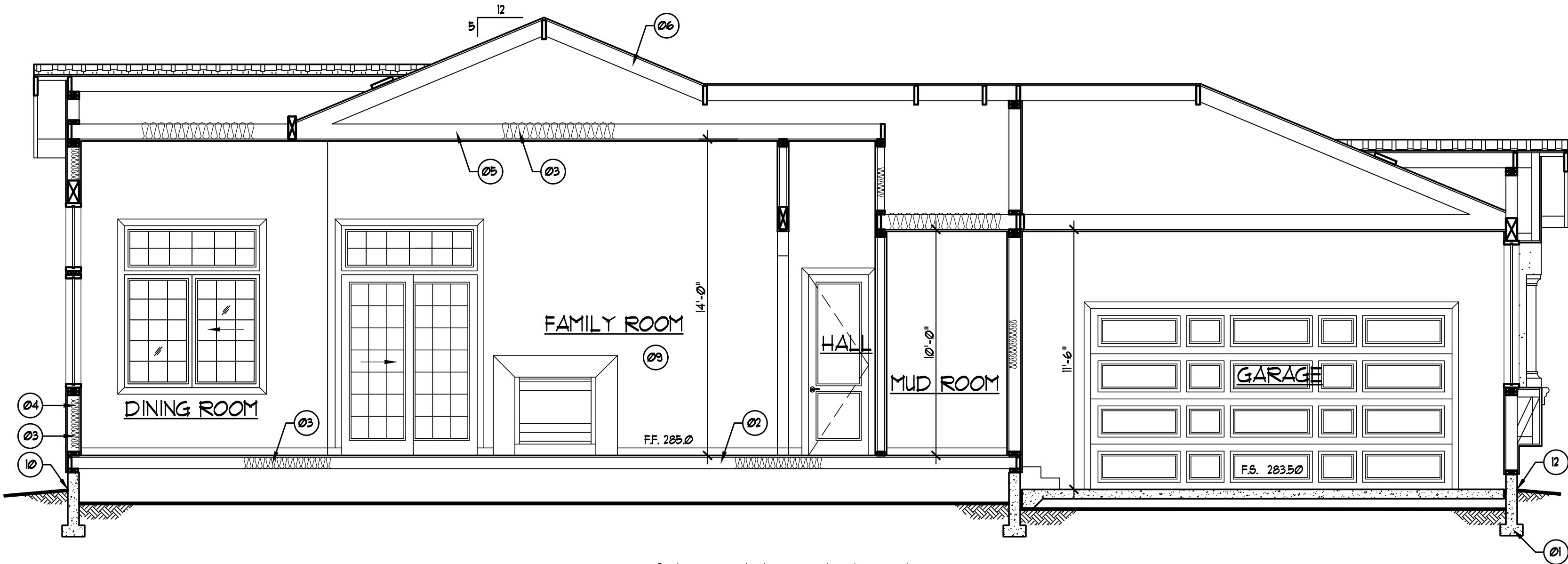
One Story House
Palm Ave.
Morgan Hill, CA 95037



SECTION C-C



SECTION D-D



SECTION E-E

KEY NOTES:

NOTE: REFER TO STRUCTURAL PLANS FOR ALL STRUCTURAL MEMBER SIZES, LOCATION & ETC. VERIFY ALL EXISTING GRADES (IMPORT & EXPORT OF DIRT) AROUND THE HOUSE AT THE JOB SITE.

- 01. CONCRETE FOOTING
- 02. FLOOR FRAMING
- 03. INSULATION, SEE TITLE 24 REPORT
- 04. WALL FRAMING
- 05. CEILING JOISTS
- 06. ROOF FRAMING
- 07. STUCCO FINISH
- 08. HEADER FOR DOORS, WINDOWS, AND OPENINGS
- 09. ALL FINAL INTERIOR FINISHES TO BE VERIFIED & SELECTED BY INTERIOR DESIGNER
- 10. SEE CIVIL DRAWINGS FOR ALL FINISH FLOORS, EXISTING & FINISH GRADES

Client Revisions

No.	Description	Date
1	Design #1, #2, & #3	02/28/22
2	Design #4, #5, & #6	03/04/22
3	Design #7	03/10/22
4	Design #8	03/11/22
5	Design #9	03/16/22
6	Design #10	03/30/22
7	Design #11	05/02/22
8	Civil	08/17/22
9		
10		
11		
12		

City Revisions

No.	Description	Date
1		
2		
3		
4		
5		
6		
7		
8		

Signature:

Date:

02/17/22

Scale:

1/4" = 1'-0"

Drawn By:

IL

Checked By:

RN

Sheet Title:

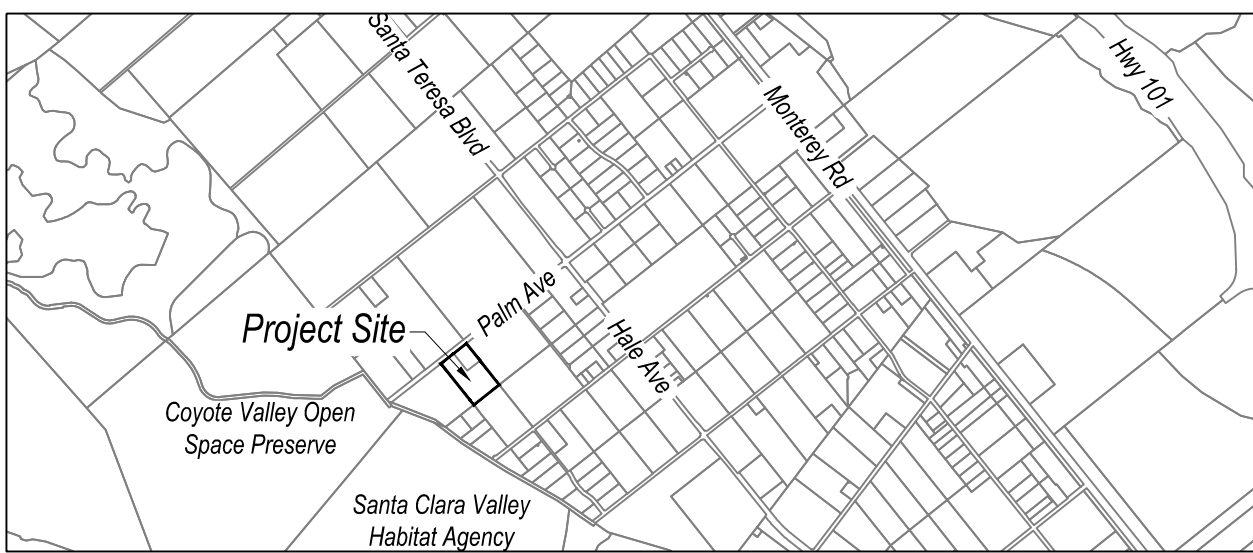
*Building
Sections*

Sheet No.:

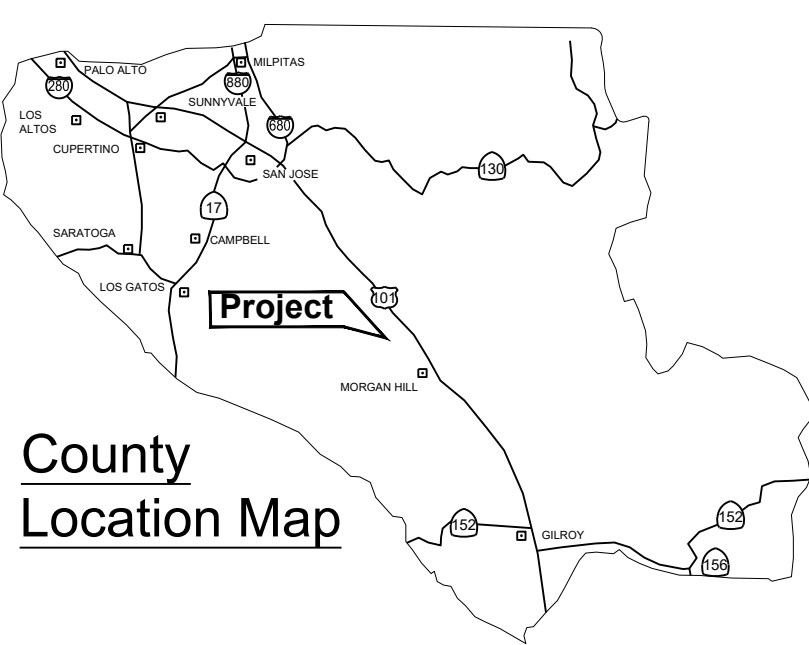
A-8

File: M3Nassar

Job: Nassar



Vicinity Map



County Location Map

Applicant/Owner:

Ali Nassar
317 Woodward Dr
Milpitas, CA 95035
Email: anassari@yahoo.com
Phone: 408-832-3470

Engineer:

David L. Faria, RCE 92432
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
davidl@mhengineering.com

Project Information:

APN: 712-22-036
Present Use: Agriculture Medium Scale
Present Zoning: A-20Ac
Existing Improvements: As Shown
Water: existing well
Sanitary Sewer: N/A
Gas & Electric: PGE
Fire Responsibility Area: LRA
Wildland Urban Interface: IN
HCP Area: IN
Liquefaction: State Seismic Hazard
Hazard Zone: 7.787 ac
Gross Area: 7.570 ac
Net Area:

Boundary Note:

Property lines shown on this plan are based on Subdivision Map titled "Murphy Colombet Subdivision No.3" thereof recorded in Book N of Maps Page 69, Santa Clara County Records.

Flood Zone:

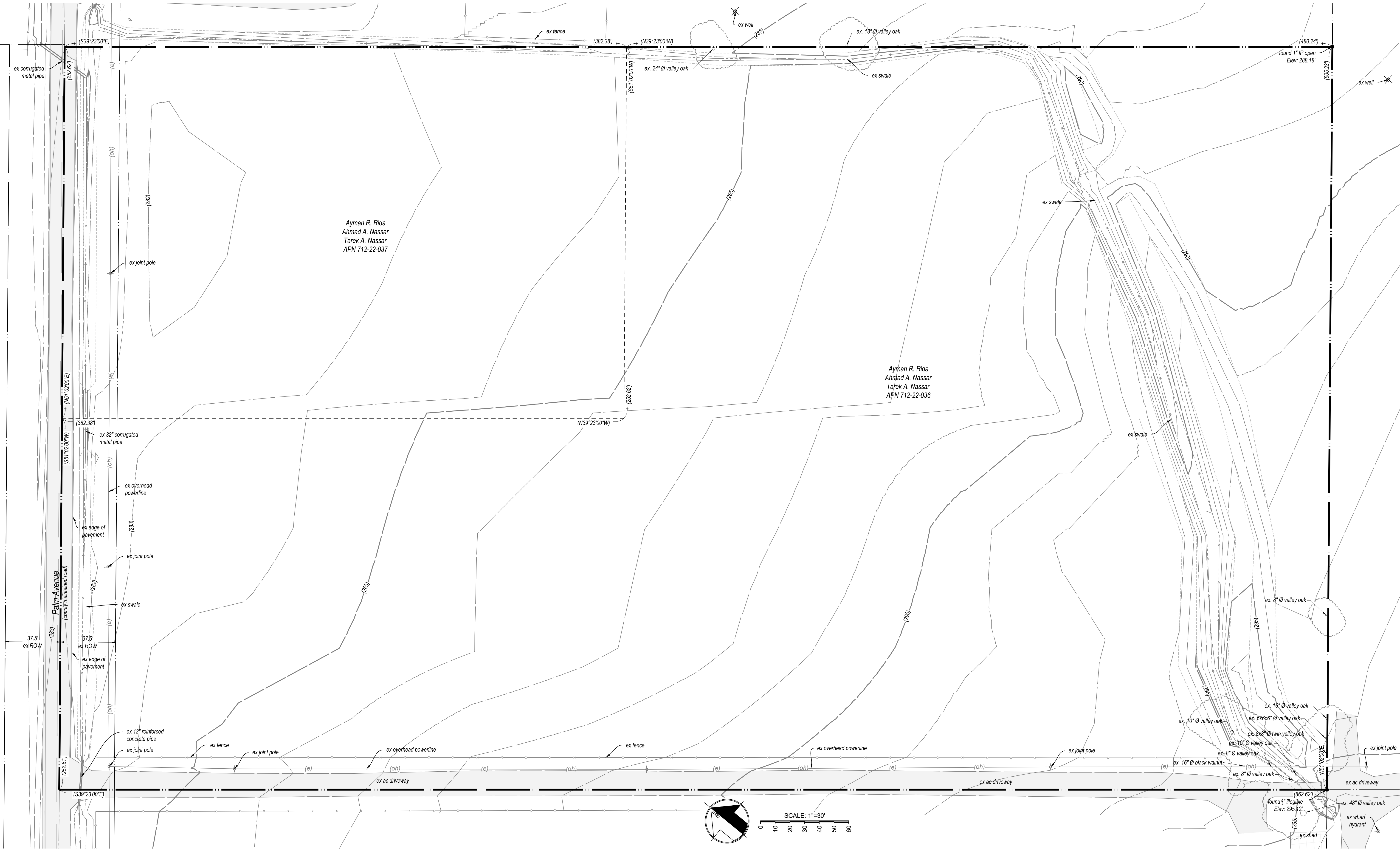
The property lies wholly in Zone D, areas of undetermined flood hazard, per FEMA Firm Panel 06085C0436H, effective May 18, 2009.

Basis of Bearings:

The bearings shown on this map are based on the centerline of Palm Avenue as found monumented and recorded as South 51°12' West, on that Subdivision Map titled "Murphy Colombet Subdivision No.3" thereof recorded in Book N of Maps Page 69, Santa Clara County Records.

Benchmark:

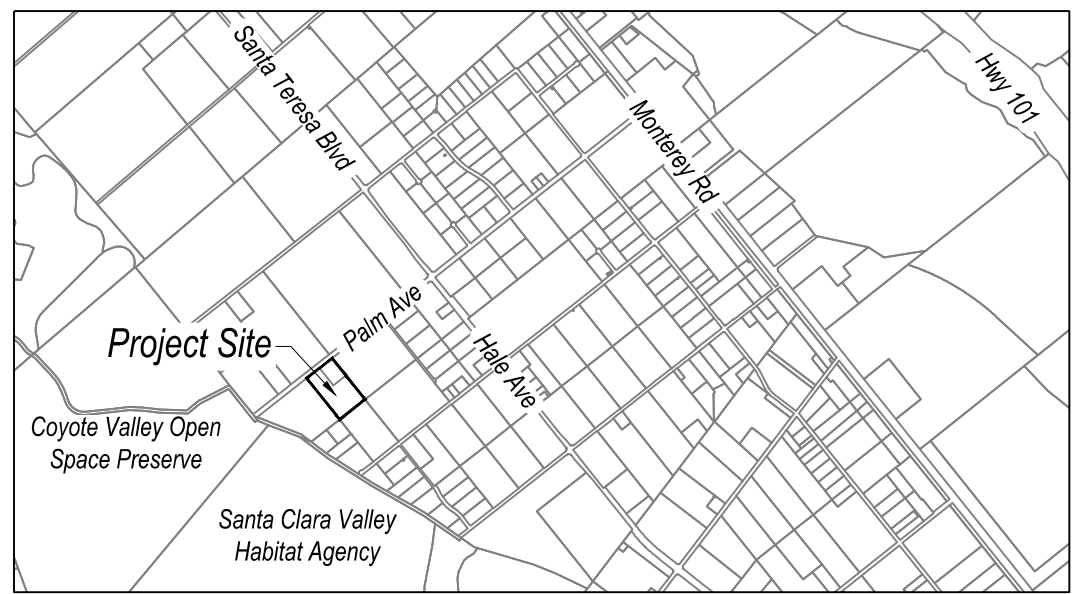
Elevations shown on this plan are based on 1" IP open located at the easternmost corner of the property.
ELEVATION = 288.18' (NAVD88)



MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Existing Site Topo
Nassar - Palm Ave - APN 712-22-036

DATE: 8-31-22
SCALE: 1"=30'
DRAWN BY: DY
CHECKED BY: DF
JOB NO: 221195
SHEET: 1
OF: 1



Vicinity Map

County Location Map

Applicant/Owner:

Ali Nassar
317 Woodward Dr
Milpitas, CA 95035
Email: anassarali@yahoo.com
Phone: 408-832-3470

Engineer:

David L. Faria, RCE 92432
MH Engineering
16075 Vineyard Blvd.
Morgan Hill, CA 95037
408.779.7381
davidl@mhengineering.com

Project Information:

APN
Present Use:
Present Zoning:
Existing Improvements:
Water:
Sanitary Sewer:
Gas & Electric:
Fire Responsibility Area:
Wildland Urban Interface:
HCP Area:
Hazard Zone:
Gross Area:
Net Area:

712-22-037
Agriculture
A-20Ac-cv
As Shown
Proposed Well
Proposed OWTS
PGE
LRA
IN
Rural Development Not Covered
Liquefaction, State Seismic Hazard
10.004 ac
9.570 ac

Fire Notes:

- Property is in Wildland Urban Interface (WUI).
- Driveway width will be maintained at 12' minimum with a clear height of 13' 6".
- All proposed driveways to be made of an all weather surface capable of supporting 75,000 lbs.
- Fire sprinklers to be a deferred submittal.

Boundary Note:

Property lines shown on this plan are based on Subdivision Map titled "Murphy Colombet Subdivision No.3" thereof recorded in Book N of Maps Page 69, Santa Clara County Records.

Flood Zone:

The property lies wholly in Zone D, areas of undetermined flood hazard, per FEMA Firm Panel 06085C0436H, effective May 18, 2009.

Basis of Bearings:

The bearings shown on this map are based on the centerline of Palm Avenue as found monumented and recorded as South 51°2' West, on that Subdivision Map titled "Murphy Colombet Subdivision No.3" thereof recorded in Book N of Maps Page 69, Santa Clara County Records.

Benchmark:

Elevations shown on this plan are based on 1" IP open located at the easternmost corner of the property.
ELEVATION = 288.18'. (NAVD88)

Proposed Lot Coverage	
Proposed Residence	3,334 SF
Proposed Garage 1	469 SF
Proposed Garage 2	500 SF
Proposed Covered Patio	1,313 SF
Total Lot Coverage	5,616 SF

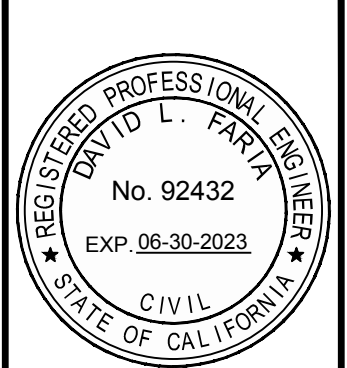
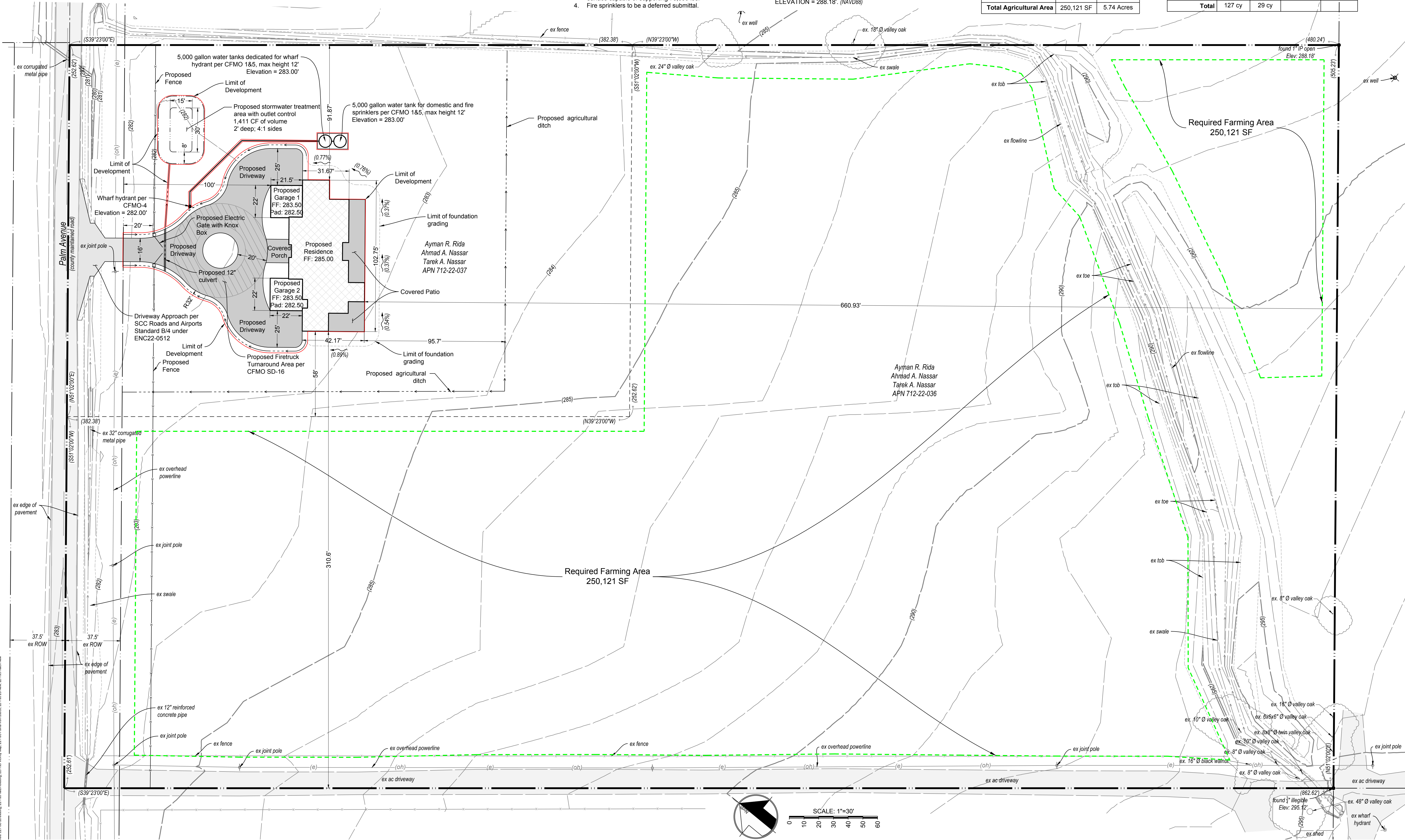
Proposed Floor Area	
Residence	3,334 SF
Garage 1	469 SF
Garage 2	500 SF
Porch	1,313 SF
Total Floor Area	5,616 SF

Impervious Area Summary	
Residence	3,334 SF
Garage 1	469 SF
Garage 2	500 SF
Driveway	6,609 SF
Porch	1,313 SF
Total New Impervious Area	12,225 SF

Proposed Development Area		
Proposed Residence, driveway, stormwater treatment area, water tanks, and septic	16,409 SF	0.38 Acres
Total Development Area	16,409 SF	0.38 Acres

Proposed Onsite Agriculture Area		
Onsite Agricultural Area	250,121 SF	5.74 Acres
Total Agricultural Area	250,121 SF	5.74 Acres

Earthwork Quantities				
	Cut	Fill	Max Cut	Max Fill
Garage 1	0 cy	6 cy	0.40 ft	0.40 ft
Garage 2	0 cy	3 cy	0.80 ft	0.30 ft
Driveway	75 cy	20 cy	1.40 ft	1.40 ft
Bioretention Basin	52 cy	0 cy	2.60 ft	0.00 ft
Total	127 cy	29 cy		



MH engineering Co.
16075 Vineyard Boulevard
Morgan Hill, CA 95037

Site Plan
Nassar - Palm Ave - APN 712-22-037

DATE: 8-2-22
SCALE: 1"=30'
DRAWN BY: DY
CHECKED BY: DF
JOB NO: 221195
SHEET 1
OF 1