

AB AGGREGATE BASE
AC ASPHALT CONCRETE
AD AREA DRAIN
AE ANCHOR EASEMENT
BB BUBBLER BOX
BLDG BUILDING
BSL BUILDING SETBACK LINE
BW BOTTOM OF WALL/BACK OF WALK
CG CURB & GUTTER
CL CENTERLINE
CLF CHAIN LINK FENCE
CO SANITARY SEWER CLEANOUT
COP CURB OPENING
CONC CONCRETE
CSD COUNTY STANDARD DETAIL
DE DRAINAGE EMITTER
DI DRAINAGE INLET
DS DOWNSPOUT
DWY DRIVEWAY
EA EASEMENT
EAE EMERGENCY ACCESS EASEMENT
ELEV ELEVATION
EM ELECTRIC METER
E(OH) ELECTRIC OVERHEAD
E(UG) ELECTRIC UNDERGROUND
EP EDGE OF PAVEMENT
EX EXISTING
ETW EDGE TRAVELED WAY
FC FACE OF CURB
FD FOUND
FF FINISH ELEVATION OF SUBFLOOR
FG GROUND FINISH GRADE
FH FIRE HYDRANT
FL FLOW LINE
G GARAGE SLAB ELEVATION/GAS LINE
GPE GENERAL PUBLIC EASEMENT
GSB GRADING SETBACK
GM GAS METER
HP HI POINT
INV INVERT
IEE INGRESS/EGRESS EASEMENT
LIP LIP OF GUTTER
LS LANDSCAPED AREA
MAX MAXIMUM
MH MANHOLE

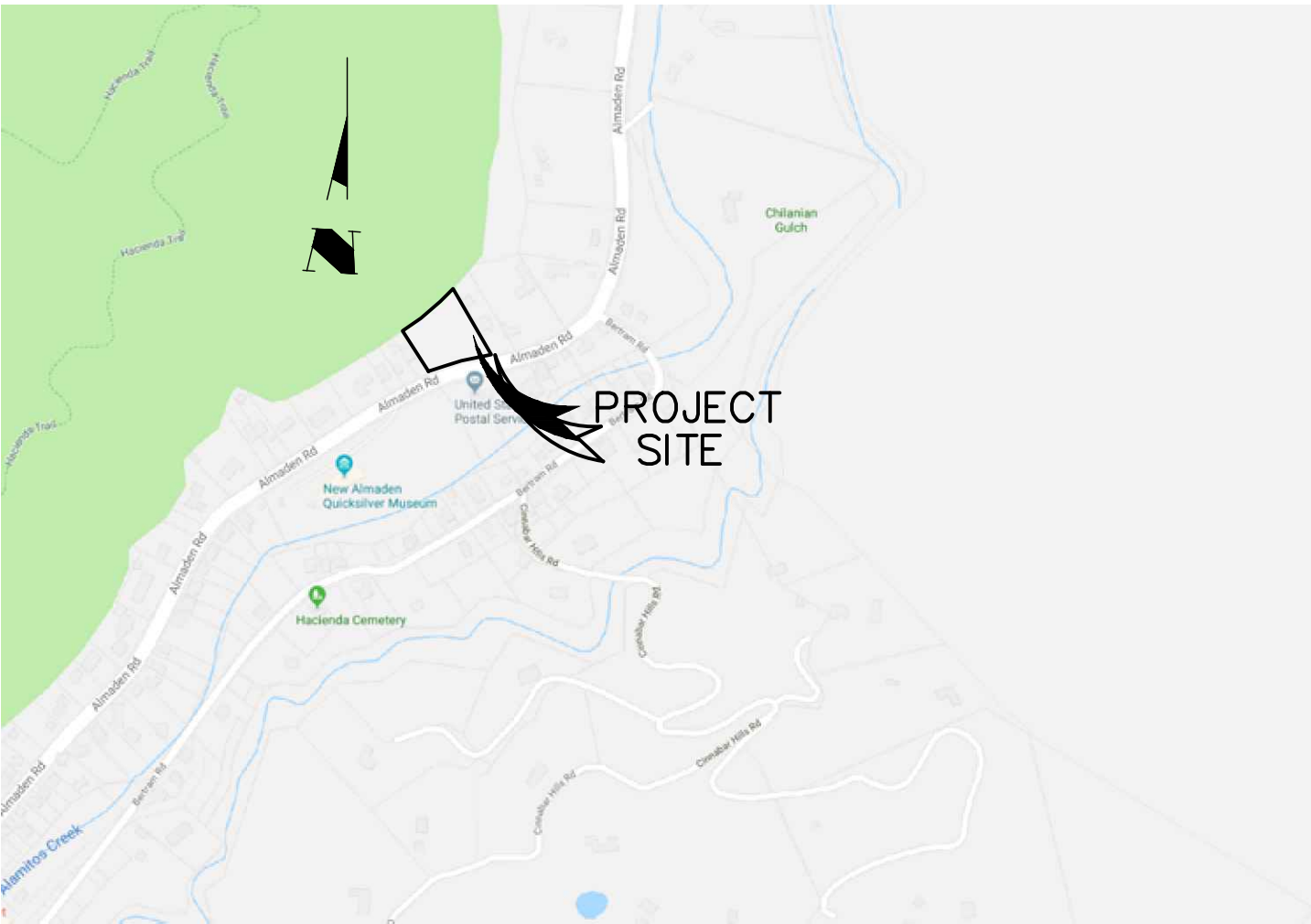
MIN MINIMUM
N&S NAIL AND SILVER
NTS NOT TO SCALE
OH OVERHEAD
OG ORIGINAL GROUND
P PAVEMENT FINISH GRADE
PAD PAD ELEVATION
PL PROPERTY LINE
PEE PEDESTRIAN EQUESTRIAN EASEMENT
PERF PERFORATED
PP POWER POLE PROP PROPOSED
PSE PUBLIC SERVICE EASEMENT
PUE PUBLIC UTILITY EASEMENT
PVM PAVEMENT
PVC POLYVINYL CHLORIDE
R RADIUS
RW RETAINING WALL
REM REMOVE
R/W RIGHT OF WAY
RRR ROCK RIPRAP
SD STORM DRAIN
SDE STORM DRAIN EASEMENT
SE SLOPE EASEMENT
SS SANITARY SEWER/LATERAL
SSE SANITARY SEWER EASEMENT
STA STATION
STD STANDARD CITY DETAIL
SW SIDEWALK
TB TOP OF BANK
TC TOP OF CURB
TEMP TEMPORARY
TOC TOP OF COVER
TOE TOP OF BANK
TOG TOP OF GRADE
TPF TREE PROTECTION FENCE
TW TOP OF WALL
TYP TYPICAL
VG VALLEY GUTTER
W WATER
WCE WIRE CLEARANCE EASEMENT
WLK WALKWAY
WM WATER METER
WOE WIRE OVERHANG EASEMENT
WV WATER VALVE

AREA DRAIN
BENCHMARK
BOUNDARY
CATCH BASIN
COBBLE ROCK ENERGY DISSIPATOR
CONCRETE
EXISTING CONTOUR AFTER GRADING
ORIGINAL GROUND PRIOR TO GRADING
DESIGN GRADE
DOWNSPOUT WITH SPLASHBLOCK
DRAINAGE EMITTER
DIVERSION VALVE
DRAINAGE DIRECTION EXTENDABLE
BACKWATER VALVE (SEE PROJECT NOTES)
DRAINAGE SWALE
EASEMENT LINE
EXISTING ELEVATION
EXISTING FENCE
EXISTING TREE TO BE REMOVED
EXISTING TREE TO REMAIN
FOUND IRON PIPE AT PROPERTY CORNER
FIBER ROLLS
GAS METER
GAS VALVE
GRADE TO DRAIN
GUY POLE
GUY WIRE ANCHOR
HIGH POINT
HYDRANT: EXISTING
HYDRANT: PROPOSED

INLET
JOINT POLE
LIGHTING
LIGHTING POLE
LOW POINT
OVERLAND FLOW DIRECTION
PGE BOX
POST CONSTRUCTION STORM WATER
POLLUTION CONTROL MEASURE
PROJECT SITE
RETAINING WALL
RIGHT OF WAY
SANITARY SEWER CLEAN OUT MANHOLE
SANITARY SEWER MANHOLE
STORM DRAIN MANHOLE
SUMP PUMP
TELEPHONE BOX
TELEVISION BOX
TEST PIT
TOP OF FILL
TOE OF FILL
TOP OF CUT
TOE OF CUT
TREE NUMBER
T-TVAULT
UTILITY: EXISTING
UTILITY: PROPOSED OR NEW
VERTICAL SHORING
WATER METER
WATER VALVE
WELL

PROJECT DATA

APN: 583-15-019
SITE ADDRESS: ALMADEN ROAD, SAN JOSE, CA 95120
LOT SIZE: 71,438 SF (1.64± ACRES)
ZONING: RR-SR-H1 (100%)



VICINITY MAP
NTS

EARTHWORK QUANTITY

IMPROVEMENT	O ALMADEN ROAD			
	EARTHWORK QUANTITY (CUBIC YARD)		MAXIMUM DEPTH (FEET)	
	CUT	FILL	CUT	FILL
BUILDING PAD	1,295	240	11	3
LANDSCAPE	1,092	393	12	2
DRIVEWAY	342	0	7	0
TOTAL	2,729	633		

PRE DEVELOPMENT AREA

1. EMPTIED	0 SF
2. LANDSCAPE	71,438 SF
TOTAL:	71,438 SF

POST DEVELOPMENT AREA

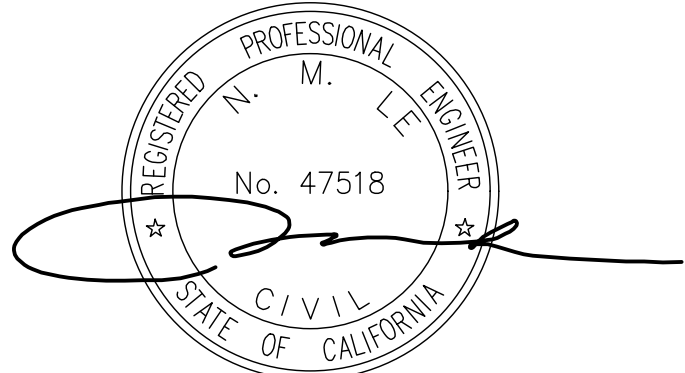
1. NEW BLDG	1,910 SF
2. NEW 3-CAR GARAGE	676 SF
3. NEW ADU	1,540 SF
4. NEW GARAGE	379 SF
5. NEW LANDING	58 SF
6. NEW PORCH	499 SF
7. NEW PATIO	82 SF
8. NEW DRIVEWAY	2,432 SF
9. NEW STAIR	140 SF
TOTAL:	7,716 SF

SUMMARY

	IMPERVIOUS	PERVIOUS
1. PRE DEVELOPMENT AREA	0 SF	71,438 SF
2. POST DEVELOPMENT AREA	7,716 SF	63,722 SF
DIFFERENCE:	+ 7,716 SF	- 7,716 SF

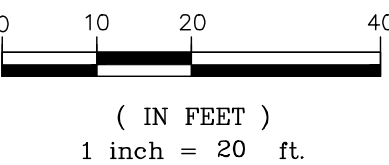
SHEET INDEX:

SHEET C1:	SITE PLAN
SHEET C2:	GRADING AND DRAINAGE PLAN
SHEET C3:	DRIVEWAY PROFILE & CROSS SECTIONS

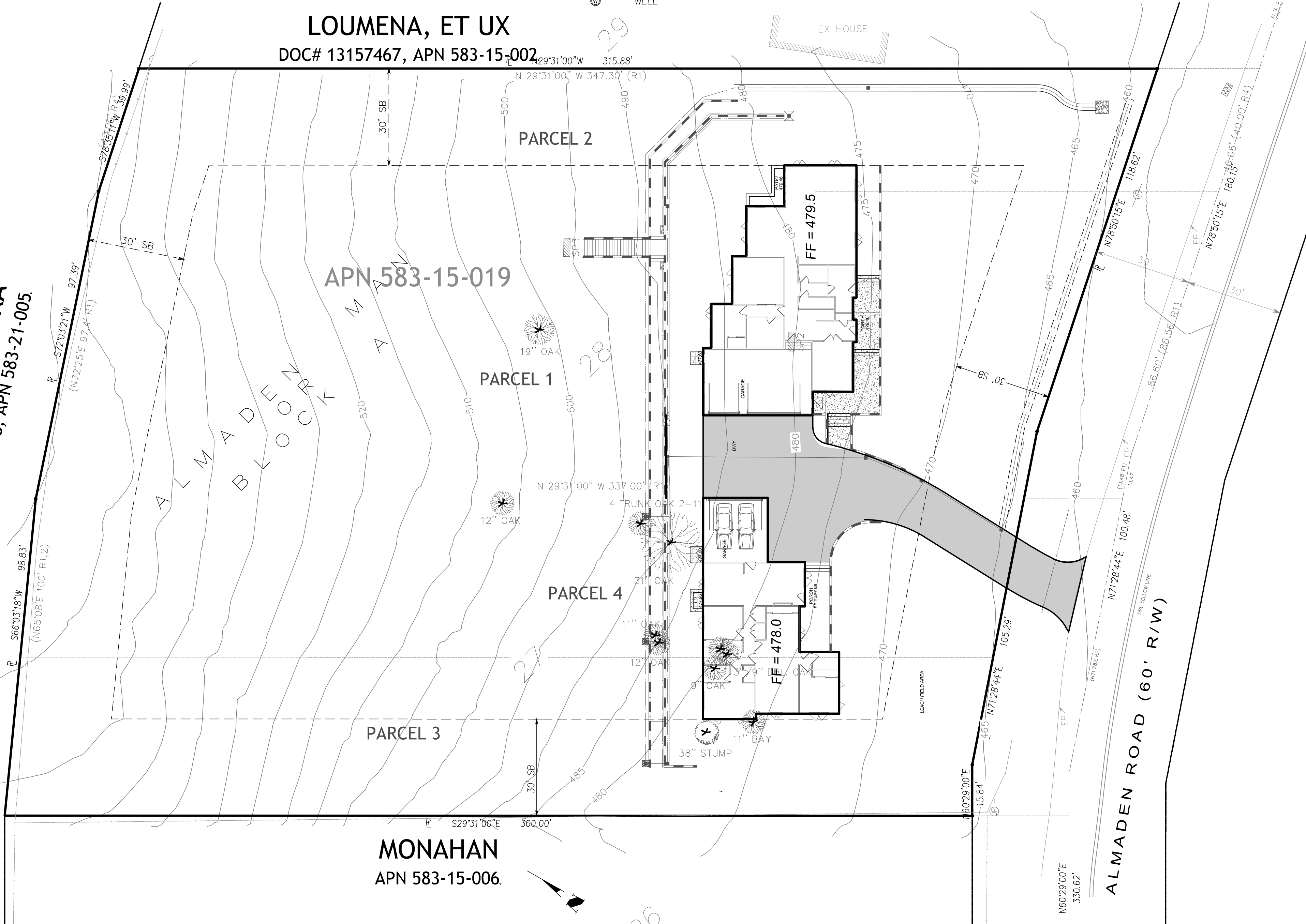


APPROVED FOR ISSUANCE REFER
TO ENCROACHMENT AND/OR CONSTRUCTION
PERMIT AND PLAN COVER SHEET FOR
SPECIAL CONDITIONS AND PERMIT NUMBERS

GRAPHIC SCALE



CO. OF SANTA CLARA
DOC# 4568008, APN 583-21-005.



LOUMENA, ET UX

DOC# 13157467, APN 583-15-002

APN 583-15-019

MONAHAN
APN 583-15-006.

APPLICANT : LE

ROAD NAME : ALMADEN ROAD

FILE NO :

DESIGNED
9/16/22
PT

DRAWN
9/16/22
PT

CHECKED
9/16/22
NL

DATE

DATE

DATE

BY

DATE

APPROVED

NO.

ENGINEERING

598 E Santa Clara St, #270
San Jose, CA 95128
Phone: (408) 806-7187
Fax: (408) 583-4006

SITE PLAN
LANDS OF LE
ALMADEN ROAD
APN 583-15-019

California

DRAWING NO.

Q

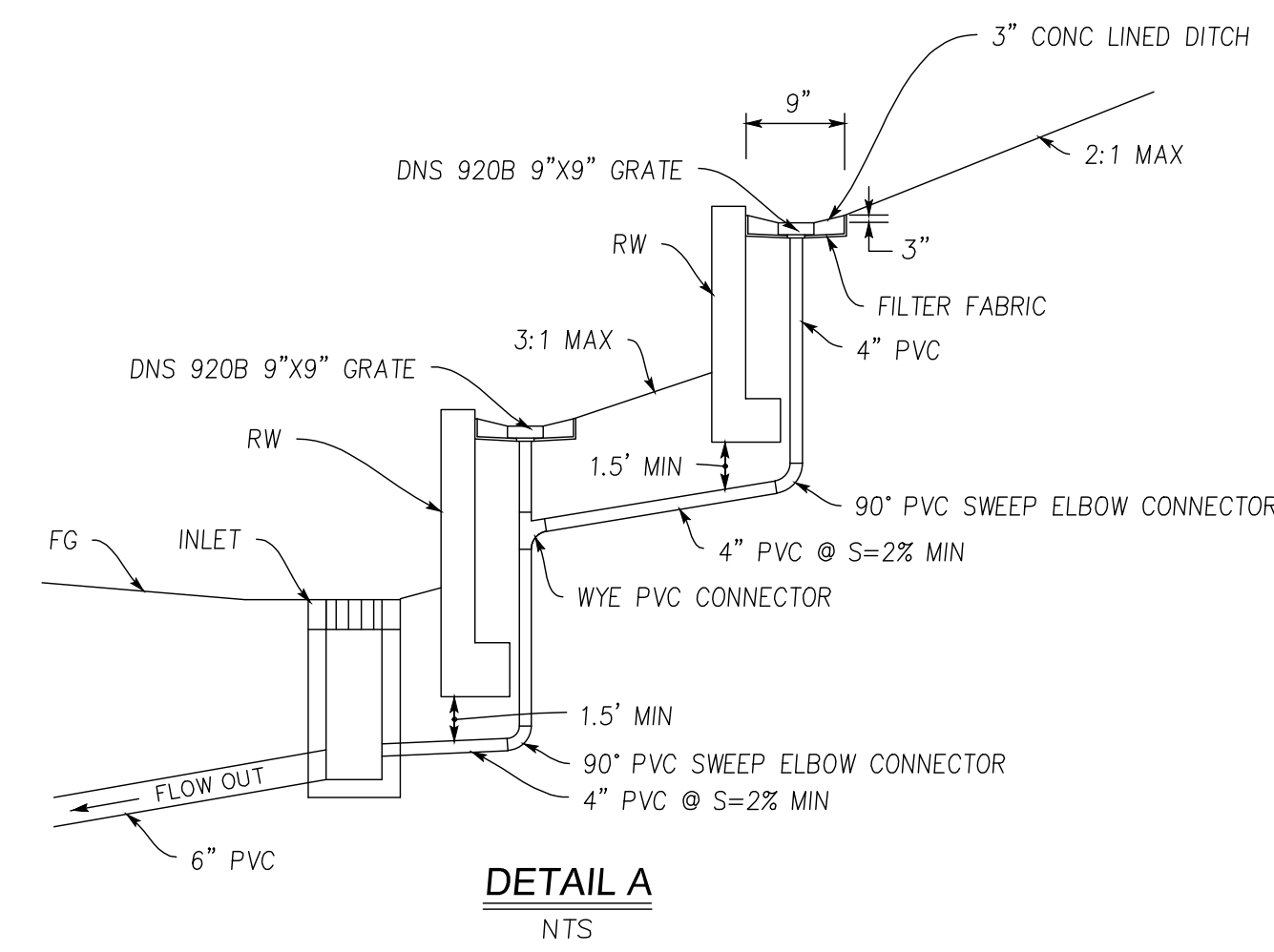
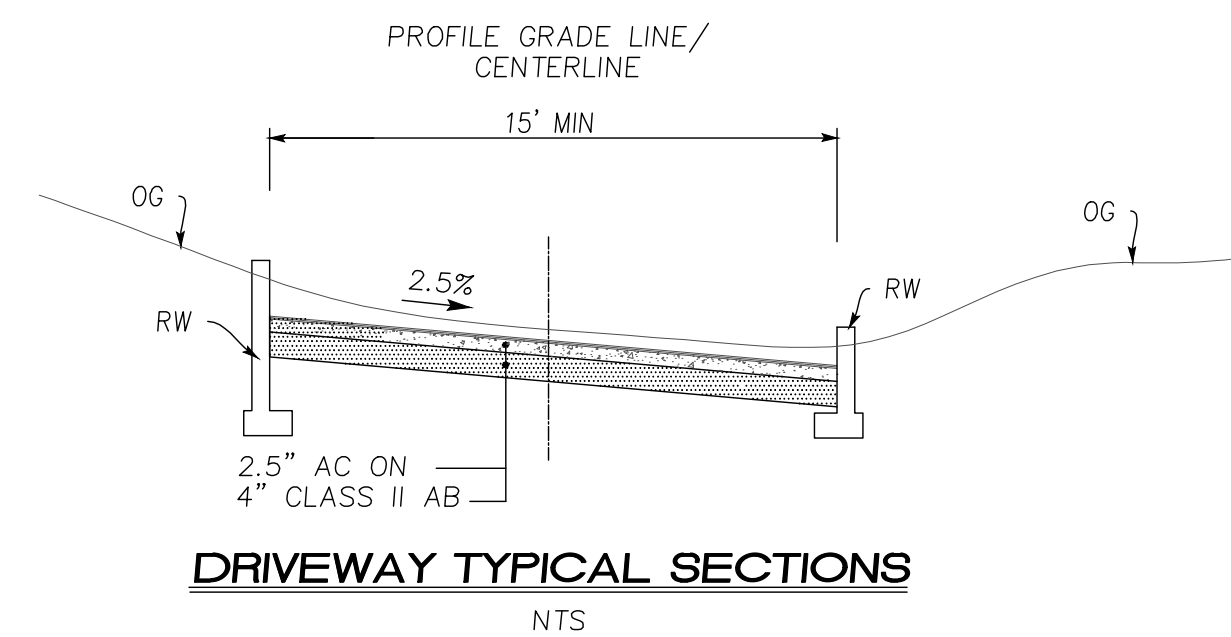
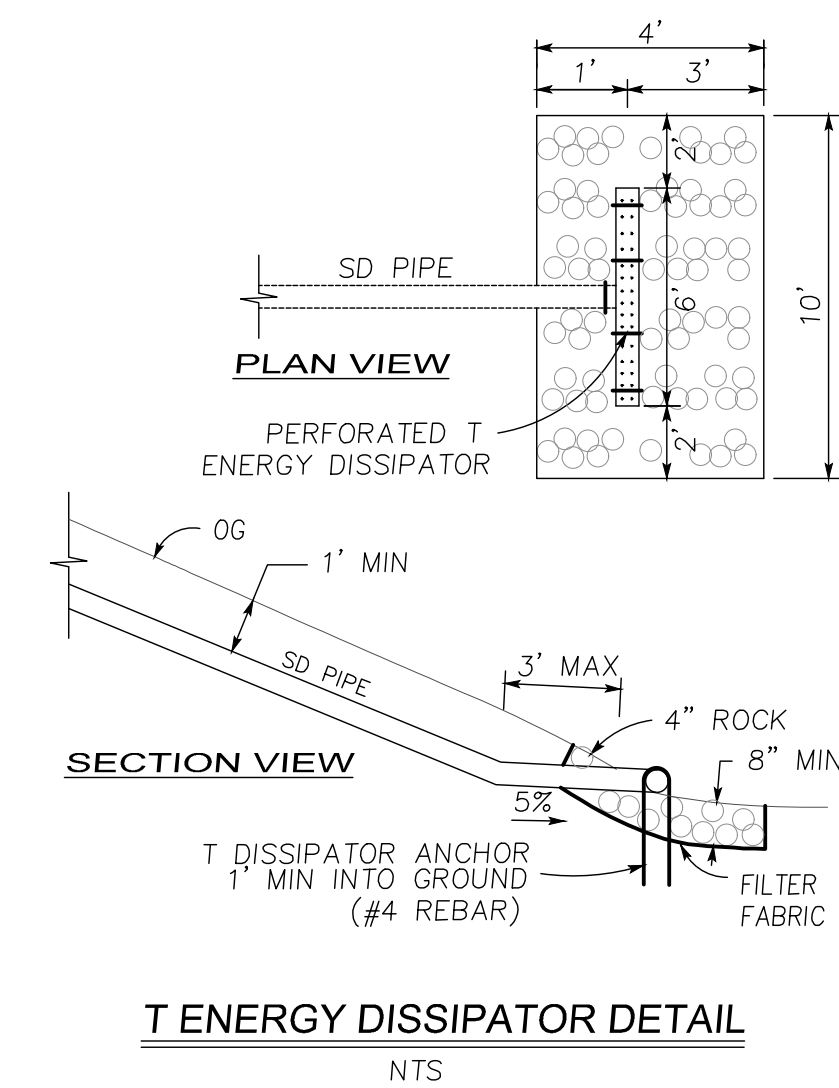
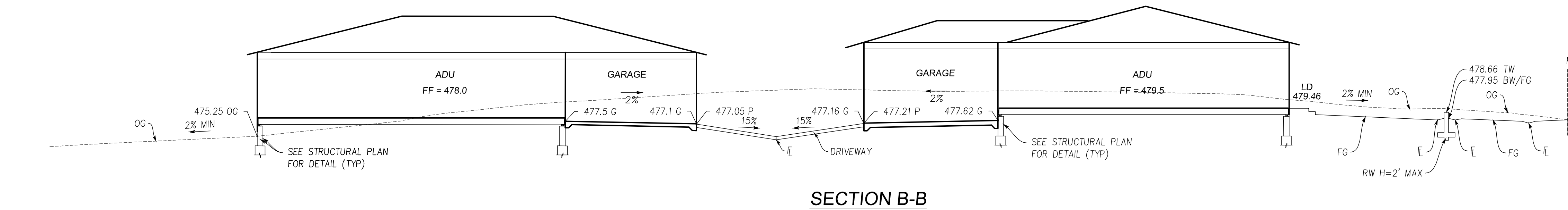
SHT NO.
1 OF 3

FILE NO.

PROJECT NO.

CONTRACT NO.

San Jose

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