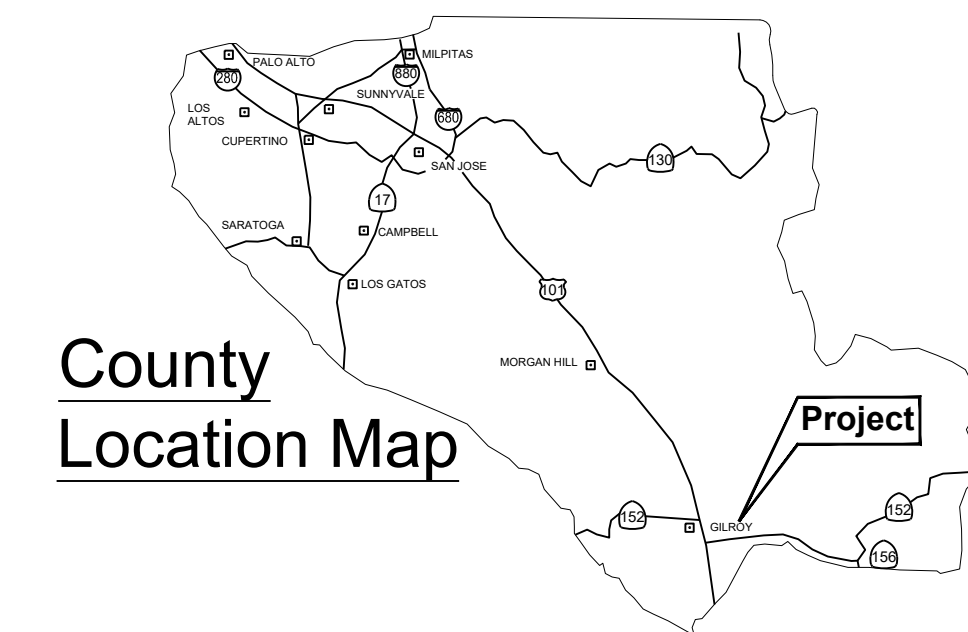


Vicinity Map



County Location Map

Applicant/Owner:

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 408.640.3443

Engineer:

David L. Faria, RCE 92432
 MH Engineering
 16075 Vineyard Blvd.
 Morgan Hill, CA 95037
 408.779.7381
 davidl@mhengineering.com

Project Information:

APN	841-44-057
Present Use:	Vacant
Proposed Use:	Residential
Present Zoning:	A-40Ac-sr
Existing Improvements:	As Shown
Water:	Proposed Well
Sanitary Sewer:	Proposed OWTS
Gas & Electric:	PGE
Fire Responsibility Area:	SRA
Wildland Urban Interface:	IN
HCP Area:	Rural Development Not Covered
Hazard Zone(s):	N/A
Gross Area:	6.279 ac
Net Area:	6.030 ac

Flood Zone:

The property lies in Zone D(100%) per FEMA Firm Panel 06085C0645H, effective May 18, 2009.

Basis of Bearings: The bearings shown on this map are based on the centerline of Canada Road recorded as S43°10'W on that certain Parcel Map filed for record in Book 648 of Maps at page 28, Santa Clara County Records.

Benchmark: Elevations shown on this plan area based on the top of a 3/4" iron pipe (LS 6809) located at the westernmost property corner. Elev. 202.32'

Tree Notes: No trees to be removed.

Fire Notes:

1. Fire Sprinklers shall be a deferred submittal.
2. Property is located in the State Response Area.
3. Property is in Wildland Urban Interface (WUI).
4. Structures to meet WUI construction requirements.
5. Property to maintain defensible space at all times.
6. Driveway width will be maintained at 12' minimum with a clear height of 13' 6".
7. Existing driveway capable of supporting 75,000 lbs.
8. All proposed driveways to be made of an all weather surface capable of supporting 75,000 lbs.
9. All proposed driveways shall have a max. slope of 16%.

LEGEND

- Proposed Residence
- Proposed Concrete
- Existing Contour

Impervious Area Summary

Proposed Residence	3,934 SF
Proposed Garage	1,305 SF
Proposed Driveway	3,944 SF
Proposed Porches	440 SF
Total New Impervious Area	9,623 SF

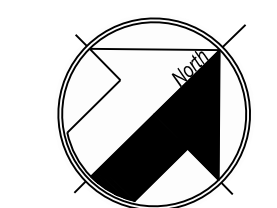
Proposed Floor Area

Proposed Residence	3,934 SF
Proposed Porch	440 SF
Proposed Garage	1,305 SF
Total Floor Area	5,679 SF

Earthwork Quantities

	Cut	Fill	Net	Max Cut	Max Fill
Residence	0 cy	116 cy	116 (fill)	0.00'	1.40'
Garage	3 cy	3 cy	0	0.30'	0.30'
Driveway	88 cy	16 cy	108 cy (cut)	1.80'	1.66'
Bioretention basin	50 cy	12 cy	38 cy (cut)	1.50'	1.00'
Total	141 cy	147 cy	6 cy (fill)		

Boundary Note: Property lines shown on this plan are based on that certain Parcel B as shown on that certain Record of Survey, filed for record on January 23, 2017 in Book 901 of Maps at page 26, Santa Clara County Records.



SCALE: 1"=30'