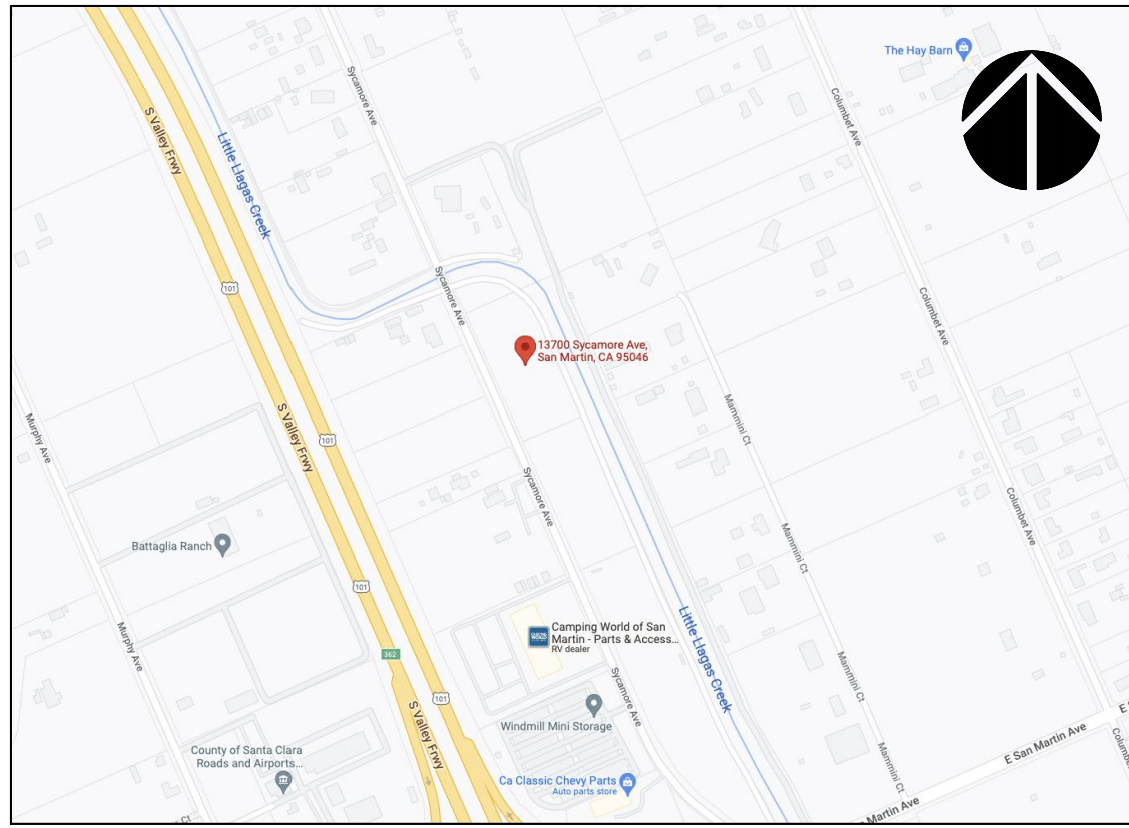




VICINITY MAP

PROJECT DATA

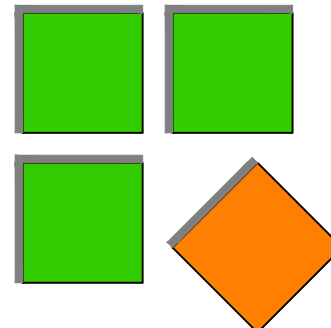
LOT SIZE (GROSS)	125,888 S.F. (2.0 ACRES)
ZONING DESIGNATION	RR-5Ac-sr (100%)
(N) 1 STORY MAIN RESIDENCE	2682 S.F.
(N) 1 STORY MAIN GARAGE	1000 S.F.
(N) 1 STORY MAIN COVERED PORCH	112.5 S.F.
(N) 1 STORY ADU	1200 S.F.
(N) 1 STORY ADU GARAGE	400 S.F.
(N) 1 STORY ADU COVERED PORCH	64 S.F.
(N) DRIVEWAY	8385 S.F.

PROJECT DESCRIPTION

APPLYING FOR BUILDING SITE APPROVAL TO PROPOSE A NEW SINGLE FAMILY RESIDENCE WITH A DETACHED ADU.

DRAWING INDEX

A-1	TITLE SHEET
C-1	SITE PLAN
C-2	STREET IMPROVEMENT PLAN
C-3	MAIN HOUSE GRADING PLAN
C-4	ADU GRADING PLAN
C-5	CROSS SECTIONS
C-6	UTILITY PLAN



Silicon Valley Custom Homes, LLC

682 Villa Street, Suite C1
Mountain View, CA 94041
www.svcustomhomes.com
(408) 204-0345



OWNER:
Tai & Phuong Nguyen
2312 Gianera ST
SANTA CLARA, CA 95054
(408) 569-4729

NGUYENI RESIDENCE & ADU
1 STORY
SINGLE FAMILY HOUSE
13700 SYCAMORE AVE
SAN MARTIN, CA 95046

REVISIONS:

SHEET TITLE:

TITLE SHEET

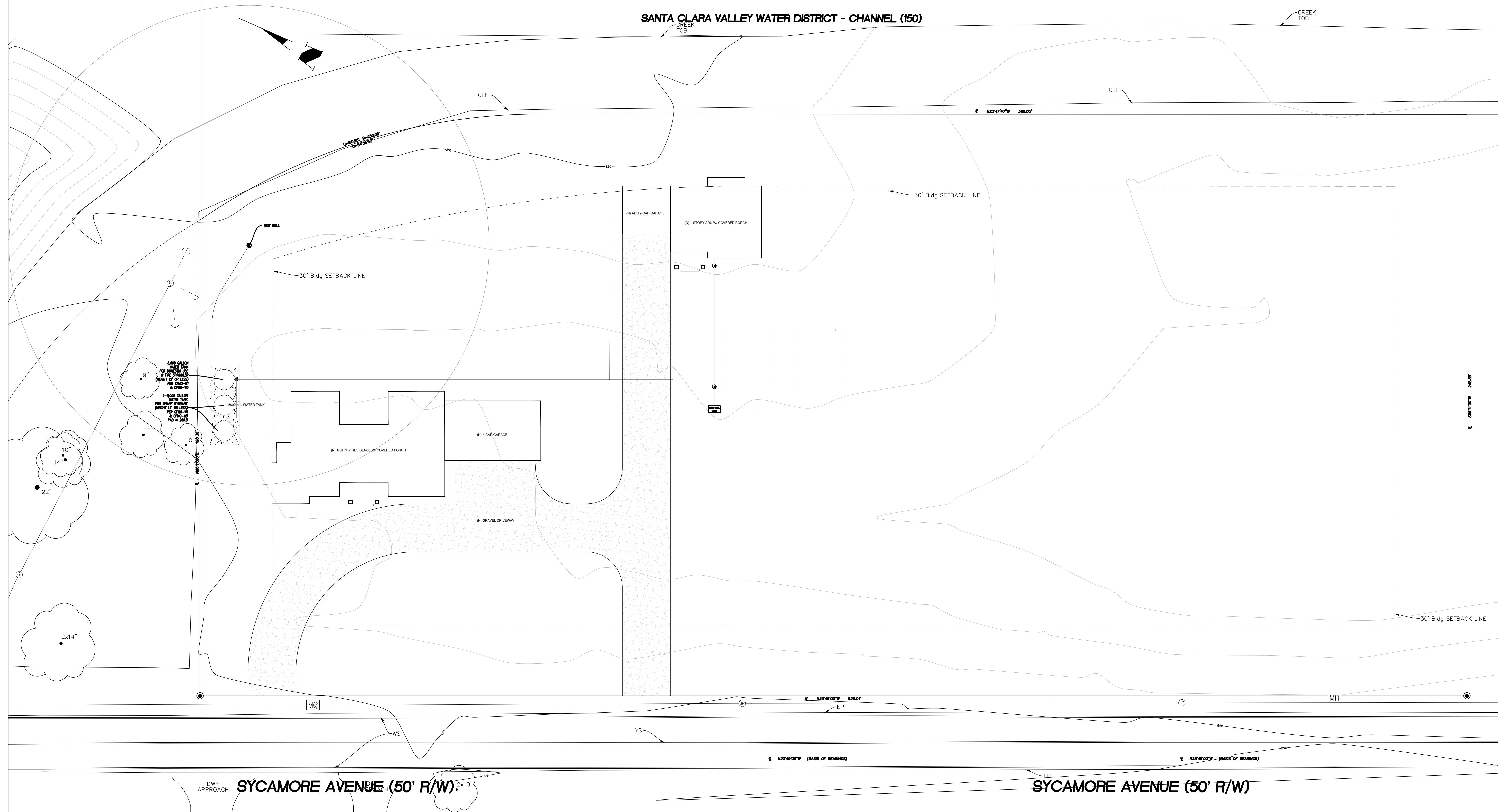
DATE: SEP, 2022 PROJECT NO.: 22-

SCALE: AS SHOWN DRAWN: HC

SHEET

A-1

OF SHEETS



SITE PLAN – RURAL ZONING DISTRICT FOR RESIDENTIAL DEVELOPMENT

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
AE	ANCHOR EASEMENT
BB	BUBBLER BOX
BLDG	BUILDING
BSL	BUILDING SETBACK LINE
BW	BOTTOM OF WALL/BASE OF WALL
CG	CURB & GUTTER
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CO	SANITARY SEWER CLEANOUT
COP	CURB OPENING
CONC	CONCRETE
CSD	COUNTY STANDARD DETAIL
DE	DRAINAGE EMITTER
DI	DRAINAGE INLET
DS	DOWNSPOUT
DWY	DRIVEWAY
EA	EASEMENT
ELEV	ELEVATION

EM	ELECTRIC METER
E(OH)	ELECTRIC OVERHEAD
E(UG)	ELECTRIC UNDERGROUND
EP	EDGE OF PAVEMENT
EX	EXISTING
FC	FACE OF CURB
FD	FOUND
FF	FINISH ELEVATION OF SUBFLOOR
FG	GROUND FINISH GRADE
FH	FIRE HYDRANT
FWL	FUTURE WIDTH LINE
FL	FLOW LINE
G	GARAGE SLAB ELEVATION/GAS LINE
GPE	GENERAL PUBLIC EASEMENT
GSB	GRADING SETBACK
QM	GAS METER
HP	HI POINT
INV	INVERT
LIP	LIP OF GUTTER
LS	LANDSCAPED AREA
MAX	MAXIMUM

MH	MANHOLE
MIN	MINIMUM
N&S	NAIL AND SILVER
NTS	NOT TO SCALE
OH	OVERHEAD
OG	ORIGINAL GROUND
PAD	PAVEMENT FINISH GRADE
PAD	PAD ELEVATION
P	PROPERTY LINE
PEE	PEDESTRIAN EQUESTRIAN
PERF	PERFORATED
PP	POWER POLE PROP EASE
PSE	PUBLIC SERVICE EASEMENT
PUE	PUBLIC UTILITY EASEMENT
PVC	PAVEMENT
PVC	POLYVINYL CHLORIDE
R	RADIUS
RW	RETAINING WALL
REM	REMOVE
R/W	RIGHT OF WAY
S.C.V.W.D	SANTA CLARA VALLEY

SD	WATER DISTRICT
SE	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SE	SLOPE EASEMENT
SS	SANITARY SEWER/LATERAL
SSE	SANITARY SEWER EASEMENT
STA	STATION
STD	STANDARD CITY DETAIL
SW	SIDEWALK
TB	TOP OF BANK
TC	TOP OF CURB
TEMP	TEMPORARY
TOC	TOP OF COVER
TOE	TOP OF BANK
TOG	TOP OF GRATE
TPF	TREE PROTECTION FENCE
TW	TOP OF WALL
TYP	TYPICAL
VG	VALLEY GUTTER
W	WATER
WCE	WIRE CLEARANCE EASEMENT
WALK	WALKWAY
WM	WATER METER
WWE	WIRE OVERHANG EASEMENT
WV	WATER VALVE

ABBREVIATIONS

	AREA DRAIN
	BENCHMARK
	BOUNDARY
	CATCH BASIN
	COBBLE ROCK ENERGY DISSIPATOR
	CONCRETE
	EXISTING CONTOUR AFTER GRADING
	ORIGINAL GROUND PRIOR TO GRADING
	DESIGN GRADE
	DOWNSPOUT WITH SPLASHBLOCK
	DRAINAGE EMITTER
	DIVERSION VALVE
	BACKWATER VALVE
	DRAINAGE SWALE
	EASEMENT LINE
	EXISTING ELEVATION
	EXISTING FENCE
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	FOUND IRON PIPE AT PROPERTY CORNER
	FIBER ROLLS
	GAS METER
	GAS VALVE
	GRADE TO DRAIN
	GUY POLE
	GUY WIRE ANCHOR
	HIGH POINT
	HYDRANT: EXISTING
	HYDRANT: PROPOSED
	INLET
	JOINT POLE
	LIGHTING
	LIGHTING POLE
	LOW POINT
	OVERLAND FLOW DIRECTION
	PGE BOX
	POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE
	PROJECT SITE
	RETAINING WALL
	RIGHT OF WAY
	SANITARY SEWER CLEAN OUT MANHOLE
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE
	SUMP PUMP
	TELEPHONE BOX
	TELEVISION BOX
	TEST PIT
	TOP OF FILL
	TOE OF FILL
	TOP OF CUT
	TOE OF CUT
	TREE NUMBER
	T-VAULT
	UTILITY: EXISTING
	UTILITY: PROPOSED OR NEW
	WATER METER
	WATER VALVE
	WELL

AVERAGE SLOPE CALCULATION

$$S = \frac{0.0023 \times (I) \times (L)}{A}$$

WHERE

S = AVERAGE SLOPE OF THE AREA IN PERCENT

I = CONTOUR INTERVAL IN FEET

L = TOTAL LENGTH OF CONTOUR LINES IN FEET

A = AREA EXPRESSED IN ACERS

$$S = \frac{0.0023 \times (1) \times (3,115.63)}{2.89}$$

S = 7.2%

LEGEND

PRE-DEVELOPMENT				
ITEM#	DESCRIPTION		IMPERVIOUS	PERVIOUS
A1	VACANT LOT			126,017 SF

POST-DEVELOPMENT			
ITEM#	DESCRIPTION	IMPERVIOUS	PERVIOUS
B1	MAIN HOUSE	2,682 SF	
B2	MAIN GARAGE	1,000 SF	
B3	MAIN PORCH	112.5 SF	
B4	ADU	1,200 SF	
B5	ADU GARAGE	400 SF	
B6	ADU PORCH	64 SF	
B7	GRAVEL DRIVEWAY	8,278 SF	
B8	AC DRIVEWAY	142 SF	
B9	AC DRIVEWAY	151 SF	
B10	TANK PAD	403 SF	
	LANDSCAPE		112,393 SF
	TOTAL	14,320 SF	112,393 SF

BASIS OF BEARINGS

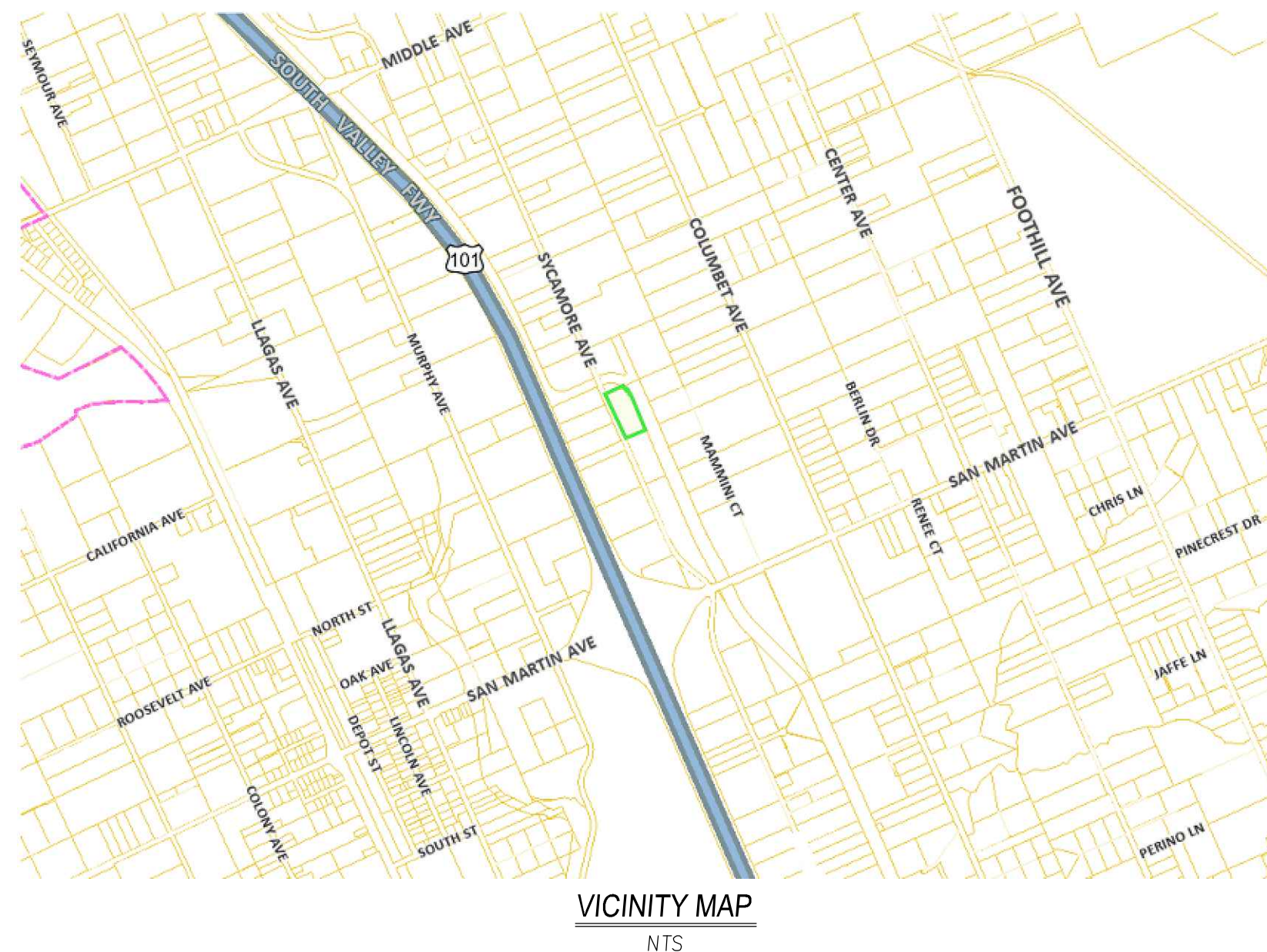
THE BEARINGS SHOWN ON THIS MAP ARE
BASED ON THE CENTERLINE OF SYCAMORE
AVENUE, AS SHOWN AS S23°49'00"E ON
RECORD OF SURVEY, RECORDED IN BOOK
806 OF MAPS, AT PAGE 39, SANTA
CLARA COUNTY RECORDS.

PROPERTY LOCATION INFORMATION

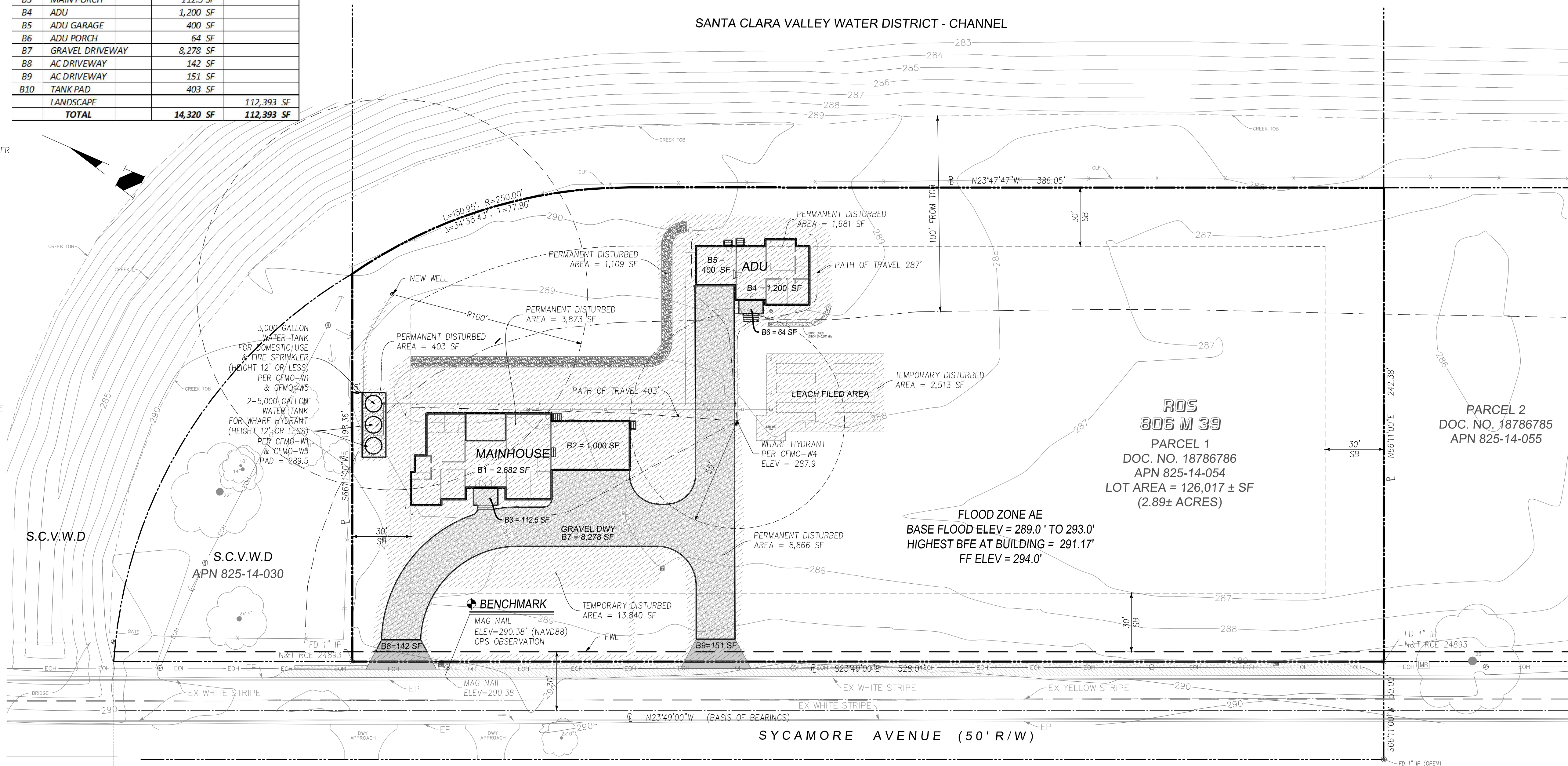
1. APN: 825-14-054 ASSESSOR'S MAP
2. SITE ADDRESS: 13700 SYCAMORE AV SAN MARTIN CA 95046
3. LOT SIZE AREA: 126,017 SQ. FT. / 2.9 ACRES MORE OR LESS
4. ZONING: RR-5AC-SR (100%)
5. FIRE RESPONSIBILITY AREA: LRA (100%)
6. FIRE PROTECTION DISTRICT: SOUTH SANTA CLARA COUNTY
FIRE PROTECTION DISTRICT
7. GEOHAZARD: COUNTY LIQUEFACTION HAZARD ZONE
8. HISTORIC PARCEL: NO
9. FEMA FLOOD ZONE: AE (99.3%), BFE 293'
10. CENTRAL COAST REGIONAL WATER QUALITY CONTROL BOARD
SPECIAL RIPARIAN SETBACK AREA
11. WATERSHED: CENTRAL COAST
12. RAIN ISOHYET: 19 INCHES

SHEET INDEX

SHEET C1: OVERALL SITE PLAN
SHEET C2: STREET IMPROVEMENT PLAN
SHEET C3: MAIN HOUSE GRADING & DRAINAGE PLAN
SHEET C4: ADU GRADING & DRAINAGE PLAN
SHEET C5: BUILDING CROSS SECTIONS
SHEET C6: UTILITY PLAN



SANTA CLARA VALLEY WATER DISTRICT - CHANNEL



EARTHWORK QUANTITY

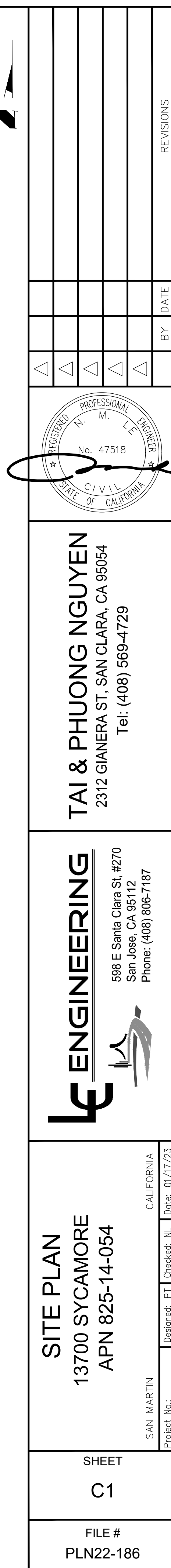
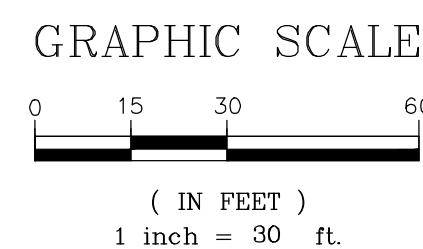
USE	CUT (CY)	FILL (CY)	IMPORT (CY)	EXPORT (CY)	MAX VERTICAL DEPTH
BUILDING PAD	—	83	83	0	2'
SITE GRADING & DWY	1	658	657	—	2'
RETENTION	37	—	—	—	2'
TANK PAD	10	—	—	10	1'
TOTAL	48	742			
TOTAL EARTHWORK		790			
EXPORT QUANTITY		0			
IMPORT QUANTITY		694			

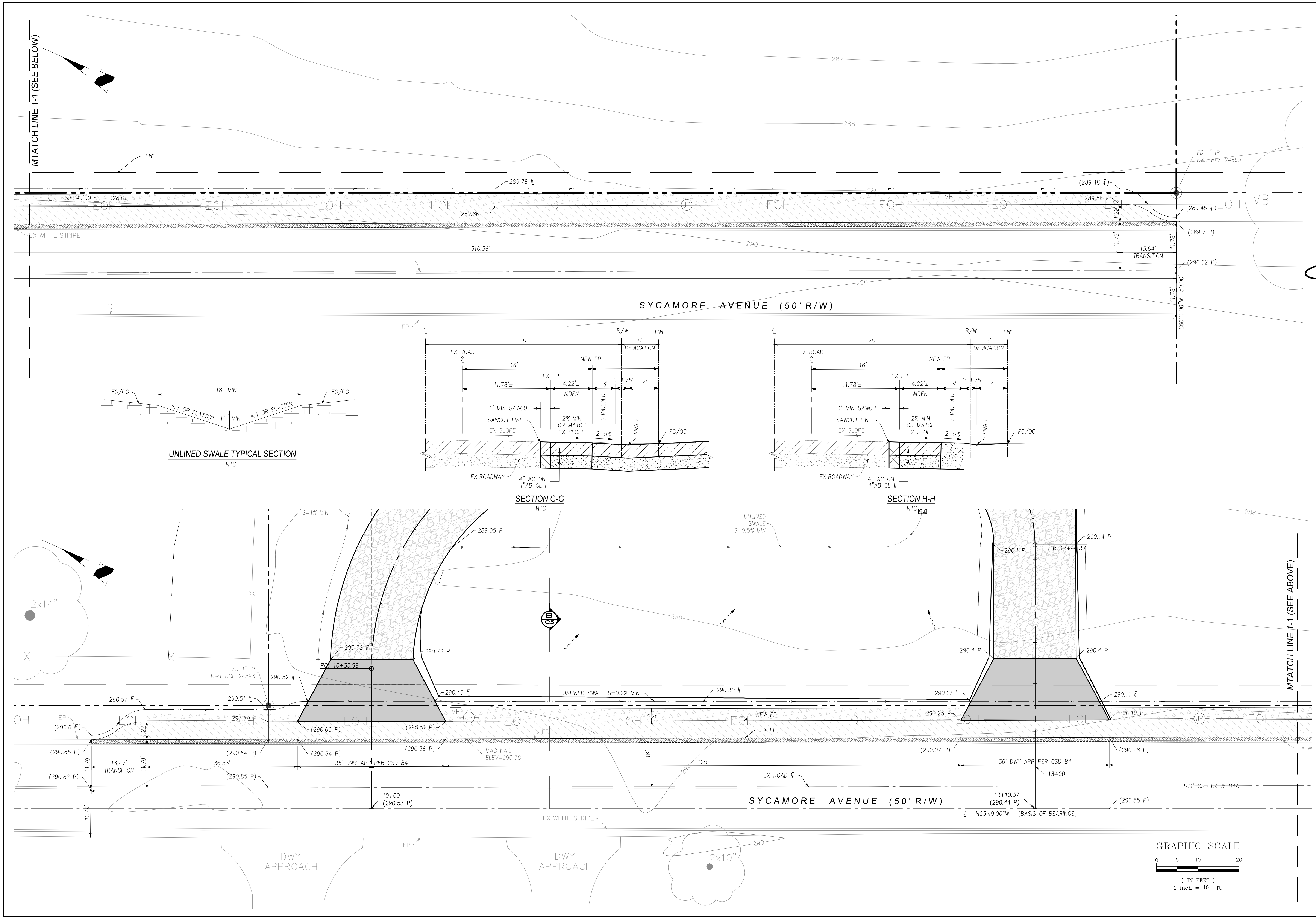
DISTURBED AREAS

NO.	DESCRIPTION	AREA (SQUARE FEET)
1.	TEMPORARY	 16,907
2.	PERMANENT	 15,740
	TOTAL AREA	32,647

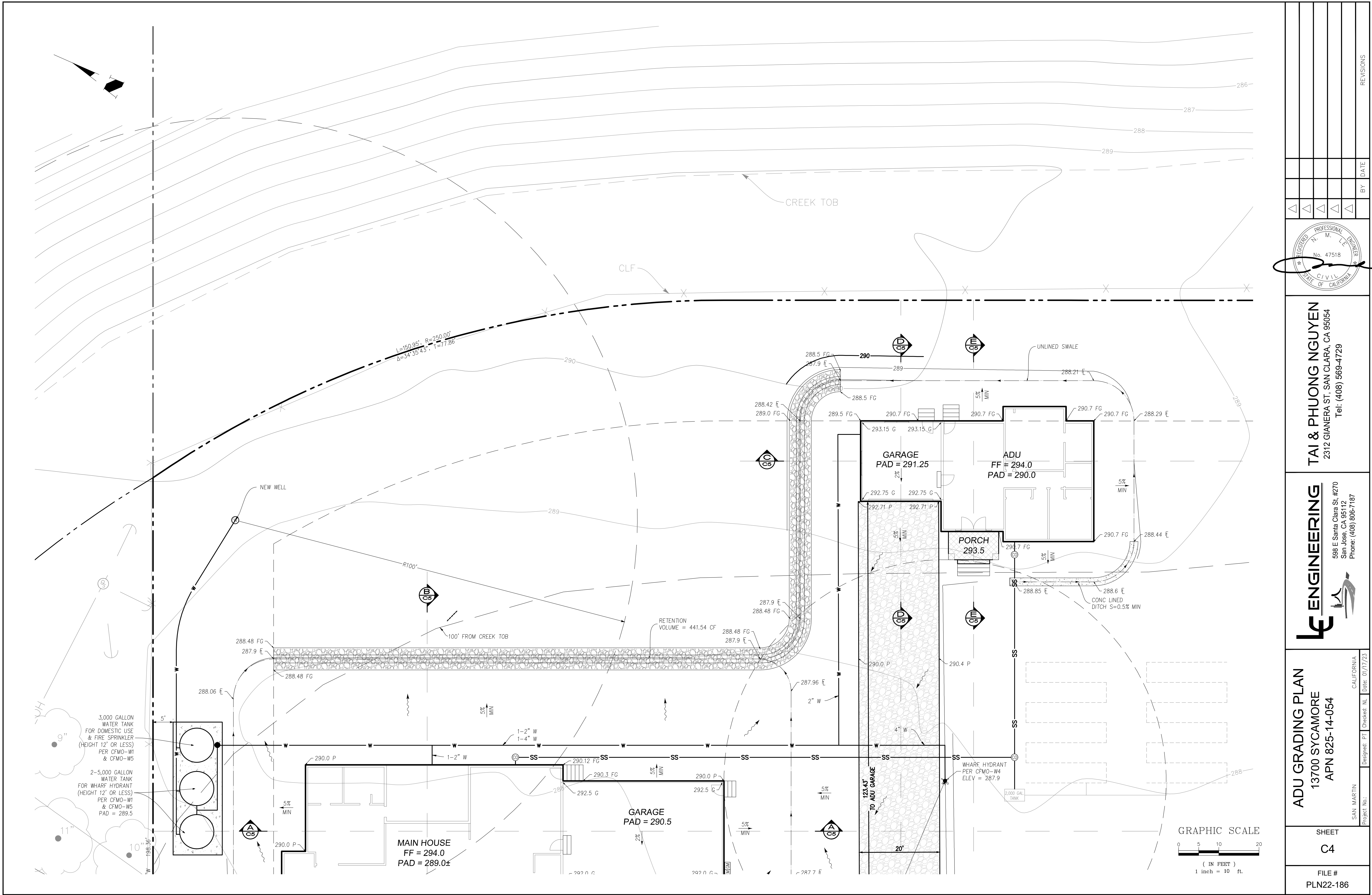
FIRE PROTECTION NOTES:

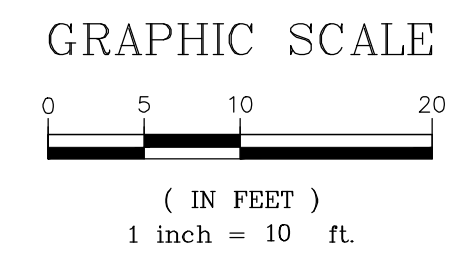
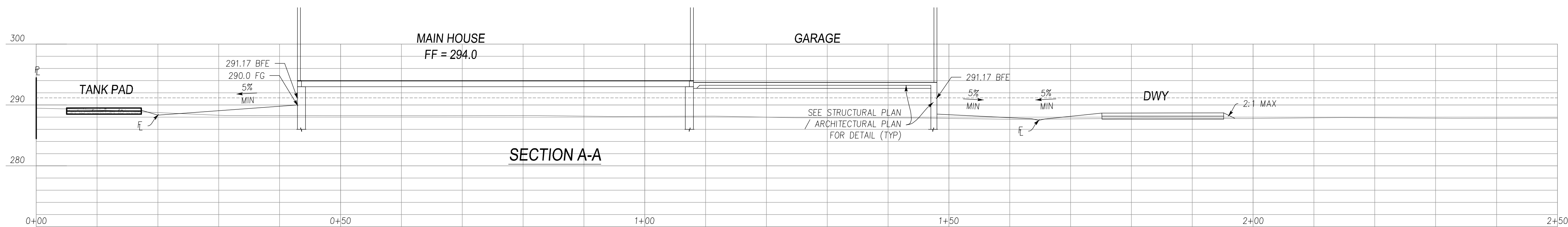
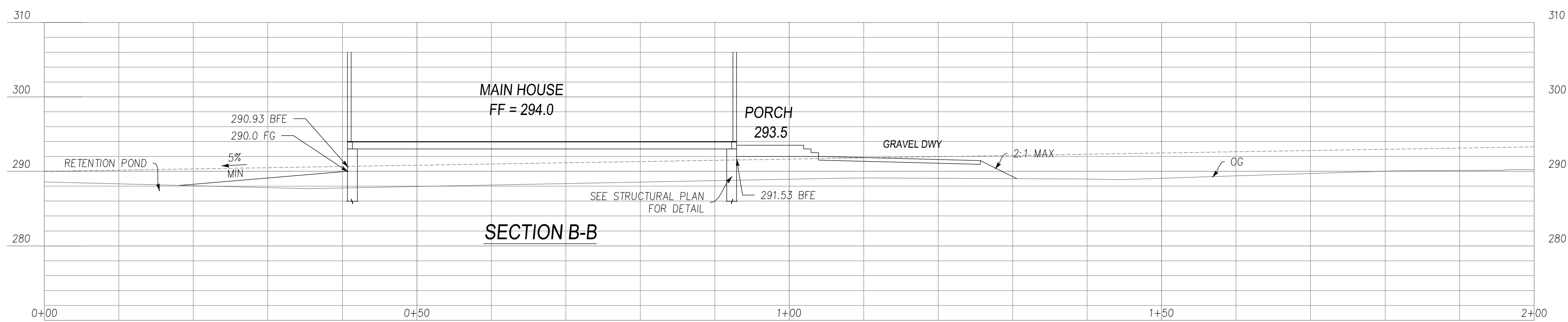
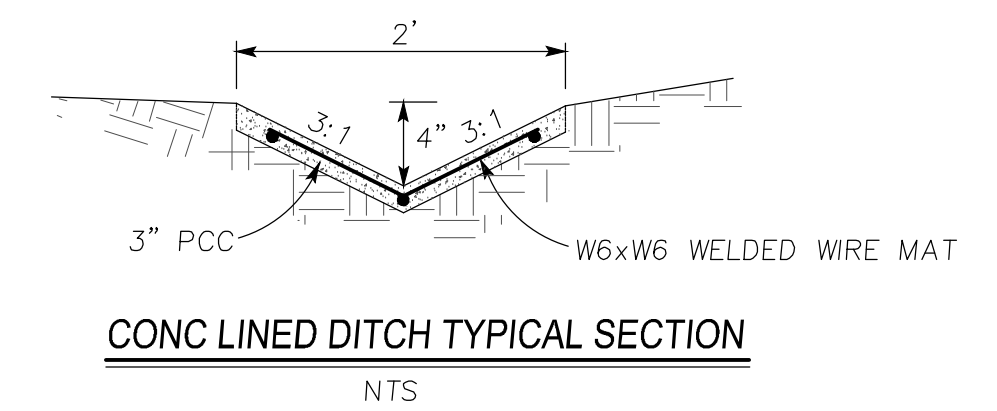
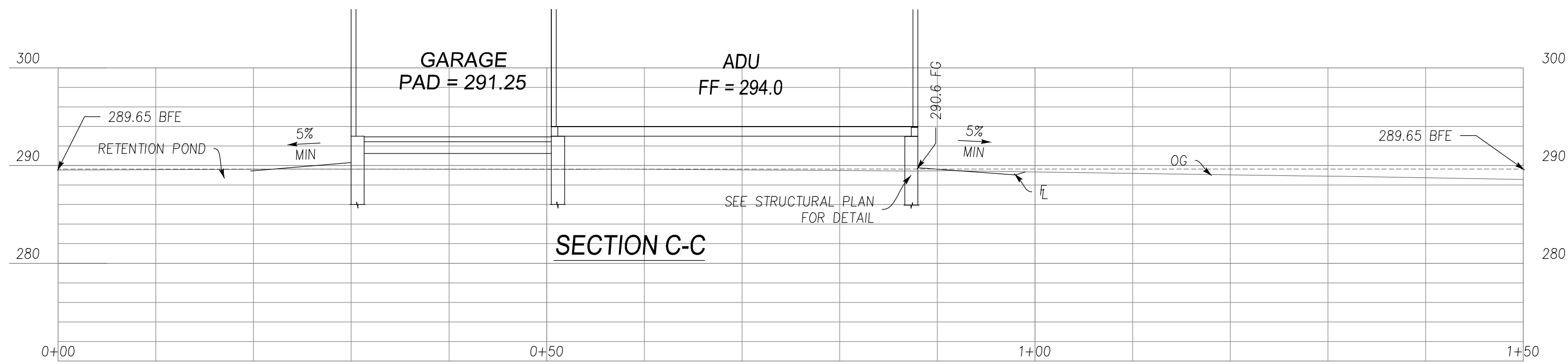
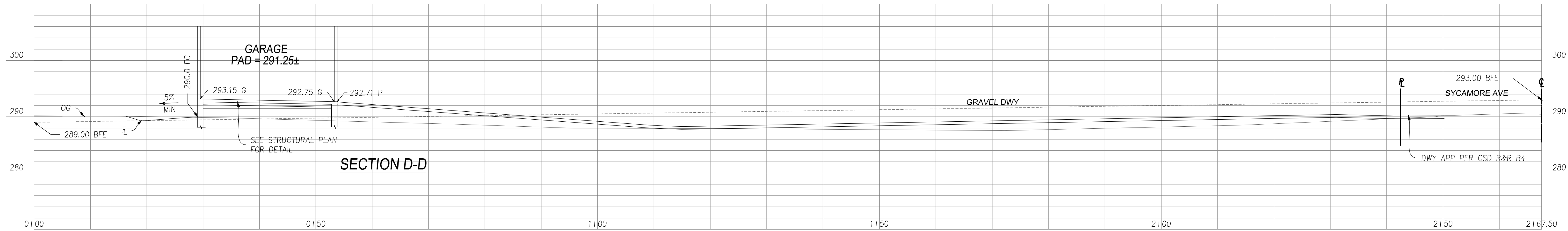
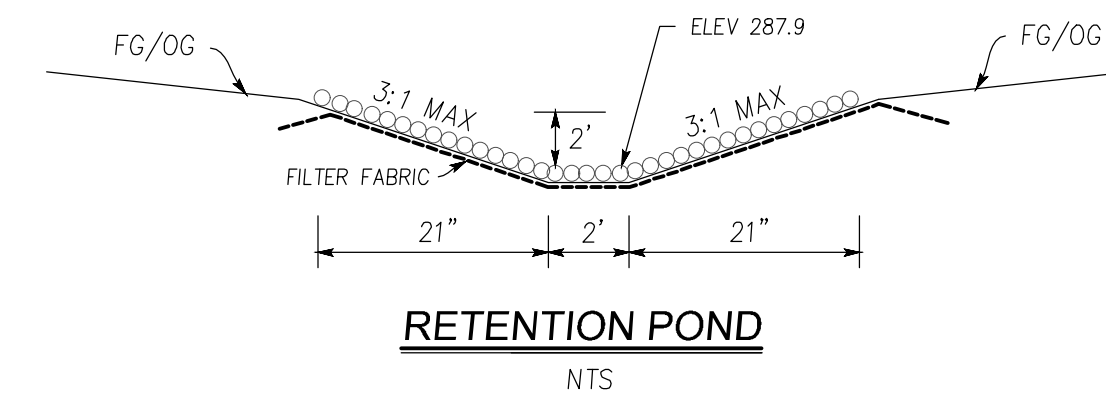
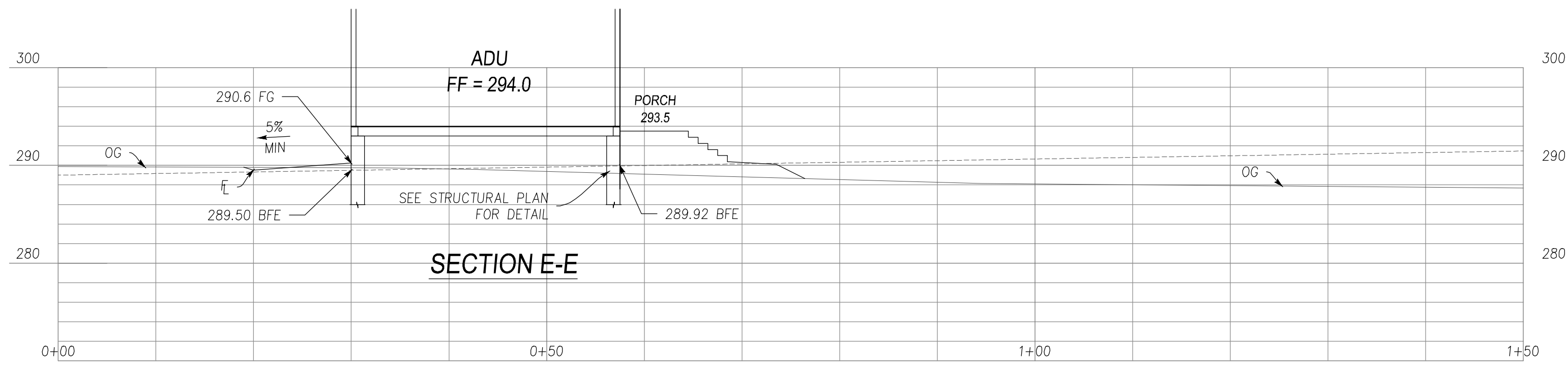
1. DRIVEWAYS TO BE MADE OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 75,000 POUNDS.
2. NFPA 13 FIRE SPRINKLERS SHALL BE INSTALLED IN ALL BUILDINGS AND WILL BE A DEFERRED SUBMITTAL.





REGISTERED PROFESSIONAL ENGINEER No. 47518 STATE OF CALIFORNIA		REVISIONS
BY	DATE	
TAI & PHUONG NGUYEN 2312 GIANERA ST., SAN CLARA, CA 95054 Tel: (408) 569-4729		
ENGINEERING 588 E Santa Clara St., #270 San Jose, CA 95112 Phone: (408) 806-7187		
STREET IMPROVEMENT PLAN 13700 SYCAMORE APN 825-14-054		
SHEET C2		
FILE # PLN22-186		





REVISIONS			
BY	DATE		

TAI & PHUONG NGUYEN
2312 GIANERA ST, SAN CLARA, CA 95054
Tel: (408) 569-4729

ENGINEERING

588 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187

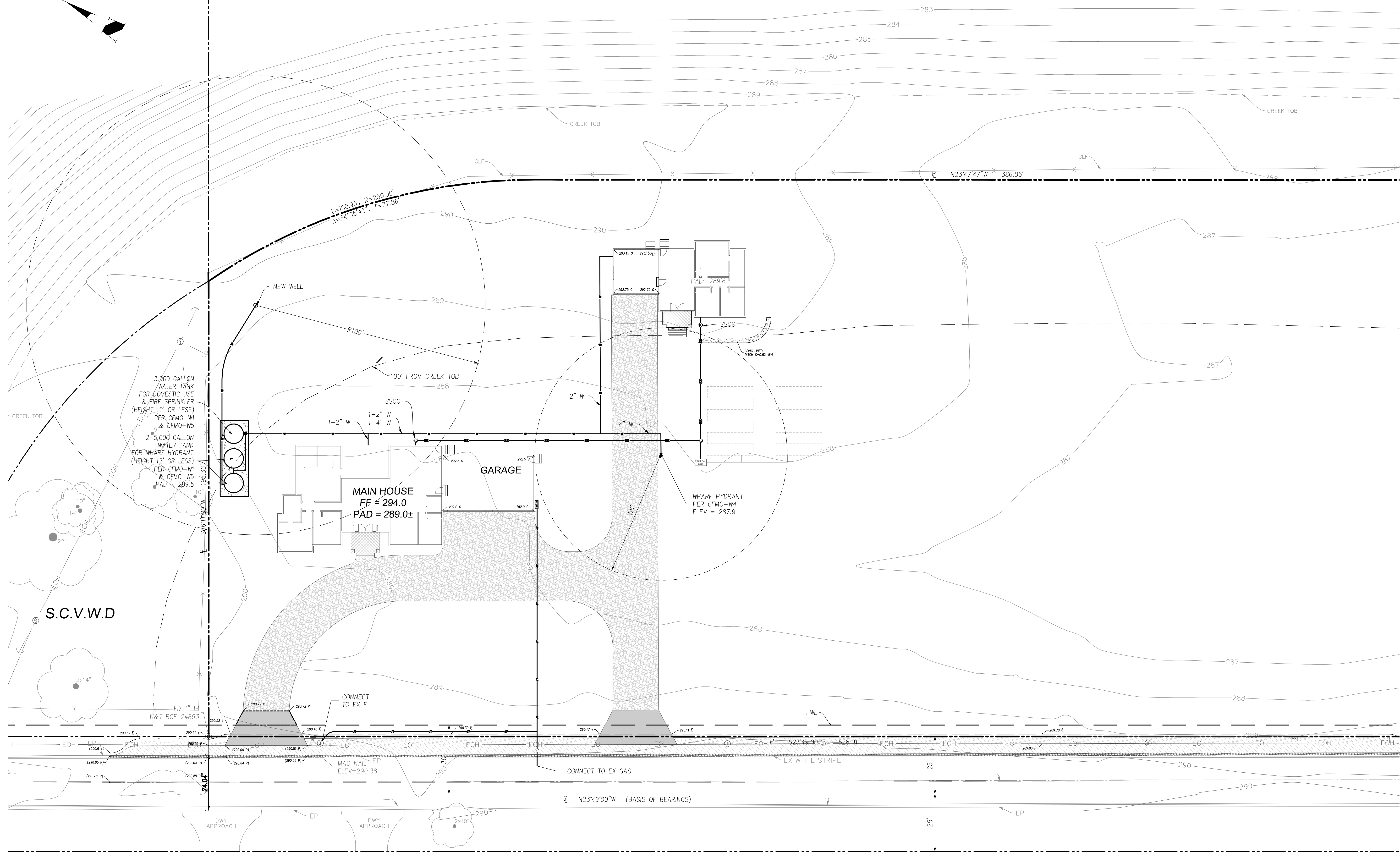
BUILDING CROSS SECTIONS
13700 SYCAMORE
APN 825-14-054

SAN MARTIN
Project No.:
Designed: PT
Checked: NL
Date: 01/17/23

SHEET
C5

FILE #
PLN22-186

SANTA CLARA VALLEY WATER DISTRICT - CHANNEL



REVISIONS		BY		DATE	

REGISTERED PROFESSIONAL ENGINEER
No. 47518
STATE OF CALIFORNIA
T. M. NGUYEN

TAI & PHUONG NGUYEN
2312 GIANERA ST., SAN CLARA, CA 95054
Tel: (408) 569-4729

ENGINEERING
588 E Santa Clara St, #270
San Jose, CA 95112
Phone: (408) 806-7187

UTILITY PLAN

13700 SYCAMORE

APN 825-14-054

PLN22-186

SHEET

C6

FILE #

PLN22-186

Project No.: SAN MARTIN

Designed: PT

Checked: NL

Date: 01/17/23

CALIFORNIA