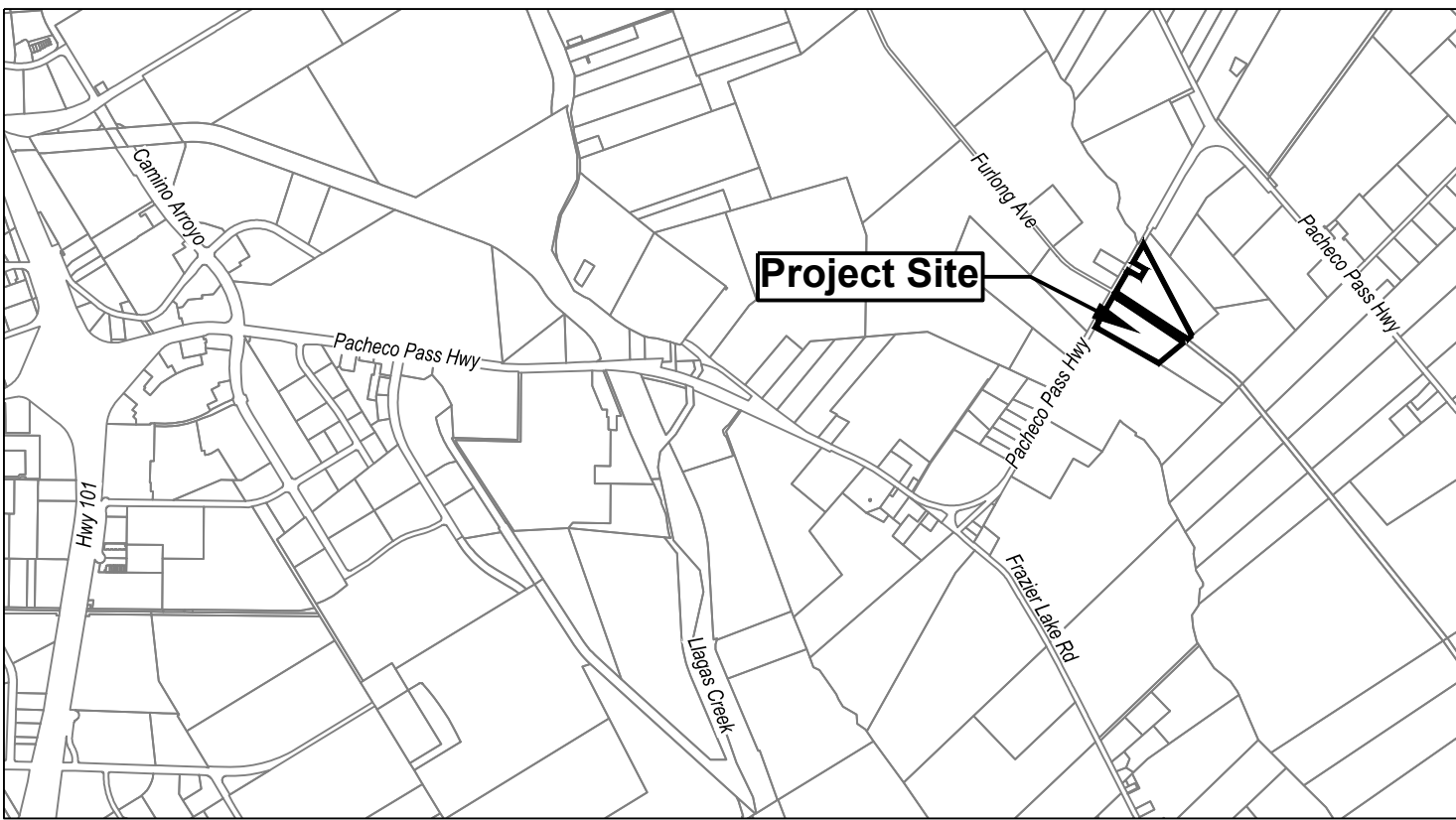
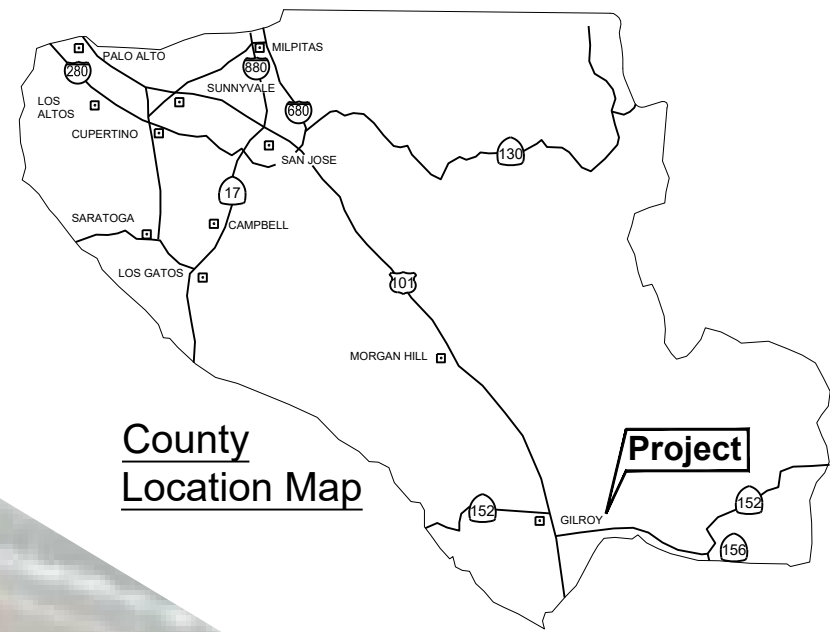


Ancillary Area Summary	
Description	Proposed Area
Proposed Warehouse	6,000 SF
Proposed Warehouse Driveway	19,333 SF
Proposed Warehouse Apron	8,000 SF
Proposed Mobile Home Driveway	5,894 SF
Proposed Mobile Home 1	1,167 SF
Proposed Mobile Home 2	1,167 SF
Proposed Mobile Home 3	1,167 SF
Proposed Mobile Home Porches	840 SF
Proposed Septic Area	13,241 SF
Proposed Water Tanks and Waterlines	875 SF
Proposed Stormwater Treatment Area	12,531 SF
Existing Barn	7,130 SF
Existing Storage	12,990 SF
Existing Dirt Road	2,636 SF
Non-farmable area	41,598 SF
Totals	134,569 SF

Percentage of Land in Agricultural Use			
Description	Area in SF	Area in Acres	% of Total
Total Ancillary Area	134,569	3.089	23.4%
Total Agricultural Area	369,224	8.476	64.2%
Total Riparian Area - Jones Creek	71,678	1.646	12.5%
Total Parcel Area	575,471	13.211	100%



Vicinity Map



County Location Map

**Applicant/Owner:**  
Vanguard Farms  
2610 Pacheco Pass Hwy  
Gilroy, CA 95020  
vanguardfarms@gmail.com  
626.716.7266

**Engineer:**  
David L. Faria, PE 92432  
MH Engineering  
16075 Vineyard Blvd.  
Morgan Hill, CA 95037  
408.779.7381  
davidl@mengineering.com

Project Information:	
APN:	841-25-023
Present Use:	Agriculture Large Scale
Present Zoning:	A-40ac
Existing Improvements:	As Shown
Water:	N/A
Sanitary Sewer:	N/A
Gas & Electric:	PG&E
Fire Responsibility Area:	LRA
Wildland Urban Interface:	N/A
Geohazard:	County Liquefaction Hazard Zone
HCP Area:	Rural Development Not Covered
Gross Area:	6.715 ac
APN:	841-25-025
Present Use:	Agriculture Large Scale
Present Zoning:	A-40ac
Existing Improvements:	As Shown
Water:	ex well
Sanitary Sewer:	N/A
Gas & Electric:	PG&E
Fire Responsibility Area:	LRA
Wildland Urban Interface:	N/A
Geohazard:	County Liquefaction Hazard Zone
HCP Area:	Rural Development Not Covered
Gross Area:	6.496 ac

**Boundary Note:**  
Property lines shown on this plan are based on that certain Record of Survey, which was filed for record in the office of the county recorder of the county of Santa Clara, State of California, on June 4, 2018, in Book 914 of Maps, at Page 29.

**Flood Zone:**  
Both properties lie wholly in Zone A (100%), per FEMA Firm Panel 06085C0645H, effective May 18, 2009.

**Basis of Bearings:**  
The bearing of N 29°30'00" E of the centerline of Pacheco Pass Hwy per that certain Record of Survey, filed for record on June 4, 2018 in Book 914 of Maps at Page 29, Santa Clara County Recorder's Office.

**Benchmark:**  
Elevations show on this plan are based on BM011, a Brass disk on concrete pad for high voltage electrical cabinet "T-361" (top of southwest corner); located in the San Ysidro Elementary School's "horse shoe" shaped access road from Highway 152; near the most southwesterly driveway; about 500 feet northeast from Frazier Lake Road; 18 feet northeast from the north edge of paved driveway of the southerly end of the "horse shoe" access road. Unincorporated Santa Clara County.

**Note:**  
Property is one legal parcel with two assessor parcel numbers.

Legend:	
	ex Asphalt Concrete
	ex structure
	Proposed Aggregate Base
	Proposed Structure