

1. 2016 CALIFORNIA HISTORIC BUILDING CODE
2. 2016 CALIFORNIA ADMINISTRATIVE CODE, PART 1
3. 2016 CALIFORNIA BUILDING CODE (CBC) PART 2
4. 2016 CALIFORNIA ELECTRICAL CODE (CEC) PART 3
5. 2016 CALIFORNIA MECHANICAL CODE (CMC) PART 4
6. 2016 CALIFORNIA PLUMBING CODE (CPC) PART 5
7. 2016 CALIFORNIA ENERGY CODE, PART 6
8. CAL/OSHA - TITLE 8 REGULATIONS SUBCHAPTER 6, ELEVATOR SAFETY ORDERS
9. 2016 CALIFORNIA HISTORICAL BUILDING CODE, PART 8
10. 2016 CALIFORNIA FIRE CODE, PART 9
11. 2016 CALIFORNIA EXISTING BUILDING CODE, PART 10
12. 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, PART 11
13. 2016 CALIFORNIA REFERENCE STANDARDS CODE, PART 12
14. TITLE 19, C.C.R., PUBLIC SAFETY, SFM REGULATIONS

- # NFPA STANDARDS
1. NFPA 24 – PRIVATE FIRE MAINS, 2016 EDITION.
  2. NFPA 72 – (CALIFORNIA AMENDED) NATIONAL FIRE ALARM CODES, 2016 EDITION
  3. NFPA 253 – CRITICAL RADIANT FLUX OF FLOOR COVERING SYSTEM, 2015 EDITION
  4. NFPA 2001 – CLEAN AGENT FIRE EXTINGUISHING SYSTEMS, 2015 EDITION.
  5. NFPA 13- INSTALLATION OF SPRINKLER SYSTEMS, 2016 EDITION AND CA AMENDMENTS
  6. NFPA 14- INSTALLATION OF STAND PIPE, PRIVATE HYDRANT AND HOSE SYSTEMS, 2013 EDITION
  7. NFPA 80- FIRE DOORS AND OTHER OPENING PROTECTIVES, 2016 EDITION
  8. NFPA 110- EMERGENCY AND STANDBY POWER SYSTEMS, 2016 EDITION

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURE AND FOR ALL SAFETY PROGRAMS AND PRECAUTIONS IN CONNECTION WITH THE PROJECT. NEITHER THE OWNER NOR THE ARCHITECT IS RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW PROPER SAFETY PROCEDURES.

2. ALL CODES HAVING JURISDICTION ARE HEREBY MADE A PART OF THIS DOCUMENT AND ARE TO BE STRICTLY OBSERVED BY THE CONTRACTOR IN THE CONSTRUCTION OF THE PROJECT. IN THE EVENT OF CONFLICT BETWEEN THESE DOCUMENTS AND THE CODE, THE CODE SHALL PREVAIL. ANY CONFLICT OR DISCREPANCY SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

3. ALL WORK, TO BE ACCEPTABLE, MUST BE IN COMPLIANCE WITH THESE DRAWINGS AND SPECIFICATIONS, AND MUST BE OF A QUALITY EQUAL OR BETTER THAN THE STANDARD OF THE TRADE. FINISHED WORK SHALL BE FIRM, WELL-ANCHORED, IN TRUE ALIGNMENT, PLUMB, LEVEL, WITH SMOOTH, CLEAN, UNIFORM APPEARANCE.

4. CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER, RAIN, WINDSTORMS, OR HEAT SO AS TO MAINTAIN ALL WORK, MATERIALS, EQUIPMENT AND APPARATUS FREE FROM INJURY OR DAMAGE.

CONTRACTOR SHALL VISIT THE SITE OF THE PROJECT, EXAMINE FOR HIMSELF/HERSELF THE NATURE OF THE EXISTING CONDITIONS AND ALL OTHER CONDITIONS RELEVANT TO THE SATISFACTORY COMPLETION OF THE PROJECT. SUBMISSION OF A BID FOR CONSTRUCTION SHALL BE CONSIDERED EVIDENCE OF SUCH EXAMINATION BY THE CONTRACTOR.

CONTRACTOR SHALL REMOVE FROM SITE ALL EXISTING CONSTRUCTION AND IMPROVEMENTS NECESSARY FOR THE COMPLETION OF THE PROJECT. PROTECT FROM DAMAGE OR INJURY ALL EXISTING TREES, LANDSCAPING AND IMPROVEMENTS INDICATED BY THE ARCHITECT.

ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS, WHICH INCLUDE THE PROJECT MANUAL WITH SPECIFICATIONS, THE ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.

ALL WORK NOTED "BY OTHERS" OR "N.I.C." SHALL BE PROVIDED BY THE OWNER UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS FOR THIS "OTHER" WORK IN CONSTRUCTION PROGRESS SCHEDULES AND COORDINATE AS REQUIRED TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

DO NOT SCALE DRAWINGS

COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR REFERENCE ONLY.

IN CASE OF CONFLICT OR DISCREPANCIES IN CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO PROCEEDING.

PRIOR TO BEGINNING WORK, CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENSURE THAT ALL WORK IS BUILDABLE AS SHOWN. CONDITIONS THAT ARE NOT REFLECTIVE OF THAT WHICH IS SHOWN SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO COMMENCING CONSTRUCTION.

"TYPICAL" OR "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED (U.O.N.). DETAILS ARE USUALLY KEYED AND NOTED "TYP." ONLY WHEN, WHEN THEY FIRST APPEAR.

"ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FINISHES IN THE SAME PLANE

"SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE OF THE SAME CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.

ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES.

SEE "ABBREVIATIONS & SYMBOLS" ON THIS SHEET FOR GRAPHIC CONVENTIONS OF NEW VERSUS EXISTING CONSTRUCTION. IN ALL NOTES ON ALL DRAWINGS ALL WORK SHALL BE NEW WORK UNLESS SPECIFICALLY Labeled AS EXISTING (E).

CONTRACTOR TO PROVIDE BLOCKING AND/OR BACKING PLATES AT ALL WALL HUNG OR WALL BRACED DEVICES.

COORDINATE AND COOPERATE WITH OWNER REGARDING ACCESS ROUTE AND SCHEDULING OF MATERIAL DELIVERIES.

COORDINATE ALL WORK OCCURRING IN OCCUPIED AREAS WITH OWNER. SCHEDULE WORK AS REQUIRED.

SCHEDULE AND COORDINATE ACTIVITIES BY OWNER. ALL ACTIVITIES MUST BE ACCOMMODATED WITHIN THE CONTRACT TIME.

ALL INFORMATION SHOWN ON THE DRAWINGS RELATIVE TO EXISTING CONDITIONS IS GIVEN WITH THE BEST REPORTED KNOWLEDGE. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ARCHITECT IN WRITING, SO THE PROPER REVISIONS CAN BE MADE.

ALL DEMOLITION AND CONSTRUCTION WORK SHALL COMPLY WITH 2016 CBC CHAPTER 33 AND CFC CHAPTER 33, "FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION".

[illegible][illegible]

**GRID / COLUMN LINE**

**WORK, CONTROL, DATUM, OR DIMENSION POINT**

**PROPERTY LINE**

**NEW OR FINISHED CONTOURS**

**EXISTING CONTOURS**

**6' - 0"** **DIMENSION TO FACE OF STUD, MASONRY OR FRAMING (U.O.N.)**

**6' - 0"** **DIMENSION TO CENTERLINE OR GRID LINE**

**6' - 0"** **DIMENSION TO FACE OF FINISH OR CLEAR DIMENSION**

**ELEVATION**

**ELEVATION NUMBER**

**SHEET WHERE ELEVATION IS LOCATED**

**SECTION**

**SECTION NUMBER**

**SHEET WHERE SECTION IS LOCATED**

**DETAIL**

**DETAIL NUMBER**

**SHEET WHERE DETAIL IS LOCATED**

**INTERIOR ELEVATION**

**ELEVATION NUMBER**

**SHEET WHERE ELEVATION IS LOCATED**

**KEYNOTE**

**ROOM NAME**

**ROOM IDENTIFICATION**

**ROOM NAME**

**ROOM NUMBER**

**FINISH IDENTIFICATION**

**WALL MATERIAL**

**FLOOR MATERIAL**

**BASE / TRIM MATERIAL**

**CEILING MATERIAL**

**WALL TYPE TAG**

**DOOR TAG**

**WINDOW TAG**

**PLUMBING / APPLIANCE IDENTIFICATION**

**CHANGE IN FLOOR FINISHES**

**ALIGN FACE OF FINISH**

**REVISION NUMBER**

**"CLOUD" INDICATES REVISED AREA ON DRAWINGS**

<b>PROJECT DESCRIPTION:</b>	PORTABLE RESTROOMS TO SERVE WINERY IN THE INTERIM BEFORE PHASE 1 WORK IS COMPLETED
<b>PROJECT DETAILS FROM APPROVED PERMIT DEV19-0863 LISTED BELOW FOR REFERENCE ONLY</b>	
<b>OCCUPANCY GROUP(S):</b>	MIXED OCCUPANCY (SEPARATED); INCLUDING OCCUPANCY GROUPS A-2, B, S-1, S-2, F-2
<b>CONSTRUCTION TYPE:</b>	HISTORIC CONSTRUCTION DOES NOT CONFORM TO ANY CURRENT BUILDING CONSTRUCTION TYPE, HOWEVER THE CONSTRUCTION TYPE MOST RESEMBLES TYPE III-B.
<b>NUMBER OF STORIES:</b>	3
<b>GROSS SQUARE FOOTAGE:</b>	EXISTING - 77,718 SQFT PROPOSED - 12,965 SQFT (CHANGE-OF-USE 11,183 SQFT; NEW EXTERIOR RAMP & EXIT PASSAGEWAY 1,782 SQFT)

Client	Name / Title	Email
<b>Testarossa Winery</b>		
300 College Ave Los Gatos, CA 95030 Phone: 408-354-6150	Rob Jensen Proprietor	Rob@Testarossa.com
<b>Architect</b>		
<b>CAW Architects</b>		
455 Lambert Avenue Palo Alto, CA 94306 Phone: 650.328.1818 Fax: 650.328.1888	Chris Wasney Pui-San Ng	Principal Project Architect CWasney@CAWArchitects.com PSNg@cawarchitects.com
<b>Contractor</b>		

**E&S Trucking**  
1770 El Rancho Dr.  
Santa Cruz, CA 95060  
Phone: 650.328.1818  
Fax: 650.328.1888

Edward Kuerzel      Owner      <ed@eandsusa.com>

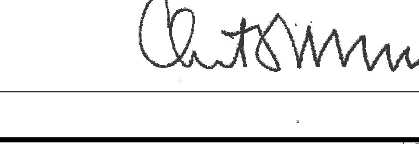
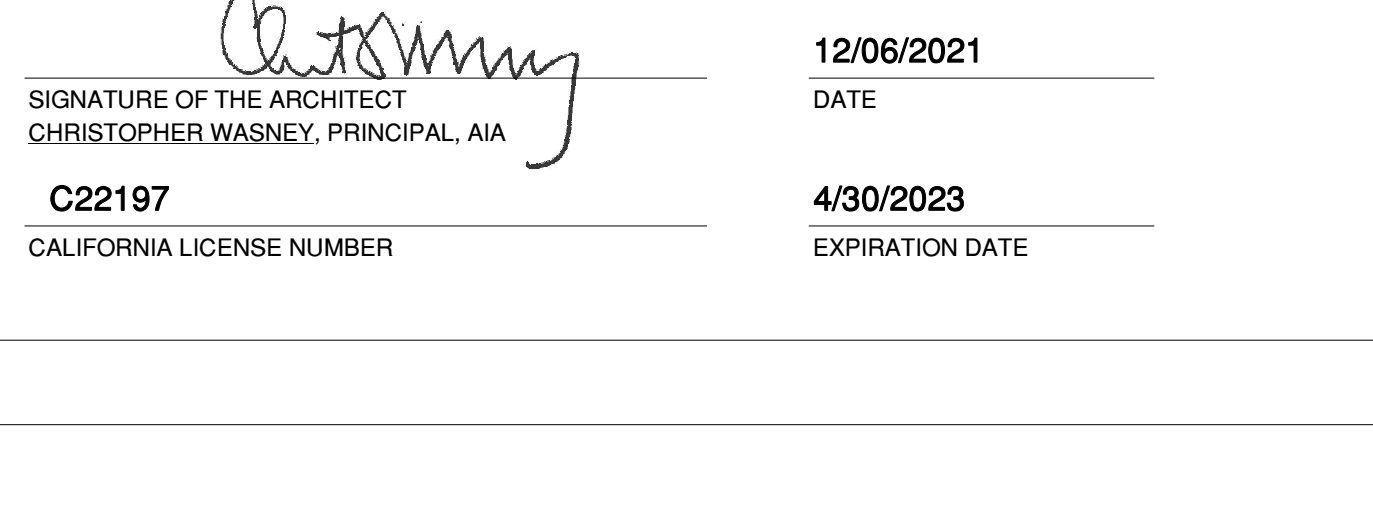
N/A	
CODE NARRATIVE	

ARCHITECTURAL	
A-0.0	COVER SHEET
A-0.1	SITE PLAN
A-0.2	FLOOR PLAN & ROOF PLAN
A-0.3	FRAMING PLAN
A-0.4	SECTIONS
A-0.6	DETAILS

THESE DRAWINGS AND/OR SPECIFICATIONS AND/OR CALCULATIONS FOR THE ITEMS INDICATED WITH ASTERISKS IN THE DRAWING INDEX ABOVE HAVE BEEN PREPARED BY OTHER DESIGN PROFESSIONALS OR CONSULTANTS WHO ARE LICENSED AND/OR AUTHORIZED TO PREPARE SUCH DRAWINGS IN THIS STATE. THESE DOCUMENTS ARE NOT TO BE USED FOR DESIGN INTENT AND APPROX TO MEET THE APPROPRIATE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS AND THE PROJECT SPECIFICATIONS PREPARED BY ME.

THESE ITEMS HAVE BEEN COORDINATED WITH MY PLANS AND SPECIFICATIONS AND ARE ACCEPTABLE FOR INCORPORATION INTO THE CONSTRUCTION OF THIS PROJECT FOR WHICH I AM THE INDIVIDUAL DESIGNATED TO BE IN GENERAL RESPONSIBLE CHARGE (OR FOR WHICH I HAVE BEEN DELEGATED RESPONSIBILITY FOR THIS PORTION OF THE WORK).

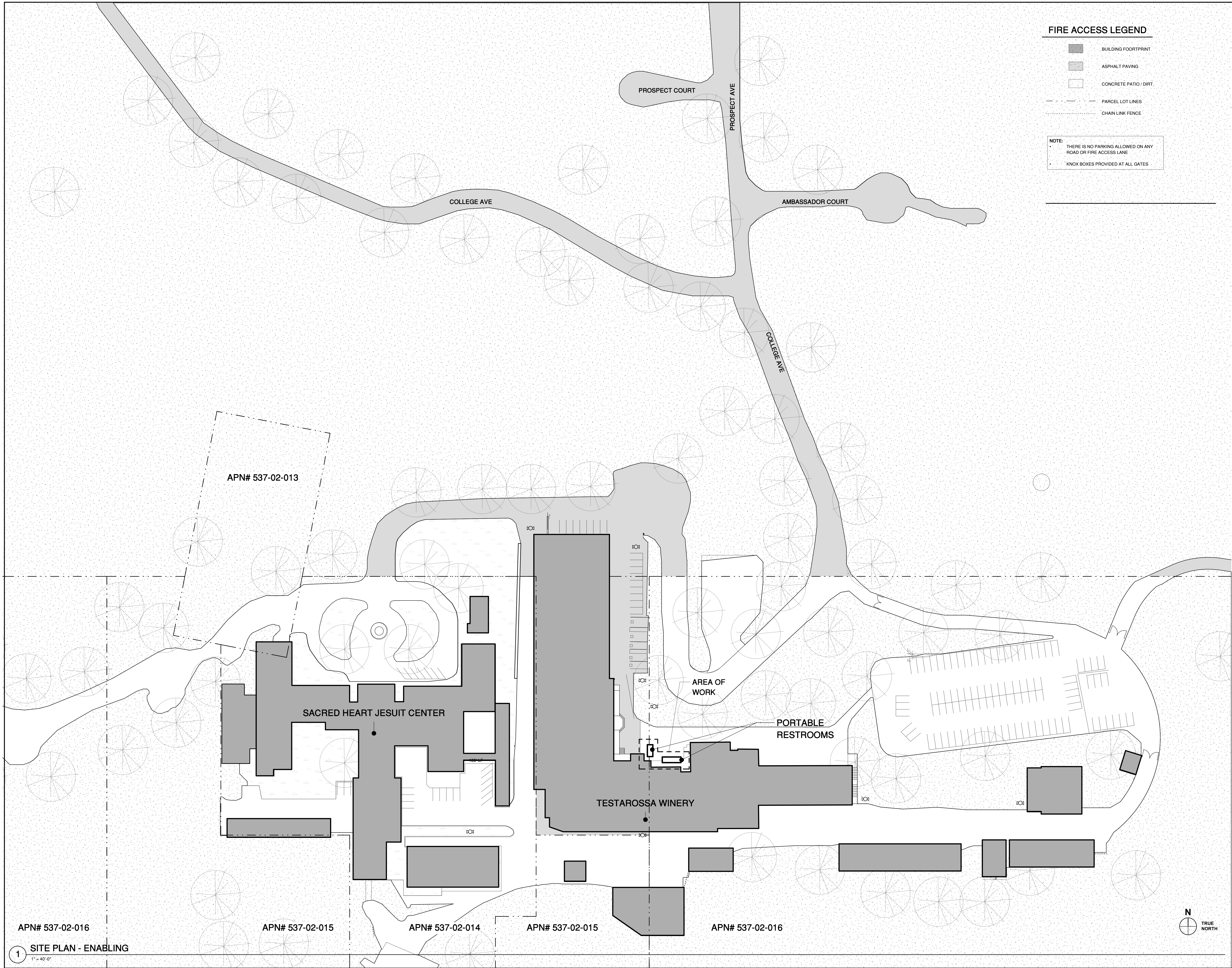
THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REINTEGRATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NONCOMPLYING CONDITIONS BE DISCOVERED WHICH IS NOT IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED REPAIR WORK SHALL BE SUBMITTED TO AND APPROVED BY USA BEFORE PROCEEDING WITH THE REPAIR WORK.



△ MILESTONE

DATE \_\_\_\_\_





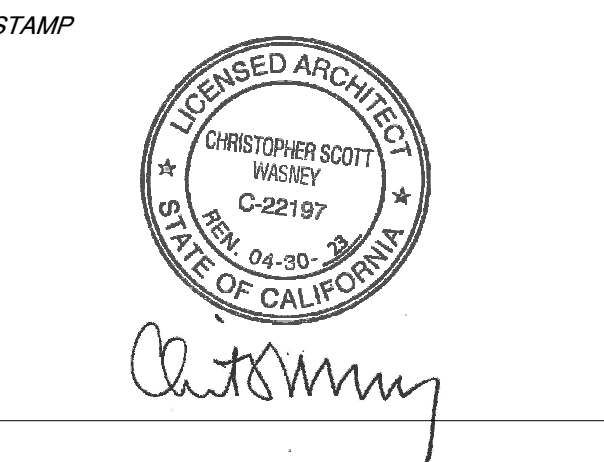
FIRE ACCESS LEGEND

- BUILDING FOOTPRINT
- ASPHALT PAVING
- CONCRETE PATIO / DIRT
- PARCEL LOT LINES
- CHAIN LINK FENCE

NOTE: THERE IS NO PARKING ALLOWED ON ANY ROAD OR FIRE ACCESS LANE  
KNOX BOXES PROVIDED AT ALL GATES



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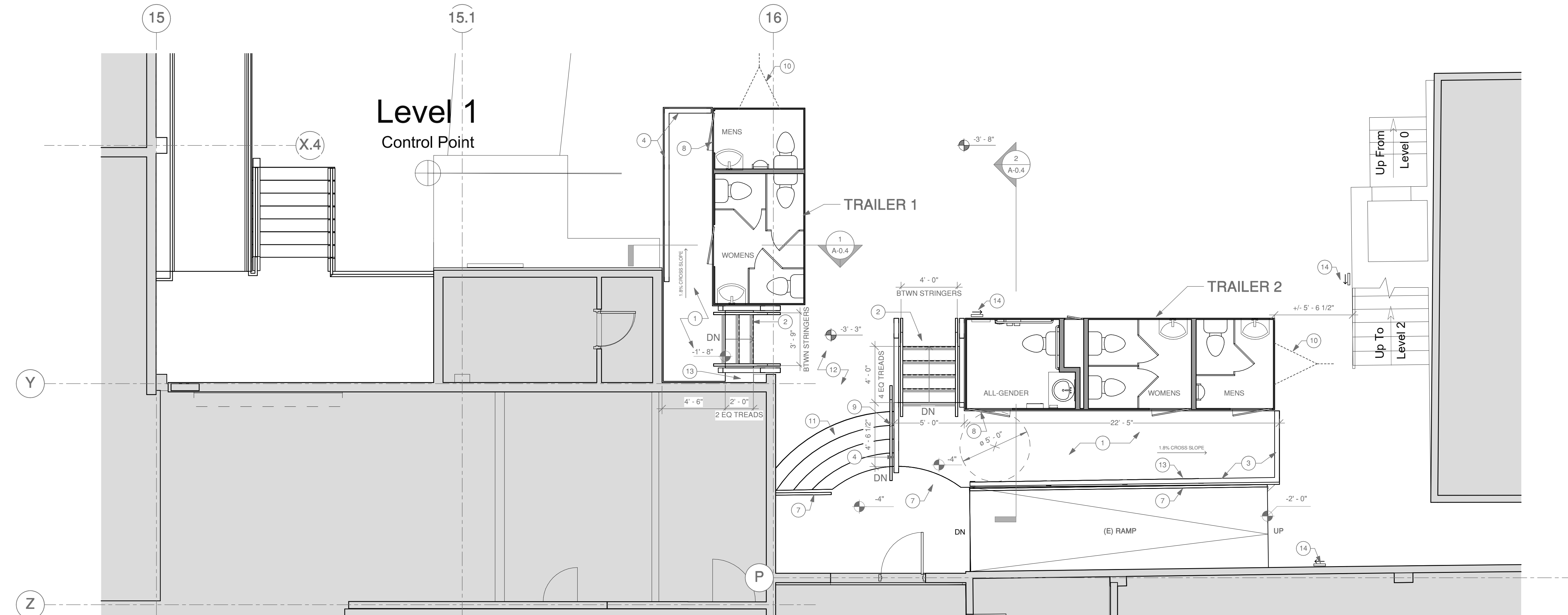
PROJECT NAME  
TESTAROSSA WINERY IMPROVEMENTS  
300 College Avenue  
Los Gatos, CA 95030

SHEET TITLE  
SITE PLAN

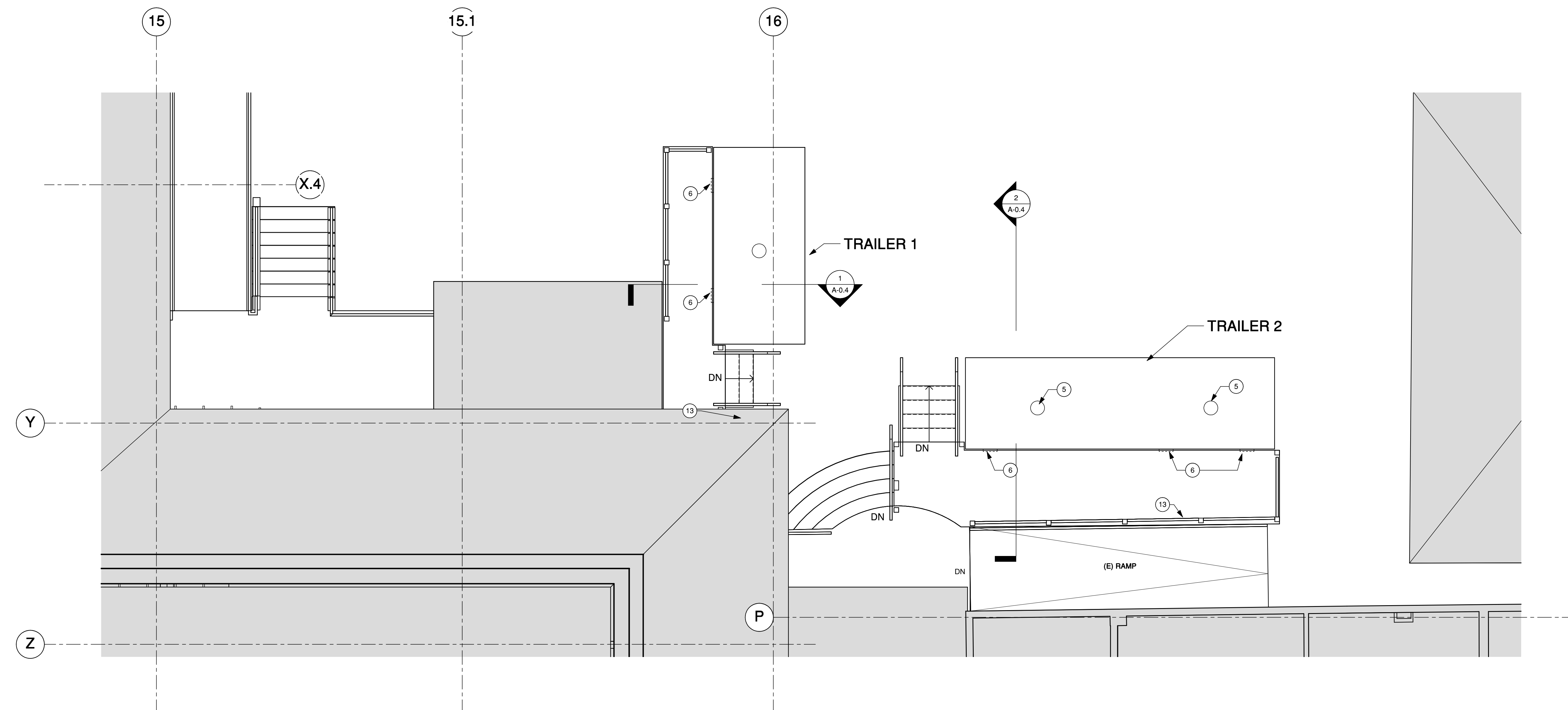
PROJECT NO. 18012  
DRAWN BY PS  
CHECKED BY CW

SHEET  
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1 PORTABLE RESTROOMS - FLOOR PLAN  
1/4" = 1'-0"



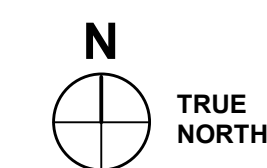
2 PORTABLE RESTROOMS - ROOF PLAN  
1/4" = 1'-0"

#### KEYNOTES

- (N) PLYWOOD DECK BROADWALK WITH WOOD FRAMING
- (N) WOOD STAIRCASE WITH CONTINUOUS HANDRAILS ON BOTH SIDES, AND CONTRASING STRIP ON EVERY STEP
- (N) DECK RAILING 42" ABOVE FINISH DECK LEVEL, SEE FRAMING PLAN FOR POST LOCATIONS
- (N) DECK RAILING 36" ABOVE FINISH DECK LEVEL, SEE FRAMING PLAN FOR POST LOCATIONS
- TRAILER UNIT EXHAUST
- TRAILER UNIT EXTERIOR LIGHT ABOVE DOOR.
- (E) HANDRAIL TO REMAIN
- LEVEL THRESHOLD AT DOORS AND WHERE DECK MEETS (E) LANDING, TYP FOR ALL DOORS
- (N) HANDRAIL ATTACHED TO (N) POST
- REMOVABLE TRAILER PRONG
- (E) COLORED CONCRETE STAIRCASE, TO REMAIN IN FULL (EVEN UNDER PROPOSED BROADWALK)
- (E) ASPHALT PAVING
- (E) ELECTRICAL, POWER AND PLUMBING CONNECTION
- (N) ACCESSIBLE ENTRANCE ROUTE SIGNAGE MOUNTED ON TO SIDE OF TRAILER, SEE DETAIL 8/A-0.6

#### FLOOR PLAN LEGEND

- FLOOR LEVELS
- AREA NOT IN SCOPE

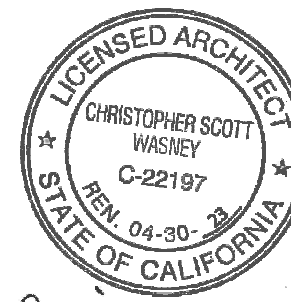


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SHEET TITLE

FLOOR PLAN & ROOF PLAN

PROJECT NO. 18012

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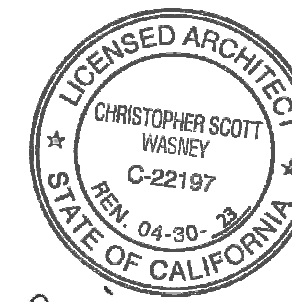
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PROJECT NAME

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IMPROVEMENTS

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SHEET TITLE

FRAMING PLAN

PROJECT NO. 18012

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SHEET

A-0.3

## KEYNOTES

- 4X4 PT RAIL POST, TYP. - 36" ABOVE FINISH DECK LEVEL
- 4X4 PT DECK POST BELOW, TYP.
- 2X6 PT DECK JOIST @ 16", TYP.
- 4X6 PT DECK BEAM, TYP.
- IMPSON OPTZ, SEE DETAIL 3/A-0.6
- 4X4 PT RAIL POST, SEE DETAIL 1/A-0.6
- 2X10 PT STRINGER (NO NOTCHES), TYP.
- 2X6 PT X-BRACE, TYP.
- TYPICAL 4X4 PT RAIL POST ATTACHED TO CONCRETE FOOTINGS, SEE DETAIL 1/A-0.6
- 'SPECIAL' 2X6 PT BRACE, SEE DETAIL 2/A-0.6
- 4X8 PT RAIL POST, SEE ENLARGED ELEVATION 5/A-0.6
- 4X4 PT RAIL POST - 42" ABOVE FINISH DECK LEVEL
- 4X4 PT RAIL POST ATTACHED TO ASPHALT, SEE ELEVATION 4/A-0.6
- TEMPORARILY REMOVE (E) DECORATIVE RAILING (BOLTED DOWN) AT CONCRETE STAIR WITH NEW; REUSE (E) BOLTS AT UPPER LANDING.

### NOTE:

1. ALL 4X4 RAIL POSTS HAVE LSTA12Z STRAP (OR DTT12) ATTACHED TO DECK JOIST OR DECK BEAM ORIENTED PERPENDICULAR TO TOP RAIL.

2. ALL 4X4 POSTS HAVE 12" X 12" X 16" DEEP FOOTING AND PBS44A POST BASE FASTENED WITH NAILS (DO NOT USE BOLTS); EXCEPT FOR THE LAST TWO POSTS AT EACH STAIR MOUNTED TO ASPHALT.

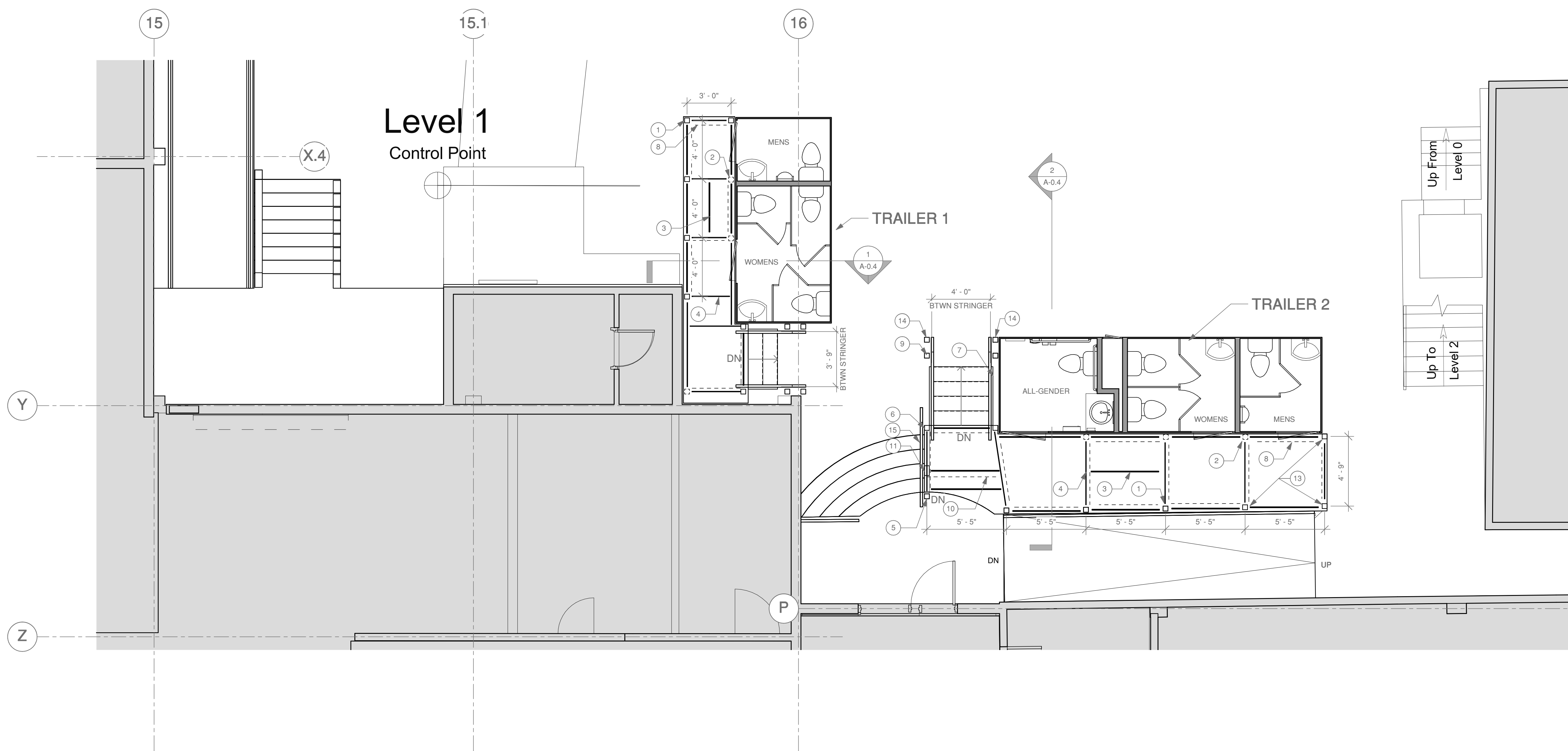
## FLOOR PLAN LEGEND



FLOOR LEVELS



AREA NOT IN SCOPE



1 PORTABLE RESTROOM - FRAMING PLAN  
1/4" = 1'-0"



- KEYNOTES
- 1 <varies>
  - 2 HANDRAIL - 36" ABOVE FINISH DECK LEVEL
  - 3 (E) CONCRETE STAIR LANDING BEYOND
  - 4 (E) HANDRAIL
  - 5 LEVEL ACCESS AT ALL TRAILER DOOR THRESHOLDS

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PROFESIONAL ARCHITECT  
CHRISTOPHER SCOTT  
WISLEY  
C-22187  
STATE OF CALIFORNIA

Christopher Wisley

CONSULTANTS

△ MILESTONE      DATE

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IMPROVEMENTS

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Los Gatos, CA 95030

SHEET TITLE

SECTIONS

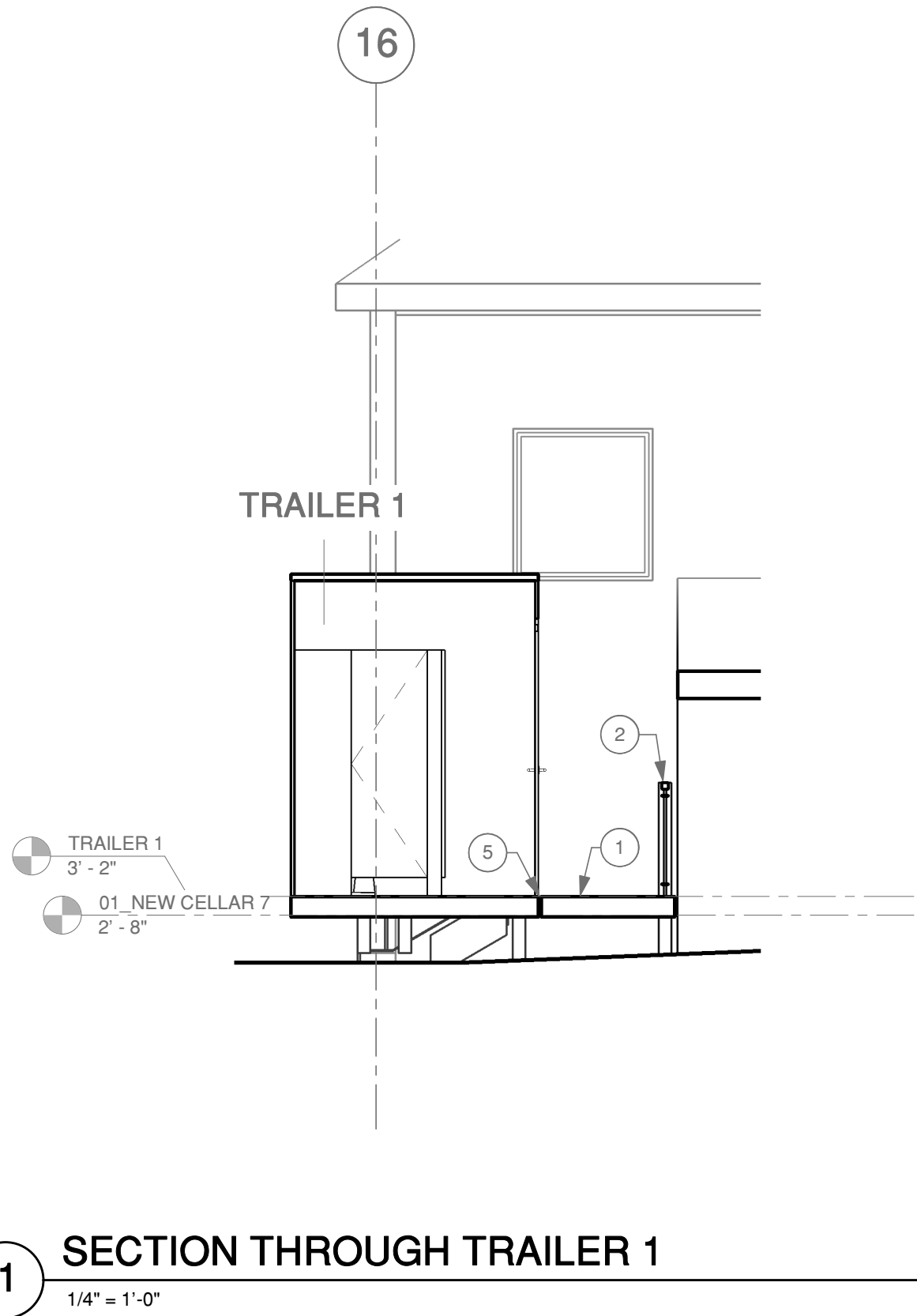
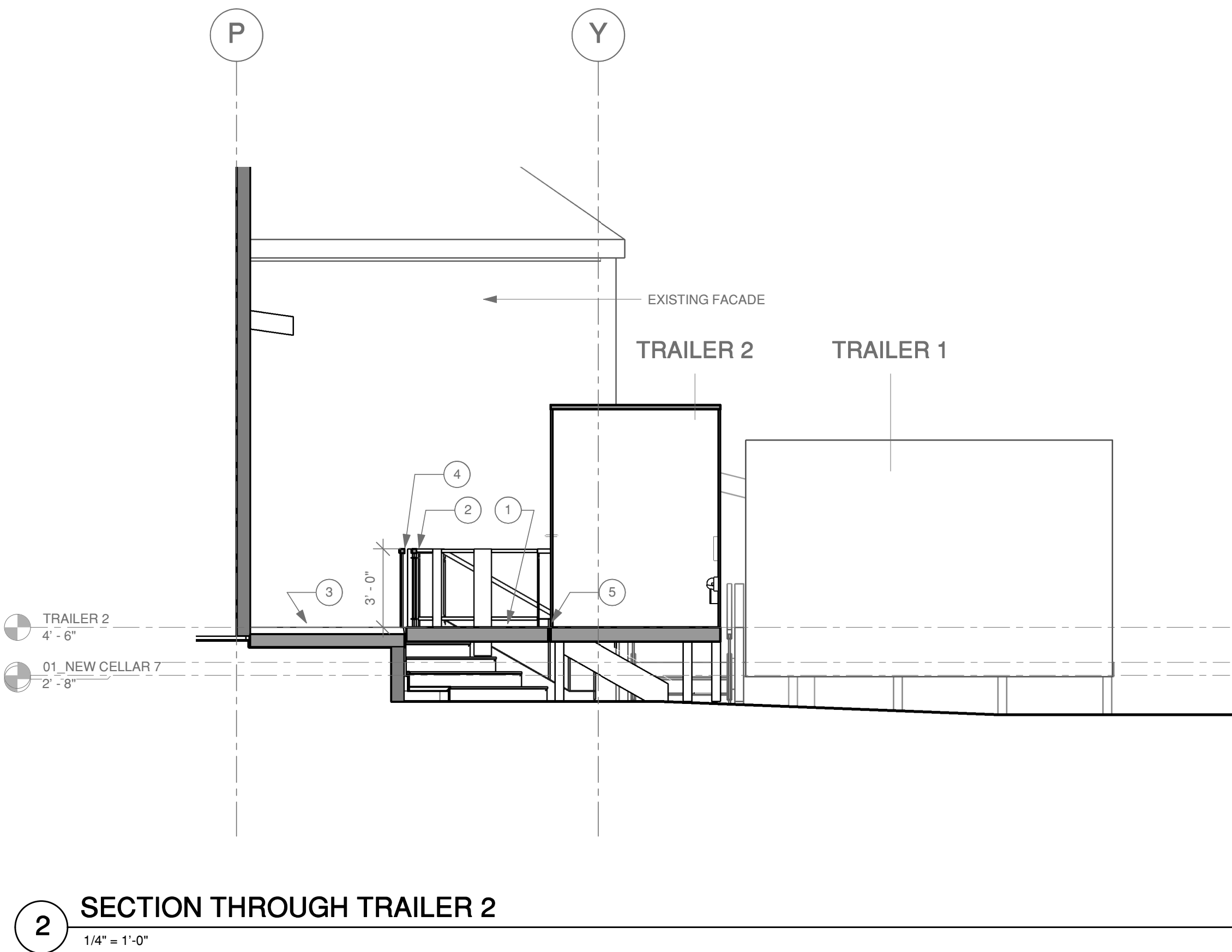
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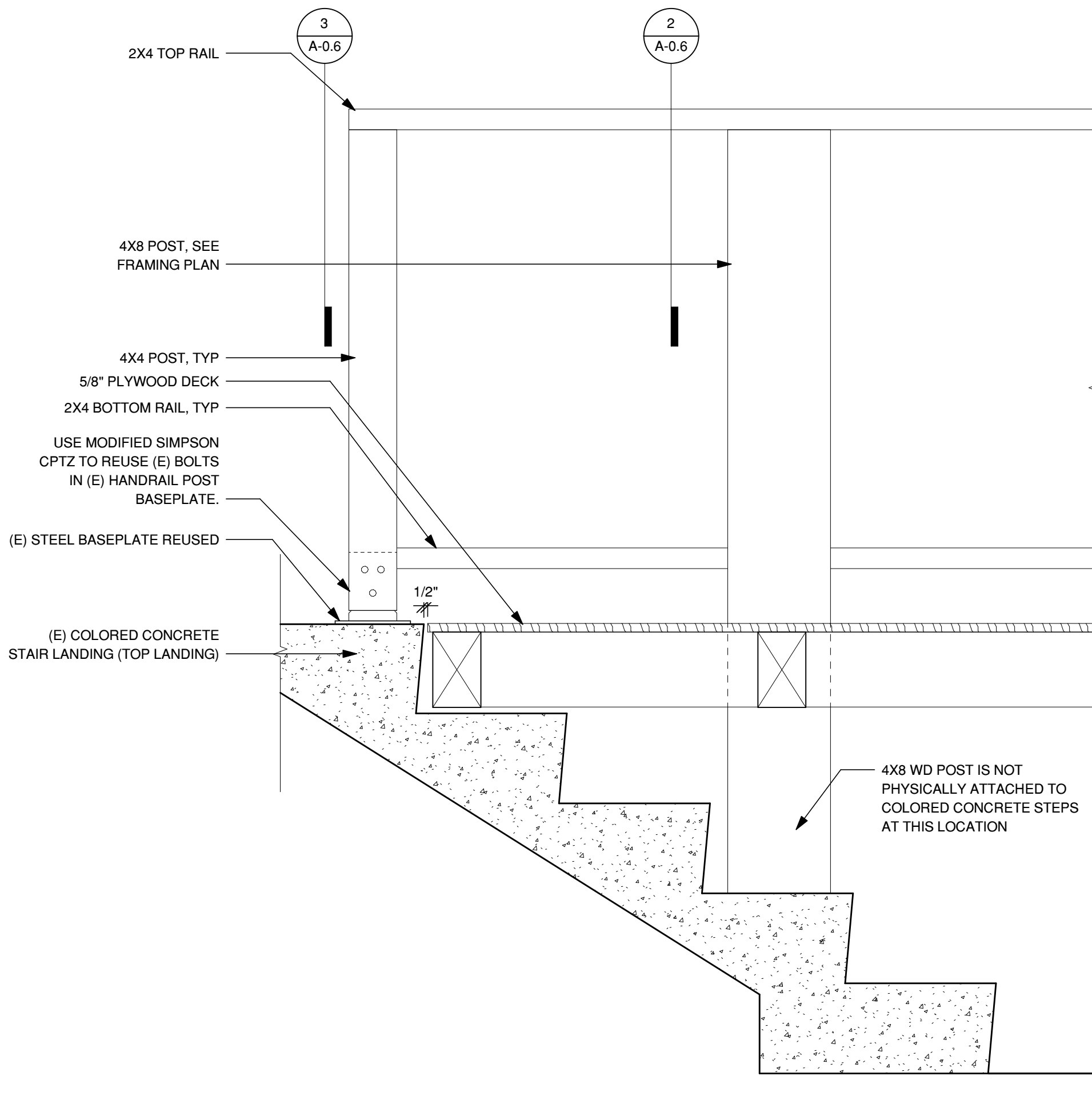
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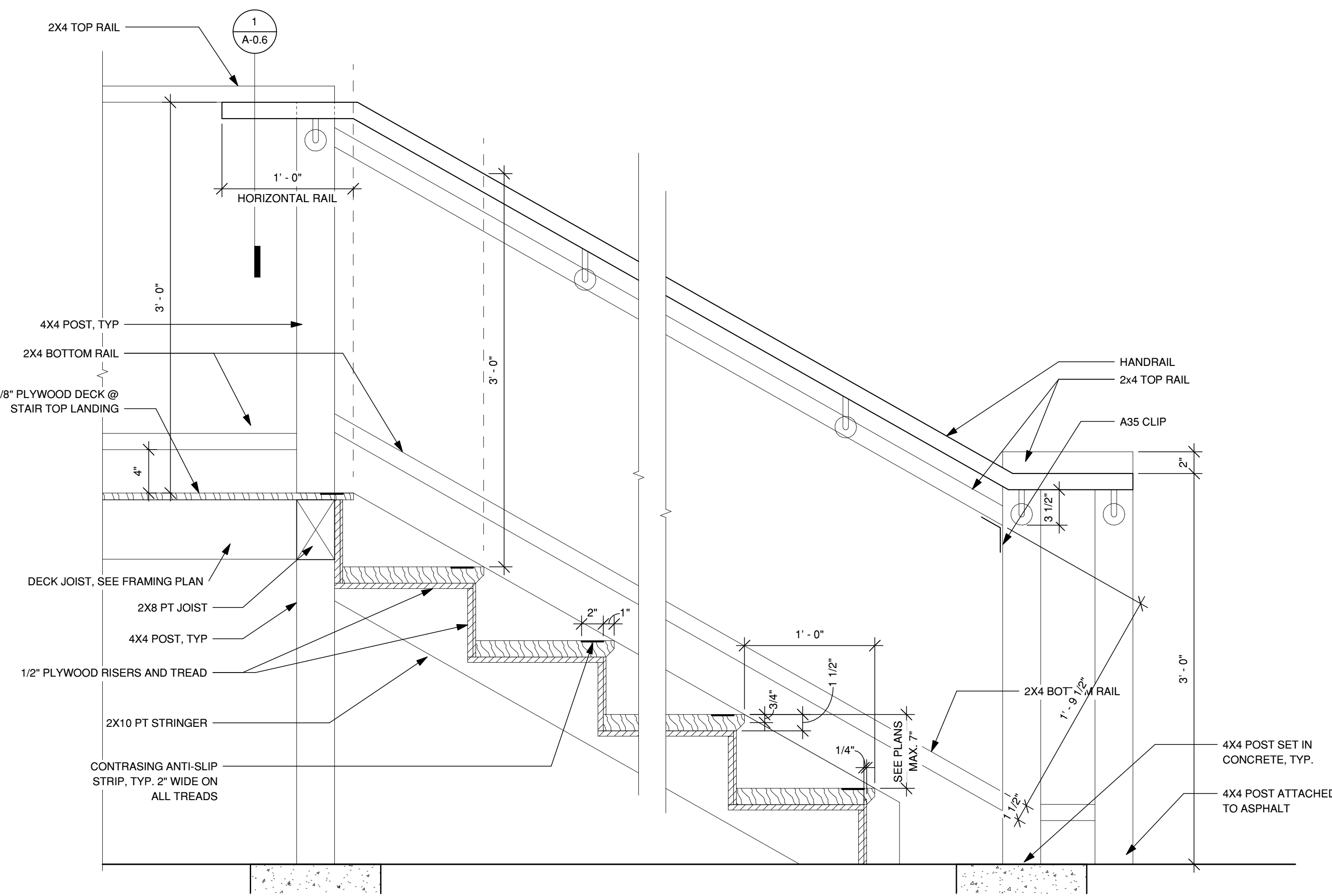
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5 WOOD DECK ON EXISTING STAIRS

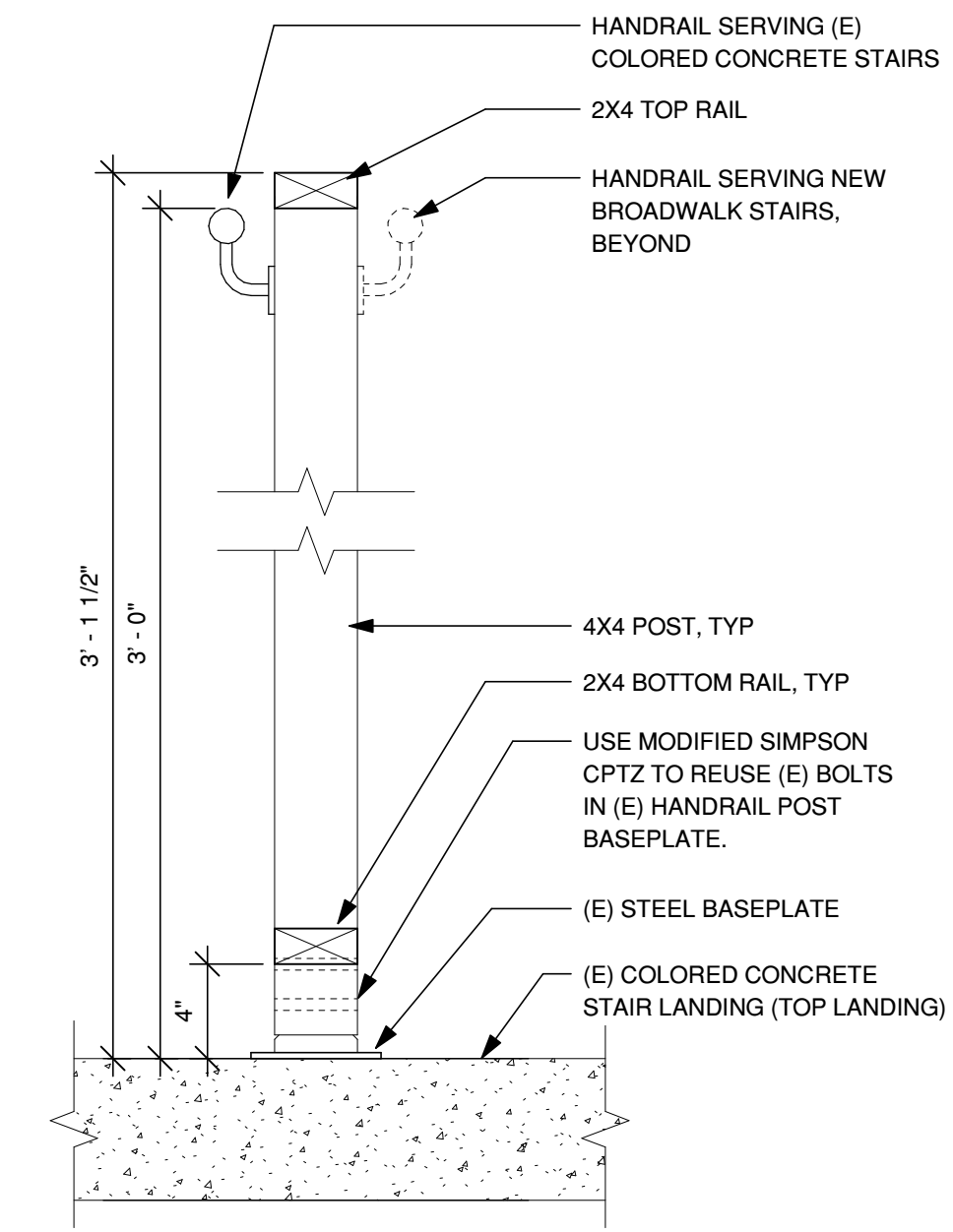
1 1/2" = 1'-0"



4 WOOD DECK, STAIRS AND HANDRAILS

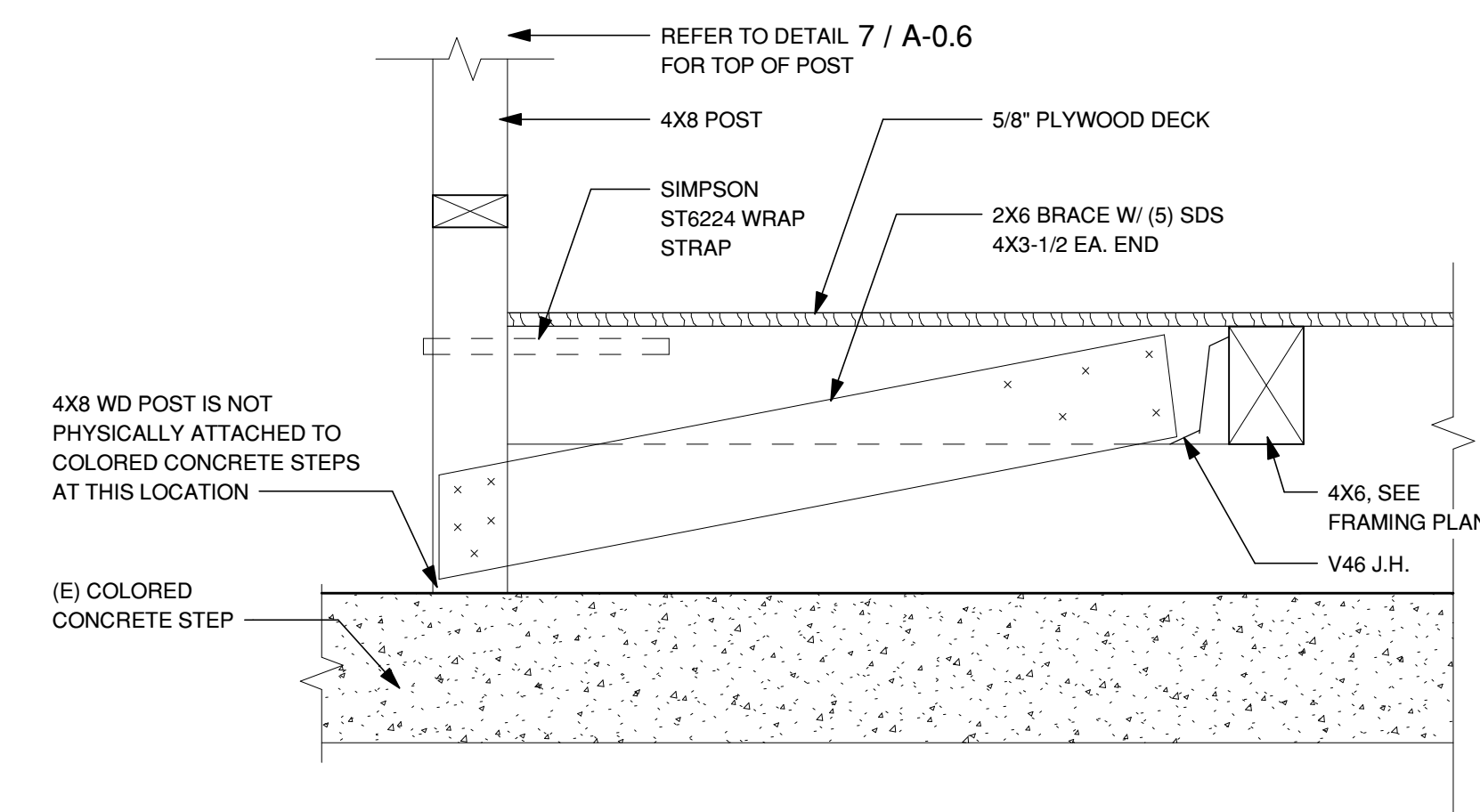
1 1/2" = 1'-0"

NOTE:  
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2. ALL 4X4 POSTS HAVE 12" X 12" X16" DEEP FOOTING AND PBS44A POST BASE FASTENED WITH NAILS (DO NOT USE BOLTS), EXCEPT FOR THE LAST TWO POSTS AT EACH STAIR MOUNTED TO ASPHALT.



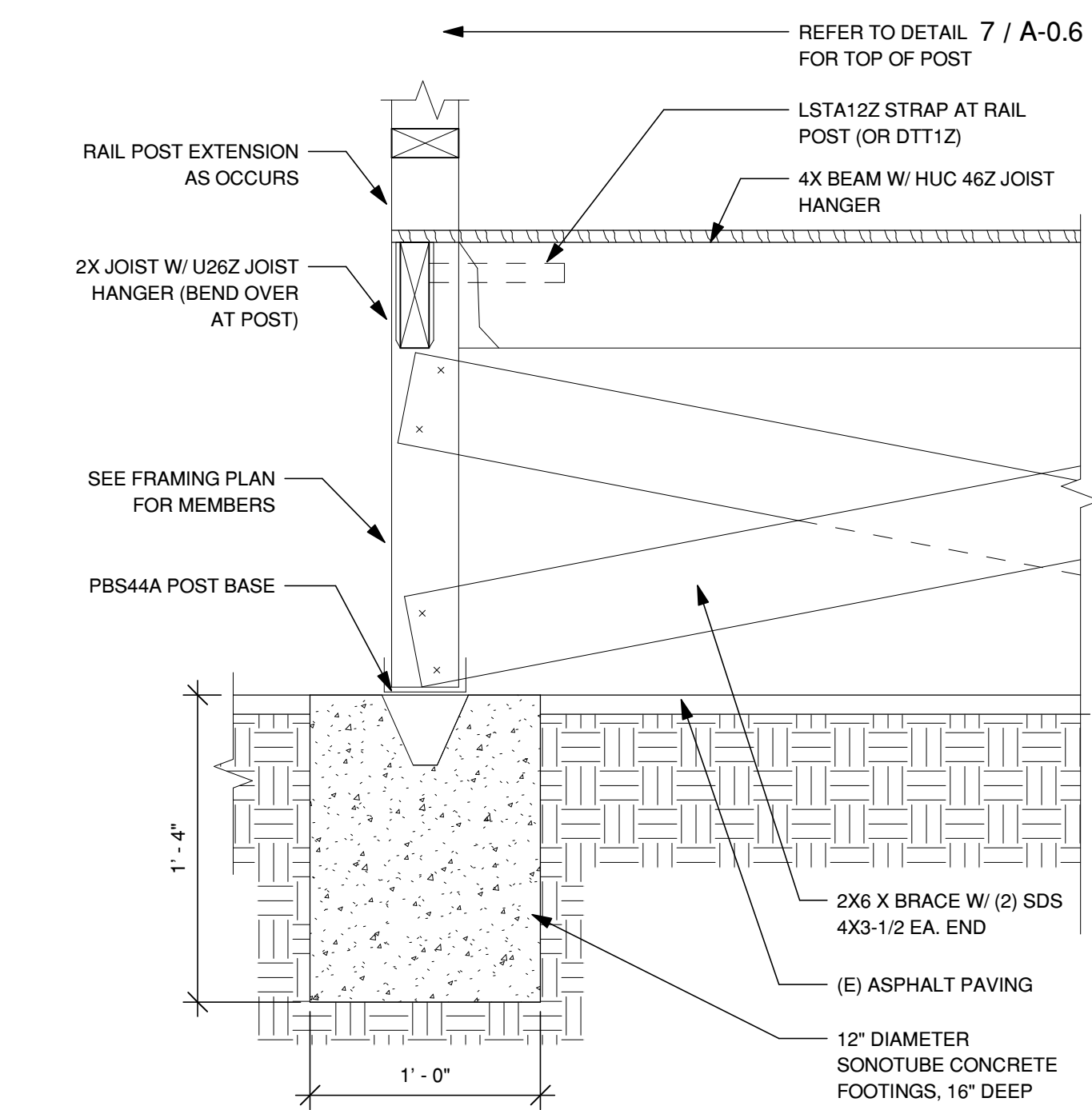
3 POST CONNECTION - AT (E) CONCRETE STEPS (TOP LANDING)

1 1/2" = 1'-0"



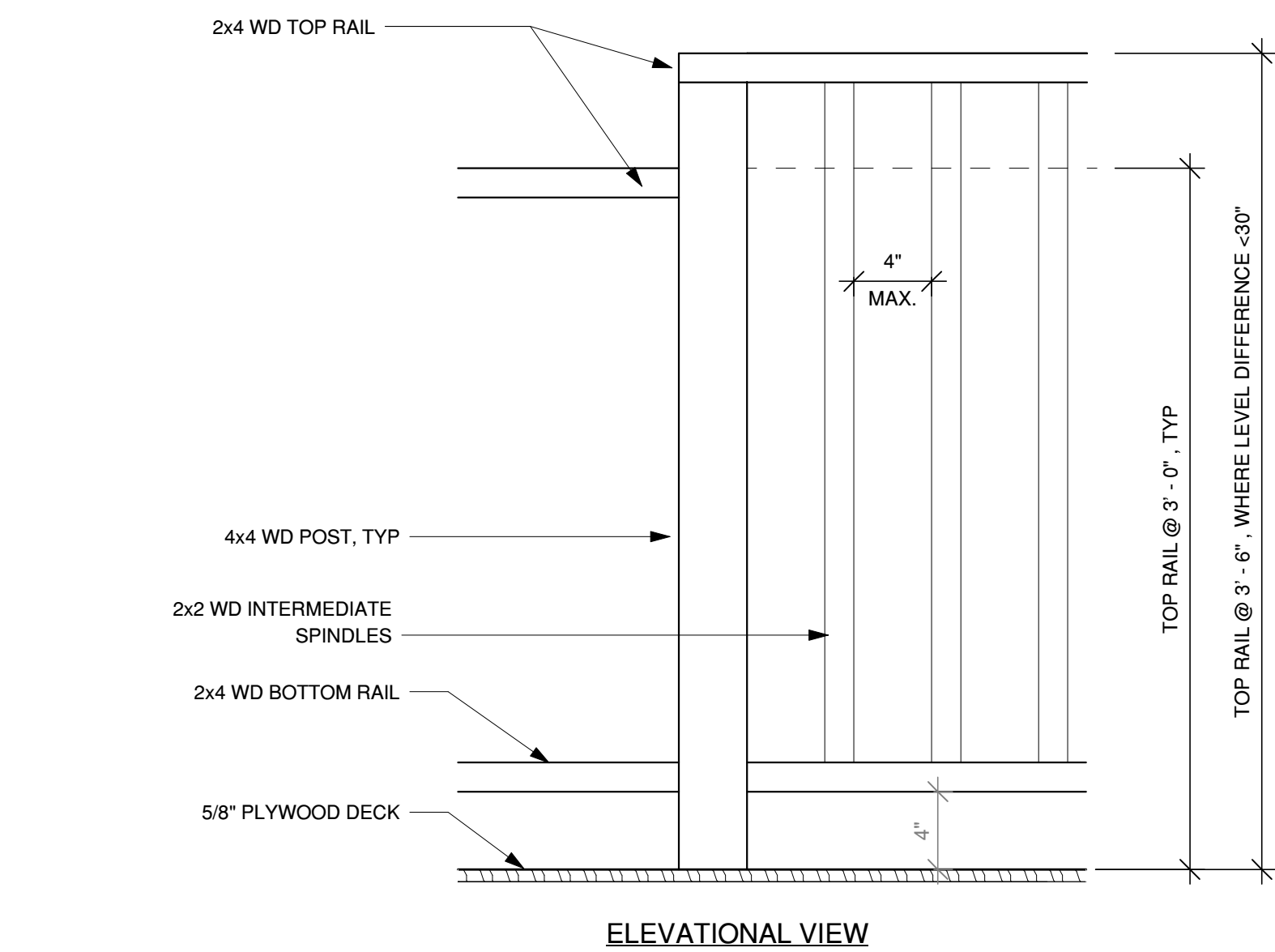
2 POST CONNECTION - AT (E) CONCRETE STEP (MID-STAIRS)

1 1/2" = 1'-0"



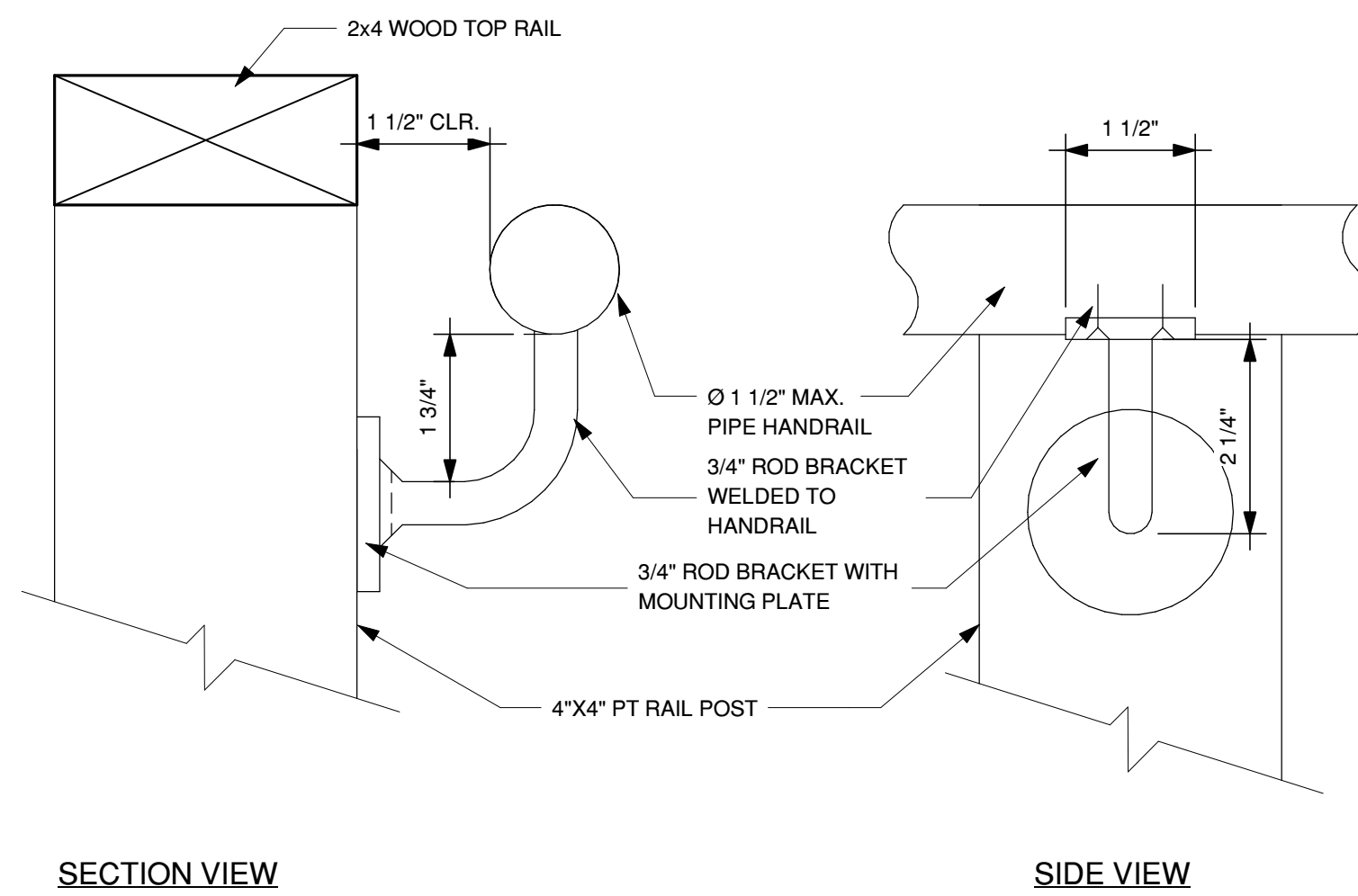
1 POST CONNECTIONS - TYPICAL

1 1/2" = 1'-0"



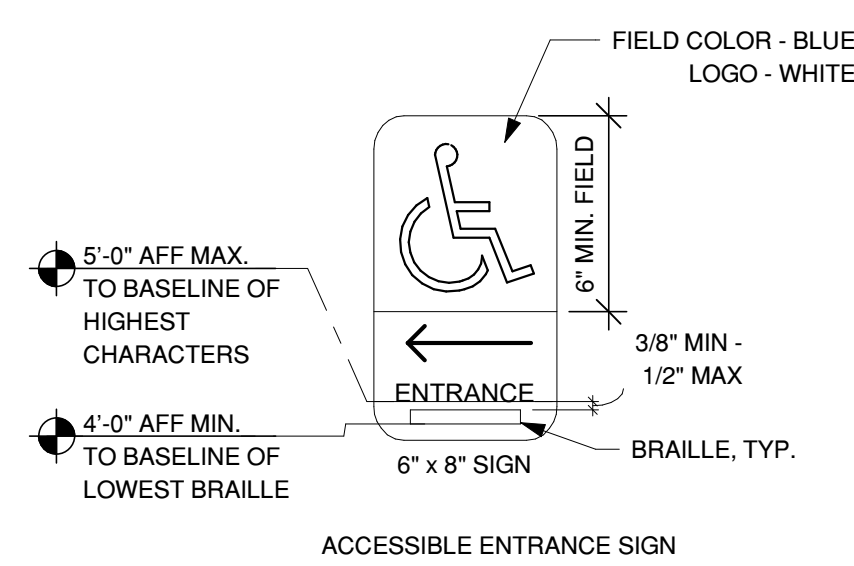
6 HANDRAIL ELEVATION

1 1/2" = 1'-0"



7 HANDRAIL MOUNTED ON VERTICAL POSTS

6" = 1'-0"



8 ACCESSIBILITY ENTRANCE ROUTE SIGNAGE

12" = 1'-0"

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SHEET TITLE

DETAILS

PROJECT NO. 18012

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